



North Westerly - PD zoning 3rd Review

Planning & Development

To: John Prestwich, PCS Group
From: Aly Burkhalter, Senior Planner
Date: January 16, 2025
Re: PD-001700-2024 North Westerly - PD

3rd Review & Referral Comments

Town Planning Division staff has reviewed the applications for the North Westerly - PD for conformance with Municipal Code, Title 10 and all relevant Town policy, standards, and specifications. Other Town staff and outside agency reviews can be found in your eTRAKiT portal.

The next step for the application is revision and resubmittal for another referral and Development Review Team review. Please make the appropriate revisions to the application materials and provide written response to address each written comment from the Town staff and referral agencies. All resubmittals shall be submitted via eTRAKiT.

Planning Comments

These comments are organized by submittal requirement. Previous comments and comments that have been resolved are in grey and can be removed from response to comments for the 4th submittal. Applicant 3rd submittal responses in blue if unresolved and Town 3rd review comments are in red.

#1 Land Use Application – Not provided with 3rd Submittal. No Comment.

#2 Application Fee - Not provided with 3rd Submittal. No Comment.

#3 Proof of Ownership - Not provided with 3rd Submittal. No Comment.

#4 Letter of Authorization - Not provided with 3rd Submittal. No Comment.

#5 Special Agreements - Not provided with 3rd Submittal. No Comment.

#6 Written Narrative – Provided as separate document with 3rd Submittal

1. The written narrative is located on pages 2&3 of the PD Zoning Document. Please remove it from the PD Zoning document and provide it as a separate document. Applicant Response: The Written Narrative is now a separate document. Town Response: Resolved.
2. Under A-General Project Concept And Purpose Of The Request, "Erie" Gateway is misspelled with no "i" Applicant Response: Corrected spelling. Town Response: Resolved.
3. Under A-General Project Concept And Purpose Of The Request, it states "accessory dwelling units" but this is not accounted for in the Home Diversity Plan. Please update the PD document to reflect the inclusion of ADUs. Applicant Response: We have added a note stating that only single family detached homes may include ADU's. Town Response: Resolved.
4. Under "3. The PD zone district is not a general waiver of the UDC regulations. PD zone districts are to be based on one or more of the following attributes that could not otherwise be achieved through other standard zone districts", please list only the attributes you are achieving and how you are meeting the individual attribute. This

PD is not achieving "retention of historic structures and sites". Applicant Response: We have clarified which criteria is being met and how. Town Response: Resolved.

5. Under E. Adequate And Sufficient Public Safety, Utility Facilities and Services, please respond in a manner consistent with what you are currently proposing not stating future conformance. This text may be similar to the Impact Report text. Applicant Response: Added the information from the Impact Report that pertains to this section. Town Response: Resolved.

#7 ALTA Survey

The following items are regarding future easements which are not recorded with the PD zoning. Town staff would like to ensure that the necessity of future easements are accounted for in the development plan shown with the PD.

6. Town staff is concerned about irrigation structures outside of easement. How will this be addressed?
Applicant RESPONSE: A new easement will be granted the irrigation company over the current ditch alignment.
Town Response: If future easements are anticipated, please provide future major easement exhibit for comparison to concept plan.
Applicant 3rd submittal response: Per discussions with the ditch company a new proposed 50' easement will be granted for the irrigation channel and piped areas. A proposed major easement exhibit has been included with this submittal.
Town 3rd review response: Resolved
7. Town staff is concerned about overhead transmission lines "without the benefit of recorded easements" along Weld County Rd 10. How will this be addressed? Are these utilities planned to underground Applicant
RESPONSE: New easements will be granted to Xcel for the overhead transmission lines. These lines are large transmission lines on large towers. There are no plans to underground.
Town Response: If future easements are anticipated, please provide future major easement exhibit for comparison to concept plan.
Applicant 3rd submittal response: There is an existing 150' wide easement agreement between the State and Xcel. This agreement will be recorded at the county to make it real. This easement is shown in the proposed major easement exhibit.
Town 3rd review response: Resolved
8. Town staff is concerned about High school gravel access road without a recorded easement. How will this be addressed? Will there be a dedicated easement in the future to provide access.
Applicant RESPONSE: We believe a large portion of this access road can remain and if needed an easement could be granted. Also, new access could be provided off the proposed roadway.
Town Response: If future easements are anticipated, please provide future major easement exhibit for comparison to concept plan.
Applicant 3rd submittal response: No future easement is planned in this area. This road is used to access an existing drainage swale and concrete pan that was installed to capture stormwater runoff from the North Westerly property. Once the project is developed the stormwater runoff will be rerouted away from this area and a swale of this size will no longer be needed.
Town 3rd review response: Resolved

#8 PD Zoning Map and Development Guide

9. Please provide a Land Use Summary Chart on the Cover Sheet or Concept Plan as described in the PD User Guide This is in addition to the Housing Diversity Percentages provided on Sheet 6. Applicant Response: We have included a Land Use Plan and Summary Chart on one sheet. And placed the Concept Plan on an additional sheet to show the housing diversity within the community. Town Response: Resolved. Please see new comment 117 below.
10. All Sheets: Project number under title block is PD-001700-2024. Applicant Response: Project # has been added to each sheet as part of the Titleblock. Town Response: Resolved
11. All Sheets: Please replace all mention of Board of Trustees with Town Council. Applicant Response: Replaced with Town Council. Town Response: Resolved
12. Overall comment: there is no clear correlation between UDC land uses and zoning and what is proposed in the PD. It is unclear what commercial uses are allowed. It is unclear what uses are allowed within community amenity. It is unclear if front loaded duplex or townhomes would be allowed.
Applicant Response: This has been clarified in the permitted uses and home diversity chart. The Community Amenity area is essentially a "private park" similar to the pool facilities at Westerly
Town Response: A permitted use section could not be found in the PD Development Guide. No Permitted Use Table is required if applicant is planning to match the permitted uses allowed by underlying zone district under the current Unified Development Code. See comment #117 regarding assuming Community Amenity area to be PLI zone district. Applicant should review and confirm PLI permitted use of Neighborhood Recreation Center to cover intended uses for Community Amenity. Applicant shall confirm in response to comments that commercial area uses will conform to CMU permitted uses.
Applicant 3rd submittal response: The PLI zoning will be sufficient for the intended uses for the Community Amenity.
Town 3rd review response: Resolved
13. All Sheets: Land Use (and Lot Type) colors that depict a built environment shall not be shades of green. Green shall be reserved for parks and open space uses.
Applicant Response: We updated the Concept Plan and Land Use plan so that "green" is reserved for open space & parks only. Town Response: Resolved
14. Overall comment: please provide more detail regarding the 10.6 ac Community Amenity in regards to land uses, design standards, and intent. Applicant Response: The Community Amenity area is essentially a "private park." It will have similar amenities and uses to a typical park with a potential pool facility similar to the Westerly pool facility. Town Response: See Comment #39
117. Staff would like to see the following sheet changes:
 - a. Zone Map shall show underlying zone district areas (LR, MR, CMU). Community Private Amenity is assumed to be PLI zone district unless applicant demonstrates otherwise. Open Space and Parks land uses will not be their own zone district but included in other zone districts. Legal Descriptions will be provided for each of the underlying zone district boundaries. Zone District boundaries shall be determined based on density ranges of LR/MR/HR, existing zone district boundaries of LR/MR/HR, and future uses to be permitted for PLI/CMU.
Applicant 3rd submittal response: We have included the underlying Zoning Districts on the Zoning Map. However, we have discussed with staff and receive approval that we may proceed without having legal boundaries. We have included the note

"The legal boundary of zoning contained within the PD are general and subject to change at final road alignments and lots at Final Plat," as advised by staff. The PLI zoning will be sufficient for the intended uses for the Community Amenity.

Town 3rd review response: Resolved

- b. Land Use Plan remove sheet and move Land Use Summary Chart to Concept Plan sheet

Applicant 3rd submittal response: The Land Use Plan Sheet has been removed.

Town 3rd review response: Resolved

- c. Concept Plan sheet graphic to remain as-is with land use summary chart added to sheet and Dimensional Standard Table moved to same sheet as Parking Requirements.

Applicant 3rd submittal response: The Land Use Summary Chart has been moved to the Concept Plan sheet and the Dimensional Standards Table has been moved to the Parking Requirements sheet.

Town 3rd review response: Resolved

135. New comment at 3rd submittal: The legend for LR shall state "low" instead of "medium".

#9a Concept Plan (Sheet 3)

- 15. The Concept Plan should depict Land Uses as listed in Chapter 3 of the Unified Development Code. Land Use categories can be general such as Residential, Commercial, or Mixed Use, or specific such Dwelling, Single Family Detached or Bank. Staff recommends general land use categories to prevent the need for PD amendments as future development may request different lot types. If proposing a new land use, the PD must define the land use. Lot Types may be used on the Home Diversity Plan.

Applicant Response: We have included a Land Use Plan and Summary Chart on one sheet. And placed the Concept Plan on an additional sheet to show the housing diversity within the community.

Town Response: Concept Plan legend and graphic to remain as-is as long as Comment 12 and 117 are addressed regarding underlying zone districts and permitted uses.

Applicant 3rd submittal response: no response included

Town 3rd review response: Resolved per comment 12 and 117 resolution above

- 16. On the legend, please include parks and open space colors for legend. See comment #13 above regarding use of green for lot type legend. Applicant Response: We updated the Concept Plan and Land Use plan so that "green" is reserved for open space & parks only and included it on the legends. Town Response: Resolved

- 17. On concept plan, a Pocket Park is shown adjacent CR5 on Park Plan. Please coordinate what is being proposed between pocket park shape on Park Plan and linework of detention pond on Concept Plan. Applicant Response: This pocket park has been removed. Town Response: Resolved

- 18. On concept plan, please remove linework from Neighborhood Park, unless proposing something here or showing mine shaft. If so, please label. Applicant Response: The linework has been removed Town Response: Resolved

- 19. On concept plan, the open space (effluent wet pond detention/irrigation) is shown as a Pocket Park on the Park Plan not Open Space. See Engineering comment that this cannot be both effluent and irrigation. Applicant Response: We are now showing 2 ponds for each. The area has been updated to Open Space Town Response: Resolved

20. On concept plan, please show trails on concept plan as a thick legible line. Line may be dashed. Please include it in the legend.
 Applicant Response: The trails have been included in a separate sheet with the open space for clarification.
 Town Response: Trails may remain excluded from Concept Plan as long as they continue to be shown on Pedestrian Circulation (sheet 15) and are added on the Parks and Open Space (Sheet 23)
 Applicant 3rd submittal response: The trails are on the "Pedestrian Circulation" and the "Parks and Open Space" maps.
 Town 3rd review response: Resolved
21. On concept plan, color entire lot/block land use color rather than individual buildings. The lot/block is the land use. Applicant Response: We have included a Land Use Plan and Summary Chart on one sheet. The colors fill the entire planning area. The Concept Plan is included on an additional sheet to show the housing diversity within the community Town Response: Resolved
22. On concept plan, remove Pocket Park green color from between commercial block or show lot lines delineating park from commercial lot. Applicant Response: On the Concept Plan, the commercial lot is separate from the park lot. Town Response: Resolved. Planning staff will defer to DNS comments regarding pocket park.
23. On concept plan, boundary needs to match boundary shown on Zone Map (sheet 4). Applicant Response: The boundary has been updated. Town Response: Resolved
24. The Dimensional Standards Summary Table shall be provided on its own separate sheet from the Concept Plan. It shall include dimensional standards for commercial, mixed use, or community amenity. See additional comments below under #9c Building form/Characteristics Plan.
 Applicant Response: The Dimensional Standards Summary Table is on the same sheet as the Concept Plan, but a separate sheet from the Land Use Plan, which now the concept plan focuses on the types of residences and not the planning areas. We have updated to include additional standards for commercial.
 Town Response: See Comment 117 regarding reformatting. Dimensional Standards shall be moved to Parking Requirement sheet.
 Applicant 3rd submittal response: The Dimensional Standards have been moved to the Parking Requirement sheet.
 Town 3rd review response: Resolved
25. Please provide Parking Requirements as a separate table from dimensional standards. If Parking Requirements do not vary from UDC *per land use*, please remove altogether. See additional comments below under #9c Building form/Characteristics Plan. Applicant Response: We have added parking requirements per the Land Use and added a note where we refer to the standard UDC requirements. Town Response: Resolved
26. On dimensional standards, staff is unsure if the minimum lot area for townhome and live-work is reasonable. Please provide as a separate exhibit a lot typical of the Townhome and Live Work with a 700sf lot area. Staff recommends increasing to minimum 1000sf lot area. Applicant Response: Updated to 1,000sf as suggested Town Response: Resolved
27. On dimensional standards, please state Multi-Family minimum lot area is 1000 sf "per DU".
 Applicant Response: The minimum lot area for Multi-family is now 20,000 sf.
 Town Response: Multifamily minimum lot area to be regulated "per DU" rate rather than flat number.

Applicant 3rd submittal response: Changed the minimum lot area to be "per DU" rate
Town 3rd review response: please state Multi-Family minimum lot area is "1000 sf per DU" or other number per dwelling unit

28. Remove footnote 1, 2, and 4 of Dimensional Standards Table as it is consistent with the UDC and the PD is not proposing a variation from the UDC. Applicant Response: These notes have been removed. Town Response: Resolved
29. Regarding footnote 3 of the Dimensional Standards Table, the allowable 2-ft encroachment for "above grade features" is unclear if it just ornamental features or would allow patios, decks, balconies. Please refer to UDC 10-4-2. If you are not varying from the exceptions in this section, please remove it from the PD. Applicant Response: We follow the UDC. These notes have been removed Town Response: Resolved
30. Regarding footnote 5 of the Dimensional Standards Table, it states that it may encroach up to 6-ft into the rear setback but the rear setback is 5-ft. Please modify allowable encroachment to a number less than the minimum rear setback. Please clarify that it is the deck surface that is 30-inches above grade. Applicant Response: We follow the UDC. These notes have been removed Town Response: Resolved
31. Remove "utility" just "easements" for footnote 6 of the Dimensional Standards Table Applicant Response: We follow the UDC. These notes have been removed Town Response: Resolved
118. The concept plan design has changed since the last submittal and is showing blocks and land uses crossing the ditch in the southeast corner. It is unclear how the uses relate to the ditch as shown. If ditch is being relocated, please update linework. Please see Engineering memo comment #23 regarding coordinating with Utility Plan. Applicant 3rd submittal response: The irrigation ditch shown in the concept plan now matches the proposed utility plan. The areas where the irrigation ditch is being piped have been added to the plan.
Town 3rd review response: Resolved
119. The concept plan design has changed since the last submittal and is showing the third north-south connection (other than Westerly Blvd and Waterford Blvd) is no longer continuous. Staff preferred the previous alignment and would prefer more connectivity with a continuous street to the north border.
Applicant 3rd submittal response: The plan now depicts the original alignment of a continuous north-south street.
Town 3rd review response: Resolved
120. The concept plan design has changed since the last submittal and is showing a more curvilinear east-west collector. Staff preferred the previous alignment.
Applicant 3rd submittal response: The plan now depicts the original alignment of a more angular/straightened east-west collector.
Town 3rd review response: Resolved
121. The previous concept plan showed a boundary for the water tank site. Please add the boundary back. Additionally, please refer to DNS comments regarding the suitability of the Neighborhood Park location with the plugged and abandoned oil wells.
Applicant 3rd submittal response: We added back the Water Tank boundary. Per discussions with the Town, we have located the plugged O&G wells in an open space tract and have been given permission to make the Neighborhood Park as small as 7.5 acres.
Town 3rd review response: Resolved

136. New comment at 3rd submittal: Per Sheet 3 Concept Plan, it appears there are townhomes (single story Type A) in the CMU zone district/PA-2 which is not permitted by right in the CMU zone district by UDC 10-3-1 Permitted Use Table. Please add a note to Sheet 2 Zone Map and Sheet 3 Concept Plan: "Uses are permitted by right per the underlying zone district with the addition of permitting townhomes by right in CMU zone districts as shown on the Concept Plan."
137. New comment at 3rd submittal: Per Sheet 3 Land Use Summary Chart, please add commercial square footage number to PA-2 row. Per the Market Study and Economic Development review, staff also requests the number be updated from 141,398 to a round number of 150,000.

#gb Home Diversity Plan (Sheet 4)

32. Please remove "market rate" language as the Pre-DA requires inclusion of affordable housing. May use term such as "standard" or "unrestricted" residential to indicate that is separate from the age-restricted residential. Applicant Response: The language has been changed to "standard" Town Response: Resolved
33. Please indicated how the Higher Density Housing requirement of the Pre-DA is being met
Applicant Response: We have added the language from the Pre-DA to the chart for the Housing Diversity
Town Response: Town was requesting Pre-DA section 7c "High Density Housing. Developer shall cause at least 20% of the total residential units in the Development to be constructed as higher density housing, including without limitation condominiums, townhomes, apartments, cooperative housing." Please add this note and remove affordable housing note.
Applicant 3rd submittal response: We have changed the note.
Town 3rd review response: Resolved
34. Remove Commercial & Mixed Use as it is not relevant to the Home Diversity Plan. It shall be included as part of the Land Use Summary Chart. Applicant Response: Commercial and Mixed Use has been removed from the Home Diversity Plan and instead included as part of the Land Use. Town Response: Resolved
35. Per the written narrative comments, please include ADUs on the Home Diversity Plan if they are being proposed.
Applicant Response: The Accessory Dwelling Units will be determined by the homeowner or builder. We have indicated that Single Family Detached may have ADU's in the future.
Town Response: Please add note on Home Diversity sheet indicating ADUs will be allowed and not captured in unit counts and percentages.
Applicant 3rd submittal response: The note has been added.
Town 3rd review response: Resolved
138. New comment at 3rd submittal: Please add note to Home Diversity Plan sheet that states: "Lot widths and depths are to show housing diversity. Information listed on this page are not required dimensional standards."

#gc Building Form/Characteristics Plans (Sheet 5-10)

36. Per the user guide, provide a table/matrix of housing types, a representable graphic, and brief description. Provide Typical Building floor plans or lot layouts and architectural elevations or renderings.
Applicant Response: Renderings are included on the Home Diversity sheet.
Town Response: In lieu of a table/matrix, please provide a brief description of the

applicability at the top of each sheet (as indicated on the redlines)

Applicant 3rd submittal response: The note has been added.

Town 3rd review response: Resolved

37. Overall Sheets 7-11 are unclear in their organization. The outline of the sections is inconsistent and hard to track. (e.g section 1.A.I.A. under single family detached versus 1.a.i.(A)(1) under single family detached). Section (C) Townhomes is unclear by its indent if it is under b. Building Orientation ii. Design Standards. Because of indenting and the outline, it is hard to tell what applies to duplexes or both duplex and townhomes.

Applicant Response: This section has been reformatted

Town Response: See sheet redlines where outline lettering/numbering can be improved. Example of outline lettering and numbering below. Additionally, the orders of sections shall duplicate between sections, such as Architecture Character is always the second section. Try to match section names such as "Building Orientation" and "Orientation to the Street". Example images should be directly below the text they are explaining or given a caption.

Applicant 3rd submittal response: The outlined lettering/numbering was updated and tried to match the same order of sections.

Town 3rd review response: Resolved

38. There is mixing of the terms Multi-Family, Mixed-Use, and Commercial when the title of the page may say otherwise. Applicant Response: The titles for each sheet have been updated and formatted to include information for only each type of development standard. The language has also been cleaned up so that terms are more concise for each type. Town Response: Resolved

- a. Sheet 7 shall be labeled "Single Family Detached Development Standards" and fit exclusively all single-family detached standards on that sheet.
- b. Sheet 8 shall be labeled "Single Family Attached Development Standards" and fit exclusively all single-family attached standards on that sheet.
- c. Sheet 9 shall be labeled "Multi-Family Development Standards".
- d. Sheet 10-11 shall be labeled "Commercial Development Standards".

39. Please add a section for Community Amenity as it is a use on the concept plan.

Applicant Response: The Community Amenity area is essentially a "private park." It will have similar amenities and uses to a typical park with a potential pool facility similar to the Westerly pool facility.

Town Response: Per comments above regarding underlying zone district, unless included in the PD Development Guide, the Community Area will default to UDC requirements for public institution (UDC 10-6-8.B) including setbacks (UDC 10-4-2). If not, please add a Community Area development standards section and add Community Amenity row on Dimensional Standards Summary Table.

Applicant 3rd submittal response: At this time, we believe the PLI standards are appropriate.

Town 3rd review response: Resolved

40. Overall, it is unclear if live/work is "mixed-use" and under what section of standards would it apply. Please clarify.

Applicant Response: Live/work units are essentially Townhomes with the potential for main floor office/retail

Town Response: See comment 36b that Single Family Attached standards will apply to live/work units if that is the intent that they be treated as Townhomes in development standards.

Applicant 3rd submittal response: The standards for Single Family Attached will work

for the intent of the Live/Work units.

Town 3rd review response: Resolved

41. Overall, it does not appear there are large mixed-use buildings in the Concept Plan the Multi-Family Development Standards section would apply to but the section frequently refers to "mixed-use". If the intent is for Multi-Family as indicated on the Concept Plan is allowed ground floor retail and may be mixed use, please indicate that in the land use labels and development standards. Applicant Response: Changed the Mixed-Use references in this section to Multi Family for clarification. Town Response: Resolved
42. Overall, parking requirements should be consistently located. Some parking requirements are listed on the dimensional standards table on Sheet 5 and should be removed. Some parking requirements are listed under the development standards by use/lot type. Either located parking requirements under development standards by use/lot type or make a single parking requirement sheet. Applicant Response: Provided a Parking Requirement chart Town Response: Resolved. Parking Requirement Chart on single sheet provided.
43. [Sheet 7] Regarding item #1 under enhanced elevations, windows of "sufficient size" is not enforceable. Please provide a minimum area of the window. Town standards dictate a minimum of 8sf of glass area. Applicant Response: Added the minimum square footage. Town Response: Resolved
44. [Sheet 8] Under Single Family Attached Architectural Standards 1.b.ii.(A)(2), please consistently use the term "garden court" as it what the UDC term is. UDC states "Each residential lot shall be provided with lot frontage on a street, garden court, or pocket park". Please use similar language. Applicant Response: Updated the reference to the above. Town Response: Resolved
45. [Sheet 8] Under Single Family Attached Architectural Standards 1.c.ii.(D), please revise roof slope is 6:12 not 16:12. Applicant Response: Corrected. Town Response: Resolved
46. [Sheet 8] Under Single Family Attached Architectural Standards 1.c.ii.(C) "the maximum length of any townhome building shall be 156 feet." needs to be moved to the section with the maximum number of dwelling units in a townhome building as these are similar standards that would need to be reviewed together. Applicant Response: Moved the standard to the section with similar criteria. Town Response: Apologies but please revert to including maximum length to under II. Architectural Character B. Design Standards [Sheet 7]. Applicant 3rd submittal response: The maximum length was added back to this section. Town 3rd review response: Resolved
47. [Sheet 8] Under e. Materials, it references "Multi-Family" repeated. It is unclear if Multi-Family is a typo that needs removed, or if this section is incorrectly located. Applicant Response: Multi-family does not pertain to this section since it pertains to duplexes. "Multi-family" has been removed from this section. Town Response: Resolved
48. [Sheet 8] Under A. General Multi-Family Standards, move "Exterior Building Lighting" item to Lighting Standards with Overall Photometric Plan on Sheet 15. Please coordinate all lighting standards with Overall Photometric Plan (sheet 15) so that lighting standards are consistently in one location. Applicant Response: All the lighting standards have been moved to the Overall Photometric Plan.

Town Response: Same comment applies to Commercial Development Standards. Move Area Lighting section to Overall Photometric Plan.

Applicant 3rd submittal response: The lighting section of the Commercial Development Standards has been moved to the Overall Lighting Plan.

Town 3rd review response: Resolved

49. [Sheet 8-g] replace "PUD" with "PD" and "UDO" with "UDC" Applicant Response: These terms have been corrected. Town Response: Resolved
50. [Sheet 8] Under B. Mixed Use Site Standards, remove "setbacks and building separations shall be measured from the street right-of-way or property lot line". This is not a variation from the UDC and would be a footnote with the dimensional standards section if so. Applicant Response: This standard has been removed. Town Response: Resolved
51. [Sheet 8] Under B. Mixed Use Site Standards, remove "see community design planned unit development standards for landscape requirements within front, side and rear setback areas" unless adding a landscape requirement section to the PD. Applicant Response: This standard has been removed. Town Response: Resolved
52. [Sheet 9] Under 1. Building Mass, d. list of items should be under c. which indicates a list of items to choose from Applicant Response: This list has been moved to the correct location. Town Response: Resolved
53. [Sheet 9] under A. Commercial Standards "it is the intent of this section that the following qualitative and quantitative standards serve as general guidelines in the review of site plans and building elevations. It is not expected that every development will meet all of the following standards, but that the principles of good design be applied in the best combination determined by the use, nature of the site, and location of the development. Commercial buildings and streetscape design shall activate public right-of-ways to the maximum extent possible." This statement makes the entire section un-enforceable. Please remove. Applicant Response: This statement has been removed. Town Response: Resolved
54. [Sheet 9] Under B. Commercial Site Standards, remove "setbacks and building separations shall be measured from the street right-of-way or property lot line". This is not a variation from the UDC and would be with the dimensional standards section if so. Applicant Response: This statement has been removed. Town Response: Resolved
55. [Sheet 9] Under B. Commercial Site Standards, remove "commercial landscape standards should be referenced for landscape requirements and allowed features within setback areas" unless adding a landscape requirement section to the PD. If proposing landscape standards, they should be under separate landscape standard section. See Sheet 16 regarding landscaping comments. Applicant Response: This standard has been removed. Town Response: Resolved
56. [Sheet 9] Under B. Commercial Site Standards, remove "internal connectivity will be determined at time of final pd, but should promote pedestrian connections to major trails/open space corridors and the surrounding communities". This does create an enforceable statement. There should not be references to "final PD". This may reference the parks, open, space, and trails plan, if applicable. Applicant Response: Removed standard. Town Response: Resolved
57. [Sheet 9] Under B. Commercial Site Standards, move item 4 list of allowable encroachments to the dimensional standards table footnotes. Applicant Response: The list of allowable encroachments has been moved to the dimensional standards table. Town Response: Resolved

58. [Sheet 9/10] Under 5. Parking Lots, remove item c paving materials statement as it is not a variation from the UDC Applicant Response: Removed standard. Town Response: Resolved
59. [Sheet 10] under C. Commercial Architecture Standards, please remove "wall-mounted signage shall also be on the building faces adjacent to the right-of-way" unless you provide a full sign standard section. Applicant Response: Removed standard. Town Response: Resolved
60. [Sheet 10] under C. Commercial Architecture Standards item 1.c, define "main street". Applicant Response: Main street is identified on the Concept Plan. Town Response: This label could not be found on Sheet 4. Applicant 3rd submittal response: The label has been included on the Concept Plan. Town 3rd review response: Resolved
61. [Sheet 10] under C. Commercial Architecture Standards item 1.c, Describe what four-sided architecture means. Applicant Response: Four-sided architecture has been defined. Town Response: Staff would like clarity if this would apply to an elevation facing a commercial alley. Applicant 3rd submittal response: The wording has been changed to "on all sides of the building that are visible to the street, main pedestrian walkways, or parking areas." Town 3rd review response: Resolved
62. [Sheet 10] under C. Commercial Architecture Standards item 1.c, provide separate Drive Through standard section. Applicant Response: Minimized the section and clarified which standards apply as a separate section. Town Response: Resolved
63. [Sheet 10] "third-story step back is not required" should be remove or make separate requirement. This is not appropriately located. Applicant Response: Removed standard. Town Response: Resolved
64. [Sheet 10] Table 1 move to the dimensional standard section. Applicant Response: Removed standard Town Response: Resolved
65. [Sheet 10] Table 1 - Please provide more information regarding the minimum open space requirements. Open Space Requirements should be part of Parks and Open Space section (sheet 16) if creating additional standards for commercial development to provide dedicated open space. If this is a requirement for non-dedicated land, please refer to it as "private open space" or "private landscape area" Applicant Response: Changed category to "Private" open space/landscape requirement. Town Response: Staff could not find this section in the 3rd Submittal. Minimum private open space requirements appear to be removed. Applicant 3rd submittal response: We do not intend to have minimum private open space requirements. Town 3rd review response: Resolved
66. [Sheet 11] Examples may be provided but should not be the subject of the PD standard text. Please rewrite this section as guidelines or requirements. Applicant Response: Minimized the section and clarified which standards apply. Town Response: Disclaimer should be removed from Standards text and read as caption to the photo. Copy example disclaimer from sheet 9 to sheet 10 to accompany the additional photos. Applicant 3rd submittal response: The disclaimer has been copied to the additional photos. Town 3rd review response: Resolved

122. [Sheet 6 Single Family Attached Development Standards] Throughout Architectural Variety section, please differentiate between variety amongst individual units in a single building and variety of buildings along a block face. Where possible, please use the same language as the Single Family Detached standards.
Applicant 3rd submittal response: We have clarified the differentiation amongst individual units and entire buildings. We also used similar language.
Town 3rd review response: Resolved
123. [Sheet 8 Multi Family Development Standards] Why is this not included in Single Family or Commercial? Please include there if applicable.
Applicant 3rd submittal response: We have deleted this text.
Town 3rd review response: Resolved
124. [Sheet 11 Parking Standards] Commercial parking requirements still need a base ratio of spaces per gross floor area even if a shared parking agreement is utilized. Unless otherwise stated, the Commercial parking requirement will be used for Community Amenity.
Applicant 3rd submittal response: Understood.
Town 3rd review response: Resolved
125. [Sheet 10 Dimensional Standards]: Does note 2 apply to ADUs when there is not a garage present?
Applicant 3rd submittal response: We anticipate having garages but have added that an ADU could be a part of the garage, likely second level.
Town 3rd review response: Resolved
139. **New comment at 3rd submittal: At first review of the commercial dimensional standards, please remove the "minimum parking setback" from the Front on Garden Court requirement as parking would not be allowed to front on a garden court.**

#gd Illustrative Concept Plans – not provided. No comment.

#ge Utility Concept Plan (Sheet 12) – no comment

67. Depict locations of existing overhead electric lines (along WCR 10) and electric distribution per the ALTA Applicant RESPONSE: The existing overhead electric lines are now shown. Town Response: Resolved

gf Undermining Plan (Sheet 13) – see CGS comments. Please follow the direction provided by Colorado Geologic Survey regarding geotechnical considerations and mine subsidence as these present potentially significant impacts which could alter development

68. Please show mine shaft, as well as are known, on this sheet and all sheets.
Applicant RESPONSE: The approximate locations of the mine shafts are now shown.
Town Response: Per UDC 10-6-13, Mineshafts may be located in a street right-of-way, tract, or in a nonresidential lot with an easement restricted for parking, open space or landscape use. Any modifications to this provision proposed by the applicant for town consideration shall be in compliance with recommendations from the geological and geotechnical hazards reports and the Colorado Geological Survey. Please see CGS comments. Please provide Undermining Plan as its own separate sheet with Subsidence Zones requirements from CGS (such as foundation lengths) and shaft setbacks diagramed on the plan.
Applicant 3rd submittal response: Please see separate CGS comment response letter.

Town 3rd review response: **Resolved. Planning staff defers to any further CGS comments. This will need to be additionally recorded with each plat.**

69. Staff is concerned about the undermining impacting the developability of the larger multi-family buildings in Phase 1. Applicant RESPONSE: An updated subsidence report has been included with this submittal Town Response: Multi-family buildings where located in Subsidence Zone A will be subject to the foundation length maximum and two-story maximum per CGS comments.

Applicant 3rd submittal response: Please see separate CGS comment response letter.

Town 3rd review response: **Resolved. Planning staff defers to any further CGS comments. This will be reviewed at site plan for Multifamily.**

#9g Oil/gas plan (Sheet 13) – no comment

70. Please remove the separate Oil and Gas exhibit as it is duplicative of Sheet 13 of the PD zone map and guide document Applicant Response: Removed. Town Response: Resolved
71. Please note "to be reduced by recording of Final Plat" to oil & gas setback to lot line. Indicate that lots proposed will not be in violation of setbacks at Final Plat recording. Applicant RESPONSE: The additional text above has been added to the legend. Town Response: Resolved

#9h Parking, Loading, and vehicular and pedestrian circulation

72. Please provide two separate sheets for Circulation Plan and Streetscape Plan. Provide a circulation plan that depicts all modes of transportation – vehicular, bicycle, and pedestrian – per UDC 10-6-5.D.2.a. Trails as depicted on Sheet 16 Parks - Open Space and Landscape Character should be repeated on the Circulation Plan. Please relabel the Circulation Plan provided as the Streetscape Plan to remain in conjunction with the Road Sections. Streetscape Plan and Road Section comments below. Applicant Response: We have created (3) separate sheets and graphics for the "Streetscape Plan" and (2) "Circulation Plans" which shows the pedestrian trails and bicycle circulation. We will add the road sections to the Streetscape Plan when available from the Town of Erie. Town Response: Resolved
73. At first submittal, parking was adequately depicted on the Concept Plan to indicate that sufficient parking may be provided per land use. See above comment #25 regarding providing parking requirements throughout the development standards or in one consolidated section. Applicant Response: Parking standards will be met in the detailed site plans, as appropriate. Town Response: Resolved
74. EV Parking as required through the Pre-DA was not mentioned. Please provide in the same location as other parking standards the following statement: "Electric Vehicle charging shall be provided per building code with the additional minimum standards as follows. The Development shall include a minimum of 3 publicly accessible Level 3 Electric Vehicle ("EV") charging stations in convenient locations, as approved by the Town. In addition, at least 2% of the total parking spaces for multifamily units in the Development shall be EV charging spaces, and an additional 5% of the total parking spaces for multifamily units shall be EV charging-ready spaces." Applicant Town Response: Resolved

#9i Signage Plan (Sheet 17)

75. Please provide characteristics for monument signs such as height, maximum gross surface area, and material if specified and deviating from UDC 10-6-12. Applicant Response: Added that we intend to meet UDC requirements Town Response: Resolved.
76. The PD only addresses monument signs. Please confirm UDC 10-6-12 will apply to all other signs. Are separate sign standards necessary for Live-Work units? Applicant Response: The signage for live-work units will also need to meet UCD requirements. Town Response: Resolved
126. [Sheet 17 Signage Plan] Please provide a key map of planned Monument Signs. Per UDC, only one monument sign per street frontage is allowed for each development. If multiple monument signs are desired along Erie Parkway, a monument sign plan shall be provided in the PD Development Guide. Applicant 3rd submittal response: Created a key map with the monument signs. Town 3rd review response: Upon review of the monument sign key map per UDC 10-6-12.H.3 "Monument signs located along Erie Parkway shall not be located in an easement or a landscaped tract." Please add note to sheet that monument signs shall not be located in landscape tracts or within easements without permission of easement holder.

#gj Overall Lighting Plan (Sheet 17)

77. Please provide design characteristics such as height or other characteristics if deviating from UDC 10-6-10. Please consolidate lighting standards to a single section. They should not be in the Commercial Development Standards and this section. The concepts and themes provided on Sheet 15 are not enforceable and may provide conflict with the code. For example, "Only be on when needed" should be tied to a time period such as turned off from 10pm to 6am or "All outdoor light not necessary for security purposes shall be reduced, activated by motion sensor detectors, or turned off during non-operating hours." This may be labeled as an "intent" statement but they need to be correlated to enforceable standards. Applicant Response: Added that we intend to meet UDC requirements. Town Response: Some lighting text still exists on Sheet 9 Commercial Development standards and has been redlined to move to Sheet 17 Overall Photometric Plan
78. Establish fixture styles Applicant Response: The fixtures will meet UDC requirements. Town Response: Resolved
127. [Sheet 17 Overall Lighting Plan] Staff have reconsidered the naming of the required sheet and would prefer it be called Overall "Lighting" Plan Applicant 3rd submittal response: We have changed the title of this section. Town 3rd review response: Resolved
128. [Sheet 17 Overall Lighting Plan] If you are using the same fixtures of the existing Westerly neighborhood. Please provide a scaled fixture design with height label. Applicant 3rd submittal response: We have added the fixture with the height labeled. Town 3rd review response: Resolved

#gk Parks and Open Space Plan (Sheet 22-27) – Please refer to any additional comments by DNS.

79. Please separate the Landscape concept from the Parks and Open Space Plan. Provide a Parks and Open Space concept narrative describing how the PD meets the

UDC, Town Standards and Specifications, and Mixed Use Vision Guide Requirements.
Applicant Response: A separate park and open space narrative has been added.

Town Response: Resolved

80. Please show detention ponds on Parks Plan as indicated on Concept Plan. Pond B and Pond E as indicated on Sheet 12: Utility Concept Plan are indicated as pocket parks on Sheet 16: Parks and Open Space Plan. Please describe in the concept narrative how drainage ponds will be utilized as parks and in compliance with UDC 10-6-3.B.4.b.ii. *Usability*: "At least 75 percent of the dedicated land required by this section shall be well-drained, level, and suitable for playing fields and recreational facilities" and UDC 10-6-4.E.6.f: "Credit towards minimum park or open space requirements may be available for portions of detention ponds that are outside the area required to store water quality volume, provided they are designed according to sections 10-6-4 E.6.a and b, and are useable by residents as parks or open space. To be eligible for this credit, detention basins shall not be more than an average of three feet deep and shall also meet at least one of the use definitions of parks and open space. Average depth shall be measured from existing grade". Applicant Response: At this time, we do not anticipate credit for the detention ponds. Town Response: Resolved

81. All trails shall be at least 10-ft wide per the Pre-DA. Applicant Per the response from the "North Westerly – PD 1st Review Applicant Question Response" dated 4/25/2024, the Town will only require the 10' wide trail for the spine trail, and all other trails can remain as 8'. Town Response: Resolved

82. Please include Community Gardens in the Parks and Open Space Plan and compliance with item #10 of the Pre-Development Agreement.
"The Development shall provide community gardens, edible landscaping, or on-site urban agriculture accessible to all residents of the Development, to be served by potable water. Edible landscaping is the practice of fully integrating a variety of edible plants into ornamental landscapes. Community gardens shall not count toward pocket park requirements and shall not be owned or maintained by the Town." Applicant Response: Since we are only at the zoning stage, the community gardens have been included as part of narrative for the future development/requirements of the parks and open space plans. Town Response: Resolved

83. Please note the "Water Tank Land" *may* count as park space per the Pre-DA Applicant Response: This has been noted and included in our Parks & Open Space Credit chart. Town Response: Resolved

84. Please indicate the significant [at-grade] road crossings and underpasses per the Pre-DA at Erie Parkway, CR5, and CR7 to neighboring communities, in particular Westerly, Colliers Hill and Gateway. Applicant Response: We will work with the Town on alternatives and will be determined with the Preliminary Plat. Town Response: Connections to adjacent neighborhoods shall be labeled and noted as at-grade crosswalk, overpass, or underpass on Pedestrian Circulation Plan (Sheet 15) if trails are not shown on Parks and Open Space Concept Plan (Sheet 23). Pedestrian Tunnel to Westerly at Erie Parkway shall be labeled "pedestrian underpass". This should be for every connection out of the PD boundary. Particular areas of interest were marked in the redlines. This will be determined at time of Final Plat per note, but staff would like to get a better understanding of connections.

