

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

COVER SHEET / GENERAL NOTES

PD ZONING LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF WELD, STATE OF COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 16 BEING N 89°30'52" E AND MONUMENTED AS FOLLOWS:

-CENTER 1/4 CORNER OF SECTION 16, BEING A FOUND 3.25" ALUMINUM CAP, LS 6973, RW BAYER ASSOC., PER MON REC DATED 3-1-14.

-EAST 1/4 CORNER OF SECTION 16, BEING A FOUND 2" ALUMINUM CAP IN RANGE BOX, PARTIALLY ILLEGIBLE, PLS 14083, PER MONUMENT RECORD DATED 4-9-96.

BEGINNING AT THE CENTER 1/4 CORNER OF SECTION 16;

THENCE N 89°30'52" E ALONG THE NORTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 16 A DISTANCE OF 2630.74 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF WELD COUNTY ROAD NO. 7 AS DESCRIBED IN BOOK 86 PAGE 273;

THENCE S 00°22'39" E ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 2075.17 FEET TO THE NORTHEAST CORNER OF THAT SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 4925429;

THENCE ALONG THE NORTHERLY BOUNDARY OF SAID SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 4925429 THE FOLLOWING FIVE (5) COURSES;

- 1) S 89°37'21" W A DISTANCE OF 40.00 FEET;
- 2) S 00°22'39" E A DISTANCE OF 473.00 FEET;
- 3) ALONG A CURVE TO THE RIGHT HAVING A CHORD OF S 44°37'59" W 35.36 FEET, A RADIUS OF 25.00 FEET, AN ARC OF 39.28 FEET, AND A DELTA OF 90°01'15";
- 4) S 89°38'36" W A DISTANCE OF 912.35 FEET;
- 5) S 00°21'24" E A DISTANCE OF 40.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF ERIE PARKWAY (AKA WELD COUNTY ROAD NO. 8) RECORDED IN BOOK 86 PAGE 273;

THENCE S 89°38'36" W ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 1656.00 FEET;

THENCE S 89°38'17" W CONTINUING ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 1343.47 FEET TO THE SOUTHEAST CORNER OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 3158505;

THENCE N 00°13'30" W ALONG THE EASTERLY BOUNDARY OF SAID PARCEL A DISTANCE OF 1949.87 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 4206840;

THENCE ALONG THE SOUTHERLY, EASTERLY AND NORTHERLY BOUNDARY OF SAID PARCEL OF LAND THE FOLLOWING SIX (6) COURSES:

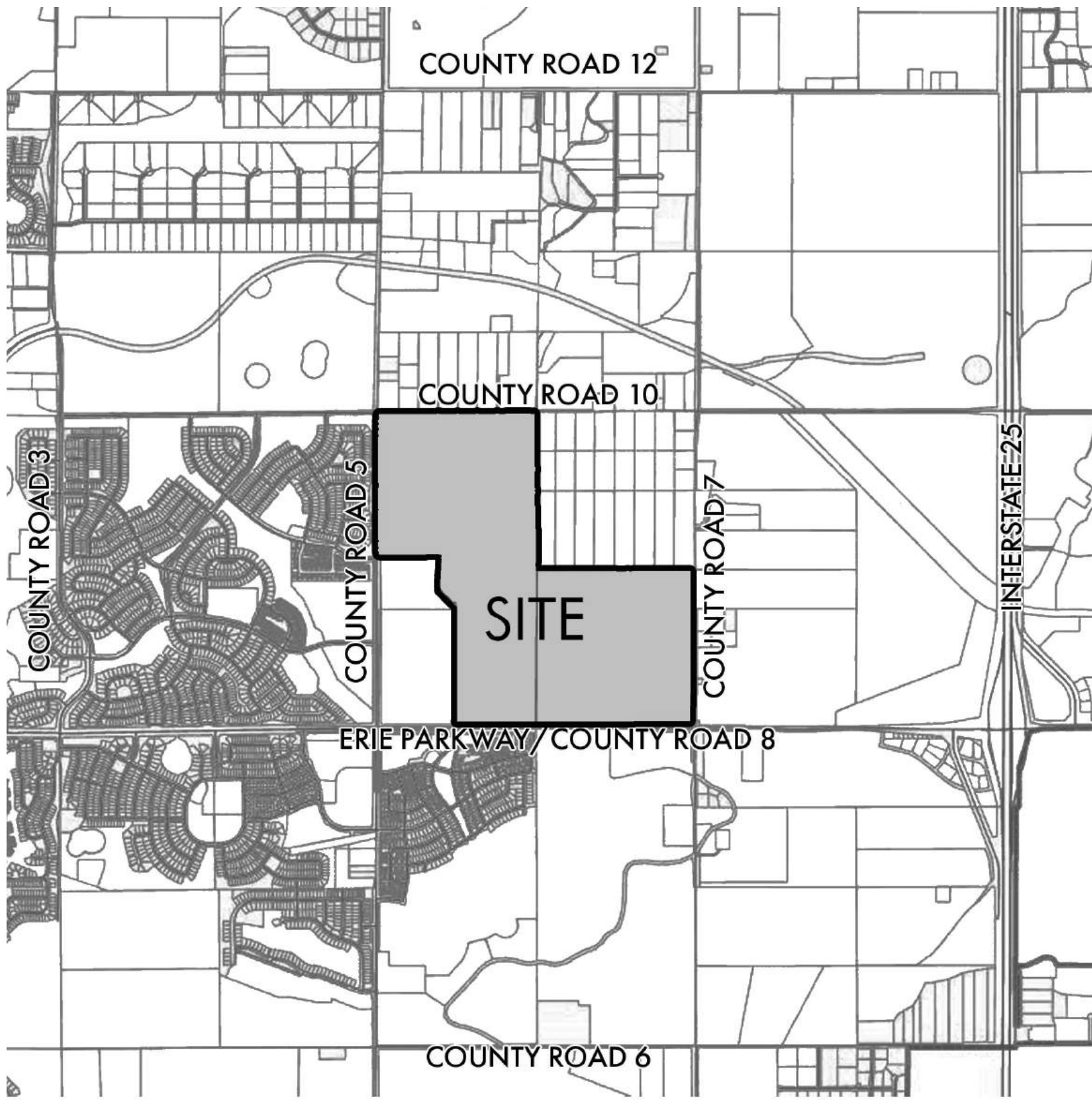
- 1) N 89°38'27" E A DISTANCE OF 2.00 FEET;
- 2) N 04°46'24" W A DISTANCE OF 110.00 FEET;
- 3) S 89°38'27" W A DISTANCE OF 48.00 FEET;
- 4) N 44°31'51" W A DISTANCE OF 339.83 FEET;
- 5) N 03°21'55" E A DISTANCE OF 545.00 FEET;
- 6) S 89°31'06" W A DISTANCE OF 1032.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF WELD COUNTY ROAD NO. 5 RECORDED IN SAID BOOK 86 PAGE 273;

THENCE N 00°12'52" W ALONG SAID EASTERLY RIGHT-OF-WAY LINE A DISTANCE OF 2358.50 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF WELD COUNTY ROAD NO. 10 RECORDED IN SAID BOOK 86 PAGE 273;

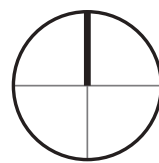
THENCE N 89°23'44" E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 2624.71 FEET TO A POINT ON THE NORTH-SOUTH CENTERLINE OF SAID SECTION 16;

THENCE S 00°18'49" E ALONG SAID NORTH-SOUTH CENTERLINE OF SAID SECTION 16 A DISTANCE OF 2607.31 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 17,026,720 SQUARE FEET OR 390.8797 ACRES MORE OR LESS.



PROJECT VICINITY MAP - 1"=2000'



GENERAL NOTES:

- SOME ITEMS CONTAINED WITHIN THE PD WILL BE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE THROUGH PRELIMINARY PLAT AND FINAL PLAT STAGES.
- THE GRAPHIC DRAWINGS CONTAINED WITHIN THIS PD ARE INTENDED TO DEPICT GENERAL LOCATIONS AND ILLUSTRATE CONCEPTS OF THE TEXTUAL PROVISIONS. DURING THE PLATTING PROCESS MINOR VARIATIONS SHOULD BE EXPECTED FOR THE PURPOSE OF ESTABLISHING:
 1. FINAL ROAD ALIGNMENTS
 2. FINAL CONFIGURATION OF LOT AND TRACT SIZES AND SHAPES
 3. FINAL BUILDING ENVELOPES
 4. FINAL ACCESS AND PARKING LOCATIONS
 5. LANDSCAPE ADJUSTMENTS
- ALL THE PHOTOS AND ILLUSTRATIONS REFERENCED IN THIS PD ARE REPRESENTATIVE OF THE LEVEL OF DESIGN QUALITY IN NORTH WESTERLY. FINAL DESIGNS TO BE SUBMITTED WILL NOT NECESSARILY DUPLICATE THE EXACT ILLUSTRATIONS, BUT WILL CONTAIN THE SAME THEMES AND DIMENSIONS AS SHOWN, AND WILL BE AT THE SAME OR HIGHER LEVEL OF DESIGN QUALITY, EXTENT, AND DETAIL.

VESTED RIGHTS:

THIS PD CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN C.R.S. § 24-68-101, ET SEQ., AND CHAPTER 3 OF TITLE 9 OF THE ERIE MUNICIPAL CODE AND SHALL CREATE VESTED PROPERTY RIGHTS FOR 7 YEARS FROM THE DATE OF APPROVAL OF THE PD-DP, PROVIDED THAT ALL REQUIRED PROCEDURES ARE FOLLOWED. IF BUILDING PERMITS FOR AT LEAST 50% OF THE UNITS CONTEMPLATED BY THIS PD HAVE BEEN ISSUED WITHIN 7 YEARS OF THE DATE OF TOWN'S FINAL APPROVAL OF THIS PD, THE VESTING TERM SHALL BE AUTOMATICALLY EXTENDED FOR AN ADDITIONAL 3 YEARS.

OWNER:

NORTH WESTERLY OWNER, LLC
3990 HILLSBORO PIKE, SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY
EMAIL: JIM.HENRY@SOUTHERNLAND.COM

PLANNING CONSULTANTS:

SOUTHERN LAND COMPANY
3990 HILLSBORO PIKE, SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT: BEN CRENSHAW
SHANE WHITE
EMAIL: BEN.CRENSHAW@SOUTHERNLAND.COM
SHANE.WHITE@SOUTHERNLAND.COM

PCS GROUP, INC.
200 KALAMATH STREET
DENVER, COLORADO 80223
720.259.8246
CONTACT: JOHN PRESTWICH
CARLI GARCIA-RODRIQUEZ
EMAIL: JOHN@PCSGROUPCO.COM
CARLI@PCSGROUPCO.COM

ENGINEERING CONSULTANTS:

KT ENGINEERING
12500 W. 58TH AVE, SUITE 230
720-638-5190
CONTACT: KEN TOLAND
EMAIL: KTOLAND@KTENG.NET

TRAFFIC CONSULTANTS:

LSC TRANSPORTATION CONSULTANTS, INC.
1889 YORK STREET
DENVER, CO 80206
303.333.1105
CONTACT: CHRISTOPHER MCGRANAHAN
EMAIL: CSMCGRANAHAN@LSCTRANS.COM

SURVEYOR'S CERTIFICATE:

I, _____, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS ZONING MAP TRULY AND CORRECTLY REPRESENTS THE ABOVE DESCRIBED LEGAL DESCRIPTIONS FOR EACH ZONE DISTRICT.

I ATTEST THE ABOVE ON THIS ____ DAY OF _____, 20____.

SIGNATURE

SURVEYOR'S NAME

COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR

_____ (SEAL)

TOWN COUNCIL APPROVAL CERTIFICATE:

THIS ZONING MAP IS TO BE KNOWN AS THE "_____ ZONING MAP" AND IS APPROVED AND ACCEPTED BY ORDINANCE NO. _____, PASSED AND ADOPTED AT A MEETING OF THE TOWN COUNCIL FOR ERIE, COLORADO, HELD ON _____, 20____.

MAYOR

ATTEST: _____
TOWN CLERK

CLERK AND RECORDER'S CERTIFICATE:

STATE OF _____)
) SS
COUNTY OF _____)

I HEREBY CERTIFY THAT HIS ZONING MAP WAS FILED IN MY OFFICE ON THIS ____ DAY OF _____, 20____ A.D. AND WAS RECORDED AT THE RECEPTION NUMBER _____.

BY: _____
(SIGNATURE)

(COUNTY CLERK AND RECORDER)

PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

COVER SHEET &
WRITTEN NARRATIVE

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

1
OF 22

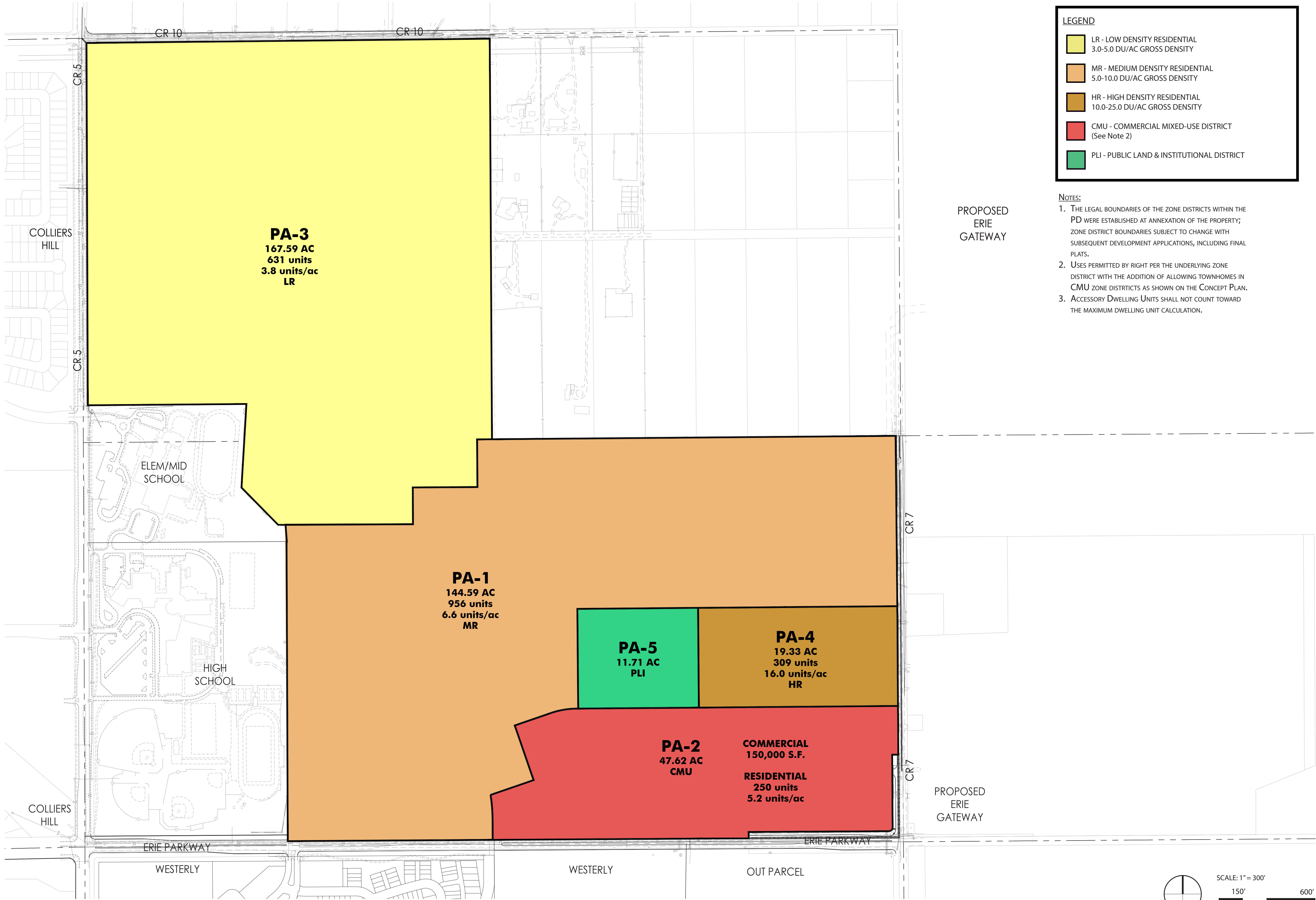
NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

390.8797 ACRES

PD-001700-2024

ZONING MAP



LEGEND

- LR - LOW DENSITY RESIDENTIAL
3.0-5.0 DU/AC GROSS DENSITY
- MR - MEDIUM DENSITY RESIDENTIAL
5.0-10.0 DU/AC GROSS DENSITY
- HR - HIGH DENSITY RESIDENTIAL
10.0-25.0 DU/AC GROSS DENSITY
- CMU - COMMERCIAL MIXED-USE DISTRICT
(See Note 2)
- PLI - PUBLIC LAND & INSTITUTIONAL DISTRICT

NOTES:

- THE LEGAL BOUNDARIES OF THE ZONE DISTRICTS WITHIN THE PD WERE ESTABLISHED AT ANNEXATION OF THE PROPERTY; ZONE DISTRICT BOUNDARIES SUBJECT TO CHANGE WITH SUBSEQUENT DEVELOPMENT APPLICATIONS, INCLUDING FINAL PLATS.
- USES PERMITTED BY RIGHT PER THE UNDERLYING ZONE DISTRICT WITH THE ADDITION OF ALLOWING TOWNHOMES IN CMU ZONE DISTRICTS AS SHOWN ON THE CONCEPT PLAN.
- ACCESSORY DWELLING UNITS SHALL NOT COUNT TOWARD THE MAXIMUM DWELLING UNIT CALCULATION.

PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615-778-2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

ZONING MAP

DRAWN BY:

CGR

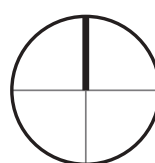
DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

2
OF 22

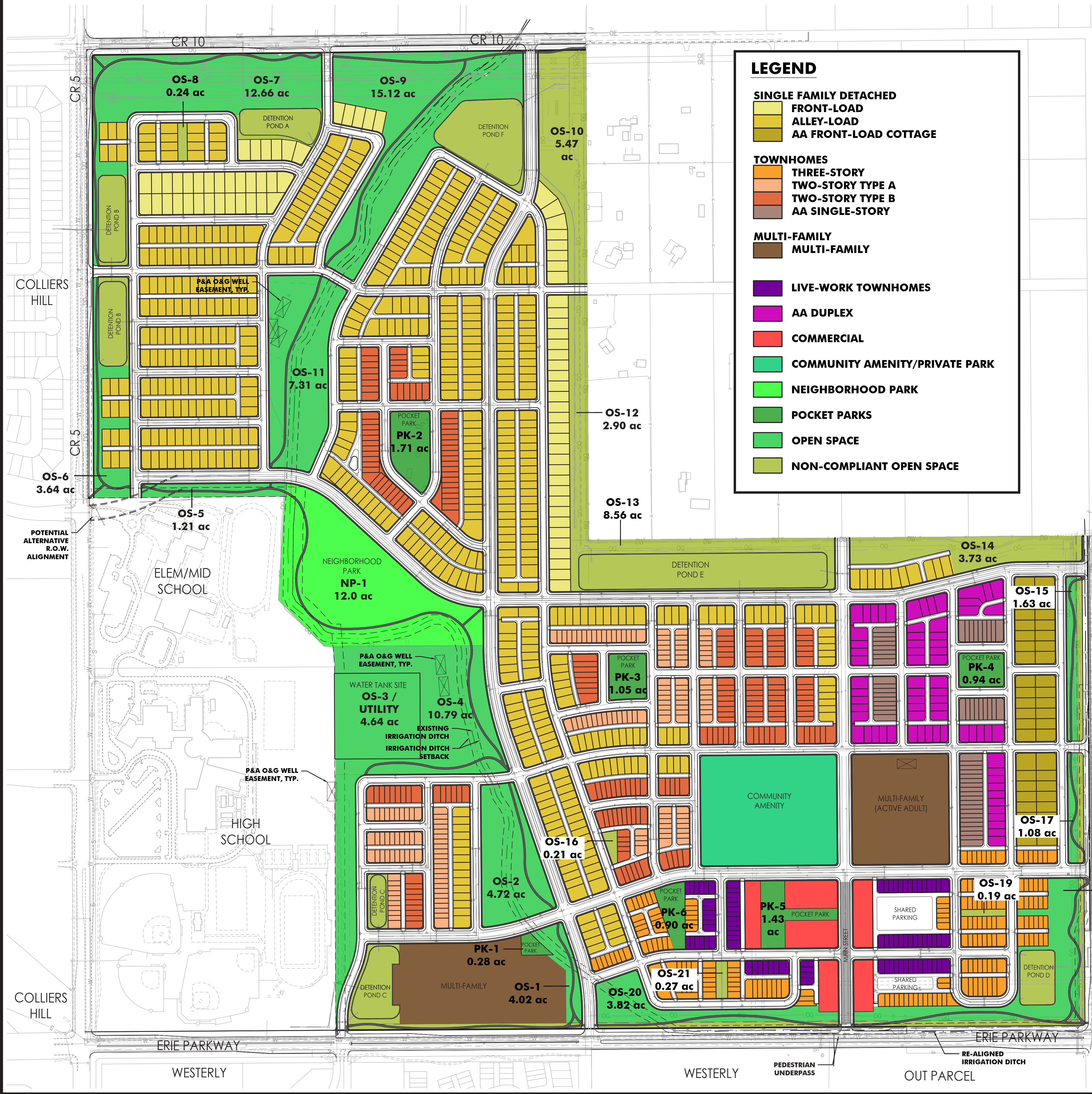


SCALE: 1" = 300'
0' 150' 300' 600' 1,200'

