

SITE PLAN REVIEW Completeness Checklist

For: Site Plan – Planning Commission; Site Plan – Administrative; Site Plan Minor Amendment; Site Plan Major Amendment

NOTE: FOR DETAILED PROCEDURES, REFER TO CHAPTER 7 OF THE UNIFIED DEVELOPMENT CODE

Project Number: SP2024-00004

Project Name: MVFR Meadow Sweet - Station #15. FLATIRON MEADOWS

Submittal Requirements

All submittals shall be sent to the Planning Division electronically. To request an upload link, please submit your request to <u>planningapplication@erieco.gov</u>. Please contact the Planning Technician at 303-926-2770 if you have any questions. **Applications will not be accepted for review unless all information is submitted.**

- [X] Completed Land Use Application (signed and notarized) Land Use Application Application fee (See Land Use Application for fees) [X] [X] Written narrative [X] Proof of ownership [X] ALTA/ACSM Land Title Survey [N/A] Notarized letter of authorization from the landowner(s) [0] Copies of any special agreements (if applicable) (shared access agreement with neighboring parcels) [0] Full scale copy of the recorded final plat for which the Site Plan is proposed [X] Site Plan exhibits: **Cover Sheet** [X] [X] Landscape Plan [N/A] Irrigation Plan (OK to provide later per CL) **Utility Plan** [X] [X] **Erosion and Sediment Control Plan** [X] Grading/Drainage Plan Photometric Plan [X] [X] **Building Elevations**
- [?] Additional graphic aids *may be* requested

Site in Context to Adjacent Uses

[X]

- [X] Development Reports/Studies/Plans:
 - [X] Phase III Drainage Report and Plan
 - [X] Stormwater Management Plan
 - [X] Final Grading Plan
 - [X] Civil Construction Plan Set (For applications with proposed public roads improvements)
 - [X] Final Utility Construction Plan and Utility Report
 - [X] Civil Construction Plan Set (For applications with proposed public utility improvement)
 - [X] Final Landscape Construction Plans (For applications requiring parks, open space or trails)
 - [?] Geological Report (Geotechnical Study Provided)
 - [X] Traffic Impact Study, conformance letter, or narrative
- [?] Any additional information or referral documents as required by the Planning & Development Director, in order to thoroughly review the impacts of the proposed development.

Referral Agencies for:

SP2024-00004, SRU2024-00001, SUB2024-00003/Mountain View Fire Rescue Station #15, Meadow Sweet Ln.

Today's Date: 8/9/2024 DRT Date: 9/12/2024

Staff has determined that the Mountain View Fire Rescue Station #15, Meadow Sweet Ln./Minor Subdivision, Site Plan, & Special Review Use submittals are sufficiently complete to send out for initial referral comments to the following:

- 1. Town of Erie Planning/project Planner, Engineering/project Engineer, Stormwater, Parks (include Luke B, Kathy Kron), Building (send only to Ed, Joel, & Dale), Economic Development (send only to Julian, Stephanie, & Jack), GIS, Energy & Environmental Specialist (David Frank), Police Department (Chief Mathis/Cmdr Haefele)
- 2. Mountain View Fire Protection District
- 3. Send to All Oil and Gas
- 4. Ehrhart Land Surveying, LLC
- 5. Merrick & Company
- 6. Fox Tuttle
- 7. CDOT (Region 4 everything except SH 7)
- 8. RTD
- 9. Public Service Company of Colorado (Xcel Energy)
- 10. Comcast Residential & Commercial.
- 11. Century Link Communications.
- 12. Flatiron Meadows HOA
- 13. Orchard Glen Filings 1 & 2 HOA

Please label with the new parcel nomenclature from the

FLATIRON MEADOWS FILING NO.14 MINOR

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES

SPECIAL REVIEW USE SITE PLAN SP2024-00004; SRU2024-00001

LEGAL DESCRIPTION

TRACT G, FLATIRONS MEADOWS SUBDIVISION - MASTER PLAT COUNTY OF BOULDER, STATE OF COLORADO

BASIS AND BEARING

BEARINGS ARE BASED UPON THE EAST/WEST MID-SECTION LINE OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST, AS MEASURED FROM THE CENTER CORNER TO THE EAST QUARTER CORNER OF SAID SECTION 23, BEING N88°27'32"E

GENERAL NOTES

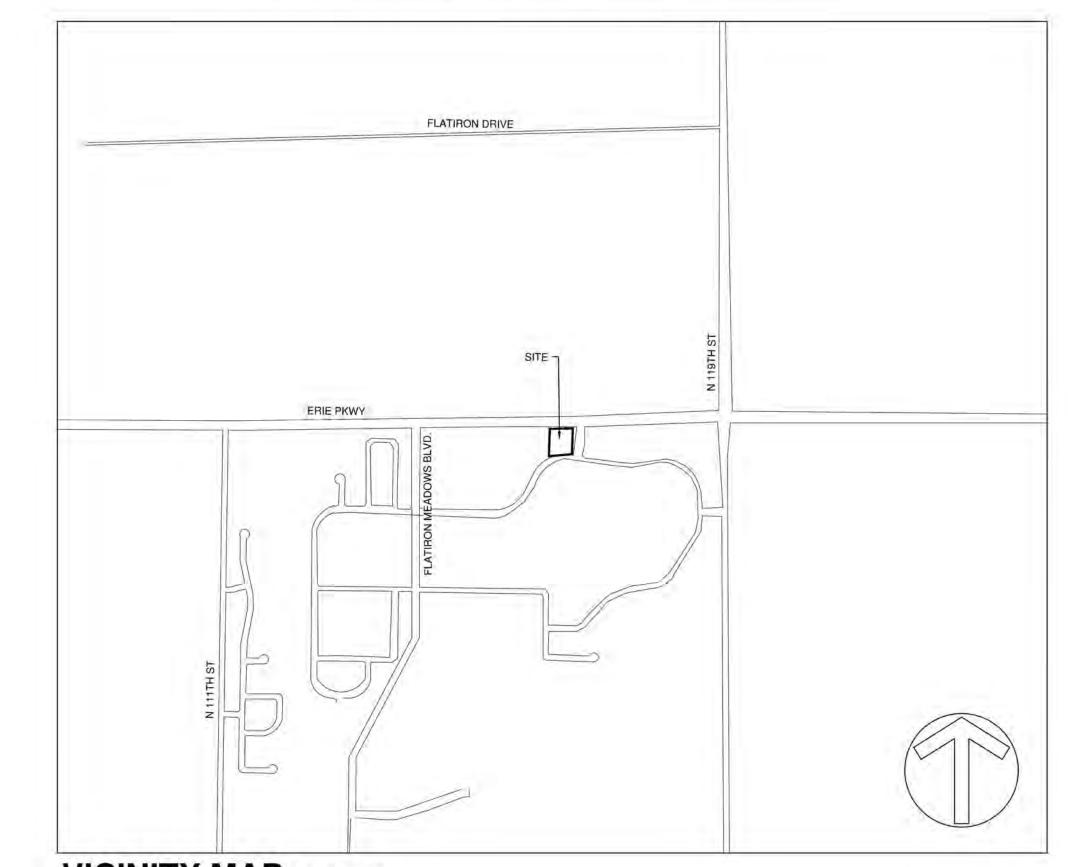
1, ALL CONSTRUCTION SHALL CONFORM TO THE LATEST "STANDARDS AND SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS" BY THE TOWN OF ERIE. COPIES OF THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS MAY BE OBTAINED FROM THE TOWN OF ERIE WEB SITE. CONTRACTOR SHALL HAVE A SET ON SITE AT ALL TIMES

2. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN OF ERIE ENGINEERING STAFF PRIOR TO THE START OF CONSTRUCTION. ATTENDANCE SHALL BE IN ALIGNMENT WITH SECTION 100 OF THE STANDARDS AND SPECIFICATIONS. PLANS SIGNED AND ACCEPTED BY THE TOWN OF ERIE WILL BE

UNDERSTAND THAT THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND

INGRESS AND EGRESS TO THE WORK SITE FROM ADJACENT PRIVATE PROPERTY OWNERS. A COPY OF ALL AGREEMENTS SHALL BE PROVIDED TO THE TOWN. ACCESS TO ANY ADJACENT PRIVATE PROPERTY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

5. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF ERIE ENGINEERING STAFF. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND ONSITE VISITS ARE NOT TO BE CONSTRUED AS A GUARANTEE BY THE TOWN ENGINEERING STAFF OF THE CONTRACTORS CONTRACTUAL COMMITMENT. REQUESTS FOR INSPECTION BY THE TOWN OF ERIE SHALL BE MADE BY THE CONTRACTOR A MINIMUM OF TWENTY-FOUR (24) HOURS IN ADVANCE.



VICINITY MAP 1" = 1000"

PROJECT TEAM

MOUNTAIN VIEW FIRE RESCUE 3561 N STAGECOACH ROAD

LONGMONT, CO 80504 ATTENTION: (303) 772-0710

STRATEGIC SITE DESIGNS, LLC

ENGINEER: 88 INVERNESS CIRCLE EAST, SUITE B101

ENGLEWOOD, CO 80112 ATTENTION: CHRISTOPHER PERDUE

ARCHITECT: OZ ARCHITECTURE 3003 LARIMER ST

DENVER, CO 80205 ATTENTION: ERIC BECKER, LEED A.P. (303) 861-5704

KUMAR AND ASSOCIATES, INC. 800 STOCKTON AVENUE, #4

FORT COLLINS, CO 80524 ATTENTION: JACOB A HANSON (970) 416-9045

LANDSCAPE ARCHITECT: STACKLOT,, LLC 5639 S CURTICE STREET

LITTLETON, CO 80120 ATTENTION: STEVE WEINS

AGENCY CONTACTS

WATER DISTRICT:

645 HOLBROOK STREET

ERIE, CO 80516 303-926-2700

TOWN OF ERIE 645 HOLBROOK STREET

ERIE, CO 80516

303-926-2700 FIRE DISTRICT:

MOUNTAIN VIEW FIRE RESCUE 3561 N STAGECOACH ROAD LONGMONT, CO 80504

ATTENTION: (303) 772-0710

SITE DATA SUMMARY CHART (ZONE DISTRICT SR) % OF SITE 100 **GROSS SITE AREA** HARDSCAPE AREA **BUILDING AREA** 18.4% 18,156 PARKING/ROADS 26.8% TRAILS AND SIDEWALKS 0.04% PATIOS 1,754 0.04% 33,490 TOTAL 49.3 LANDSCAPE AREA PROPOSED PLANTED AREA 49.6 **EXISTING VEGETATION** TOTAL 33,665 49.6 ITEM DESCRIPTION BUILDING STORIES NONE - VACANT LAND **EXISTING USE** PROPOSED USE 11,811 11,811 PARKIING \sim TOTAL STANDARD REQUIRED (1/1000 sq. ft. FFA) 12

TOTAL ACCESSIBLE REQUIRED PER TABLE 6.6-6

TOTAL BICYCLE PARKING REQUIRED

STANDARD PROVIDED

ACCESSIBLE PROVIDED

BICYCLE PARKING PROVIDED

SH	IEET INDEX	SPR - SITE PL/ SUBMISSION #	SPR - SITE PL/ SUBMISSION #
01	COVER SHEET	×	
02	SITE PLAN	×	
03	EROSION AND SEDIMENT CONTROL PLAN	×	
04	EROSION AND SEDIMENT CONTROL DETAILS	×	
05	GRADING AND DRAINAGE PLAN	×	
06	UTILITY PLAN	×	
07	OFFSITE IMPROVEMENTS	×	
80	LANDSCAPE PLAN	×	
09	LANDSCAPE NOTES	×	
10	LANDSCAPE DETAILS	×	
11	IRRIGATION PLAN		
12	IRRIGATION NOTES		
13	IRRIGATION DETAILS	1	16
14	PHOTOMETRIC PLAN	×	
15	PHOTOMETRIC DETAILS	х	
16	BUILDING ELEVATIONS	X	
17	BUILDING ELEVATIONS	×	
18	ARCHITECTURAL SITE DETAILS	×	

This just goes to TC with the SRU, so we'll need to update the approval certificate

And process wise we can take it before or after the plat

	PROVAL CERTIFICATE	
THIS SITE PLAN HAS BEEN REVIEWED A WITH APPLICABLE	AND FOUND TO BE COMPL TOWN OF ERIE REGULAT	
Planning Commission Chair Mayor Date	Date	Public Hearing
The undersigned as the owner or owner's repribe behalf of himself/herself, their heirs, successor described hereon in accordance with this appround Development Code and Municipal Code (owner signature)	s, and assigns to develop ar oved Site Plan and in compli e.	d maintain the property
I Division Clay Control of		
Acknowledged before me this day of by as		

2321-001 1" = 30' JUN 28, 2024

#

- STATION

VIEW FIRE RESCUE SPECIAL REVIEW U

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The Town has adopted the 2021 IEC and 2023 NEC; So there is a requirement for EV and EV ready parking spaces. The Building Department will be able to tell us what this requirement is.

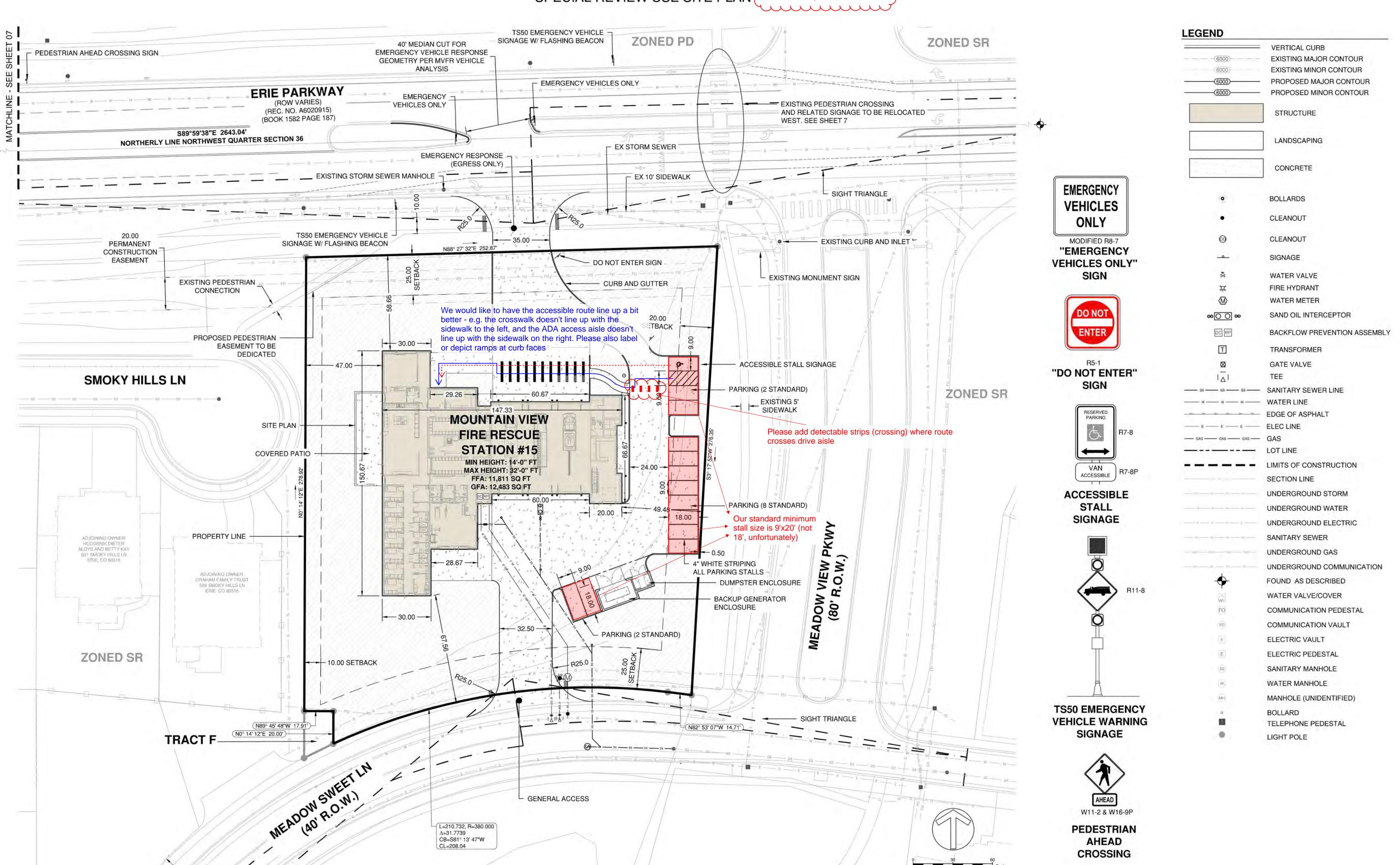
12

Please label with the new parcel nomenclature from the

FLATIRON MEADOWS FILING NO.14 MINOR

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES

SPECIAL REVIEW USE SITE PLAN SP2024-00004; SRU2024-00001



SITE PLAN

SCALE: 1" = 30'

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- STATION E RESCUE .
REVIEW US VIEW FIRE I SPECIAL R

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2321-001

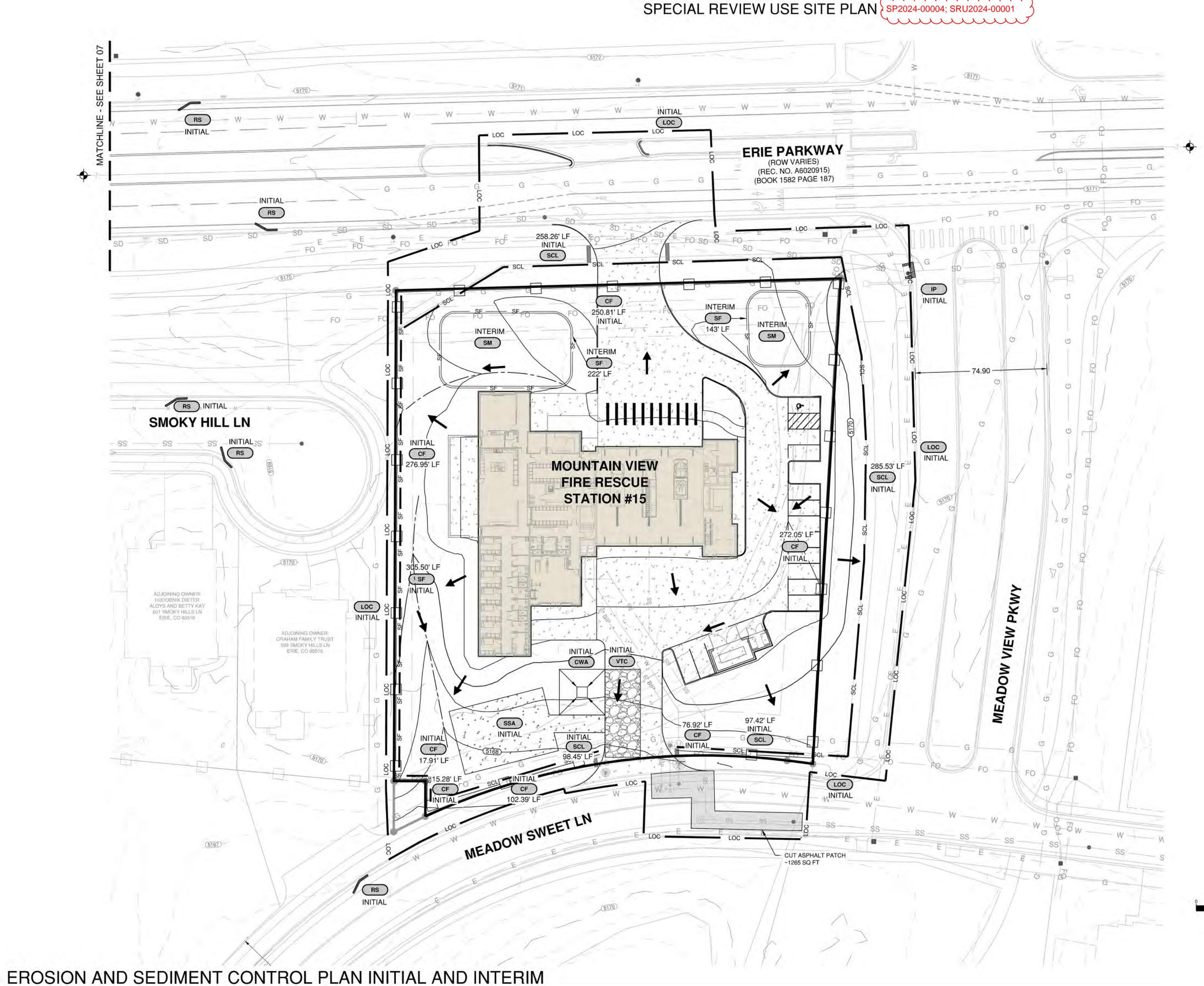
1" = 30'