Applicant 3rd submittal response: All pedestrian crossing will be at-grade crosswalks, except for the underpass which is labeled. A note has been provided to clarify this.

Town 3rd review response: Resolved

85. Please designate types of parks per the UDC, Town standards or Mixed Use Vision Guide designations of 100% / 40% / 10% credit open space. "Open space in easements" shall be labeled as *private* open space if seeking no credit or as *dedicated* open space with percentage if seeking credit. Parks and Open space are separate buckets of requirements. Do not show one total for parks and open space. Applicant Response: The Parks and Open Space chart has been updated to incorporate the park and open space requirements and designations per the Mixed Use Vision Guide. Town Response: Resolved. Please refer to any comments by DNS.
86. As indicated above, the Town is still in conversation with the applicant regarding the Town's new Mixed Use Vision Guide. An example of a table that might indicate Parks and Open Space is shown below. **Numbers are just an example and should be verified.** Applicant Response: The Parks and Open Space chart has been updated to incorporate the park and open space requirements and designations per the Mixed Use Vision Guide. Town Response: Resolved. Please refer to any comments by DNS.
129. Remove pictures unless they are showing a specific requirement. If so, please add a caption stating what requirement they are demonstrating
Applicant 3rd submittal response: We have updated the pictures and added a caption.
Town 3rd review response: Please remove pictures and Sheets 25-28 as they are not standards that can be enforced as part of a PD Development Guide.

#9l Typical Road Sections & Streetscape Plans (Sheet 14) -

87. Per the PD User Guide, reference specific land use areas where they would be used in relationship with the Streetscape Plan.
Applicant Response: We have not received any updates from the Town regarding the latest street standards. Currently, we have listed the types of ROW widths we are proposing at this time and have removed the street sections for now.
Town Response: Please show building types from Concept Plan (single family detached front load, commercial, pocket park) faded back as underlay to Streetscape Plan on Sheet 14 so that staff can review streets in conjunction with land use.
Applicant 3rd submittal response: We have added the building type underlay.
Town 3rd review response: Resolved
88. Please label the classification of each road section.
Applicant Response: See comment #88 Town Response: Please update the legend with the street classifications and no width as described in the June 3rd memo.
Legend should include:
a. Major Collector with Median
b. Minor Collector on a Designated Bikeway
c. Minor Collector
d. Local Street
Because the final street sections have not been determined, staff would prefer if the Streetscape Plan described street classifications without dictating widths. Street Classifications are determined by the AADT. The mark ups on Sheet 14 show what staff believes could be minor collectors based on adjacent land uses. Staff recommends the applicant work with their traffic consultant to determine the AADT of what was shown as green and light blue streets on the Streetscape Plan to determine if minor or major collector classifications are required.
Applicant 3rd submittal response: We have updated the street classifications and

map.

Town 3rd review response: Resolved

89. Per the Pre-DA item 15.d. Other Roadways. "Developer shall provide north/south and east/west minor arterial, neighborhood, and collector streets across the Property, in an orthogonal alignment to the extent possible, as generally depicted on connectivity plan attached hereto as Exhibit C", the major connections as depicted in Exhibit C of the Pre-DA shall be classified as at a minimum collector streets. The major east/west connection from Flora View Drive to Gateway shall be at a minimum a collector classification. Additionally, the commercial designated east/west major connection to Gateway shall be designated a collector.

Applicant Response: Per the response from the "North Westerly – PD Interim Feedback" dated 6/3/2024: Director of Planning & Development, Sarah Nurmela, and case planner, Aly Burkhalter, met with Fox Tuttle on May 29th and anticipate updated sketch design on June 14th. Staff will allow the applicant to move forward with resubmittal showing a road into the existing school roundabout and dashed lines of future realignment (as shown below). To make sure this is addressed in the future but does not hold up the PD review process, staff would like to consider amending the Pre-Development Agreement that this be resolved prior to the approval of the Preliminary Plat.

Town Response: Staff is continuing to work with Town's consultant on the Flora View intersection. Please show a dashed connection to Flora View per redlines and note that it will be determined per the Pre-DA prior to Final Plat

Applicant 3rd submittal response: We have added a dashed line to show this alternative connection and added a note.

Town 3rd review response: Resolved

90. Front loaded homes will not be allowed on Collector streets. Alley will not be allowed direct access onto Collector streets. Applicant Response: Homes and alleys along the collectors have been updated accordingly. Town Response: Front Loaded homes are shown near the elementary/middle school.

Applicant 3rd submittal response: Front loaded homes have been relocated from fronting on collectors.

Town 3rd review response: Resolved

91. Road sections should show a commitment to multi-modal circulation. Separated bicycle facilities shall be provided on collector streets and encouraged in the design of local streets. Applicant Response: We are proposing a shared street network with a multi-use off-street trail. Town Response: Bicycle Connectivity Plan (Sheet 16) was provided with second submittal. The legend on the Bicycle Connectivity Plan should reflect the bicycle facilities as designated on the Streetscape Plan (Road Classifications) such as Separated On-Street Bike Lane. The main commercial thoroughfare was recommended to be a Minor Collector on a Designated Bikeway and shall have bicycle facilities. If local streets are intended to be shared streets, they should also be shown on the Bicycle Connectivity Plan, similarly to how local streets were shown as on-street pedestrian connection on the Pedestrian Connectivity Plan.

Applicant 3rd submittal response: The main commercial thoroughfare has been updated to a minor collector with designated bike lanes. The local streets have been added to the bicycle circulation map.

Town 3rd review response: Resolved

92. Travel lanes may be reduced. Minimum drive lane width outside striping and shoulder for local street is 8-ft and for collector street is 10-ft. For clarity on the Two-

Way Yield-2S-28/51 "Local" street, please show two 8-ft travel lanes and 6-ft parking on both sides.

Applicant Response: We have not received any updates from the Town regarding the latest street standards. Currently, we have listed the types of ROW widths we are proposing at this time and have removed the street sections for now.

Town Response: Staff will continue to work with the applicant

Applicant 3rd submittal response: Staff will continue to work with the applicant

Town 3rd review response: Resolved. Street sections have been removed from the PD document. The street classifications are shown correctly on the Streetscape Plan. Lane width and street cross section per each classification indicated on the Streetscape Plan will be reviewed at time of plat.

130. [Sheet 14 Streetscape Plan] Similar to Comment #84, please add symbology for what the intended connections outside the site will be, such as signalized intersection, right in-right out, etc.

Applicant 3rd submittal response: The intersections have been labeled with an estimated proposed signalization and access. Future traffic studies will determine the final

Town 3rd review response: Resolved

#9m Phasing Plan (Sheet 17)

93. Please show phasing boundaries to edge of right-of-way, lot, or tract rather than centerline of right-of-way or through tracts. A thinner boundary line may be required.

Applicant Response: We have updated the phasing plan boundaries so that they include to the edge of right of way or tract. Town Response: Resolved

94. Please provide a land summary chart per phase showing number of dwelling units by type and parks and open space by type per phase. Applicant Response: We have provided a phasing plan with a summary chart per phase. Town Response: Resolved

140. New comment at 3rd submittal: Please add commercial square footage to phasing plan

#9n Landscaping Plan (Sheet 18-21)

95. Please separate the Landscape concept from the Parks and Open Space Plan. In lieu of a plan, you may provide graphic representations of the concept and intent. See comment #40 and #44 regarding landscaping standards. Landscaping standards shall also be separated into public versus private landscaping. See DNS comments.

Applicant Response: We have separated the Landscape Concept from the Parks and Open Space concept. We have included imagery to show representations of the types of landscape, parks and open space that are envisioned for this community.

Town Response: To further differentiate between the two sections, please update the title to "Private" Landscape Concept. Per your note "Any landscaping within the public right-of-way, trail corridors, and parks shall follow the town of Erie landscape standards.", please remove Public Streetscapes content from this sheet as it would be per Town standards.

Applicant 3rd submittal response: We are articulating the design character. For example, the Town of Erie Landscape Standards could be met in a number of different design styles/character because the standards primarily deal with minimum required numbers of plants, not how those plantings are organized. We intend to use the TOE standards but want to have an overall character theme and

organization amongst the public spaces and residential landscapes.

Town 3rd review response: Please provide a landscape character plan (can be a bubble diagram) that shows where these character areas are on a plan. The statements and standards indicate "urban" neighborhoods which are not indicated on a plan anywhere in the PD. If you do not want to provide a plan and standards and want to default to the Town UDC, you may remove the Landscape Concept and Character sheets 19-23.

96. Please indicate conformance with UDC 10-6-4.F.2. Water efficiency in landscape design. Staff recommends making a commitment to xeric landscaping and reduction of turf. Applicant Response: Added criteria for plantings to be xeric, low-water or drought tolerant; turf sod should be a low-water species variety; and that turf sod shall be used in areas of usability or pedestrian-oriented/residential walkways and use native seeding within the open areas. Town Response: Resolved.

131. Remove pictures unless they are showing a specific requirement. If so, please add a caption stating what requirement they are demonstrating. Many of the images are showing non-functional turf in contradiction to the water wise landscaping the Town is encouraging.

Applicant 3rd submittal response: The pictures have been labeled.

Town 3rd review response: Please see comment 95. Please remove photo if not resolving the request for Landscape Plan and standards.

132. Although the section is for intent and concept, because there are no quantifiable standards such as percentage live plant material, quantity of shrubs or trees, or percentage of permeable surface, the PD will default to the Town standards and code in place at the time of review.

Applicant 3rd submittal response: Acknowledged.

Town 3rd review response: Resolved

133. The intent and character does not address Commercial Mixed-Use Landscape Standards or the Community Amenity (Public Institutional zone district) Landscape Standards.

Applicant 3rd submittal response: We have added verbiage to clarify that this section is also addressing the commercial mixed-use and community amenity landscapes.

Town 3rd review response: Resolved

#90 Environmental Plan (Sheet 29) – no comment

#10a. An Assessment of Impact Report

97. Section I. PD Map has language referring to the previous annexation. Please remove language regarding "proposed" boundaries of the municipality and "proposed annexation". Applicant Response: Removed "proposed" for the boundaries and the annexation. Town Response: Resolved

98. Section 3. Please update that each perimeter street along the property frontage will be improved according to the preliminary and final plat.

Applicant Response: Added that the improvements will be according to the preliminary and final plat.

Town Response: Please update to state only per plat and not per Transportation Plan: "Each perimeter street along the property frontage ~~will be improved according to the street classifications presented in the Erie Transportation Plan by Felsburg Holt & Ullevig dated January 2018 and~~ will be improved according to the preliminary and final plat."

Applicant 3rd submittal response: The note has been updated.

Town 3rd review response: Assessment of Impact was not provided in 3rd submittal. Please update to state: "Each perimeter street along the property frontage will be improved according to the preliminary and final plat."

99. Section 3. Roadway Network references culs-de-sac. Cul-de-sac are not proposed in the PD and will not be approved. Is this referring to dead end alleys or stubbed streets for future connections? Applicant Response: Removed cul-de-sacs and replaced with dead end alleys or stubbed streets. Town Response: Resolved
100. Section 8. Street Maintenance – Maintenance of sidewalks and tree lawns shall be provided by the adjacent property owner or HOA. Applicant Response: Added that the maintenance of sidewalks and tree lawns shall be provided by adjacent property owner or HOA. Town Response: Resolved
101. The Town of Erie does not have its own Fire Protection District. Mountain View Fire Protection District is the fire protection district. Applicant Response: Replaced with Mountain View Fire Protection District. Town Response: Resolved
102. Urban Drainage and Flood Control District is now Mile High Flood District Applicant Response: Updated to Mile High Flood District. Town Response: Resolved
103. The proposed PD Zoning Area is not encompassed in the Northern Water Conservancy District and will require petition for inclusion. Please see referral comments. Applicant Response: We will work with the Northern Water Conservancy for a petition for inclusion. Town Response: Resolved
104. V. School District Impact. It is 2,300 dwelling units not 2,300 single family residential units. Applicant Response: Changed to dwelling units and updated the # to current count. Town Response: Please add "will be determined at Final Plat". Please note that although some housing is identified as age-restricted, the Town is unable to waive school fees for age-restricted housing.
- Applicant 3rd submittal response: Acknowledged.
- Town 3rd review response: Assessment of Impact was not provided in 3rd submittal. : Please add "will be determined at Final Plat".

#10b. A Market Study or Economic Impact Study

105. Please provide a Market Study or Economic Impact Study as there is commercial uses proposed. Applicant Response: The consultant is working with the Town of Erie and the report is forthcoming. Town Response: Acknowledged. Please see Economic Development comments
Applicant 3rd submittal response: Please see response to Economic Development comments.
Town 3rd review response: Resolved. Market Study provided in 3rd submittal.
106. The Metro District application indicated 220,000sf of commercial. Please clarify the discrepancy between the Metro District 220,000 sf and PD 175,000 sf. Applicant Response: The consultant is working with the Town of Erie and the report is forthcoming to determine the actual square footage that will be proposed. Town Response: Acknowledged. Please see Economic Development comments.
Applicant 3rd submittal response: Please see response to Economic Development comments.
Town 3rd review response: Planning defers to Economic Development's review as to the amount of square footage proposed.

#10c. A Phase I Drainage Report and Plan – no comment

#10d. Traffic Impact Narrative

107. Under Land Use and Access, please make sure the numbers match the highest estimate from the PD Zone Map document. The Home Diversity Plan (sheet 6 of the PD Zone Map and Guide) shows maximums of 770 single family detached, 870 single family attached, 215 multi-family, 445 age-restricted, and 175,000 sf of commercial.
Applicant RESPONSE: Site data has been updated in the narrative.
Town Response: It appears that the numbers on the Home Diversity Plan are still much higher than what is shown on the Traffic Narrative.
Applicant 3rd submittal response: The numbers will match.
Town 3rd review response: Resolved
108. The intersection of Erie Parkway and WCR 7 is signalized Applicant RESPONSE: Text has been revised. Town Response: Resolved
109. WCR 7 is no longer shifting alignment in the updated Transportation Mobility Plan. Applicant RESPONSE: Noted. Town Response: Resolved
110. WCR 10 is paved not gravel Applicant RESPONSE: Noted. Town Response: Resolved

#10e. General Conceptual Utility Report – no comment

#10f. Threatened and Endangered Species, Habitat, and Wetlands report – no comment

#10g. Cultural, Archaeological, and Historical Resource Report and Protection Plan – no comment

#10h. Environmental Hazards Report – no comment

#10j. Soils Report – no comment

#10k. A Geological Report – see CGS comments

111. It is indicated in the Mine Subsidence Report that buildings should be limited to less than 165-ft and two-stories or less in the Subsidence Zone A. It is unclear where this area is indicated on Undermining Plan (Sheet 13 of the PD Zone Map and Guide). Additionally no structures should be located within 25-ft of the capped shafts of the Clayton Mine which was not clearly demarcated on the Undermining Plan. Applicant RESPONSE: An updated subsidence report has been included with this submittal. Town Response: Resolved. Please see comments #68 and #69 above.

#10l. Separate Exhibit providing a comparative chart that lists the UDC regulation that is requested to be modified and the proposed modified PD regulation that will replace it.
- The comparative chart was not provided with the 3rd submittal. Please provide.

112. Please add PD commercial dimensional standards to this comparison.
Applicant Response: Commercial will defer to UDC standards.
Town Response: Commercial dimensional standards were provided on the Dimensional Standards Chart of the PD Development Guide. Please include those

dimensions for comparison on this chart.

Applicant 3rd submittal response: The Commercial standards have been added and defer to the UDC standards.

Town 3rd review response: The commercial dimensional standards were provided and do differ from the UDC standards. Please provide comparative chart.

113. Please compare to all options of LR/MR/HR, such as MR Medium, MR Large SFD and Atch, HR Medium, HR Large SFD and Atch. Please fill out all sections of the chart unless a use is not allowed in the zone district. For example, MR Small should be filled in for Single Family Front Load, but not for Live-Work. Applicant Response: All categories have been added as requested. Town Response: Resolved
114. Remove "1,000-2,499" under HR Small for Front on Street – Minimum Lot Setbacks. Applicant Response: This has been removed. Town Response: Resolved
115. Multifamily lot area should compare to HR Large Atch: 2,500 per DU. Please fill out the comparable setbacks for HR. Applicant Response: This has been added. Town Response: Resolved. See Comment #27
116. Add dimensional standards for Commercial and Community Amenity. Applicant Response: Commercial will defer to UDC Standards, the Community Amenity is essentially a park use similar to the Waypoint in the existing Westerly Community. Town Response: See comment #112. Community Amenity will default to PLI zone district setbacks. Please confirm that is the intent.
Applicant 3rd submittal response: Yes, that is the intent.
Town 3rd review response: Please add note to Dimensional Standards summary table "PLI zone district dimensional standards defer to the Town of Erie Unified Development Code"
134. Staff is concerned about the 5' rear setback on Single Family Front Load homes that they will not have a backyard compared to UDC requirement of 20' rear setback. Can you explain more about the intention for this requirement? The PD's rear setback for alley loaded should differentiate between when an alley is present or not.
Applicant 3rd submittal response: We have updated the rear setback to 15'. All alley-loaded products require the alley to be present for access.
Town 3rd review response: Resolved

#10m. Separate Exhibit showing existing and proposed major easements (i.e. gas lines, overhead utility lines, etc.). – Please provide per comments #6-8

Applicant 3rd submittal response: A separate exhibit showing existing and proposed major easements has been included with this submittal.

Town 3rd review response: Resolved

#11. Any additional information or referral documents as required by the Planning & Development Director, in order to thoroughly review the impacts of the proposed development. – not required at this time

The review process is a cumulative process and dependent on various criteria. We reserve the right to provide further comment(s) and request additional information. Please contact me at 303-981-5985 or aburkhalter@erieco.gov for further clarification. Staff would be happy to schedule a virtual meeting to discuss the comments and answer any questions.

Sincerely,

Aly Burkhalter | Senior Planner

Planning & Development

Pronouns: *She / Her / Hers* ([What's this?](#))



Town of Erie

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NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

COVER SHEET / GENERAL NOTES

PD ZONING LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF WELD, STATE OF COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 16 BEING N 89°30'52" E AND MONUMENTED AS FOLLOWS:

-CENTER 1/4 CORNER OF SECTION 16, BEING A FOUND 3.25" ALUMINUM CAP, LS 6973, RW BAYER ASSOC., PER MON REC DATED 3-1-14.

-EAST 1/4 CORNER OF SECTION 16, BEING A FOUND 2" ALUMINUM CAP IN RANGE BOX, PARTIALLY ILLEGIBLE, PLS 14083, PER MONUMENT RECORD DATED 4-9-96.

BEGINNING AT THE CENTER 1/4 CORNER OF SECTION 16;

THENCE N 89°30'52" E ALONG THE NORTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 16 A DISTANCE OF 2630.74 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF WELD COUNTY ROAD NO. 7 AS DESCRIBED IN BOOK 86 PAGE 273;

THENCE S 00°22'39" E ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 2075.17 FEET TO THE NORTHEAST CORNER OF THAT SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 4925429;

THENCE ALONG THE NORTHERLY BOUNDARY OF SAID SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 4925429 THE FOLLOWING FIVE (5) COURSES;

1) S 89°37'21" W A DISTANCE OF 40.00 FEET;
2) S 00°22'39" E A DISTANCE OF 473.00 FEET;
3) ALONG A CURVE TO THE RIGHT HAVING A CHORD OF S 44°37'59" W 35.36 FEET, A RADIUS OF 25.00 FEET, AN ARC OF 39.28 FEET, AND A DELTA OF 90°01'15";
4) S 89°38'36" W A DISTANCE OF 912.35 FEET;
5) S 00°21'24" E A DISTANCE OF 40.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF ERIE PARKWAY (AKA WELD COUNTY ROAD NO. 8) RECORDED IN BOOK 86 PAGE 273;

THENCE S 89°38'36" W ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 1656.00 FEET;

THENCE S 89°38'17" W CONTINUING ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 1343.47 FEET TO THE SOUTHEAST CORNER OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 3158505;

THENCE N 00°13'30" W ALONG THE EASTERLY BOUNDARY OF SAID PARCEL A DISTANCE OF 1949.87 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 4206840;

THENCE ALONG THE SOUTHERLY, EASTERLY AND NORTHERLY BOUNDARY OF SAID PARCEL OF LAND THE FOLLOWING SIX (6) COURSES:

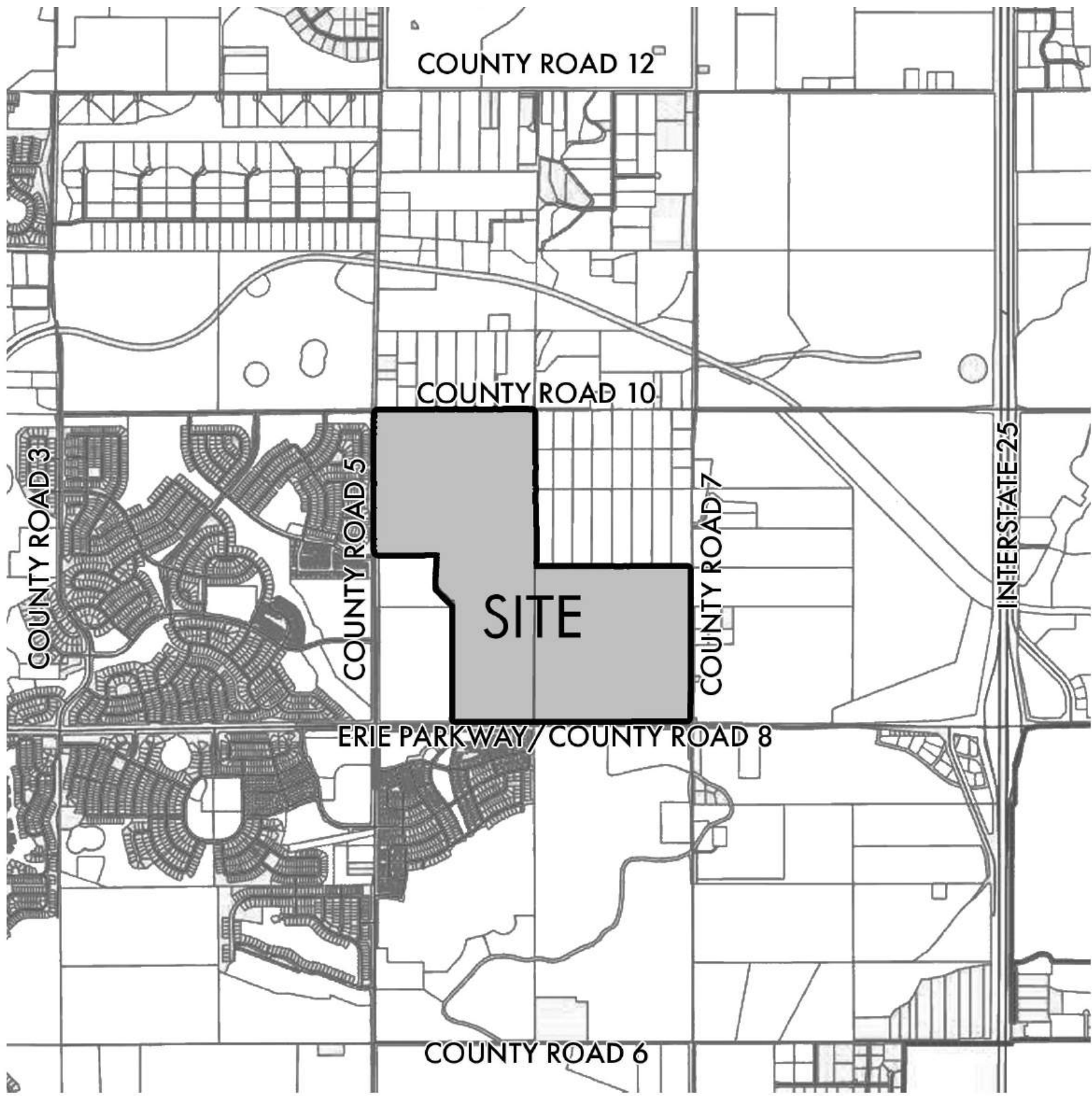
1) N 89°38'27" E A DISTANCE OF 2.00 FEET;
2) N 04°46'24" W A DISTANCE OF 110.00 FEET;
3) S 89°38'27" W A DISTANCE OF 48.00 FEET;
4) N 44°31'51" W A DISTANCE OF 339.83 FEET;
5) N 03°21'55" E A DISTANCE OF 545.00 FEET;
6) S 89°31'06" W A DISTANCE OF 1032.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF WELD COUNTY ROAD NO. 5 RECORDED IN SAID BOOK 86 PAGE 273;

THENCE N 00°12'52" W ALONG SAID EASTERLY RIGHT-OF-WAY LINE A DISTANCE OF 2358.50 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF WELD COUNTY ROAD NO. 10 RECORDED IN SAID BOOK 86 PAGE 273;

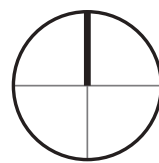
THENCE N 89°23'44" E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 2624.71 FEET TO A POINT ON THE NORTH-SOUTH CENTERLINE OF SAID SECTION 16;

THENCE S 00°18'49" E ALONG SAID NORTH-SOUTH CENTERLINE OF SAID SECTION 16 A DISTANCE OF 2607.31 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 17,026,720 SQUARE FEET OR 390.8797 ACRES MORE OR LESS.



PROJECT VICINITY MAP - 1"=2000'



0' 2000' 4000'
SCALE: 1" = 2,000'-0"

GENERAL NOTES:

- SOME ITEMS CONTAINED WITHIN THE PD WILL BE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE THROUGH PRELIMINARY PLAT AND FINAL PLAT STAGES.
- THE GRAPHIC DRAWINGS CONTAINED WITHIN THIS PD ARE INTENDED TO DEPICT GENERAL LOCATIONS AND ILLUSTRATE CONCEPTS OF THE TEXTUAL PROVISIONS. DURING THE PLATTING PROCESS MINOR VARIATIONS SHOULD BE EXPECTED FOR THE PURPOSE OF ESTABLISHING:
 - FINAL ROAD ALIGNMENTS
 - FINAL CONFIGURATION OF LOT AND TRACT SIZES AND SHAPES
 - FINAL BUILDING ENVELOPES
 - FINAL ACCESS AND PARKING LOCATIONS
 - LANDSCAPE ADJUSTMENTS
- ALL THE PHOTOS AND ILLUSTRATIONS REFERENCED IN THIS PD ARE REPRESENTATIVE OF THE LEVEL OF DESIGN QUALITY IN NORTH WESTERLY. FINAL DESIGNS TO BE SUBMITTED WILL NOT NECESSARILY DUPLICATE THE EXACT ILLUSTRATIONS, BUT WILL CONTAIN THE SAME THEMES AND DIMENSIONS AS SHOWN, AND WILL BE AT THE SAME OR HIGHER LEVEL OF DESIGN QUALITY, EXTENT, AND DETAIL.

OWNER:

NORTH WESTERLY OWNER, LLC
3990 HILLSBORO PIKE, SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: HEIDI MAJERIK
EMAIL: HEIDI.MAJERIK@SOUTHERNLAND.COM

PLANNING CONSULTANTS:

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CARLI GARCIA-RODRIGUEZ

EMAIL: JOHN@PCSGROUPCO.COM
JEFF@PCSGROUPCO.COM
CARLI@PCSGROUPCO.COM

ENGINEERING CONSULTANTS:

KT ENGINEERING
12500 W. 58TH AVE, SUITE 230
720-638-5190
CONTACT: KEN TOLAND
EMAIL: KTOLAND@KTENG.NET

TRAFFIC CONSULTANTS:

LSC TRANSPORTATION CONSULTANTS, INC.
1889 YORK STREET
DENVER, CO 80206
303.333.1105
CONTACT: CHRISTOPHER MCGRANAHAN
EMAIL: CSMCGRANAHAN@LSCTRANS.COM

SHEET INDEX

SHEET 1: COVER SHEET/WRITTEN NARRATIVE
SHEET 2: ZONING MAP
SHEET 3: CONCEPT PLAN
SHEET 4: HOME DIVERSITY PLAN
SHEET 5: SINGLE FAMILY DETACHED DEVELOPMENT STANDARDS
SHEET 6: SINGLE FAMILY ATTACHED DEVELOPMENT STANDARDS
SHEET 7: MULTI-FAMILY DEVELOPMENT STANDARDS
SHEET 8-9: COMMERCIAL DEVELOPMENT STANDARDS
SHEET 10: DEVELOPMENT STANDARDS
SHEET 11: UTILITY CONCEPT PLAN
SHEET 12: OIL & GAS PLAN
SHEET 13: UNDERMINING PLAN
SHEET 14: STREETScape PLAN
SHEET 15: PEDESTRIAN CIRCULATION PLAN
SHEET 16: BICYCLE CONNECTIVITY PLAN
SHEET 17: SIGNAGE PLAN
SHEET 18: OVERALL LIGHTING PLAN
SHEET 19: LANDSCAPE CONCEPT
SHEET 20-22: LANDSCAPE CHARACTER
SHEET 23: PARKS & OPEN SPACE CONCEPT
SHEET 24: PARKS & OPEN SPACE CONCEPT PLAN
SHEET 25-28: PARKS & OPEN SPACE CHARACTER
SHEET 29: PHASING PLAN
SHEET 30: ENVIRONMENTAL PLAN

SURVEYOR'S CERTIFICATE:

I, _____, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS ZONING MAP TRULY AND CORRECTLY REPRESENTS THE ABOVE DESCRIBED LEGAL DESCRIPTIONS FOR EACH ZONE DISTRICT.

I ATTEST THE ABOVE ON THIS ____ DAY OF _____, 20____.

SIGNATURE _____

SURVEYOR'S NAME _____

COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR

_____ (SEAL)

TOWN COUNCIL APPROVAL CERTIFICATE:

THIS ZONING MAP IS TO BE KNOWN AS THE "_____ ZONING MAP" AND IS APPROVED AND ACCEPTED BY ORDINANCE NO. _____, PASSED AND ADOPTED AT A MEETING OF THE TOWN COUNCIL FOR ERIE, COLORADO, HELD ON _____, 20____.

MAYOR _____

ATTEST: _____
TOWN CLERK

CLERK AND RECORDER'S CERTIFICATE:

STATE OF _____)
COUNTY OF _____) SS

I HEREBY CERTIFY THAT HIS ZONING MAP WAS FILED IN MY OFFICE ON THIS _____ DAY OF _____, 20____ A.D.. AND WAS RECORDED AT THE RECEPTION NUMBER _____.

BY: _____
(SIGNATURE)

(COUNTY CLERK AND RECORDER)

PREPARED FOR:

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LAND PLANNING:

SOUTHERN LAND
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DENVER, CO - 80233
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CONTACT: JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/17/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR

SHEET INFO:

COVER SHEET &
WRITTEN NARRATIVE

DRAWN BY:

CGR/JN

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

1
OF 29

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

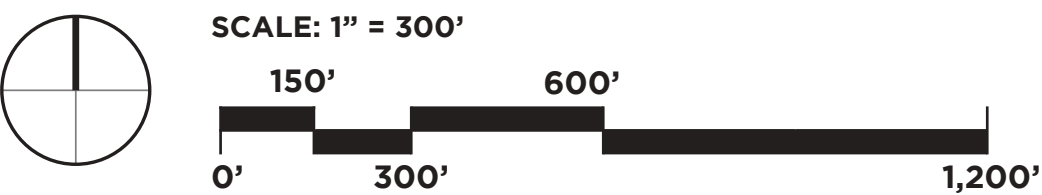
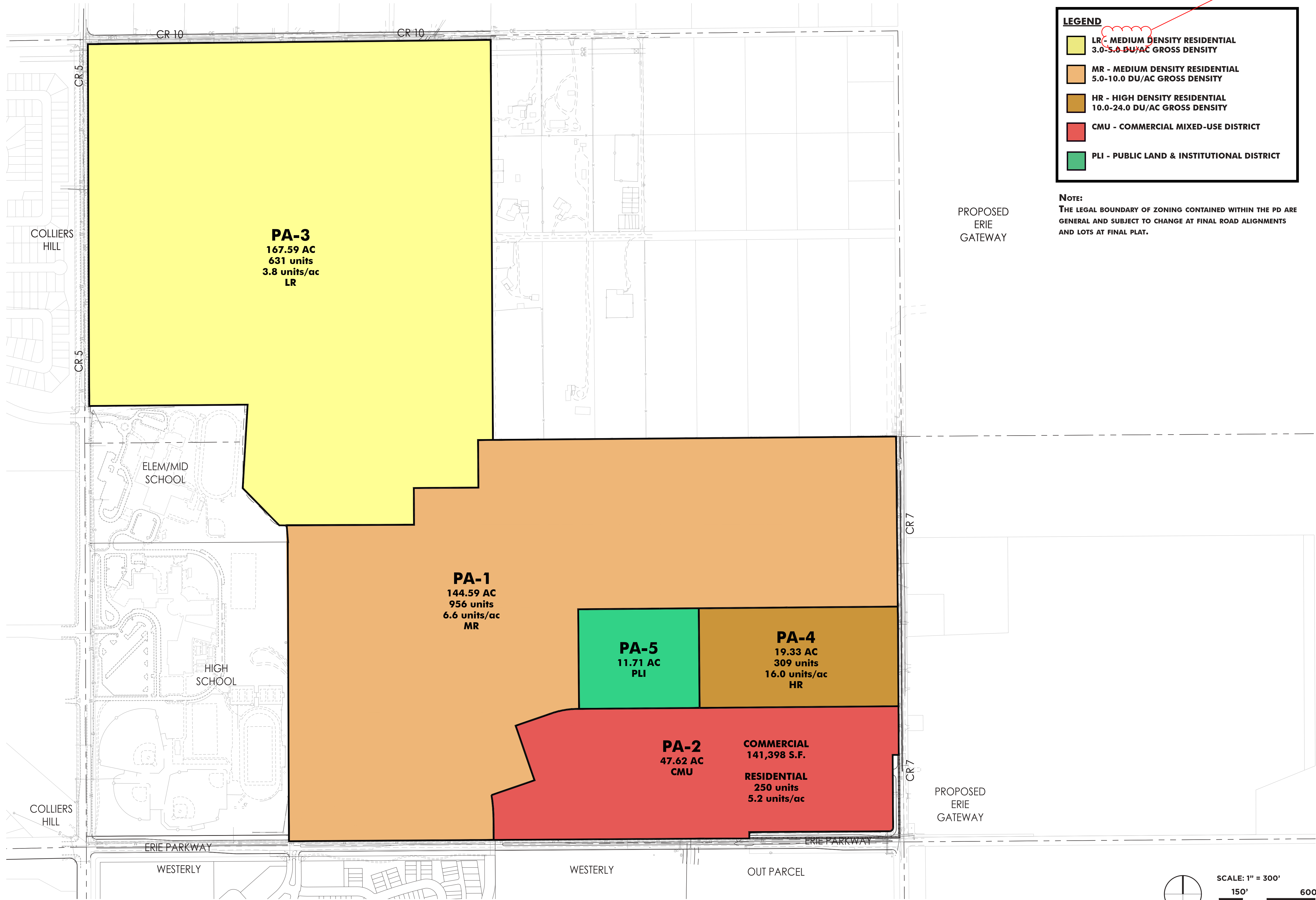
A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024
ZONING MAP

New comment #135 at 3rd
submittal: The legend for LR
shall state "low" instead of
"medium".

LEGEND

- LR - MEDIUM DENSITY RESIDENTIAL**
3.0-5.0 DU/AC GROSS DENSITY
- MR - MEDIUM DENSITY RESIDENTIAL**
5.0-10.0 DU/AC GROSS DENSITY
- HR - HIGH DENSITY RESIDENTIAL**
10.0-24.0 DU/AC GROSS DENSITY
- CMU - COMMERCIAL MIXED-USE DISTRICT**
- PLI - PUBLIC LAND & INSTITUTIONAL DISTRICT**

NOTE:
THE LEGAL BOUNDARY OF ZONING CONTAINED WITHIN THE PD ARE
GENERAL AND SUBJECT TO CHANGE AT FINAL ROAD ALIGNMENTS
AND LOTS AT FINAL PLAT.