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

390.8797 ACRES
PD-001700-2024
CONCEPT PLAN



NORTH WESTERLY LAND USE SUMMARY

DATE: 03/31/2025

A.	B.	C.	D.	E.	F.	G.	H.	I.
Land Use Item	Planning Area Map Number	Map Area Code	Net Land Area in Acres	Percentage of Total Land Area	Land Use Formula (DU/AC)	Proposed Maximum Density (DUs)	Proposed Commercial Square Footage (SQ.FT.)	Details and Comments
1. OPEN SPACE AND TRAIL CORRIDORS	OS-1	OS	4.02	1.0%				Open Space - includes spine trail and irrigation ditch and amenities
	OS-2	OS	4.72	1.2%				Open Space - includes spine trail, irrigation ditch, and amenities
	OS-6	OS	3.64	0.9%				Open Space - includes spine trail, detention, and amenities
	OS-7	OS	12.66	3.2%				Open Space - includes spine trail, detention, and amenities
	OS-8	OS	0.24	0.1%				Open Space - includes trails and amenities
	OS-9	OS	15.12	3.9%				Open Space - includes spine trail, detention, irrigation ditch, and amenities
	OS-10	OS	5.47	1.4%				Open Space
	OS-11	OS	7.31	1.9%				Open Space - includes spine trail, irrigation ditch, and amenities
	OS-12	OS	2.90	0.7%				Open Space
	OS-13	OS	8.56	2.2%				Open Space - includes detention
	OS-14	OS	3.73	1.0%				Open Space
	OS-15	OS	1.63	0.4%				Open Space - buffer area includes trails
	OS-16	OS	0.21	0.1%				Open Space - includes trails and amenities
	OS-17	OS	1.08	0.3%				Open Space - buffer area includes trails
	OS-18	OS	7.10	1.8%				Open Space - buffer area includes spine trail, irrigation ditch, detention, and amenities
	OS-19	OS	0.19	0.0%				Open Space - includes trails and amenities
	OS-20	OS	3.82	1.0%				Open Space - buffer area includes spine trail, irrigation ditch, detention, and amenities
	OS-21	OS	0.27	0.1%				Open Space - includes trail and amenities
	OS-3/UTILITY	OS	4.64	1.2%				Dedicated Open Space/Utility - water tank site
	OS-4	OS	10.79	2.8%				Dedicated Open Space - includes spine trail, irrigation ditch, and amenities
	OS-5	OS	1.21	0.3%				Dedicated Open Space - includes spine trail and amenities
2. DEDICATED PARKS AND OPEN SPACE	NP-1	PK	12.0	3.1%				NEIGHBORHOOD PARK (DEDICATED)
	PK-1	PK	0.28	0.1%				POCKET PARK
	PK-2	PK	1.71	0.4%				POCKET PARK
	PK-3	PK	1.05	0.3%				POCKET PARK
	PK-4	PK	0.94	0.2%				POCKET PARK
	PK-5	PK	1.43	0.4%				POCKET PARK
	PK-6	PK	0.90	0.2%				POCKET PARK
3. PRIVATE PARK	PA-5	PLI	11.7	3.0%				COMMUNITY AMENITY/PARK
4. DEVELOPMENT AREAS	PA-1	MR	144.6	37.0%	6.6 DU/AC	956		SINGLE-FAMILY DETACHED/ATTACHED & MULTIFAMILY
	PA-2	CMU	47.6	12.2%	5.2 DU/AC	250	150,000	COMMERCIAL/MIXED-USE
	PA-3	LR	167.6	42.9%	3.8 DU/AC	631		SINGLE-FAMILY DETACHED/ATTACHED
	PA-4	HR	19.3	4.9%	16.0 DU/AC	309		SINGLE-FAMILY DETACHED/ATTACHED & MULTIFAMILY
5. ADJACENT ROW (not included within the Planning Areas)			0.0	0.0%				
6. TOTAL MAP ACREAGE (Total Development Acreage #3, 4, & 5)			390.9	100.0%	5.49 DU/AC	2,146	150,000	refer to Note #1
7. ACREAGE LISTED IN APPLICATION			390.9					

NOTES:

- Per the Pre-Development Agreement, this development will create at least 10 primary employment jobs in the Town of Erie with incomes greater than the median income in the Town, and include at least 2 neighborhood-serving retail or service uses, such as childcare, daycare, healthcare, or grocery uses.
- Uses are permitted by right per the underlying zone district with the addition of allowing townhomes in CMU zone districts as shown on the Concept Plan.
- Accessory Dwelling Units shall not count toward the maximum dwelling unit calculation.

PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

CONCEPT PLAN

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

3
OF 22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

390.8797 ACRES

PD-001700-2024

HOME DIVERSITY PLAN

TABLE 6.7-1: HOUSING DIVERSITY (TOWN OF ERIE)

DEVELOPMENT PARCEL SIZE	REQUIRED MIX OF HOUSING TYPES FOR NORTH WESTERLY				
321-480 ACRES (NORTH WESTERLY IS IN THIS RANGE)	5 HOUSING TYPES	OR	4 HOUSING TYPES AND 1 HOUSING TYPE VARIATION	OR	3 HOUSING TYPES AND 2 HOUSING TYPE VARIATIONS

HOUSING STYLES THAT APPLY TO TABLE 6.7-7 INCLUDE:

		INCLUDED IN NORTH WESTERLY
(A)	DUPLEX	YES
(B)	STACKED TRI-PLEX / QUAD-PLEX	NO
(C)	MANOR HOME	NO
(D)	TOWNHOUSE (SINGLE-FAMILY ATTACHED DWELLING UNIT)	YES
(E)	APARTMENT (MULTI-FAMILY DWELLING UNIT)	YES
(F)	LIVE-WORK UNITS	YES
(G)	SINGLE-FAMILY DETACHED	YES

HOUSING TYPE VARIATIONS THAT APPLY TO TABLE 6.7-7 INCLUDE:

(A)	DUPLEX	INCLUDED
	a. FRONT LOAD	NO
	b. ALLEY LOAD	YES
(B)	STACKED TRI-PLEX / QUAD-PLEX	NA
	a. THREE DWELLING UNITS PER BUILDING	
	b. FOUR DWELLING UNITS PER BUILDING	
(C)	MANOR HOME	NA
	a. VARIATION IN BUIDLING LENGTH OF 30% OR MORE	
	b. VARIATION IN BUIDLING FOOTPRINT OF 30% OR MORE	
(D)	TOWNHOUSE (SINGLE-FAMILY ATTACHED DWELLING UNIT)	INCLUDED
	a. FRONT LOAD	NO
	b. ALLEY LOAD	YES
(E)	APARTMENT (MULTI-FAMILY DWELLING UNIT)	INCLUDED
	a. VARIATION IN BUIDLING LENGTH OF 30% OR MORE	NO
	b. VARIATION IN BUIDLING FOOTPRINT OF 30% OR MORE	NO
(F)	LIVE-WORK UNITS	INCLUDED
	a. FRONT LOAD	NO
	b. ALLEY LOAD	YES
(G)	SINGLE-FAMILY DETACHED	INCLUDED
	a. FRONT LOAD	YES
	b. ALLEY LOAD	YES
	c. LOT SIZE UNDER 5,000 SQUARE FEET	YES
	d. LOT SIZE 5,000 TO 9,999 SQUARE FEET	YES
	e. LOT SIZE 10,000 TO 39,999 SQUARE FEET	NO
	f. LOT SIZE 40,000 SQUARE FEET OR MORE	NO



(G) - SINGLE FAMILY DETACHED - FRONT LOAD



(G) - SINGLE FAMILY DETACHED - ALLEY LOAD



(A) - DUPLEX - ALLEY LOAD



(D) - TOWNHOUSE - ALLEY LOAD

NORTH WESTERLY HOUSING DIVERSITY PERCENTAGES

LEGEND	UNIT TYPE	LOT WIDTH (FT)	LOT DEPTH (FT)	LOT COUNT	SEGMENT MIX (%)	DEVELOPMENT MIX (%)
	SINGLE FAMILY DETACHED UNITS					
	SINGLE-FAMILY FRONT LOAD	55'	105'	77	9.4%	3.6%
	SINGLE-FAMILY ALLEY LOAD	35' OR 45'	90'	691	84.5%	32.2%
	AA-COTTAGE	55'	105'	50	6.1%	2.3%
	SUBTOTAL			818	100.0%	38.1%
	ATTACHED UNITS					
	LIVE-WORK TOWNHOME	25'	50'	95	11.3%	4.4%
	TOWNHOUSE - THREE STORY	25'	67'	206	24.5%	9.6%
	TOWNHOUSE - TWO STORY (TYPE A)	26'	67'	178	21.2%	8.3%
	TOWNHOUSE - TWO STORY (TYPE B)	26'	90'	221	26.3%	10.3%
	AA TOWNHOME	23'	120'	61	7.3%	2.8%
	AA DUPLEX	40'	90'	80	9.5%	3.7%
	SUBTOTAL			841	100.0%	39.2%
	SINGLE FAMILY ATTACHED & DETACHED SUBTOTAL			1,659		77.3%

MULTI-FAMILY RESIDENTIAL (SEE NOTE)

LEGEND	UNIT TYPE	FLOORPLATE (GSF)	BUILDING STORIES	LOT COUNT	SEGMENT MIX (%)	DEVELOPMENT MIX (%)
	MULTI-FAMILY	132,780	2.5	250	51.3%	11.6%
	AA MULTI-FAMILY	101,304	3	237	48.7%	11.0%
	MULTI-FAMILY SUBTOTAL			487	100.00%	22.7%

OVERALL RESIDENTIAL DEVELOPMENT TOTALS

	LOT COUNT	TOTAL GROSS SF	DEVELOPMENT MIX (%)
TOTAL SINGLE FAMILY ATTACHED & DETACHED UNITS	1,659		77.31%
TOTAL MULTI-FAMILY UNITS	487		22.69%
OVERALL DEVELOPMENT TOTALS	2,146		100.00%

NOTE:

- HIGHER DENSITY HOUSING: DEVELOPER SHALL CAUSE AT LEAST 20% OF THE TOTAL RESIDENTIAL UNITS IN THE DEVELOPMENT TO BE CONSTRUCTED AS HIGHER DENSITY HOUSING, INCLUDING WIHTOUT LIMITATION CONDOMINIUMS, TOWNHOMES, APARTMENTS, AND COOPERATIVE HOUSING.
- ACCESSORY DWELLING UNITS WILL BE ALLOWED FOR SINGLE FAMILY DETACHED HOMES, HOWEVER, THEY HAVE NOT BEEN CAPTURED IN THE UNIT COUNTS OR PERCENTAGES.
- LOT WIDTHS AND DEPTHS ARE TO SHOW HOUSING DIVERSITY. INFORMATION LISTED ON THIS PAGE ARE NOT REQUIRED DIMENSIONAL STANDARDS.

PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

HOME DIVERSITY PLAN

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

4
OF 22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

SINGLE FAMILY DETACHED DEVELOPMENT STANDARDS

SINGLE FAMILY DETACHED ARCHITECTURAL STANDARDS

THE SINGLE FAMILY DETACHED ARCHITECTURAL STANDARDS SHALL APPLY TO ALL SINGLE FAMILY TYPES INCLUDING FRONT LOAD, ALLEY LOAD, LOT SIZE UNDER 5,000 SQUARE FEET, LOT SIZE 5,000 TO 9,999 SQUARE FEET. THE SINGLE FAMILY DETACHED ARCHITECTURAL STANDARDS REPLACE SECTIONS 10.6.7 OF THE ERIE UNIFIED DEVELOPMENT CODE, AS THE SAME MAY BE AMENDED FROM TIME TO TIME.

I. ARCHITECTURAL VARIETY

A. VARIETY

1. NO IDENTICAL MODEL PLAN ELEVATION SHALL BE REPEATED DIRECTLY ACROSS ANY STREET FROM THE SAME MODEL PLAN AND ELEVATION.
2. NO IDENTICAL MODEL PLAN ELEVATION SHALL BE REPEATED MORE THAN ONCE WITHIN EVERY 4 LOTS ON THE SAME SIDE OF ANY STREET.
3. A MINIMUM OF 3 RECOGNIZABLY DIFFERENT MODEL PLANS WITH 3 RECOGNIZABLY DIFFERENT ELEVATIONS BE SUBMITTED TO THE TOWN FOR REVIEW.

B. TRACKING

1. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE TO THE TOWN A PLAT SHEET TRACKING DOCUMENT THAT MAINTAINS A RECORD OF HOME MODEL VARIETY FOR EVERY DEVELOPMENT PARCEL. THE DEVELOPER SHALL DEMONSTRATE COMPLIANCE WITH THIS SECTION PRIOR TO ISSUANCE OF A BUILDING PERMIT.

II. ARCHITECTURAL CHARACTER

EACH SINGLE FAMILY DETACHED MODEL PLAN AND ELEVATION SHALL DEMONSTRATE THE FOLLOWING DESIGN ATTRIBUTES:

- A. EACH ELEVATION SHALL INCLUDE A MINIMUM OF TWO WINDOWS (OR ONE WINDOW AND ONE DOOR) PER FLOOR. THERE SHALL BE AT LEAST ONE OPENING (WINDOW OR DOOR) PER QUADRANT OF THE ELEVATION SO THAT LONG STRETCHES OF WALL ARE BROKEN UP BY FENESTRATION. HOWEVER, ELEVATIONS WITH A PARTIAL OR SMALLER UPPER LEVEL (SUCH AS A FRONT FACING GABLE) MAY BE ALLOWED TO HAVE A MINIMUM OF ONE WINDOW IN THE UPPER STORY AND THE WINDOW SHALL BE APPROPRIATE IN SIZE TO THE SCALE OF THE UPPER LEVEL MASS, MINIMUM OF 8 SQ.FT. OF GLASS.

B. WALL PLANE CHANGE:

WINDOW ARTICULATION THAT ADDS SHADOW AND VISUAL INTEREST IS ENCOURAGED.

THE WALL PLANE CHANGE SHALL BE PROPORTIONAL TO THE BUILDING ELEVATION, HAVE A DEPTH OF AT LEAST 12 INCHES, BE AT LEAST A FULL STORY IN HEIGHT, AND BE AT LEAST 6 FEET WIDE. RECESSED PLANES SHALL BE RECOGNIZABLE AS PART OF THE ELEVATION BEING ENHANCED.

EACH FRONT AND REAR ELEVATION SHALL INCLUDE MORE THAN ONE WALL PLANE,

OR, ON FRONT ELEVATIONS ONE WALL PLANE MAY BE ALLOWED WHEN ONE OR MORE OF THE FOLLOWING IS PROVIDED. (REFER TO IMAGE 1)

1. WINDOW(S) OR DOOR(S) EXCEEDING THE MINIMUM REQUIRED PER FLOOR. THE USE OF SHUTTERS MAY ALSO ENHANCE THE TOTAL SCALE OF FENESTRATION PROVIDED PER ELEVATION QUADRANT.
2. A PORCH OR STOOP THAT IS COVERED.
3. ROOF DORMERS.

- C. A VARIETY OF ROOF FORMS SHALL BE USED. SINGLE UNBROKEN ROOF PITCHES SHOULD BE AVOIDED EXCEPT WHERE A SINGLE ROOF TREATMENT IS AN ESSENTIAL ELEMENT OF THE ARCHITECTURAL STYLE. (E.G. MANSARD)

- D. THE MAIN ROOF SHALL EXTEND BEYOND THE PRIMARY FACADE BY A MINIMUM OF 12 INCHES.

OR, ON HOMES WITH A ROOF PITCH OF 10:12 OR GREATER, A GABLE RAKE OF LESS THAN 12 INCHES MAY BE PERMITTED.

MODELS WITH GABLE RAKE OVERHANGS OF LESS THAN 12 INCHES SHALL NOT BE LOCATED DIRECTLY ACROSS THE STREET FROM EACH OTHER OR MORE THAN ONCE WITHIN EVERY 4 LOTS ON THE SAME SIDE OF ANY STREET.



FRONT ELEVATION

IMAGE 1: WALL PLANE CHANGE EXAMPLES ON A FRONT ELEVATION

- E. AN ELEVATION OF THE HOME THAT FACES A STREET, PARK, TRAIL CORRIDOR OR OPEN SPACE AREA SHALL PROVIDE AN "ENHANCED ELEVATION" WHICH FURTHER IMPROVES THE ARCHITECTURAL AESTHETIC OF THE RESIDENCE; AN ENHANCED ELEVATION SHALL PROVIDE THREE OF THE FOLLOWING DESIGN ENHANCEMENTS. THE DESIGN ENHANCEMENT SHALL BE APPLIED IN A MANNER THAT IS CONSISTENT WITH THE STYLE OF THE HOME. SIDE AND REAR ELEVATION DESIGN ENHANCEMENTS SHALL BE CONSISTENT WITH THE DESIGN ELEMENTS OF THE FRONT ELEVATION.

1. WINDOW(S) SHALL BE A MINIMUM OF 8 S.F. OF GLASS OR LARGER AT AN APPROPRIATE SCALE TO ADD CHARACTER TO THE ELEVATION.
2. A CHANGE IN WALL PLANE AS DEFINED IN SUBSECTION B ABOVE.
3. A PORCH, PATIO, OR DECK THAT IS COVERED.

4. THE USE OF ARCHITECTURAL DETAIL ELEMENTS SUCH AS SHUTTERS, VENTS, EAVE AND/OR GABLE BRACKETS, EXPOSED RAFTER TAILS, CORBELS, LINTELS, TRELLISES, COLUMNS OR PILASTERS, ADDITIONAL EXTERIOR ACCENT MATERIALS, ETC. WHICH IN COMBINATION CREATE AN ENHANCED ARCHITECTURAL STYLE.

5. THE USE OF TWO OR MORE EXTERIOR MATERIALS. ADDITIONAL MATERIALS SHOULD BE USED IN LOCATIONS WHERE IT IS LOGICAL AND APPROPRIATE AND SHOULD CONTINUE TO A NATURAL TRANSITION POINT. TO ACHIEVE THE ENHANCEMENT THE ADDITIONAL MATERIAL(S) SHALL BE USED TO COVER A MINIMUM OF 15% OF THE ELEVATION BEING ENHANCED. EXTERIOR MATERIALS MAY INCLUDE BUT ARE NOT LIMITED TO MASONRY (CULTURED STONE, STONE, BRICK, STUCCO, OR TILE), LAP SIDING, SHINGLES, BOARD AND BATTEN, OR OTHER DECORATIVE SIDING TREATMENT. DIFFERENT APPLICATION STYLES OF THE SAME MATERIAL, FOR EXAMPLE THE APPLICATION OF LAP SIDING IN DIFFERENT WIDTHS, DOES NOT CONSTITUTE A SECOND MATERIAL.

- F. COLUMNS OR POSTS EXTENDING MORE THAN 36 INCHES ABOVE THE GROUND WHICH SUPPORT STRUCTURAL ELEMENTS SUCH AS PORCHES, DECKS, OR ROOFS SHOULD APPEAR TO BE OF ADEQUATE MASS TO SUPPORT THE STRUCTURE ABOVE. (NO EXPOSED 4" X 4" POSTS SHALL BE ALLOWED MORE THAN 36 INCHES ABOVE THE GROUND). COLUMNS SUPPORTING UPPER STORY DECKS SHOULD BE 8" X 8" MINIMUM FINISHED

G. MATERIALS:

1. ALL EXTERIOR MATERIALS SHALL BE OF HIGH QUALITY, USED IN APPLICATIONS AND TREATED APPROPRIATELY TO PROVIDE AND ATTRACTIVE AND LONG LASTING APPEARANCE.
2. WHEN MASONRY IS USED IT SHOULD BE USED IN LOCATIONS WHERE ITS MASS IS LOGICAL AND APPROPRIATE. IN INSTANCES WHERE MASONRY WRAPS THE EXTERIOR CORNER OF THE HOME THE MASONRY SHOULD CONTINUE TO A NATURAL TRANSITION POINT SUCH AS THE INSIDE CORNER OF A PROJECTION WALL, A COLUMN, A DOOR OR WINDOW OR OTHER LOGICAL POINT. IN CASES WHERE NO SUCH FEATURE EXISTS NEAR THE CORNER, THE MASONRY WRAP SHALL EXTEND AT LEAST SIX FEET FROM THE CORNER.

- H. UTILIZE PASSIVE SOLAR CONCEPTS WHERE ARCHITECTURALLY APPROPRIATE AND IN ACCORDANCE WITH THE STYLE OF ARCHITECTURE.