JUN 28, 2024

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SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES



FOR FINAL EROSION CONTROL, SEE SHEET 08 LANDSCAPE PLAN LEGEND VERTICAL CURB STRUCTURE LANDSCAPING CONCRETE **BOLLARDS** CLEANOUT WATER VALVE FIRE HYDRANT WATER METER SAND OIL INTERCEPTOR **BACKFLOW PREVENTION ASSEMBLY TRANSFORMER GATE VALVE** LIMITS OF CONSTRUCTION SECTION LINE UNDERGROUND STORM UNDERGROUND WATER UNDERGROUND GAS UNDERGROUND COMMUNICATION FOUND AS DESCRIBED WATER VALVE/COVER COMMUNICATION PEDESTAL COMMUNICATION VAULT ELECTRIC VAULT **ELECTRIC PEDESTAL** SANITARY MANHOLE WATER MANHOLE MANHOLE (UNIDENTIFIED) BOLLARD TELEPHONE PEDESTAL LIGHT POLE CWA CONCRETE WASHOUT AREA CF CONSTRUCTION FENCE SF SILT FENCE SCL SEDIMENT CONTROL LOG

SSA STABILIZED STAGING AREA

SM STOCKPILE MANAGMENT

LOC LIMITS OF CONSTRUCTION
DRAINAGE ARROW

RS ROCK SOCK

IP INLET PROTECTION

VTC VEHICLE TRACKING CONTROL

STATION #15 RE ROSIC MOUNTA

SCALE: 1" = 30'

3 of 18

MDC

2321-001

1" = 30'

JUN 28, 2024

STRATEGIC (720) 206-6931
SITE DESIGNS CPERDUE@STRATEGICSITEDES
ATTENTION: CHRISTOPHER PER

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MOUNTAIN VIEW FIRE RESCUE - STATION #15 SPECIAL REVIEW USE

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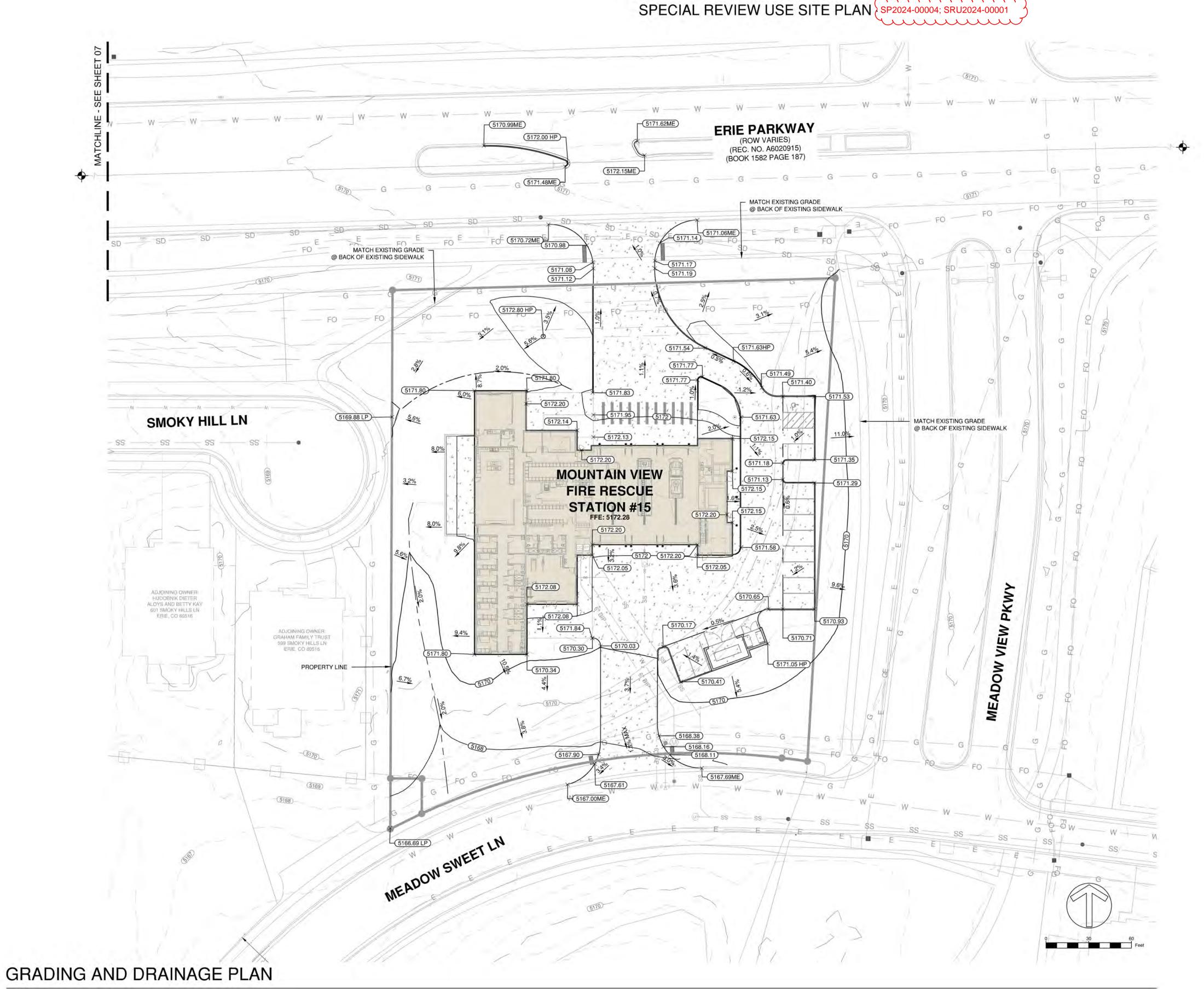
2321-001

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SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES



SCALE: 1" = 30'

LEGEND VERTICAL CURB EXISTING MAJOR CONTOUR PROPOSED MINOR CONTOUR STRUCTURE LANDSCAPING CONCRETE BOLLARDS CLEANOUT CLEANOUT SIGNAGE WATER VALVE FIRE HYDRANT WATER METER SAND OIL INTERCEPTOR BACKFLOW PREVENTION ASSEMBLY **TRANSFORMER** GATE VALVE LIMITS OF CONSTRUCTION SECTION LINE UNDERGROUND STORM UNDERGROUND WATER UNDERGROUND ELECTRIC SANITARY SEWER UNDERGROUND GAS UNDERGROUND COMMUNICATION FOUND AS DESCRIBED WATER VALVE/COVER COMMUNICATION PEDESTAL COMMUNICATION VAULT ELECTRIC VAULT ELECTRIC PEDESTAL SANITARY MANHOLE WATER MANHOLE MANHOLE (UNIDENTIFIED) BOLLARD TELEPHONE PEDESTAL LIGHT POLE

CONTACT INFORMATION
88 INVERNESS CIRCLE EAST, SUITE B-101
ENGLEWOOD, CO 80112
(720) 206-6931
SIGNS
CPERDUE@STRATEGICSITEDESIGNS.COM
ATTENTION: CHRISTOPHER PERDUE, P.E., N



MOUNTAIN VIEW FIRE RESCUE - STATION #1

SPECIAL REVIEW USE

JUN 28, 2024 T SHEETS

2321-001

1" = 30'

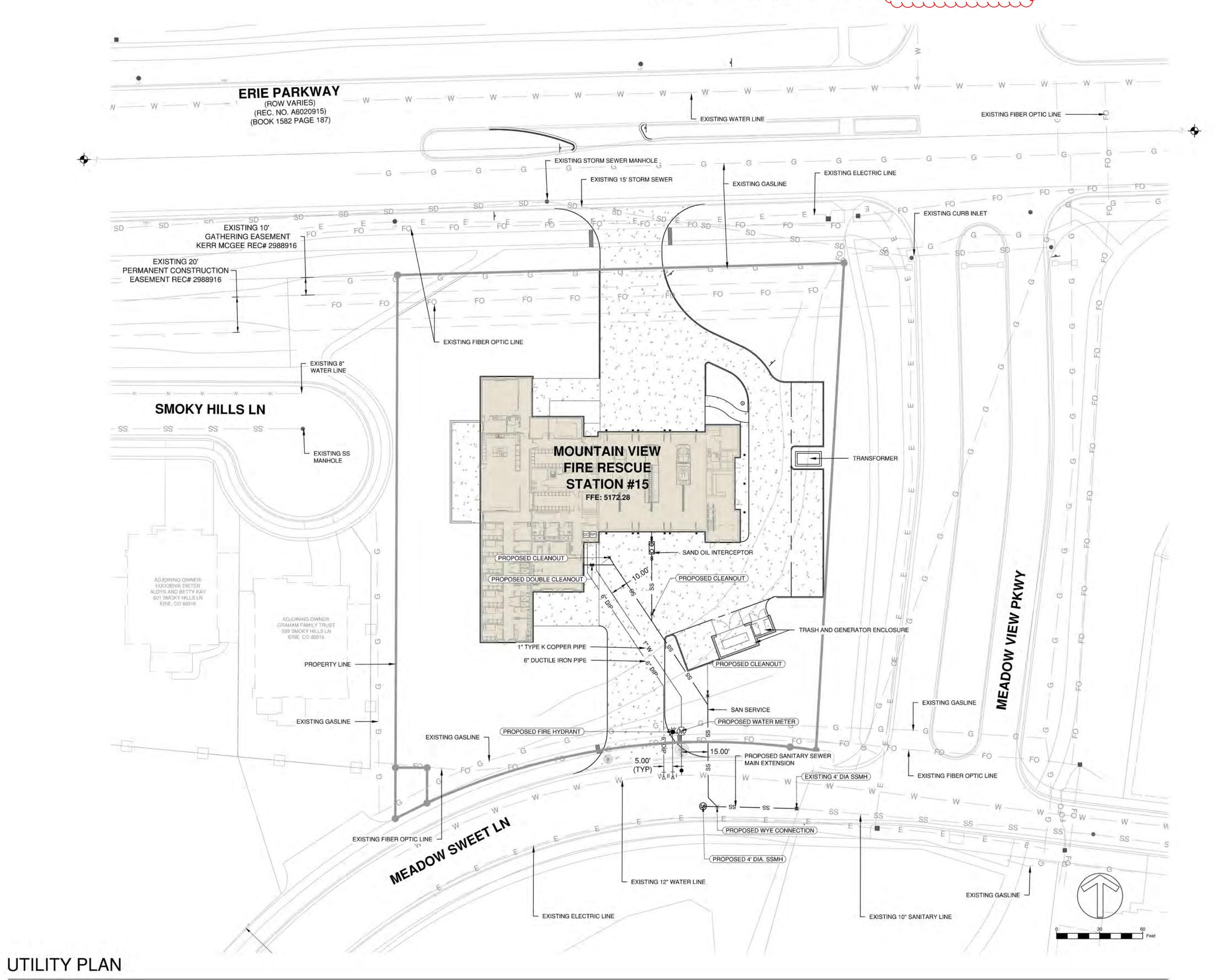
5 of 18

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SPECIAL REVIEW USE SITE PLAN SP2024-00004; SRU2024-00001



SCALE: 1" = 30'

		VERTICAL CURB
	000	EXISTING MAJOR CONTOUR
	000)	EXISTING MINOR CONTOUR
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(6	000	PROPOSED MINOR CONTOUR
		STRUCTURE
		LANDSCAPING
		CONCRETE
	•	BOLLARDS
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1		SIGNAGE
	×	WATER VALVE
	Ħ	FIRE HYDRANT
	₩	WATER METER
∞[∞ ()	SAND OIL INTERCEPTOR
D	CRP	BACKFLOW PREVENTION ASSEMBL
10	T	TRANSFORMER
	፟	GATE VALVE
I	$\overline{\Delta}$	TEE
-	ss	 SANITARY SEWER LINE
		WATER LINE
111		EDGE OF ASPHALT
		- ELEC LINE
	GAS	- 774 <u>0</u> 12
300		LIMITS OF CONSTRUCTION
2.7	À.T.	SECTION LINE
		UNDERGROUND STORM
		UNDERGROUND WATER
		UNDERGROUND ELECTRIC
		SANITARY SEWER
		UNDERGROUND GAS
FO -	F0	UNDERGROUND COMMUNICATION
-	→	FOUND AS DESCRIBED
	wv	WATER VALVE/COVER
- 3	FO	COMMUNICATION PEDESTAL
(FO	COMMUNICATION VAULT
	E	ELECTRIC VAULT
	E	ELECTRIC PEDESTAL
	35	SANITARY MANHOLE
	w.	WATER MANHOLE
	MH)	
		MANHOLE (UNIDENTIFIED)
		BOLLARD TELEPHONE PEDESTAL
		LIGHT POLE



#1 VIEW FIRE RESCUE - STATION SPECIAL REVIEW USE MOUNTA

> 1" = 30' JUN 28, 2024

2321-001

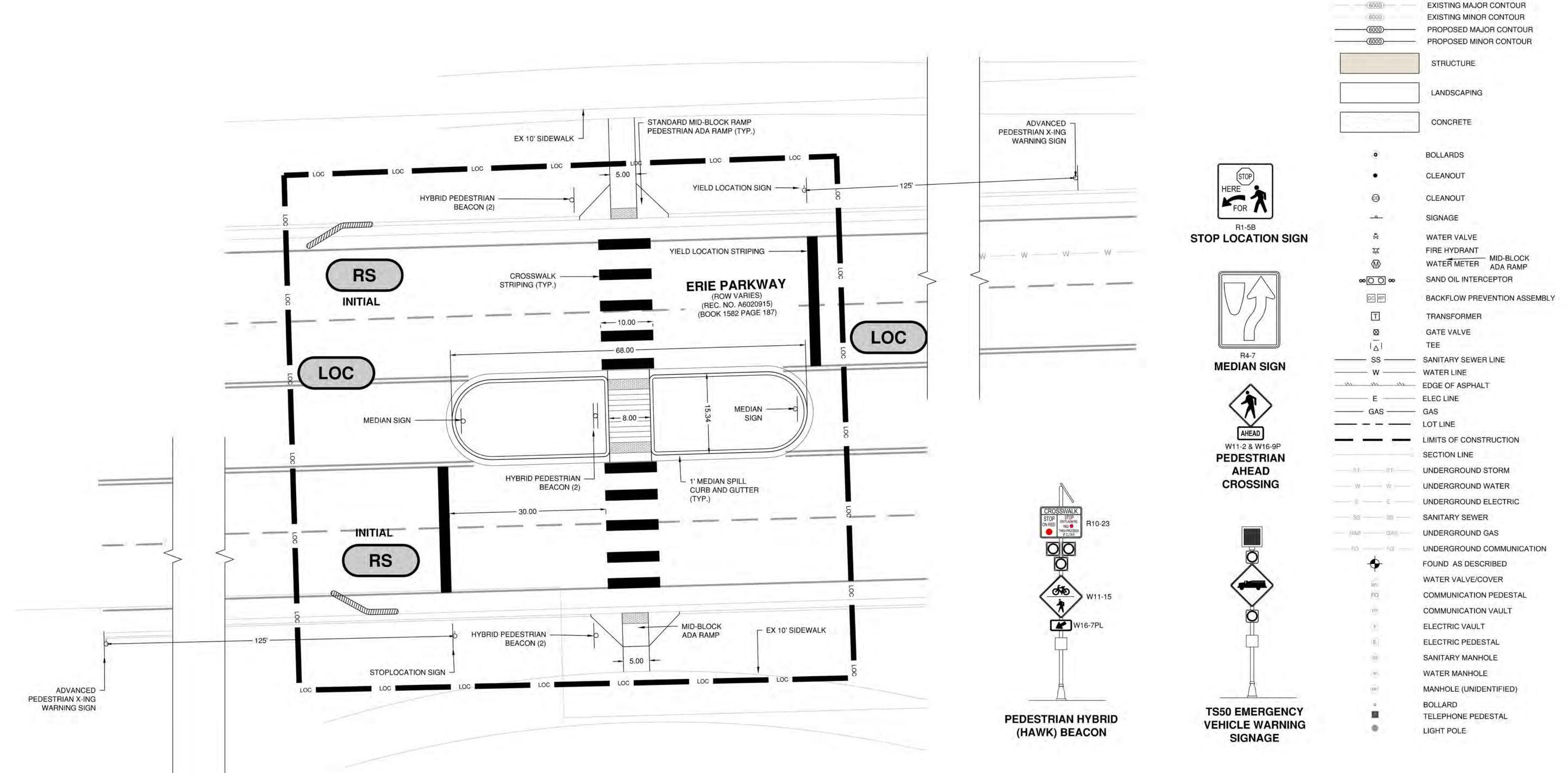
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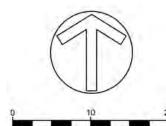
FLATIRON MEADOWS FILING NO.14 MINOR

VERTICAL CURB

LEGEND

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OFFSITE IMPROVEMENTS - EROSION CONTROL, SIGNAGE AND STRIPING...