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JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR

SHEET INFO:

ZONING MAP

DRAWN BY:

CGR/JN

DESIGNED BY:

BC/SW

SUBMITTED ON:

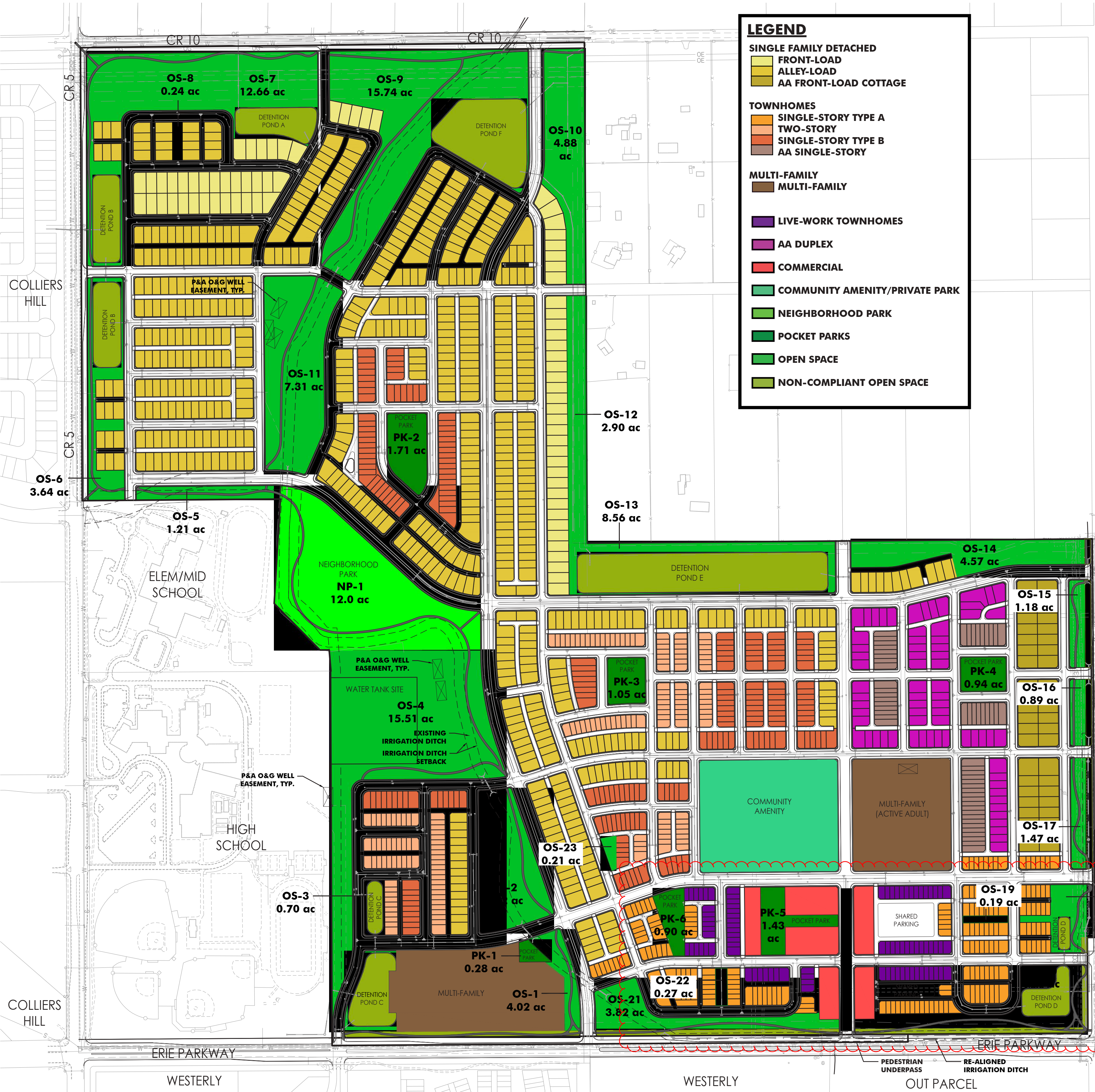
2/09/2023

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

390.8797 ACRES
PD-001700-2024

CONCEPT PLAN



LEGEND

SINGLE FAMILY DETACHED
FRONT-LOAD
ALLEY-LOAD
AA FRONT-LOAD COTTAGE

TOWNHOMES
SINGLE-STORY TYPE A
TWO-STORY
SINGLE-STORY TYPE B
AA SINGLE-STORY

MULTI-FAMILY
MULTI-FAMILY

LIVE-WORK TOWNHOMES

AA DUPLEX

COMMERCIAL

COMMUNITY AMENITY/PRIVATE PARK

NEIGHBORHOOD PARK

POCKET PARKS

OPEN SPACE

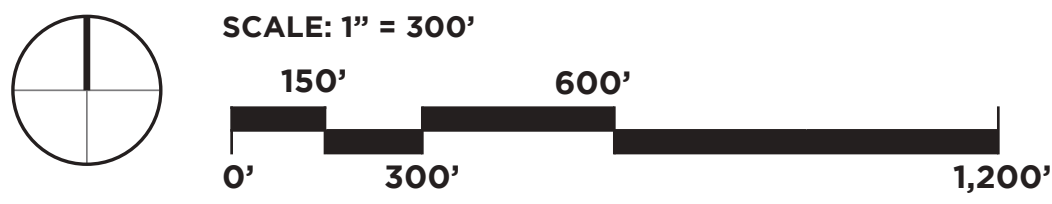
NON-COMPLIANT OPEN SPACE

NORTH WESTERLY LAND USE SUMMARY									
DATE: 09/30/2024									
A.	B.	C.	D.	E.	F.	G.	H.	I.	
Land Use Item	Planning Area Map Number	Map Area Code	Net Land Area in Acres	Percentage of Total Land Area	Land Use Formula (DU/AC)	Proposed Maximum Density (DUs)	Proposed Commercial Square Footage (SQ.FT.)	Details and Comments	
1. OPEN SPACE AND TRAIL CORRIDORS	OS-1	OS	4.02	1.0%				Dedicated Open Space - includes spine trail and irrigation ditch and amenities	
	OS-2	OS	4.72	1.2%				Dedicated Open Space - includes spine trail, irrigation ditch, and amenities	
	OS-3	OS	0.70	0.2%				Dedicated Open Space - includes detention	
	OS-4	OS	15.51	4.0%				Dedicated Open Space - includes spine trail, irrigation ditch, and amenities, town water storage	
	OS-5	OS	1.21	0.3%				Dedicated Open Space - buffer area includes spine trail and amenities	
	OS-6	OS	3.64	0.9%				Dedicated Open Space - includes trails and amenities	
	OS-7	OS	12.66	3.2%				Dedicated Open Space - includes trails and amenities	
	OS-8	OS	0.24	0.1%				Dedicated Open Space - includes trails and amenities	
	OS-9	OS	15.74	4.0%				Dedicated Open Space - detention, trails, and amenities	
	OS-10	OS	4.88	1.2%				Dedicated Open Space	
	OS-11	OS	7.31	1.9%				Dedicated Open Space	
	OS-12	OS	2.90	0.7%				Dedicated Open Space	
	OS-13	OS	8.56	2.2%				Dedicated Open Space - includes detention	
	OS-14	OS	4.57	1.2%				Dedicated Open Space	
	OS-15	OS	1.18	0.3%				Dedicated Open Space - buffer area includes trails	
	OS-16	OS	0.89	0.2%				Dedicated Open Space - buffer area includes trails	
	OS-17	OS	1.47	0.4%				Dedicated Open Space - buffer area includes trails	
	OS-18	OS	2.14	0.5%				Dedicated Open Space - buffer area includes trails and amenities	
	OS-19	OS	0.19	0.0%				Dedicated Open Space - includes trails and amenities	
	OS-20	OS	4.89	1.3%				Dedicated Open Space - buffer area includes spine trail, irrigation ditch, detention, and amenities	
	OS-21	OS	3.82	1.0%				Dedicated Open Space - buffer area includes spine trail, irrigation ditch, detention, and amenities	
	OS-22	OS	0.27	0.1%				Dedicated Open Space - buffer area includes trail and amenities	
	OS-23	OS	0.21	0.1%				Dedicated Open Space - includes trails and amenities	
2. DEDICATED PARKS AND OPEN SPACE	NP-1	PK	12.0	3.1%				NEIGHBORHOOD PARK	
	PK-1	PK	0.28	0.1%				POCKET PARK	
	PK-2	PK	1.71	0.4%				POCKET PARK	
	PK-3	PK	1.05	0.3%				POCKET PARK	
	PK-4	PK	0.94	0.2%				POCKET PARK	
	PK-5	PK	1.43	0.4%				POCKET PARK	
	PK-6	PK	0.90	0.2%				POCKET PARK	
3. PRIVATE PARK	PA-5	PLI	11.7	3.0%				COMMUNITY AMENITY/PARK	
4. DEVELOPMENT AREAS	PA-1	MR	144.6	37.0%	6.6 DU/AC	956		SINGLE-FAMILY DETACHED/ATTACHED & MULTIFAMILY	
	PA-2	CMU	47.6	12.2%	5.2 DU/AC	250		COMMERCIAL/MIXED-USE	
	PA-3	LR	167.6	42.9%	3.8 DU/AC	631		SINGLE-FAMILY DETACHED/ATTACHED	
	PA-4	HR	19.3	4.9%	16.0 DU/AC	309		SINGLE-FAMILY DETACHED/ATTACHED & MULTIFAMILY	
5. ADJACENT ROW (not included within the Planning Areas)			0.0	0.0%					
6. TOTAL MAP ACREAGE (Total Development Acreage #3, 4, & 5)			390.9	100.0%	5.49 DU/AC	2,146	141,398	refer to Note #1	
7. ACREAGE LISTED IN APPLICATION			390.9						

NOTES:
1) Per the Pre-Development Agreement, this development will create at least 10 primary employment jobs in the Town of Erie with incomes greater than the median income in the Town, and include at least 2 neighborhood-serving retail or service uses, such as childcare, daycare, healthcare, or grocery uses.

New comment #136 at 3rd submittal: Per Sheet 3 Concept Plan, it appears there are townhomes (single story Type A) in the CMU zone district/PA-2 which is not permitted by right in the CMU zone district by UDC 10-3-1 Permitted Use Table. Please add a note to Sheet 2 Zone Map and Sheet 3 Concept Plan: "Uses are permitted by right per the underlying zone district with the addition of allowing townhomes in CMU zone districts as shown on the Concept Plan."

New comment #137 at 3rd submittal: please add commercial square footage number to PA-2 row. Per the Market Study and Economic Development review, staff requests the number be updated to a round number of 150,000sf.



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CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR

SHEET INFO:

CONCEPT PLAN

DRAWN BY:
CGR/JN

DESIGNED BY:
BC/SW

SUBMITTED ON:
2/09/2023

3
OF 29

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
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390.8797 ACRES
PD-001700-2024

HOME DIVERSITY PLAN

TABLE 6.7-1: HOUSING DIVERSITY (TOWN OF ERIE)

DEVELOPMENT PARCEL SIZE	REQUIRED MIX OF HOUSING TYPES FOR NORTH WESTERLY				
321-480 ACRES (NORTH WESTERLY IS IN THIS RANGE)	5 HOUSING TYPES	OR	4 HOUSING TYPES AND 1 HOUSING TYPE VARIATION	OR	3 HOUSING TYPES AND 2 HOUSING TYPE VARIATIONS

HOUSING STYLES THAT APPLY TO TABLE 6.7-7 INCLUDE:

		INCLUDED IN NORTH WESTERLY
(A)	DUPLEX	YES
(B)	STACKED TRI-PLEX / QUAD-PLEX	NO
(C)	MANOR HOME	NO
(D)	TOWNHOUSE (SINGLE-FAMILY ATTACHED DWELLING UNIT)	YES
(E)	APARTMENT (MULTI-FAMILY DWELLING UNIT)	YES
(F)	LIVE-WORK UNITS	YES
(G)	SINGLE-FAMILY DETACHED	YES

HOUSING TYPE VARIATIONS THAT APPLY TO TABLE 6.7-7 INCLUDE:

(A)	DUPLEX	INCLUDED
	a. FRONT LOAD	NO
	b. ALLEY LOAD	YES
(B)	STACKED TRI-PLEX / QUAD-PLEX	NA
	a. THREE DWELLING UNITS PER BUILDING	
	b. FOUR DWELLING UNITS PER BUILDING	
(C)	MANOR HOME	NA
	a. VARIATION IN BUIDLING LENGTH OF 30% OR MORE	
	b. VARIATION IN BUIDLING FOOTPRINT OF 30% OR MORE	
(D)	TOWNHOUSE (SINGLE-FAMILY ATTACHED DWELLING UNIT)	INCLUDED
	a. FRONT LOAD	NO
	b. ALLEY LOAD	YES
(E)	APARTMENT (MULTI-FAMILY DWELLING UNIT)	INCLUDED
	a. VARIATION IN BUIDLING LENGTH OF 30% OR MORE	NO
	b. VARIATION IN BUIDLING FOOTPRINT OF 30% OR MORE	NO
(F)	LIVE-WORK UNITS	INCLUDED
	a. FRONT LOAD	NO
	b. ALLEY LOAD	YES
(G)	SINGLE-FAMILY DETACHED	INCLUDED
	a. FRONT LOAD	YES
	b. ALLEY LOAD	YES
	c. LOT SIZE UNDER 5,000 SQUARE FEET	YES
	d. LOT SIZE 5,000 TO 9,999 SQUARE FEET	YES
	e. LOT SIZE 10,000 TO 39,999 SQUARE FEET	NO
	f. LOT SIZE 40,000 SQUARE FEET OR MORE	NO

NORTH WESTERLY HOUSING DIVERSITY PERCENTAGES

LEGEND	UNIT TYPE	LOT WIDTH (FT)	LOT DEPTH (FT)	LOT COUNT	SEGMENT MIX (%)	DEVELOPMENT MIX (%)
	SINGLE FAMILY DETACHED UNITS					
	SINGLE-FAMILY FRONT LOAD	55'	105'	77	9.4%	3.6%
	SINGLE-FAMILY ALLEY LOAD	35' OR 45'	90'	691	84.5%	32.2%
	AA-COTTAGE	55'	105'	50	6.1%	2.3%
	SUBTOTAL			818	100.0%	38.1%
	ATTACHED UNITS					
	LIVE-WORK TOWNHOME	25'	50'	95	11.3%	4.4%
	TOWNHOUSE - SINGLE STORY (TYPE A)	25'	67'	206	24.5%	9.6%
	TOWNHOUSE - TWO STORY	26'	67'	178	21.2%	8.3%
	TOWNHOUSE - SINGLE STORY (TYPE B)	26'	90'	221	26.3%	10.3%
	AA TOWNHOME	23'	120'	61	7.3%	2.8%
	AA DUPLEX	40'	90'	80	9.5%	3.7%
	SUBTOTAL			841	100.0%	39.2%
	SINGLE FAMILY ATTACHED & DETACHED SUBTOTAL			1,659		77.3%

MULTI-FAMILY RESIDENTIAL (SEE NOTE)

LEGEND	UNIT TYPE	FLOORPLATE (GSF)	BUILDING STORIES	LOT COUNT	SEGMENT MIX (%)	DEVELOPMENT MIX (%)
	MULTI-FAMILY	132,780	2.5	250	51.3%	11.6%
	AA MULTI-FAMILY	101,304	3	237	48.7%	11.0%
	MULTI-FAMILY SUBTOTAL			487	100.00%	22.7%

OVERALL RESIDENTIAL DEVELOPMENT TOTALS

	LOT COUNT	TOTAL GROSS SF	DEVELOPMENT MIX (%)
TOTAL SINGLE FAMILY ATTACHED & DETACHED UNITS	1,659		77.31%
TOTAL MULTI-FAMILY UNITS	487		22.69%
OVERALL DEVELOPMENT TOTALS	2,146		100.00%

NOTE:
1) HIGHER DENSITY HOUSING: DEVELOPER SHALL CAUSE AT LEAST 20% OF THE TOTAL RESIDENTIAL UNITS IN THE DEVELOPMENT TO BE CONSTRUCTED AS HIGHER DENSITY HOUSING, INCLUDING WHIHTOUT LIMITATION CONDOMINIUMS, TOWNHOMES, APARTMENTS, AND COOPERATIVE HOUSING.
2) ACCESSORY DWELLING UNITS WILL BE ALLOWED FOR SINGLE FAMILY DETACHED HOMES, HOWEVER, THEY HAVE NOT BEEN CAPTURED IN THE UNIT COUNTS OR PERCENTAGES.



(G) - SINGLE FAMILY DETACHED - FRONT LOAD



(G) - SINGLE FAMILY DETACHED - ALLEY LOAD



(A) - DUPLEX - ALLEY LOAD



(D) - TOWNHOUSE - ALLEY LOAD

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1	2ND SUBMITTAL	7/1/2024	JP/CGR
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SHEET INFO:

HOME DIVERSITY
PLAN

DRAWN BY:

CGR/JN

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

4
OF 29

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

SINGLE FAMILY DETACHED DEVELOPMENT STANDARDS

SINGLE FAMILY DETACHED ARCHITECTURAL STANDARDS

THE SINGLE FAMILY DETACHED ARCHITECTURAL STANDARDS SHALL APPLY TO ALL SINGLE FAMILY TYPES INCLUDING FRONT LOAD, ALLEY LOAD, LOT SIZE UNDER 5,000 SQUARE FEET, LOT SIZE 5,000 TO 9,999 SQUARE FEET. THE SINGLE FAMILY DETACHED ARCHITECTURAL STANDARDS REPLACE SECTIONS 10.6.7 OF THE ERIE UNIFIED DEVELOPMENT CODE, AS THE SAME MAY BE AMENDED FROM TIME TO TIME.

I. ARCHITECTURAL VARIETY

A. VARIETY

1. NO IDENTICAL MODEL PLAN ELEVATION SHALL BE REPEATED DIRECTLY ACROSS ANY STREET FROM THE SAME MODEL PLAN AND ELEVATION.
2. NO IDENTICAL MODEL PLAN ELEVATION SHALL BE REPEATED MORE THAN ONCE WITHIN EVERY 4 LOTS ON THE SAME SIDE OF ANY STREET.
3. A MINIMUM OF 3 RECOGNIZABLY DIFFERENT MODEL PLANS WITH 3 RECOGNIZABLY DIFFERENT ELEVATIONS BE SUBMITTED TO THE TOWN FOR REVIEW.

B. TRACKING

1. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE TO THE TOWN A PLAT SHEET TRACKING DOCUMENT THAT MAINTAINS A RECORD OF HOME MODEL VARIETY FOR EVERY DEVELOPMENT PARCEL. THE DEVELOPER SHALL DEMONSTRATE COMPLIANCE WITH THIS SECTION PRIOR TO ISSUANCE OF A BUILDING PERMIT.

II. ARCHITECTURAL CHARACTER

EACH SINGLE FAMILY DETACHED MODEL PLAN AND ELEVATION SHALL DEMONSTRATE THE FOLLOWING DESIGN ATTRIBUTES:

- A. EACH ELEVATION SHALL INCLUDE A MINIMUM OF TWO WINDOWS (OR ONE WINDOW AND ONE DOOR) PER FLOOR. THERE SHALL BE AT LEAST ONE OPENING (WINDOW OR DOOR) PER QUADRANT OF THE ELEVATION SO THAT LONG STRETCHES OF WALL ARE BROKEN UP BY FENESTRATION. HOWEVER, ELEVATIONS WITH A PARTIAL OR SMALLER UPPER LEVEL (SUCH AS A FRONT FACING GABLE) MAY BE ALLOWED TO HAVE A MINIMUM OF ONE WINDOW IN THE UPPER STORY AND THE WINDOW SHALL BE APPROPRIATE IN SIZE TO THE SCALE OF THE UPPER LEVEL MASS, MINIMUM OF 8 SQ.FT. OF GLASS.

B. WALL PLANE CHANGE:

WINDOW ARTICULATION THAT ADDS SHADOW AND VISUAL INTEREST IS ENCOURAGED.

THE WALL PLANE CHANGE SHALL BE PROPORTIONAL TO THE BUILDING ELEVATION, HAVE A DEPTH OF AT LEAST 12 INCHES, BE AT LEAST A FULL STORY IN HEIGHT, AND BE AT LEAST 6 FEET WIDE. RECESSED PLANES SHALL BE RECOGNIZABLE AS PART OF THE ELEVATION BEING ENHANCED.

EACH FRONT AND REAR ELEVATION SHALL INCLUDE MORE THAN ONE WALL PLANE,

OR, ON FRONT ELEVATIONS ONE WALL PLANE MAY BE ALLOWED WHEN ONE OR MORE OF THE FOLLOWING IS PROVIDED. (REFER TO IMAGE 1)

1. WINDOW(S) OR DOOR(S) EXCEEDING THE MINIMUM REQUIRED PER FLOOR. THE USE OF SHUTTERS MAY ALSO ENHANCE THE TOTAL SCALE OF FENESTRATION PROVIDED PER ELEVATION QUADRANT.
2. A PORCH OR STOOP THAT IS COVERED.
3. ROOF DORMERS.

- C. A VARIETY OF ROOF FORMS SHALL BE USED. SINGLE UNBROKEN ROOF PITCHES SHOULD BE AVOIDED EXCEPT WHERE A SINGLE ROOF TREATMENT IS AN ESSENTIAL ELEMENT OF THE ARCHITECTURAL STYLE. (E.G. MANSARD)

- D. THE MAIN ROOF SHALL EXTEND BEYOND THE PRIMARY FACADE BY A MINIMUM OF 12 INCHES.

OR, ON HOMES WITH A ROOF PITCH OF 10:12 OR GREATER, A GABLE RAKE OF LESS THAN 12 INCHES MAY BE PERMITTED.

MODELS WITH GABLE RAKE OVERHANGS OF LESS THAN 12 INCHES SHALL NOT BE LOCATED DIRECTLY ACROSS THE STREET FROM EACH OTHER OR MORE THAN ONCE WITHIN EVERY 4 LOTS ON THE SAME SIDE OF ANY STREET.



FRONT ELEVATION

IMAGE 1: WALL PLANE CHANGE EXAMPLES ON A FRONT ELEVATION

- E. AN ELEVATION OF THE HOME THAT FACES A STREET, PARK, TRAIL CORRIDOR OR OPEN SPACE AREA SHALL PROVIDE AN "ENHANCED ELEVATION" WHICH FURTHER IMPROVES THE ARCHITECTURAL AESTHETIC OF THE RESIDENCE; AN ENHANCED ELEVATION SHALL PROVIDE THREE OF THE FOLLOWING DESIGN ENHANCEMENTS. THE DESIGN ENHANCEMENT SHALL BE APPLIED IN A MANNER THAT IS CONSISTENT WITH THE STYLE OF THE HOME. SIDE AND REAR ELEVATION DESIGN ENHANCEMENTS SHALL BE CONSISTENT WITH THE DESIGN ELEMENTS OF THE FRONT ELEVATION.

1. WINDOW(S) SHALL BE A MINIMUM OF 8 S.F. OF GLASS OR LARGER AT AN APPROPRIATE SCALE TO ADD CHARACTER TO THE ELEVATION.
2. A CHANGE IN WALL PLANE AS DEFINED IN SUBSECTION B ABOVE.
3. A PORCH, PATIO, OR DECK THAT IS COVERED.
4. THE USE OF ARCHITECTURAL DETAIL ELEMENTS SUCH AS SHUTTERS, VENTS, EAVE AND/OR GABLE BRACKETS, EXPOSED RAFTER TAILS, CORBELS, LINTELS, TRELLISES, COLUMNS OR PILASTERS, ADDITIONAL EXTERIOR ACCENT MATERIALS, ETC. WHICH IN COMBINATION CREATE AN ENHANCED ARCHITECTURAL STYLE.
5. THE USE OF TWO OR MORE EXTERIOR MATERIALS. ADDITIONAL MATERIALS SHOULD BE USED IN LOCATIONS WHERE IT IS LOGICAL AND APPROPRIATE AND SHOULD CONTINUE TO A NATURAL TRANSITION POINT. TO ACHIEVE THE ENHANCEMENT THE ADDITIONAL MATERIAL(S) SHALL BE USED TO COVER A MINIMUM OF 15% OF THE ELEVATION BEING ENHANCED. EXTERIOR MATERIALS MAY INCLUDE BUT ARE NOT LIMITED TO MASONRY (CULTURED STONE, STONE, BRICK, STUCCO, OR TILE), LAP SIDING, SHINGLES, BOARD AND BATTEN, OR OTHER DECORATIVE SIDING TREATMENT. DIFFERENT APPLICATION STYLES OF THE SAME MATERIAL, FOR EXAMPLE THE APPLICATION OF LAP SIDING IN DIFFERENT WIDTHS, DOES NOT CONSTITUTE A SECOND MATERIAL.

- F. COLUMNS OR POSTS EXTENDING MORE THAN 36 INCHES ABOVE THE GROUND WHICH SUPPORT STRUCTURAL ELEMENTS SUCH AS PORCHES, DECKS, OR ROOFS SHOULD APPEAR TO BE OF ADEQUATE MASS TO SUPPORT THE STRUCTURE ABOVE. (NO EXPOSED 4" X 4" POSTS SHALL BE ALLOWED MORE THAN 36 INCHES ABOVE THE GROUND). COLUMNS SUPPORTING UPPER STORY DECKS SHOULD BE 8" X 8" MINIMUM FINISHED

G. MATERIALS:

1. ALL EXTERIOR MATERIALS SHALL BE OF HIGH QUALITY, USED IN APPLICATIONS AND TREATED APPROPRIATELY TO PROVIDE AND ATTRACTIVE AND LONG LASTING APPEARANCE.
2. WHEN MASONRY IS USED IT SHOULD BE USED IN LOCATIONS WHERE ITS MASS IS LOGICAL AND APPROPRIATE. IN INSTANCES WHERE MASONRY WRAPS THE EXTERIOR CORNER OF THE HOME THE MASONRY SHOULD CONTINUE TO A NATURAL TRANSITION POINT SUCH AS THE INSIDE CORNER OF A PROJECTION WALL, A COLUMN, A DOOR OR WINDOW OR OTHER LOGICAL POINT. IN CASES WHERE NO SUCH FEATURE EXISTS NEAR THE CORNER, THE MASONRY WRAP SHALL EXTEND AT LEAST SIX FEET FROM THE CORNER.

- H. UTILIZE PASSIVE SOLAR CONCEPTS WHERE ARCHITECTURALLY APPROPRIATE AND IN ACCORDANCE WITH THE STYLE OF ARCHITECTURE.

1. FOR EXAMPLE, EXTENDED OVERHANGS MAY BE IMPLEMENTED TO BLOCK SUNLIGHT.

III. BUILDING ORIENTATION

- A. EACH DWELLING UNIT SHALL FACE THE FRONT LOT LINE OF THE PROPERTY AND HAVE AT LEAST 1 PRIMARY PEDESTRIAN DOORWAY FOR ACCESS TO THE DWELLING UNIT LOCATED ON, OR ADJACENT TO, THE ELEVATION OF THE DWELLING UNIT FACING THE FRONT LOT LINE OF THE PROPERTY. THE DOORWAY SHALL BE NO MORE THAN 20 FEET FROM THE MOST FORWARD PLANE OF THE FORWARD MOST LIVING SPACE WITHIN THE HOUSE AND SHALL BE CLEARLY ACCESSIBLE FROM THE STREET OR PUBLIC AREA ADJACENT TO THE FRONT LOT LINE (REFER TO IMAGE 2).

IN CONDITIONS WHERE SIDE LOADED GARAGES ARE UTILIZED, THE DOORWAY SHALL BE NO MORE THAN 20' FROM THE FRONT FACING GARAGE WALL PLANE.

- B. FOR SINGLE FAMILY FRONT LOADED LOTS ADJACENT TO STREETS ON TWO SIDES (CORNER LOTS), THE DWELLING MAY BE ORIENTED TO EITHER ADJACENT STREET AND THE PEDESTRIAN DOORWAY MAY THUS BE LOCATED FACING EITHER ADJACENT STREET.

IV. GARAGES, PORCHES AND STOOPS:

THESE REGULATIONS FOR GARAGES SHALL BE APPLIED TO NON-LIVING SPACE OR STORAGE AREAS WITHIN GARAGES WHETHER USED FOR STORAGE OF AUTOMOBILES OR OTHER ITEMS.

A. FRONT LOADED GARAGES:

1. GARAGES SHALL BE RECESSED A MINIMUM OF 8'-0" FROM THE FORWARD MOST FACADE, FRONT PORCH, OR COVERED STOOP, WHICHEVER LENGTH IS GREATEST, FOR FRONT LOADED LOTS 75' OR GREATER IN WIDTH.
2. GARAGES SHALL BE RECESSED A MINIMUM OF 2'-0" FROM THE FORWARD MOST FACADE, FRONT PORCH, OR COVERED STOOP, WHICHEVER LENGTH IS GREATEST, FOR FRONT LOADED LOTS BETWEEN 45' AND 74' FEET IN WIDTH.

B. SIDE LOADED GARAGES:

1. ON CORNER LOTS WHERE THE GARAGE IS ORIENTED TO THE SIDE LOT LINE RATHER THAN THE FRONT LOT LINE, THE GARAGE MUST BE SET BACK A MINIMUM OF 31' FROM THE FRONT STOOP OR PORCH OR FROM THE FORWARD MOST PLANE OF THE FRONT FACADE WHEN THERE IS NOT A STOOP OR PORCH.

C. ALLEY LOAD GARAGES:

1. GARAGES MUST BE ORIENTED TO AND ACCESSED FROM THE ALLEY WHEN THE DWELLING IS LOCATED ON A LOT WITH ALLEY ACCESS.

D. THREE OR MORE CAR GARAGE ORIENTATION:

WHEN GARAGE BAYS EXCEED TWO, THE ADDITIONAL GARAGE BAYS SHALL EITHER:

1. HAVE A DIFFERENT ORIENTATION FROM THE FIRST TWO;
2. SHALL BE RECESSED BEHIND THE FIRST TWO BY AT LEAST TWO FEET WHEN HAVING THE SAME ORIENTATION; OR
3. SHALL BE TANDEM TO THE FIRST TWO.

E. FRONT STOOP

A FRONT STOOP IS COMPRISED OF STAIRS AND A PLATFORM WHICH PROVIDES ACCESS TO A FRONT DOOR WHEN THE THRESHOLD IS NOT AT GRADE AND MAY BE COVERED OR UNCOVERED. FOR DWELLING UNITS WITH A FRONT STOOP, THE FRONT STOOP PLATFORM SHALL BE AT LEAST 12 SQUARE FEET.

F. FRONT PORCHES

A FRONT PORCH IS COMPRISED OF STAIRS, PLATFORM, AND COLUMNS OR RAILING AND PROVIDES ACCESS TO A FRONT DOOR WHEN THE THRESHOLD IS NOT AT GRADE. A FRONT PORCH HAS A GENEROUS SIZED PLATFORM WHICH CREATES AN OUTDOOR LIVING SPACE AT THE FRONT OF THE HOUSE. FOR DWELLING UNITS WITH A FRONT PORCH, THE FRONT PORCH SHALL BE AT LEAST 60 SQUARE FEET, AND SHALL HAVE A MINIMUM DEPTH OF 6 FEET AS MEASURED FROM THE STUD WALL TO THE COLUMN CENTERLINE OR RAILING. (REFER TO IMAGE 2)

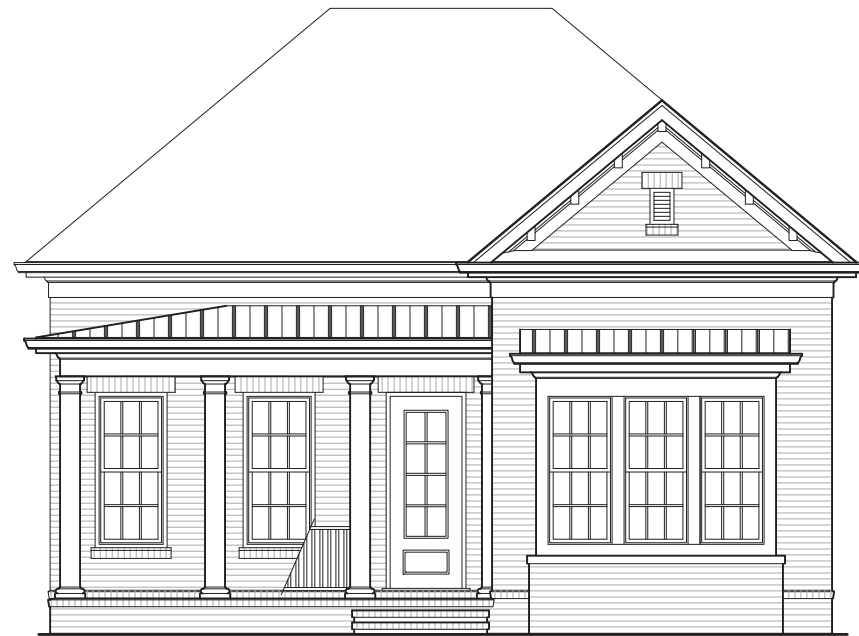
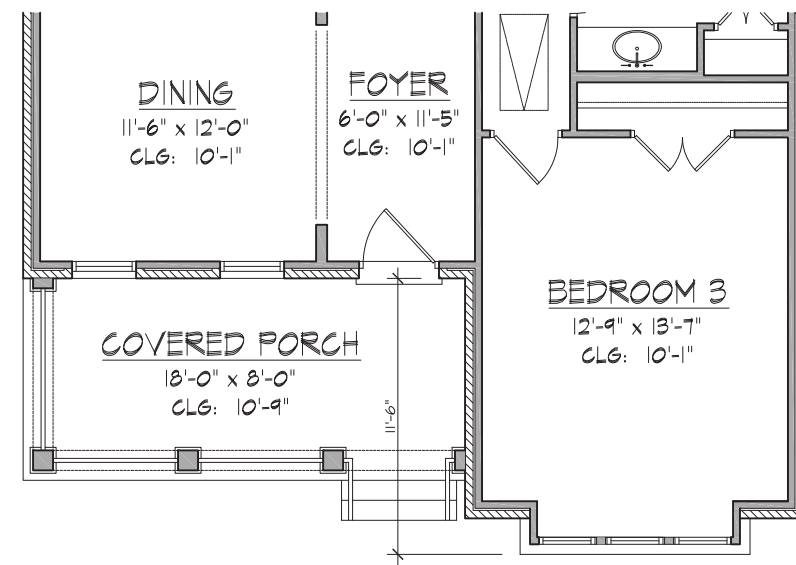


IMAGE 2: FRONT PORCH AND FRONT DOOR DEPTH

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1	2ND SUBMITTAL	7/11/2024	JP/CGR
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SHEET INFO:

SINGLE FAMILY DETACHED DEVELOPMENT STANDARDS

DRAWN BY:

CGR/JN

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

5
OF 29

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

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SINGLE FAMILY ATTACHED DEVELOPMENT STANDARDS

SINGLE FAMILY ATTACHED ARCHITECTURAL STANDARDS

THE PURPOSE OF THESE BUILDING DESIGN AND CHARACTER STANDARDS ARE TO ESTABLISH A MORE PREDICTABLE APPROACH TO DUPLEX AND TOWNHOME AREAS THAT ENCOURAGES CREATIVITY IN DESIGN FOR INDIVIDUALISM OF BUILDINGS OR DWELLING UNITS THAT RESULTS IN ATTRACTIVE, LONG-LASTING NEIGHBORHOODS. SINGLE FAMILY ATTACHED ARCHITECTURAL STANDARDS SHALL APPLY TO ALL SINGLE FAMILY ATTACHED TYPES INCLUDING DUPLEX FRONT-LOAD, DUPLEX ALLEY-LOAD, TOWNHOUSE FRONT-LOAD, TOWNHOUSE ALLEY-LOAD, AND LIVE-WORK TOWNHOMES. THE SINGLE FAMILY ATTACHED ARCHITECTURAL STANDARDS REPLACE SECTIONS 10.6.7 OF THE ERIE UNIFIED DEVELOPMENT CODE, AS THE SAME MAY BE AMENDED FROM TIME TO TIME.

I. ARCHITECTURAL VARIETY

A. INTENT

1. TO ENSURE THAT INDIVIDUAL GROUPINGS OF DUPLEX OR TOWNHOME BUILDINGS WITHIN A LARGER DEVELOPMENT EXHIBIT A DISTINCT VARIATION IN SIZE AND MASS THAT ALLOWS THEM TO BE EASILY DISTINGUISHED FROM SURROUNDING BUILDING GROUPINGS.
2. TO AVOID THE BLEAK, "BARRACKS-TYPE" APPEARANCE ASSOCIATED WITH LARGE CONCENTRATIONS OF IDENTICAL OR VERY SIMILAR STRUCTURES.\

B. TOWNHOMES

1. NO MORE THAN 6 TOWNHOME DWELLING UNITS MAY BE ATTACHED IN ANY SINGLE ROW OR BUILDING CLUSTER.
2. WITHIN EACH TOWNHOME ROW OR CLUSTER, INDIVIDUAL DWELLING UNITS SHALL EITHER BE DIFFERENTIATED OR MAY EXPRESS A PURPOSELY UNIFORM DESIGN THROUGH THE FOLLOWING:
 - a. WHEN INDIVIDUAL DWELLING UNITS OF A TOWNHOME BUILDING ARE TO BE DIFFERENTIATED, DWELLING UNITS SHALL USE THE FOLLOWING TWO OR MORE METHODS,
 - i. USE OF DISTINCT COLOR VARIATION BETWEEN INDIVIDUAL DWELLING UNITS;
 - ii. USE OF DISTINCT VARIATIONS IN MATERIALS BETWEEN INDIVIDUAL DWELLING UNITS;
 - iii. USE OF DISTINCT VARIATIONS IN ARCHITECTURAL STYLE OR FEATURES, SUCH AS A PORCH OR SIMILAR FEATURE, BETWEEN INDIVIDUAL DWELLING UNITS;
 - iv. USE OF DISTINCT VARIATIONS IN ROOF FORM,
 - v. A VARIATION IN THE PLANE OF THE FRONT FACADE TO PROVIDE A MINIMUM 1 FOOT VARIATION BETWEEN INDIVIDUAL DWELLING UNITS.
 - b. WHEN UNIFORMITY OF INDIVIDUAL DWELLING UNITS OF A TOWNHOME BUILDING TO APPEAR AS A LARGE SINGLE FAMILY HOME, THIS SHALL BE EXPRESSED THROUGH REPETITION OF THREE OR MORE OF THE FOLLOWING METHODS,
 - i. USE OF MATERIALS BOTH IN TYPE AND LOCATION;
 - ii. SIZE, STYLE, AND PATTERNING OF WINDOWS;
 - iii. SIZE AND DETAILING OF FRONT PORCHES;
 - iv. ROOF DORMERS, ROOF FORM, AND ROOF PITCH.