1. FOR EXAMPLE, EXTENDED OVERHANGS MAY BE IMPLEMENTED TO BLOCK SUNLIGHT.

III. BUILDING ORIENTATION

- A. EACH DWELLING UNIT SHALL FACE THE FRONT LOT LINE OF THE PROPERTY AND HAVE AT LEAST 1 PRIMARY PEDESTRIAN DOORWAY FOR ACCESS TO THE DWELLING UNIT LOCATED ON, OR ADJACENT TO, THE ELEVATION OF THE DWELLING UNIT FACING THE FRONT LOT LINE OF THE PROPERTY. THE DOORWAY SHALL BE NO MORE THAN 20 FEET FROM THE MOST FORWARD PLANE OF THE FORWARD MOST LIVING SPACE WITHIN THE HOUSE AND SHALL BE CLEARLY ACCESSIBLE FROM THE STREET OR PUBLIC AREA ADJACENT TO THE FRONT LOT LINE (REFER TO IMAGE 2).

IN CONDITIONS WHERE SIDE LOADED GARAGES ARE UTILIZED, THE DOORWAY SHALL BE NO MORE THAN 20 ' FROM THE FRONT FACING GARAGE WALL PLANE.

- B. FOR SINGLE FAMILY FRONT LOADED LOTS ADJACENT TO STREETS ON TWO SIDES (CORNER LOTS), THE DWELLING MAY BE ORIENTED TO EITHER ADJACENT STREET AND THE PEDESTRIAN DOORWAY MAY THUS BE LOCATED FACING EITHER ADJACENT STREET.

IV. GARAGES, PORCHES AND STOOPS:

THESE REGULATIONS FOR GARAGES SHALL BE APPLIED TO NON-LIVING SPACE OR STORAGE AREAS WITHIN GARAGES WHETHER USED FOR STORAGE OF AUTOMOBILES OR OTHER ITEMS.

A. FRONT LOADED GARAGES:

1. GARAGES SHALL BE RECESSED A MINIMUM OF 8'-0" FROM THE FORWARD MOST FACADE, FRONT PORCH, OR COVERED STOOP, WHICHEVER LENGTH IS GREATEST, FOR FRONT LOADED LOTS 75' OR GREATER IN WIDTH.
2. GARAGES SHALL BE RECESSED A MINIMUM OF 2'-0" FROM THE FORWARD MOST FACADE, FRONT PORCH, OR COVERED STOOP, WHICHEVER LENGTH IS GREATEST, FOR FRONT LOADED LOTS BETWEEN 45' AND 74' FEET IN WIDTH.

B. SIDE LOADED GARAGES:

1. ON CORNER LOTS WHERE THE GARAGE IS ORIENTED TO THE SIDE LOT LINE RATHER THAN THE FRONT LOT LINE, THE GARAGE MUST BE SET BACK A MINIMUM OF 31' FROM THE FRONT STOOP OR PORCH OR FROM THE FORWARD MOST PLANE OF THE FRONT FACADE WHEN THERE IS NOT A STOOP OR PORCH.

C. ALLEY LOAD GARAGES:

1. GARAGES MUST BE ORIENTED TO AND ACCESSED FROM THE ALLEY WHEN THE DWELLING IS LOCATED ON A LOT WITH ALLEY ACCESS.

D. THREE OR MORE CAR GARAGE ORIENTATION:

WHEN GARAGE BAYS EXCEED TWO, THE ADDITIONAL GARAGE BAYS SHALL EITHER:

1. HAVE A DIFFERENT ORIENTATION FROM THE FIRST TWO;
2. SHALL BE RECESSED BEHIND THE FIRST TWO BY AT LEAST TWO FEET WHEN HAVING THE SAME ORIENTATION; OR
3. SHALL BE TANDEM TO THE FIRST TWO.

E. FRONT STOOP

A FRONT STOOP IS COMPRISED OF STAIRS AND A PLATFORM WHICH PROVIDES ACCESS TO A FRONT DOOR WHEN THE THRESHOLD IS NOT AT GRADE AND MAY BE COVERED OR UNCOVERED. FOR DWELLING UNITS WITH A FRONT STOOP, THE FRONT STOOP PLATFORM SHALL BE AT LEAST 12 SQUARE FEET.

F. FRONT PORCHES

A FRONT PORCH IS COMPRISED OF STAIRS, PLATFORM, AND COLUMNS OR RAILING AND PROVIDES ACCESS TO A FRONT DOOR WHEN THE THRESHOLD IS NOT AT GRADE. A FRONT PORCH HAS A GENEROUS SIZED PLATFORM WHICH CREATES AN OUTDOOR LIVING SPACE AT THE FRONT OF THE HOUSE. FOR DWELLING UNITS WITH A FRONT PORCH, THE FRONT PORCH SHALL BE AT LEAST 60 SQUARE FEET, AND SHALL HAVE A MINIMUM DEPTH OF 6 FEET AS MEASURED FROM THE STUD WALL TO THE COLUMN CENTERLINE OR RAILING. (REFER TO IMAGE 2)

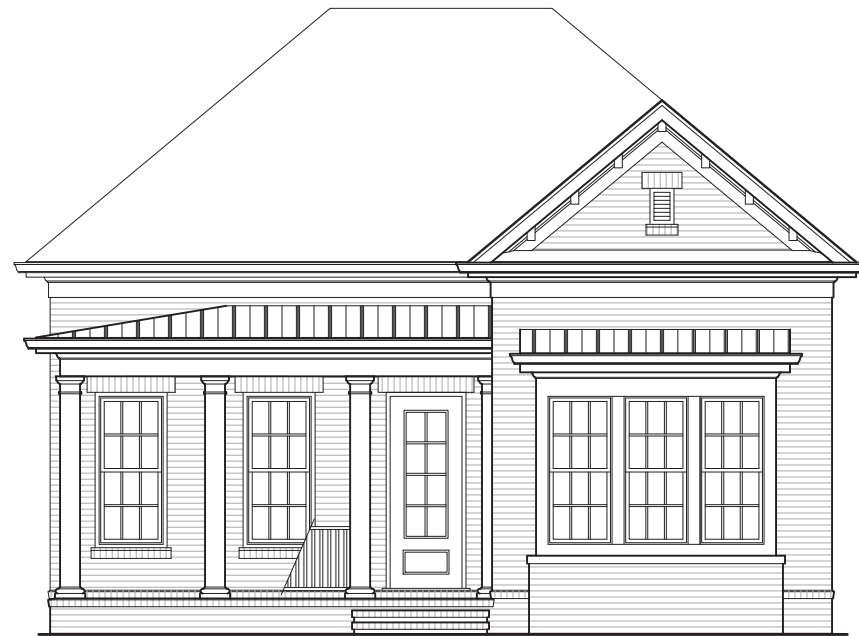
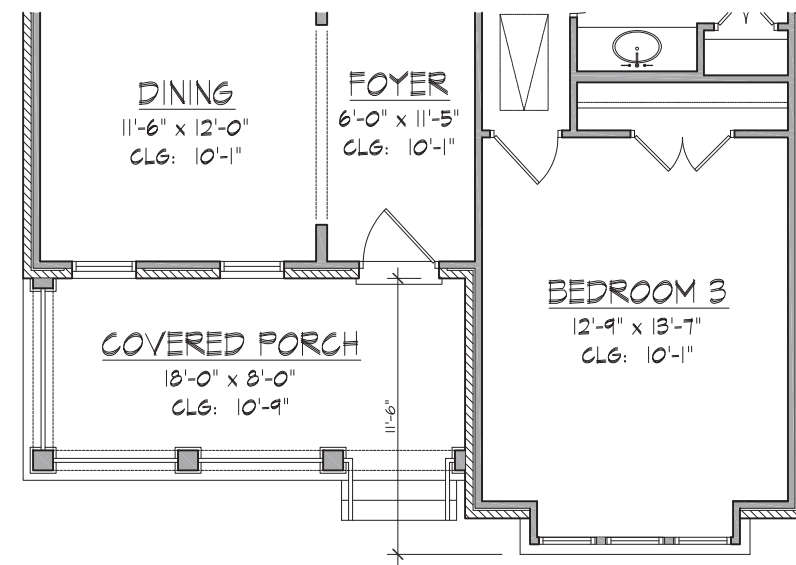


IMAGE 2: FRONT PORCH AND FRONT DOOR DEPTH

PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615-778-2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	7/11/2024	JP/CGR
2	2ND SUBMITTAL	10/02/2024	JP/CGR
3	3RD SUBMITTAL	2/14/2025	JP/CGR
4	4TH SUBMITTAL	4/18/2025	JP/CGR
5	5TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

SINGLE FAMILY
DETACHED
DEVELOPMENT
STANDARDS

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

5
OF 22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

SINGLE FAMILY ATTACHED DEVELOPMENT STANDARDS

SINGLE FAMILY ATTACHED ARCHITECTURAL STANDARDS

THE PURPOSE OF THESE BUILDING DESIGN AND CHARACTER STANDARDS ARE TO ESTABLISH A MORE PREDICTABLE APPROACH TO DUPLEX AND TOWNHOME AREAS THAT ENCOURAGES CREATIVITY IN DESIGN FOR INDIVIDUALISM OF BUILDINGS OR DWELLING UNITS THAT RESULTS IN ATTRACTIVE, LONG-LASTING NEIGHBORHOODS. SINGLE FAMILY ATTACHED ARCHITECTURAL STANDARDS SHALL APPLY TO ALL SINGLE FAMILY ATTACHED TYPES INCLUDING DUPLEX FRONT-LOAD, DUPLEX ALLEY-LOAD, TOWNHOUSE FRONT-LOAD, TOWNHOUSE ALLEY-LOAD, AND LIVE-WORK TOWNHOMES. THE SINGLE FAMILY ATTACHED ARCHITECTURAL STANDARDS REPLACE SECTIONS 10.6.7 OF THE ERIE UNIFIED DEVELOPMENT CODE, AS THE SAME MAY BE AMENDED FROM TIME TO TIME.

I. ARCHITECTURAL VARIETY

A. INTENT

1. TO ENSURE THAT INDIVIDUAL GROUPINGS OF DUPLEX OR TOWNHOME BUILDINGS WITHIN A LARGER DEVELOPMENT EXHIBIT A DISTINCT VARIATION IN SIZE AND MASS THAT ALLOWS THEM TO BE EASILY DISTINGUISHED FROM SURROUNDING BUILDING GROUPINGS.
2. TO AVOID THE BLEAK, "BARRACKS-TYPE" APPEARANCE ASSOCIATED WITH LARGE CONCENTRATIONS OF IDENTICAL OR VERY SIMILAR STRUCTURES.\

B. TOWNHOMES

1. NO MORE THAN 6 TOWNHOME DWELLING UNITS MAY BE ATTACHED IN ANY SINGLE ROW OR BUILDING CLUSTER.
2. WITHIN EACH TOWNHOME ROW OR CLUSTER, INDIVIDUAL DWELLING UNITS SHALL EITHER BE DIFFERENTIATED OR MAY EXPRESS A PURPOSELY UNIFORM DESIGN THROUGH THE FOLLOWING:
 - a. WHEN INDIVIDUAL DWELLING UNITS OF A TOWNHOME BUILDING ARE TO BE DIFFERENTIATED, DWELLING UNITS SHALL USE THE FOLLOWING TWO OR MORE METHODS,
 - i. USE OF DISTINCT COLOR VARIATION BETWEEN INDIVIDUAL DWELLING UNITS;
 - ii. USE OF DISTINCT VARIATIONS IN MATERIALS BETWEEN INDIVIDUAL DWELLING UNITS;
 - iii. USE OF DISTINCT VARIATIONS IN ARCHITECTURAL STYLE OR FEATURES, SUCH AS A PORCH OR SIMILAR FEATURE, BETWEEN INDIVIDUAL DWELLING UNITS;
 - iv. USE OF DISTINCT VARIATIONS IN ROOF FORM,
 - v. A VARIATION IN THE PLANE OF THE FRONT FACADE TO PROVIDE A MINIMUM 1 FOOT VARIATION BETWEEN INDIVIDUAL DWELLING UNITS.
 - b. WHEN UNIFORMITY OF INDIVIDUAL DWELLING UNITS OF A TOWNHOME BUILDING TO APPEAR AS A LARGE SINGLE FAMILY HOME, THIS SHALL BE EXPRESSED THROUGH REPETITION OF THREE OR MORE OF THE FOLLOWING METHODS,
 - i. USE OF MATERIALS BOTH IN TYPE AND LOCATION;
 - ii. SIZE, STYLE, AND PATTERNING OF WINDOWS;
 - iii. SIZE AND DETAILING OF FRONT PORCHES;
 - iv. ROOF DORMERS, ROOF FORM, AND ROOF PITCH.

C. DUPLEXES

1. A CONTINUOUS ROW OF IDENTICAL HOMES ALONG A BLOCK SHALL BE PROHIBITED. INDIVIDUAL STRUCTURES SHALL BE DIFFERENTIATED THROUGH TWO OR MORE OF THE FOLLOWING METHODS:
 - a. USE OF DISTINCT COLOR VARIATION AND MATERIALS BETWEEN INDIVIDUAL STRUCTURES;
 - b. USE OF DISTINCT VARIATIONS IN ROOF FORM, OR
 - c. USE OF DISTINCT VARIATIONS IN ARCHITECTURAL FEATURES, SUCH AS PORCHES, ROOF FORM, WINDOWS, OR SIMILAR FEATURE, BETWEEN INDIVIDUAL STRUCTURES.
2. VARIETY
 - a. NO IDENTICAL MODEL PLAN ELEVATION SHALL BE REPEATED DIRECTLY ACROSS ANY STREET FROM THE SAME MODEL PLAN AND ELEVATION.
 - b. NO IDENTICAL MODEL PLAN ELEVATION SHALL BE REPEATED MORE THAN ONCE WITHIN EVERY 4 LOTS ON THE SAME SIDE OF ANY STREET.
 - c. A MINIMUM OF 3 RECOGNIZABLY DIFFERENT MODEL PLANS WITH 3 RECOGNIZABLY DIFFERENT ELEVATIONS BE SUBMITTED TO THE TOWN FOR REVIEW.

D. TRACKING

1. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE TO THE TOWN A PLAT SHEET TRACKING DOCUMENT THAT MAINTAINS A RECORD OF HOME MODEL VARIETY FOR EVERY DEVELOPMENT PARCEL. THE DEVELOPER SHALL DEMONSTRATE COMPLIANCE WITH THIS SECTION PRIOR TO ISSUANCE OF A BUILDING PERMIT.

II. ARCHITECTURAL CHARACTER

A. INTENT

1. TO IMPROVE THE APPEARANCE OF DUPLEX AND TOWNHOME AREAS THROUGH THE INCORPORATION OF ARCHITECTURAL DETAILING, FACADE ARTICULATION, AND OTHER FEATURES DESIGNED TO PROVIDE A MORE DISTINCT CHARACTER AND HUMAN SCALE FOR BUILDINGS OF ALL SIZES.
2. TO ENCOURAGE THE USE OF ARCHITECTURAL STYLES THAT REINFORCES THE TOWN'S TRADITIONAL CHARACTER.

B. DESIGN STANDARDS

1. ALL SIDES OF A DUPLEX OR TOWNHOME BUILDING SHALL DISPLAY A SIMILAR LEVEL OF QUALITY AND ARCHITECTURAL DETAILING. THE MAJORITY OF A BUILDING'S ARCHITECTURAL FEATURES AND TREATMENTS SHALL NOT BE RESTRICTED TO A SINGLE FACADE. BUILDING DETAILS, INCLUDING ROOF FORMS, WINDOWS, DOORS, TRIM, AND SIDING MATERIALS, SHALL REFLECT THE ARCHITECTURAL STYLE OF THE BUILDING.
2. ATTACHED DWELLING UNITS MAY EITHER EXPRESS EACH INDIVIDUAL UNIT OR GIVE EACH BUILDING THE APPEARANCE OF A LARGE SINGLE-FAMILY HOME.
3. THE INCORPORATION OF A VARIETY OF ROOF FORMS IS STRONGLY ENCOURAGED ON DIFFERENTIATED DWELLING UNITS. GENERALLY, DUPLEX OR TOWNHOMES SHALL INCORPORATE ROOF PITCHES OF BETWEEN 3:12 AND 6:12; HOWEVER, ALTERNATIVE ROOF FORMS MAY BE PERMITTED AT THE DISCRETION OF THE DIRECTOR OF PLANNING AND DEVELOPMENT.
4. ROOF OVERHANGS SHALL EXTEND BEYOND THE PRIMARY FACADE BY A MINIMUM OF 12 INCHES.

OR, ON HOMES WITH A ROOF PITCH OF 10:12 OR GREATER, A GABLE RAKE OF LESS THAN 12 INCHES MAY BE PERMITTED.

MODELS WITH GABLE RAKE OVERHANGS OF LESS THAN 12 INCHES SHALL NOT BE PLACED ADJACENT TO OR ACROSS THE STREET FROM 1 ANOTHER.
5. HORIZONTAL AND VERTICAL VARIATIONS IN MATERIALS ALONG THE FACADE OF A DUPLEX OR TOWNHOME BUILDING SHALL OCCUR IN CONJUNCTION WITH A CHANGE IN WALL PLANE, PREFERABLY AT THE INSIDE CORNER OF A WALL.
6. THE MAXIMUM LENGTH OF ANY TOWNHOME BUILDING SHALL BE 156 FEET.

C. MATERIALS

1. INTENT
 - a. TO MAXIMIZE THE QUALITY, VALUE, AND LONGEVITY OF NEIGHBORHOODS THROUGH THE USE OF DURABLE MATERIALS THAT WILL MINIMIZE MAINTENANCE COSTS AND IMPROVE THE OVERALL APPEARANCE OF THE DEVELOPMENT.

- b. TO ENCOURAGE THE USE OF RECYCLED AND OTHER ENVIRONMENTALLY-FRIENDLY, LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN (LEED) CERTIFIED BUILDING MATERIALS.
- c. UTILIZE PASSIVE SOLAR CONCEPTS WHERE ARCHITECTURALLY APPROPRIATE AND IN ACCORDANCE WITH THE STYLE OF ARCHITECTURE.
 - i. FOR EXAMPLE, EXTENDED OVERHANGS MAY BE IMPLEMENTED TO BLOCK SUNLIGHT.

2. DESIGN STANDARDS

- a. PRIMARY EXTERIOR BUILDING MATERIALS ON STRUCTURES SHALL BE CONSTRUCTED FROM DURABLE MATERIALS WITH PRODUCT WARRANTIES OR AN INDUSTRY EXPECTED LIFE OF A MINIMUM OF 25-YEARS.
- b. EXTERIOR INSULATING AND FINISH SYSTEM (EIFS) SHALL NOT BE PERMITTED.
- c. ALL STRUCTURES SHALL UTILIZE DURABLE, ENVIRONMENTALLY SENSITIVE ROOFING MATERIALS WITH PRODUCT WARRANTIES OR AN INDUSTRY EXPECTED LIFE OF A MINIMUM OF 25 YEARS.

III. BUILDING ORIENTATION

A. INTENT

1. TO ORGANIZE THE PRIMARY ENTRANCES AND FACADES OF DUPLEX OR TOWNHOME BUILDINGS WITH A CLEAR ORIENTATION TOWARDS A STREET, GARDEN COURT, OR POCKET PARK,
2. TO CREATE AN INTEGRATED NEIGHBORHOOD APPEARANCE FOR DUPLEX AND TOWNHOME AREAS THAT ESTABLISHES A PATTERN THAT IS INTEGRATED WITH ADJACENT USES INSTEAD OF SEGREGATED AS A SEPARATE SUB-COMMUNITY.

B. DESIGN STANDARDS

1. THE PRIMARY FACADE OF INDIVIDUAL BUILDINGS SHALL BE ORIENTED TOWARDS:
 - a. STREETS, OR
 - b. COMMON OPEN SPACE/GARDEN COURTS, SUCH AS INTERIOR COURTYARDS, PARKS, OR ON-SITE NATURAL AREAS OR FEATURES WITH A CLEARLY DEFINED AND EASILY ACCESSIBLE PEDESTRIAN CIRCULATION SYSTEM.
2. PRIMARY FACADES SHALL NOT BE ORIENTED TOWARDS ALLEYS, PARKING LOTS, GARAGES, OR CARPORTS.