SCALE: 1" = 10'

MDC 2321-001 1" = 10'

#15

- STATION

VIEW FIRE RESCUE SPECIAL REVIEW U

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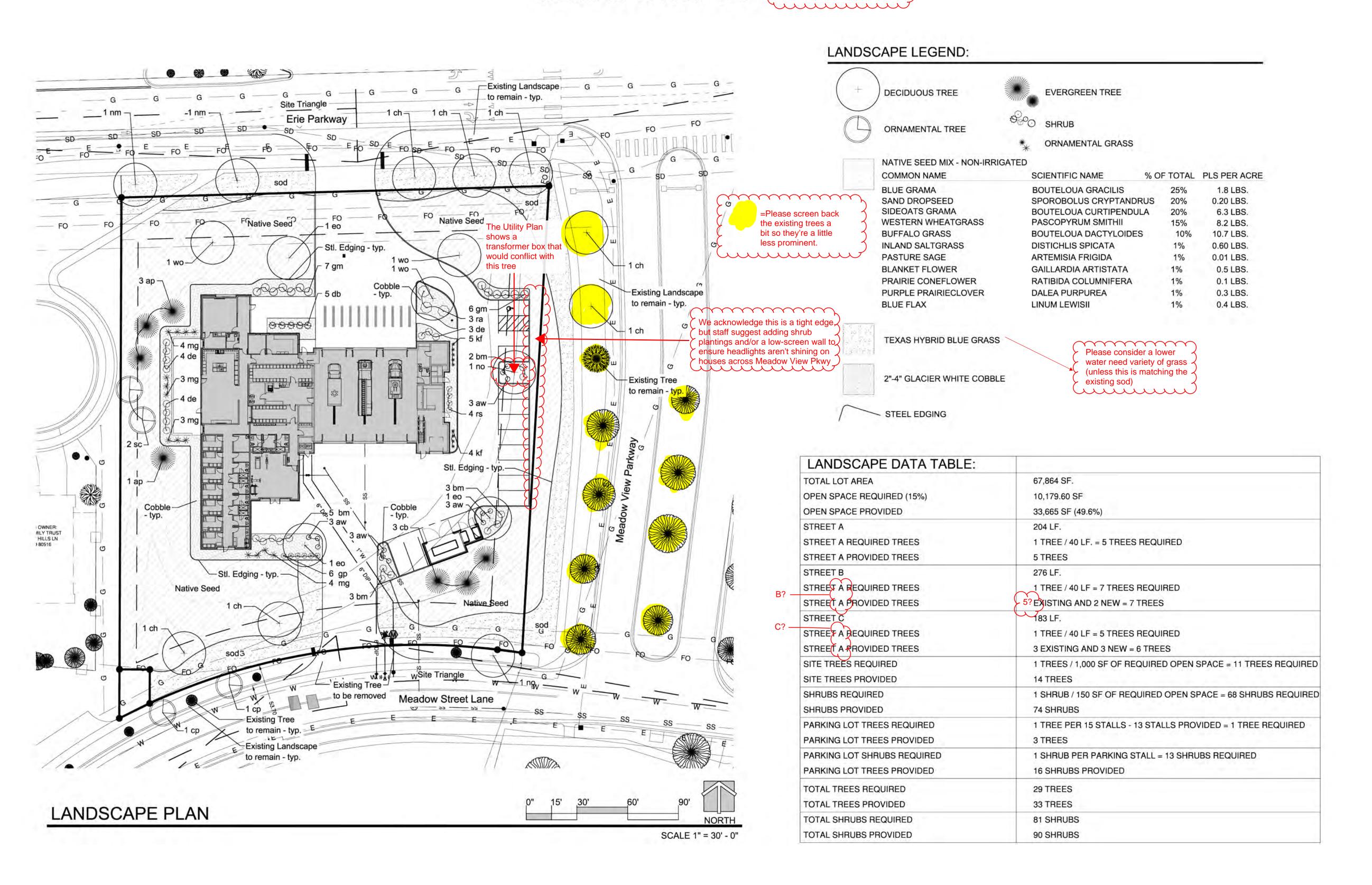
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SPECIAL REVIEW USE SITE PLAN SP2024-00004; SRU2024-00001







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STATION VIEW FIRE RESCUE SPECIAL REVIEW U

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H					
REVISIONS	Description				
	Date				
	By				
DR	AWN	S	dw		
СН	ECKED	ji	ah		
DES	SIGNED		dw		

2321-001

6/28/2024

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LANDSCAPE NOTES:

- PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND/OR LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- 2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
- 3. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
- 4. ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
- LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION
 OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR
 THE REPAIR / REPLACEMENT FOR HE DAMAGE CAUSED TO UTILITIES.
- FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
- 8. ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP ONE-THIRD (3) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF HE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- 9. AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
- 10. COMMERCIAL GRADE 3/16 INCH BY 4" POWDER COATED STEEL EDGING W/ ROLLED EDGE SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
- 12. LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- 13. USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- 14. PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
- 15. PLANTING BEDS RECEIVING MULCH MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
- 16. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
- 17. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- 18. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT OWNER/LANDSCAPE ARCHITECT'S APPROVAL.
- INSTALLATION OF LANDSCAPE AND IRRIGATION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY
 AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- 21. PLANTS SHALL EXCEED THE MINIMUM SIZES PER "ASNS" STANDARDS AND NOTED ON THE PLANS, REGARDLESS OF THE SIZE OF THE CONTAINER. NO EXCEPTIONS.
- 22. NO TREES OR SHRUBS SHALL BE PLANTED WITHIN 3 FEET OF A FIRE HYDRANT.
- 23. PLACE FOUR INCHES OF SPECIFIED MULCH IN ALL SHRUB BEDS, GROUNDCOVER BEDS, ANNUAL BEDS, AND TREE RINGS.
- 24. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR BEGINNING ON THE DATE OF FINAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD.
- 25. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM AS APPROVED BY THE CITY OF GREELEY PLANNING DEPARTMENT SHALL BE
- 26. WHERE DISSIMILAR MATERIAL BUT ONE ANOTHER, STEEL EDGING SHALL BE USED TO SEPARATE THE MATERIALS.
- 27. ALL NATIVE SEED AREAS SHALL HAVE TEMPORARY IRRIGATION UNTIL ESTABLISHMENT OF NATIVE TURF.
- 28. PROPERTY OWNER SHALL BE RESPONSIBLE FOR ON-SITE MAINTENANCE AND REPLACEMENT OF DEAD LANDSCAPE MATERIAL AFTER THE ONE YEAR WARRANTY PERIOD PROVIDED BY GENERAL CONTRACTOR HAS EXPIRED.

SYMBOL	QTY.	I.D.	COMMON NAME	BOTANICAL NAME	SIZE	COND.
SHADE T	REES					
	2	nm	NORWAY MAPLE	ACER PLATANOIDES	2" CAL.	B&B
	7	ch	COMMON HACKBERRY	CELTIS OCCIDENTALIS	2" CAL.	B&B
(+)	3	wo	SWAMP WHITE OAK	QUERCUS BICOLOR	2" CAL.	B&B
\ /	2	no	NORTHERN RED OAK	QUERCUS RUBRA	2" CAL.	B&B
	3	eo	ENGLISH OAK	QUERCUS ROBUR	2" CAL.	B&B
ORNAME	NTAL	TREES				
	2	ср	CHANTICLEER PEAR	PYRUS CALLERYANA	1 1/2" CAL.	В&В
	4	sc	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	1 1/2" CAL.	B&B
EVERGR	EEN TE	REES		,		
	3	cb	COLORADO BLUE SPRUCE	PICEA PUNGENS	6' HT.	B&B
	4	ар	AUSTRIAN PINE	PINUS NIGRA	6' HT.	B & B
SHRUBS						
20	3	ra	GRO-LOW SUMAC	RHUS AROMATICA 'GROW LOW'	5 GAL.	CONT.
0 00	12	aw	ANOTHONY WATERER SPIREA	SPIREA JAPONICA 'ANTHONY WATER'	5 GAL.	CONT.
ø O O	6	gp	GOLD DROP POTENTILLA	POTENTILLA FRUITICOSA 'GOLD DROP'	5 GAL.	CONT.
0	13	gm	GREEN MOUND CURRANT	RIBES ALPINUM 'GREENMOUND'	5 GAL.	CONT.
~ ~	13	bm	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS	5 GAL.	CONT.
	5	db	DWARF BURNING BUSH	EOUNYMUS ALATA 'DWARF NANA'	5 GAL.	CONT.
	4	rs	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL.	CONT.
	11	de	DWARF EUROPEAN CRANBERRY	VIBURNUM OPULUS 'NANUM'	5 GAL.	CONT.
ORNAME	NTAL	GRASS	SES			
au de	9	kf	KARL REED FORESTER GRASS	CALAMAGROSTIS ACUTI ' KARL FORESTER'	1 GAL.	CONT.
* *	14	mg	MAIDEN GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	1 GAL.	CONT.



CONTACT INFORMATION
88 INVERNESS CIRCLE EAST, SUITE B-10
ENGLEWOOD, CO 80112
(720) 206-6931
CPERDUE@STRATEGICSITEDESIGNS.CO

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DATE 6/28/2024

2321-001

9 of 18

Please label with the new parcel nomenclature from the

FLATIRON MEADOWS FILING NO.14 MINOR

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

> SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES SPECIAL REVIEW USE SITE PLAN SP2024-00004; SRU2024-00001

DO NOT CUT TREE LEADER. PRUNE ONLY CROSSOVER LIMBS, CO- DOMINANT LEADERS AND

SECURE WITH 3 SPECIFIED 8-FT STEEL TREE STAKES IN UNDISTURBED SOIL. INSTALL WIRE AND NON- GIRDLING FLAT FABRIC FASTENERS IMMEDIATELY AFTER PLANTING, ALLOWING 3"-4" TRUNK MOVEMENT. COVER WIRE WITH SPECIFIED RUBBER GARDEN HOSE AND INSTALL 4" FLORESCENT ORANGE FLAG ON EACH WIRE.

PLANT ROOT BALL 3"-4" HIGH WITH RESPECT TO FINISHED GRADE. DO NOT COVER TOP OF ROOTBALL WITH SOIL. CUT AND REMOVE TOP 2/3 OF WIRE BASKET AND REMOVE TOP 2/3 BURLAP. REMOVE ALL ROPE, TWINE AND WIRE OTHER THAN BASKET.

 PLACE MULCH/COBBLE RING AROUND TREE. DO NOT PLACE MULCH/ COBBLE IN CONTACT WITH TREE TRUNK. RE: SPECIFICATIONS FOR MULCH/COBBLE TYPE AND DEPTH.

PREPARE AND PLACE BACKFILL SOIL MIX AS PER SPECIFICATIONS.

INJURED OR DEAD BRANCHES FROM TREE.

SET ROOTBALL ON UNDISTURBED SOIL. SET PLUMB AND CENTER IN PIT.

COMPACTED SUBGRADE

SHADE TREES: LOWEST LIMBS MIN. 6-8' FROM ROOT CROWN

AFTER TWO YEARS NO LIMBS SHALL BE WITHIN 8' OF PAVEMENT

REJECT TREES WITH BROKEN OR DAMAGED ROOTBALLS

DECIDUOUS TREE

2 x ROOTBALL DIA.

NOT TO SCALE

REMOVE ONLY INJURED OR DEAD BRANCHES FROM SHRUBS. SHRUB SPACING AS PER PLANS.

PLACE 3' DIA. MIN. RING OF MULCH/COBBLE UNDER SHRUB.

PLACE PLANT IN VERTICAL, PLUMB POSITION. REMOVE CONTAINER PRIOR TO PLACING BACKFILL.

PREPARE AND PLACE PLANTING SOIL MIX AS PER SPEC.

PLACE 3" OF SPECIFIED BACKFILL BELOW THE ROOTBALL.

2 x ROOTBALL DIA. SHRUB PLANTING

NOT TO SCALE

SECURE WITH 3 SPECIFIED 8-FT STEEL TREE STAKES IN UNDISTURBED SOIL. INSTALL WIRE AND NON-GIRDLING FLAT FABRIC FASTENERS IMMEDIATELY AFTER PLANTING, ALLOWING 3"-4" TRUNK MOVEMENT. COVER WIRE WITH SPECIFIED RUBBER GARDEN HOSE AND INSTALL 4" FLORESCENT ORANGE FLAG ON EACH WIRE PLANT ROOT BALL 3"-4" HIGH WITH RESPECT TO FINISHED GRADE. DO NOT COVER TOP OF ROOTBALL WITH SOIL. CUT AND REMOVE TOP 2/3 OF WIRE BASKET AND REMOVE TOP 2/3 BURLAP. REMOVE ALL ROPE, TWINE AND WIRE OTHER THAN BASKET.

> PLACE MULCH/COBBLE RING AROUND TREE. DO NOT PLACE MULCH/COBBLE IN CONTACT WITH TREE TRUNK. RE: SPECIFICATIONS FOR MULCH/COBBLE TYPE AND DEPTH.

DO NOT CUT TREE LEADER. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND INJURED OR DEAD BRANCHES FROM

PREPARE AND PLACE BACKFILL SOIL MIX AS PER SPECIFICATIONS.

SET ROOTBALL ON UNDISTURBED SOIL. SET PLUMB AND CENTER IN PIT.

COMPACTED SUBGRADE

REJECT TREES WITH BROKEN OR DAMAGED ROOTBALLS

EVERGREEN TREE PLANTING

2 x ROOTBALL DIA.

SIDEWALK, TOP OF CURB, OR TOP OF SEAT WALL

FINISHED GRADE OR TOP OF SOD LEVEL WITH PAVED EDGE

SPECIFIED SOD OR SEED

FULL DEPTH OF SPECIFIED AMENDED TOPSOIL PLACED APPROX. 1" BELOW TOP OF PAVED

EDGE FOR SOD AND LEVEL FOR SEED

SOD ADJACENT TO WALKS AND CURBS

SIDEWALK, TOP OF CURB, OR TOP OF SEAT WALL

FINISHED GRADE OR TOP OF MULCH/COBBLE 1/2" BELOW PAVED EDGE

SPECIFIED COBBLE

SPECIFIED WEED BARRIER FABRIC UNDER MULCH/ COBBLE WITH SPECIFIED PRE-EMERGENT HERBICIDE BELOW FABRIC

FULL DEPTH OF SPECIFIED AMENDED TOPSOIL PLACED THE NECESSARY DISTANCE BELOW PAVED EDGE

MULCH ADJACENT TO WALKS AND CURBS

SPECIFIED SOD OR SEED

FINISHED GRADE OR TOP OF SOD LEVEL WITH TOP OF EDGER

STEEL EDGER

FINISHED GRADE OR TOP OF MULCH/COBBLE 1/2" BELOW TOP OF EDGER

SPECIFIED MULCH/COBBLE

SPECIFIED WEED BARRIER FABRIC UNDER MULCH COBBLE SPECIFIED PRE-EMERGENT HERBICIDE BELOW FABRIC

FULL DEPTH OF SPECIFIED AMENDED TOPSOIL PLACED THE NECESSARY DISTANCE BELOW TOP OF EDGER

EDGE TREATMENT

EDGER

NOT TO SCALE

NOT TO SCALE





STATION ESCUE VIEW U R VIEW FIRE I

MOUNTA

#

sdw

sdw 2321-001

10 of 18

6/28/2024

Please label with the new parcel nomenclature from the

GENERAL NOTES

ALL LIGHT SOURCES SHALL BE CONCEALED OR

ALL FIXTURES SHALL BE LED WITH A COLOR

THE MAXIMUM HEIGHT OF ANY LIGHTING POLE

THE MAXIMUM LIGHTING LEVEL UNIFORMITY RATIO (MAXIMUM TO MINIMUM) FOR NONRESIDENTIAL

IN NO CASE SHALL EXTERIOR LIGHTING ADD MORE

RENDERING INDEX ABOVE 70.

SHALL NOT EXCEED 25FT.

PARKING LOTS SHALL BE 10:1.

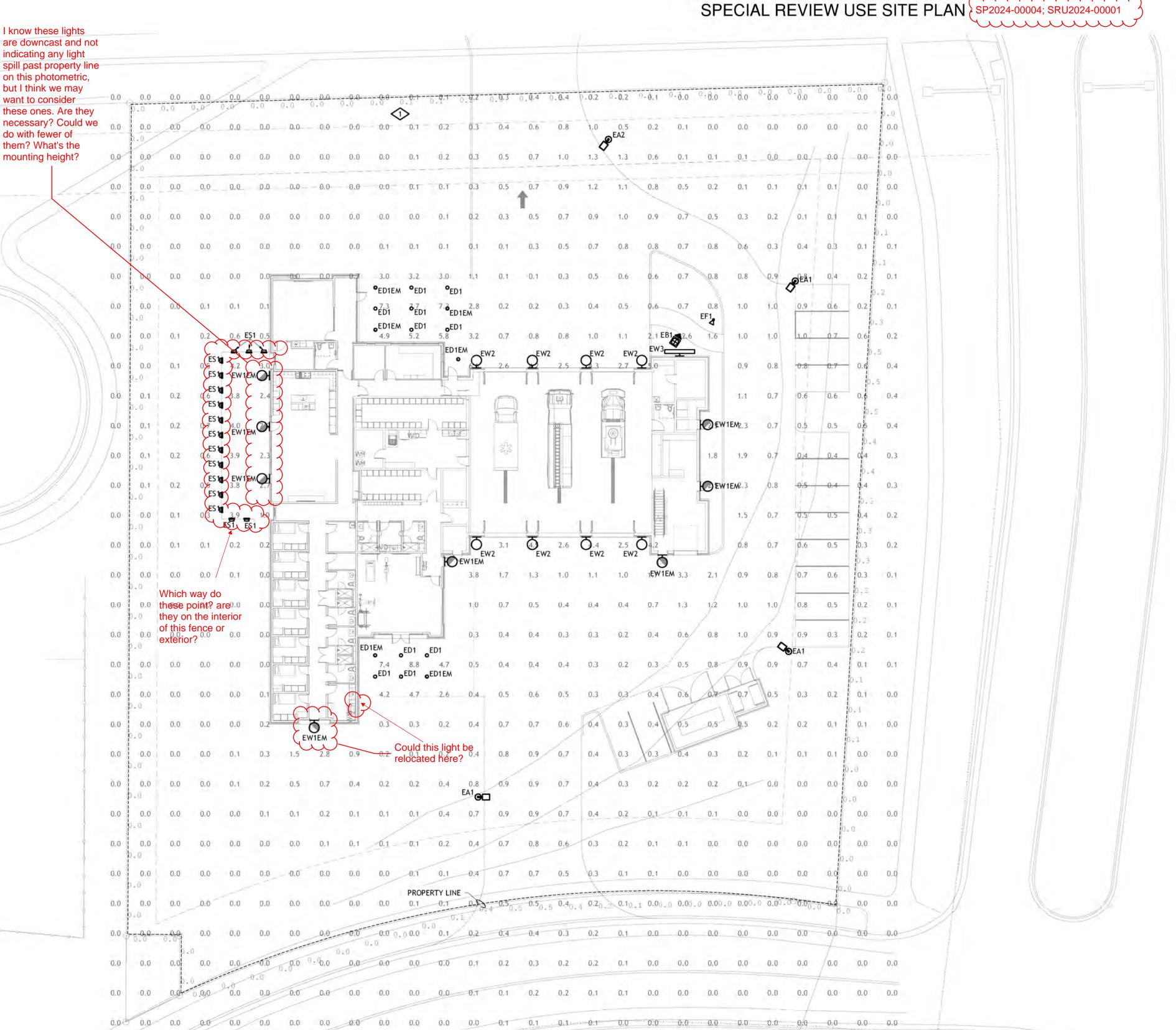
SHIELDED WITH AN IESNA FULL CUT-OFF STYLE FIXTURE TO MINIMIZE POTENTIAL FOR GLARE AND

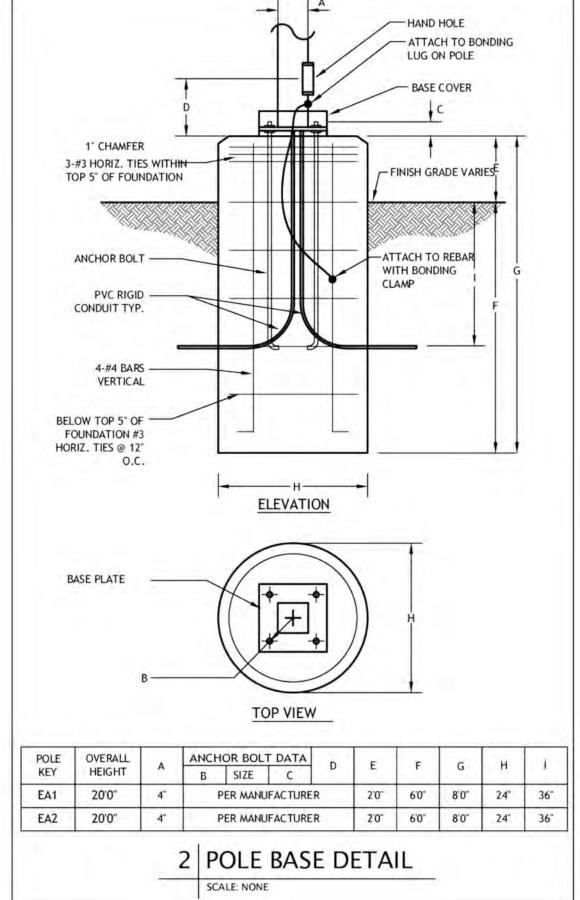
UNNECESSARY DIFFUSION ON ADJACENT PROPERTY

FLATIRON MEADOWS FILING NO.14 MINOR

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES





Calculation Summary

Property Line

Parking Lot

		FOOTCANDLE TO ILLUMINATION LEVELS AT NT OFF SITE.
	PURPOSE	DOOR LIGHT NOT NECESSARY FOR SECURITY ES SHALL BE REDUCED VIA MOTION SENSORS HED OFF DURING NON-OPERATING HOURS.
	STATUES POLE, PE NARROW	XTURES USED TO ILLUMINATE FLAGS, 6, OR ANY OTHER OBJECTS MOUNTED ON A EDESTAL, OR PLATFORM SHALL USE A 7 BEAM OF THAT THAT WILL NOT EXTEND THE ILLUMINATED OBJECT.
		LIGHTING FIXTURES
	A a	LUMINAIRE TYPE, REFERENCING LUMINAIRE SCHEDULE, TYPICAL ALL FIXTURES. SUBSCRIPT, IF SHOWN, REFERENCES WALL SWITCH OR RELAY/ZONE CONTROL.
	$\Delta =$	WALL MOUNTED LUMINAIRE
	0 🗆	DOWNLIGHT LUMINAIRE
		HATCH INDICATES EMERGENCY LUMINAIRE
	$\Theta\Box$	EXTERIOR AREA LIGHT
	₽	MONOPOINT LUMINAIRE
		BOLLARD
36"		STEP LIGHT

KEYNOTE LEGEND

	KEY VALUE	
Max/Min I.A. I.A. I.A. I.A. I.A. I.A. I.A. I.A	1.	APPROXIMATE LOCATION OF IN-GRADE UPLIGHTS FOR MONUMENT SIGN. FIXTURES ARE NOT SHOWN ON PHOTOMETRIC PLAN SINCE THEY ARE NOT INTENDED TO ILLUMINATE THE HORIZONTAL PLANE. FIXTURES SHALL UTILIZE A NARROW BEAM OF LIGHT TO

ILLUMINATE THE SIGN.