C. DUPLEXES

1. A CONTINUOUS ROW OF IDENTICAL HOMES ALONG A BLOCK SHALL BE PROHIBITED. INDIVIDUAL STRUCTURES SHALL BE DIFFERENTIATED THROUGH TWO OR MORE OF THE FOLLOWING METHODS:
 - a. USE OF DISTINCT COLOR VARIATION AND MATERIALS BETWEEN INDIVIDUAL STRUCTURES;
 - b. USE OF DISTINCT VARIATIONS IN ROOF FORM, OR
 - c. USE OF DISTINCT VARIATIONS IN ARCHITECTURAL FEATURES, SUCH AS PORCHES, ROOF FORM, WINDOWS, OR SIMILAR FEATURE, BETWEEN INDIVIDUAL STRUCTURES.
2. VARIETY
 - a. NO IDENTICAL MODEL PLAN ELEVATION SHALL BE REPEATED DIRECTLY ACROSS ANY STREET FROM THE SAME MODEL PLAN AND ELEVATION.
 - b. NO IDENTICAL MODEL PLAN ELEVATION SHALL BE REPEATED MORE THAN ONCE WITHIN EVERY 4 LOTS ON THE SAME SIDE OF ANY STREET.
 - c. A MINIMUM OF 3 RECOGNIZABLY DIFFERENT MODEL PLANS WITH 3 RECOGNIZABLY DIFFERENT ELEVATIONS BE SUBMITTED TO THE TOWN FOR REVIEW.

D. TRACKING

1. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE TO THE TOWN A PLAT SHEET TRACKING DOCUMENT THAT MAINTAINS A RECORD OF HOME MODEL VARIETY FOR EVERY DEVELOPMENT PARCEL. THE DEVELOPER SHALL DEMONSTRATE COMPLIANCE WITH THIS SECTION PRIOR TO ISSUANCE OF A BUILDING PERMIT.

II. ARCHITECTURAL CHARACTER

A. INTENT

1. TO IMPROVE THE APPEARANCE OF DUPLEX AND TOWNHOME AREAS THROUGH THE INCORPORATION OF ARCHITECTURAL DETAILING, FACADE ARTICULATION, AND OTHER FEATURES DESIGNED TO PROVIDE A MORE DISTINCT CHARACTER AND HUMAN SCALE FOR BUILDINGS OF ALL SIZES.
2. TO ENCOURAGE THE USE OF ARCHITECTURAL STYLES THAT REINFORCES THE TOWN'S TRADITIONAL CHARACTER.

B. DESIGN STANDARDS

1. ALL SIDES OF A DUPLEX OR TOWNHOME BUILDING SHALL DISPLAY A SIMILAR LEVEL OF QUALITY AND ARCHITECTURAL DETAILING. THE MAJORITY OF A BUILDING'S ARCHITECTURAL FEATURES AND TREATMENTS SHALL NOT BE RESTRICTED TO A SINGLE FACADE. BUILDING DETAILS, INCLUDING ROOF FORMS, WINDOWS, DOORS, TRIM, AND SIDING MATERIALS, SHALL REFLECT THE ARCHITECTURAL STYLE OF THE BUILDING.
2. ATTACHED DWELLING UNITS MAY EITHER EXPRESS EACH INDIVIDUAL UNIT OR GIVE EACH BUILDING THE APPEARANCE OF A LARGE SINGLE-FAMILY HOME.
3. THE INCORPORATION OF A VARIETY OF ROOF FORMS IS STRONGLY ENCOURAGED ON DIFFERENTIATED DWELLING UNITS. GENERALLY, DUPLEX OR TOWNHOMES SHALL INCORPORATE ROOF PITCHES OF BETWEEN 3:12 AND 6:12; HOWEVER, ALTERNATIVE ROOF FORMS MAY BE PERMITTED AT THE DISCRETION OF THE DIRECTOR OF PLANNING AND DEVELOPMENT.
4. ROOF OVERHANGS SHALL EXTEND BEYOND THE PRIMARY FACADE BY A MINIMUM OF 12 INCHES.

OR, ON HOMES WITH A ROOF PITCH OF 10:12 OR GREATER, A GABLE RAKE OF LESS THAN 12 INCHES MAY BE PERMITTED.

MODELS WITH GABLE RAKE OVERHANGS OF LESS THAN 12 INCHES SHALL NOT BE PLACED ADJACENT TO OR ACROSS THE STREET FROM 1 ANOTHER.
5. HORIZONTAL AND VERTICAL VARIATIONS IN MATERIALS ALONG THE FACADE OF A DUPLEX OR TOWNHOME BUILDING SHALL OCCUR IN CONJUNCTION WITH A CHANGE IN WALL PLANE, PREFERABLY AT THE INSIDE CORNER OF A WALL.
6. THE MAXIMUM LENGTH OF ANY TOWNHOME BUILDING SHALL BE 156 FEET.

C. MATERIALS

1. INTENT
 - a. TO MAXIMIZE THE QUALITY, VALUE, AND LONGEVITY OF NEIGHBORHOODS THROUGH THE USE OF DURABLE MATERIALS THAT WILL MINIMIZE MAINTENANCE COSTS AND IMPROVE THE OVERALL APPEARANCE OF THE DEVELOPMENT.

- b. TO ENCOURAGE THE USE OF RECYCLED AND OTHER ENVIRONMENTALLY-FRIENDLY, LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN (LEED) CERTIFIED BUILDING MATERIALS.
- c. UTILIZE PASSIVE SOLAR CONCEPTS WHERE ARCHITECTURALLY APPROPRIATE AND IN ACCORDANCE WITH THE STYLE OF ARCHITECTURE.
 - i. FOR EXAMPLE, EXTENDED OVERHANGS MAY BE IMPLEMENTED TO BLOCK SUNLIGHT.

2. DESIGN STANDARDS

- a. PRIMARY EXTERIOR BUILDING MATERIALS ON STRUCTURES SHALL BE CONSTRUCTED FROM DURABLE MATERIALS WITH PRODUCT WARRANTIES OR AN INDUSTRY EXPECTED LIFE OF A MINIMUM OF 25-YEARS.
- b. EXTERIOR INSULATING AND FINISH SYSTEM (EIFS) SHALL NOT BE PERMITTED.
- c. ALL STRUCTURES SHALL UTILIZE DURABLE, ENVIRONMENTALLY SENSITIVE ROOFING MATERIALS WITH PRODUCT WARRANTIES OR AN INDUSTRY EXPECTED LIFE OF A MINIMUM OF 25 YEARS.

III. BUILDING ORIENTATION

A. INTENT

1. TO ORGANIZE THE PRIMARY ENTRANCES AND FACADES OF DUPLEX OR TOWNHOME BUILDINGS WITH A CLEAR ORIENTATION TOWARDS A STREET, GARDEN COURT, OR POCKET PARK,
2. TO CREATE AN INTEGRATED NEIGHBORHOOD APPEARANCE FOR DUPLEX AND TOWNHOME AREAS THAT ESTABLISHES A PATTERN THAT IS INTEGRATED WITH ADJACENT USES INSTEAD OF SEGREGATED AS A SEPARATE SUB-COMMUNITY.

B. DESIGN STANDARDS

1. THE PRIMARY FACADE OF INDIVIDUAL BUILDINGS SHALL BE ORIENTED TOWARDS:
 - a. STREETS, OR
 - b. COMMON OPEN SPACE/GARDEN COURTS, SUCH AS INTERIOR COURTYARDS, PARKS, OR ON-SITE NATURAL AREAS OR FEATURES WITH A CLEARLY DEFINED AND EASILY ACCESSIBLE PEDESTRIAN CIRCULATION SYSTEM.
2. PRIMARY FACADES SHALL NOT BE ORIENTED TOWARDS ALLEYS, PARKING LOTS, GARAGES, OR CARPORTS.

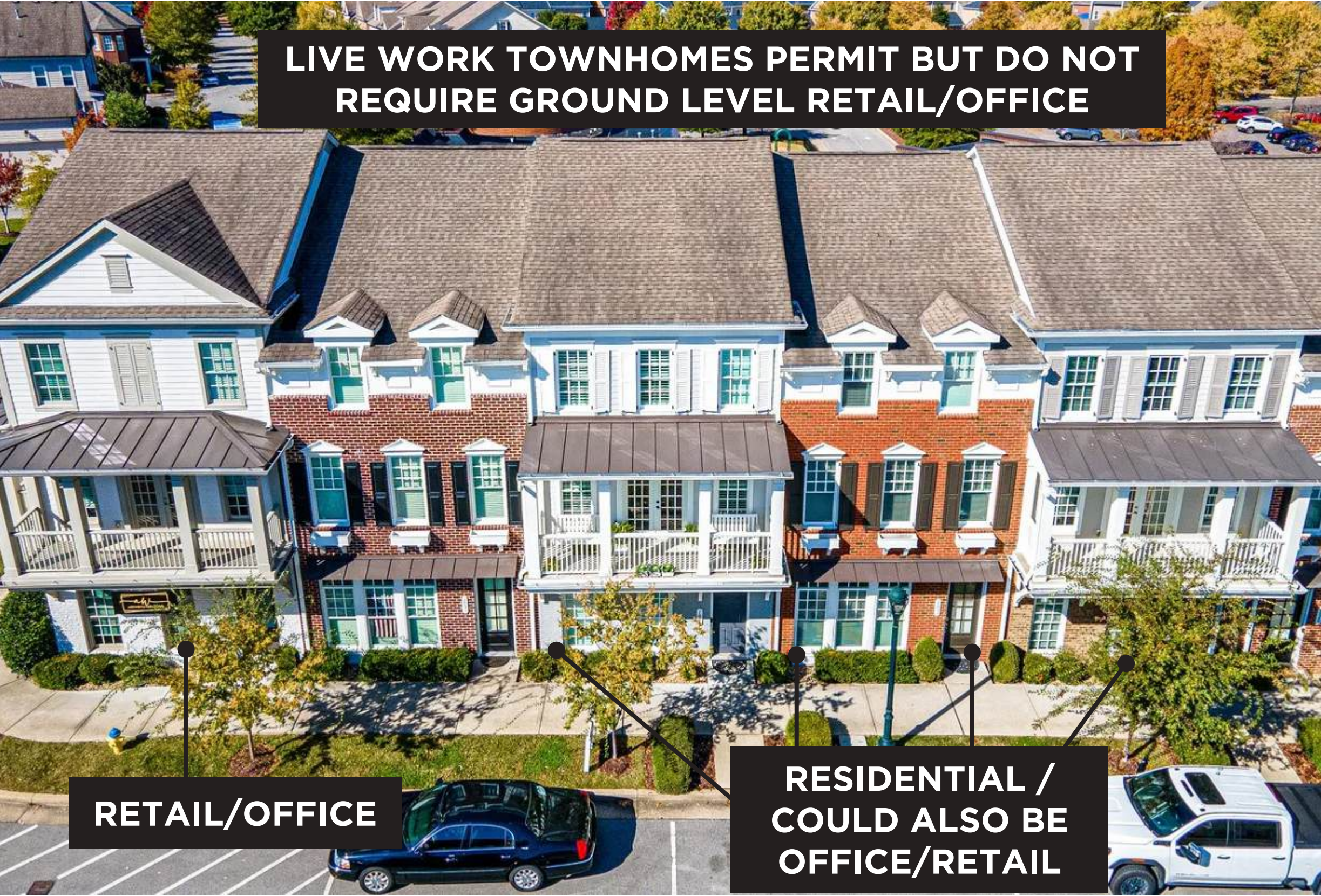


IMAGE ABOVE: LIVE-WORK TOWNHOMES

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MULTI-FAMILY DEVELOPMENT STANDARDS

MULTI-FAMILY ARCHITECTURAL STANDARDS

MULTI-FAMILY ARCHITECTURAL STANDARDS SHALL APPLY TO ALL APARTMENTS OR MULTI-FAMILY DWELLING UNITS. MULTI-FAMILY ARCHITECTURAL STANDARDS REPLACE SECTIONS 10.6.7 OF THE ERIE UNIFIED DEVELOPMENT CODE, AS THE SAME MAY BE AMENDED FROM TIME TO TIME.

I. GENERAL MULTI-FAMILY STANDARDS

A. STAIRWAYS SHALL NOT BE LOCATED OUTSIDE OF THE BUILDING ENVELOPE.

II. ARCHITECTURAL CHARACTER

A. BUILDING MASS

- BUILDINGS AND ARCHITECTURAL FACADES SHALL BE ORIENTED TO CREATE A PEDESTRIAN-ORIENTED, ATTRACTIVE STREETSCAPE WITH OUTDOOR ROOMS, SUCH AS ATRIUMS, COURTYARDS, COLONNADES, TRELLISES, PLAZAS, PROMENADES, ETC.
- EACH PRIMARY BUILDING TALLER THAN 38' IN HEIGHT SHALL BE DESIGNED SO THAT THE MASSING OR FACADE ARTICULATION COMPONENTS OF THE BUILDING PRESENTS A CLEAR BASE, MIDDLE, AND TOP. THE BASE OR GROUND FLOOR ELEVATION SHALL BE APPROPRIATELY ARTICULATED TO PROVIDE HUMAN SCALE.
- LONG, UNARTICULATED FACADES SHALL BE AVOIDED BY EMPLOYING ANY COMBINATION OF THE FOLLOWING TO CREATE VISUAL INTEREST AND SHADOW LINES. BUILDINGS HAVING SINGLE WALLS EXCEEDING 50' IN LENGTH SHALL INCORPORATE AT A MINIMUM TWO (2) OF THE FOLLOWING FOR EVERY 50':
 - PROJECTIONS OF EXTERIOR BUILDING WALLS, RECESSES AND REVELS IN EXTERIOR BUILDING WALLS A MINIMUM OF 1'
 - VARIATIONS IN COLOR
 - WINDOW FENESTRATION
 - ROOF OVERHANGS
 - CHANGES IN PARAPET HEIGHT
 - ARCADE, PERGOLAS, TRELLISES
 - TOWERS
 - GABLE PROJECTIONS
 - PILASTERS
 - TEXTURED AND/OR PATTERNED SURFACES

B. ROOF LINE

- ROOFS ARE TO BE A PROMINENT AND COMPLIMENTARY ELEMENT TO THE BUILDING ARCHITECTURE. IT IS IMPORTANT THAT ROOF FORMS AND VARIATIONS IN PLANES ARE INCORPORATED INTO EACH BUILDING ELEVATION.
- BUILDINGS WITH FLAT ROOFS SHALL BE DESIGNED TO CREATE VISUAL INTEREST BY USING VARIATIONS IN PARAPET HEIGHT IN VARIOUS AREAS.
- INTENSE, BRIGHT OR FLUORESCENT COLORS SHALL NOT BE USED ON ANY ROOF AREAS VISIBLE FROM PUBLIC OR PRIVATE RIGHT-OF-WAY OR PUBLIC OPEN SPACE.
- WHEN SLOPING ROOFS ARE USED, AT LEAST ONE OF THE FOLLOWING ELEMENTS SHALL BE INCORPORATED INTO THE DESIGN FOR EACH 60 LF OF ROOF:
 - PROJECTING GABLES
 - HIPS
 - HORIZONTAL OR VERTICAL BREAKS
 - ALTERNATING ROOF PITCHES
- ALL ROOFTOP MECHANICAL EQUIPMENT AND VENTS GREATER THAN EIGHT INCHES IN DIAMETER SHALL BE SCREENED. SCREENING MAY BE DONE EITHER WITH AN EXTENDED PARAPET WALL OR A FREE-STANDING SCREEN WALL. SCREENS SHALL BE AT A MINIMUM AS TALL AS THE EQUIPMENT THAT THEY HIDE. COLOR AND MATERIALS SHOULD BE COMPATIBLE TO THE ARCHITECTURE OF THE PRINCIPAL STRUCTURE.

C. MATERIALS

- DIVERSITY IN MATERIALS IS REQUIRED AND A MINIMUM OF TWO (2) DIFFERENT MATERIALS SHALL BE INCORPORATED INTO EACH BUILDING. THESE MATERIALS SHOULD BE USED TO CREATE BASES, SECONDARY FIELDS, OR ACCENT BANDING. BANDING SHALL BE USED TO DIFFERENTIATE BETWEEN A BASE, MIDDLE AND TOP. THE FOLLOWING PRIMARY MATERIALS ARE PERMITTED:
 - BRICK OR THIN SET BRICK
 - CAST STONE OR SYNTHETIC STONE
 - INTEGRALLY COLORED PRE-CAST CONCRETE
 - INTEGRALLY COLORED CONCRETE MASONRY UNITS, SPLIT FACED BLOCK, GROUNDFACE CMU

- STUCCO OR SYNTHETIC STUCCO
 - PRE-CAST CONCRETE, INTEGRALLY COLORED
 - EIFS
- THE FOLLOWING MATERIALS MAY BE USED AS AN ACCENT MATERIAL IN CONJUNCTION WITH A PRIMARY MATERIAL FROM ABOVE:
 - ORNAMENTAL METAL
 - ARCHITECTURAL TILE
 - WOOD
 - BRICK, STONE, STUCCO OR OTHER MASONRY MATERIALS SHALL BE USED ON A MINIMUM OF 30 PERCENT OF ALL EXTERIOR WALLS FACING PUBLIC RIGHT-OF-WAY. THE TOTAL AREA OF THE WALL TO WHICH THE 30 PERCENT REQUIREMENT APPLIES SHALL NOT INCLUDE AREAS OF GLAZING (E.G., WINDOWS) AND ENTRYWAYS.
 - ACCESSORY BUILDINGS SHALL BE FINISHED IN THE SAME MATERIALS AS THE PRINCIPAL BUILDING AND SHOULD BE LOCATED TO THE SIDE OR REAR OF THE PRINCIPAL BUILDING.
- D. ENTRIES. THE ENTRANCE TO ALL BUILDINGS SHALL BE CLEARLY DEFINED AND INTEGRATED INTO THE BUILDING DESIGN THROUGH THE FOLLOWING TECHNIQUES:
- THE ENTRY SHALL BE PEDESTRIAN IN SCALE AND DESIGNED TO ENCOURAGE ACTIVITY AND SIGNALIZE BUILDING ENTRY POINTS
 - LANDSCAPE AREAS SHALL BE ORIENTED AND FOCUSED ON THE ENTRANCE
 - MAIN ENTRIES SHALL BE ORIENTED TOWARDS THE PRIMARY STREET
 - USE OF CREATIVE ENTRY TREATMENTS SUCH AS CANOPIES, AWNINGS, CORNICE TREATMENTS OR ATRIUM
 - USE OF INTEGRATED SIGNAGE
- E. UTILIZE PASSIVE SOLAR CONCEPTS WHERE ARCHITECTURALLY APPROPRIATE AND IN ACCORDANCE WITH THE STYLE OF ARCHITECTURE.
- FOR EXAMPLE, EXTENDED OVERHANGS MAY BE IMPLEMENTED TO BLOCK SUNLIGHT.



IMAGES ABOVE: EXAMPLES OF MULTI-FAMILY ARCHITECTURAL CHARACTER

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MULTI-FAMILY DEVELOPMENT STANDARDS

DRAWN BY:

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DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

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OF 29

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

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TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

COMMERCIAL DEVELOPMENT STANDARDS

COMMERCIAL DEVELOPMENT STANDARDS

THE COMMERCIAL DEVELOPMENT STANDARDS SHALL APPLY TO ALL NON-RESIDENTIAL DEVELOPMENT INCLUDING MIXED-USE, COMMERCIAL AND PUBLIC/INSTITUTIONAL, AND COMMUNITY AMENITY. THE COMMERCIAL DEVELOPMENT STANDARDS REPLACE SECTIONS 10.6.4 LANDSCAPING, SCREENING, FENCES; 10.6.8 COMMERCIAL AND PUBLIC/INSTITUTIONAL USE CATEGORIES, MIXED-USE DESIGN STANDARDS; 10.6.10 EXTERIOR LIGHTING OF THE ERIE UNIFIED DEVELOPMENT CODE, AS THE SAME MAY BE AMENDED FROM TIME TO TIME.

I. GENERAL COMMERCIAL SITE STANDARDS

A. PARKING LOT SCREENING

1. THE CIRCULATION SYSTEM WITHIN COMMERCIAL DEVELOPMENTS, INCLUDING PARKING LOTS, SHALL CONTRIBUTE TO THE ORDER AND AESTHETIC QUALITY OF THE SITE. AESTHETICS, COMPATIBILITY WITH THE OVERALL SITE DESIGN, CONVENIENCE AND SAFETY FOR USERS AND PEDESTRIANS MUST BE CONSIDERED IN PARKING LOT DESIGN.
2. PARKING LOTS SHOULD BE SCREENED FROM VIEW FROM PUBLIC STREETS BY USE OF LANDSCAPED BUFFERS, BERMS, OR OTHER SCREENS AS APPROVED. CONTINUOUS SCREENING 30-INCHES IN HEIGHT IS REQUIRED UNLESS AN ALTERNATIVE SCREEN IS APPROVED. ALTERNATIVE LANDSCAPE SCREENING MAY INCLUDE UPRIGHT EVERGREEN TREES OR OTHER TREES OR SHRUBS. PARKING LOT EDGES SHOULD BE TREATED WITH AN AESTHETIC LANDSCAPE TREATMENT.
3. PEDESTRIAN CONNECTIVITY SHOULD BE PROVIDED BETWEEN THE PARKING, THE BUILDINGS, AND TO MAJOR TRAIL CONNECTIONS.

B. LOADING DOCK SCREENING

1. LOADING DOCKS SHOULD BE SCREENED BY USE OF OPAQUE FENCES, WALLS OR LANDSCAPED BUFFERS, BERMS OR OTHER ALTERNATIVE SCREENS AS APPROVED. SCREENS SHALL BE HIGH ENOUGH TO HIDE DELIVERY AREAS FROM PUBLIC STREETS AND ADJACENT PROPERTIES. ALTERNATIVE LANDSCAPE SCREENING MAY INCLUDE UPRIGHT EVERGREEN TREES OR OTHER TREES OR SHRUBS AS APPROVED.

II. COMMERCIAL ARCHITECTURAL STANDARDS

A. BUILDING MASS

1. COMMERCIAL BUILDINGS SHALL ACHIEVE A HUMAN SCALE APPROPRIATE TO THE SITE AND FUNCTION OF THE PROJECT. BUILDING MASS SHALL CREATE HARMONIOUS TRANSITIONS IN SCALE AND CHARACTER IN AREAS BETWEEN DIFFERENT LAND USES. ARCHITECTURAL QUALITY AND OVERALL DESIGN SHALL BE COMPATIBLE WITH THE SITE LOCATION AND PROPOSED USE AS DEMONSTRATED BY BUILDING ELEVATIONS. DIVERSE ARCHITECTURAL TREATMENTS SHALL BE INTEGRATED TO AVOID A CLUTTERED APPEARANCE.
2. BUILDINGS ADJACENT TO "MAIN STREET" (AS DEFINED IN THE CONCEPT PLAN) SHALL BE CLOSE TO THE ROADWAY AND SHALL HAVE A SIMILAR LEVEL OF DETAIL AND FENESTRATION ON ALL SIDES OF THE BUILDING THAT ARE VISIBLE TO THE STREET, MAIN PEDESTRIAN WALKWAYS, OR PARKING AREAS.
3. COMMERCIAL BUILDINGS SHALL PROVIDE ARTICULATION BY APPLYING AT LEAST FOUR (4) OF THE FOLLOWING TREATMENTS TO ALL EXTERIOR WALLS:
 - a. VARIATIONS IN HEIGHT
 - b. OFFSETS IN WALL PLANE
 - c. VARIATIONS IN ROOF LINE
 - d. CORNICE TREATMENTS
 - e. RECESSED OR PROJECTED ENTRYWAYS
 - f. RECESSED WINDOWS
 - g. CANOPIES OR AWNINGS
 - h. MORE THAN ONE FINISH MATERIAL
 - i. MORE THAN ONE COLOR
 - j. OTHER ARCHITECTURAL DETAILS THAT PREVENT THE APPEARANCE OF MASSIVE AND FEATURELESS WALLS

B. EXTERIOR FINISH MATERIALS.

1. ALL EXTERIOR MATERIALS SHALL BE OF HIGH QUALITY SUCH THAT THEY ARE DURABLE, EASY TO MAINTAIN, AND PROVIDE FOR A LONGEVITY OF USE. BUILDING BASE MATERIALS SHALL BE MASONRY. BRICK, STONE, STUCCO, OR OTHER APPROVED MASONRY MATERIALS SHALL BE USED ON A MINIMUM OF 30 PERCENT OF ALL EXTERIOR WALLS.
2. THE SECONDARY EXTERIOR WALL MATERIAL USED FOR THE SIDE WALLS, BACKS WALLS, AND INFILL WALLS MAY BE FINISHED ARCHITECTURAL BLOCK, COMPOSITE SIDING, OR TREATED WOOD. THE PREFERRED ACCENT MATERIALS FOR INCORPORATION INTO THE BASIC EXTERIOR FACADES SHALL INCLUDE STUCCO, STONE, TILE, OR PRE-FINISHED METAL.

3. THE FOLLOWING MATERIALS ARE PROHIBITED:

- a. ALUMINUM SIDING OR CLADDING (COMPOSITE ALUMINUM ALLOWED AT CANOPIES AND ENTRANCES)
- b. PLASTIC OR VINYL SIDING
- c. UNFINISHED CONCRETE MASONRY UNITS OR CONCRETE WALL
- d. SHIPPING CONTAINERS OR CONEX BOXES
- e. REFLECTIVE GLASS

C. UTILIZE PASSIVE SOLAR CONCEPTS WHERE ARCHITECTURALLY APPROPRIATE AND IN ACCORDANCE WITH THE STYLE OF ARCHITECTURE.

1. FOR EXAMPLE, EXTENDED OVERHANGS MAY BE IMPLEMENTED TO BLOCK SUNLIGHT.

D. ACCESSORY BUILDINGS. ACCESSORY BUILDING SHALL BE FINISHED IN THE SAME MATERIALS AS THE PRINCIPAL BUILDING.

E. SHOPPING CENTERS. BUILDINGS THAT SHARE COMMON PARKING AREAS OR DRIVEWAYS SHOULD ALSO SHARE EXTERIOR DESIGN ELEMENTS AND FINISH MATERIALS.

F. CORPORATE IDENTITY. IT IS RECOGNIZED THAT MANY CORPORATIONS HAVE IDENTIFIABLE CORPORATE ARCHITECTURE. THIS IS NOT PROHIBITED BUT SHOULD BE MODIFIED, IF NECESSARY, TO BE COMPATIBLE WITH THE LOCATION OF THE PROPOSED BUILDING AND CONSISTENT WITH THESE DESIGN STANDARDS.

G. BUILDING ADDITIONS. POST DEVELOPMENT, THESE STANDARDS SHALL APPLY TO ADDITIONS TO EXISTING BUILDINGS. THE EXTERIOR TREATMENT OF ANY BUILDING ADDITIONS SHALL, TO THE EXTENT PRACTICAL AND FEASIBLE, BE OF THE SAME MATERIALS AND COLORS AS THE EXISTING STRUCTURE.

H. EXTERIOR REMODEL. POST DEVELOPMENT, ANY FUTURE MODIFICATION TO THE EXTERIOR OF EXISTING BUILDINGS WHICH REQUIRES A BUILDING PERMIT WILL BE SUBJECT TO THE STANDARDS SET OUT IN THIS PD.

I. DRIVE THROUGH - THE FOLLOWING STANDARDS SHALL APPLY.

1. THE DRIVE THROUGH SHALL NOT BE VISIBLE FROM THE PRIMARY STREET FRONTAGE.
2. IN GENERAL, PARKING LOTS AND STACKING LANES SHALL BE LOCATED AWAY FROM AND OUT OF SIGHT OF THE PUBLIC RIGHT-OF-WAY.
3. PARKING ACCESS POINTS, WHETHER LOCATED IN FRONT, SIDE, OR REAR, SHALL BE LOCATED AS FAR AS POSSIBLE FROM STREET INTERSECTIONS TO ALL ADEQUATE STACKING ROOM.
4. STRUCTURES AND ON-SITE CIRCULATION SYSTEMS SHOULD BE LOCATED TO MINIMIZE PEDESTRIAN AND VEHICLE CONFLICTS.
5. RECIPROCAL ACCESS BETWEEN ADJACENT PARKING AREAS SHALL BE PROVIDED WHERE FEASIBLE SO THAT VEHICLES ARE NOT REQUIRED TO ENTER THE STREET IN ORDER TO MOVE FROM ONE AREA TO ANOTHER ON THE SAME OR ADJACENT SITES.
6. CURB-CUTS SHOULD BE MINIMIZED TO REDUCE PEDESTRIAN CONFLICTS ALONG THE STREET AND ENCOURAGE WALKABILITY AND ACCESSIBILITY.
7. DRIVEWAYS OR SITE ACCESS SHOULD BE PROVIDED ON NON-RESIDENTIAL SIDE STREETS OR LESS MAJOR STREETS WHERE POSSIBLE TO IMPROVE PEDESTRIAN SAFETY AND REDUCE PEDESTRIAN AND VEHICLE CONFLICTS OR VEHICLE STACKING ON MAJOR STREETS.
8. WALLS AND SCREENING SHOULD BE USED TO HIDE ANY DRIVE-THROUGH LOCATED ADJACENT TO "MAIN STREET" AS IDENTIFIED IN THE CONCEPT PLAN.



WE ARE PROVIDING THIS EXAMPLE OF HOW A DRIVE THROUGH FOR A BANK HAS BEEN SUCCESSFULLY INTEGRATED INTO THE PEDESTRIAN COMMERCIAL MIXED-USE ENVIRONMENT IN SOUTHERN LANDS WESTHAVEN COMMUNITY.

BANK - FRONT STREET VIEW

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COMMERCIAL DEVELOPMENT STANDARDS

DRAWN BY:

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DESIGNED BY:

BC/SW

SUBMITTED ON:

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DEVELOPMENT STANDARDS

DIMENSIONAL STANDARDS SUMMARY TABLE										
	MINIMUM LOT STANDARDS		MINIMUM LOT SETBACKS (FT.)							
LOT TYPE	WIDTH (FT.)	AREA (S.F.)	FRONT ON STREET	FRONT ON GARDEN COURT	SIDE (TO ABUTTING STREET)	SIDE (TO INTERIOR LOT)	REAR	HEIGHT	BUILDING SEPARATION	PORCH DEPTH - CLEAR AREA
SINGLE FAMILY FRONT LOAD	45'	4,000	PRIN. - 10'	NOT APPLICABLE	8'	5'	PRIN. - 15'	PRIN. - 35' ACC. 25'	PRIN. - 10'	6 FEET AS MEASURED FROM THE STUD WALL TO COLUMN CENTERLINE OR RAILING
	48' CORNER LOTS		FRONT LOAD GAR. 20' SIDE LOAD GAR. 10'				ACC. - 5'			
			ACC. - 25'							
SINGLE FAMILY ALLEY LOAD	30'	2,600	8'	5'	8'	5'	0'		PRIN. - 10'	
	35' CORNER LOTS								ACC. - 5'	
DUPLEX ALLEY LOAD	24'	1,700	8'	5'	8'	5'	0'		PRIN. - 10'	
	27' CORNER LOTS									
TOWNHOME ALLEY LOAD	16'	1,000	8'	5'	8'	5'	0'		PRIN. - 10'	
	24' CORNER LOTS									
LIVE WORK	16'	1,000	5'	5'	8'	5'	0'	PRIN. - 45' ACC. 25'	PRIN. - 10'	
	24' CORNER LOTS									
MULTI-FAMILY	200	Comment #27: 1000 per DU <div>PER DU RATE</div>	5'	5'	8'	5'	0'	PRIN. - 55' ACC. 25'	PRIN. - 10'	
COMMERCIAL	NONE	MAXIMUM FLOOR AREA RATIO - 1.0	5'	<div>5' MINIMUM PARKING SETBACK</div>	8'	0'	0'	PRIN. - 60' ACC. 25'	PRIN. - 10'	NA
1. EASEMENTS MAY BE MORE RESTRICTIVE THAN MINIMUM SETBACKS, THE GREATER OF THE MINIMUM SETBACK OR THE UTILITY EASEMENT SHALL GOVERN.										
2. EXCEPT FOR DETACHED ALLEY-LOADED GARAGES (WHICH MAY INCLUDE ADU'S), ACCESSORY STRUCTURES ARE NOT PERMITTED ON LOTS WHERE VEHICULAR ACCESS IS PROVIDED TO THE REAR OF THE LOT BY AN ALLEY.										

Comment #137:
Please remove the "minimum parking setback" from the Front on Garden Court requirement as parking would not be allowed to front on a garden court.

PARKING STANDARDS SUMMARY TABLE	
LOT TYPE	PARKING REQUIREMENTS
SINGLE FAMILY FRONT LOAD	2 SPACES PER DU
SINGLE FAMILY ALLEY LOAD	2 SPACES PER DU
DUPLEX ALLEY LOAD	2 SPACES PER DU
TOWNHOME ALLEY LOAD	2 SPACES PER DU, +1 GUEST SPACE PER 3 DU'S - ON-STREET PARKING FOR GUESTS IS ABLE TO BE COUNTED TOWARDS THE REQUIRED PARKING.
LIVE WORK	2 SPACES PER DU, +1 GUEST SPACE PER 3 DU'S - ON-STREET PARKING FOR GUESTS IS ABLE TO BE COUNTED TOWARDS THE REQUIRED PARKING.
MULTI-FAMILY	1.25 SPACES PER EFFICIENCY, STUDIO OR 1-BEDROOM DU; 2 SPACES PER DU WITH 2 OR MORE BEDROOMS, PLUS 1 GUEST SPACE PER 3 DU'S - ON-STREET PARKING FOR GUESTS IS ABLE TO BE COUNTED TOWARDS THE REQUIRED PARKING. TANDEM PARKING IS ABLE TO BE COUNTED TOWARDS MULTI-FAMILY PARKING REQUIREMENTS.
COMMERCIAL USES	PER UDC (NOTE: WE ANTICIPATE UTILIZING SHARED PARKING PER TOWN OF ERIE UDC 10-6-6.E. PARKING ALTERNATIVES)
REQUESTS FOR REDUCTIONS IN PARKING REQUIREMENTS SHOULD BE REVIEWED BASED ON THE PROCEDURE OUTLINED IN THE TOWN OF ERIE UDC.	
ON-STREET PARKING SPACES IN THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY MAY BE COUNTED TO SATISFY THE MINIMUM OFF-STREET PARKING REQUIREMENTS.	
ELECTRIC VEHICLE CHARGING SHALL BE PROVIDED PER BUILDING CODE WITH THE ADDITIONAL MINIMUM STANDARDS AS FOLLOWS. THE DEVELOPMENT SHALL INCLUDE A MINIMUM OF 3 PUBLICLY ACCESSIBLE LEVEL 3 ELECTRIC VEHICLE ("EV") CHARGING STATIONS IN CONVENIENT LOCATIONS, AS APPROVED BY THE TOWN. IN ADDITION, AT LEAST 2% OF THE TOTAL PARKING SPACES FOR MULTI-FAMILY UNITS IN THE DEVELOPMENT SHALL BE EV CHARGING SPACES, AND AN ADDITIONAL 5% OF THE TOTAL PARKING SPACES FOR MULTI-FAMILY UNITS SHALL BE EV CHARGING READY SPACES.	