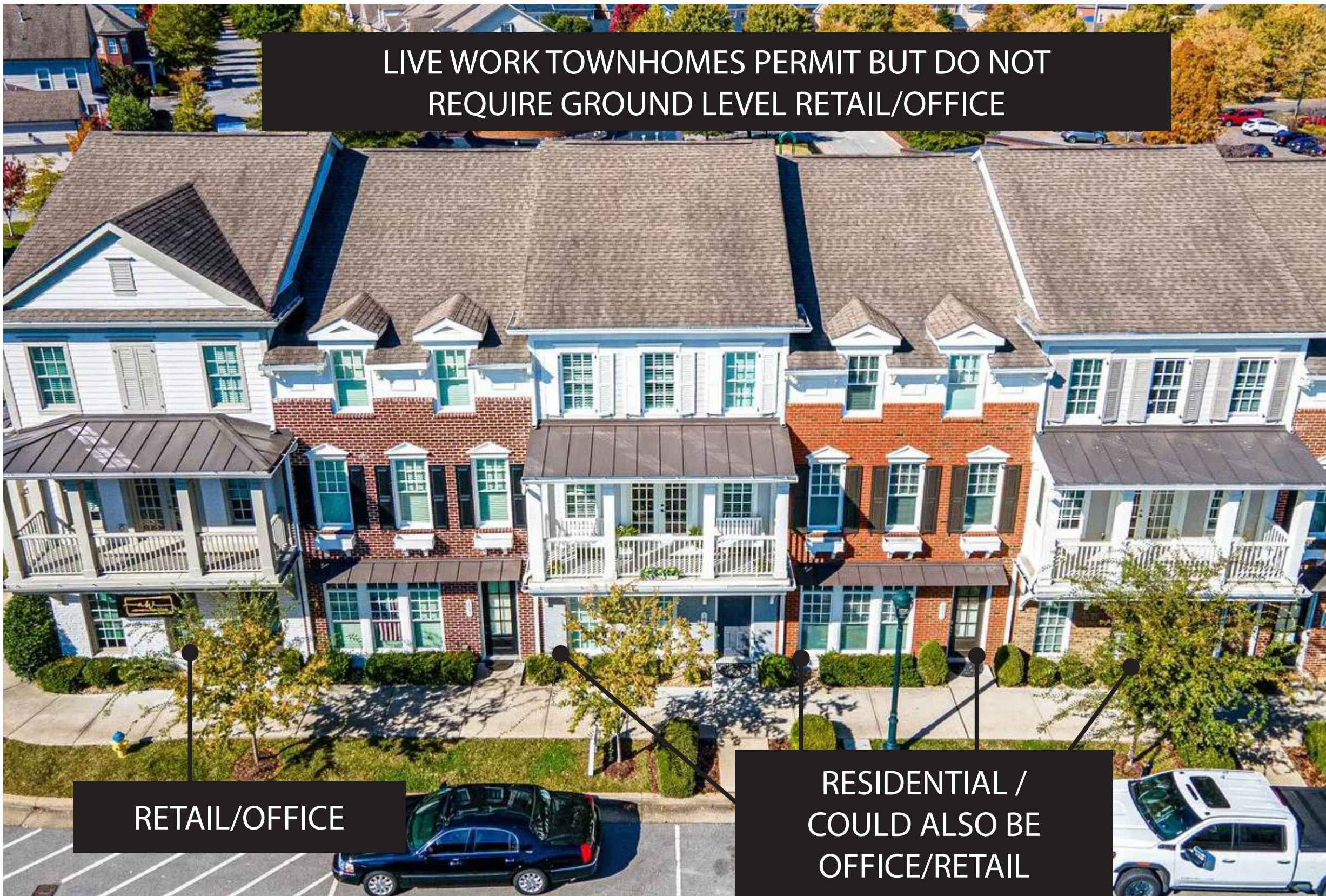


IMAGE ABOVE: LIVE-WORK TOWNHOMES

PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION/DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

SINGLE FAMILY
ATTACHED
DEVELOPMENT
STANDARDS

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

6
OF 22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

MULTI-FAMILY DEVELOPMENT STANDARDS

MULTI-FAMILY ARCHITECTURAL STANDARDS

MULTI-FAMILY ARCHITECTURAL STANDARDS SHALL APPLY TO ALL APARTMENTS OR MULTI-FAMILY DWELLING UNITS. MULTI-FAMILY ARCHITECTURAL STANDARDS REPLACE SECTIONS 10.6.7 OF THE ERIE UNIFIED DEVELOPMENT CODE, AS THE SAME MAY BE AMENDED FROM TIME TO TIME.

I. GENERAL MULTI-FAMILY STANDARDS

- A. STAIRWAYS SHALL NOT BE LOCATED OUTSIDE OF THE BUILDING ENVELOPE.

II. ARCHITECTURAL CHARACTER

A. BUILDING MASS

- BUILDINGS AND ARCHITECTURAL FACADES SHALL BE ORIENTED TO CREATE A PEDESTRIAN-ORIENTED, ATTRACTIVE STREETScape WITH OUTDOOR ROOMS, SUCH AS ATRIUMS, COURTYARDS, COLONNADES, TRELLISES, PLAZAS, PROMENADES, ETC.
- EACH PRIMARY BUILDING TALLER THAN 38’ IN HEIGHT SHALL BE DESIGNED SO THAT THE MASSING OR FACADE ARTICULATION COMPONENTS OF THE BUILDING PRESENTS A CLEAR BASE, MIDDLE, AND TOP. THE BASE OR GROUND FLOOR ELEVATION SHALL BE APPROPRIATELY ARTICULATED TO PROVIDE HUMAN SCALE.
- LONG, UNARTICULATED FACADES SHALL BE AVOIDED BY EMPLOYING ANY COMBINATION OF THE FOLLOWING TO CREATE VISUAL INTEREST AND SHADOW LINES. BUILDINGS HAVING SINGLE WALLS EXCEEDING 50’ IN LENGTH SHALL INCORPORATE AT A MINIMUM TWO (2) OF THE FOLLOWING FOR EVERY 50’:
 - PROJECTIONS OF EXTERIOR BUILDING WALLS, RECESSES AND REVELS IN EXTERIOR BUILDING WALLS A MINIMUM OF 1’
 - VARIATIONS IN COLOR
 - WINDOW FENESTRATION
 - ROOF OVERHANGS
 - CHANGES IN PARAPET HEIGHT
 - ARCADE, PERGOLAS, TRELLISES
 - TOWERS
 - GABLE PROJECTIONS
 - PILASTERS
 - TEXTURED AND/OR PATTERNED SURFACES

B. ROOF LINE

- ROOFS ARE TO BE A PROMINENT AND COMPLIMENTARY ELEMENT TO THE BUILDING ARCHITECTURE. IT IS IMPORTANT THAT ROOF FORMS AND VARIATIONS IN PLANES ARE INCORPORATED INTO EACH BUILDING ELEVATION.
- BUILDINGS WITH FLAT ROOFS SHALL BE DESIGNED TO CREATE VISUAL INTEREST BY USING VARIATIONS IN PARAPET HEIGHT IN VARIOUS AREAS.
- INTENSE, BRIGHT OR FLUORESCENT COLORS SHALL NOT BE USED ON ANY ROOF AREAS VISIBLE FROM PUBLIC OR PRIVATE RIGHT-OF-WAY OR PUBLIC OPEN SPACE.
- WHEN SLOPING ROOFS ARE USED, AT LEAST ONE OF THE FOLLOWING ELEMENTS SHALL BE INCORPORATED INTO THE DESIGN FOR EACH 60 LF OF ROOF:
 - PROJECTING GABLES
 - HIPS
 - HORIZONTAL OR VERTICAL BREAKS
 - ALTERNATING ROOF PITCHES
- ALL ROOFTOP MECHANICAL EQUIPMENT AND VENTS GREATER THAN EIGHT INCHES IN DIAMETER SHALL BE SCREENED. SCREENING MAY BE DONE EITHER WITH AN EXTENDED PARAPET WALL OR A FREE-STANDING SCREEN WALL. SCREENS SHALL BE AT A MINIMUM AS TALL AS THE EQUIPMENT THAT THEY HIDE. COLOR AND MATERIALS SHOULD BE COMPATIBLE TO THE ARCHITECTURE OF THE PRINCIPAL STRUCTURE.

C. MATERIALS

- DIVERSITY IN MATERIALS IS REQUIRED AND A MINIMUM OF TWO (2) DIFFERENT MATERIALS SHALL BE INCORPORATED INTO EACH BUILDING. THESE MATERIALS SHOULD BE USED TO CREATE BASES, SECONDARY FIELDS, OR ACCENT BANDING. BANDING SHALL BE USED TO DIFFERENTIATE BETWEEN A BASE, MIDDLE AND TOP. THE FOLLOWING PRIMARY MATERIALS ARE PERMITTED:
 - BRICK OR THIN SET BRICK
 - CAST STONE OR SYNTHETIC STONE
 - INTEGRALLY COLORED PRE-CAST CONCRETE
 - INTEGRALLY COLORED CONCRETE MASONRY UNITS, SPLIT FACED BLOCK, GROUNDFACE CMU

- STUCCO OR SYNTHETIC STUCCO
 - PRE-CAST CONCRETE, INTEGRALLY COLORED
 - EIFS
- THE FOLLOWING MATERIALS MAY BE USED AS AN ACCENT MATERIAL IN CONJUNCTION WITH A PRIMARY MATERIAL FROM ABOVE:
 - ORNAMENTAL METAL
 - ARCHITECTURAL TILE
 - WOOD
 - BRICK, STONE, STUCCO OR OTHER MASONRY MATERIALS SHALL BE USED ON A MINIMUM OF 30 PERCENT OF ALL EXTERIOR WALLS FACING PUBLIC RIGHT-OF-WAY. THE TOTAL AREA OF THE WALL TO WHICH THE 30 PERCENT REQUIREMENT APPLIES SHALL NOT INCLUDE AREAS OF GLAZING (E.G., WINDOWS) AND ENTRYWAYS.
 - ACCESSORY BUILDINGS SHALL BE FINISHED IN THE SAME MATERIALS AS THE PRINCIPAL BUILDING AND SHOULD BE LOCATED TO THE SIDE OR REAR OF THE PRINCIPAL BUILDING.
- D. ENTRIES. THE ENTRANCE TO ALL BUILDINGS SHALL BE CLEARLY DEFINED AND INTEGRATED INTO THE BUILDING DESIGN THROUGH THE FOLLOWING TECHNIQUES:
- THE ENTRY SHALL BE PEDESTRIAN IN SCALE AND DESIGNED TO ENCOURAGE ACTIVITY AND SIGNALIZE BUILDING ENTRY POINTS
 - LANDSCAPE AREAS SHALL BE ORIENTED AND FOCUSED ON THE ENTRANCE
 - MAIN ENTRIES SHALL BE ORIENTED TOWARDS THE PRIMARY STREET
 - USE OF CREATIVE ENTRY TREATMENTS SUCH AS CANOPIES, AWNINGS, CORNICE TREATMENTS OR ATRIUM
 - USE OF INTEGRATED SIGNAGE
- E. UTILIZE PASSIVE SOLAR CONCEPTS WHERE ARCHITECTURALLY APPROPRIATE AND IN ACCORDANCE WITH THE STYLE OF ARCHITECTURE.
- FOR EXAMPLE, EXTENDED OVERHANGS MAY BE IMPLEMENTED TO BLOCK SUNLIGHT.



IMAGES ABOVE: EXAMPLES OF MULTI-FAMILY ARCHITECTURAL CHARACTER

PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

MULTI-FAMILY
DEVELOPMENT
STANDARDS

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

7
OF 22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

COMMERCIAL DEVELOPMENT STANDARDS

COMMERCIAL DEVELOPMENT STANDARDS

THE COMMERCIAL DEVELOPMENT STANDARDS SHALL APPLY TO ALL NON-RESIDENTIAL DEVELOPMENT INCLUDING MIXED-USE, COMMERCIAL AND PUBLIC/INSTITUTIONAL, AND COMMUNITY AMENITY. THE COMMERCIAL DEVELOPMENT STANDARDS REPLACE SECTIONS 10.6.4 LANDSCAPING, SCREENING, FENCES; 10.6.8 COMMERCIAL AND PUBLIC/INSTITUTIONAL USE CATEGORIES, MIXED-USE DESIGN STANDARDS; 10.6.10 EXTERIOR LIGHTING OF THE ERIE UNIFIED DEVELOPMENT CODE, AS THE SAME MAY BE AMENDED FROM TIME TO TIME.

I. GENERAL COMMERCIAL SITE STANDARDS

A. PARKING LOT SCREENING

- THE CIRCULATION SYSTEM WITHIN COMMERCIAL DEVELOPMENTS, INCLUDING PARKING LOTS, SHALL CONTRIBUTE TO THE ORDER AND AESTHETIC QUALITY OF THE SITE. AESTHETICS, COMPATIBILITY WITH THE OVERALL SITE DESIGN, CONVENIENCE AND SAFETY FOR USERS AND PEDESTRIANS MUST BE CONSIDERED IN PARKING LOT DESIGN.
- PARKING LOTS SHOULD BE SCREENED FROM VIEW FROM PUBLIC STREETS BY USE OF LANDSCAPED BUFFERS, BERMS, OR OTHER SCREENS AS APPROVED. CONTINUOUS SCREENING 30-INCHES IN HEIGHT IS REQUIRED UNLESS AN ALTERNATIVE SCREEN IS APPROVED. ALTERNATIVE LANDSCAPE SCREENING MAY INCLUDE UPRIGHT EVERGREEN TREES OR OTHER TREES OR SHRUBS. PARKING LOT EDGES SHOULD BE TREATED WITH AN AESTHETIC LANDSCAPE TREATMENT.
- PEDESTRIAN CONNECTIVITY SHOULD BE PROVIDED BETWEEN THE PARKING, THE BUILDINGS, AND TO MAJOR TRAIL CONNECTIONS.

B. LOADING DOCK SCREENING

- LOADING DOCKS SHOULD BE SCREENED BY USE OF OPAQUE FENCES, WALLS OR LANDSCAPED BUFFERS, BERMS OR OTHER ALTERNATIVE SCREENS AS APPROVED. SCREENS SHALL BE HIGH ENOUGH TO HIDE DELIVERY AREAS FROM PUBLIC STREETS AND ADJACENT PROPERTIES. ALTERNATIVE LANDSCAPE SCREENING MAY INCLUDE UPRIGHT EVERGREEN TREES OR OTHER TREES OR SHRUBS AS APPROVED.

II. COMMERCIAL ARCHITECTURAL STANDARDS

A. BUILDING MASS

- COMMERCIAL BUILDINGS SHALL ACHIEVE A HUMAN SCALE APPROPRIATE TO THE SITE AND FUNCTION OF THE PROJECT. BUILDING MASS SHALL CREATE HARMONIOUS TRANSITIONS IN SCALE AND CHARACTER IN AREAS BETWEEN DIFFERENT LAND USES. ARCHITECTURAL QUALITY AND OVERALL DESIGN SHALL BE COMPATIBLE WITH THE SITE LOCATION AND PROPOSED USE AS DEMONSTRATED BY BUILDING ELEVATIONS. DIVERSE ARCHITECTURAL TREATMENTS SHALL BE INTEGRATED TO AVOID A CLUTTERED APPEARANCE.
- BUILDINGS ADJACENT TO "MAIN STREET" (AS DEFINED IN THE CONCEPT PLAN) SHALL BE CLOSE TO THE ROADWAY AND SHALL HAVE A SIMILAR LEVEL OF DETAIL AND FENESTRATION ON ALL SIDES OF THE BUILDING THAT ARE VISIBLE TO THE STREET, MAIN PEDESTRIAN WALKWAYS, OR PARKING AREAS.
- COMMERCIAL BUILDINGS SHALL PROVIDE ARTICULATION BY APPLYING AT LEAST FOUR (4) OF THE FOLLOWING TREATMENTS TO ALL EXTERIOR WALLS:
 - VARIATIONS IN HEIGHT
 - OFFSETS IN WALL PLANE
 - VARIATIONS IN ROOF LINE
 - CORNICE TREATMENTS
 - RECESSED OR PROJECTED ENTRYWAYS
 - RECESSED WINDOWS
 - CANOPIES OR AWNINGS
 - MORE THAN ONE FINISH MATERIAL
 - MORE THAN ONE COLOR
 - OTHER ARCHITECTURAL DETAILS THAT PREVENT THE APPEARANCE OF MASSIVE AND FEATURELESS WALLS

B. EXTERIOR FINISH MATERIALS.

- ALL EXTERIOR MATERIALS SHALL BE OF HIGH QUALITY SUCH THAT THEY ARE DURABLE, EASY TO MAINTAIN, AND PROVIDE FOR A LONGEVITY OF USE. BUILDING BASE MATERIALS SHALL BE MASONRY, BRICK, STONE, STUCCO, OR OTHER APPROVED MASONRY MATERIALS SHALL BE USED ON A MINIMUM OF 30 PERCENT OF ALL EXTERIOR WALLS.
- THE SECONDARY EXTERIOR WALL MATERIAL USED FOR THE SIDE WALLS, BACKS WALLS, AND INFILL WALLS MAY BE FINISHED ARCHITECTURAL BLOCK, COMPOSITE SIDING, OR TREATED WOOD. THE PREFERRED ACCENT MATERIALS FOR INCORPORATION INTO THE BASIC EXTERIOR FACADES SHALL INCLUDE STUCCO, STONE, TILE, OR PRE-FINISHED METAL.

3. THE FOLLOWING MATERIALS ARE PROHIBITED:

- ALUMINUM SIDING OR CLADDING (COMPOSITE ALUMINUM ALLOWED AT CANOPIES AND ENTRANCES)
- PLASTIC OR VINYL SIDING
- UNFINISHED CONCRETE MASONRY UNITS OR CONCRETE WALL
- SHIPPING CONTAINERS OR CONEX BOXES
- REFLECTIVE GLASS

C. UTILIZE PASSIVE SOLAR CONCEPTS WHERE ARCHITECTURALLY APPROPRIATE AND IN ACCORDANCE WITH THE STYLE OF ARCHITECTURE.

- FOR EXAMPLE, EXTENDED OVERHANGS MAY BE IMPLEMENTED TO BLOCK SUNLIGHT.

D. ACCESSORY BUILDINGS. ACCESSORY BUILDING SHALL BE FINISHED IN THE SAME MATERIALS AS THE PRINCIPAL BUILDING.

E. SHOPPING CENTERS. BUILDINGS THAT SHARE COMMON PARKING AREAS OR DRIVEWAYS SHOULD ALSO SHARE EXTERIOR DESIGN ELEMENTS AND FINISH MATERIALS.

F. CORPORATE IDENTITY. IT IS RECOGNIZED THAT MANY CORPORATIONS HAVE IDENTIFIABLE CORPORATE ARCHITECTURE. THIS IS NOT PROHIBITED BUT SHOULD BE MODIFIED, IF NECESSARY, TO BE COMPATIBLE WITH THE LOCATION OF THE PROPOSED BUILDING AND CONSISTENT WITH THESE DESIGN STANDARDS.

G. BUILDING ADDITIONS. POST DEVELOPMENT, THESE STANDARDS SHALL APPLY TO ADDITIONS TO EXISTING BUILDINGS. THE EXTERIOR TREATMENT OF ANY BUILDING ADDITIONS SHALL, TO THE EXTENT PRACTICAL AND FEASIBLE, BE OF THE SAME MATERIALS AND COLORS AS THE EXISTING STRUCTURE.

H. EXTERIOR REMODEL. POST DEVELOPMENT, ANY FUTURE MODIFICATION TO THE EXTERIOR OF EXISTING BUILDINGS WHICH REQUIRES A BUILDING PERMIT WILL BE SUBJECT TO THE STANDARDS SET OUT IN THIS PD.

I. DRIVE THROUGH - THE FOLLOWING STANDARDS SHALL APPLY.

- THE DRIVE THROUGH SHALL NOT BE VISIBLE FROM THE PRIMARY STREET FRONTAGE.
- IN GENERAL, PARKING LOTS AND STACKING LANES SHALL BE LOCATED AWAY FROM AND OUT OF SIGHT OF THE PUBLIC RIGHT-OF-WAY.
- PARKING ACCESS POINTS, WHETHER LOCATED IN FRONT, SIDE, OR REAR, SHALL BE LOCATED AS FAR AS POSSIBLE FROM STREET INTERSECTIONS TO ALL ADEQUATE STACKING ROOM.
- STRUCTURES AND ON-SITE CIRCULATION SYSTEMS SHOULD BE LOCATED TO MINIMIZE PEDESTRIAN AND VEHICLE CONFLICTS.
- RECIPROCAL ACCESS BETWEEN ADJACENT PARKING AREAS SHALL BE PROVIDED WHERE FEASIBLE SO THAT VEHICLES ARE NOT REQUIRED TO ENTER THE STREET IN ORDER TO MOVE FROM ONE AREA TO ANOTHER ON THE SAME OR ADJACENT SITES.
- CURB-CUTS SHOULD BE MINIMIZED TO REDUCE PEDESTRIAN CONFLICTS ALONG THE STREET AND ENCOURAGE WALKABILITY AND ACCESSIBILITY.
- DRIVEWAYS OR SITE ACCESS SHOULD BE PROVIDED ON NON-RESIDENTIAL SIDE STREETS OR LESS MAJOR STREETS WHERE POSSIBLE TO IMPROVE PEDESTRIAN SAFETY AND REDUCE PEDESTRIAN AND VEHICLE CONFLICTS OR VEHICLE STACKING ON MAJOR STREETS.
- WALLS AND SCREENING SHOULD BE USED TO HIDE ANY DRIVE-THROUGH LOCATED ADJACENT TO "MAIN STREET" AS IDENTIFIED IN THE CONCEPT PLAN.



WE ARE PROVIDING THIS EXAMPLE OF HOW A DRIVE THROUGH FOR A BANK HAS BEEN SUCCESSFULLY INTEGRATED INTO THE PEDESTRIAN COMMERCIAL MIXED-USE ENVIRONMENT IN SOUTHERN LANDS WESTHAVEN COMMUNITY.

BANK - FRONT STREET VIEW

PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246

CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

COMMERCIAL
DEVELOPMENT
STANDARDS

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

8
OF 22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

WE ARE PROVIDING THIS EXAMPLE OF HOW A DRIVE THROUGH FOR A BANK HAS BEEN SUCCESSFULLY INTEGRATED INTO THE PEDESTRIAN COMMERCIAL MIXED-USE ENVIRONMENT IN SOUTHERN LANDS WESTHAVEN COMMUNITY.