TATIO S SCUE RE **VIEW FIRE** UNTA

0

PD, ENM, ANW

KMD

PD, ENM, ANW 2321-001

JUN 24, 2024

1' = 20'

I know these lights

indicating any light

do with fewer of

them? What's the

Integrated Lighting, Technology, and Electrical Solutions 1900 Wazee Street #205 Denver, CO 80202 303.296.3034 se dealgrains, com-

Please label with the new parcel nomenclature from the

BOF

BOF

OFH

CEILING

CEILING

POLE

WALL

70 CRI

80 CRI

90 CRI

80 CRI

80 CRI

90 CRI

80 CRI

FLATIRON MEADOWS FILING NO.14 MINOR

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST

OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES

SPECIAL REVIEW USE SITE PLAN SP2024-00004; SRU2024-00001

LIGHTING FIXTURE SCHEDULE

EXTERIOR LED AREA LIGHT, FULL CUTOFF

TYPE IV MEDIUM DISTRIBUTION.

TYPE II MEDIUM DISTRIBUTION.

SLOPED CEILING ADAPTER

ED1EM 6IN DIAMETER LED RECESSED DOWNLIGHT,

EXTERIOR FLAG POLE LIGHT

GOOSENECK ARM

ABOVE GROUND POWER SUPPLY

FULL-CUTOFF, EMERGENCY BATTERY

EXTERIOR LED WALL MOUNT, 12IN SHADE,

HOUSE-SIDE SHIELD, ROUND POLE EXTERIOR LED AREA LIGHT, FULL CUTOF

HOUSE-SIDE SHIELD, ROUND POLE EXTERIOR LED BOLLARD, TYPE IV DISTRIBUTION, DOUBLE HEAD

6IN DIAMETER LED RECESSED DOWNLIGHT,

SLOPED CEILING ADAPTER, EMERGENCY

D-Series Size 0 LED Area Luminaire Introduction The modern styling of the highly refined aesthetic to benefits of the latest in LE a high performance, high I luminaire. The photometric performance high I luminaire. The photometric performance high I luminaire. The photometric performance high I luminaire and I cover density. I photometric performance high I luminaire and I cover density. I photometric performance high I luminaire and I cover density. I photometric performance high I service in a real light HI 2.2 No. I lead that I was a service life of over 100,000. Weight 22 be a service with the latest in LE and I long the latest in	Somes offers the technology into incarcy, long-life the results in sites sater pole spacing series outstanding the number of g applications, with a rest expected. If you have the results in sites to the results in sites in the results in sites and the results in sites a	FEATURES & SPECIFICATIONS ASTRABO 692 — Tigorial application incident continues and places of the Continues and the C
EXAMPLE: DSXD LED P6 40K 70CRI T3M MVOLT SPA NL RANGE RA	MATERIALS Colorvor be bottlers to make of BLIGS-TE extracted purposation profiles and projected. If y a treat company gives 17th extryle company of SS special distributions and projected. If y a treat company gives 17th extryle company of SS special distributions and projected. If y a treat company gives 17th extryle company of SS special distributions and projected. If y a treat company gives 17th extryle company projected. If y a treat company gives 17th extryle company projected. If y a treat company gives 17th extryle company projected. If y a treat company gives 10th gives 1	SOURCE STAMP or other product. Decrease one death complained and the state of the s
Secretario control mine Sec. Se	Refresh and devices a spalled Contagh at macronisals present, and trends and for long term finals. CERTIFICATION Certified and Appropriate as per CSA CSE3 No. 2500 standard and AMULAL, state standard, for well assembly as independent and AMULAL, state standard, for well assembly performed grade standard, for well assembly as independent and according to according as with ISS L9-79 CS standards by an independent as 25°C. Lumino Congressment in according as with ISS L9-79 CS standards and 25°C. Lumino Congressment in according as with ISS L9-79 CS standards and ISSA LARGE standards and ISS	1000 2000 2015 0015

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT, AFF(AFG) - ABOVE FINISHED FLOOR (GRADE), WFD - WALL FIXTURE DEPTH A. ALL REFLECTOR LAMPS SHALL BE PROVIDED AS WIDE FLOOD DISTRIBUTION, UON. B. LUMENS LISTED ARE DELIVERED LUMENS, NOT INITIAL.

C. FOR ALL SPECIFIED LUMINAIRES. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MOUNTING HARDWARE, ACCESSORIES, COMPONENTS, LEADER/JUMPER CABLES, WIRE FEED CONNECTORS, END CAPS, REMOTE POWER SUPPLIES, AND ANY OTHER NECESSARY COMPONENT AS REQUIRED FOR INSTALLING A SECURE AND FULLY FUNCTIONAL SYSTEM. D. THE CONTRACTOR SHALL VERIFY THE CEILING TYPE BEFORE ORDERING LIGHT FIXTURES TO ENSURE COMPATIBILITY WITH SPECIFIED FIXTURES. NOTIFY SPECIFIER OF ANY DISCREPANCIES.

MANUFACTURER

EAGLE MOUNTAIN

CATALOG NUMBER

DSX0-LED-P1-30K-T4M-MVOLT-

DSX0-LED-P1-30K-T2M-MVOLT-

LDN6-30/10-L06-BR-120-EZ1

RPA-HS-DBLXD

RPA-HS-DBLXD

SG-AG-DRIVER

L-BB-SGB

E4WH-DBLXD

NA-NA-NA-NA-LED16-3000K-FL

277-3000K-DF_MCS-DF_FT

E. ALL FINISH SELECTIONS SHALL BE VERIFIED BY ARCHITECT/INTERIOR DESIGNER/OWNER AS PART OF THE SUBMITTAL PROCESS. UNLESS OTHERWISE NOTED, EC SHALL ASSUME STANDARD LUMINAIRE F. EC SHALL VERIFY ALL FIXTURE MOUNTING HEIGHTS WITH ARCHITECTURAL ELEVATIONS PRIOR TO ANY ROUGH-IN

G. REMOTE DRIVER(S)/TRANSFORMER(S) SHALL BE LOCATED IN A CONCEALED, ACCESSIBLE, AND VENTILATED LOCATION AS PROPOSED BY THE EC AND APPROVED BY THE ARCHITECT. REFER TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR MINIMUM REQUIRED CLEARANCES FROM ADJACENT MATERIALS, AND WIRING REQUIREMENTS TO PREVENT VOLTAGE DROP H. FOR LUMINAIRES SPECIFIED WITH 0-10V DIMMING, 0-10V DIMMING DRIVER(S) REQUIRE ADDITIONAL LOW VOLTAGE CONTROL WIRES IN ADDITION TO STANDARD WIRING FOR POWER.

I. EXTERIOR LUMINAIRES SHALL BE COLD WEATHER RATED FOR 0 DEG. F / -18 DEG. C., AND RATED FOR OUTDOOR USE. J. SPECIFICATIONS DO NOT INCLUDE FIXTURE QUANTITIES, FINAL DIMENSIONS WITH ARCHITECTURAL FINISHES, WEIGHTS OR GAUGES, FABRICATION PROCESSES, CONSTRUCTION MEANS OR METHODS,

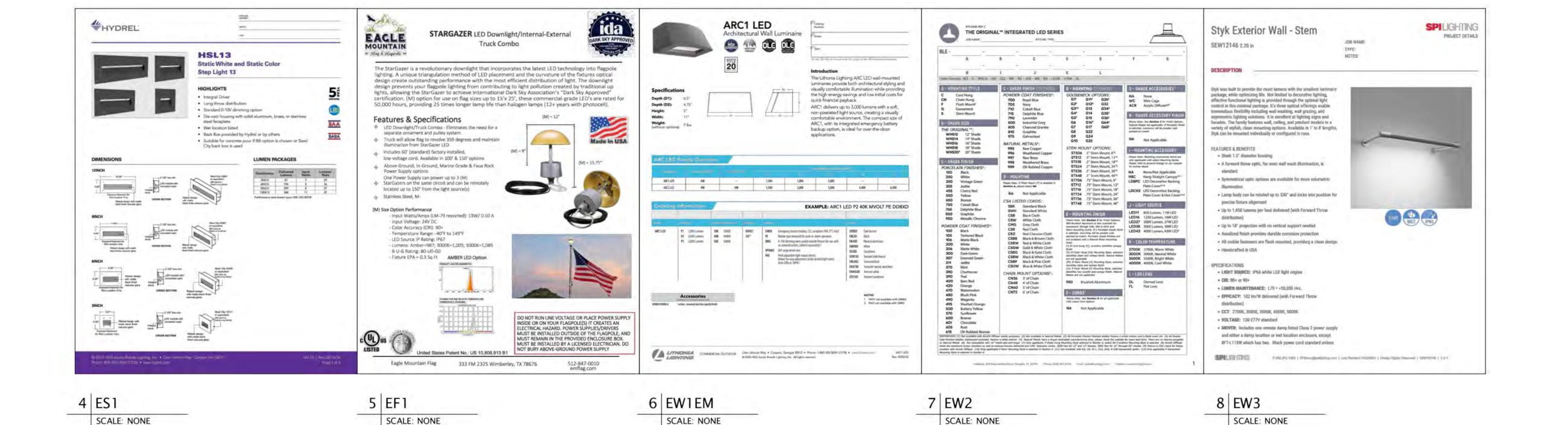
SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

1. VERIFY FIXTRUE FINISH WITH ARCHITECT/OWNER PRIOR TO ORDERING

2. FIXTURE SHALL BE AIMED DOWNWARD WITH FORWARD THROW DISTRIBUTION TOWARD FACADE TO ILLUMINATE BUILDING SIGNAGE. PROJECTION OF FIXTRUE FROM WALL IS WITHIN THE LIMITS OF THE ROOF OVERHANG. NO UPLIGHT WILL BE EMITTED INTO THE NIGHT SKY.

SCALE: NONE

3 ED1, ED1EM SCALE: NONE



AE DESIGN Integrated Lighting, Technology, and Electrical Solutions 1900 Wazee Street #205 Denver, CO 80202 303.296,3034 se dealgrains, com-

#

MOUNTA

STATION SCHEDULE RESCUE **VIEW FIRE**

PD, ENM, ANW KMD PD, ENM, ANW

2321-001 1' = 20'

JUN 24, 2024

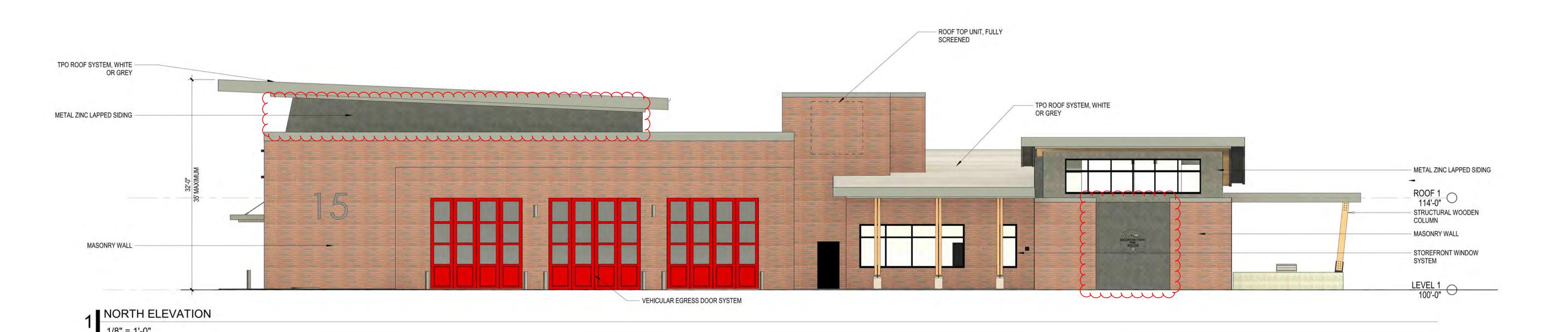
Please label with the new parcel nomen

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#

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

> SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES SPECIAL REVIEW USE SITE PLAN SP2024-00004; SRU2024-00001





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ROOF TOP UNIT, FULLY -SCREENED TPO ROOF SYSTEM, WHITE OR GREY METAL ZINC FASCIA w/ -WOOD SOFFIT BELOW STRUCTURAL WOODEN METAL ZINC LAPPED SIDING COLUMN - MASONRY WALL MASONRY WALL STOREFRONT WINDOW SYSTEM STOREFRONT WINDOW SYSTEM FENCE / SCREEN WALL

THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREIN ARE INTENDED TO DEMONSTRATE HOW ALL HVAC AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED ACCORDING TO TOWN OF ERIE, UNIFIED DEVELOPMENT CODE REQUIREMENTS. IT IS THE APPLICANTS RESPONSIBILITY TO ENSURE THAT THIS APPROVED SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS, REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES, OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE APPROVED SCREENING MAY RESULT IN DELAY

2 WEST ELEVATION

1/8" = 1'-0"

OF FINAL INSPECTIONS AND/ OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

EXTERIOR MATERIALS LEGEND NORMAN BRICK 1/3 OFFSET SQUARE PANEL B.O.D. INTERSTATE BRICK B.O.D. RHEINZINK COLOR: GRANUM SKYGREY COLOR: IRONSTONE

VIEW FIRE RESCUE - STATION SPECIAL REVIEW USE MOUNTA

#15

2321-001 As indicated JUN 28, 2024

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES



1 OVERALL FLOOR PLAN

1" = 10'-0"

VIEW FIRE RESCUE - STATION SPECIAL REVIEW USE

MOUNTAIN

1" = 10'-0"

JUN 28, 2024

FLATIRON MEADOWS FILING NO.14 MINOR SUBDIVISION

FLATIRON MEADOWS MASTER PLAT, TRACT G

IN THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

1.56 ACRES - LOT 1,BLOCK 1

PURPOSE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO REDEFINE THE PARCEL OF LAND BEING ENTIRELY TRACT G OF THE FLATIRON MEADOWS MASTER PLAT, AS RECORDED AT RECEPTION NO. 2988916, TO FLATIRON MEADOWS FILING NO. 14, LOT 1, BLOCK 1

<u>DEDICATED AND OWNERSHIP STATEMENT:</u>

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, OR LIEN HOLDERS OF CERTAIN LANDS IN THE TOWN OF ERIE, COUNTY OF WELD, COLORADO, DESCRIBED AS FOLLOWS:

TRACT G OF THE RECORDED PLAT, FLATIRON MEADOWS MASTER PLAT, RECORDED AT RECEPTION NO. 2988916, IN THE OFFICE OF CLERK AND RECORDER OF BOULDER COUNTY AND AND ALSO BEING A PORTION OF THE SOUTH HALF OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPLE MERIDIAN, IN THE TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO.

SAID PARCEL CONTAINS 67,863.75 SQUARE FEET OR 1.56 ACRES MORE OR LESS.

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, TRACTS, STREETS AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND SUBDIVISION OF FLATIRON MEADOWS SUBDIVISION. THE PEDESTRIAN AND MAINTENANCE EASEMENT SHOWN HEREON IS DEDICATED TO THE TOWN OF ERIE AND PUBLIC, FOR PUBLIC USES AND PURPOSES AS SHOWN HEREON.