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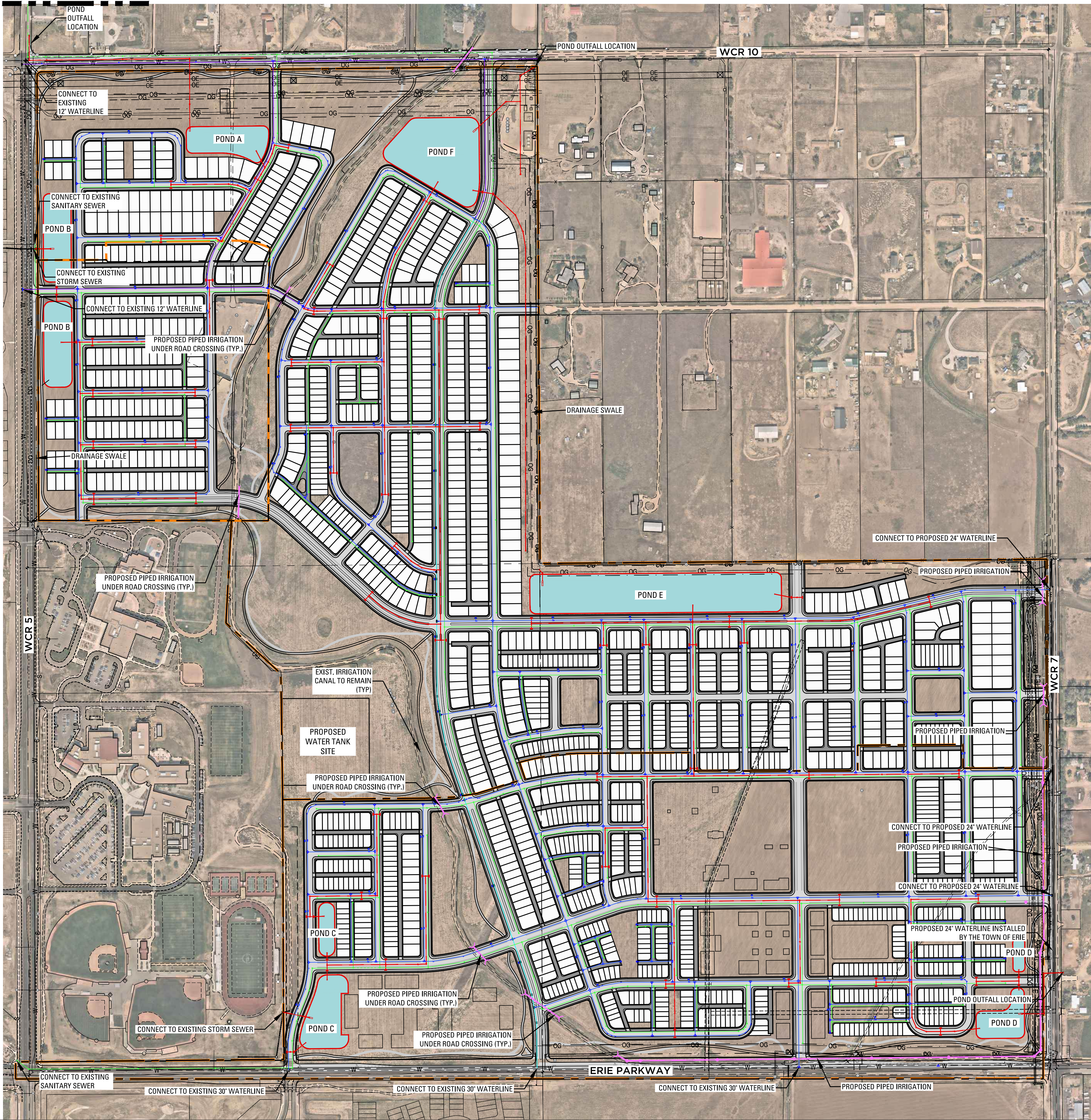
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UTILITY CONCEPT PLAN

SEE OFFSITE SAN TO RIGHT

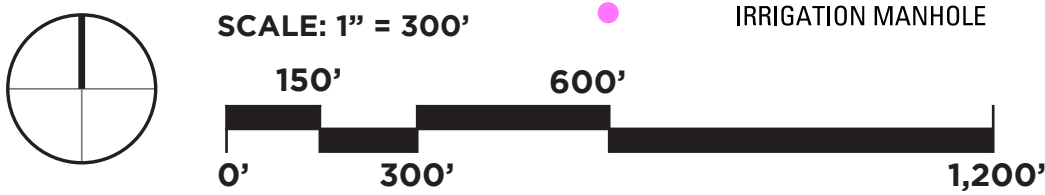


MATCHLINE- SEE BELOW



MATCHLINE- SEE ABOVE

- LEGEND**
- 8" WATERLINE
 - 12" WATERLINE
 - 16" WATERLINE
 - SANITARY SEWER
 - STORM SEWER
 - PROPOSED DRAINAGE SWALE
 - EXISTING CENTERLINE COMMUNITY DITCH
 - FIRE HYDRANT
 - SANITARY MANHOLE
 - STORM MANHOLE
 - TYPE 'R' INLET
 - AREA INLET
 - OVERHEAD ELECTRIC
 - CONCEPTUAL SANITARY SEWER BASINS
 - IRRIGATION PIPE
 - IRRIGATION MANHOLE



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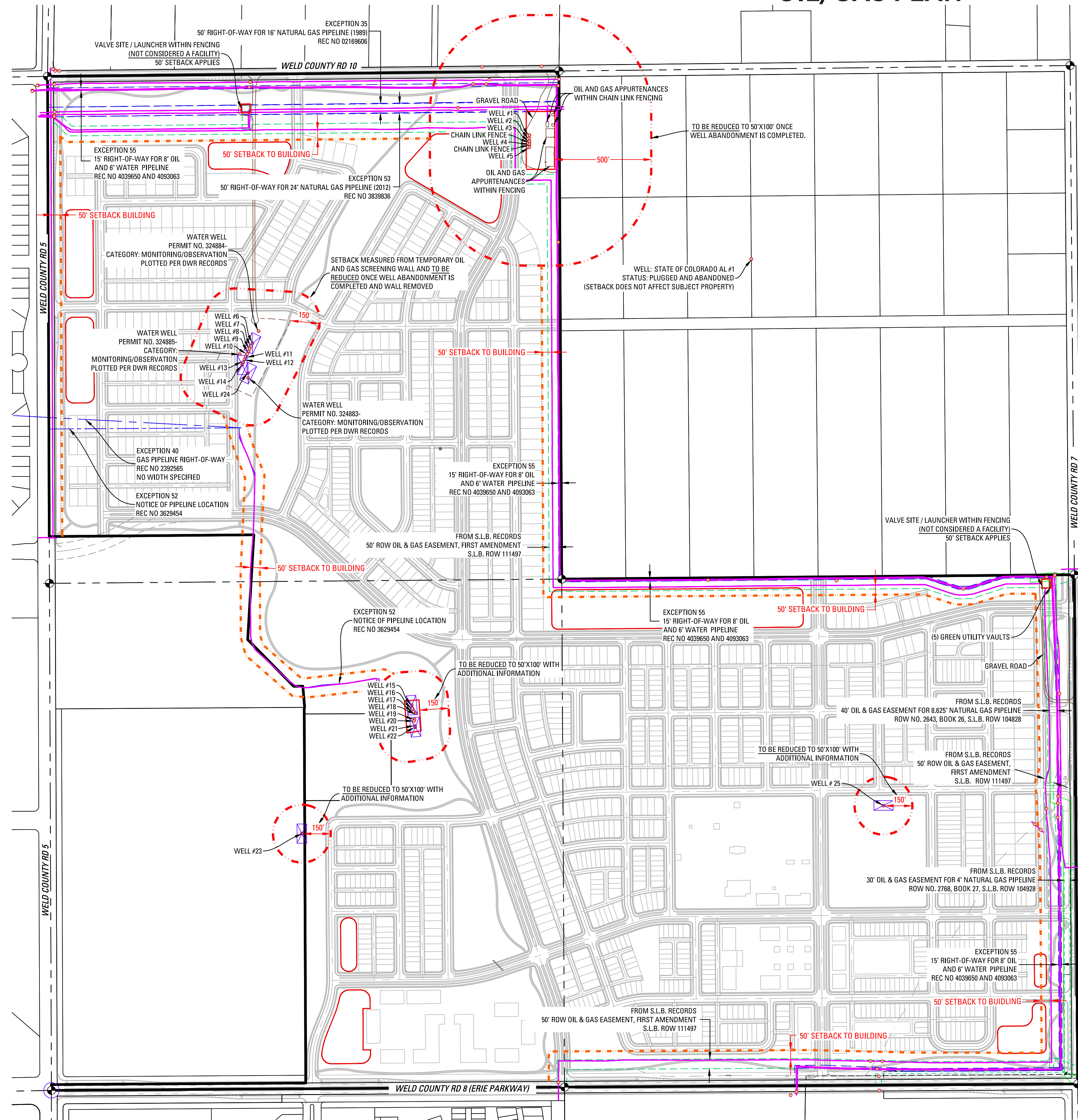
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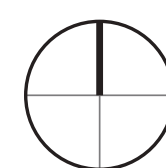
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OIL/GAS PLAN

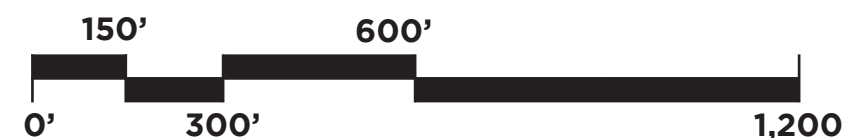


LEGEND:

- (1) PETROLEUM PIPE LINE MARKER POST & (1) PRODUCED WATER PIPE LINE MARKER POST
- NATURAL GAS PIPE LINE MARKER POST
- PETROLEUM PIPE LINE MARKER POST
- WATER WELL AS DESCRIBED
- OIL WELL HEAD AS DESCRIBED
- OIL & GAS WELL SETBACK TO LOT LINE TO BE REDUCED BY RECORDING OF FINAL PLAT
- OIL & GAS WELL SETBACK TO BUILDING
- REDUCED 50'X100' OIL & GAS WELL SETBACK TO LOT LINE (REDUCED WITH TOWN ACCEPTANCE OF QUALITY OF INFO. PROVIDED)
- OIL & GAS FLOWLINES / GATHERING LINES
- GRAVEL OR DIRT ROAD
- FENCE ENCLOSING OIL AND GAS FACILITIES
- EASEMENTS ASSOCIATED WITH OIL AND GAS FACILITIES (RECORDED AT WELD COUNTY)
- EASEMENTS ASSOCIATED WITH OIL AND GAS FACILITIES AND FOUND IN STATE LAND BOARD RECORDS (NOT RECORDED AT COUNTY OR FOUND IN TITLE COMMITMENT)
- SUBJECT PROPERTY BOUNDARY



SCALE: 1" = 300'

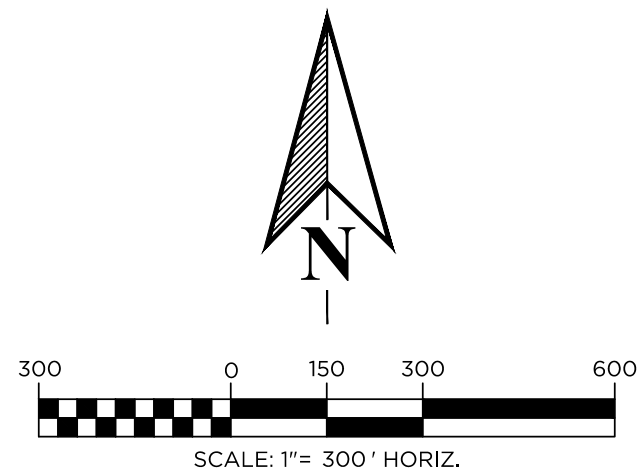


APPLICABLE SETBACKS PER ERIE UDC:

SETBACKS FROM ACTIVE FACILITIES (PR, SI, TA STATUS)	500' FROM WORKING PAD
SETBACKS FROM PLUGGED AND ABANDONED WELLS	150 FEET, TO BE REDUCED ONCE THE CONDITIONS OF 10-06-14.E.3.f ARE MET: i. THE PLUGGED AND ABANDONED WELL HAS BEEN LOCATED TO A CERTAINTY NOT LESS THAN FIVE FEET HORIZONTALLY; ii. A THIRD PARTY, APPROVED BY THE TOWN, HAS CONFIRMED THAT THERE IS NO HYDROCARBON CONTAMINATION WITHIN THE SUBJECT OIL AND GAS LOCATION IN WHICH THE PLUGGED AND ABANDONED WELL IS LOCATED, OR THAT SUCH HYDROCARBON CONTAMINATION HAS BEEN REMEDIATED TO BACKGROUND LEVELS, AND iii. A REPORT REVIEWING THE RECORDS ON FILE WITH THE COGCC AND CERTIFYING IN WRITING THAT THE WELL HAS BEEN PLUGGED IN ACCORDANCE WITH THE COGCC RULES CURRENT AT THE TIME OF THE CERTIFICATION, OR THE WELL IS RE-PLUGGED IN ACCORDANCE WITH THE COGCC RULES CURRENT AT THE TIME OF THE APPLICATION; iv. PROVIDED THAT, IN NO CASE SHALL A REDUCTION IN A RECIPROCAL SETBACK FROM A PLUGGED AND ABANDONED WELL RESULT IN LESS THAN A RECIPROCAL SETBACK IN THE FORM OF A RECTANGLE MEASURING 50 FEET BY 100 FEET, WITH THE PLUGGED AND ABANDONED WELL LOCATED AT THE CENTER. NO PLUGGED AND ABANDONED WELLS WITHIN ROW OR PARKS NO NEW PUBLIC RIGHT-OF-WAY SHALL BE WITHIN 25 FEET OF A PLUGGED AND ABANDONED WELL. NO BUILDING THAT IS REQUIRED A CO SHALL BE LESS THAN 150 FEET FROM A PLUGGED AND ABANDONED WELL.
SETBACKS FROM PIPELINES	NO RESIDENTIAL LOTS WITHIN (MINIMUM 30 FT) EASEMENTS, NO OCCUPIED BUILDINGS WITHIN 50 FT OF THE CENTERLINE.

OIL AND GAS WELL HEAD INFORMATION TABLE:

IDENTIFIER	WELL NAME	WELL STATUS	LOCATION SOURCE
WELL #1	STATE #26-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #2	STATE #1-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #3	STATE #2-16	SHUT IN	PLOTTED PER COGCC RECORDS
WELL #4	STATE #8-16	SHUT IN	PLOTTED PER COGCC RECORDS
WELL #5	STATE #7-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #6	STATE #35-9	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #7	STATE #28-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #8	STATE #4-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #9	STATE #3-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #10	STATE #21-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #11	STATE #6-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #12	STATE #30-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #13	STATE #32-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #14	STATE #5-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #15	STATE #22-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #16	STATE #11-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #17	STATE #25-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #18	STATE #12-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #19	STATE #33-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #20	STATE #13-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #21	STATE #35-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #22	STATE #14-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #23	STATE OF CO. AL #2	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #24	STATE OF CO. AL #1	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #25	STATE #16-9V	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS



PREPARED FOR:

NORTH WESTERLY
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3990 HILLSBORO PIKE,
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REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR

SHEET INFO:

UNDERMINING/
OIL & GAS PLAN

DRAWN BY:

CGR/JN

DESIGNED BY:

BC/SW

SUBMITTED ON:

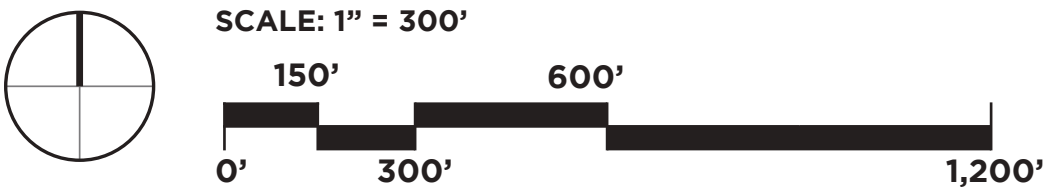
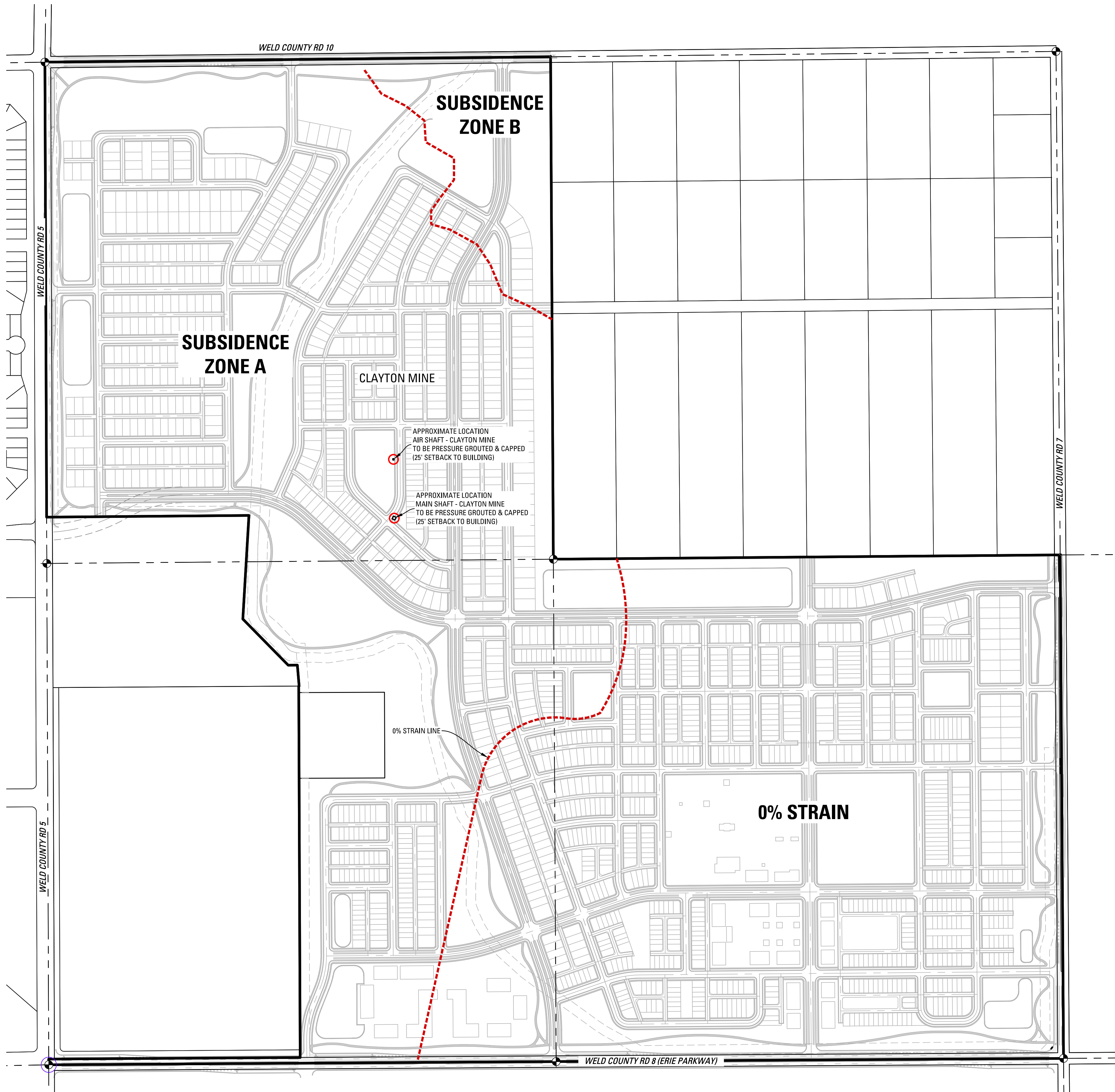
2/09/2023

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OF 29

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

UNDERMINING PLAN



PLANNING AND DESIGN RECOMMENDATIONS

PLANNING AND DESIGN RECOMMENDATIONS ARE TAKEN FROM THE PRELIMINARY MINE SUBSIDENCE INVESTIGATION, NORTH WESTERLY, 414.38 ACRES IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST, ERIE, COLORADO PREPARED BY WESTERN ENVIRONMENT AND ECOLOGY, INC, PROJECT NUMBER 778-005-02, JULY 11TH, 2024.

SUBSIDENCE ZONE A

1. FOUNDATION LENGTHS MUST NOT EXCEED 151 FEET IN LENGTH OR WIDTH. *
 2. STRUCTURES SHOULD BE LIMITED TO TWO STORIES OR LESS, AND SHOULD BE CONSTRUCTED USING WOOD OR METAL FRAMING.
 3. UTILITIES SHOULD TAKE INTO ACCOUNT THE POTENTIAL FOR 0.113 % SURFACE STRAINS AND 0.25 FEET OF SUBSIDENCE OVER 286 FEET.
- * LARGER STRUCTURES MAY BE BUILT IF ADDITIONAL STUDIES, INCLUDING DRILLING, ARE CONDUCTED.

SUBSIDENCE ZONE B

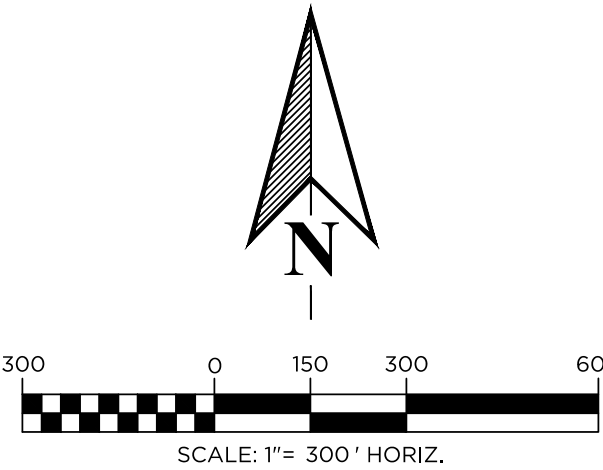
1. FOUNDATION LENGTHS MUST NOT EXCEED 64 FEET IN LENGTH OR WIDTH.*
 2. STRUCTURES SHOULD BE LIMITED TO TWO STORIES OR LESS, AND SHOULD BE CONSTRUCTED USING WOOD OR METAL FRAMING.
 3. UTILITIES SHOULD TAKE INTO ACCOUNT THE POTENTIAL FOR 0.310 % SURFACE STRAINS AND 0.78 FEET OF SUBSIDENCE OVER 207 FEET.
- * LARGER STRUCTURES MAY BE BUILT IF ADDITIONAL STUDIES, INCLUDING DRILLING, ARE CONDUCTED.

0% STRAIN ZONE

1. AREAS OCCURRING EAST OF THE 0% STRAIN LINE AS SHOWN, HAVE NO MINE SUBSIDENCE RELATED DEVELOPMENT RESTRICTIONS.

LEGEND:

- SUBSIDENCE ZONE BOUNDARY
- SUBJECT PROPERTY BOUNDARY



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REVISIONS:

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2	3RD SUBMITTAL	10/02/2024	JP/CGR

SHEET INFO:

UNDERMINING/
OIL & GAS PLAN

DRAWN BY:

CGR/JN

DESIGNED BY:

BC/SW

SUBMITTED ON:

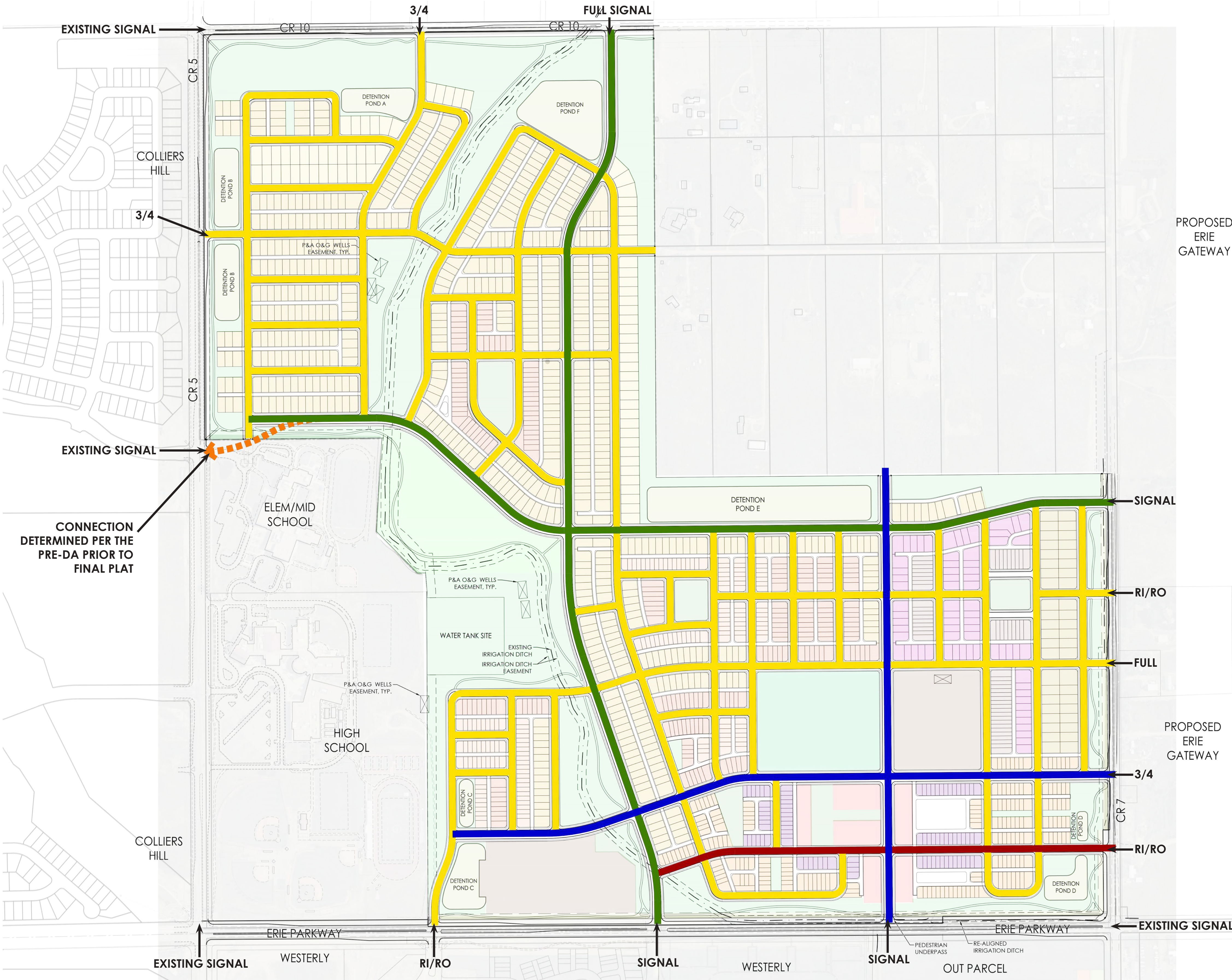
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PD-001700-2024

STREETSCAPE PLAN



LEGEND:

- MAJOR COLLECTOR WITH MEDIAN
- MINOR COLLECTOR WITH A DESIGNATED BIKEWAY
- MINOR COLLECTOR
- LOCAL STREET
- POSSIBLE CONNECTION

NOTE: THE PROPOSED STREET INTERSECTION SIGNALS & ACCESS (RIGHT IN/RIGHT OUT, 3/4, FULL) TO CONNECTOR STREETS SHALL BE DETERMINED WITH FUTURE TRAFFIC STUDIES.



PREPARED FOR:

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REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR

SHEET INFO:

STREETSCAPE PLAN

DRAWN BY:

CGR/JN

DESIGNED BY:

BC/SW

SUBMITTED ON:

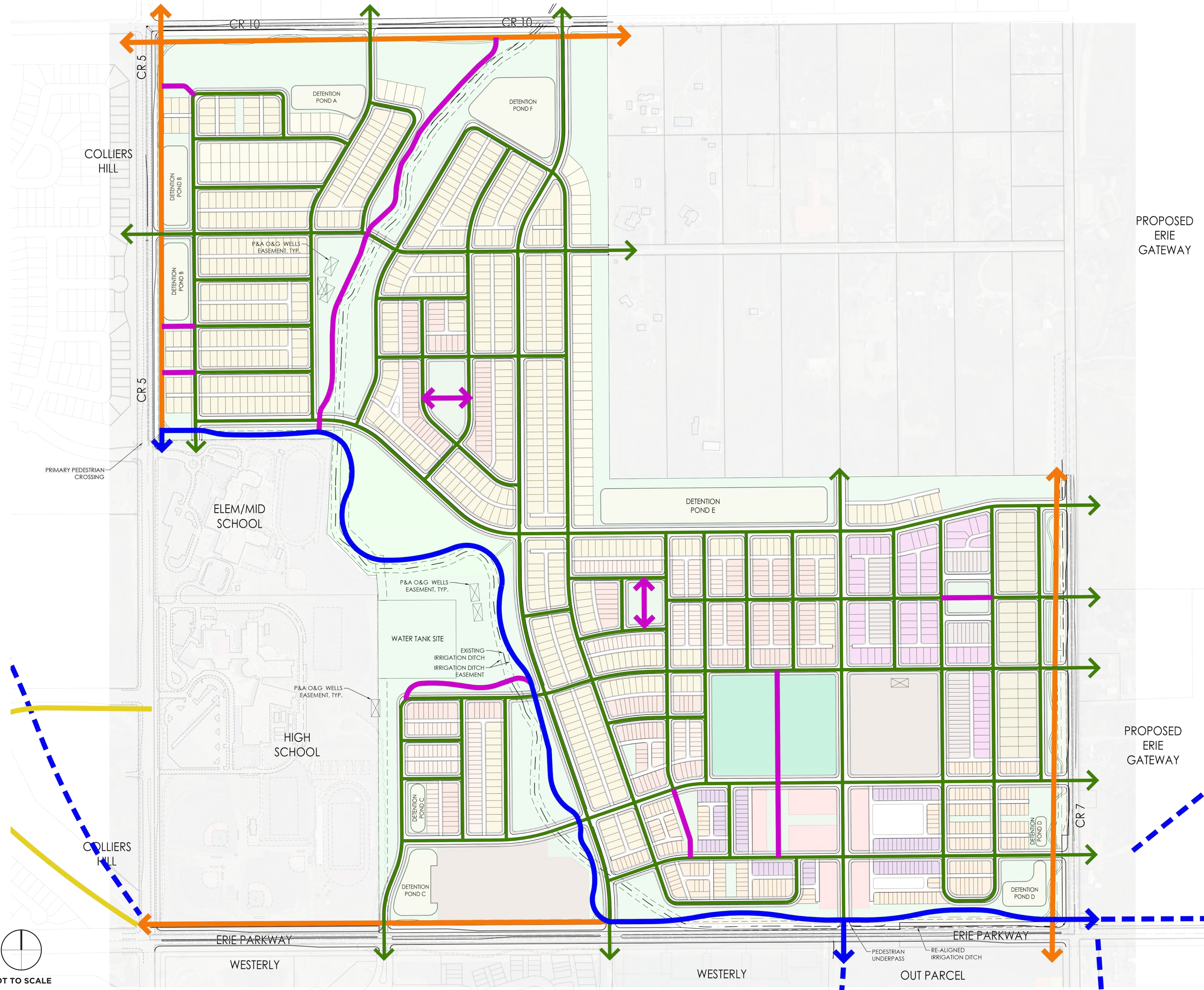
2/09/2023

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PEDESTRIAN CIRCULATION PLAN



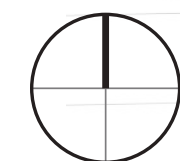
LEGEND:

-  10' CONCRETE SPINE TRAIL
-  8' PERIMETER CONCRETE MULTI-USE TRAIL
-  8' CONCRETE MULTI-USE TRAIL
-  LOCAL STREET (SIDEWALK)
-  PROPOSED SPINE TRAIL
(OUTSIDE NORTH WESTERLY BOUNDARY)
-  EXISTING TRAIL
(OUTSIDE NORTH WESTERLY BOUNDARY)

NOTES

*ON-STREET PEDESTRIAN CONNECTIONS ARE PROVIDED BY PUBLIC WALKWAYS WITHIN RIGHT-OF-WAY. THE ALIGNMENTS PROVIDED ARE INTENDED TO SHOW GENERAL PEDESTRIAN CONNECTIVITY. REFER TO STREET CLASSIFICATION EXHIBIT FOR MORE DETAIL REGARDING STREET SECTIONS AND ALIGNMENTS. FINAL ROAD ALIGNMENTS SHALL BE DETERMINED AT FINAL PLAT.

**PEDESTRIAN CROSSINGS AT INTERSECTIONS ARE ALL AT-GRADE EXCEPT THE NOTATED PEDESTRIAN ERIE PARKWAY UNDERPASS.



NOT TO SCALE

PREPARED FOR:

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LAND PLANNING:

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JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR

SHEET INFO:

PEDESTRIAN CIRCULATION PLAN

DRAWN BY:
CGR/JN

DESIGNED BY:
BC/SW

SUBMITTED ON:
2/09/2023

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OF 29

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

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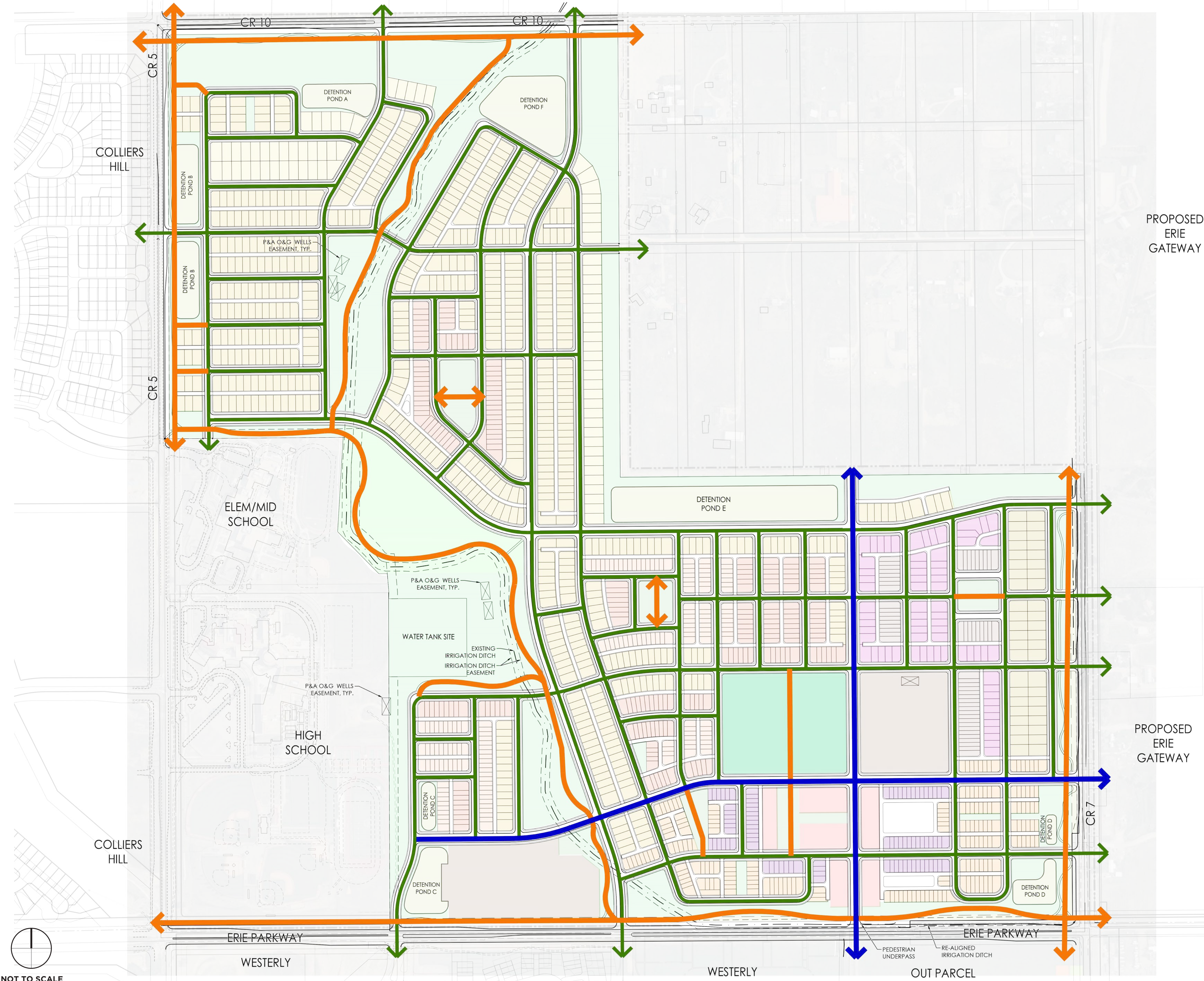
BICYCLE CONNECTIVITY PLAN

LEGEND:

- SEPARATED ON-STREET BIKE LANE
- SHARED ON-STREET BIKE
- MULTI-USE TRAIL

NOTES

THE ALIGNMENTS PROVIDED ARE INTENDED TO SHOW GENERAL BICYCLE CONNECTIVITY. REFER TO STREET CLASSIFICATION EXHIBIT FOR MORE DETAIL. FINAL ROAD ALIGNMENTS SHALL BE DETERMINED AT FINAL PLAT.



PREPARED FOR:

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2	3RD SUBMITTAL	10/02/2024	JP/CGR

SHEET INFO:

BICYCLE CONNECTIVITY PLAN

DRAWN BY:

CGR/JN

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

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OF 29

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

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390.8797 ACRES
PD-001700-2024
SIGNAGE PLAN

SIGNAGE PLAN:

- LIST OVERALL DESIGN INTENT
THE OVERALL DESIGN INTENT FOR SIGNAGE IN THIS PEDESTRIAN ORIENTED COMMUNITY IS TO BE UNDERSTATED WITH HIGH QUALITY MATERIALS AND QUALITY EXECUTION AND DESIGN SIMPLICITY.
- PROVIDE MASTER SIGNAGE CHARACTERISTICS
AT THIS EARLY STAGE IN THE DESIGN OF THE COMMUNITY WE ANTICIPATE PRIMARY ENTRY MONUMENTS ON ERIE PARKWAY, AND LIKELY SECONDARY MONUMENTS ON COUNTY ROAD 5 AND COUNTY ROAD 7, WITH THE POTENTIAL FOR RETAIL AND INTERNAL IDENTIFICATION SIGNAGE THROUGHOUT THE PROJECT THAT WILL BE OF A SIMILAR DESIGN CHARACTER. SIGNAGE WILL MEET UDC REQUIREMENTS 10-6-12.
- PROVIDE SIGN CHARACTERISTICS
BELOW ARE RENDERINGS OF SIGN CHARACTERISTICS DEVELOPED FOR THE WESTERLY COMMUNITY, WE ANTICIPATE USING A SIMILAR SIGN CHARACTERISTIC FOR NORTH WESTERLY SO THE COMMUNITY FEELS COHESIVE.