STREETSCAPE IMAGE



REMOTE DRIVE THROUGH



PLAN VIEW

PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

COMMERCIAL
DEVELOPMENT
STANDARDS

DRAWN BY:
CGR

DESIGNED BY:
BC/SW

SUBMITTED ON:
2/09/2023

9
OF 22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

DEVELOPMENT STANDARDS

DIMENSIONAL STANDARDS SUMMARY TABLE										
	MINIMUM LOT STANDARDS		MINIMUM LOT SETBACKS (FT.)							
LOT TYPE	WIDTH (FT.)	AREA (S.F.)	FRONT ON STREET	FRONT ON GARDEN COURT	SIDE (TO ABUTTING STREET)	SIDE (TO INTERIOR LOT)	REAR	HEIGHT	BUILDING SEPARATION	PORCH DEPTH - CLEAR AREA
SINGLE FAMILY FRONT LOAD	45'	4,000	PRIN. - 10'	NOT APPLICABLE	8'	5'	PRIN. - 15'	PRIN. - 35' ACC. 25'	PRIN. - 10'	6 FEET AS MEASURED FROM THE STUD WALL TO COLUMN CENTERLINE OR RAILING
	48' CORNER LOTS		FRONT LOAD GAR. 20' SIDE LOAD GAR. 10'							
			ACC. - 25'				ACC. - 5'			
SINGLE FAMILY ALLEY LOAD	30'	2,600	8'	5'	8'	5'	0'		PRIN. - 10'	
	35' CORNER LOTS						ACC. - 5'			
DUPLEX ALLEY LOAD	24'	1,700	8'	5'	8'	5'	0'		PRIN. - 10'	
	27' CORNER LOTS									
TOWNHOME ALLEY LOAD	16'	1,000	8'	5'	8'	5'	0'		PRIN. - 10'	
	24' CORNER LOTS									
LIVE WORK	16'	1,000	5'	5'	8'	5'	0'		PRIN. - 10'	
	24' CORNER LOTS									
MULTI-FAMILY	200	1,000 PER DU	5'	5'	8'	5'	0'	PRIN. - 55' ACC. 25'	PRIN. - 10'	
COMMERCIAL	NONE	MAXIMUM FLOOR AREA RATIO -1.0	5'	5'	8'	0'	0'	PRIN. - 60' ACC. 25'	PRIN. - 10'	NA
PLI	DEFER TO THE TOWN OF ERIE UNIFIED DEVELOPMENT CODE									
1. EASEMENTS MAY BE MORE RESTRICTIVE THAN MINIMUM SETBACKS, THE GREATER OF THE MINIMUM SETBACK OR THE UTILITY EASEMENT SHALL GOVERN.										
2. EXCEPT FOR DETACHED ALLEY-LOADED GARAGES (WHICH MAY INCLUDE ADU'S), ACCESSORY STRUCTURES ARE NOT PERMITTED ON LOTS WHERE VEHICULAR ACCESS IS PROVIDED TO THE REAR OF THE LOT BY AN ALLEY.										
3. CORNICES, EAVES, CHIMNEYS, BAY WINDOWS, ORNAMENTAL FEATURES, AND OTHER SIMILAR ARCHITECTURAL FEATURES MAY PROJECT UP TO TWO FEET INTO ANY REQUIRED SETBACK PROVIDED THESE PROJECTIONS ARE AT LEAST THREE FEET FROM THE LOT LINE.										
4. WINDOWS WELLS MAY ENCROACH UP TO THREE FEET INTO ANY REQUIRED SETBACK PROVIDED THEY ARE AT LEAST TWO FEET FROM THE LOT LINE.										
5. MAXIMUM HEIGHT IS MEASURED FROM BOTTOM OF STRUCTURE TO THE EAVE.										

PARKING STANDARDS SUMMARY TABLE	
LOT TYPE	PARKING REQUIREMENTS
SINGLE FAMILY FRONT LOAD	2 SPACES PER DU
SINGLE FAMILY ALLEY LOAD	2 SPACES PER DU
DUPLEX ALLEY LOAD	2 SPACES PER DU
TOWNHOME ALLEY LOAD	2 SPACES PER DU, +1 GUEST SPACE PER 3 DU'S - ON-STREET PARKING FOR GUESTS IS ABLE TO BE COUNTED TOWARDS THE REQUIRED PARKING.
LIVE WORK	2 SPACES PER DU, +1 GUEST SPACE PER 3 DU'S - ON-STREET PARKING FOR GUESTS IS ABLE TO BE COUNTED TOWARDS THE REQUIRED PARKING.
MULTI-FAMILY	1.25 SPACES PER EFFICIENCY, STUDIO OR 1-BEDROOM DU; 2 SPACES PER DU WITH 2 OR MORE BEDROOMS, PLUS 1 GUEST SPACE PER 3 DU'S - ON-STREET PARKING FOR GUESTS IS ABLE TO BE COUNTED TOWARDS THE REQUIRED PARKING. TANDEM PARKING IS ABLE TO BE COUNTED TOWARDS MULTI-FAMILY PARKING REQUIREMENTS.
COMMERCIAL USES	PER UDC (NOTE: WE ANTICIPATE UTILIZING SHARED PARKING PER TOWN OF ERIE UDC 10-6-6.E. PARKING ALTERNATIVES)
REQUESTS FOR REDUCTIONS IN PARKING REQUIREMENTS SHOULD BE REVIEWED BASED ON THE PROCEDURE OUTLINED IN THE TOWN OF ERIE UDC.	
ON-STREET PARKING SPACES IN THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY MAY BE COUNTED TO SATISFY THE MINIMUM OFF-STREET PARKING REQUIREMENTS.	
ELECTRIC VEHICLE CHARGING SHALL BE PROVIDED PER BUILDING CODE WITH THE ADDITIONAL MINIMUM STANDARDS AS FOLLOWS. THE DEVELOPMENT SHALL INCLUDE A MINIMUM OF 3 PUBLICLY ACCESSIBLE LEVEL 3 ELECTRIC VEHICLE ("EV") CHARGING STATIONS IN CONVENIENT LOCATIONS, AS APPROVED BY THE TOWN. IN ADDITION, AT LEAST 2% OF THE TOTAL PARKING SPACES FOR MULTI-FAMILY UNITS IN THE DEVELOPMENT SHALL BE EV CHARGING SPACES, AND AN ADDITIONAL 5% OF THE TOTAL PARKING SPACES FOR MULTI-FAMILY UNITS SHALL BE EV CHARGING READY SPACES.	

PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

DEVELOPMENT
STANDARDS

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

10
OF 22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

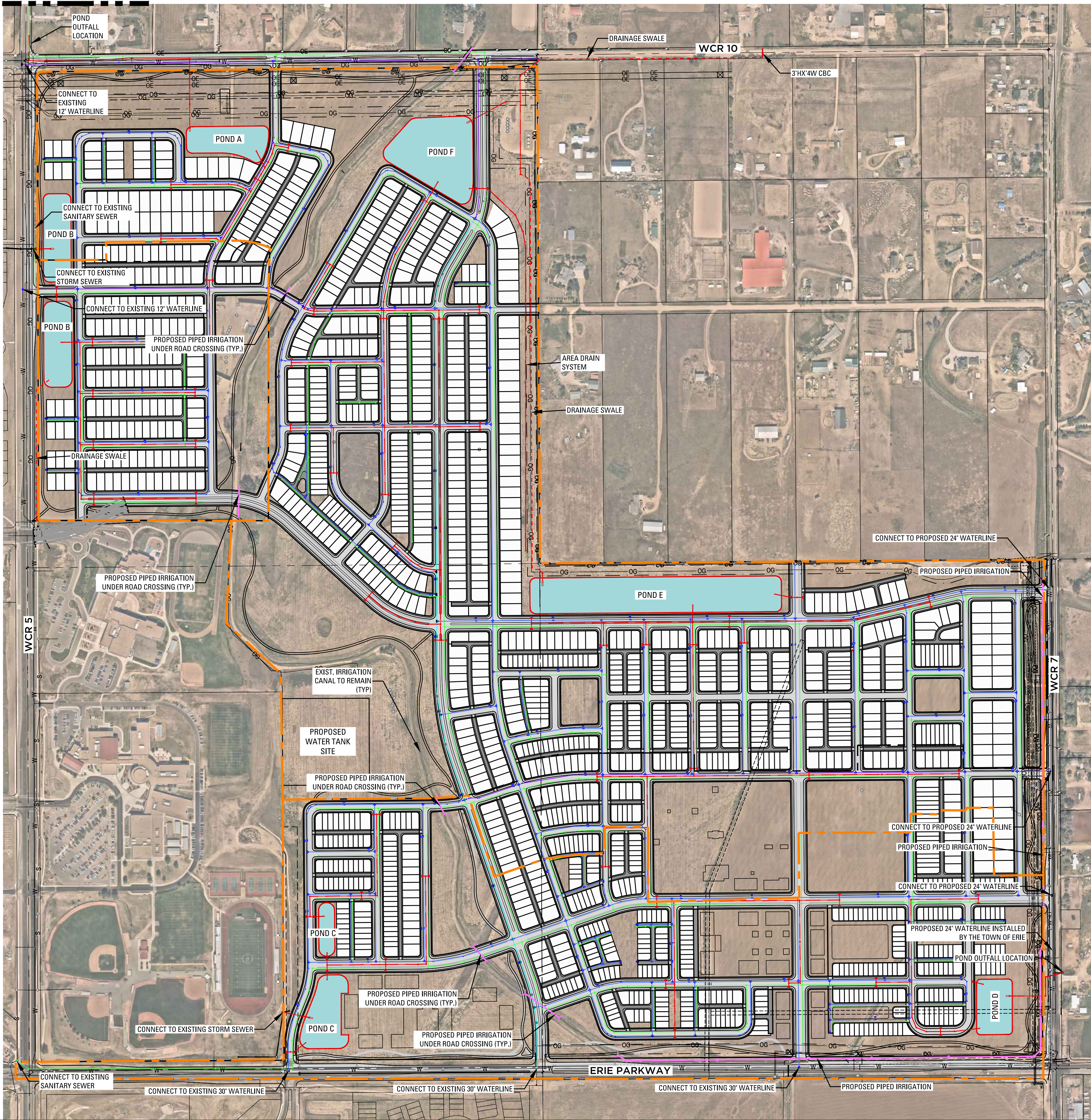
A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

390.8797 ACRES

PD-001700-2024

UTILITY CONCEPT PLAN

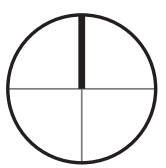
SEE OFFSITE SAN TO RIGHT



MATCHLINE- SEE BELOW



- LEGEND**
- PROPOSED 8" WATERLINE
 - PROPOSED 12" WATERLINE
 - PROPOSED 16" WATERLINE
 - PROPOSED 24" WATERLINE
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - PROPOSED DRAINAGE SWALE
 - PROPOSED FIRE HYDRANT
 - PROPOSED SANITARY MANHOLE
 - PROPOSED STORM MANHOLE
 - PROPOSED TYPE 'R' INLET
 - PROPOSED AREA INLET
 - CONCEPTUAL SANITARY SEWER BASINS
 - PROPOSED IRRIGATION PIPE
 - PROPOSED IRRIGATION MANHOLE
 - EXISTING CENTERLINE COMMUNITY DITCH
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING WATER
 - EXISTING SANITARY



SCALE: 1" = 300'

150'

0' 300'

PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615-778-2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

UTILITY CONCEPT
PLAN

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

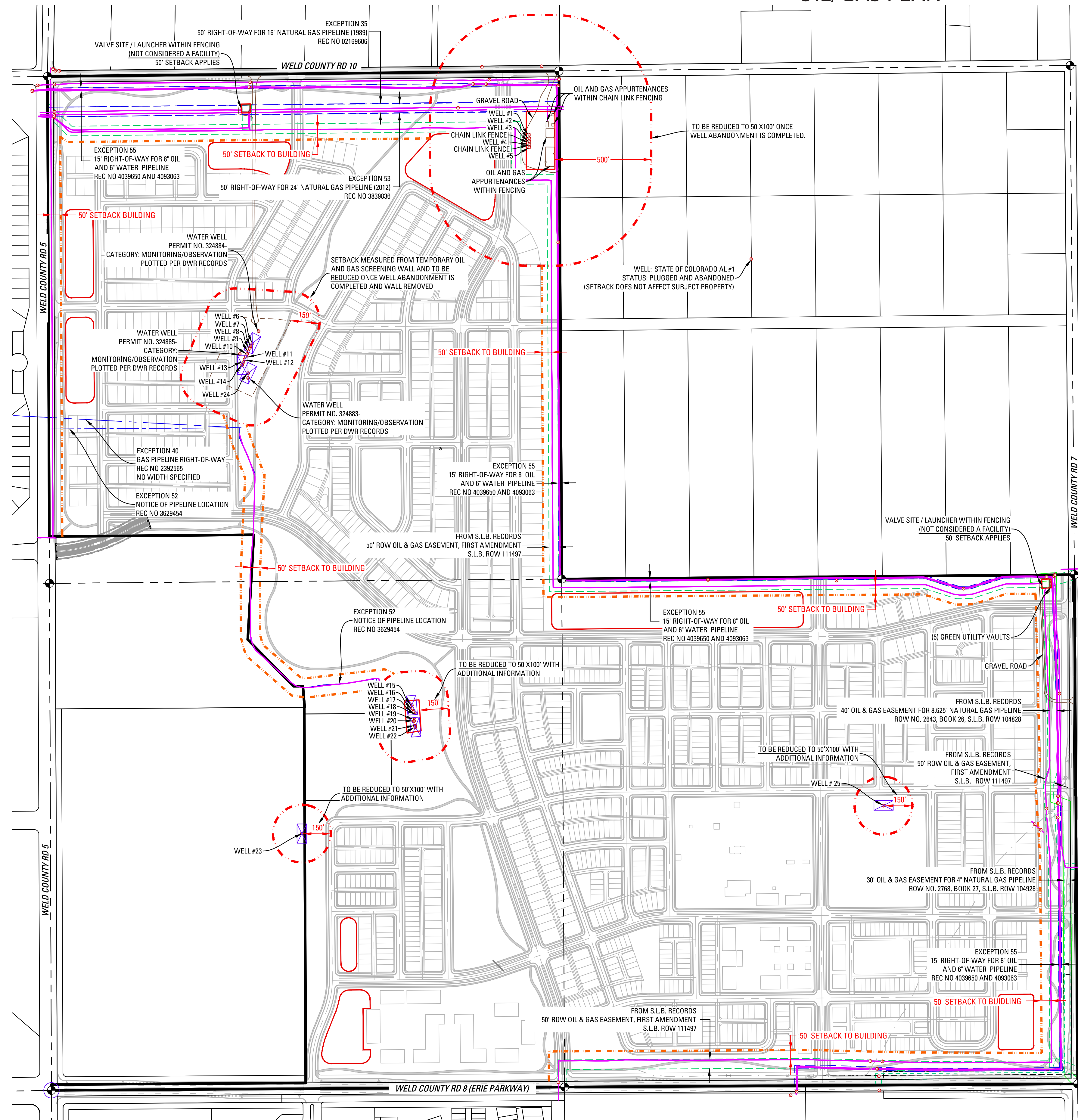
2/09/2023

11
OF 22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

390.8797 ACRES
PD-001700-2024
OIL/GAS PLAN



LEGEND:

- (1) PETROLEUM PIPE LINE MARKER POST &
(1) PRODUCED WATER PIPE LINE MARKER POST
- NATURAL GAS PIPE LINE MARKER POST
- PETROLEUM PIPE LINE MARKER POST
- WATER WELL AS DESCRIBED
- OIL WELL HEAD AS DESCRIBED
- OIL & GAS WELL SETBACK TO LOT LINE TO BE REDUCED BY RECORDING OF FINAL PLAT
- OIL & GAS WELL SETBACK TO BUILDING
- REDUCED 50'X100' OIL & GAS WELL SETBACK TO LOT LINE
(REDUCED WITH TOWN ACCEPTANCE OF QUALITY OF INFO. PROVIDED)
- OIL & GAS FLOWLINES / GATHERING LINES
- GRAVEL OR DIRT ROAD
- FENCE ENCLOSING OIL AND GAS FACILITIES
- EASEMENTS ASSOCIATED WITH OIL AND GAS FACILITIES
(RECORDED AT WELD COUNTY)
- EASEMENTS ASSOCIATED WITH OIL AND GAS FACILITIES
AND FOUND IN STATE LAND BOARD RECORDS
(NOT RECORDED AT COUNTY OR FOUND IN TITLE COMMITMENT)
- SUBJECT PROPERTY BOUNDARY

APPLICABLE SETBACKS PER ERIE UDC:

SETBACKS FROM ACTIVE FACILITIES (PR, SI, TA STATUS)	500' FROM WORKING PAD
SETBACKS FROM PLUGGED AND ABANDONED WELLS	150 FEET, TO BE REDUCED ONCE THE CONDITIONS OF 10-06-14.E.3.F ARE MET: i. THE PLUGGED AND ABANDONED WELL HAS BEEN LOCATED TO A CERTAINTY NOT LESS THAN FIVE FEET HORIZONTALLY; ii. A THIRD PARTY, APPROVED BY THE TOWN, HAS CONFIRMED THAT THERE IS NO HYDROCARBON CONTAMINATION WITHIN THE SUBJECT OIL AND GAS LOCATION IN WHICH THE PLUGGED AND ABANDONED WELL IS LOCATED, OR THAT SUCH HYDROCARBON CONTAMINATION HAS BEEN REMEDIATED TO BACKGROUND LEVELS, AND iii. A REPORT REVIEWING THE RECORDS ON FILE WITH THE ECOMC AND CERTIFYING IN WRITING THAT THE WELL HAS BEEN PLUGGED IN ACCORDANCE WITH THE ECOMC RULES CURRENT AT THE TIME OF THE CERTIFICATION, OR THE WELL IS RE-PLUGGED IN ACCORDANCE WITH THE ECOMC RULES CURRENT AT THE TIME OF THE APPLICATION; iv. PROVIDED THAT, IN NO CASE SHALL A REDUCTION IN A RECIPROCAL SETBACK FROM A PLUGGED AND ABANDONED WELL RESULT IN LESS THAN A RECIPROCAL SETBACK FROM A FORM OF A RECTANGLE MEASURING 50 FEET BY 100 FEET, WITH THE PLUGGED AND ABANDONED WELL LOCATED AT THE CENTER. NO PLUGGED AND ABANDONED WELLS WITHIN ROW OR PARKS NO NEW PUBLIC RIGHT-OF-WAY SHALL BE WITHIN 25 FEET OF A PLUGGED AND ABANDONED WELL. NO BUILDING THAT IS REQUIRED A CO SHALL BE LESS THAN 150 FEET FROM A PLUGGED AND ABANDONED WELL.
SETBACKS FROM PIPELINES	NO RESIDENTIAL LOTS WITHIN (MINIMUM 30 FT) EASEMENTS, NO OCCUPIED BUILDINGS WITHIN 50 FT OF THE CENTERLINE.