OWNER: MOUNTAIN VIEW FIRE RESCUE DISTRICT, A TITLE 32 SPECIAL DISTRICT

BY: (DAVID BEEBE)	 	(DATE)	
TITLE: FIRE CHIEF			
STATE OF COLORADO)) SS.			
COUNTY OF)			
ACKNOWLEDGED BEFORE ME THISAS	DAY OF	, 20	BY
WITNESS MY HAND AND OFFICIAL SE	AL		
NOTARY PUBLIC			
MY COMMISSION EXPIRES:	_		

I don't think we need this block - typically this is for dedications to a private entity (a Metro district or HOA). A dedication/acceptance for the town

ACCEPTANCE CERTIFICATE: THE DEDICATED PEDESTRIAN ACCESS AND MAINTENANCE EASEMENT IS HEREBY ACCEPTED FOR

OWNERSHIP AND MAINTENANCE BY THE THE TOWN OF ERIE. TOWN OF ERIE

 \sim

CHRIS LARUE TITLE: PLANNING AND DEVELOPMENT DIRECTOR

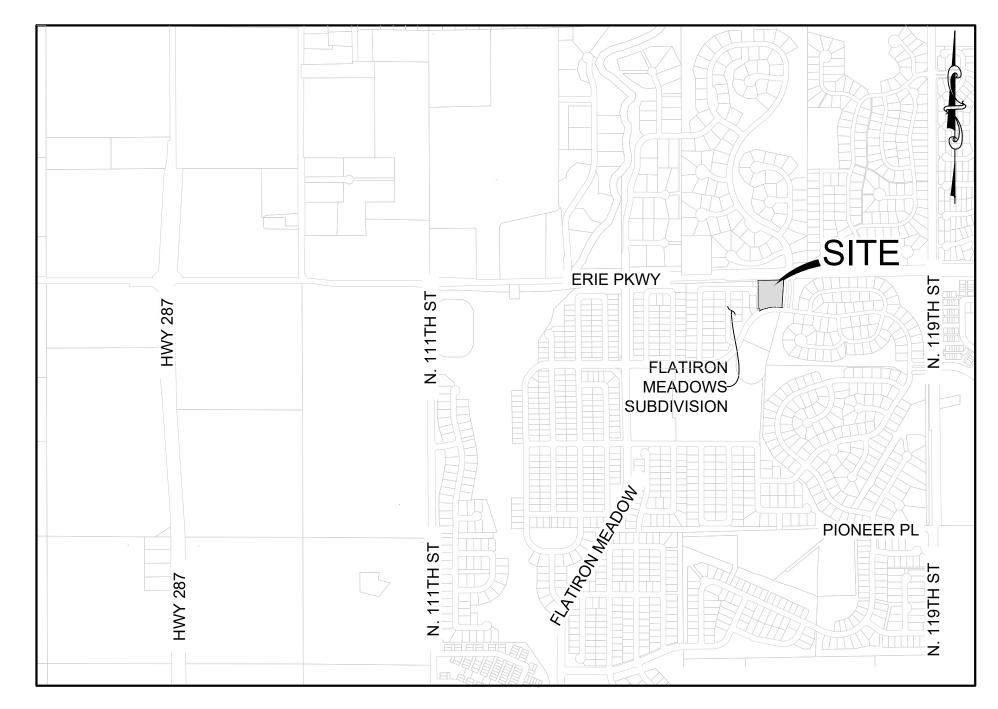
STATE OF COLORADO COUNTY OF BOULDER

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF ____

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES:_



VICINITY MAP SCALE: 1" = 2000'

LAND SUMMARY CHART AREA (ACRES) % OF TOTAL AREA TYPE LOT 1 - PUBLIC SAFETY SERVICES 100% 1.56 TRACTS 0.00 0% **PUBLIC ROWS** 0%

PLAT NOTES

- 1. BASIS OF BEARING: THE EAST/WEST MID-SECTION LINE OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST, MONUMENTED AT THE CENTER CORNER OF SAID SECTION 23 BY A FOUND 2.5" ALUMINUM CAP, STAMPED "LS96512" (2024) AND MONUMENTED AT THE EAST 1/4 CORNER WITH A FOUND 3.5" ALUMINUM CAP STAMPED "INTEGRAL" LS37885 (2009), BASED ON COLORADO STATE PLANE '83 NORTH ZONE, BEING MEASURED TO BEAR NORTH 88°27'32" EAST FOR A DISTANCE OF 2620.67'
- NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOUR FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

BENCHMARK

BEARINGS SHOWN HEREIN ARE BASED UPON THE EAST/WEST MID-SECTION LINE OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST, MONUMENTED AT THE CENTER CORNER OF SAID SECTION 23 BY A FOUND 2.5" ALUMINUM CAP, STAMPED "LS96512" (2024) AND MONUMENTED AT THE EAST ¼ CORNER WITH A FOUND 3.5" ALUMINUM CAP STAMPED "INTEGRAL" LS37885 (2009), BASED ON COLORADO STATE PLANE '83 NORTH ZONE, BEING MEASURED TO BEAR NORTH 88°27'32" EAST FOR A DISTANCE OF 2620.67'

TITLE VERIFICATION CERTIFICATE:

WE <u>STEWART TITLE COMPANY</u>, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE OF ALL LAND PLATTED HEREON AND THAT TITLE TO SUCH LAND IS IN THE DEDICATOR(S) FREE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES, EXCEPT AS FOLLOWS:

ATTEST: (IF CORPORATION) SECRETARY/TREASURER STATE OF COLORADO

NOTARY PUBLIC

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES:

STEWART TITLE COMPANY

SURVEYOR'S CERTIFICATE:

APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND AND ALL APPLICABLE PROVISIONS OF THE TOW OF ERIE UNIFIED DEVELOPMENT

I ATTEST THE ABOVE ON THIS

COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR # 38157



TOWN COUNCIL —

BOARD OF TRUSTEE APPROVAL CERTIFICATE:

THIS PLAT IS TO BE KNOWN AS FLATIRON MEADOWS FILING NO. 14 IS APPROVED AND ACCEPTED BY RESOLUTION NO. ,PASSED AND ADOPTED AT A MEETING OF THE BOARD OF TRUSTEES OF ERIE, COLORADO, HELD ON THE DAY OF 20

MAYOR	TOWN COUNCIL
ATTEST	
TOWN CLERK	

PLANNING & DEVELOPMENT APPROVAL CERTIFICATE:

THIS PLAT IS HEREBY APPROVED BY THE TOWN OF ERIE PLANNING & DEVELOPMENT DIRECTOR ON THIS _____DAY OF___

PLANNING & DEVELOPMENT DIRECTOR

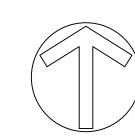
mmmmmm .

CLERK & RECORDER CERTIFICATE:

STATE OF COLORADO COUNTY OF BOULDER

I HEREBY CERTIFY THAT THIS PLAT WAS FILED IN MY OFFICE ON THIS____ OF_____,20___A..D. AND WAS RECORDED AT RECEPTION NUMBER_

COUNTY CLERK AND RECORDER.



INDEX OF PLAN SHEETS

COVER SHEET 2 SUBDIVISION PLAT

TIRON MEADOWS

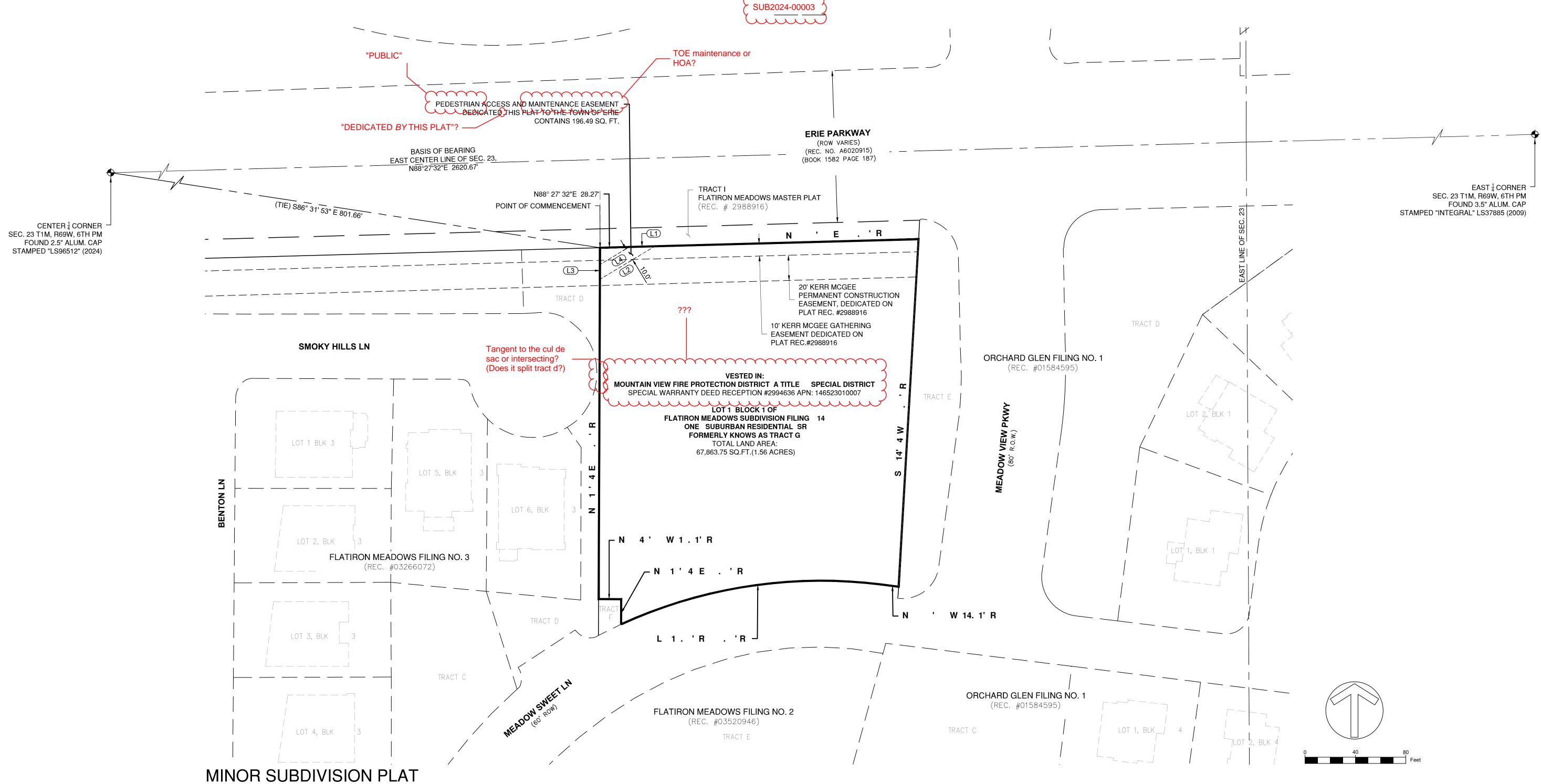
FILING

FLATIRON MEADOWS FILING NO.14 MINOR SUBDIVISION,

FLATIRON MEADOWS MASTER PLAT, TRACT G

IN THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO





LEGEND

EASEMENT LINE

PLSS MONUMENTATION FOUND AS DESCRIBED

FOUND MONUMENTATION AS DESCRIBED

SET 5/8" REBAR WITH ALUMINUM CAP MARKED PLS 38157

SCALE: 1" = 40'

RECORDED

ACCESS & MAINTENANCE EASEMENT LINE TABLE				
LINE #	LENGTH	DIRECTION		
L1	20.12	N88° 49' 49.32"E		
L2	50.92	S58° 55' 53.47"W		
L3	11.74	N0° 07' 08.44"E		
L4	27.40	N58° 58' 16.12"E		

BASIS AND BEARING

BEARINGS SHOWN HEREIN ARE BASED UPON THE EAST/WEST MID-SECTION LINE OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST, MONUMENTED AT THE CENTER CORNER OF SAID SECTION 23 BY A FOUND 2.5" ALUMINUM CAP, STAMPED "LS96512" (2024) AND MONUMENTED AT THE EAST 1/4 CORNER WITH A FOUND 3.5" ALUMINUM CAP STAMPED "INTEGRAL" LS37885 (2009), BASED ON COLORADO STATE PLANE '83 NORTH ZONE, BEING MEASURED TO BEAR NORTH 88°27'32" EAST FOR A DISTANCE OF 2620.67'

BENCHMARK

THE PRO ECT BENCHMARK IS THE CENTER CORNER OF SECTION 23, LOCATED IN THE CENTER OF ERIE PARKWAY AND MONUMENTED BY A 2.5" ALUMINUM CAP, STAMPED "LS96512" (2024). ELEVATIONS ARE BASED UPON THE NAVD 88 DATUM AND ESTABLISHED USING THE RTK NETWORK. THE ELEVATION IS 5146.36 US SURVEY FT.

TIRON MEADOWS FILING MINOR SUBDIVISION

2321-001

JULY 9, 2024

November 1, 2024

Town of Erie, Community Development

2203 North 111th Street Erie, CO 80516

Attention: Harry Brennan, Senior Planner

Re: Special Use Review Comment Responses

Mountain View Fire Rescue Station 15 – 1st Submittal Comments



Harry,

Our development team has reviewed the comments provided related to the 1st submittal made for the referenced development application and have responded to each comment in the referral package as follows:

Community Development Planning and Zoning:

Department of Parks and Recreation – Development and Neighborhood Services:

TREE SURVEY

A tree survey and protection plan needs to be provided per Section 10-6-2 of the UDC. ROW
trees adjacent to the site need to be included in the survey and protection plan. Existing trees in good
condition will need to be mitigated for on-site with replacement trees or via fee-in-lieu.
 Response: This information is now included on the landscape plan (sheet 8)

PLAT

Provide a 30' landscape buffer easement or tract along Erie Parkway.
 Response: This landscape buffer has been added, coinciding with linework for existing 10' and 20' easements.

CONSTRUCTION DRAWINGS

- 1. Landscape & Irrigation Plans are listed in the Sheet Index on the Cover Sheet, but the plans are not included in the set.
 - Response: Landscape and irrigation plans had been inadvertently omitted but had been included in the site plan set.
- Include the Director of Parks & Recreation signature for Landscape & Irrigation Plans on the cover sheet of the Construction Drawings per Section 161.03 of the Town of Erie Standards & Specifications.
 - Response: The landscape and irrigation plan acceptance certification statement has been added to the cover sheet.
- 3. Landscape, irrigation and maintenance of the tree lawn adjacent to the site needs to be included in the project. The Landscape Plans in the Site Plan submittal indicate "Existing Landscape to Remain" for the Erie Parkway tree lawns, however, landscaping does not currently exist in those tree lawns.

Response: Landscape plan has been expanded to include the reference area.

Department of Public Works:

Stormwater Comments:

During construction, the site will need to apply for a Town of Erie Stormwater Quality Permit.
 Response: Application of CDPHE permit will be submitted following this submittal and Town permit application submitted upon approval of the Site Plan and Civil Plans.

CIVIL CONSTRUCTION DRAWINGS:

Erosion Control Plans are required to be phased.
 Response: Initial and interim BMPs have been split to separate sheets with the landscape plan serving as the final phase.

PHASE III DRAINAGE REPORT:

Include the Post construction Design Standards form as an Appendix.
 Response: Post Construction Design Standards form has been added.

Engineering Division:

GENERAL COMMENTS

 Per Town standards for Site Plan and Minor Subdivision submittals provide a Final Utility Report that, among other information, details the water demands and wastewater loadings for the site and the layout of the utilities. This should include flow and pipe sizing calculations. The utility design cannot be approved until a utility report is submitted and reviewed.
 Response: A utility report/memo has been included with this submittal.

MASTER PLAN COMPLIANCE

- Sanitary Sewer Master Plan The site falls within the Orchard Glen Sanitary Sewer Basin. Although
 a utility report with flow calculations was not included in the submittal, from the drawings provided, it
 appears that the proposed connections comply with the Town's Wastewater Master Plan and does
 not trigger any capital improvement projects for the Town.
 Response: Acknowledged
- 2. Potable Water Master Plan The site falls within potable water pressure Zone 3. The proposed connection complies with the Town's master plan and does not trigger any capital improvement projects.

Response: Acknowledged

3. Non-Potable Master Plan – It does not appear that non-potable water is planned to be used on site. If this is not the case, provide flow and pipe sizing calculations and layout for a non-potable water system.

Response: Non-potable water use is not planned.

POTABLE WATER SYSTEM CONSTRUCTION PLANS (SHEET C6.00 - OVERALL UTILITY PLAN)

- The scale bar does not appear to equate to the scale of the Utility Plan when comparing called out measurements. Verify the scale of the view and the scale bar match.
 Response: Scale bar corrected.
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Response: The legend has been revised to correspond with symbols and linetypes used.

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Response: Hydrant was relocated closer to the building to better serve the applicants needs. Away from the curb return, the new location on the straight section reduce the likelihood of collision. However, bollards are also now proposed.

SANITARY SEWER SYSTEM CONSTRUCTION PLANS (SHEET C6.01 – SS PLAN AND PROFILE)

Provide invert information on the profile for the existing manhole.
 Response: The existing manhole could not be found and appears to have been paved over.
 Requests for as-built/record drawings has been made but plans have not yet been received.
 Plans to scope the existing line from the next manhole are being coordinated and plans will be updated when data is available.

2. Provide stationing on the profile for the manholes, both existing and proposed. Response: Structure labels updated to include station and offset data

3. The invert "in" and "out" are reversed on the sewer profile. Revise to reflect the correct direction of gravity flow of the sewer extension.

Response: Flow direction data corrected

4. Verify that the proposed sanitary sewer service is a minimum of eighteen inches, clear, below the existing water main.

Response: Sewer service line has been profiled to convey this information.

DRAINAGE REPORT

 Revise the Engineer's certification statement to match the statement in the Town of Erie Standards and Specifications (TESS) Section 162.02.04 and reference the correct drainage report phase and title in certification. Also provide the Town Acceptance statement on this page.
 Response: Certification has been updated

2. At the end of Section 4.2, a statement is made that proposed flows are similar to existing condition flows and that inlets have excess capacity for the proposed condition. See Comments 5 and 6 about correcting the existing condition flows which may result in proposed flows that are not negligibly higher than existing flows. Since changes to the drainage plan were made between design and construction, the Inlet Design Information from the 2012 study that was provided in Appendix C only includes the capacity at Design Point 5 that is comparative. Due to the design changes, the comparison of existing flows to proposed flows is not sufficient to determine if the existing storm sewer systems have adequate capacity to intercept the increased flow from the fire station site. Therefore, inlet and street capacity calculations must be provided and must show sufficient capacity for the proposed design for all inlets where flow from the fire rescue station will be intercepted.

Response: The overall basin map and analysis in the updated version of the report has been expanded to include street and inlet capacity review for the infrastructure downstream and impacted by the proposed development. The scope of the map & analysis extends to the point where it is demonstrated that flow is fully captured.

3. Provide highlighted excerpts from the relevant drainage report that shows that the regional detention pond has capacity for the project site.

Response: The subject property is identified as located within Basin B-3 of the Filing No. 1 Drainage Map. Additional excerpts have been added, including the hydrology table showing that Basin B-3 is accounted for as tributary to the regional detention facilities.

- 4. On page 9, update the Included Material for Appendix C to reflect the information provided and include the FIRM as indicated for the project site.
 - Response: A FIRM panel has been plotted and included within the appendices of this version of our report.
- 5. Percent Imperviousness Calculations comments:
 - a. Update table 800-3 to reflect impervious values provided in the TESS or provide highlighted excerpt from the 2012 Phase III Drainage Report that shows this table was used. Also, delete the reference to Liberty Ranch in Mead, CO at the top of the page.

Response: Table has been updated and project reference name revised.

- b. DR-01 Flatiron Meadows Drainage Map "Expanded" comments:
 - Clarify if the northwestern corner of the fire station site is included in Basin E1 or Basin E3. Fix the blue basin boundary to show this correctly.
 Response: Existing and proposed basins have been placed on separate maps for clarity
 - On the map, labels for Basins A1, A2, and A3 are shown, but the basin boundaries are not shown. Either delete the labels or show these boundaries in a different color. If these are shown, include in the legend.
 Response: These extraneous lables have been removed
 - iii. Correct the Proposed Drainage Divide label in the legend Response: Legend revised
 - iv. Fix the Basin P1 label, area, and flows.

Southwest of the fire station site, there is an existing undeveloped area along Meadow Sweet Lane. The existing contours indicate that this area drains to Meadow Sweet Lane. Adjust the Basin E2/P2 boundary to include this area. Also, confirm if this area will be developed in the future or not and adjust the runoff calculations as needed.

Response: The area referenced is Tract C on the Filing No. 3 plat designated as open space/public use easement. Basins E2/P2 have been revised to include these areas as open space.

c. For Basin E1, use of the Public category at 50% imperviousness is not clear. It appears the Public area should be analyzed as Open Space at 2% imperviousness. Clarify and revise as needed.

Response: "Public" was intended to represent public or institutional development and used in an attempt to emulate how the master study assumed it as commercial. By doing so on for the existing basin but then using the proposed development/topo for the proposed basin,

- d. In general, it appears that the imperviousness calculations have several errors that must be corrected, including:
 - i. The percent imperviousness for all basins appears to be incorrectly calculated. For example, Basins A2, E2, and P2 should be about 61%, 62%, and 69%, respectively, based on the areas for each category.

Response: Spreadsheet formulas have been reviewed and calculate properly.

ii. Imperviousness should not decrease from existing to proposed condition for any

of the basins.