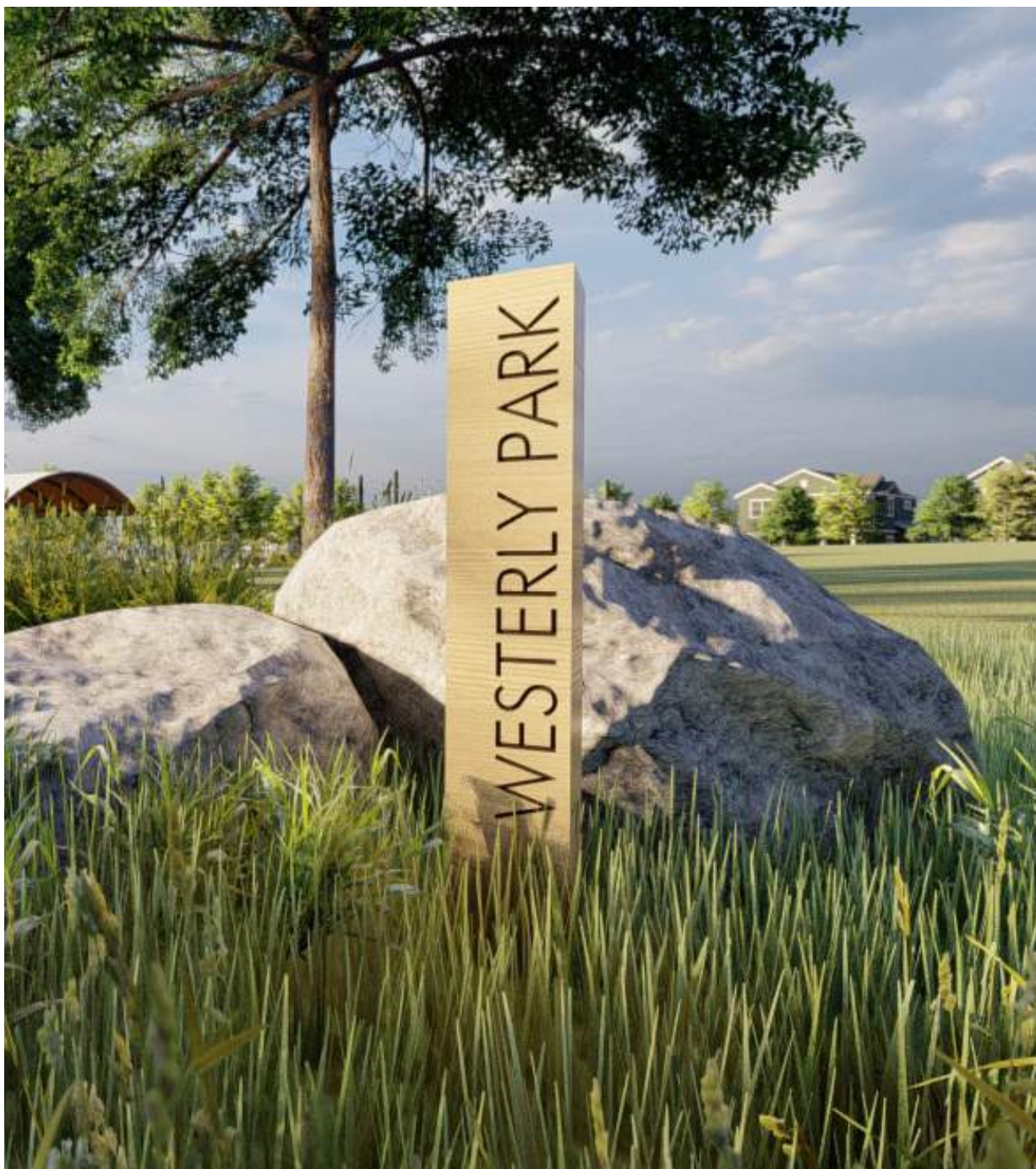
PRIMARY ENTRY MONUMENT



SECONDARY ENTRY MONUMENT



TRAIL MARKER



ANTICIPATED MONUMENT LOCATIONS



- LEGEND:
- PRIMARY ENTRY MONUMENT
 - SECONDARY ENTRY MONUMENT

Comment #126: Upon review of the monument sign key map per UDC 10-6-12.H.3 "Monument signs located along Erie Parkway shall not be located in an easement or a landscaped tract." Please add note to sheet that monument signs shall not be located in landscape tracts or within easements without permission of easement holder.

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REVISIONS:

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1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR

SHEET INFO:

SIGNAGE PLAN

DRAWN BY:
CGR/JN
DESIGNED BY:
BC/SW

SUBMITTED ON:
2/09/2023

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OF 29

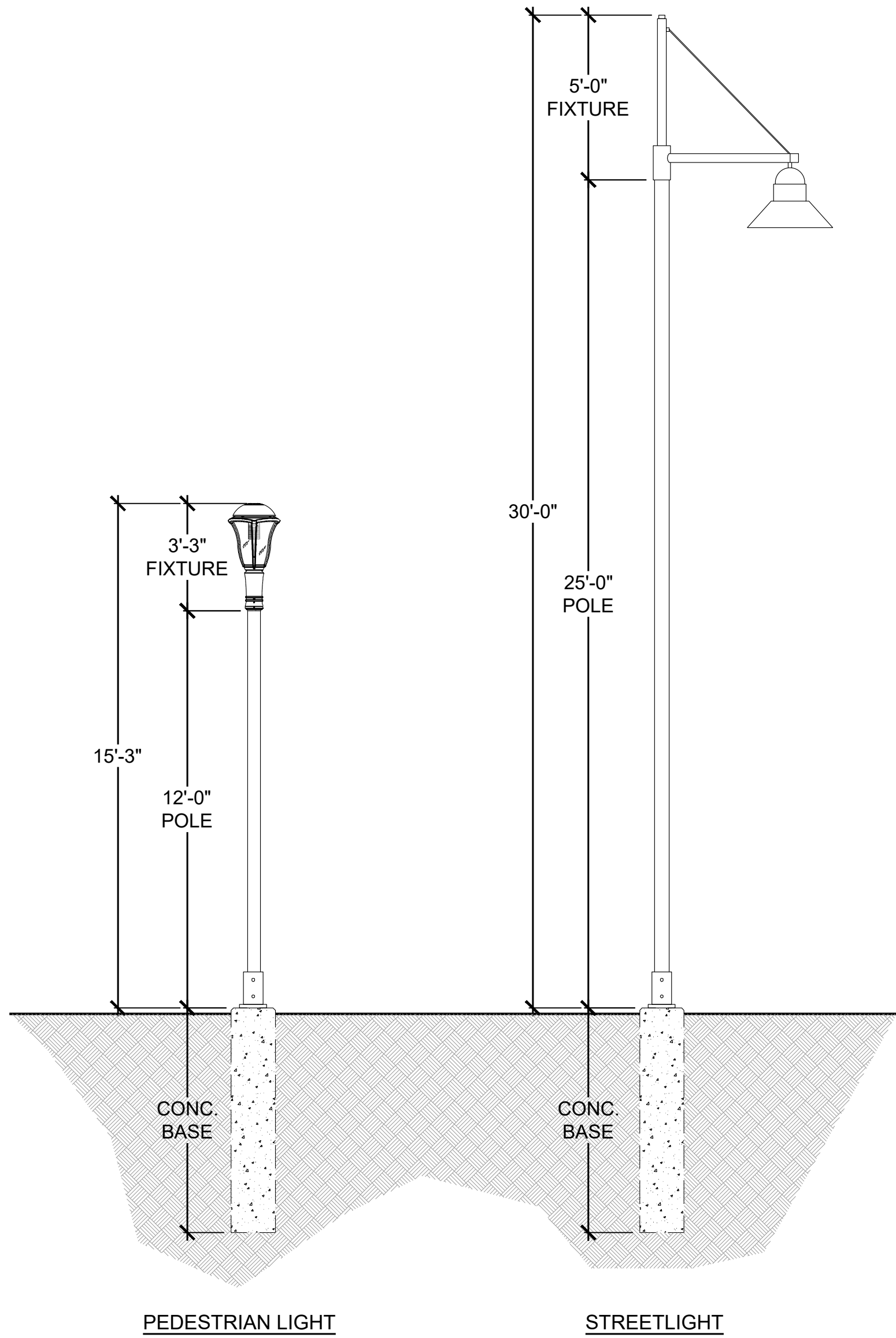
NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

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OVERALL LIGHTING PLAN

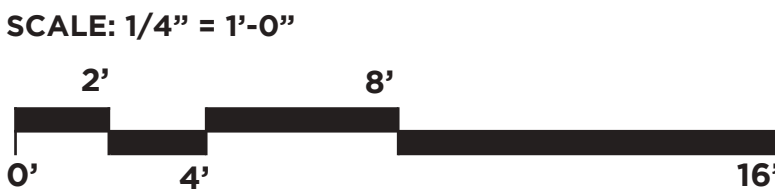
OVERALL LIGHTING PLAN:

- PROVIDE OVERALL LIGHTING CONCEPT AND THEMES
NORTH WESTERLY INTENDS TO FOLLOW THE TOWN OF ERIE UDC REQUIREMENTS FOR LIGHTING. IN GENERAL LIGHTING THROUGHOUT THE COMMUNITY WILL UTILIZE PEDESTRIAN SCALED LIGHT FIXTURES IN PARK AREAS, AND POTENTIALLY BOLLARD STYLE LIGHTING IN THE COMMERCIAL MIXED USE AREAS.
- EXTERIOR BUILDING LIGHTING SHOULD BE USED TO PROVIDE SAFETY AND SECURITY AND TO HIGHLIGHT ARCHITECTURAL FEATURES.
- FOR COMMERCIAL AND MULTI-FAMILY BUILDINGS, ALL EXTERIOR DOORWAYS SHALL BE LIGHTED ALL NIGHT.
- FOR COMMERCIAL BUILDINGS, ALL LIGHT SOURCES SHALL BE SCREENED FROM VIEW OF ADJACENT PROPERTIES AND PUBLIC RIGHTS-OF-WAY. LIGHT POLES OF A MINIMUM HEIGHT TO PROVIDE ADEQUATE LIGHTING SHOULD BE USED. SEVERAL SHORT POLES ARE PREFERRED TO ONE TALLER POLE. LIGHT FROM COMMERCIAL DEVELOPMENTS MAY NOT SPILL ONTO RESIDENTIAL SITES. NOT MORE THAN 1-FOOT CANDLE FROM COMMERCIAL DEVELOPMENTS SHALL BE PERMITTED LEAVE THE PROPERTY/SITE. A PLAN TO REDUCE UNNECESSARY LIGHTING AFTER BUSINESS HOURS SHALL BE PROVIDED.
- ESTABLISH FIXTURE STYLES
BELOW ARE SOME POTENTIAL PEDESTRIAN AND BOLLARD LIGHTS THAT DEPICT THE DESIGN AND QUALITY INTENT FOR NORTH WESTERLY, THE PEDESTRIAN LIGHT DEPICTED IS THE SAME AS IS CURRENTLY USED IN THE WESTERLY COMMUNITY. STREET LIGHT FIXTURES WILL ALSO BE THE SAME AS ARE CURRENTLY USED IN THE WESTERLY COMMUNITY AND ARE COMPLIANT WITH THE TOWN OF ERIE UDC.



PEDESTRIAN LIGHT
MANUFACTURER: LUMEC BY SIGNIFY
PRODUCT: CLASSIC STYLE VLR POST TOP
MODEL#: VLR-CAGE

STREETLIGHT
UNITED POWER STANDARD
PRODUCT: 25' LIGHTPOLE WITH 150W MH LUMINAIRE AND ARM
MODEL#M26-150C



PEDESTRIAN AND BOLLARD LIGHTING



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2	3RD SUBMITTAL	10/02/2024	JP/CGR

SHEET INFO:

SIGNAGE PLAN -
PHOTOMETRIC PLAN

DRAWN BY:
CGR/JN
DESIGNED BY:
BC/SW

SUBMITTED ON:
2/09/2023

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OF 29

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390.8797 ACRES

PD-001700-2024

LANDSCAPE CONCEPT

INTENT & CHARACTER:

NORTH WESTERLY LANDSCAPE CONCEPT NARRATIVE

ANY LANDSCAPING WITHIN THE PUBLIC RIGHT-OF-WAY, TRAIL CORRIDORS, AND PARKS SHALL FOLLOW THE TOWN OF ERIE LANDSCAPE STANDARDS OF THE UDC SECTION 10-6-4. WITHIN THE PARAMETERS AND REQUIREMENTS OF THE UDC, THE DESIGN INTENT AND CHARACTER IS DESCRIBED BELOW. IF THE DESIGN INTENT CONFLICTS WITH THE CURRENT OR FUTURE REQUIREMENTS, THE UDC REQUIREMENTS SHALL PREVAIL.

THE LANDSCAPE DESIGN CONCEPT FOCUSES ON 2 AREAS OF THE NORTH WESTERLY COMMUNITY’S FEATURES:

1. THE LANDSCAPE DESIGN CHARACTER OF THE STREETSAPES AND SHARED PUBLIC AREAS, INCLUDING MEDIANS, GREENWAYS, AND THE PARKS AND OPEN SPACE WITHIN THE RESIDENTIAL NEIGHBORHOODS, COMMERCIAL AREAS, AND THE COMMUNITY AMENITY.
2. RESIDENTIAL LANDSCAPE DESIGN CONCEPTS, WHICH ESTABLISH THE LANDSCAPE CHARACTER FOR INDIVIDUAL LOTS.

TWO CONCEPTS GUIDE THE APPROACH TO PUBLIC LANDSCAPE IN STREET RIGHT-OF-WAYS AND PRIVATE PARKS, AND TO PRIVATE LANDSCAPE ON RESIDENTIAL LOTS. THE FIRST DESIGN CONCEPT IS BASED ON THE GRADUAL TRANSITIONS BETWEEN ECOLOGIES FOUND IN NATURAL SETTINGS, WHICH AT NORTH WESTERLY IS USED TO STRUCTURE A GRADUAL TRANSITION FROM THE LANDSCAPE CHARACTER OF A MORE URBAN ENVIRONMENT TO THE CHARACTER OF A LESS URBAN ENVIRONMENT. THE SECOND DESIGN CONCEPT IS BASED ON THE DESIRE TO CREATE CHARACTER DISTINCTIONS BETWEEN NEIGHBORHOODS THROUGH DIFFERING ARCHITECTURAL STYLES AND LANDSCAPE CONCEPTS THAT ARE APPROPRIATE TO THESE STYLES. COMBINING AND OVERLAYING THESE TWO IDEAS CREATES A CONCEPTUAL RICHNESS THAT BLENDS BOTH CONSISTENCY AND DIVERSITY. THESE IDEAS AID IN CREATING THE VISION FOR WESTERLY, THAT HAS IDENTIFIABLE AND COHESIVE NEIGHBORHOODS, AND YET HAS A DIVERSITY IN CHARACTER AS IT TRANSITIONS FROM URBAN TO LESS URBAN.

STREETSCAPES AND SHARED PUBLIC AREAS - MEDIANS, GREENWAYS, AND PARKS

THE LANDSCAPE DESIGN OF NORTH WESTERLY RECALLS CLASSIC LANDSCAPES OF NEO-TRADITIONAL NEIGHBORHOODS AND PATTERNS FOUND IN TRADITIONAL COMMUNITIES. THE URBAN DESIGN FABRIC OF MORE COMPACT NEO-TRADITIONAL DE-EMPHASIZES THE LARGE PRIVATE FRONT YARDS IN EXCHANGE FOR MORE SHARED PUBLIC SPACES SUCH AS MEDIANS, GREENWAYS, AND POCKET PARKS. THE COMMERCIAL AREAS ALSO CREATE A MORE SMALL-TOWN “MAIN STREET” FEEL WITH A PEDESTRIAN-SCALE STREET FRONTAGE. THE LANDSCAPE PATTERNS SHALL ENHANCE THE STREETSCAPE WITH FORMAL ORNAMENTAL PLANTINGS AND REPETITIVE STREET TREE PLACEMENT.

TREE SPECIES DIVERSITY/CHARACTER: LIKE SUCCESSFUL URBAN NEIGHBORHOODS, A TAPESTRY OF STREET TREES WILL BE WOVEN THROUGHOUT THE COMMUNITY AND SOUTHERN LAND WILL PROVIDE A STREET TREE PLAN FOR THE FULL COMMUNITY. THE PRIMARY ENTRY POINTS, THE CORE VILLAGE AREA AND THE SOUTH PORTION OF THE SPINE TRAIL CORRIDOR GIVES WESTERLY’S STREET ENVIRONMENT A COHESIVE AND IMAGEABLE STRUCTURE THAT UTILIZES A LIMITED PALETTE OF TREE SPECIES. TREE DIVERSITY EXPRESSED IN THE SIDE STREETS WILL PROVIDE GREATER VARIATION AND PROTECTION FROM A SPECIES MONOCULTURE. THE LANDSCAPE PROPOSED ALONG THE ADJACENT ARTERIAL ROADWAYS SHOULD INCLUDE FORMAL PLANTINGS.

ORNAMENTAL PLANTINGS SHOULD FOCUS ON XERIC, LOW WATER AND/OR DROUGHT TOLERANT SPECIES. LOW-WATER TURF SPECIES SHALL BE THE PREFERRED TYPE OF SOD. TURF SHALL BE RESERVED FOR USABLE OR PEDESTRIAN-ORIENTED AREAS, SUCH AS PARKS, PLAYFIELDS, PLAZAS AND TREE LAWNS. NATIVE SEEDED AREAS SHALL BE USED PREDOMINANTLY IN OPEN AREAS THAT ARE NOT RESERVED FOR PLAY FIELDS OR NEAR PEDESTRIAN, URBAN/RESIDENTIAL WALKWAYS.

RESIDENTIAL LANDSCAPE

GIVEN THE TWO GUIDING CONCEPTS OF THE GRADUAL TRANSITION FROM URBAN TO LESS URBAN AND THE CREATION OF IDENTIFIABLE NEIGHBORHOODS, EACH WITH ITS OWN CHARACTER, THE LANDSCAPE CONTENT OF RESIDENTIAL HOMES WILL VARY.

PLANT SPECIES/CHARACTER: IN THE MORE DENSE, URBAN NEIGHBORHOODS, WHICH CONTAIN SMALLER HOMES, FRONT YARDS WILL RELY ON THE ABUNDANCE OF STREET TREES IN THE PUBLIC RIGHT-OF-WAY TO PROVIDE A TREE CANOPY WITH SHRUB BEDS, PORCHES, AND PLANTINGS IN POTS AS THE PREDOMINANT LANDSCAPE CHARACTER. AS THE DENSITY DECREASES, THE HOMES WILL ALLOW A “GARDEN” APPROACH TO THE LANDSCAPE. SHRUB BEDS, FLOWERS, AND LAWN PANELS ARE USED TO ESTABLISH THE CHARACTER OF THE FRONT YARDS. THE FURTHER NORTH WE GO IN WESTERLY THE MORE “RURAL” THE CHARACTER, FRONT YARDS COULD BE OPEN ENVIRONMENTS OF LAWN AND TREES, PLACED TO REINFORCE THE IRREGULAR STREET TREE PATTERN APPROPRIATE TO THIS LESS DENSE ENVIRONMENT.

BACKYARD LANDSCAPING WILL BE MORE UNIFORM THROUGHOUT THE NEIGHBORHOODS AND ADDRESSES TWO FUNCTIONS: PRIVATE OUTDOOR ACTIVITIES, AND THE LANDSCAPE OF THE ALLEYS. THE APPROACH TO THE PRIVATE OUTDOOR FUNCTION IS TO PROVIDE AS MUCH FLEXIBILITY AS POSSIBLE THROUGH THE USE OF LAWN AND PATIO/DECK SURFACES. THE ALLEY EDGE CAN BE ADDRESSED IN THREE WAYS; PROVIDING SHRUB BEDS ALONG THE ALLEY BETWEEN GARAGES, A WELL DETAILED FENCE, PARTLY SOLID AND PARTLY LATTICE, AND A BACK YARD TREE WHICH OVERHANGS THE FENCE REINFORCING THE SHRUB BED IN SOFTENING THE CHARACTER OF THE ALLEY.

- SIMPLE IS BETTER,
- GREEN IS BETTER,
- AGRICULTURAL AND AUTHENTIC,
- STARTS FORMAL AND ENDS NATURAL, ITS ABOUT DISCOVERY,
- FOCUSED INTENTIONS.



ABOVE IMAGE: IN THE MORE DENSE, URBAN NEIGHBORHOODS, WHICH CONTAIN SMALLER HOMES, FRONT YARDS WILL RELY ON THE ABUNDANCE OF STREET TREES IN THE PUBLIC RIGHT-OF-WAY TO PROVIDE A TREE CANOPY. SMALLER FRONT YARDS WILL BE REPLACED WITH SHARED PUBLIC AREAS, SUCH AS LARGER MEDIANS AND GREEN COURTS.

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1	2ND SUBMITTAL	7/11/2024	JP/CGR
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SHEET INFO:

LANDSCAPE CONCEPT

DRAWN BY:

CGR/JN

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

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OF 29

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

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TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
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PD-001700-2024

LANDSCAPE CHARACTER

STREETSCAPE



ABOVE IMAGES: FORMAL PLANTINGS SHALL ENHANCE THE STREET FRONTAGE FACADE OF COMMERCIAL & MIXED-USE BUILDINGS.



ABOVE IMAGES: IN THE URBAN NEIGHBORHOODS, WHICH CONTAIN SMALLER HOMES, FRONT YARDS WILL RELY ON THE ABUNDANCE OF STREET TREES IN THE PUBLIC RIGHT-OF-WAY TO PROVIDE A TREE CANOPY. THE FRONT YARDS IN THESE AREAS SHOULD FOCUS ON SHRUB BEDS, PORCHES, AND PLANTINGS IN POTS AS THE PREDOMINANT LANDSCAPE CHARACTER.



ABOVE IMAGES: AS THE DENSITY DECREASES, THE HOMES WILL ALLOW A “GARDEN” APPROACH TO THE LANDSCAPE. SHRUB BEDS, FLOWERS, AND LAWN PANELS ARE USED TO ESTABLISH THE CHARACTER OF THE FRONT YARDS.

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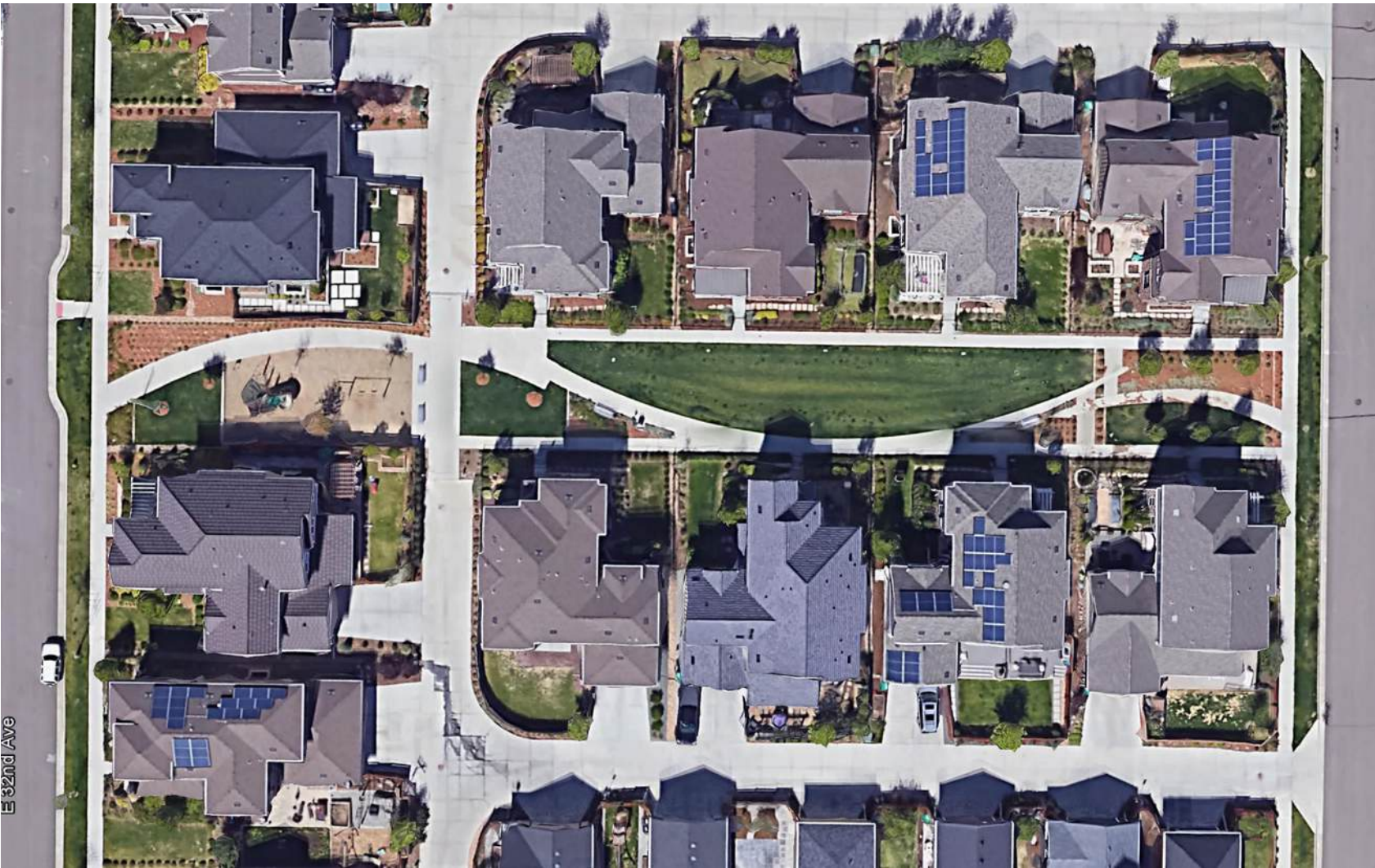
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LANDSCAPE CHARACTER

GREEN COURTS/COURTYARDS/PLAZAS



ABOVE IMAGES: IN THE MORE DENSE, URBAN AREAS, SMALLER FRONT YARDS WILL BE REPLACED WITH SHARED PUBLIC AREAS, SUCH AS LARGER MEDIANS, GREEN COURTS, AND PLAZAS.



ABOVE IMAGES: TURF SHALL BE RESERVED FOR PEDESTRIAN-ORIENTED AREAS. THE LARGER MEDIANS WITH PEDESTRIAN TRAILS, GREENCOURTS, OR PLAZAS SHALL INCORPORATE TURF WITH LOW-WATER, NATIVE ORNAMENTAL PLANTINGS.

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LANDSCAPE CHARACTER

OPEN SPACE AND NATURAL PONDS



ABOVE IMAGES: NATIVE SEEDED AREAS SHALL BE USED PREDOMINANTLY IN OPEN AREAS THAT ARE NOT RESERVED FOR PLAY FIELDS OR NEAR PEDESTRIAN, URBAN/RESIDENTIAL WALKWAYS.



ABOVE IMAGE: THE DETENTION PONDS SHALL INCORPORATE INFORMAL PLANTINGS FOR A MORE NATURAL FEEL.

ORNAMENTAL PLANTINGS (LOW-WATER)



ABOVE IMAGES: ORNAMENTAL PLANTINGS SHOULD FOCUS ON XERIC, LOW WATER AND/OR DROUGHT TOLERANT SPECIES.



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PARKS & OPEN SPACE CONCEPT

INTENT & CHARACTER:

NORTH WESTERLY PARKS AND OPEN SPACE CONCEPT NARRATIVE

THE PD MEETS THE UDC BY COMPLYING WITH PARK LAND DEDICATION REQUIREMENTS AND INCLUDING A DIVERSITY OF TYPES OF PARKS, TRAILS, AND OPEN SPACE WHICH CAN BE OUTLINED IN THE PARKS AND OPEN SPACE CHART. THE PARKS AND OPEN SPACE CHART OUTLINES HOW EACH AREA IS CATEGORIZED BY THE CRITERIA SET FORTH IN THE "MIXED-USE DEVELOPMENT PARKS & OPEN SPACE VISION GUIDE". THE DEVELOPMENT WILL INCLUDE SEVERAL TRADITIONALLY SIZED POCKET PARKS AND A LARGE NEIGHBORHOOD PARK. THE BIGGEST TYPOLOGY FOR OPEN SPACE WILL BE THE MIXED-USE OPEN SPACE, AS TRAIL CORRIDORS, MEDIAN PARKS WITH POCKET PARK ELEMENTS AND NATIVE URBAN REWILDING AREAS, AND AMENITIZED DRAINAGEWAYS. BELOW ARE SOME HIGHLIGHTED FEATURES THAT REPRESENT THE DIFFERENT TYPES OF OPEN SPACE AND PARK FEATURES THROUGHOUT THE SITE:

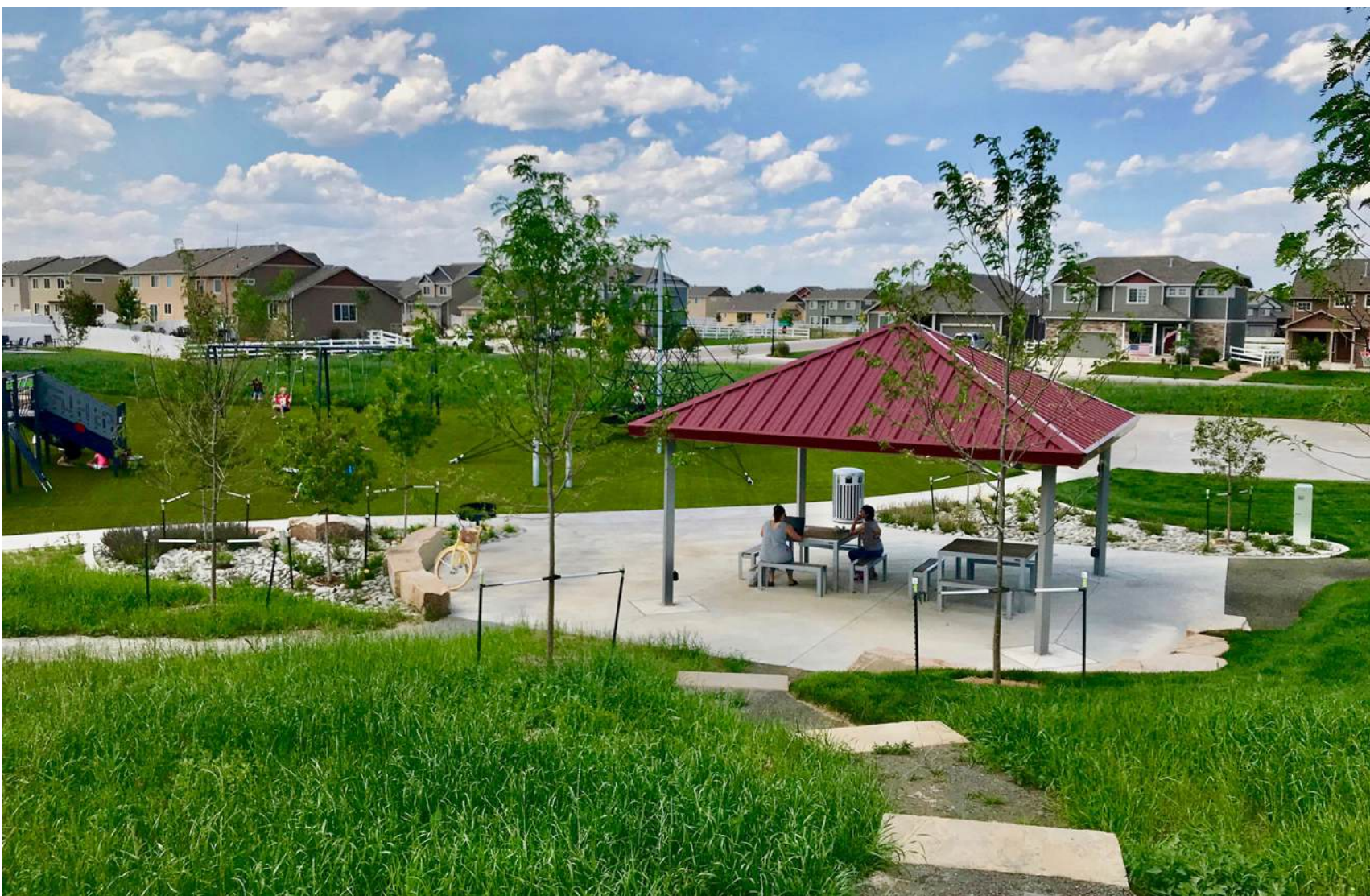
- THE DEVELOPMENT WILL TAKE ADVANTAGE OF OPEN SPACES FOR RESPITE, RECREATION AND PEDESTRIAN CONNECTIONS. THEY SHALL CONTAIN PEDESTRIAN-SCALE OR MULTI-USE TRAILS, BENCHES, PLANTINGS, AND WHERE APPROPRIATE SHADE SHELTERS, INTERPRETATIVE GARDENS, SMALL PLAY FEATURES OR WATER FEATURES.
- THE POCKET PARKS SHALL INCORPORATE SPECIFIC TYPES OF PLAY AREAS, COMMUNITY GARDENS, AND/OR ART FEATURES TO CREATE VARIETY THROUGHOUT THE COMMUNITY AND BECOME UNIQUE PLACEMAKERS FOR EACH NEIGHBORHOOD.
- APPROXIMATELY A 15 AC NEIGHBORHOOD PARK (TO BE DEDICATED TO THE TOWN?) WILL SERVE AS THE CENTRAL FEATURE OF THE COMMUNITY. IT IS ENVISIONED TO BE THE RECREATIONAL HEART OF THE COMMUNITY. NOT ONLY WILL IT CONTAIN PLAYGROUNDS, TRAILS, AND SPORTS FIELDS, BUT IT SHALL ALSO SERVE AS THE PLACE FOR SPECIAL COMMUNITY EVENTS, SUCH AS LIVE MUSIC, COMPETITIONS, AND HOLIDAY FESTIVALS TO CREATE A SENSE OF PLACE AND COMMUNITY.
- THE TOWN HAS ALSO REQUESTED THAT THE PD INCLUDE AN AREA FOR A WATER TANK (APPROXIMATELY 4.9 ACRES) WHICH CAN BE COUNTED TOWARD 100% OF PARK SPACE. THIS AREA HAS BEEN INCORPORATED INTO THE LARGE NEIGHBORHOOD PARK.
- THE DETENTION PONDS WILL ALSO PLAY A KEY ROLE AS FEATURES FOR THE DEVELOPMENT, AS A NATURAL POND WITH SEATING, PICNIC AREAS, AND TRAILS.
- AS PART OF THE PRE-DEVELOPMENT AGREEMENT, "THE DEVELOPMENT SHALL PROVIDE COMMUNITY GARDENS, EDIBLE LANDSCAPING, OR ON-SITE URBAN AGRICULTURE ACCESSIBLE TO ALL THE RESIDENTS OF THE DEVELOPMENT, TO BE SERVED BY POTABLE WATER. EDIBLE LANDSCAPING IS THE PRACTICE OF FULL INTEGRATING A VARIETY OF EDIBLE PLANTS INTO ORNAMENTAL LANDSCAPES. COMMUNITY GARDENS SHALL NOT COUNT TOWARD POCKET PARK REQUIREMENTS AND SHALL NOT BE OWNED OR MAINTAINED BY THE TOWN." THE DESIGN AND IMPLEMENTATION OF THE COMMUNITY GARDENS, EDIBLE LANDSCAPES OR URBAN AGRICULTURE WILL BE MORE FULLY DEVELOPED AT DESIGN DEVELOPMENT STAGES.

AS PART OF THE PEDESTRIAN CONNECTIVITY PLAN, THERE WILL BE THREE MAJOR TRAIL SYSTEMS THAT ARE PART OF THE OPEN SPACE PLAN.

- THE SPINE TRAIL THAT RUNS WITHIN THE LOWER PORTION OF THE SITE FROM THE ADJACENT HIGH SCHOOL TO THE SOUTHWEST INTERSECTION.
- THE MULTI-USE TRAIL ALONG THE IRRIGATION DITCH WHICH WILL BE AMENITIZED FEATURE AS IT MEANDERS THROUGH THE SITE FROM THE NORTH PART OF THE SITE TO CONNECT INTO THE SPINE TRAIL.
- LASTLY, PERIMETER TRAILS THAT ARE WITHIN THE BUFFER AREAS ALONG CR7, CR10, CR5, AND ERIE PARKWAY.



ABOVE IMAGES: OPEN SPACES SHALL HAVE PEDESTRIAN CONNECTIONS ALONG WITH PLACES FOR RESPITE.



ABOVE IMAGES: SITE FURNISHINGS SUCH AS BENCHES, PICNIC TABLES, AND SHADE SHELTERS SHALL BE USED FOR PEDESTRIAN COMFORTABILITY.

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2	3RD SUBMITTAL	10/02/2024	JP/CGR

SHEET INFO:

PARKS & OPEN SPACE CONCEPT

DRAWN BY:

CGR/JN

DESIGNED BY:

BC/SW

SUBMITTED ON:

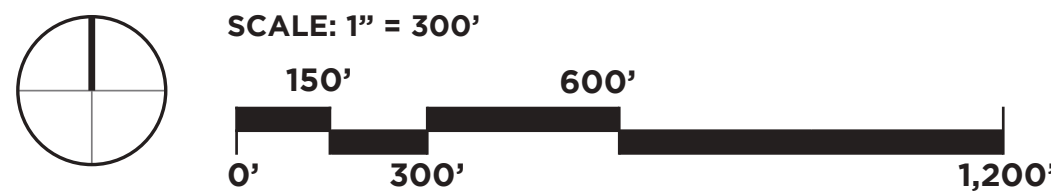
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PARKS & OPEN SPACE CONCEPT PLAN



NORTH WESTERLY - 10-1-2024

NOTE: THE DEDICATION REQUIREMENTS WILL BE BASED ON CURRENT UDC REQUIREMENTS AT THE TIME OF PRELIMINARY PLAT.

POPULATION GENERATION				
	PRODUCT TYPE	PERSONS PER UNIT	ANTICIPATED UNITS	ANTICIPATED POPULATION
DETACHED HOMES	SINGLE FAMILY FRONT LOAD	2.99 PPU	127 UNITS	380
	SINGLE FAMILY ALLEY LOAD	2.99 PPU	691 UNITS	2,066
ATTACHED HOMES	LIVE/WORK TOWNHOMES	2.99 PPU	95 UNITS	284
	TOWNHOMES	2.99 PPU	666 UNITS	1,991
	DUPLEX / PAIRED VILLAS	2.99 PPU	80 UNITS	239
MULTI-FAMILY RESIDENTIAL	MULTI-FAMILY APARTMENTS	2.10 PPU	487 UNITS	1,023
ANTICIPATED POPULATION				5,983
PARKS AND OPEN SPACE DEDICATIONS				
TYPE	REQUIREMENT	REQUIRED (AC)	PROVIDED (AC)	
POCKET PARKS	0.5 AC / 1,000 residents	2.99	6.31	
NEIGHBORHOOD PARKS	3 AC / 1,000 residents	17.95	12.00	
COMMUNITY PARKS	5 AC / 1,000 residents	29.92	NA	
OPEN SPACE	17 AC / 1,000 residents	101.71	29.56	
NEIGHBORHOOD PARK CASH-IN-LIEU ESTIMATE				SHORTFALL (AC)
FEE IN LIEU OF DEDICATION	\$236,564.00	\$1,407,397.30	5.95	
OPEN SPACE CASH-IN-LIEU ESTIMATE				SHORTFALL (AC)
FEE IN LIEU OF DEDICATION	\$48,500.00	\$3,499,414.20	72.15	
TOTAL CASH-IN-LIEU ESTIMATE				
COMBINED NEIGHBORHOOD PARK AND OPEN SPACE		\$4,906,811.50		

The Town of Erie Planning Division updates estimates for Persons Per Dwelling Unit annually based on Census data.