OIL AND GAS WELL HEAD INFORMATION TABLE:

IDENTIFIER	WELL NAME	WELL STATUS	LOCATION SOURCE
WELL #1	STATE #26-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #2	STATE #1-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #3	STATE #2-16	SHUT IN	PLOTTED PER ECOMC RECORDS
WELL #4	STATE #8-16	SHUT IN	PLOTTED PER ECOMC RECORDS
WELL #5	STATE #7-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #6	STATE #35-9	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #7	STATE #28-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #8	STATE #4-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #9	STATE #3-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #10	STATE #21-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #11	STATE #6-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #12	STATE #30-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #13	STATE #32-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #14	STATE #5-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #15	STATE #22-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #16	STATE #11-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #17	STATE #25-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #18	STATE #12-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #19	STATE #33-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #20	STATE #13-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #21	STATE #35-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #22	STATE #14-16	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #23	STATE OF CO. AL #2	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #24	STATE OF CO. AL #1	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS
WELL #25	STATE #16-9V	PLUGGED & ABANDONED	PLOTTED PER ECOMC RECORDS

PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615-778-2884
CONTACT:
BEN CRENSHAW



PCSGROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1	7/11/2024	JP/CGR	2ND SUBMITTAL
2	10/02/2024	JP/CGR	3RD SUBMITTAL
3	2/14/2025	JP/CGR	4TH SUBMITTAL
4	4/18/2025	JP/CGR	5TH SUBMITTAL
5	5/14/2025	JP/CGR	6TH SUBMITTAL

SHEET INFO:

OIL & GAS PLAN

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

12
OF 22

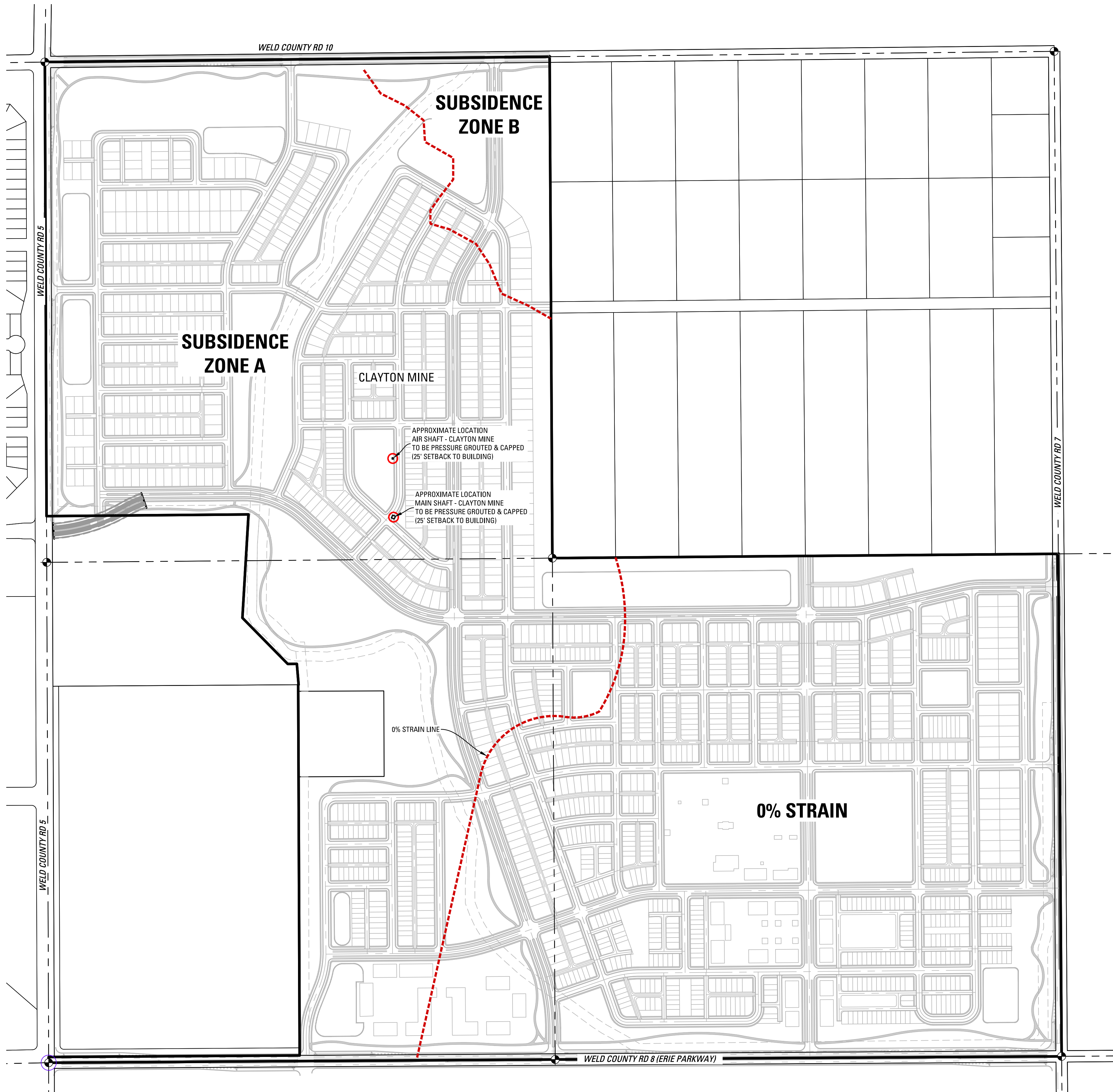
NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

390.8797 ACRES

PD-001700-2024

UNDERMINING PLAN



PLANNING AND DESIGN RECOMMENDATIONS

PLANNING AND DESIGN RECOMMENDATIONS ARE TAKEN FROM THE PRELIMINARY MINE SUBSIDENCE INVESTIGATION, NORTH WESTERLY, 414.38 ACRES IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST, ERIE, COLORADO PREPARED BY WESTERN ENVIRONMENT AND ECOLOGY, INC. PROJECT NUMBER 778-005-02, JULY 11TH, 2024.

SUBSIDENCE ZONE A

1. FOUNDATION LENGTHS MUST NOT EXCEED 151 FEET IN LENGTH OR WIDTH. *
2. STRUCTURES SHOULD BE LIMITED TO TWO STORIES OR LESS, AND SHOULD BE CONSTRUCTED USING WOOD OR METAL FRAMING.
3. UTILITIES SHOULD TAKE INTO ACCOUNT THE POTENTIAL FOR 0.113 % SURFACE STRAINS AND 0.25 FEET OF SUBSIDENCE OVER 286 FEET.

* LARGER STRUCTURES MAY BE BUILT IF ADDITIONAL STUDIES, INCLUDING DRILLING, ARE CONDUCTED.

SUBSIDENCE ZONE B

1. FOUNDATION LENGTHS MUST NOT EXCEED 64 FEET IN LENGTH OR WIDTH.*
2. STRUCTURES SHOULD BE LIMITED TO TWO STORIES OR LESS, AND SHOULD BE CONSTRUCTED USING WOOD OR METAL FRAMING.
3. UTILITIES SHOULD TAKE INTO ACCOUNT THE POTENTIAL FOR 0.310 % SURFACE STRAINS AND 0.78 FEET OF SUBSIDENCE OVER 207 FEET.

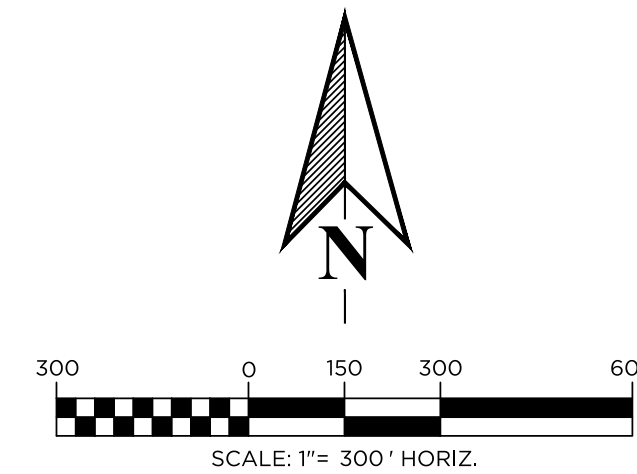
* LARGER STRUCTURES MAY BE BUILT IF ADDITIONAL STUDIES, INCLUDING DRILLING, ARE CONDUCTED.

0% STRAIN ZONE

1. AREAS OCCURRING EAST OF THE 0% STRAIN LINE AS SHOWN, HAVE NO MINE SUBSIDENCE RELATED DEVELOPMENT RESTRICTIONS.

LEGEND:

- SUBSIDENCE ZONE BOUNDARY
- SUBJECT PROPERTY BOUNDARY



PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:

KT
12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

**SOUTHERN LAND
COMPANY**

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW

PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

**UNDERMINING
PLAN**

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023








**13
OF 22**

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

STREETSCAPE PLAN

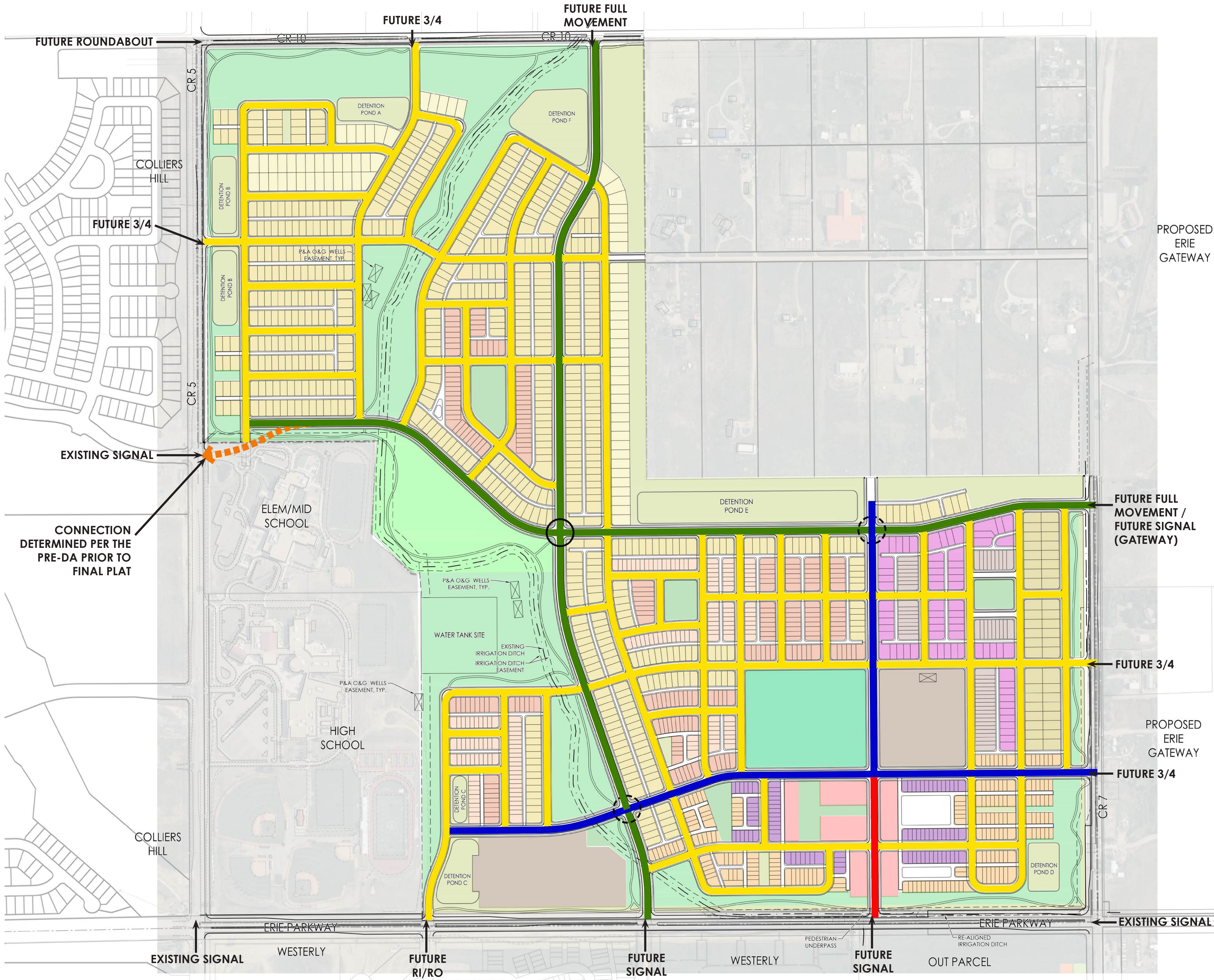
LEGEND:

-  "MAIN STREET" MINOR ARTERIAL OR COLLECTOR (TBD AT PHASE 2)
-  MAJOR COLLECTOR WITH MEDIAN AND DESIGNATED BIKEWAY
-  MINOR COLLECTOR WITH A DESIGNATED BIKEWAY
-  LOCAL STREET
-  POSSIBLE CONNECTION
-  SINGLE LANE ROUNDABOUT (TBD WITH PRELIMINARY PLAT)
-  POTENTIAL SINGLE LANE ROUNDABOUT OR TWO-WAY STOP (TBD WITH PRELIMINARY PLAT)

NOTE: THE "FUTURE" STREET INTERSECTION SIGNALS & ACCESS (RIGHT IN/RIGHT OUT, 3/4, FULL) TO CONNECTOR STREETS SHALL BE DETERMINED WITH FUTURE TRAFFIC STUDIES.



NOT TO SCALE



PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

STREETSCAPE
PLAN

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

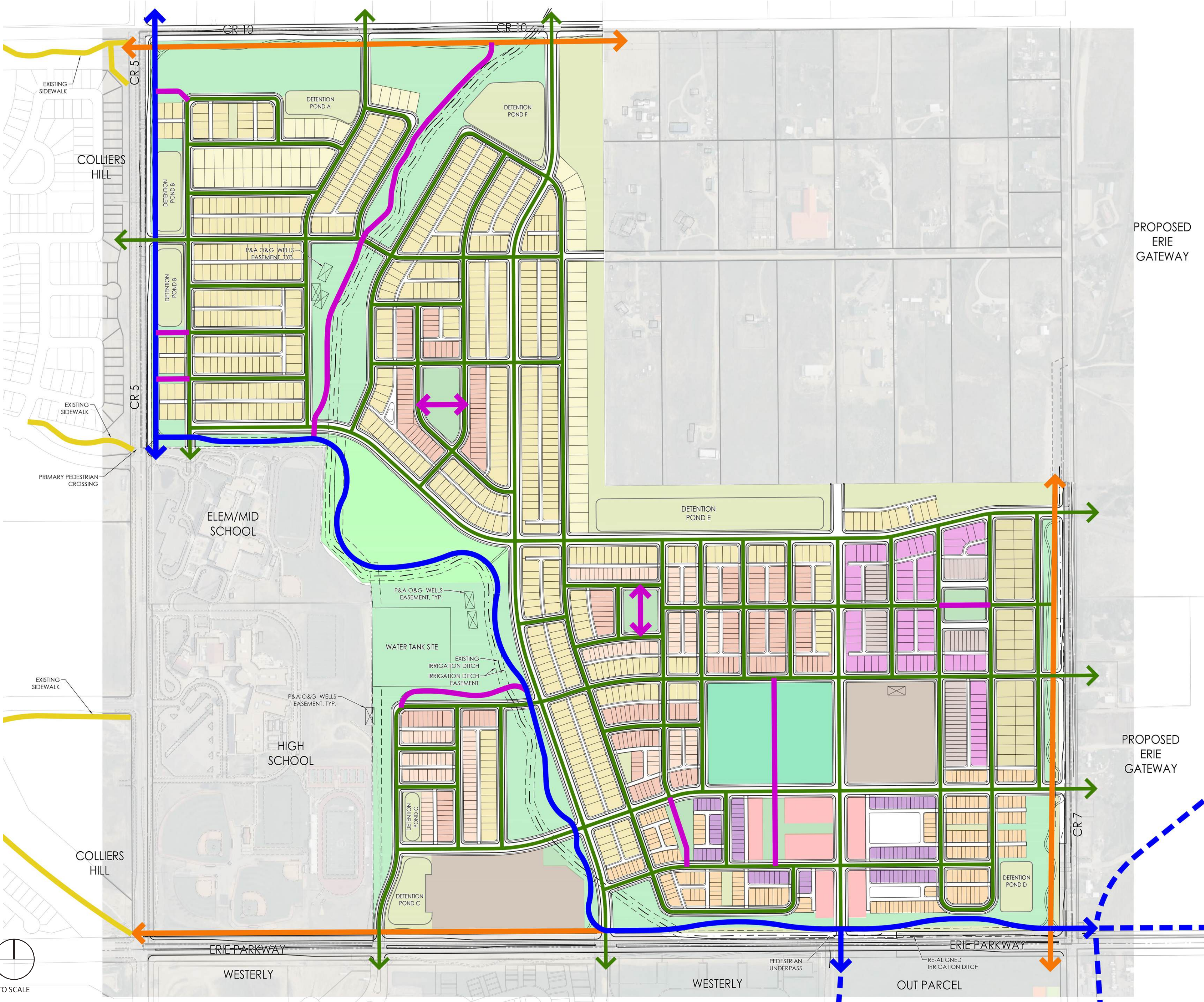
2/09/2023

14
OF 22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

PEDESTRIAN CIRCULATION PLAN

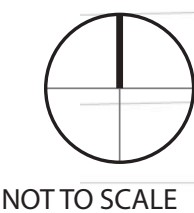


LEGEND:

- 10' CONCRETE SPINE TRAIL
- PERIMETER CONCRETE MULTI-USE TRAIL (WIDTH PER TOWN OF ERIE'S STREET STANDARD)
- 8' CONCRETE MULTI-USE TRAIL
- STREET SIDEWALK
- PROPOSED SPINE TRAIL (OUTSIDE NORTH WESTERLY BOUNDARY)
- EXISTING TRAIL (OUTSIDE NORTH WESTERLY BOUNDARY)

NOTES:

- ON-STREET PEDESTRIAN CONNECTIONS ARE PROVIDED BY PUBLIC WALKWAYS WITHIN RIGHT-OF-WAY. THE ALIGNMENTS PROVIDED ARE INTENDED TO SHOW GENERAL PEDESTRIAN CONNECTIVITY. REFER TO STREET CLASSIFICATION EXHIBIT FOR MORE DETAIL REGARDING STREET SECTIONS AND ALIGNMENTS. FINAL ROAD ALIGNMENTS SHALL BE DETERMINED AT FINAL PLAT.
- PEDESTRIAN CROSSINGS AT INTERSECTIONS ARE ALL AT-GRADE EXCEPT THE NOTATED PEDESTRIAN ERIE PARKWAY UNDERPASS.
- POTENTIAL PEDESTRIAN CONNECTION(S) TO THE SCHOOLS WILL BE FURTHER EXPLORED DURING THE SITE PLANNING PROCESS.



PREPARED FOR:

NORTH WESTERLY
OWNER, LLC
3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:

KT
12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW

PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

PEDESTRIAN CIRCULATION PLAN

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

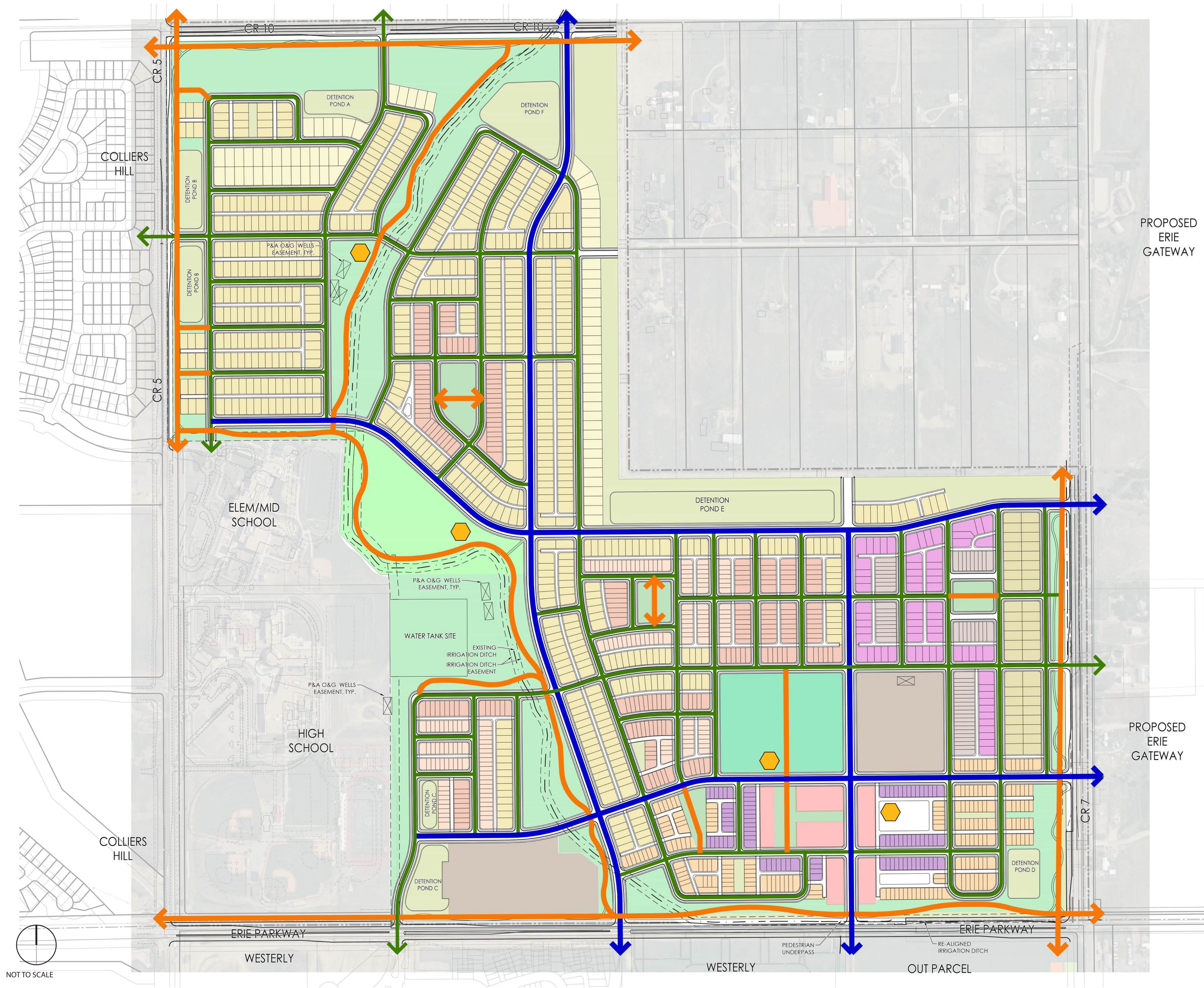
2/09/2023

15
OF 22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

BICYCLE CONNECTIVITY PLAN



LEGEND:

- SEPARATED ON-STREET BIKE
- SHARED ON-STREET BIKE
- MULTI-USE TRAIL
- APPROXIMATE LOCATION OF A SHARED MOBILITY AMENITY (I.E. B-CYCLE, SCOOTERS AND/OR CAR SHARING)

NOTES

THE ALIGNMENTS PROVIDED ARE INTENDED TO SHOW GENERAL BICYCLE CONNECTIVITY. REFER TO STREET CLASSIFICATION EXHIBIT FOR MORE DETAIL. FINAL ROAD ALIGNMENTS SHALL BE DETERMINED AT FINAL PLAT.

PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

BICYCLE
CONNECTIVITY
PLAN

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

16
OF 22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

390.8797 ACRES
PD-001700-2024

SIGNAGE PLAN

SIGNAGE PLAN:

- LIST OVERALL DESIGN INTENT
THE OVERALL DESIGN INTENT FOR SIGNAGE IN THIS PEDESTRIAN ORIENTED COMMUNITY IS TO BE UNDERSTATED WITH HIGH QUALITY MATERIALS AND QUALITY EXECUTION AND DESIGN SIMPLICITY.
- PROVIDE MASTER SIGNAGE CHARACTERISTICS
AT THIS EARLY STAGE IN THE DESIGN OF THE COMMUNITY WE ANTICIPATE PRIMARY ENTRY MONUMENTS ON ERIE PARKWAY, AND LIKELY SECONDARY MONUMENTS ON COUNTY ROAD 5 AND COUNTY ROAD 7, WITH THE POTENTIAL FOR RETAIL AND INTERNAL IDENTIFICATION SIGNAGE THROUGHOUT THE PROJECT THAT WILL BE OF A SIMILAR DESIGN CHARACTER. SIGNAGE WILL MEET UDC REQUIREMENTS 10-6-12.
- PROVIDE SIGN CHARACTERISTICS
BELOW ARE RENDERINGS OF SIGN CHARACTERISTICS DEVELOPED FOR THE WESTERLY COMMUNITY, WE ANTICIPATE USING A SIMILAR SIGN CHARACTERISTIC FOR NORTH WESTERLY SO THE COMMUNITY FEELS COHESIVE.

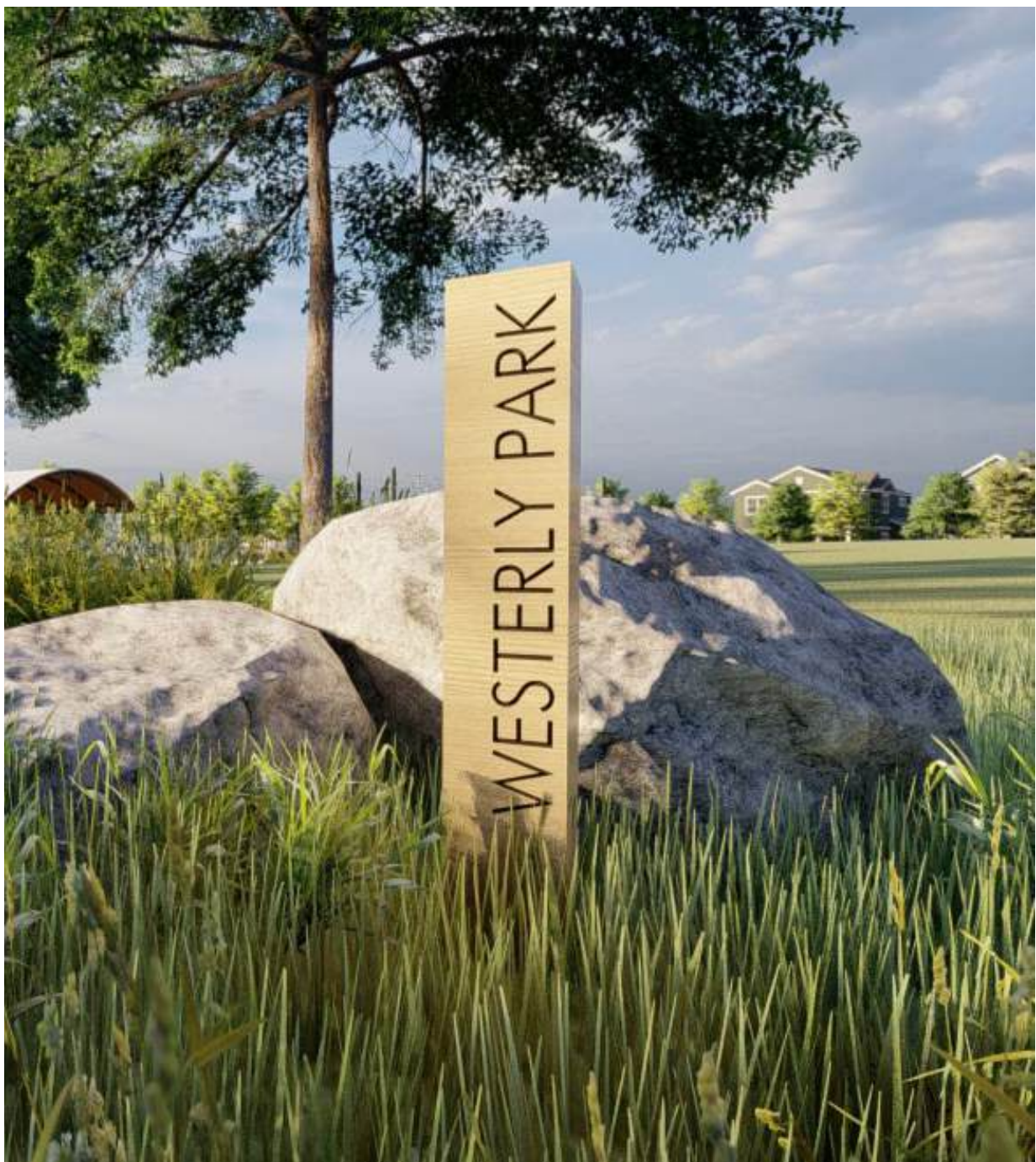
PRIMARY ENTRY MONUMENT



SECONDARY ENTRY MONUMENT



TRAIL MARKER



ANTICIPATED MONUMENT LOCATIONS



LEGEND:

- PRIMARY ENTRY MONUMENT
- SECONDARY ENTRY MONUMENT

NOTE:
MONUMENT SIGNS LOCATED ALONG ERIE PARKWAY
SHALL NOT BE LOCATED IN A LANDSCAPE TRACT
OR AN EASEMENT WITHOUT PERMISSION OF THE
EASEMENT HOLDER.

PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

SIGNAGE PLAN

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

17
OF 22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

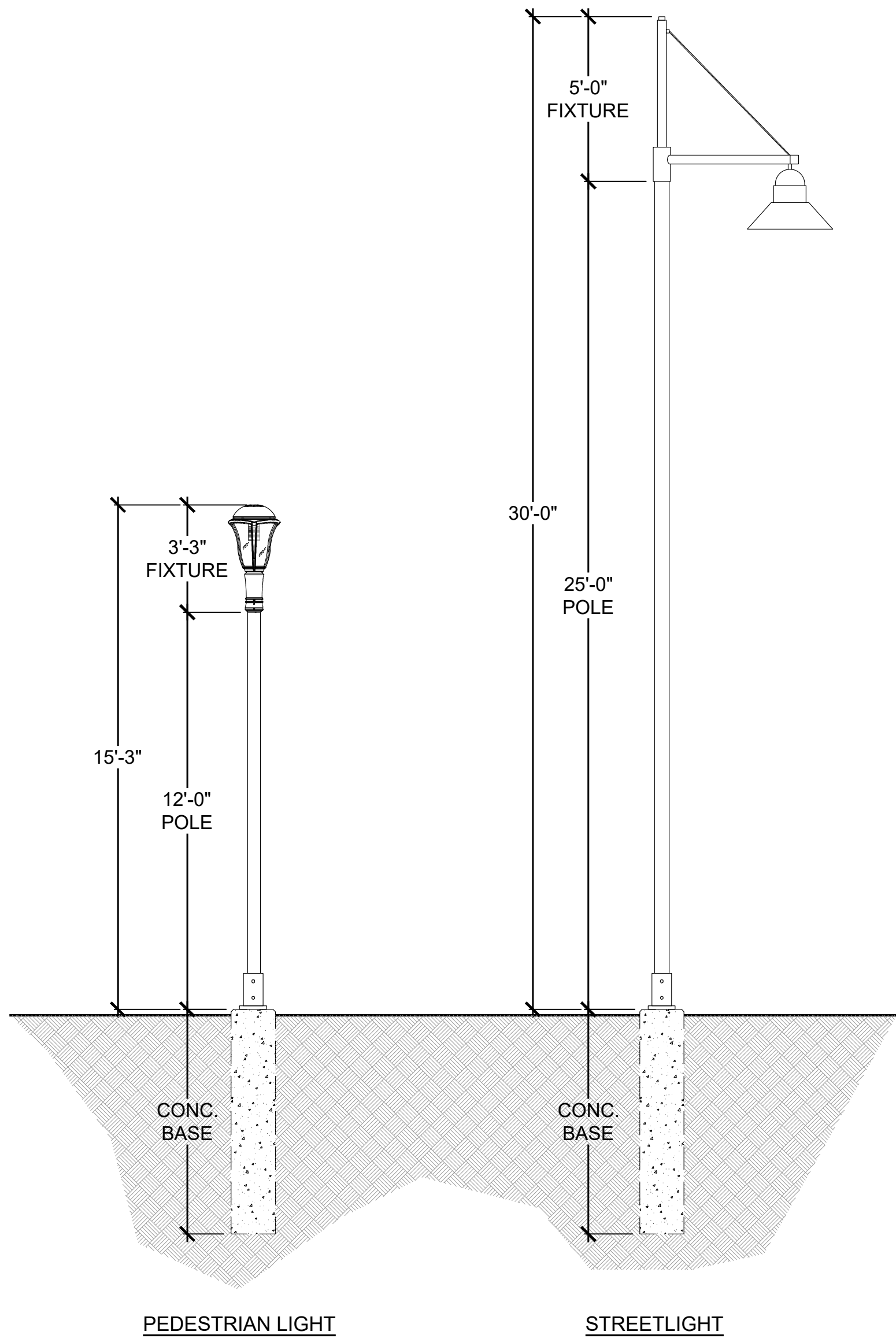
A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

OVERALL LIGHTING PLAN

OVERALL LIGHTING PLAN:

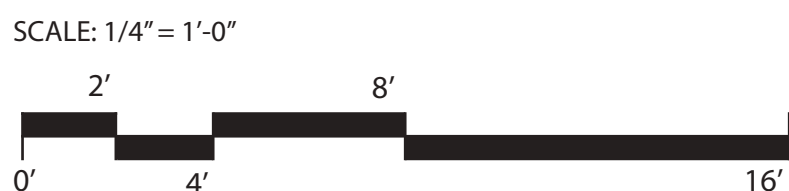
- PROVIDE OVERALL LIGHTING CONCEPT AND THEMES
NORTH WESTERLY INTENDS TO FOLLOW THE TOWN OF ERIE UDC REQUIREMENTS FOR LIGHTING. IN GENERAL, LIGHTING THROUGHOUT THE COMMUNITY WILL UTILIZE PEDESTRIAN SCALED LIGHT FIXTURES IN PARK AREAS, AND POTENTIALLY BOLLARD STYLE LIGHTING IN THE COMMERCIAL MIXED USE AREAS.
- EXTERIOR BUILDING LIGHTING SHOULD BE USED TO PROVIDE SAFETY AND SECURITY AND TO HIGHLIGHT ARCHITECTURAL FEATURES.
- FOR COMMERCIAL AND MULTI-FAMILY BUILDINGS, ALL EXTERIOR DOORWAYS SHALL BE LIGHTED ALL NIGHT.
- FOR COMMERCIAL BUILDINGS, ALL LIGHT SOURCES SHALL BE SCREENED FROM VIEW OF ADJACENT PROPERTIES AND PUBLIC RIGHTS-OF-WAY. LIGHT POLES OF A MINIMUM HEIGHT TO PROVIDE ADEQUATE LIGHTING SHOULD BE USED. SEVERAL SHORT POLES ARE PREFERRED TO ONE TALLER POLE. LIGHT FROM COMMERCIAL DEVELOPMENTS MAY NOT SPILL ONTO RESIDENTIAL SITES. NOT MORE THAN 1-FOOT CANDLE FROM COMMERCIAL DEVELOPMENTS SHALL BE PERMITTED LEAVE THE PROPERTY/SITE. A PLAN TO REDUCE UNNECESSARY LIGHTING AFTER BUSINESS HOURS SHALL BE PROVIDED.
- ESTABLISH FIXTURE STYLES
BELOW ARE SOME POTENTIAL PEDESTRIAN AND BOLLARD LIGHTS THAT DEPICT THE DESIGN AND QUALITY INTENT FOR NORTH WESTERLY, THE PEDESTRIAN LIGHT DEPICTED IS THE SAME AS IS CURRENTLY USED IN THE WESTERLY COMMUNITY. STREET LIGHT FIXTURES WILL ALSO BE THE SAME AS ARE CURRENTLY USED IN THE WESTERLY COMMUNITY AND ARE COMPLIANT WITH THE TOWN OF ERIE UDC.
- LED LIGHTS ARE REQUIRED FOR ANY TOWN OWNED OR MAINTAINED LIGHT POLES

PEDESTRIAN AND BOLLARD LIGHTING



PEDESTRIAN LIGHT
MANUFACTURER: LUMEC BY SIGNIFY
PRODUCT: CLASSIC STYLE VLR POST TOP
MODEL#: VLR-CAGE

STREETLIGHT
UNITED POWER STANDARD
PRODUCT: 25' LIGHTPOLE WITH 150W MH
LUMINAIRE AND ARM
MODEL#M26-150C



PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

OVERALL
LIGHTING PLAN

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

18
OF 22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

PARKS & OPEN SPACE CONCEPT

INTENT & CHARACTER:

NORTH WESTERLY PARKS AND OPEN SPACE CONCEPT NARRATIVE

THE PD MEETS THE UDC BY COMPLYING WITH PARK LAND DEDICATION REQUIREMENTS AND INCLUDING A DIVERSITY OF TYPES OF PARKS, TRAILS, AND OPEN SPACE WHICH CAN BE OUTLINED IN THE PARKS AND OPEN SPACE CHART. THE PARKS AND OPEN SPACE CHART OUTLINES HOW EACH AREA IS CATEGORIZED BY THE CRITERIA SET FORTH IN THE "MIXED-USE DEVELOPMENT PARKS & OPEN SPACE VISION GUIDE". THE DEVELOPMENT WILL INCLUDE SEVERAL TRADITIONALLY SIZED POCKET PARKS AND A LARGE NEIGHBORHOOD PARK. THE BIGGEST TYPOLOGY FOR OPEN SPACE WILL BE THE MIXED-USE OPEN SPACE, AS TRAIL CORRIDORS, MEDIAN PARKS WITH POCKET PARK ELEMENTS AND NATIVE URBAN REWILDING AREAS, AND AMENITIZED DRAINAGEWAYS. BELOW ARE SOME HIGHLIGHTED FEATURES THAT REPRESENT THE DIFFERENT TYPES OF OPEN SPACE AND PARK FEATURES THROUGHOUT THE SITE:

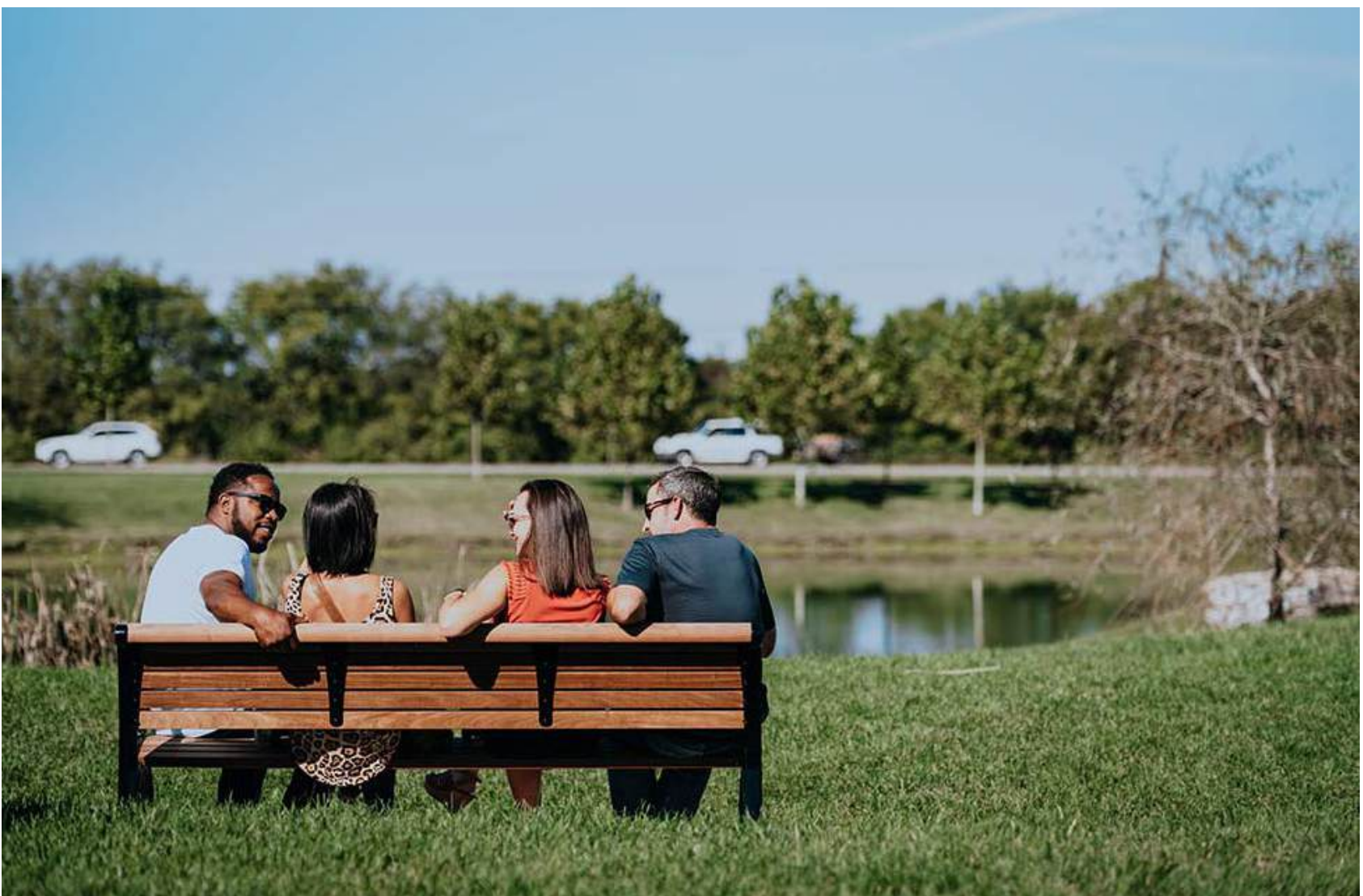
- THE DEVELOPMENT WILL TAKE ADVANTAGE OF OPEN SPACES FOR RESPITE, RECREATION AND PEDESTRIAN CONNECTIONS. THEY SHALL CONTAIN PEDESTRIAN-SCALE OR MULTI-USE TRAILS, BENCHES, PLANTINGS, AND WHERE APPROPRIATE SHADE SHELTERS, INTERPRETATIVE GARDENS, SMALL PLAY FEATURES OR WATER FEATURES.
- THE POCKET PARKS SHALL INCORPORATE SPECIFIC TYPES OF PLAY AREAS, COMMUNITY GARDENS, AND/OR ART FEATURES TO CREATE VARIETY THROUGHOUT THE COMMUNITY AND BECOME UNIQUE PLACEMAKERS FOR EACH NEIGHBORHOOD.
- APPROXIMATELY A 15 AC NEIGHBORHOOD PARK (TO BE DEDICATED TO THE TOWN?) WILL SERVE AS THE CENTRAL FEATURE OF THE COMMUNITY. IT IS ENVISIONED TO BE THE RECREATIONAL HEART OF THE COMMUNITY. NOT ONLY WILL IT CONTAIN PLAYGROUNDS, TRAILS, AND SPORTS FIELDS, BUT IT SHALL ALSO SERVE AS THE PLACE FOR SPECIAL COMMUNITY EVENTS, SUCH AS LIVE MUSIC, COMPETITIONS, AND HOLIDAY FESTIVALS TO CREATE A SENSE OF PLACE AND COMMUNITY.
- THE TOWN HAS ALSO REQUESTED THAT THE PD INCLUDE AN AREA FOR A WATER TANK (APPROXIMATELY 4.9 ACRES) WHICH CAN BE COUNTED TOWARD 100% OF PARK SPACE. THIS AREA HAS BEEN INCORPORATED INTO THE LARGE NEIGHBORHOOD PARK.
- THE DETENTION PONDS WILL ALSO PLAY A KEY ROLE AS FEATURES FOR THE DEVELOPMENT, AS A NATURAL POND WITH SEATING, PICNIC AREAS, AND TRAILS.
- AS PART OF THE PRE-DEVELOPMENT AGREEMENT, "THE DEVELOPMENT SHALL PROVIDE COMMUNITY GARDENS, EDIBLE LANDSCAPING, OR ON-SITE URBAN AGRICULTURE ACCESSIBLE TO ALL THE RESIDENTS OF THE DEVELOPMENT, TO BE SERVED BY POTABLE WATER. EDIBLE LANDSCAPING IS THE PRACTICE OF FULL INTEGRATING A VARIETY OF EDIBLE PLANTS INTO ORNAMENTAL LANDSCAPES. COMMUNITY GARDENS SHALL NOT COUNT TOWARD POCKET PARK REQUIREMENTS AND SHALL NOT BE OWNED OR MAINTAINED BY THE TOWN." THE DESIGN AND IMPLEMENTATION OF THE COMMUNITY GARDENS, EDIBLE LANDSCAPES OR URBAN AGRICULTURE WILL BE MORE FULLY DEVELOPED AT DESIGN DEVELOPMENT STAGES.