Response: Agreed... for the basins previously proposed/shown and related errors have been addressed. However, the current map included with this submittal has been updated to include the basin tributary to the existing sump inlet to the northeast and the imperviousness does decrease in this case.

iii. The open space area should not increase from Basin E1 to Basin P1.

Response: There proposed basin calcs considered only the 50% imperviousness applied evenly across the subject property, whereas the proposed basins considered a calculated imperviousness. As such, it appears as if the open space increases when there is actually open space within the "public/institutional" area. We acknowledge the confusion this causes and have revised the calculations to apply the same methodology to both sets of calcs.

iv. The area of residential development should not change between existing and proposed conditions.

Response: This typo has been corrected

v. The total area input for Basins P1 and P2 appears to be incorrect. Revise as needed.

Response: Map revised

6. For the Rational Method calculations, the overland flow lengths for Basins A1 and A3 are excessively long (i.e., over 100 feet), but should only be about 20 to 25 feet before runoff is concentrated in a swale or gutter. The Basin P1 length should also be adjusted.

Response: Flowpath data updated

- 7. DR-01 Proposed Drainage Map comments:
 - a. Flows provided on the basin labels do not match the rational method calculations. Revise to match.

Response: Labels revised.

- b. In the southwest corner, revise the flow path follow the proposed grading contours.
 Response: This flow path has been removed as it does not represent the longest path
 That was actually used to calculate the flowrate
- c. Proposed grading shown creates a localized low point at elevation 5169 in the sidewalk on the east side of the site along Meadow View Parkway. Revise to provide positive drainage and prevent nuisance ponding in the sidewalk, such as a swale along the sidewalk to daylight to the south or raising a portion of the sidewalk.
 Response: Revision made to propose replacing/raising the majority of the existing sidewalk and tying the proposed grading to the existing treelawn such that run off can sheet flow to Meadow View Parkway.
- 8. Provide swale capacity calculations.

Response: No defined swales are proposed. Grading/contours have been refined to better illustrate how grading is meant to spread out as it approaches the sidewalk. Particularly to the south where contoursbecomes sheet flow at the back of the sidewalk.

Per Town criteria (Section 100, pages 100-100-17, 100-100-40, and 100-100-43), provide the
completed Project Stormwater Quality Design Standards Form for this project. We understand that
the existing regional detention pond is intended to provide water quality treatment for the project
site, but these forms must be completed to document this.
 Response: Form included.

CONSTRUCTION PLANS

10. On Sheet C1.00, the Landscape plans indicated in the Sheet Index are not included. Include in set of plans or update Sheet Index.

Response: Missing sheets included in this submittal

- 11. Sheet C5.00 comments:
 - a. Fix proposed grading contours along south edge of site to tie into existing contours.
 Response: Proposed surface as been edited to properly display contours that align with existing contours at the back of the sidewalk
 - b. Northeast of the building, label the proposed contour northeast of the driveway that is adjacent to the highpoint.

Response: This contour has been labeled

12. Provide a typical detail for each swale.

Response: Grading/contours have been refined to better illustrate how the surface 'flattens' an flow would spread out as it approaches the sidewalk.

13. Both swales direct runoff across existing sidewalks. Provide sidewalk chases at all locations where concentrated runoff will cross sidewalks.

Response: Same as above

SITE PLANS

- 14. Sheet 1 Cover Sheet comments:
 - a. The total hardscape area on the Site Plan Cover Sheet does not match the area based on the percent imperviousness in the drainage report text and calculations. Revise to match.

Response: Table updated to match DR calcs.

b. In the Site Data Summary Chart, the land cover areas do not match the total gross site area. Since the gross site area matches the area in the drainage report and appears to be correct, revise the land cover areas to equal the gross site area.

Response: Table has been updated/recalculated

15. On Sheet 8 – Landscape Plan, A common hackberry tree is located within the proposed swale in the southwest corner of site which is not allowed. Revise location of tree.

Response: No defined swales are proposed. Grading/contours have been refined to better illustrate how grading is meant to spread out as it approaches the sidewalk.

TRAFFIC IMPACT LETTER

1. It should be noted that the letter states that non-emergency access to the fire station will occur on Meadow Sweet Drive, but the correct statement would be "Meadow Sweet Lane".

Response: Street name revised

2. The Traffic Impact Letter also notes that prior studies have recommended that a westbound deceleration lane be constructed at the intersection of Erie Parkway and Meadow View Parkway and that this left turn lane should provide 350 feet of queue. The left turn lane has been constructed and is currently in place, but it only provides 150 feet of queue. The letter does not address when the left turn lane will be extended and whose responsibility it is for that to occur. It is reasonable to assume that it is not triggered by the construction of the Fire Station, but reference to the need for this change and no discussion about how or when it will occur is questionable.

Response: Traffic letter revised to address the turning lane.

3. The Traffic Impact Letter does not have any graphics which would show where access points are

anticipated to occur on the site. This makes it difficult to understand and comment upon the approach to providing a safe and appropriate emergency access point out onto Erie Parkway. Such a site graphic should be provided which shows where the emergency access point will occur and how it will impact the geometry of Erie Parkway.

Response: Updated Signage and striping plans have been included with this submittal

- 4. The Traffic Impact Letter notes that the existing pedestrian crossing treatment (on the west leg of the Erie Parkway and Meadow View Parkway intersection) should be relocated to the east leg (to move it away from the site's emergency exit west of the intersection). It also notes that the traffic control should change from an RRFB to a Hawk Hybrid Beacon. An evaluation should occur and be documented by a professional engineer which studies and determines the correct location and traffic control for this crossing treatment. The Town of Erie has "Pedestrian Crossing Treatment Guidelines" and these should be considered in this evaluation.
 - Response: Plan showing locations has been included with this submittal and traffic letter has been updated to include the evaluation/support for the signage type and location.
- 5. The Traffic Impact Letter notes that additional warning signage will also be required on Erie Parkway to address emergency response vehicles entering Erie Parkway, and states that "at a minimum" the installation of Emergency Vehicle Warning Systems are recommended. I concur that traffic control is needed to ensure safe and appropriate entrance onto Erie Parkway however, it is not clear whether this treatment should be Emergency Vehicle Warning System flashing beacons or whether it should be more a more robust treatment such as an Emergency Access Traffic Signal or hybrid beacon. The Manual on Uniform Traffic Control Devices (MUTCD) provides guidance on when an emergency signal or hybrid beacon would be appropriate, and a professional engineer should make an assessment on what the appropriate traffic control for this access point should be.

Response: Traffic letter analysis and recommendations have been updated based upon the MUTCd guidance. Emergency signage has been 'upgraded' accordingly to a hybrid beacon

WESTERN MIDSTREAM

1. WES is the owner of a valid Right-of-Way Grant that was executed on December 23rd, 2009 and recorded on April 9th, 2010 with the Boulder County Clerk and Recorder at reception number 03068423.

The applicant MUST review the above grants and cannot encroach on WES's pipelines. The applicant will need to conform to all terms of the Right-of-Way Grants identified above and adhere to WES safety requirements:

- Any utility crossing (phone, water, sewer, fiber optic cables, etc) require a minimum of 2' of vertical separation and should cross as close to 90° as possible.
 - Response: No utility crossings are proposed
- Utilities paralleling a WES pipeline will need to maintain at least 10' of horizontal separation.
 - For any work taking place within 10 feet, WES lines must be verified by hydrovacing with a WES standby present for both location and depth of pipeline.

Response: No utility crossings are proposed

- Grade cannot be reduced over the top of a WES Pipeline without prior written consent to ensure applicable federal pipeline safety regulations are not violated.
 - Response: No utility crossings are proposed
- Should crossing be required with heavy equipment, the make/model/max loaded weight of
 construction vehicles must be provided to WES at least 1 month in advance of dirt work for
 review and written approval.

Response: No utility crossings are proposed

A standby will be required for any digging within 10' of a WES pipeline.

Response: Acknowledged

Colorado 811 Laws must be adhered to.

Response: Acknowledged
Refer to attached redlined plan sheets for additional responses.

November 1, 2024

Town of Erie, Community Development

2203 North 111th Street Erie, CO 80516

Attention: Harry Brennan, Senior Planner

Re: Special Use Review Comment Responses

Mountain View Fire Rescue Station 15 – 1st Submittal Comments



Harry,

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CONSTRUCTION DRAWINGS

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PHASE III DRAINAGE REPORT:

Include the Post construction Design Standards form as an Appendix.
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GENERAL COMMENTS

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Response: Table has been updated and project reference name revised.

- b. DR-01 Flatiron Meadows Drainage Map "Expanded" comments:
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Response: The area referenced is Tract C on the Filing No. 3 plat designated as open space/public use easement. Basins E2/P2 have been revised to include these areas as open space.

c. For Basin E1, use of the Public category at 50% imperviousness is not clear. It appears the Public area should be analyzed as Open Space at 2% imperviousness. Clarify and revise as needed.

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v. The total area input for Basins P1 and P2 appears to be incorrect. Revise as needed.

Response: Map revised

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Response: Flowpath data updated

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 - a. Flows provided on the basin labels do not match the rational method calculations. Revise to match.

Response: Labels revised.

- b. In the southwest corner, revise the flow path follow the proposed grading contours.
 Response: This flow path has been removed as it does not represent the longest path
 That was actually used to calculate the flowrate
- c. Proposed grading shown creates a localized low point at elevation 5169 in the sidewalk on the east side of the site along Meadow View Parkway. Revise to provide positive drainage and prevent nuisance ponding in the sidewalk, such as a swale along the sidewalk to daylight to the south or raising a portion of the sidewalk.
 Response: Revision made to propose replacing/raising the majority of the existing sidewalk and tying the proposed grading to the existing treelawn such that run off can sheet flow to Meadow View Parkway.
- 8. Provide swale capacity calculations.

Response: No defined swales are proposed. Grading/contours have been refined to better illustrate how grading is meant to spread out as it approaches the sidewalk. Particularly to the south where contoursbecomes sheet flow at the back of the sidewalk.

Per Town criteria (Section 100, pages 100-100-17, 100-100-40, and 100-100-43), provide the
completed Project Stormwater Quality Design Standards Form for this project. We understand that
the existing regional detention pond is intended to provide water quality treatment for the project
site, but these forms must be completed to document this.
 Response: Form included.

CONSTRUCTION PLANS

10. On Sheet C1.00, the Landscape plans indicated in the Sheet Index are not included. Include in set of plans or update Sheet Index.

Response: Missing sheets included in this submittal

- 11. Sheet C5.00 comments:
 - a. Fix proposed grading contours along south edge of site to tie into existing contours.
 Response: Proposed surface as been edited to properly display contours that align with existing contours at the back of the sidewalk
 - b. Northeast of the building, label the proposed contour northeast of the driveway that is adjacent to the highpoint.

Response: This contour has been labeled

12. Provide a typical detail for each swale.

Response: Grading/contours have been refined to better illustrate how the surface 'flattens' an flow would spread out as it approaches the sidewalk.

13. Both swales direct runoff across existing sidewalks. Provide sidewalk chases at all locations where concentrated runoff will cross sidewalks.

Response: Same as above

SITE PLANS

- 14. Sheet 1 Cover Sheet comments:
 - a. The total hardscape area on the Site Plan Cover Sheet does not match the area based on the percent imperviousness in the drainage report text and calculations. Revise to match.

Response: Table updated to match DR calcs.

b. In the Site Data Summary Chart, the land cover areas do not match the total gross site area. Since the gross site area matches the area in the drainage report and appears to be correct, revise the land cover areas to equal the gross site area.

Response: Table has been updated/recalculated

15. On Sheet 8 – Landscape Plan, A common hackberry tree is located within the proposed swale in the southwest corner of site which is not allowed. Revise location of tree.

Response: No defined swales are proposed. Grading/contours have been refined to better illustrate how grading is meant to spread out as it approaches the sidewalk.

TRAFFIC IMPACT LETTER

1. It should be noted that the letter states that non-emergency access to the fire station will occur on Meadow Sweet Drive, but the correct statement would be "Meadow Sweet Lane".

Response: Street name revised

2. The Traffic Impact Letter also notes that prior studies have recommended that a westbound deceleration lane be constructed at the intersection of Erie Parkway and Meadow View Parkway and that this left turn lane should provide 350 feet of queue. The left turn lane has been constructed and is currently in place, but it only provides 150 feet of queue. The letter does not address when the left turn lane will be extended and whose responsibility it is for that to occur. It is reasonable to assume that it is not triggered by the construction of the Fire Station, but reference to the need for this change and no discussion about how or when it will occur is questionable.

Response: Traffic letter revised to address the turning lane.

3. The Traffic Impact Letter does not have any graphics which would show where access points are

anticipated to occur on the site. This makes it difficult to understand and comment upon the approach to providing a safe and appropriate emergency access point out onto Erie Parkway. Such a site graphic should be provided which shows where the emergency access point will occur and how it will impact the geometry of Erie Parkway.

Response: Updated Signage and striping plans have been included with this submittal

- 4. The Traffic Impact Letter notes that the existing pedestrian crossing treatment (on the west leg of the Erie Parkway and Meadow View Parkway intersection) should be relocated to the east leg (to move it away from the site's emergency exit west of the intersection). It also notes that the traffic control should change from an RRFB to a Hawk Hybrid Beacon. An evaluation should occur and be documented by a professional engineer which studies and determines the correct location and traffic control for this crossing treatment. The Town of Erie has "Pedestrian Crossing Treatment Guidelines" and these should be considered in this evaluation.
 - Response: Plan showing locations has been included with this submittal and traffic letter has been updated to include the evaluation/support for the signage type and location.
- 5. The Traffic Impact Letter notes that additional warning signage will also be required on Erie Parkway to address emergency response vehicles entering Erie Parkway, and states that "at a minimum" the installation of Emergency Vehicle Warning Systems are recommended. I concur that traffic control is needed to ensure safe and appropriate entrance onto Erie Parkway however, it is not clear whether this treatment should be Emergency Vehicle Warning System flashing beacons or whether it should be more a more robust treatment such as an Emergency Access Traffic Signal or hybrid beacon. The Manual on Uniform Traffic Control Devices (MUTCD) provides guidance on when an emergency signal or hybrid beacon would be appropriate, and a professional engineer should make an assessment on what the appropriate traffic control for this access point should be.

Response: Traffic letter analysis and recommendations have been updated based upon the MUTCd guidance. Emergency signage has been 'upgraded' accordingly to a hybrid beacon

WESTERN MIDSTREAM

1. WES is the owner of a valid Right-of-Way Grant that was executed on December 23rd, 2009 and recorded on April 9th, 2010 with the Boulder County Clerk and Recorder at reception number 03068423.

The applicant MUST review the above grants and cannot encroach on WES's pipelines. The applicant will need to conform to all terms of the Right-of-Way Grants identified above and adhere to WES safety requirements:

- Any utility crossing (phone, water, sewer, fiber optic cables, etc) require a minimum of 2' of vertical separation and should cross as close to 90° as possible.
 - Response: No utility crossings are proposed
- Utilities paralleling a WES pipeline will need to maintain at least 10' of horizontal separation.
 - For any work taking place within 10 feet, WES lines must be verified by hydrovacing with a WES standby present for both location and depth of pipeline.

Response: No utility crossings are proposed

- Grade cannot be reduced over the top of a WES Pipeline without prior written consent to ensure applicable federal pipeline safety regulations are not violated.
 - Response: No utility crossings are proposed
- Should crossing be required with heavy equipment, the make/model/max loaded weight of
 construction vehicles must be provided to WES at least 1 month in advance of dirt work for
 review and written approval.

Response: No utility crossings are proposed

A standby will be required for any digging within 10' of a WES pipeline.

Response: Acknowledged

Colorado 811 Laws must be adhered to.

Response: Acknowledged
Refer to attached redlined plan sheets for additional responses.

Please label with the new parcel nomenclature from the plat -

FLATIRON MEADOWS FILING NO.14 MINOR SUBDIVISION

TITLE REVISED AS NOTED - ALL SHEETS

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES

SPECIAL REVIEW USE SITE PLAN SP2024-00004; SRU2024-00001 PROJECT #S ADDED

LEGAL DESCRIPTION

TRACT G, FLATIRONS MEADOWS SUBDIVISION - MASTER PLAT, COUNTY OF BOULDER, STATE OF COLORADO

BASIS AND BEARING

BEARINGS ARE BASED UPON THE EAST/WEST MID-SECTION LINE OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST, AS MEASURED FROM THE CENTER CORNER TO THE EAST QUARTER CORNER OF SAID SECTION 23, BEING N88°27'32"E FOR A DISTANCE OF 2620.67'

GENERAL NOTES

BICYCLE PARKING PROVIDED

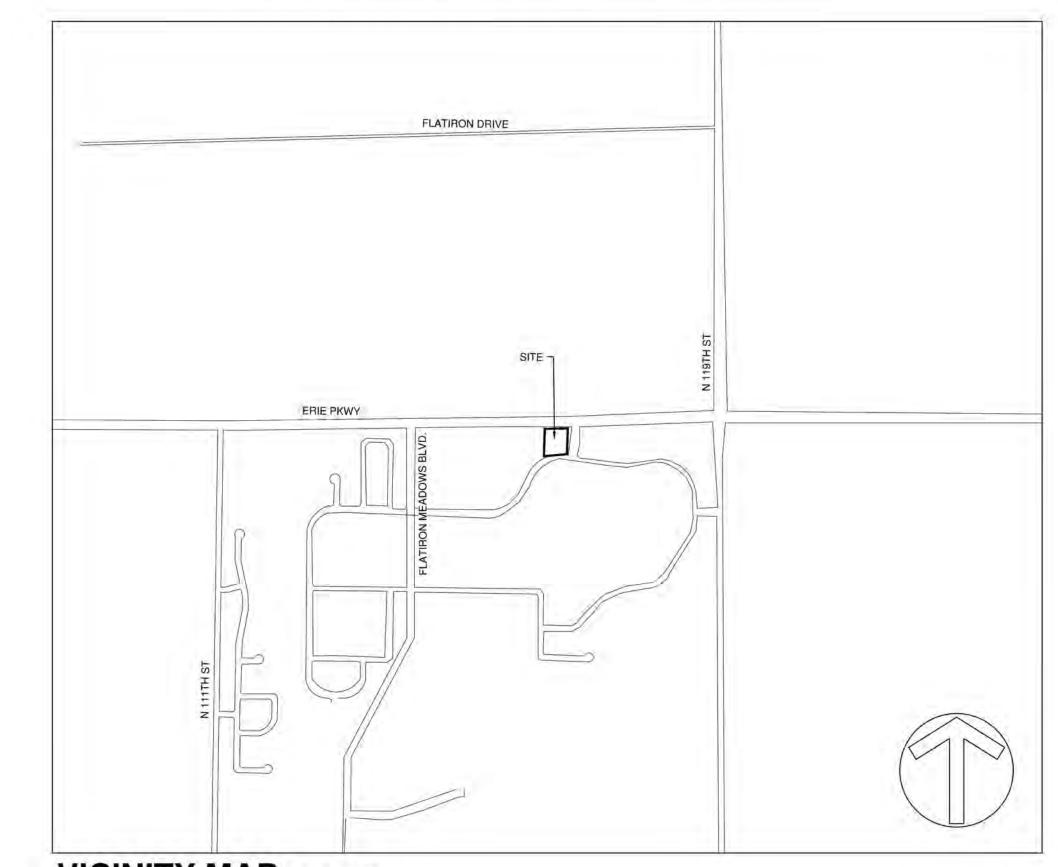
1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST "STANDARDS AND SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS" BY THE TOWN OF ERIE. COPIES OF THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS MAY BE OBTAINED FROM THE TOWN OF ERIE WEB SITE. CONTRACTOR SHALL HAVE A SET ON SITE AT ALL TIMES.

2. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN OF ERIE ENGINEERING STAFF PRIOR TO THE START OF CONSTRUCTION. ATTENDANCE SHALL BE IN ALIGNMENT WITH SECTION 100 OF THE STANDARDS AND SPECIFICATIONS. PLANS SIGNED AND ACCEPTED BY THE TOWN OF ERIE WILL BE DISTRIBUTED AT THE PRE-CONSTRUCTION MEETING. CONTRACTOR SHALL HAVE (1) COPY OF THE SIGNED PLANS ON SITE AT ALL TIMES.

3. THE TOWN OF ERIE, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. THE OWNER AND DESIGN ENGINEER UNDERSTAND THAT THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT. REPORT ALL DISCREPANCIES TO THE DESIGN ENGINEER

4. PRIOR TO BEGINNING THE WORK, THE CONTRACTOR SHALL OBTAIN ANY/ALL WRITTEN AGREEMENTS FOR INGRESS AND EGRESS TO THE WORK SITE FROM ADJACENT PRIVATE PROPERTY OWNERS. A COPY OF ALL AGREEMENTS SHALL BE PROVIDED TO THE TOWN. ACCESS TO ANY ADJACENT PRIVATE PROPERTY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

5. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF ERIE ENGINEERING STAFF. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO TOWN STANDARDS AND SPECIFICATIONS. INSPECTIONS AND ONSITE VISITS ARE NOT TO BE CONSTRUED AS A GUARANTEE BY THE TOWN ENGINEERING STAFF OF THE CONTRACTORS CONTRACTUAL COMMITMENT. REQUESTS FOR INSPECTION BY THE TOWN OF ERIE SHALL BE MADE BY THE CONTRACTOR A MINIMUM OF TWENTY-FOUR (24) HOURS IN ADVANCE.



VICINITY MAP 1" = 1000"

PROJECT TEAM

ENGINEER:

ARCHITECT:

VNER: MOUNTAIN VIEW FIRE RESCUE 3561 N STAGECOACH ROAD

LONGMONT, CO 80504 ATTENTION: (303) 772-0710

STRATEGIC SITE DESIGNS, LLC 88 INVERNESS CIRCLE EAST, SUITE B101

ENGLEWOOD, CO 80112 ATTENTION: CHRISTOPHER PERDUE

ATTENTION: CHRISTOPHER PERDUE (720) 206-6931

OZ ARCHITECTURE

3003 LARIMER ST DENVER, CO 80205

ATTENTION: ERIC BECKER, LEED A.P. (303) 861-5704

KUMAR AND ASSOCIATES, INC

800 STOCKTON AVENUE, #4 FORT COLLINS, CO 80524 ATTENTION: JACOB A HANSON

(970) 416-9045

LANDSCAPE ARCHITECT: STACKLOT., LLC 5639 S CURTICE STREET

LITTLETON, CO 80120 ATTENTION: STEVE WEINS

AGENCY CONTACTS

WATER DISTRICT:

645 HOLBROOK STREET ERIE, CO 80516 303-926-2700

WER DISTRICT: TOWN OF ERIE 645 HOLBROOK STREET

ERIE, CO 80516 303-926-2700

FIRE DISTRICT: MOUNTAIN VIEW FIRE RESCUE

3561 N STAGECOACH ROAD LONGMONT, CO 80504 ATTENTION:

(303) 772-0710

ITEM		SQ. FT.	% OF SITE
GROSS SITE AREA		67,864	100
HARDSCAPE AREA			
BUILDING AREA		11,811	18.4%
PARKING/ROADS		18,156	26.8%
TRAILS AND SIDEWALKS		1,769	0.04%
PATIOS		1,754	0.04%
	TOTAL	33,490	49.3
LANDSCAPE AREA			
PROPOSED PLANTED AREA		33,665	49.6
EXISTING VEGETATION		0	0
	TOTAL	33,665	49.6
ITEM		DESCRI	PTION
BUILDING			
STORIES		2	
EXISTING USE		NONE - VAC	ANT LAND
PROPOSED USE		11,8	11
	TOTAL	11,8	11
PARKIING			\sim
TOTAL STANDARD REQUIRED (1/1000 sq. ft. FFA)		12	2.5
TOTAL ACCESSIBLE REQUIRED PER TABLE 6.6-6		1	
TOTAL BICYCLE PARKING REQUIRED		1	
STANDARD PROVIDED		12	
ACCESSIBLE PROVIDED		1	
DIGUOLE DADVING PROVIDED		4.	/

SH	IEET INDEX	SPR - SITE PLAN SUBMISSION #1	SPR - SITE PLAN SUBMISSION #2
01	COVER SHEET	×	
02	SITE PLAN	x	
03	EROSION AND SEDIMENT CONTROL PLAN	×	
04	EROSION AND SEDIMENT CONTROL DETAILS	×	
05	GRADING AND DRAINAGE PLAN	×	
06	UTILITY PLAN	×	
07	OFFSITE IMPROVEMENTS	×	
80	LANDSCAPE PLAN	×	0.00
09	LANDSCAPE NOTES	×	
10	LANDSCAPE DETAILS	×	
11	IRRIGATION PLAN		
12	IRRIGATION NOTES		
13	IRRIGATION DETAILS		
14	PHOTOMETRIC PLAN	x	
15	PHOTOMETRIC DETAILS	Х	
16	BUILDING ELEVATIONS	X	
17	BUILDING ELEVATIONS	x	
18	ARCHITECTURAL SITE DETAILS	×	

EV SPACES ARE PROPOSED AND TABLE UPDATED WITH THAT DATA

The Town has adopted the 2021 IEC and 2023 NEC; So there is a requirement for EV and EV ready parking spaces. The Building Department will be able to tell us what this requirement is.

ONLY 99.9 = 67155

QUANTITIES UPDATED/CORRECTED

CERTIFICATE	REVISED	AS	NOTED

This just goes to TC with the SRU, so we'll need to update the approval certificate

And process wise we can take it before or after the plat

SITE PLA	N APPROVAL CERTIFICATE	
THIS SITE PLAN HAS BEEN REVIEW WITH APPLIC	VED AND FOUND TO BE COM ABLE TOWN OF ERIE REGUL	
Planning Commission Chair Mayor Date	Date	Public Hearing
behalf of himself/herself, their heirs, succ		
described hereon in accordance with this	approved Site Plan and in com	
described hereon in accordance with this Unified Development Code and Municipa	approved Site Plan and in com il Code.	pliance with the Town of Erie
described hereon in accordance with this Unified Development Code and Municipa (owner signature)	approved Site Plan and in com il Code.	pliance with the Town of Erie
described hereon in accordance with this Unified Development Code and Municipa (owner signature) Acknowledged before me this described as as	approved Site Plan and in com il Code.	pliance with the Town of Erie
described hereon in accordance with this Unified Development Code and Municipa (owner signature) Acknowledged before me thisd	approved Site Plan and in com il Code.	pliance with the Town of Erie

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JOB NO.
2321-001
SCALE

1" = 30'

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- STATION

VIEW FIRE RESCUE SPECIAL REVIEW U

MOUNTA

SHEET SHEET

JUN 28, 2024

Please label with the new parcel nomenclature from the plat -

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- STATION

E RESCUE .
REVIEW US

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MOUNTA

FLATIRON MEADOWS FILING NO.14 MINOR SUBDIVISION

AHEAD

PEDESTRIAN

AHEAD

CROSSING

W11-2 & W16-9P

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST

OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES

SPECIAL REVIEW USE SITE PLAN SP2024-00004; SRU2024-00001

TS50 EMERGENCY VEHICLE LEGEND ZONED PD SIGNAGE W/ FLASHING BEACON ZONED SR 40' MEDIAN CUT FOR VERTICAL CURB **EMERGENCY VEHICLE RESPONSE** PEDESTRIAN AHEAD CROSSING SIGN EXISTING MAJOR CONTOUR GEOMETRY PER MVFR VEHICLE ANALYSIS **EXISTING MINOR CONTOUR** EMERGENCY VEHICLES ONLY PROPOSED MINOR CONTOUR **EMERGENCY VEHICLES ONLY** REC. NO. A6020915) AND RELATED SIGNAGE TO BE RELOCATE STRUCTURE WEST. SEE SHEET 7 S89°59'38"E 2643.04" NORTHERLY LINE NORTHWEST QUARTER SECTION 36 LANDSCAPING EX STORM SEWER (EGRESS ONLY) CONCRETE EX 10' SIDEWALK **EMERGENCY BOLLARDS VEHICLES** CLEANOUT ONLY **TS50 EMERGENCY VEHICLE** CLEANOUT MODIFIED R8-7 EXISTING CURB AND INLET * SIGNAGE W/ FLASHING BEACON PERMANEN' "EMERGENCY CONSTRUCTION SIGNAGE EASEMENT **VEHICLES ONLY"** WATER VALVE - EXISTING MONUMENT SIGN **EXISTING PEDESTRIAN** FIRE HYDRANT WATER METER SAND OIL INTERCEPTOR BACKFLOW PREVENTION ASSEMBLY line up with the sidewalk on the right. Please also label **EASEMENT TO BE TRANSFORMER** DEDICATED ACCESSIBLE STALL SIGNAGE GATE VALVE "DO NOT ENTER" **SMOKY HILLS LN** - PARKING (2 STANDARD) SANITARY SEWER LINE ZONED SR EDGE OF ASPHALT **MOUNTAIN VIEW** — E — E — ELEC LINE FIRE RESCUE Please add detectable strips (crossing) where route — gas — gas — GAS STATION #15 ---- LOT LINE PAVEMENT MARKINGS AND DETECTABLE STRIPS COVERED PATIO -MIN HEIGHT: 14'-0" FT MAX HEIGHT: 32'-0" FT _ _ _ _ LIMITS OF CONSTRUCTION ACCESSIBLE FFA: 11,811 SQ FT SECTION LINE GFA: 12,483 SQ FT **ACCESSIBLE** UNDERGROUND STORM PARKING (8 STANDARD) STALL UNDERGROUND WATER SIGNAGE Our standard minimum UNDERGROUND ELECTRIC → stall size is 9'x20' (not) PROPERTY LINE SANITARY SEWER SOME SPACES HAVE BEEN EXTENDED WHILE ALOYS AND BETTY KAY UNDERGROUND GAS 601 SMOKY HILLS LN ERIE, CO 80516 UNDERGROUND COMMUNICATION ALL PARKING STALLS ADJOINING OWNER: GRAHAM FAMILY TRUST FOUND AS DESCRIBED - DUMPSTER ENCLOSURE 599 SMOKY HILLS LN ERIE CO 80516 WATER VALVE/COVER DOW (80' F BACKUP GENERATOR **ENCLOSURE** COMMUNICATION PEDESTAL COMMUNICATION VAULT ELECTRIC VAULT ELECTRIC PEDESTAL ZONED SR 10.00 SETBACK SANITARY MANHOLE WATER MANHOLE MANHOLE (UNIDENTIFIED) **TS50 EMERGENCY** BOLLARD TRACT F (N89° 45' 48"W 17 **VEHICLE WARNING** TELEPHONE PEDESTAL SIGNAGE LIGHT POLE

GENERAL ACCESS

L=210.732, R=380.000

CB=S81° 13' 47"W

CL=208.04

SITE PLAN

SCALE: 1" = 30'

2 of 18

JUN 28, 2024

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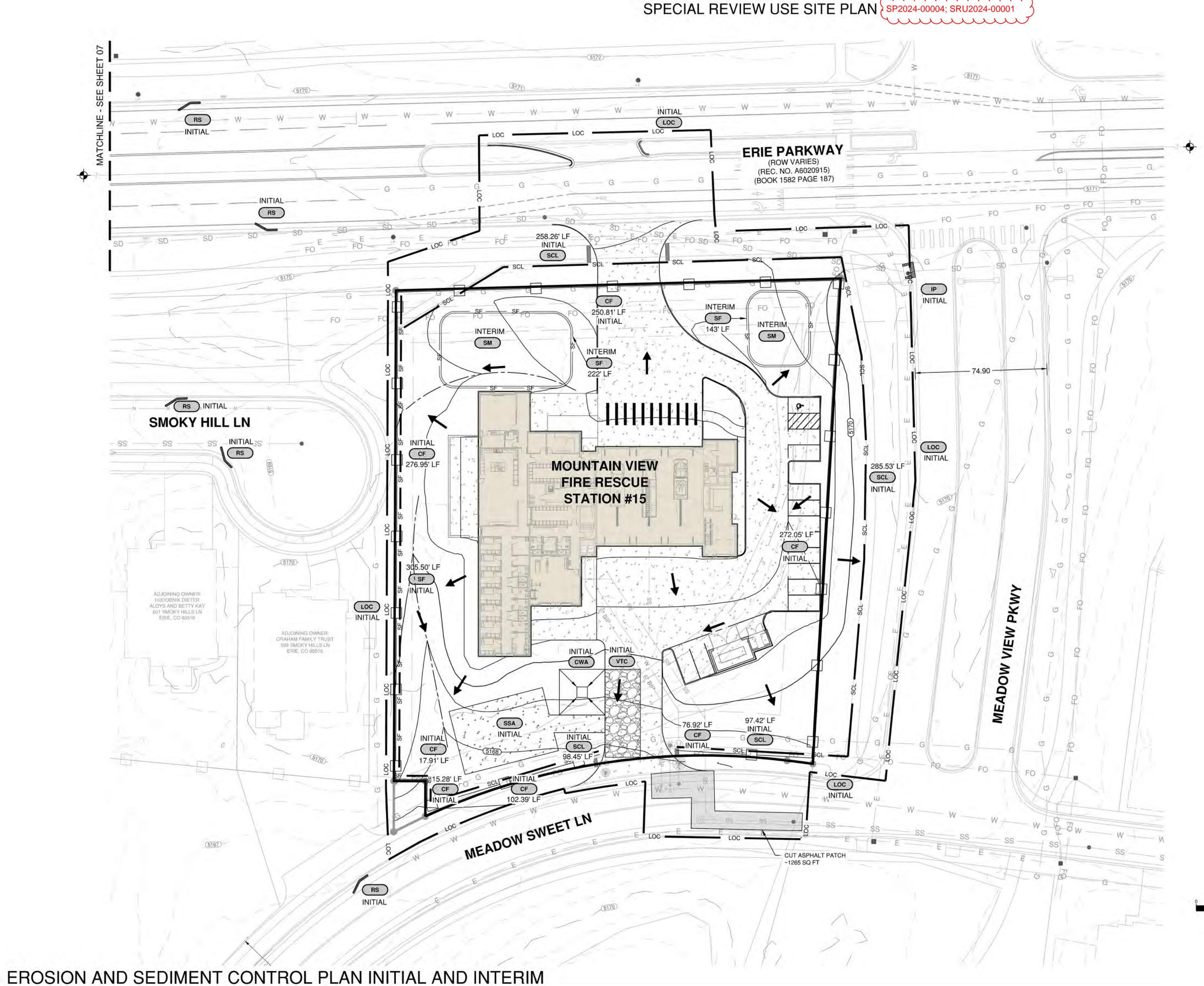
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1" = 30'

Please label with the new parcel nomenclature from the plat -

FLATIRON MEADOWS FILING NO.14 MINO SUBDIVISION

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST
OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES



FOR FINAL EROSION CONTROL, SEE SHEET 08 LANDSCAPE PLAN LEGEND VERTICAL CURB STRUCTURE LANDSCAPING CONCRETE **BOLLARDS** CLEANOUT WATER VALVE FIRE HYDRANT WATER METER SAND OIL INTERCEPTOR BACKFLOW PREVENTION ASSEMBLY **TRANSFORMER GATE VALVE** LIMITS OF CONSTRUCTION SECTION LINE UNDERGROUND STORM UNDERGROUND WATER UNDERGROUND GAS UNDERGROUND COMMUNICATION FOUND AS DESCRIBED WATER VALVE/COVER COMMUNICATION PEDESTAL COMMUNICATION VAULT ELECTRIC VAULT **ELECTRIC PEDESTAL** SANITARY MANHOLE WATER MANHOLE MANHOLE (UNIDENTIFIED) BOLLARD TELEPHONE PEDESTAL LIGHT POLE CWA CONCRETE WASHOUT AREA CF CONSTRUCTION FENCE SF SILT FENCE SCL SEDIMENT CONTROL LOG

SSA STABILIZED STAGING AREA

SM STOCKPILE MANAGMENT

LOC LIMITS OF CONSTRUCTION
DRAINAGE ARROW

RS ROCK SOCK

IP INLET PROTECTION

VTC VEHICLE TRACKING CONTROL

STATION #15 RE ROSIC MOUNTA

SCALE: 1" = 30'

3 of 18

MDC

2321-001

1" = 30'

JUN 28, 2024

STRATEGIC (720) 206-6931
SITE DESIGNS CPERDUE@STRATEGICSITEDES
ATTENTION: CHRISTOPHER PER

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MOUNTAIN VIEW FIRE RESCUE - STATION #15 SPECIAL REVIEW USE

NAMPAUD Bate Description

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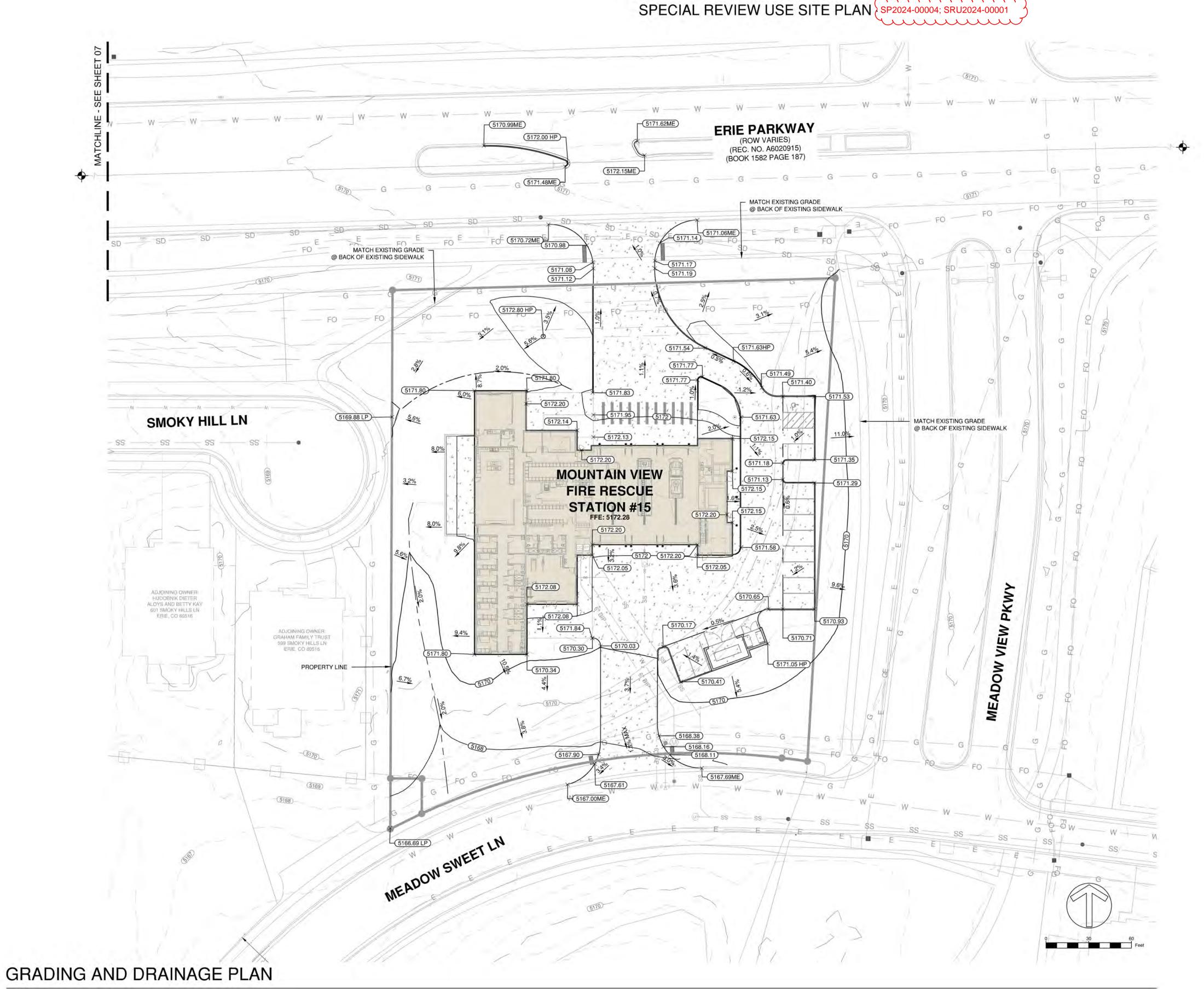
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1" = 30'