As of December 31, 2022, persons per dwelling unit are estimated to be:

2.99 persons per household for single family housing (93.4% of total occupied units) - Single family = single family detached, single family attached (duplex, triplex, four-plex, townhome)

2.1 persons per household for multifamily (6.6% of total occupied units) - Multifamily = apartments, condos

NORTH WESTERLY PARK AND OPEN SPACE CHART

PLANNING AREA DESIGNATION	DESCRIPTION & INVENTORY FACILITIES	TOTAL ACREAGE	% CREDITED ACREAGE PER TOWN OF ERIE STANDARDS	CREDITED ACREAGE
NP-1	NEIGHBORHOOD PARK	12.00	100%	12.00
NEIGHBORHOOD PARKS TOTAL ACREAGE				12.00
PK-1	POCKET PARK	0.28	100%	0.28
PK-2	POCKET PARK	1.71	100%	1.71
PK-3	POCKET PARK	1.05	100%	1.05
PK-4	POCKET PARK	0.94	100%	0.94
PK-5	POCKET PARK	1.43	100%	1.43
PK-6	POCKET PARK	0.90	100%	0.90
POCKET PARKS TOTAL ACREAGE				6.31

OS-1	40% OPEN SPACE	4.02	DETENTION POND = 1.60 AC 30' WIDE BUFFER = 0.84 AC REMAINING = 1.58 @ 40%	0.63
OS-2	40% OPEN SPACE	4.72		1.89
OS-3	10% OPEN SPACE	0.70	DETENTION POND = 0.49 AC REMAINING = 0.21 @ 10%	0.02
OS-4	40% OPEN SPACE	15.51	100% WATER TANK ACREAGE: 4.9 AC REMAINING = 10.61 @ 40%	9.14
OS-5	40% OPEN SPACE	1.21		0.48
OS-6	40% OPEN SPACE	3.64	DETENTION POND = 1.50 AC REMAINING = 2.14 @ 40%	0.86
OS-7	40% OPEN SPACE	12.66	DETENTION PONDS = 2.93 AC REMAINING = 9.73 @ 40%	3.89
OS-8	40% OPEN SPACE	0.24		0.10
OS-9	40% OPEN SPACE	15.74	DETENTION PONDS = 3.74 AC REMAINING = 12.0 @ 40%	4.80
OS-10	10% OPEN SPACE	4.88		0.49
OS-11	40% OPEN SPACE	7.31		2.92
OS-12	10% OPEN SPACE	2.90		0.29
OS-13	10% OPEN SPACE	8.56	DETENTION POND = 6.09 AC REMAINING = 2.47 @ 10%	0.25
OS-14	10% OPEN SPACE	4.57	30' WIDE BUFFER = 0.84 AC REMAINING = 3.73 @ 10%	0.37
OS-15	10% OPEN SPACE	1.18	30' WIDE BUFFER = 0.31 AC REMAINING = 0.87 @ 10%	0.09
OS-16	10% OPEN SPACE	0.89	30' WIDE BUFFER = 0.24 AC REMAINING = 0.65 @ 10%	0.07
OS-17	10% OPEN SPACE	1.47	30' WIDE BUFFER = 0.40 AC REMAINING = 1.07 @ 10%	0.11
OS-18	40% OPEN SPACE	2.14	DETENTION POND = 0.23 30' WIDE BUFFER = 0.24 AC REMAINING = 1.67 @ 40%	0.67
OS-19	40% OPEN SPACE	0.19		0.08
OS-20	40% OPEN SPACE	4.89	DETENTION POND = 1.00 AC 30' WIDE BUFFER = 1.05 AC REMAINING = 2.84 @ 40%	1.14
OS-21	40% OPEN SPACE	3.82	30' WIDE BUFFER = 0.87 AC REMAINING = 2.95 @ 40%	1.18
OS-22	40% OPEN SPACE	0.27		0.11
OS-23	40% OPEN SPACE	0.21		0.08
TOTAL OPEN SPACE CREDIT				29.56

NOTES: 1. The Detention and Irrigation Ponds are not included in the open space acreage since we do not anticipate that they meet the criteria for credit per UDC 10-6-3.B.4.b.ii. and UDC 10-6-4.E.6.f.



LEGEND:

- OPEN SPACE
- POCKET PARK
- NEIGHBORHOOD PARK
- COMMUNITY AMENITY/PRIVATE PARK
- NON-CREDITED OPEN SPACE
- PROPOSED TRAILS

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LAND PLANNING:

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COMPANY

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CONTACT:
BEN CRENSHAW



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DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	BY	DATE
1	2ND SUBMITTAL	JP/CGR	7/11/2024
2	3RD SUBMITTAL	JP/CGR	10/02/2024

SHEET INFO:

PARKS & OPEN SPACE CONCEPT PLAN

DRAWN BY:

CGR/JN

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

24
OF 29

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

PARKS & OPEN SPACE CHARACTER

NEIGHBORHOOD PARK



ABOVE IMAGES: THE NEIGHBORHOOD PARK SHALL BE DESIGNED TO HOLD SPECIAL COMMUNITY EVENTS, SUCH AS LIVE MUSIC, COMPETITIONS, AND HOLIDAY FESTIVALS.



ABOVE IMAGES: THE NEIGHBORHOOD PARK SHALL CONTAIN PLAYGROUNDS, TRAILS, AND SPORTS FIELDS

PREPARED FOR:

NORTH WESTERLY
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CONTACT: HEIDI MAJERIK

ENGINEERING:



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SPACE
CHARACTER

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PARKS & OPEN SPACE CHARACTER

COMMUNITY AMENITY/PRIVATE PARK



ABOVE IMAGES: EXAMPLES OF THE COMMUNITY AMENITY CENTER WITH A CLUBHOUSE BUILDING, POOL OR WATER PLAY FEATURES, SPORT COURTS, PLAYGROUNDS, AND OUTDOOR SOCIAL OR EVENT GATHERING AREAS



ABOVE IMAGES: THE COMMUNITY AMENITY MAY CONTAIN WATER PLAY FEATURES OR A COMMUNITY POOL.

ABOVE IMAGE: THE COMMUNITY AMENITY MAY CONTAIN SPORT COURTS, SUCH AS PICKLEBALL, TENNIS OR BASKETBALL.



ABOVE IMAGES: THE COMMUNITY AMENITY SHALL CONTAIN OUTDOOR SOCIAL GATHERING AREAS. FEATURES SUCH AS FOUNTAINS, FIREPITS, AND SPACES WITH A VARIETY OF OUTDOOR SEATING OPTIONS.

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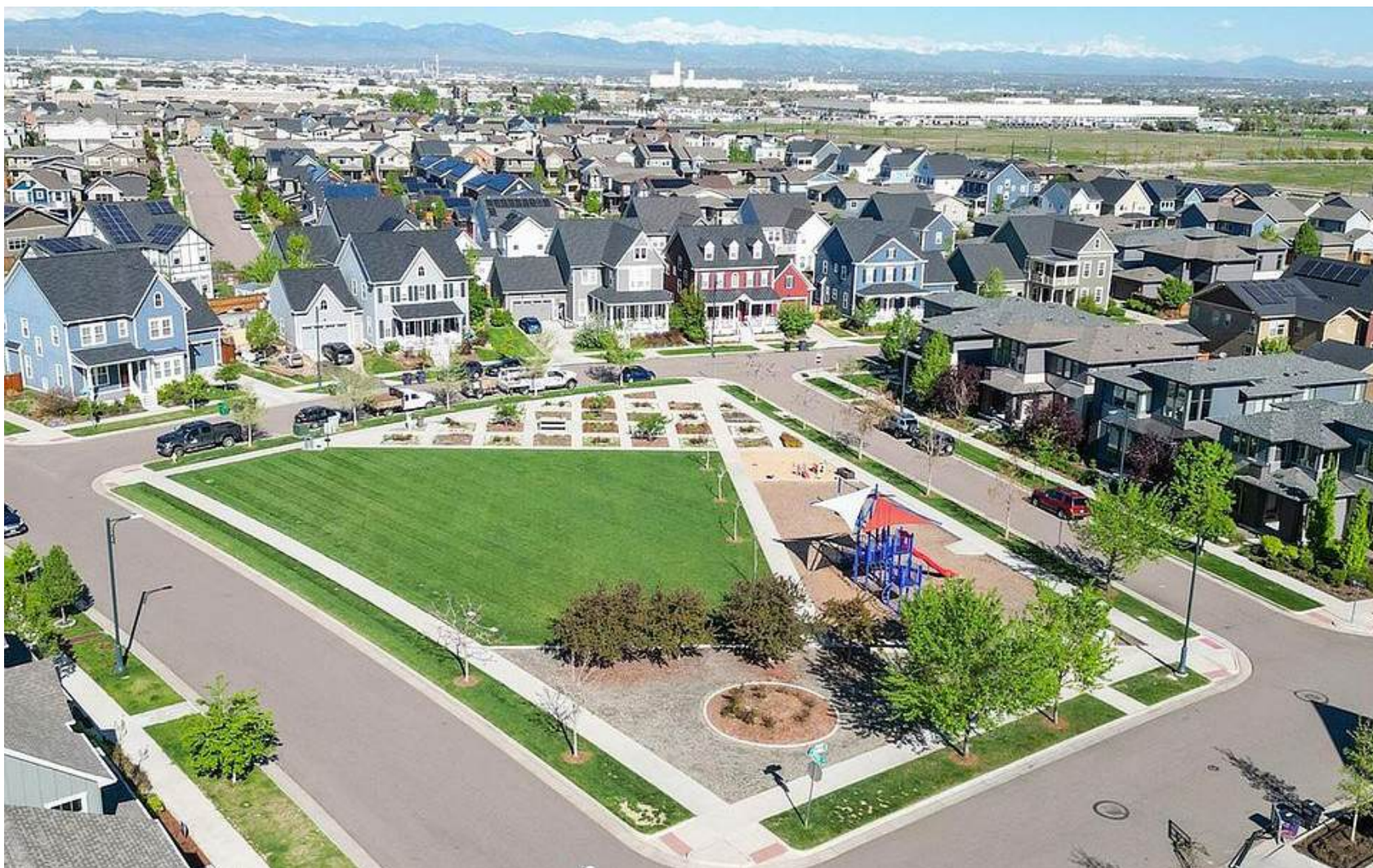
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PARKS & OPEN SPACE CHARACTER

POCKET PARKS



ABOVE IMAGES: THE POCKET PARKS SHALL BE UNIQUE PLACEMAKERS FOR EACH NEIGHBORHOOD.



ABOVE IMAGES: PLAYGROUNDS OR WATER PLAY FEATURES MAY BE THE PLACEMAKING FEATURE OF A POCKET PARK.



ABOVE IMAGES: WATER FEATURES, COMMUNITY GARDENS, OR ART INSTALLATIONS MAY BE THE PLACEMAKING FEATURE OF A POCKET PARK.



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PARKS & OPEN SPACE CHARACTER

TRAILS



ABOVE IMAGES: THE TRAIL SYSTEM SHALL ALSO INCLUDE AREAS OF PEDESTRIAN RESPITE WITH BENCHES AND SHADE TREES AND/OR SHADE SHELTERS.



ABOVE IMAGE: THE TRAIL SYSTEM WILL CONSIST OF MULTI-MODAL CONCRETE PATHS.



ABOVE IMAGES: WITHIN POCKET PARKS AND OPEN SPACE AREAS, SMALLER PATHS AND TRAILS MAY BE CRUSHER FINES.



ABOVE IMAGES: A LARGE PORTION OF THE TRAIL SYSTEM WILL FOLLOW THE IRRIGATION DITCH WHICH SHALL BE DESIGNED AS AN AMENITIZED FEATURE OF THE NORTH WESTERLY COMMUNITY. SEATING AREAS, SIGN MONUMENTS, TRAIL MARKERS, PUBLIC ART, AND PEDESTRIAN BRIDGES MAY BE USED TO ENHANCE THE EXPERIENCE AND IDENTIFICATION OF THE IRRIGATION DITCH TRAIL.

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SHEET INFO:

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SPACE
CHARACTER

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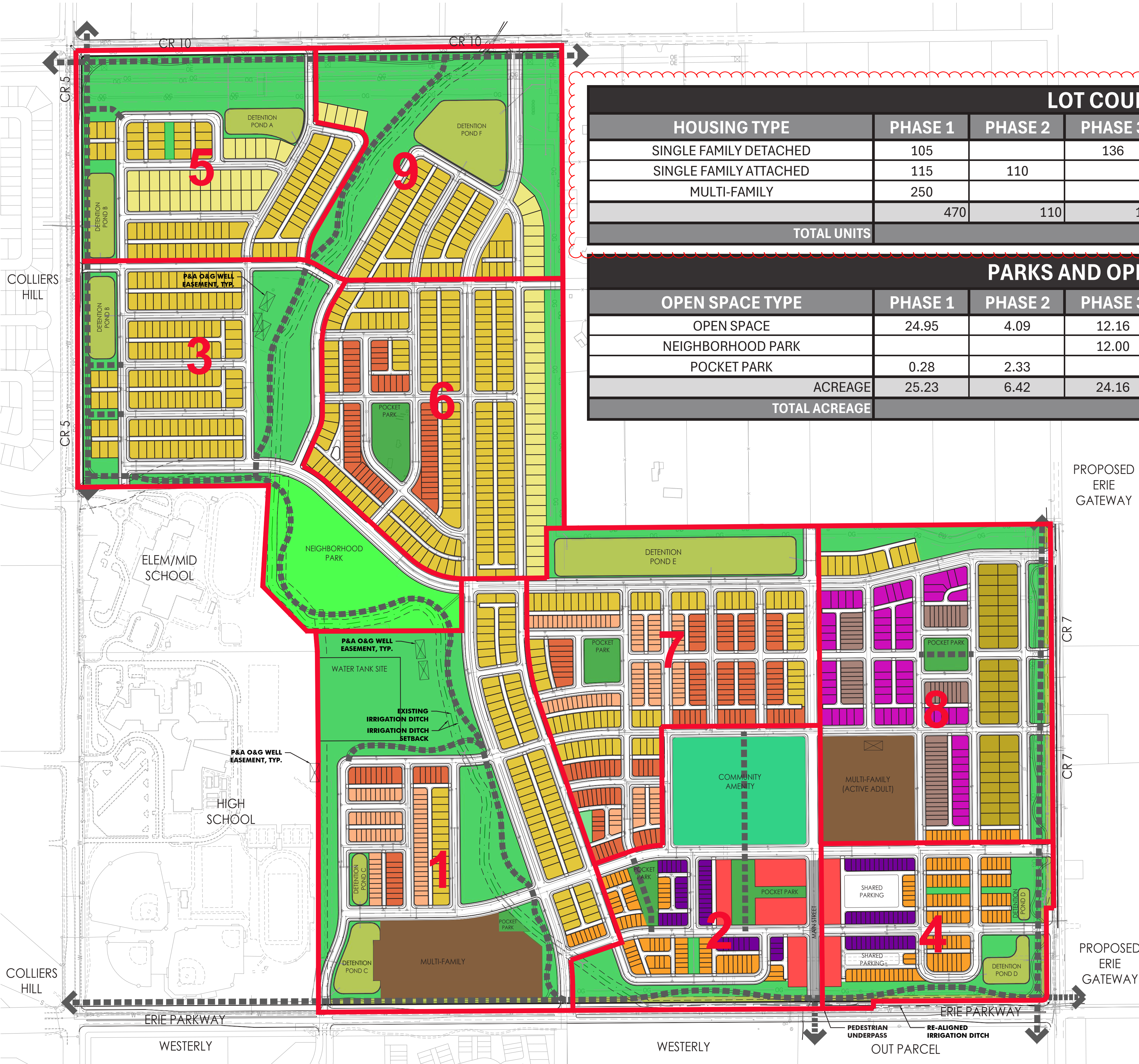
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PHASING PLAN



New comment #140:
Please add
commercial area to
phasing plat

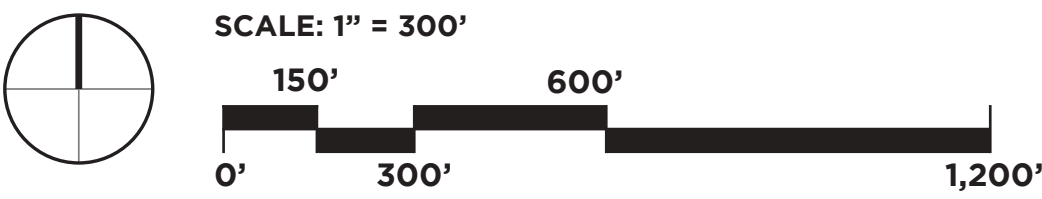
LOT COUNTS BY PHASE										
HOUSING TYPE	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5	PHASE 6	PHASE 7	PHASE 8	PHASE 9	
SINGLE FAMILY DETACHED	105		136		125	224	78	66	84	
SINGLE FAMILY ATTACHED	115	110		140		62	249	165		
MULTI-FAMILY	250							237		
	470	110	136	140	125	286	327	468	84	
TOTAL UNITS										2146

PARKS AND OPEN SPACE BY PHASE										
OPEN SPACE TYPE	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5	PHASE 6	PHASE 7	PHASE 8	PHASE 9	
OPEN SPACE	24.95	4.09	12.16	7.22	12.90	2.90	8.77	8.11	20.62	
NEIGHBORHOOD PARK			12.00							
POCKET PARK	0.28	2.33				1.71	1.05	0.94		
ACREAGE	25.23	6.42	24.16	7.22	12.90	4.61	9.82	9.05	20.62	
TOTAL ACREAGE										120.03

PHASING PLAN:

THE DEVELOPMENT OF THIS PROJECT WILL GENERALLY OCCUR FROM SOUTHWEST TO NORTHEAST DUE TO AVAILABILITY OF WATER AND SEWER SERVICE, AS WELL AS ROADWAY ACCESS. THE FOLLOWING EXHIBIT DESCRIBES THE INTENDED PROGRESSION OF INFRASTRUCTURE CONSTRUCTION. ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY WITHIN THAT PHASE.

THE OWNER OF THE PROJECT RESERVES THE RIGHT TO CONSTRUCT ANY PORTION OF THE PROJECT IN ANY SEQUENCE AS LONG AS ADEQUATE WATER SYSTEM LOOPING, TRAFFIC CIRCULATION WITH DUAL ACCESS AND ASSOCIATED STORM WATER CONVEYANCE AND SANITARY SEWER OUTFALLS ARE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE TOWN OF ERIE CODES.



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ENVIRONMENTAL PLAN

Legend

Vegetation

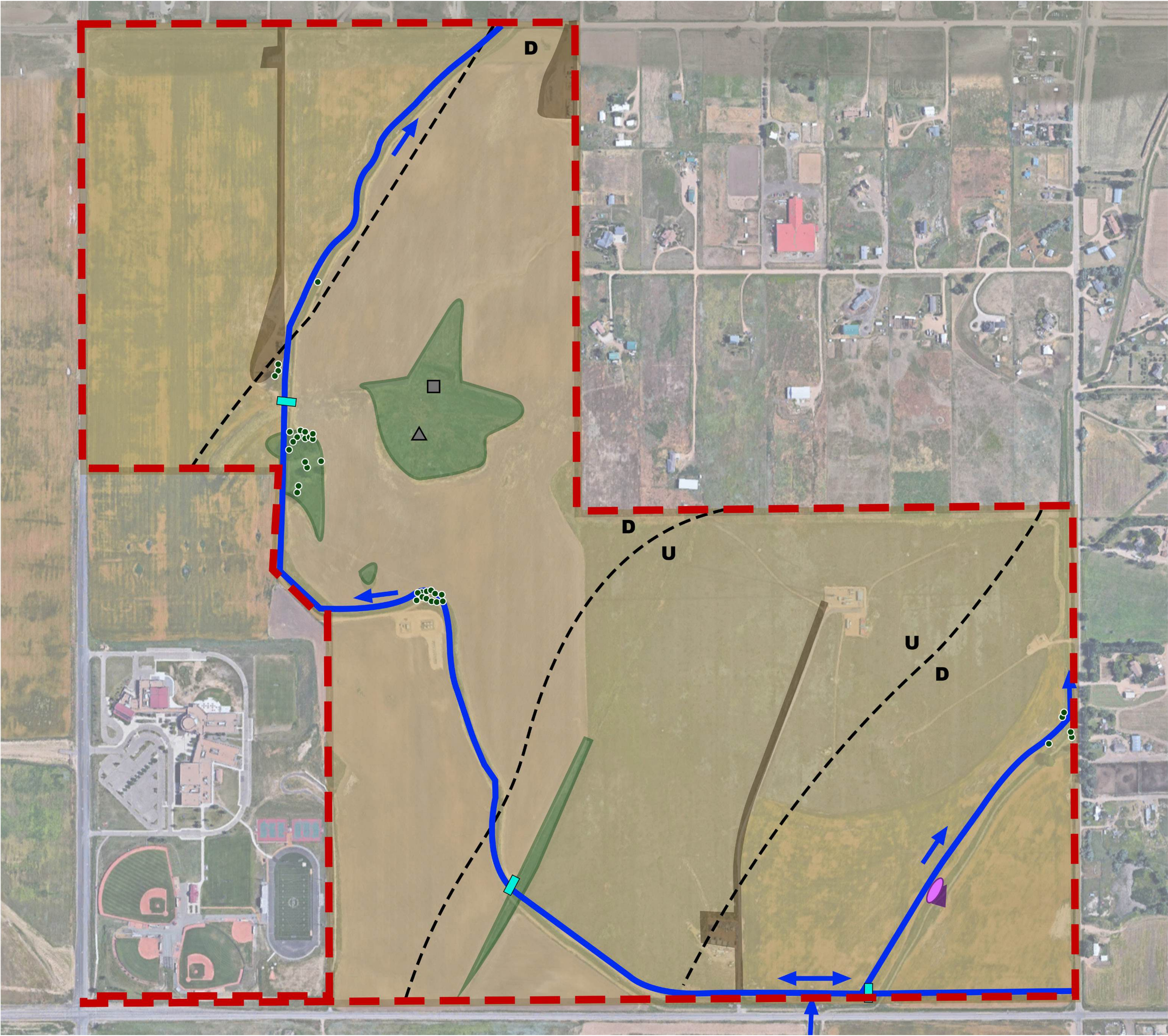
- Tree
- Cropland
- Disturbed
- Mesic Graminoids
- Western Wet Shrubland
- Great Plains Ruderal Grassland & Shrubland

Mining

- Mine Shaft (hoisting shaft)
- ▲ Air Shaft
- - - Inferred Bedrock Fault
- u Upthrown Side
- D Downthrown Side

Aquatic

- Culvert
- Community Ditch
- ➔ Flow Direction
- Palustrine Scrub - Shrub Wetland



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SHEET INFO:

ENVIRONMENTAL PLAN

DRAWN BY:

CGR/JN

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

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OF 29



Memo

To: Aly Burkhalter, Planner
From: Nicole Johnson, Civil Engineer
Date: January 17, 2025
Subject: North Westerly PD – Engineering Comments, Review 3
CC: Chad Schroeder

General Comments

1. In the previous review, it was commented that the narrative and impact report should be updated to reference water pressure Zone 3 instead of Zone 2. The applicant responded that the text in both reports was updated, but neither report was included in the resubmission.
2. Merrick Drainage and Utility comments have been included in this letter.
3. PDF redlines have been included at the end of this document.

Utility Report Comments

4. With the request from Planning to increase the amount of commercial square footage to 150,000, please make sure the water and wastewater design flows are updated.

Planned Development Zoning Map and Guide Comments

5. Sheet 11:
 - a. The drainage plan shows Pond F outfalling into the swale at a different location. Please make sure what is shown on the utility concept plan and drainage plan are consistent.
 - b. Please update the swale linetype to something more visible and show the WCR 10 crossing as shown on the drainage plan.
 - c. The pipe in the northeast corner of the site isn't shown on the drainage plan in the drainage report. Please make sure the storm infrastructure shown on the utility concept plan and drainage plan are consistent.
 - d. The sanitary main is shown directly on top of an oil/gas pipeline. Is the ROW going to be vacated or has this been coordinated with the oil/gas company to be allowed?
 - e. Please update the swale linetype. It is very hard to see and currently matches the ROW linetype shown for oil/gas pipelines.
 - f. The swale shown along the northeast property line is shown within ROW for the natural gas pipelines. Is the ROW going to be vacated or has this been coordinated with the oil/gas company to be allowed?
 - g. What is the purpose of the pipe running parallel to the swale?
 - h. The edge of Pond E is shown within the ROW for the natural gas pipeline. Is the ROW going to be vacated or has this been coordinated with the oil/gas company to be allowed?
 - i. Please provide a water stub where noted on the attached redline markups.
 - j. Please removed valves where noted on the attached redline markup.
6. Sheet 14:
 - a. Erie Parkway improvements should be included in Phase 1 based on the Pre-DA.
 - b. Phase 2 drainage looks to be routed to the Phase 7 pond. A temporary pond should be constructed in the interim or the phase lines be adjusted.
 - c. The area in the northeast corner of the site should be included in either Phase 6 or Phase 7 for the Phase 7 pond to outfall.

Merrick Utility Comments – Clare Steninger

Master Plan Compliance

7. **Sanitary Sewer Master Plan** – The proposed overall sanitary sewer is in general alignment with the Town's Wastewater Collection System Master Plan. It should be noted that the southern-most area of the site is being redirected to the Coal Creek Interceptor rather than divided between that basin, Weld County Road (WCR) 5 and Interstate basins. However, from analysis conducted as part of the Westerly Development (Matrix - October 2020), the proposed area was included in capacity analysis for the Coal Creek Interceptor assuming 980 single family equivalents (SFE) and a peak flow of 1.84 cfs. The 900 SFE and peak flow 1.11 cfs determined for Outfall #1 in the Wastewater Design Flows calculations is less than what was previously analyzed, so is within acceptable limits to be redirected.

This comment is restated for continuity – no action required.

8. **Potable Water Master Plan** – The North Westerly site falls within the potable water pressure Zone 3. The proposed connections to existing and anticipated Zone 3 waterlines complies with the Town's Master Plan and does not trigger any additional capital improvement projects for the Town.

This comment is restated for continuity – no action required.

9. **Non-Potable Master Plan** – The Utility Report notes that the open space on site will result in “approximately 340 acre-feet” of irrigation demand annually. However, it is still unclear if non-potable water systems will be utilized or if another source has been identified. As designs progress, provide information about connections to the Town's existing non-potable system and where irrigation is intended to be used. Also provide calculations for determining the irrigation demand of the system.

This comment is restated for continuity – no action required at this time.

Utility Report

10. From the wastewater design flow calculations, there is a total of 1135 SFEs or EQRs. However, in the text in Section 1 of the Sanitary Sewer, Outfall #3 is noted to have approximately 937 units. Revise the text to correspond with the actual SFEs being served at this outfall.
11. For final design, hydraulic modeling, pipe sizing, variance requests, and other construction plan documentation is required. However, for this conceptual level, the information provided appears to be sufficient.

Merrick Drainage Comments – Jeanne Boyle

Drainage Report

12. As previously commented, in Appendix B it appears that the impervious values of Subbasins D, E1, and E2 are underestimated. From the response to comments, it is noted that these values will be refined in the future.
13. As previously commented, in Appendix C the MHFD-Detention calculations were not reviewed in detail since pond details are not yet available. These will be reviewed further with subsequent submittals.
14. In Appendix F, please note that the Erie High School detention pond was modified in 2014 to include a water quality discharge control. The modification drainage letter/update report was by Creative Civil Solution dated April 8, 2014. In the 2014 update report, the offsite tributary area from North Westerly to the existing 36" RCP storm pipe was only about 37 acres (OS1 and OS2) based on the existing topography, not 48.2 acres (Basin C) based

on the location of the Community Ditch. For this smaller offsite area, the historic 100-year runoff from the 2014 update report was about 32 cfs, not 46 cfs per the North Westerly report. Therefore, the 100- year discharge from Pond C must be based on the historic tributary area to the existing Erie High School detention pond and 36" RCP storm sewer and reduced to about 32 cfs.

15. As previously commented, on the Preliminary Drainage Exhibit proposed grading was to be provided as a requirement for Phase I drainage reports. From the response to comments, it is understood that Town Staff have indicated that proposed grading is not required for this Phase I submittal, but will be provided with the Phase II drainage report.
16. As previously commented, hydraulic calculations will be required in the Phase II Drainage Report. These calculations include but are not limited to, proposed storm sewer system sizing, including inlet and street capacity, swale and channel capacity, and riprap/erosion protection design.

Planned Development Zoning Map and Guide

17. No comments

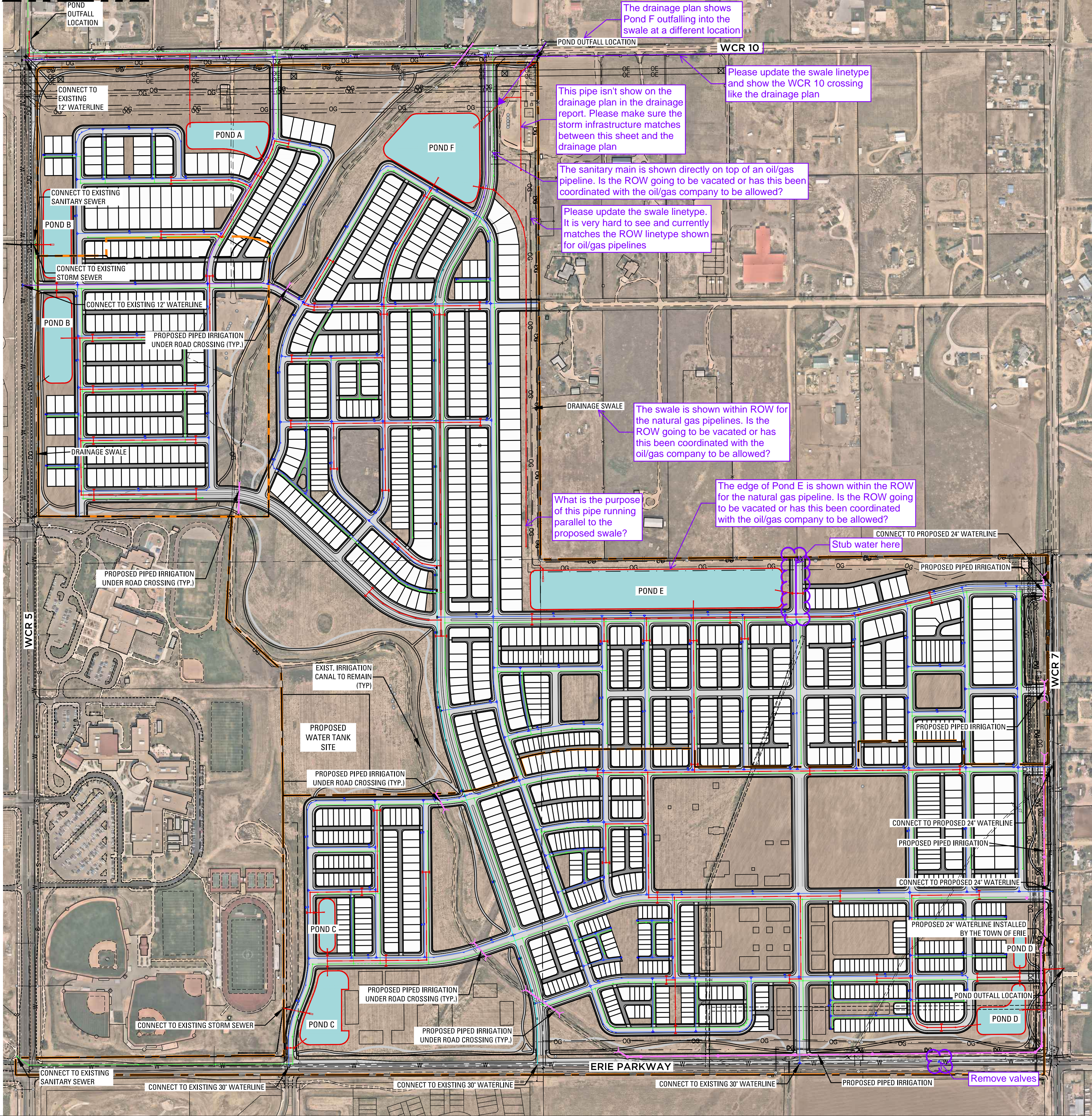
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UTILITY CONCEPT PLAN

SEE OFFSITE SAN TO RIGHT



















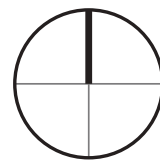
MATCHLINE- SEE BELOW



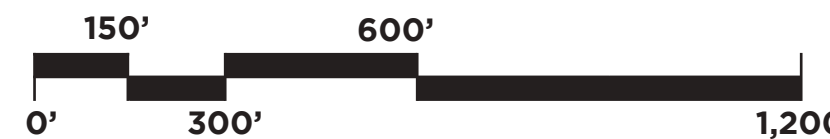
MATCHLINE- SEE ABOVE

LEGEND

-  8" WATERLINE
-  12" WATERLINE
-  16" WATERLINE
-  SANITARY SEWER
-  STORM SEWER
-  PROPOSED DRAINAGE SWALE
-  EXISTING CENTERLINE COMMUNITY DITCH
-  FIRE HYDRANT
-  SANITARY MANHOLE
-  STORM MANHOLE
-  TYPE 'R' INLET
-  AREA INLET
-  OVERHEAD ELECTRIC
-  CONCEPTUAL SANITARY SEWER BASINS
-  IRRIGATION PIPE
-  IRRIGATION MANHOLE



SCALE: 1" = 30'



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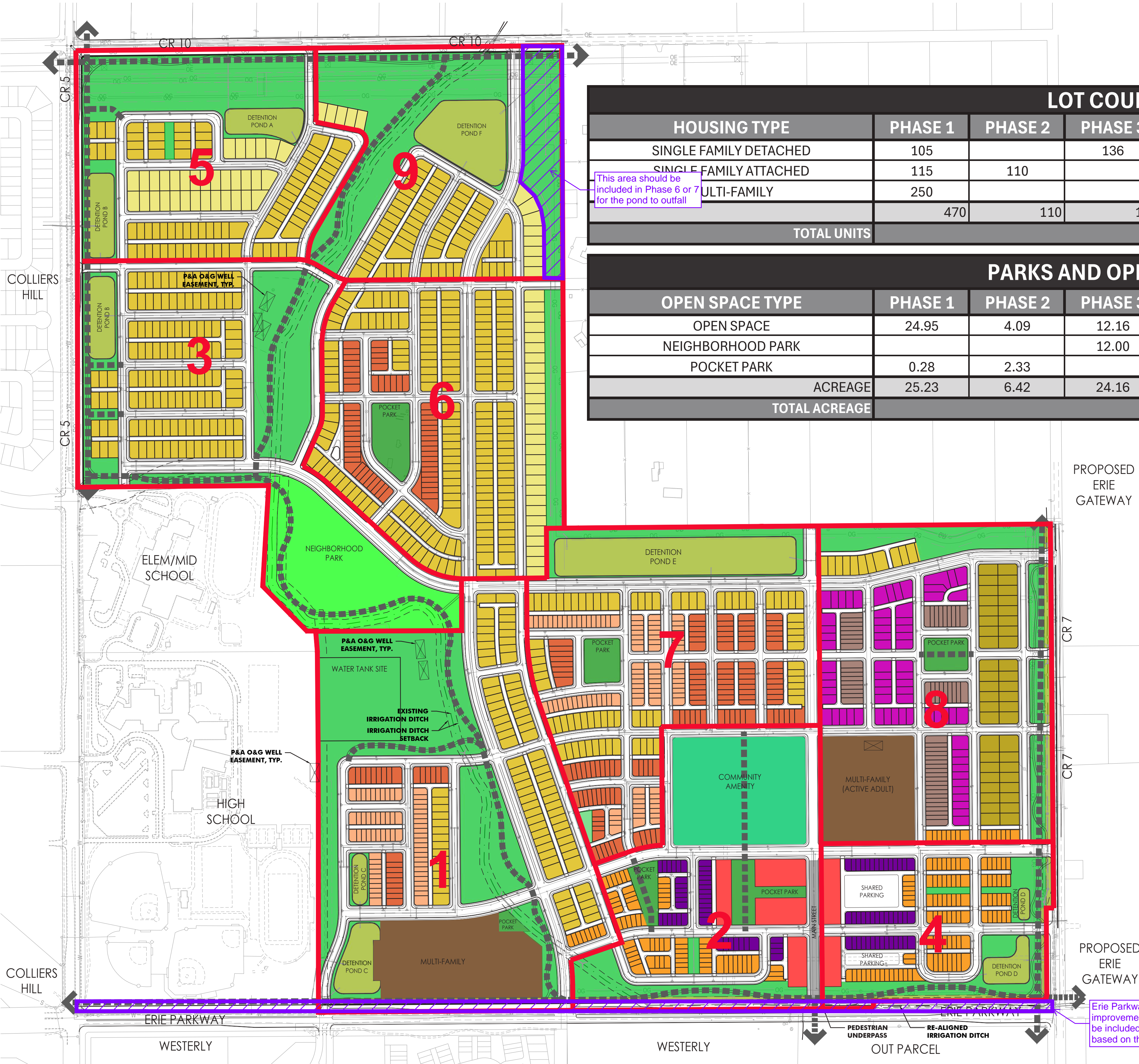
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PHASING PLAN



LOT COUNTS BY PHASE										
HOUSING TYPE	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5	PHASE 6	PHASE 7	PHASE 8	PHASE 9	
SINGLE FAMILY DETACHED	105		136		125	224	78	66	84	
SINGLE FAMILY ATTACHED	115	110		140		62	249	165		
MULTI-FAMILY	250							237		
	470	110	136	140	125	286	327	468	84	
TOTAL UNITS	2146									

PARKS AND OPEN SPACE BY PHASE										
OPEN SPACE TYPE	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5	PHASE 6	PHASE 7	PHASE 8	PHASE 9	
OPEN SPACE	24.95	4.09	12.16	7.22	12.90	2.90	8.77	8.11	20.62	
NEIGHBORHOOD PARK			12.00							
POCKET PARK	0.28	2.33				1.71	1.05	0.94		
ACREAGE	25.23	6.42	24.16	7.22	12.90	4.61	9.82	9.05	20.62	
TOTAL ACREAGE	120.03									

PHASING PLAN:

THE DEVELOPMENT OF THIS PROJECT WILL GENERALLY OCCUR FROM SOUTHWEST TO NORTHEAST DUE TO AVAILABILITY OF WATER AND SEWER SERVICE, AS WELL AS ROADWAY ACCESS. THE FOLLOWING EXHIBIT DESCRIBES THE INTENDED PROGRESSION OF INFRASTRUCTURE CONSTRUCTION. ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY WITHIN THAT PHASE.