AS PART OF THE PEDESTRIAN CONNECTIVITY PLAN, THERE WILL BE THREE MAJOR TRAIL SYSTEMS THAT ARE PART OF THE OPEN SPACE PLAN.

- THE SPINE TRAIL THAT RUNS WITHIN THE LOWER PORTION OF THE SITE FROM THE ADJACENT HIGH SCHOOL TO THE SOUTHWEST INTERSECTION.
- THE MULTI-USE TRAIL ALONG THE IRRIGATION DITCH WHICH WILL BE AMENITIZED FEATURE AS IT MEANDERS THROUGH THE SITE FROM THE NORTH PART OF THE SITE TO CONNECT INTO THE SPINE TRAIL.
- LASTLY, PERIMETER TRAILS THAT ARE WITHIN THE BUFFER AREAS ALONG CR7, CR10, CR5, AND ERIE PARKWAY.



ABOVE IMAGES: OPEN SPACES SHALL HAVE PEDESTRIAN CONNECTIONS ALONG WITH PLACES FOR RESPITE.



ABOVE IMAGES: SITE FURNISHINGS SUCH AS BENCHES, PICNIC TABLES, AND SHADE SHELTERS SHALL BE USED FOR PEDESTRIAN COMFORTABILITY.

PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

PARKS & OPEN
SPACE CONCEPT

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

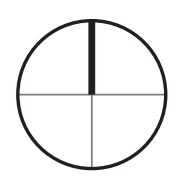
2/09/2023

19
OF 22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

PARKS & OPEN SPACE CONCEPT PLAN



SCALE: 1" = 300'
0' 150' 300' 600' 1,200'

NORTH WESTERLY - 3-31-2025

NOTE: THE DEDICATION REQUIREMENTS WILL BE BASED ON CURRENT UDC REQUIREMENTS AT THE TIME OF PRELIMINARY PLAT.

POPULATION GENERATION				
	PRODUCT TYPE	PERSONS PER UNIT	ANTICIPATED UNITS	ANTICIPATED POPULATION
DETACHED HOMES	SINGLE FAMILY FRONT LOAD	2.99 PPU	127 UNITS	380
	SINGLE FAMILY ALLEY LOAD	2.99 PPU	691 UNITS	2,066
ATTACHED HOMES	LIVE/WORK TOWNHOMES	2.99 PPU	95 UNITS	284
	TOWNHOMES	2.99 PPU	666 UNITS	1,991
	DUPLEX / PAIRED VILLAS	2.99 PPU	80 UNITS	239
MULTI-FAMILY RESIDENTIAL	MULTI-FAMILY APARTMENTS	2.10 PPU	487 UNITS	1,023
ANTICIPATED POPULATION				5,983
CREDITED PARKS AND OPEN SPACE				
TYPE	REQUIREMENT	REQUIRED (AC)	PROVIDED (AC)	
POCKET PARKS	0.5 AC / 1,000 residents	2.99	6.31	
NEIGHBORHOOD PARKS	3 AC / 1,000 residents	17.95	12.00	
COMMUNITY PARKS	5 AC / 1,000 residents	29.92	NA	
OPEN SPACE	17 AC / 1,000 residents	101.71	34.26	
NEIGHBORHOOD PARK CASH-IN-LIEU ESTIMATE				SHORTFALL (AC)
FEE IN LIEU OF DEDICATION	\$236,564.00	\$1,407,397.30	5.95	
OPEN SPACE CASH-IN-LIEU ESTIMATE				SHORTFALL (AC)
FEE IN LIEU OF DEDICATION	\$48,500.00	\$3,271,464.20	67.45	
TOTAL CASH-IN-LIEU ESTIMATE				
COMBINED NEIGHBORHOOD PARK AND OPEN SPACE		\$4,678,861.50		

The Town of Erie Planning Division updates estimates for Persons Per Dwelling Unit annually based on Census data.

As of December 31, 2022, persons per dwelling unit are estimated to be:

2.99 persons per household for single family housing (93.4% of total occupied units) - Single family = single family detached, single family attached (duplex, triplex, four-plex, townhome)

2.1 persons per household for multifamily (6.6% of total occupied units) - Multifamily = apartments, condos

NORTH WESTERLY PARK AND OPEN SPACE CHART

PLANNING AREA DESIGNATION	DESCRIPTION & INVENTORY FACILITIES	TOTAL ACREAGE	% CREDITED ACREAGE PER TOWN OF ERIE STANDARDS	CREDITED ACREAGE
NP-1	NEIGHBORHOOD PARK	12.00	100%	12.00
NEIGHBORHOOD PARKS TOTAL ACREAGE				12.00
PK-1	POCKET PARK	0.28	100%	0.28
PK-2	POCKET PARK	1.71	100%	1.71
PK-3	POCKET PARK	1.05	100%	1.05
PK-4	POCKET PARK	0.94	100%	0.94
PK-5	POCKET PARK	1.43	100%	1.43
PK-6	POCKET PARK	0.90	100%	0.90
POCKET PARKS TOTAL ACREAGE				6.31

OS-1	40% OPEN SPACE	4.02	DETENTION POND & PERIMETER = 2.01 AC 30' WIDE BUFFER = 0.84 AC REMAINING = 1.17 @ 40%	0.47
OS-2	40% OPEN SPACE	4.72		1.89
OS-3	100% OPEN SPACE	4.64	WATER TANK SITE/UTILITY - DEDICATED	4.64
OS-4	100% OPEN SPACE	10.79	100% CREDIT - DEDICATED OPEN SPACE (ATTACHED TO NEIGHBORHOOD PARK)	10.79
OS-5	100% OPEN SPACE	1.21	100% CREDIT - DEDICATED OPEN SPACE (ATTACHED TO NEIGHBORHOOD PARK)	1.21
OS-6	40% OPEN SPACE	3.64	DETENTION POND & PERIMETER = 1.72 AC REMAINING = 1.92 @ 40%	0.77
OS-7	40% OPEN SPACE	12.66	DETENTION PONDS & PERIMETER = 3.33 AC REMAINING = 9.33 @ 40%	3.73
OS-8	NO CREDIT	0.24		0.00
OS-9	40% OPEN SPACE	15.12	DETENTION POND & PERIMETER = 3.57 AC REMAINING = 11.55 @ 40%	4.62
OS-10	NO CREDIT	5.47		0.00
OS-11	40% OPEN SPACE	7.31		2.92
OS-12	NO CREDIT	2.90		0.00
OS-13	NO CREDIT	8.56		0.00
OS-14	NO DREDIT	3.82		0.00
OS-15	10% OPEN SPACE	1.63	30' WIDE BUFFER = 0.63 AC REMAINING = 1.64 @ 10%	0.16
OS-16	NO CREDIT	0.21		0.00
OS-17	10% OPEN SPACE	1.08	30' WIDE BUFFER = 0.40 AC REMAINING = 0.68 @ 10%	0.06
OS-18	40% OPEN SPACE	7.10	DETENTION POND = 1.21 30' WIDE BUFFER = 1.34 AC REMAINING = 4.55 @ 40%	1.82
OS-19	NO CREDIT	0.19		0.00
OS-20	40% OPEN SPACE	3.82	30' WIDE BUFFER = 0.87 AC REMAINING = 2.95 @ 40%	1.18
OS-21	NO CREDIT	0.27		0.00
TOTAL OPEN SPACE CREDIT				34.26

NOTES: 1. The Detention and Irrigation Ponds are not included in the open space acreage since we do not anticipate that they meet the criteria for credit per UDC 10-6-3.B.4.b.ii. and UDC 10-6-4.E.6.f.



LEGEND

- COMMUNITY AMENITY/PRIVATE PARK
- NEIGHBORHOOD PARK
- POCKET PARKS
- OPEN SPACE
- NON-COMPLIANT OPEN SPACE
- PROPOSED TRAILS

PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615-778-2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION/DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

PARKS & OPEN
SPACE CONCEPT
PLAN

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

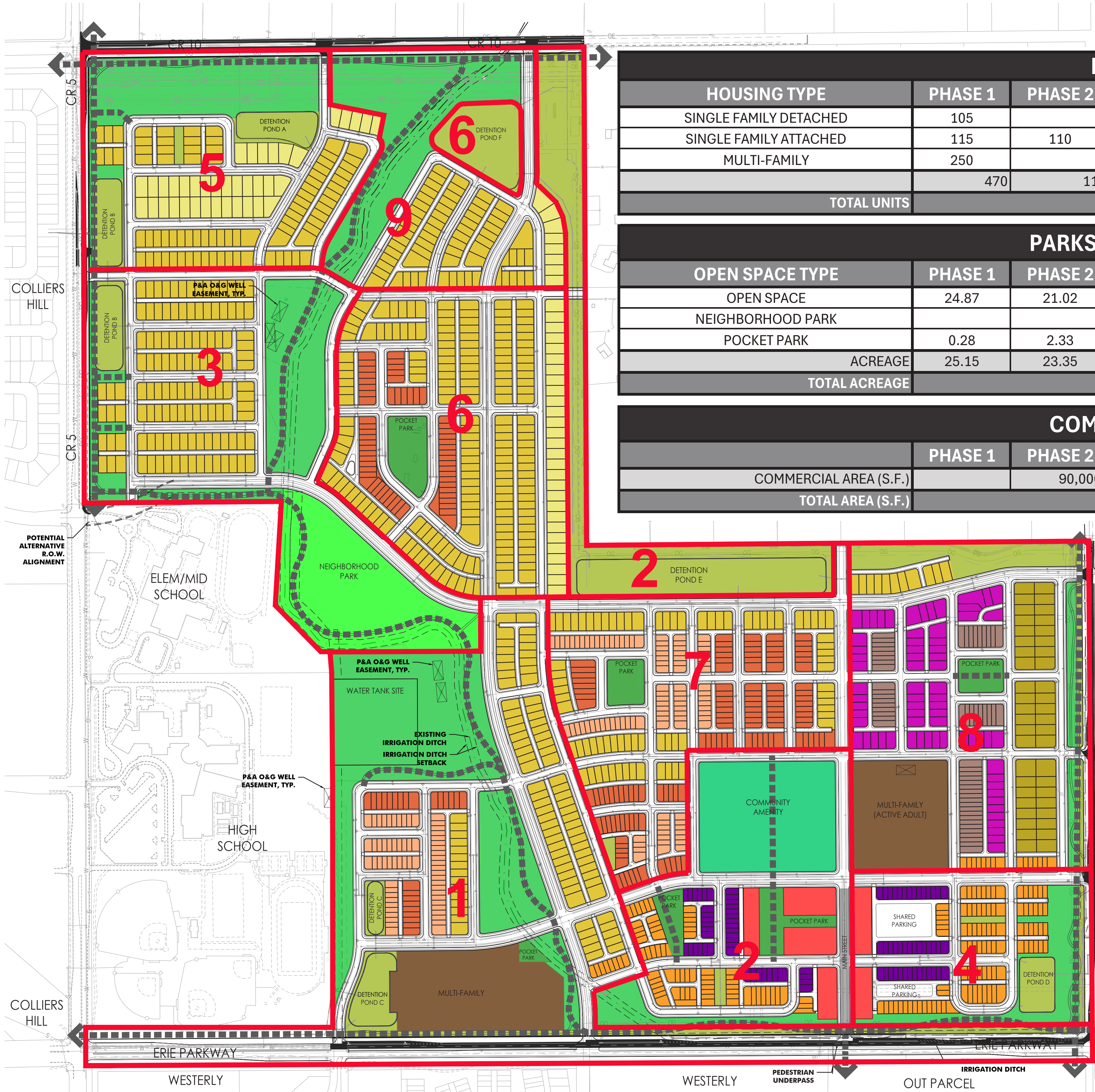
SUBMITTED ON:

2/09/2023

20
OF
22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024
PHASING PLAN



LOT COUNTS BY PHASE									
HOUSING TYPE	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5	PHASE 6	PHASE 7	PHASE 8	PHASE 9
SINGLE FAMILY DETACHED	105		136		125	224	78	66	84
SINGLE FAMILY ATTACHED	115	110		140		62	249	165	
MULTI-FAMILY	250							237	
	470	110	136	140	125	286	327	468	84
TOTAL UNITS	2146								

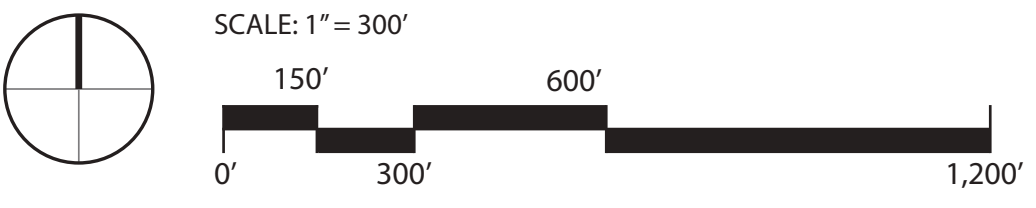
PARKS AND OPEN SPACE BY PHASE									
OPEN SPACE TYPE	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5	PHASE 6	PHASE 7	PHASE 8	PHASE 9
OPEN SPACE	24.87	21.02	12.16	6.95	12.90	3.56	0.21	7.56	11.56
NEIGHBORHOOD PARK			12.00						
POCKET PARK	0.28	2.33				1.71	1.05	0.94	
ACREAGE	25.15	23.35	24.16	6.95	12.90	5.27	1.26	8.50	11.56
TOTAL ACREAGE	119.10								

COMMERCIAL AREAS BY PHASE									
	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5	PHASE 6	PHASE 7	PHASE 8	PHASE 9
COMMERCIAL AREA (S.F.)		90,000		60,000					
TOTAL AREA (S.F.)	150,000								

PHASING PLAN:

THE DEVELOPMENT OF THIS PROJECT WILL GENERALLY OCCUR FROM SOUTHWEST TO NORTHEAST DUE TO AVAILABILITY OF WATER AND SEWER SERVICE, AS WELL AS ROADWAY ACCESS. THE FOLLOWING EXHIBIT DESCRIBES THE INTENDED PROGRESSION OF INFRASTRUCTURE CONSTRUCTION. ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY WITHIN THAT PHASE.

THE OWNER OF THE PROJECT RESERVES THE RIGHT TO CONSTRUCT ANY PORTION OF THE PROJECT IN ANY SEQUENCE AS LONG AS ADEQUATE WATER SYSTEM LOOPING, TRAFFIC CIRCULATION WITH DUAL ACCESS AND ASSOCIATED STORM WATER CONVEYANCE AND SANITARY SEWER OUTFALLS ARE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE TOWN OF ERIE CODES.



PREPARED FOR:

NORTH WESTERLY
OWNER, LLC
3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:

KT
12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY
3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW

PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	BY	DATE	REVISION DESCRIPTION
1	JP/CGR	7/11/2024	2ND SUBMITTAL
2	JP/CGR	10/02/2024	3RD SUBMITTAL
3	JP/CGR	2/14/2025	4TH SUBMITTAL
4	JP/CGR	4/18/2025	5TH SUBMITTAL
5	JP/CGR	5/14/2025	6TH SUBMITTAL

SHEET INFO:

PHASING PLAN

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

21
OF 22

NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
390.8797 ACRES
PD-001700-2024

ENVIRONMENTAL PLAN

Legend

Vegetation

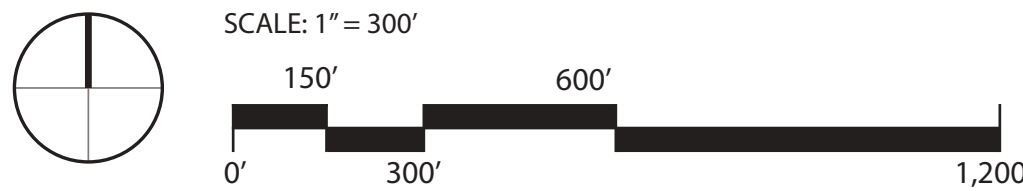
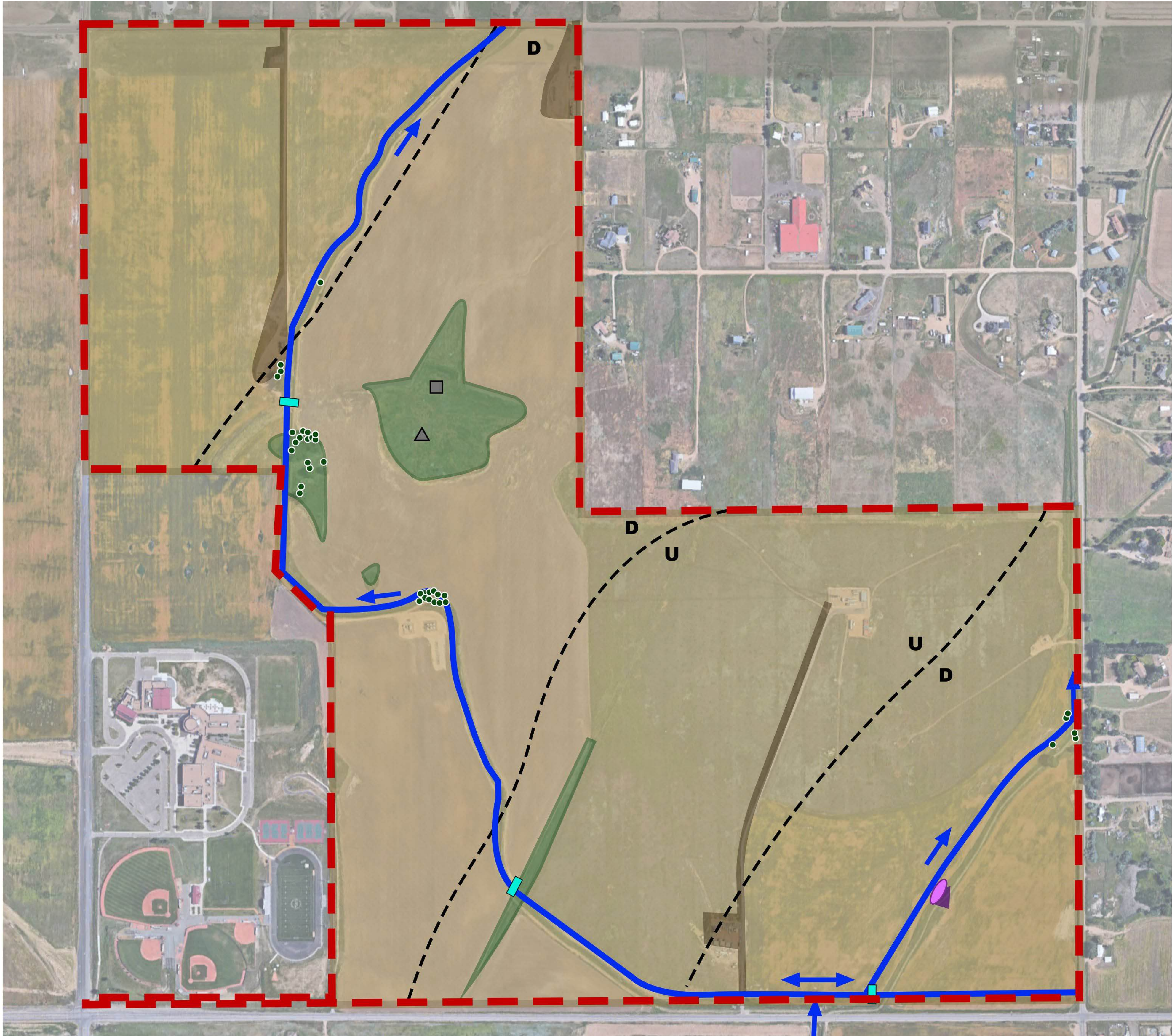
- Tree
- Cropland
- Disturbed
- Mesic Graminoids
- Western Wet Shrubland
- Great Plains Ruderal Grassland & Shrubland

Mining

- Mine Shaft (hoisting shaft)
- ▲ Air Shaft
- - - Inferred Bedrock Fault
- u Upthrown Side
- D Downthrown Side

Aquatic

- Culvert
- Community Ditch
- ➔ Flow Direction
- Palustrine Scrub - Shrub Wetland



PREPARED FOR:

NORTH WESTERLY
OWNER, LLC

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
720-531-8924
CONTACT: JIM HENRY

ENGINEERING:



12500 W. 58TH AVE
SUITE 230
ARVADA, CO 80002
720-638-5190
CONTACT: KEN TOLAND

LAND PLANNING:

SOUTHERN LAND
COMPANY

3990 HILLSBORO PIKE,
SUITE 400,
NASHVILLE, TN 37215
615.778.2884
CONTACT:
BEN CRENSHAW



PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, CO - 80233
720-259-8246
CONTACT:
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1	2ND SUBMITTAL	7/11/2024	JP/CGR
2	3RD SUBMITTAL	10/02/2024	JP/CGR
3	4TH SUBMITTAL	2/14/2025	JP/CGR
4	5TH SUBMITTAL	4/18/2025	JP/CGR
5	6TH SUBMITTAL	5/14/2025	JP/CGR

SHEET INFO:

ENVIRONMENTAL
PLAN

DRAWN BY:

CGR

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

22
OF 22