THE OWNER OF THE PROJECT RESERVES THE RIGHT TO CONSTRUCT ANY PORTION OF THE PROJECT IN ANY SEQUENCE AS LONG AS ADEQUATE WATER SYSTEM LOOPING, TRAFFIC CIRCULATION WITH DUAL ACCESS AND ASSOCIATED STORM WATER CONVEYANCE AND SANITARY SEWER OUTFALLS ARE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE TOWN OF ERIE CODES.



PREPARED FOR:

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COMPANY

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JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR

SHEET INFO:

PHASING PLAN

DRAWN BY:
CGR/JN
DESIGNED BY:
BC/SW

SUBMITTED ON:
2/09/2023



Memo

To: Aly Burkhalter, Senior Planner
From: Nick Wagner, Transportation Engineer
Date: January 17, 2025
Subject: North Westerly PD – Transportation Engineering Comments
CC: John Firouzi

Transportation Comments – PD Zoning Map and Guide

General Notes:

Town of Erie (TOE) working with consultant for updated concept design for the intersection of Floral View and WCR 5.

Sheet 14 does not show widths of the given cross sections of each road type. Coordinate ROW width with Engineering team as new street sections are anticipated to be released Q1 2025. The team is anticipating WCR 5 be the minor arterial section with bike tract.

The TOE is working towards a roundabout first approach with intersecting collector streets. Keep this in mind as the project progresses.

Continue coordination of the location of the underground pedestrian underpass. Westerly has it to the West of the proposed through road and the zoning map has it on the East.

Continue coordination on the roadway stubs for future expansion. Roadway should not connect to WCR 8.75. Stubs should not extend past the end of lot line for immediately neighboring residents.

The Town is interested in discussing what a spine trail connection from the Western spine trail to the roadway between K-8 and High school would look like.

Comments:

1. Sheet 14 notes an existing signal for WCR 5 & WCR 10 intersection. This is a TWSC (Two Way Stop Controlled) intersection. Please Update
2. Sheet 14 notes a signalized intersection for WCR 10 and the North - South Collector. Per the TIA, this intersection does not warrant a signal and should be single direction stop sign controlled full movement intersection. Please update accordingly.
3. TOE requests that the RI/RO movement intersection on the East side of the project (labeled as intersection 14 within the TIA) be removed. With a peak hour movement of less than 10 cars, this intersection is not warrant for a dedicated access.
4. TOE is requesting that the minor collector without bike facility be changed to minor collector with bike facility to support multimodal movement through the commercial/higher density area of the development.
5. Sheet 15: update that the multi-use trail along arterials is 10' wide, not 8' wide.
6. Sheet 16: update the legend to add the major collectors to the bike facility map.

Transportation Comments – Traffic Impact Analysis (TIA)

General Notes:

The intersection of Colliers Parkway & WCR 5, as well as the surrounding intersections in the facility were not investigated. To understand the impact the development would have on these intersections, it is recommended that these intersections be added into the analysis. With the two schools in this area, this area is sensitive to future traffic growth.

The analysis did not provide information regarding what the site conditions and surrounding roadway LOS would be following the completion or “build out” on the development. Update the analysis for this timeframe. This analysis should be completed with the assumption that only the roadway improvements within the North Westerly Pre-Development Agreement are completed.

Comments:

1. Land Use and Access Section:
 - a. Update Figure 2 to either fully show land use codes or remove them fully
2. Roadway And Traffic Conditions Section:
 - a. Update the reference to include the town’s newly adopted TMP (Transportation and Mobility Plan).
 - b. Update the narrative for WCR 5. Speed limit is 35 mph from Erie Parkway up to WCR 10, then changes to 45 mph. School zone was reduced to 25 mph.
 - c. Figure 3a. shows count movements for intersections 6 & 7 that are not show on 3b. Is this due to illegal movements? If so, worth including an asterisk and a small note explaining such.
3. Background Traffic Section:
 - a. Analysis includes a 1% increase in traffic, per TOE TMP, a 2.7% increase should be utilized. Please update.
 - b. Please provide further information on how the build out of the surrounding developments were incorporated into this model. There is a short reference, but the individual projects information should be included in an appendix.
4. Existing and 2045 Background Levels of Service Section:
 - a. Intersection #7 should say Waterford Street, not Westerly Boulevard.
 - b. Intersection #10 should be updated as it is not a collector per the PD dated 10-03-24.
 - c. Update Figure 3b to correct the ghosting on intersections #4 and #12.
 - d. Include a note that the future background traffic figures are assumed to include traffic from the proposed gateway development. Otherwise, it looks like additional traffic is coming from non-existent roads.
 - e. Update Figure 4A as there should not be any traffic for intersections 18 and 19. This traffic volume should be applied to either Erie Parkway or WCR 10 as the assumption is that this traffic is generated from
5. Directional Distribution
 - a. No description on this section noting how these percentages were developed. Please revise to include the thought process on this.

6. Trip Assignment Section:

- a. The trip assignment does not go into detail of the site's internal traffic ADT. This is needed for justification of the collector streets through the development. This is given on the existing public streets, just not the proposed ones.

7. Total Traffic Section:

- a. Provide LOS at buildout of the project and at year 2045. Currently the only information provided is for 2045 with assumed buildouts of WCR 5, WCR 7, WCR 10, and Erie Parkway. It would be beneficial to the town to know the LOS in the interim to understand any major traffic impacts until full buildout when/if that occurs.

8. Warrant Analysis Section:

- a. Similar comment to prior. Analysis was only completed for 2045. This should be completed at build out to determine when the signals are/will be warranted. Remove the 1-hour peak warrant case as realistically none of these intersections would qualify for that warrants use case:

"This signal warrant should be applied only in unusual cases, such as office complexes, manufacturing plants, industrial complexes, or high-occupancy vehicle facilities that attract or discharge large numbers of vehicles over a short time"

9. Projected Level of Service Section:

- a. Similar comment to prior. Analysis was only completed for 2045. This should be completed at development build out to determine existing LOS to show required improvements for public infrastructure for this time frame.

10. 95th Percentile Queue Lengths and Recommended Turn Lanes Section:

- a. A summary of the findings and recommendation should be included. Turn lane lengths and taper should be based off the TOE Standard & Specifications section 521.03.09

11. Conclusions and Recommendations

- a. A comparison should be completed with no improvements to the full buildout to show the justification for the recommended improvements (improved LOS, lowered Queue lengths, etc).
- b. Provide updated figure for recommended additional lane geometry and traffic control for future conditions. Mark new lanes as red or a different color to better show what is added to improve LOS.
- c. Even though the intersection meets the minimum LOS of "D", individual movements are "E" and "F". These lower movement ratings should be noted in this section to notify the reader of deficiencies.
 - i. Ex. CR 5 & Erie Parkway have multiple movements in the E and F category
- d. TIA should not reference whom is doing what work in terms of recommendations. Remove that column in Table 10.



Internal Memo

To: Aly Burkhalter, Senior Planner

From: Kathy Kron, Development & Neighborhood Services Manager

Date: 1/23/25

Subject: North Westerly – PD (PD-001700-2024) – Development & Neighborhood Services (DNS) – 3rd Review

Below are review comments from the Development & Neighborhood Services Division, Parks & Recreation Department for the 3rd submittal of the North Westerly PD.

4/1/24	1 st Review
8/16/24	2 nd Review (applicant responses in blue)
1/23/25	3 rd Review (TOE comments in red)

TREE SURVEY

- The tree survey indicates a number of trees that are of good quality and significant size. These trees should be considered for preservation. Good quality trees that cannot be preserved are required to be mitigated for per Section 10-6-2 of the UDC.

Response: Acknowledged. We will determine if the trees can be preserved in the ultimate design with the Preliminary Plat. If they cannot be preserved, we are aware that there will be mitigation requirements.
- The Town Forester visited the site on 3/13/24 to verify the tree survey which was provided with this submittal and observed several stumps from trees that had been removed. Stumps appear to correlate with trees that were surveyed and recorded as “poor” or “non-native”, however staff was unable to verify the accuracy of the Tree Survey due to removal of the trees.

Response: The trees seem to have been removed after the inventory work. We will prepare an updated Tree Survey with the Preliminary Plat.

TOE: Mitigation requirements will be based on the Tree Survey provided with the PD. Updated information on sizing and quality may be needed based on timeframe.

Response: The trees seem to have been removed after the inventory work. We will prepare an updated Tree Survey with the Preliminary Plat.
- Green Ash is noted on the Tree Survey as native, however Green Ash is not native to Colorado.

Response: According to our ecologist, the Green Ash as a native is subject to interpretation. However, if TOE prefers that it be labeled as a non-native, we will update the label with the updated Tree Survey.

Response: The consultant has updated the tree survey.

PLANNED DEVELOPMENT ZONING MAP & GUIDE

Sheet 3 – Land Use Plan:

1. The Water Tank Site needs its own boundary and Land Use designation. Even though it will receive park or open space credit, it's use needs to be designated.

Response: We have separated the Water Tank Site in its own boundary and land use designation.

TOE: Not complete. The Land Use Designation is still listed as Open Space. The water tank site will receive park or open space credit per the Pre-Development Agreement, however the use needs to be designated as Utility.

2. In the Land Use Summary Chart, under Details and Comments, please note the % MU Open Space typology. None of what is shown qualifies for dedication to the Town.

Response: The typology has been updated and we have done our best to interpret the areas that qualify based on our team meeting with the Town Planning and Parks department.

TOE: Not complete. This comment is specific to the Land Use Summary Chart on the Concept Plan. Column I still indicates that all of the Open Space will be Dedicated which is incorrect.

Sheet 14 - Circulation Plan and Typical Road Sections:

1. Tree lawn widths shall not be less than Town of Erie Standard Street Sections, as amended.

Response: We have not received any updates from the Town regarding the latest street standards. However, this requirement will be noted.

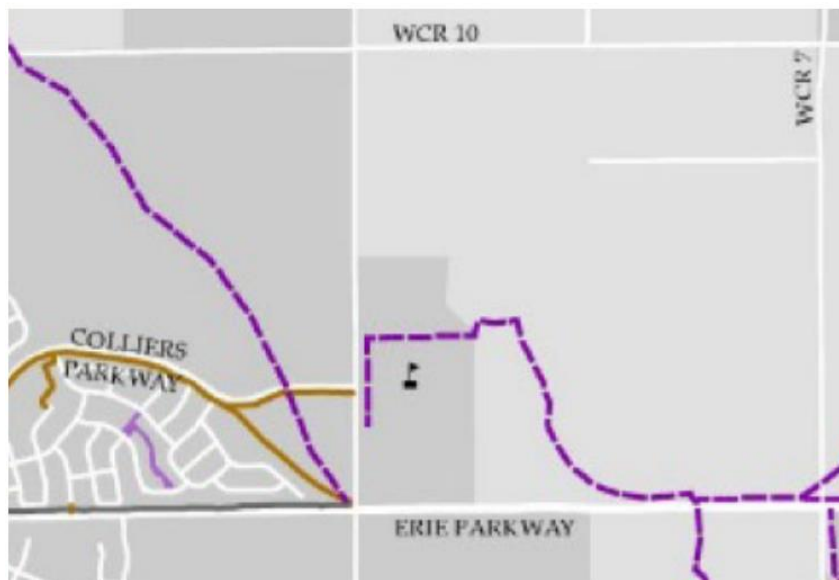
2. Show trails on this map in order to understand how the trail system and the street network correlate. It is the intent for the Town to take over maintenance of the multi-use trail system as part of its spine trail system and should be shown differently than internal local connectors.

Response: We have included a trails map.

TOE: The following revisions are required to Sheet 15 – Pedestrian Circulation Plan:

- a. The Spine Trail needs to extend to the NW corner of the site.

Response: Below is the spine trail alignment that is proposed in the “Town of Erie Recreation Trail Map with Proposed Spine Trail”. It appears that the plan is to bring the Spine Trail toward the Schools and to south to meet with the alignment at WCR5 and Erie Parkway. Therefore, we kept the spine trail in this area and extended an 8' concrete multi-use trail to the north instead. We also avoided bisecting the schools per comment “I” with a logical extension just north of the schools to CR5.



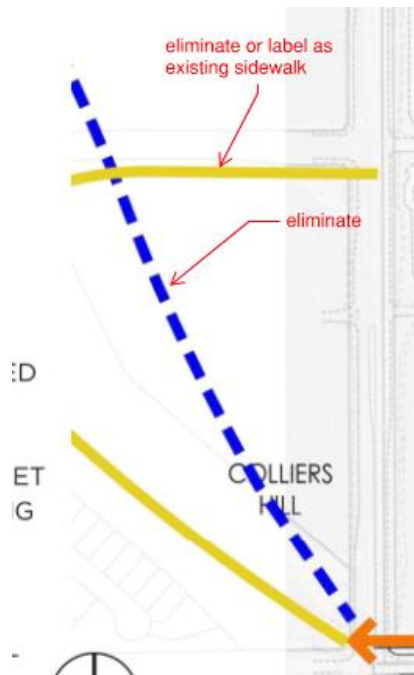
TOE: Due to changing conditions as development has occurred, the Spine Trail needs to be extended to the NW corner of the site. The North/South path on the east side of WCR5 should be 10' wide and designated as Spine Trail. See below.



- b. Existing and planned trails beyond the North Westerly development area need to be shown.

Response: The proposed and existing trails outside of the North Westerly development are now shown on the trails map.

TOE: The existing Spine Trail on the west side of WCR5, south of WCR 10 needs to be shown. Also make the following revisions at the NW corner of WCR5 & Erie Parkway as shown below.



- c. Street crossing types (at-grade vs. underpass) need to be indicated.
 Response: All street crossings are at-grade, except for the pedestrian underpass that has been notated.
 TOE: Acknowledged.
- d. Label the Erie Parkway underpass.
 Response: It has been labeled.
 TOE: Complete.
- e. The property type colors in the legend (open space, pocket park, neighborhood park) need to match the plan.
 Response: The colors are muted and used as reference only.
 TOE: OK for the Pedestrian Circulation Plan but needs to be corrected on the Parks & Open Space Concept Plan.
- f. The 8' Perimeter Concrete Trail should be labeled as a Shared Use Path. Widths need to adhere to the Town's updated street standards.
 Response: The label has been updated to multi-use trail to match.
 TOE: Reference to width needs to be removed.
- g. On-Street Pedestrian Connections need to be defined. Are these sidewalks?
 Response: Yes, the label has been changed to "sidewalk" to clarify.
 TOE: Complete.
- h. Indicate Flora View Drive & County Road 5 as a primary pedestrian crossing.
 Response: The label has been added.
 TOE: Complete.

- i. Show the shared use path/arterial sidewalk on the north side of Erie Parkway, adjacent to the school site, extending to CR 5.
Response: The trail symbol has been extended.
TOE: Complete.
- j. The Spine Trail should not lead to the west side of the High School site. If a multi-use trail is shown here, an agreement with the school district to allow this type of public access needs to be provided.
Response: See comment “a”.

Sheet 16 - Parks – Open Space and Landscape Character:

- 1. Separate landscape character and private landscape standards from parks, open space & trails.
Response: We have separated the landscape character from the parks, open space and trails.
TOE: Acknowledged.

- 2. The Park and Open Space Requirements Chart should include:
 - a. Anticipated population density utilizing Town of Erie annual persons per dwelling unit (PPDU) estimates.
 - b. Park and Open Space requirements based on density.
 - c. How the development intends to meet the requirements based on guidance from the Mixed-Use Development Parks and Open Space Vision Guide.
 - d. Utilize Park and Open Space typologies from the Mixed-Use Development Guide.**Response:** We have included these requirements and charts on the Open Space and Parks Plan sheet.
TOE: Sheet 23 – Parks & Open Space Concept Plan:
 The following revisions are required:

- a. Provide a note on the PD indicating that dedication requirements will be based on current UDC requirements at the time of Preliminary Plat.
Response: The note has been added.
TOE: Complete.
- b. Remove the text box that includes the below notes. Since no asterisks are indicated on the chart, these notes are not applicable to anything.
**Anticipates that the approximately 6 acres surrounding the water tank site will receive credit for NBHD Park acreage.*
***Anticipates that we receive credit for the irrigation ditch acreage.*

Response: The notes have been removed.

TOE: Complete.

- c. NP-1
 - 1. This location is encumbered with oil and gas wells which is prohibited in parks along with associated setbacks. Park will need to be relocated outside of this area.
Response: Per discussions with the Town, we have removed the O&G wells into an open space tract, based on the team meeting with Town of Erie Planning and Parks department we have been given permission to make the Neighborhood Park as small as 7.5 acres.
TOE: Acknowledged.

2. Provide a separate lot designation for the Water Tank Site. Even though it will receive park or open space credit, it will be a separate tract for clear designation of its' use.

Response: We have separated the Water Tank Site in its own boundary and land use designation.

TOE: Not complete. The water tank site still falls within the Open Space Land Use designation.

- d. The Open Space types listed under Description & Inventory Facilities should be 10% MU Open Space, 40% Open Space, or 100% Open Space.

Response: The Types of Open Space have been added to the labels instead of the current descriptions.

TOE: Complete.

- e. All 100% Spine Trail areas need to be reduced to 40% max. For parcels to qualify for 100% open space credit, it must meet the Open Space definition in the UDC.

Response: The areas where the spine trail is not in 100% open space have been changed to only 40% credit.

TOE: Complete.

- f. OS-1 – The portion adjacent to the Spine Trail corridor may qualify for 40% MU Open Space, however the landscape buffer portions around the perimeter do not qualify for Open Space credit.

Response: Noted. Any landscape buffer area has been deleted from the Open Space Credit portion.

TOE: Acknowledged.

- g. Per the Mixed-Use Development Parks & Open Space Vision Guide, detention areas and water quality ponds are eligible for partial open space credit if slopes are not greater than 5:1 and create usable, aesthetically pleasing spaces.

Response: Acknowledged. However, we do not believe that the detention ponds will be able to meet this criteria.

TOE: Acknowledged, however the small strips of green space around the detention pond will not be eligible for open space credit.

- h. OS-4 appears to be a landscape buffer between the school property and the development and thus is not eligible for Open Space credit.

Response: We did not find a buffer requirement for open space adjacent to a school site.

TOE: Whether required or not, if it is serving as a landscape buffer, it is not eligible for Open Space credit.

- i. The portion of OS-5 that is a landscape buffer north of the school site and not associated with the Spine Trail corridor is not eligible for Open Space credit.

Response: We did not find a buffer requirement for open space adjacent to a school site.

TOE: According to the current layout OS-5 may receive 100% Open Space credit and be dedicated to the Town of Erie due to its adjacency to the Neighborhood Park.

- j. OS-6 is a landscape buffer and is not eligible for Open Space credit.

Response: Noted. This area has no longer been included as OS credit.

TOE: Acknowledged.

- k. OS-8 is a landscape buffer and is not eligible for Open Space credit.

Response: Noted. This area has no longer been included as OS credit.

TOE: Acknowledged.

- l. OS-11 is a landscape buffer and is not eligible for Open Space credit.

Response: Noted. This area has no longer been included as OS credit.

TOE: Acknowledged.

- m. OS-23 is a landscape buffer and is not eligible for Open Space credit.

Response: Noted. This area has no longer been included as OS credit.

TOE: Acknowledged.

- n. Show trails on the Parks & Open Space Concept Map.

Response: The trails have been added.

TOE: Complete.

- o. Provide a scale-able map.

Response: The map has been set to a scale.

TOE: Complete.

- p. The acreage associated with OS-1 that is creditable is approx. 1.3 acres. The portion adjacent to the spine trail is creditable. The portion around the detention pond is not creditable if the detention pond does not meet requirements.

- q. OS-3 is not eligible for open space credit if the detention pond does not meet requirements.

- r. OS-4 will likely receive 100% Open Space credit and be dedicated to the Town of Erie.

- s. OS-8, OS-10, OS-12, OS-13, OS-14, OS-19, OS-22 & OS-23 are not eligible for Open Space credit. See the baseline requirements in the Mixed-Use Development Parks & Open Space Vision Guide.

- 3. ¼ mile radii shown on map is not relevant. See page 36 of the Mixed-Use Development Guide for how to apply spatial requirements to parks, trails and open space areas.

Response: It is acknowledged that we not longer are required a ¼ mile radius. However, the mixed-use development guide emphasizes a 3-5 min. walk from open space and parks; the ¼ mile radius is the best way to show this. But we can remove them if the Town feels it is necessary.

TOE: OK to leave the radii.

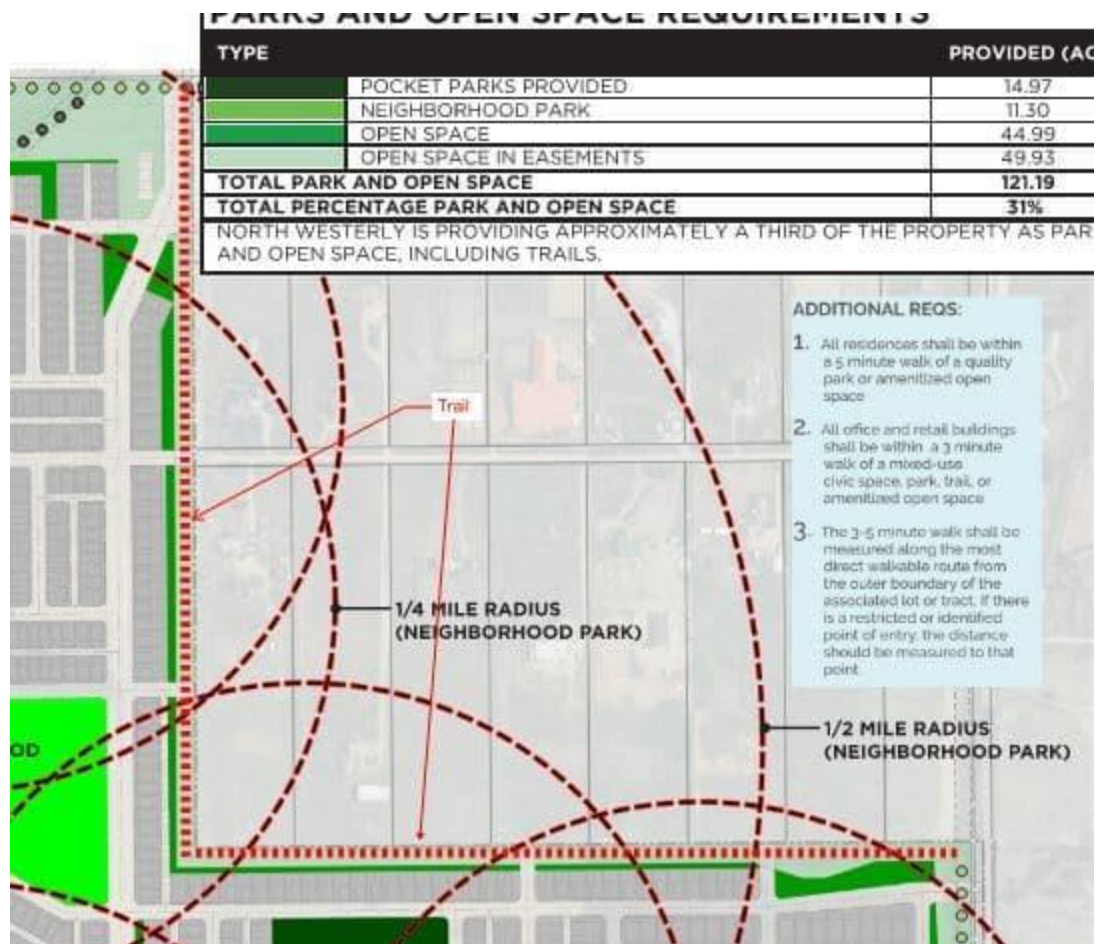
4. Provide an east/west trail connection from the Flora View Drive Intersection to the Neighborhood Park. See below.



Response: This trail connection has been provided.

TOE: Complete.

5. Provide a trail north and east of the development to complete the perimeter loop on the northeast side. See below.



Response: Due to utilities and drainage easements, the trail is not feasible in these areas.

TOE: Acknowledged.

6. The Intent and Character Landscape Concept Statement needs to clarify that landscaping in public right-of-way, trail corridors and parks will follow Town of Erie Landscape Standards.

Response: This has been added to the Landscape Concept Statement.

TOE: Complete.

7. The Neighborhood Park location may be too encumbered with mine shaft locations and subsidence issues to be able to be developed to Neighborhood Park standards. See additional comments under Preliminary Mine Subsidence Investigation to ensure this park location is a viable site.

Response: The Neighborhood Park Location has been relocated.

TOE: See comments related to new location.

Response: Per discussions with the Town, we have omitted the acreage of the plugged wells and associated easements from the dedication area of the neighborhood park, per discussions with the Town the area adjacent to the plugged wells is now proposed as open space.

TOE: Acknowledged.

Sheet 22 – Parks & Open Space Concept

1. There is a question in the 3rd bullet as to whether the neighborhood park will be dedicated to the Town. It will.

Response: Noted.

Sheet 28- Phasing Plan:

1. Need more information about how the park and trail system will be phased to create meaningful connectivity as stipulated in the Pre-Development Agreement.

Response: We have included a Phasing Plan with the open space and parks plan that will be included in each phase.

TOE: Trail connections need to be shown on the Phasing Plan to understand how pedestrians connections are made in association with the phasing. Specifically, the sidewalk connection south of the High School along Erie Parkway needs to be shown.

Response: The Trail system has been added to the Phasing Plan.

TOE: The trail along Erie Parkway, adjacent to the school property, needs to be included in Phase 1.

PRELIMINARY MINE SUBSIDENCE INVESTIGATION:

1. The report indicates that there is a main shaft and an air shaft in what appears to be the location of the Neighborhood Park. This location is within Subsidence Zone A which has potential structural development limitations and may have additional geotechnical investigations required which could be costly. These additional investigations need to be completed and full restrictions in the area need to be disclosed prior to further consideration of this location for dedication as a Neighborhood Park.

Response: Acknowledged. An updated Subsidence Report has been included in this submittal.

TOE: Acknowledged.

North Westerly PD – PD Zoning

Strategic Planning Division

To: John Prestwich, PCS Group, Inc.
From: Josh Campbell, Senior Strategic Planner
Date: January 14, 2025
Re: PD-001700-2024 North Westerly Planned Development (PD) Zoning

Strategic Planning Comments

The Strategic Planning Division, as part of the Planning & Development Department, has reviewed the application for the North Westerly PD Zoning for conformance with the 2024 Comprehensive Plan and the Town's commitment to increasing its livability, connectivity, and sustainability.

Land Use Conformance

1. Staff find that the application conforms with the Future Land Use Map designation in the 2024 Comprehensive Plan. The PD application includes a range of residences, retail, and services that align with the Mixed Use Neighborhood designation.

Policy Conformance

The Strategic Planning Division finds that the application conforms with multiple goals and policies within the 2024 Comprehensive Plan, especially the following policies:

- 1. Policy C.1.1. Mix of Housing Types: Encourage a variety of housing types in neighborhoods to provide a more diverse selection of lifestyles and housing pricing for Erie residents.**
 - a. This project conforms by providing a variety of housing types, including duplexes, townhomes, multifamily units, live-work units, and single-family detached units. Accessory dwelling units will be allowed for single-family detached homes. The predevelopment agreement also includes a commitment to providing attainable housing options.
- 2. Policy H.1.1 Locate higher density housing and mixed use development in areas that are currently served and or will be served by bus transit and neighborhood centers.**
 - a. This project conforms with its provision of mixed use development, including commercial uses that align with policies E.1.5, E.2.1, and E.3.3. The mixed use development is located along Erie Parkway, a major transportation corridor.
- 3. Policy L1.2 Connect the community through a network of public and private parks, open space, greenways and trails.**
 - a. This project conforms with its inclusion of multiple pocket parks, a neighborhood park, trail corridors throughout the development, and connection to trails in Colliers Hill and Westerly.

Policy Recommendations

In response to the 2024 Comprehensive Plan goals and Land Use Map, staff make the following recommendations to be reviewed at future Plat and Site Plan applications:

1. Staff recommends that the applicant continues to be thoughtful with the connection to the future Gateway development to align with policy C.2.3.
2. Staff recommends that public art is integrated into the development to align with policies L.4.5 and P.3.3.
3. Staff recommends that the applicant continue working together with the Town to proactively coordinate and partner with the St. Vrain Valley School District given the proximity to Erie High School and Soaring Heights PK-8 to align with policy L.2.1.
4. Staff recommends the reduction of impermeable areas through the use of green infrastructure as expressed within policies P.3.1. and N.3.1.
5. Staff recommends the planting of new to help grow Erie's tree canopy as expressed in policy N.4.1.
6. Staff recommends that the proposed units should be available to a broad income spectrum, individuals of all abilities and ages as seen within policies H.3.1, H.3.3, and H.3.4.
7. Staff recommends thoughtful transit-oriented design for multimodal options to align with policies within goal T1 and policy T.4.1.

The review process is a cumulative process and dependent on various criteria. We reserve the right to provide further comment(s) and request additional information. Please contact me at (720) 955-2566 or jcampbell@erieco.gov for further clarification. Staff would be happy to schedule a virtual meeting to discuss the comments and answer any questions.

Sincerely,

Josh Campbell | Senior Strategic Planner
Planning & Development



Town of Erie
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Phone: 720-955-2566
www.erieco.gov | [Facebook](#) | [Twitter](#) | [LinkedIn](#)

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North Westerly PD Zoning - 3rd Review

Sustainability Division

To: John Prestwich, PCS Group
From: Eryka Thorley, Sustainability Manager
Date: January 24, 2025
Re: PD-001700-2024 North Westerly – PD Zoning

Sustainability Comments

The Sustainability Division has reviewed the application for the North Westerly PD Zoning for conformance with the Sustainability Master Plan and the Town's commitment to reducing its carbon footprint, conserving natural resources, and fostering a cleaner environment. In response to these goals, staff makes the following recommendations to be included in the PD zoning application:

1. Within the Architecture Standards of the PD, utilize passive solar concepts where possible such as requiring extended eaves to block sunlight, and improve the overall energy efficiency of buildings.

APPLICANT RESPONSE: We have added the note to the architectural standards under the 'Architectural Character' subsection: "Utilize passive solar concepts where architecturally appropriate, in accordance with the style of architecture. For example, extended overhangs may be implemented." This may not be suitable to all lot sizes and conditions and must be explored with the future building & home designs.

Town Response: Acknowledged

2. Within the Pedestrian and Bicycle Plans, make clear commitments to multi-modal transportation by locating on the plan b-cycle, scooters, and car sharing locations.

APPLICANT RESPONSE: This level of detail will be explored at the Preliminary Plat stage and is not appropriate at the PD stage of entitlement.

Town Response: Staff believe this is an appropriate request at the PD level to be committed to with the Bicycle Plan. This request is supported by the Transportation Mobility Plan's Value #1 of Multi-modal options and specifically Policy 1.5 for shared mobility options. We believe this site is appropriate for shared multi-modal as it is providing an extensive multi-modal path network. Shared multi-modal amenities shall be shown on the Bicycle Plan but can be as high level as showing a star or icon of general locations.

3. Under Parking Standards, require additional bike parking for commercial uses greater than the Town UDC's one bicycle parking space per 20 off-street parking spaces for all commercial and multi-family uses.

APPLICANT RESPONSE: We will comply with the Town of Erie's current standard.

Town Response: Acknowledged. This request is supported by the Transportation Mobility Plan policy 1.6 to provide Transportation Demand Management strategies such as additional bicycle parking at key destinations. Transportation Demand Management strategies may be required at site plan application.

4. Within the Overall Photometric plan, require all streetlights be LED and dedicate all streetlights to Town of Erie directly, not United Power.

APPLICANT RESPONSE: Will United Power install light poles without them being dedicated to them? The developer is willing to require this standard if there is no additional cost and this is acceptable to United Power

Town Response: The Town will prefer LED lights for any light poles dedicated to the Town. You may

note that LED lights are required for any Town owned or maintained light poles. This may be further explored in detail at Preliminary Plat but shall be noted on the Overall Lighting Plan sheet.

5. In coordination with SB24-005 and anticipation of it applying to residential landscaping in the future, staff recommend the elimination of non-functional turf including residential front lawns.

APPLICANT RESPONSE: We shall comply with the laws if and when it applies to residential landscapes

Town Response: Acknowledged. Please note that the Town is actively updating our landscape standards and the PD as written will default to Town standards.

6. Explore the concept of a virtual power plant that connects individual solar panels to battery backup. United Power has expressed interest in this concept. This is conjunction with the Zero Energy home with solar panels per the Metro District.

APPLICANT RESPONSE: This level of detail will be explored at the Preliminary Plat stage and is not appropriate at the PD stage of entitlement. However, we will explore the option but cannot commit to it at this stage.

Town Response: Acknowledged.

7. Explore community-wide composting program. This can work in conjunction with the neighborhood's planned community gardens.

APPLICANT RESPONSE: This level of detail will be explored at the Preliminary Plat stage and is not appropriate at the PD stage of entitlement. However, we will explore the option but cannot commit to it at this stage.

Town Response: Acknowledged.

Sincerely,

Eryka Thorley, MA | Sustainability Manager

Pronouns: She / Hers / Ella ([what's this?](#))



Town of Erie | Public Works
645 Holbrook Street | P.O. Box 750 | Erie,
CO 80516
Phone: 303-926-2880
Cell: 720-616-9884

<https://www.erieco.gov/1398/Sustainability>

As the Town of Erie grows and expands, we will become a leader in sustainability by providing outreach and leadership alongside inclusive and accessible opportunities that support the growth of our economy and engage the community while protecting our natural environment. - Erie's Sustainability Vision



5303 Spine Road, Suite 202 Boulder, Colorado 80301
Telephone: 303.443.6151 www.vrlaw.com

January 14, 2025

Aly Burkhalter
Town of Erie Planning & Development
developmentreferral@erieco.gov

Sent Via E-Mail

Re: North Westerly PD – PD 001700-2024 – Third Referral Review

Dear Aly:

You requested our comments regarding the above-referenced planned development zoning application, third referral review, by today. We previously provided comments by letter dated March 19, 2024, and August 6, 2024. This letter provided our comments at this time, and we will likely have additional comments as the development process continues.

In response to our prior comments, the Applicant's combined response letter (titled "NW PD 2ND RESPONSE TO COMMENTS LETTER") indicates that our comments "require a response" and directs us to the "Engineering Response Comment letter." The separate "NW-2ND PD ENGINEERING COMMENT RESPONSES" letter, however, does not include any information that is responsive to our prior comments. Accordingly, we reiterate our prior comments in full.

As noted in our previous comment letters, all parcels associated with the project must be included into both the Northern Colorado Water Conservancy District ("NCWCD") and its Municipal Subdistrict before receiving any water service from the Town. Based upon our review and discussions with NCWCD staff, only a portion of the subject property (the SE 1/4) has been included in the NCWCD boundaries (but not the Municipal Subdistrict), and the remainder of the property is not included in either the NCWCD or the Municipal Subdistrict boundaries. As previously noted, all parcels associated with the project must be included in both the NCWCD and its Municipal Subdistrict before the Town can provide water service.

In the Applicant's prior responsive materials, it notes that the property is currently included in the Left Hand Water District ("Left Hand"), and will be excluded prior to the final plat. As described in our previous comment letter, the Applicant should provide written confirmation that the property will be excluded from Left Hand prior to approval of the final plat and before the Town provides any water service.

The Applicant's prior responsive materials indicate that no surface and/or ground water rights were conveyed with the property. In our previous comment letter, we noted that the Applicant must complete the Town's Declaration of Water Rights form. That form must be completed even if no water rights were conveyed with the property. We note again that the Applicant's initial submittal materials suggest there "is 1 shut in well on the property and several plugged and abandoned wells." The Applicant's responsive materials acknowledge that such wells "shall be plugged and abandoned." The Applicant should provide confirmation that all wells on the property have been plugged and abandoned, when that work has been completed.

With respect to water use assumptions, our prior comment letters requested that Applicant provide additional explanation and support for those values, including the assumptions in the prior initial utility reports and the KT Engineering Conceptual Utility Report, dated September 2024. To date, that additional explanation and support has not been provided. Accordingly, we reiterate our earlier requests that Applicant provide the water use assumptions used to calculate all projected water demands (including the irrigation water demand, which is substantial).

We appreciate the opportunity to provide these comments, and we anticipate providing additional comments as the project progresses. Please contact us with any questions or comments.

Sincerely,

VRANESH AND RAISCH, LLP

s/ Bradley N. Kershaw

Bradley N. Kershaw, Esq.

Andrea A. Kehrl, Esq.

cc: Todd Fessenden; Peter C. Johnson, Esq.



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