Please label with the new parcel nomenclature from the plat -

FLATIRON MEADOWS FILING NO.14 MINOR SUBDIVISION

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST
OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES



SCALE: 1" = 30'

LEGEND VERTICAL CURB EXISTING MAJOR CONTOUR PROPOSED MINOR CONTOUR STRUCTURE LANDSCAPING CONCRETE BOLLARDS CLEANOUT CLEANOUT SIGNAGE WATER VALVE FIRE HYDRANT WATER METER SAND OIL INTERCEPTOR BACKFLOW PREVENTION ASSEMBLY **TRANSFORMER** GATE VALVE LIMITS OF CONSTRUCTION SECTION LINE UNDERGROUND STORM UNDERGROUND WATER UNDERGROUND ELECTRIC SANITARY SEWER UNDERGROUND GAS UNDERGROUND COMMUNICATION FOUND AS DESCRIBED WATER VALVE/COVER COMMUNICATION PEDESTAL COMMUNICATION VAULT ELECTRIC VAULT ELECTRIC PEDESTAL SANITARY MANHOLE WATER MANHOLE MANHOLE (UNIDENTIFIED) BOLLARD TELEPHONE PEDESTAL LIGHT POLE

CONTACT INFORMATION
88 INVERNESS CIRCLE EAST, SUITE B-101
ENGLEWOOD, CO 80112
(720) 206-6931
SIGNS
CPERDUE@STRATEGICSITEDESIGNS.COM
ATTENTION: CHRISTOPHER PERDUE, P.E., N



MOUNTAIN VIEW FIRE RESCUE - STATION #1

SPECIAL REVIEW USE

JUN 28, 2024 T SHEETS

2321-001

1" = 30'

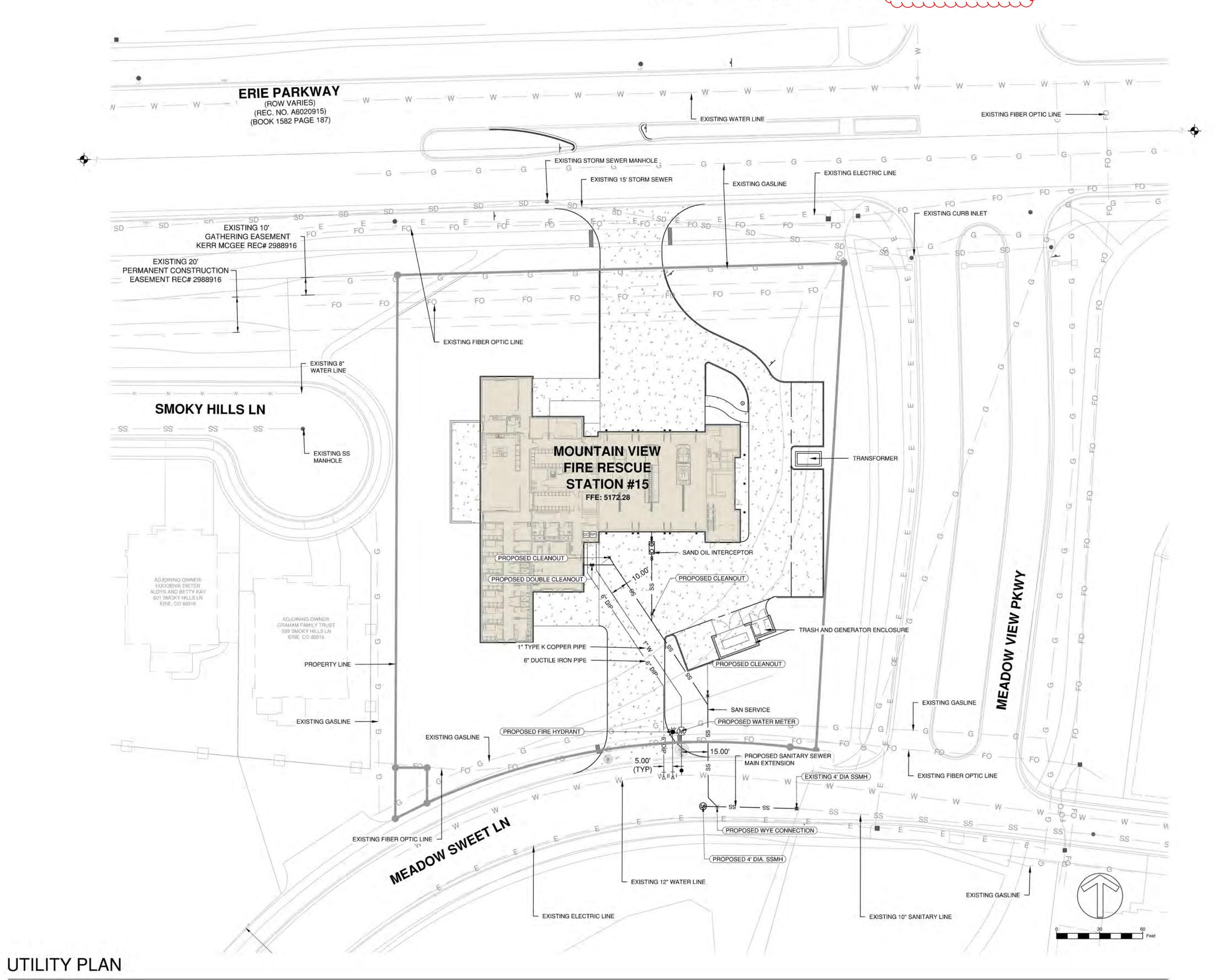
5 of 18

Please label with the new parcel nomenclature from the

FLATIRON MEADOWS FILING NO.14 MINOR

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES

SPECIAL REVIEW USE SITE PLAN SP2024-00004; SRU2024-00001



SCALE: 1" = 30'

		VERTICAL CURB
	0000	EXISTING MAJOR CONTOUR
	000)	EXISTING MINOR CONTOUR
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		WATER LINE
111		EDGE OF ASPHALT
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	GAS	- 774 <u>0</u> 7
		LIMITS OF CONSTRUCTION
		SECTION LINE
ST	ST -	UNDERGROUND STORM
		UNDERGROUND WATER
		UNDERGROUND ELECTRIC SANITARY SEWER
		UNDERGROUND GAS
		UNDERGROUND COMMUNICATION
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	wv	WATER VALVE/COVER
	FO	COMMUNICATION PEDESTAL
(FO	COMMUNICATION VAULT
	E	ELECTRIC VAULT
	E	ELECTRIC PEDESTAL
	38	SANITARY MANHOLE
	w	WATER MANHOLE
	MH)	MANHOLE (UNIDENTIFIED)
	٥	BOLLARD
	0	TELEPHONE PEDESTAL
	0	LIGHT POLE



#1 VIEW FIRE RESCUE - STATION SPECIAL REVIEW USE MOUNTA

> 1" = 30' JUN 28, 2024

2321-001

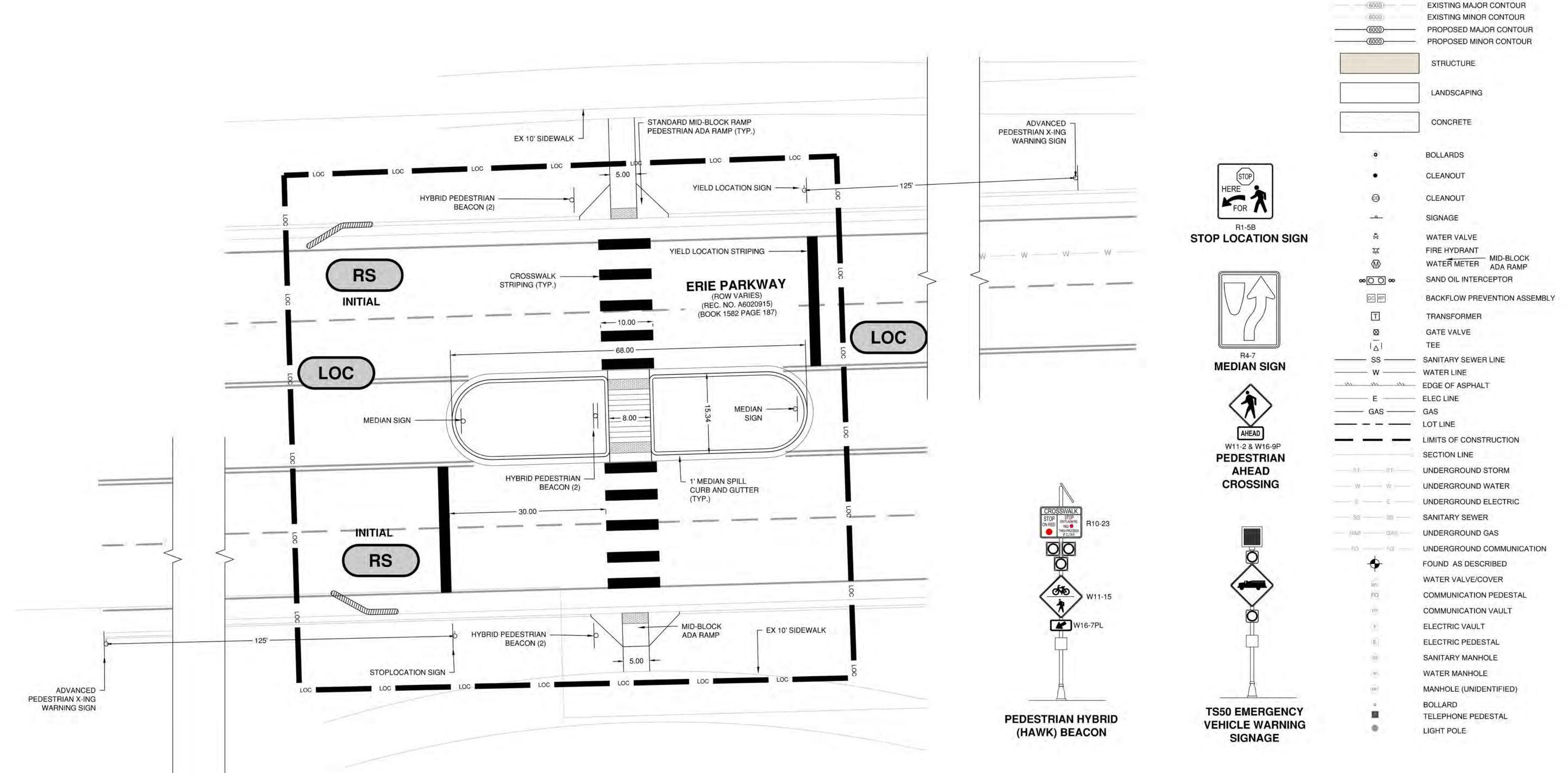
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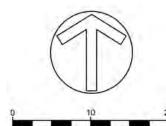
FLATIRON MEADOWS FILING NO.14 MINOR

VERTICAL CURB

LEGEND

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES SPECIAL REVIEW USE SITE PLAN SP2024-00004; SRU2024-00001





OFFSITE IMPROVEMENTS - EROSION CONTROL, SIGNAGE AND STRIPING...

SCALE: 1" = 10'

MDC 2321-001 1" = 10'

#15

- STATION

VIEW FIRE RESCUE SPECIAL REVIEW U

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MOUNTA

JUN 28, 2024

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES SPECIAL REVIEW USE SITE PLAN SP2024-00004; SRU2024-00001

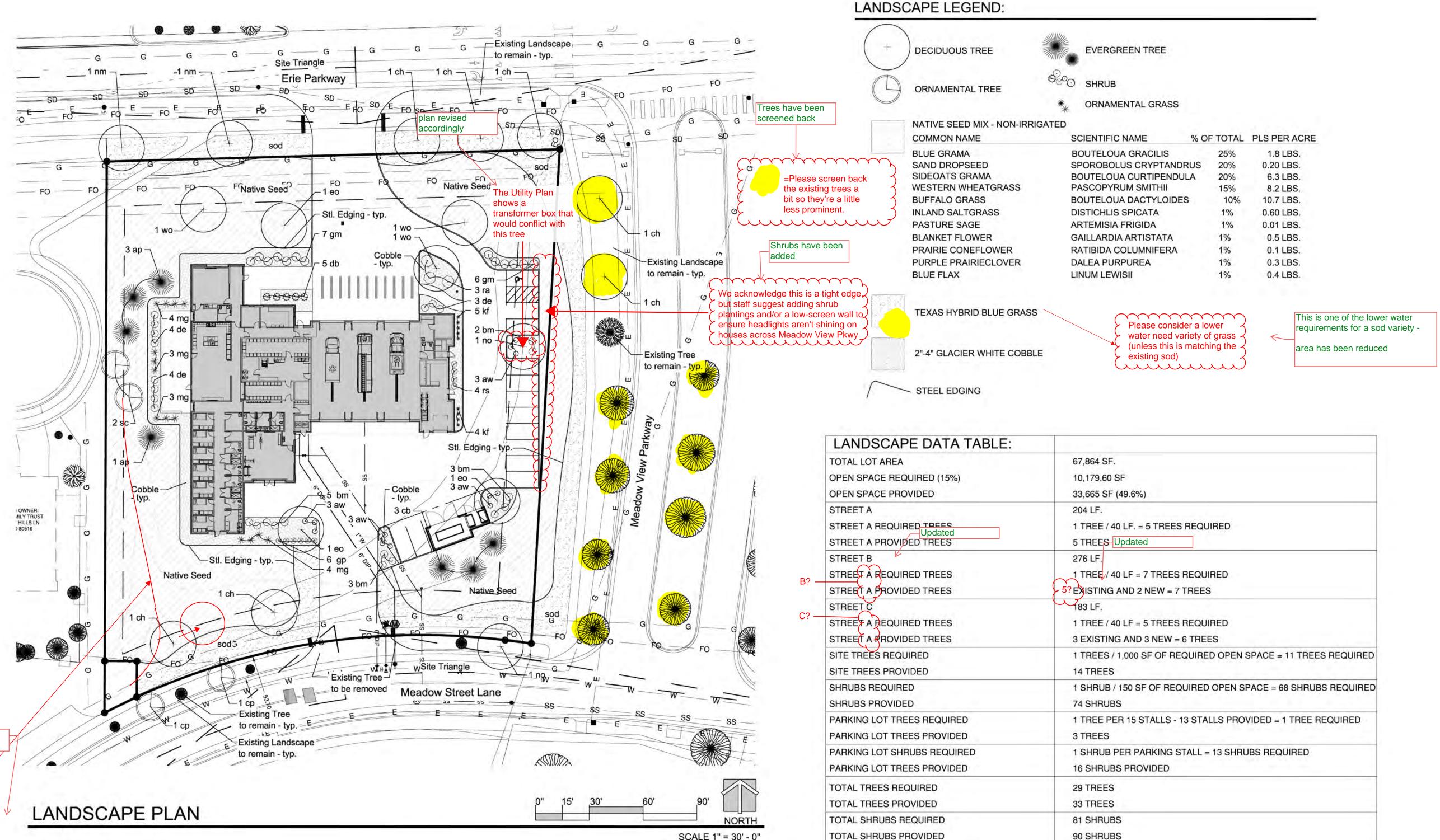
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Please label with the new parcel nomenclature from the plat -FLATIRON MEADOWS FILING NO.14 MINOR SUBDIVISION

#

Titleblock has been

updated



SCALE 1" = 30' - 0"

TOTAL SHRUBS PROVIDED

Tree has been

Turf has beer added



STATION VIEW FIRE RESCUE SPECIAL REVIEW U

MOUNTA

of 18

sdw

2321-001

6/28/2024

Please label with the new parcel nomenclature from the plat -

FLATIRON MEADOWS FILING NO.14 MINOR SUBDIVISION

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES
SPECIAL REVIEW USE SITE PLAN SP2024-00004; SRU2024-00001

LANDSCAPE NOTES:

- PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND/OR LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- 2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
- 3. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
- 4. ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
- LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION
 OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR
 THE REPAIR / REPLACEMENT FOR HE DAMAGE CAUSED TO UTILITIES.
- FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
- 8. ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP ONE-THIRD (3) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF HE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- 9. AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
- 10. COMMERCIAL GRADE 3/16 INCH BY 4" POWDER COATED STEEL EDGING W/ ROLLED EDGE SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
- 12. LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- 13. USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- 14. PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
- 15. PLANTING BEDS RECEIVING MULCH MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
- 16. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
- 17. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- 18. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT OWNER/LANDSCAPE ARCHITECT'S APPROVAL.
- INSTALLATION OF LANDSCAPE AND IRRIGATION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY
 AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- 21. PLANTS SHALL EXCEED THE MINIMUM SIZES PER "ASNS" STANDARDS AND NOTED ON THE PLANS, REGARDLESS OF THE SIZE OF THE CONTAINER. NO EXCEPTIONS.
- 22. NO TREES OR SHRUBS SHALL BE PLANTED WITHIN 3 FEET OF A FIRE HYDRANT.
- 23. PLACE FOUR INCHES OF SPECIFIED MULCH IN ALL SHRUB BEDS, GROUNDCOVER BEDS, ANNUAL BEDS, AND TREE RINGS.
- 24. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR BEGINNING ON THE DATE OF FINAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD.
- 25. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM AS APPROVED BY THE CITY OF GREELEY PLANNING DEPARTMENT SHALL BE
- 26. WHERE DISSIMILAR MATERIAL BUT ONE ANOTHER, STEEL EDGING SHALL BE USED TO SEPARATE THE MATERIALS.
- 27. ALL NATIVE SEED AREAS SHALL HAVE TEMPORARY IRRIGATION UNTIL ESTABLISHMENT OF NATIVE TURF.
- 28. PROPERTY OWNER SHALL BE RESPONSIBLE FOR ON-SITE MAINTENANCE AND REPLACEMENT OF DEAD LANDSCAPE MATERIAL AFTER THE ONE YEAR WARRANTY PERIOD PROVIDED BY GENERAL CONTRACTOR HAS EXPIRED.

SYMBOL	QTY.	I.D.	COMMON NAME	BOTANICAL NAME	SIZE	COND.
SHADE T	REES					
	2	nm	NORWAY MAPLE	ACER PLATANOIDES	2" CAL.	B&B
	7	ch	COMMON HACKBERRY	CELTIS OCCIDENTALIS	2" CAL.	B&B
(+)	3	wo	SWAMP WHITE OAK	QUERCUS BICOLOR	2" CAL.	B&B
\ /	2	no	NORTHERN RED OAK	QUERCUS RUBRA	2" CAL.	B&B
	3	eo	ENGLISH OAK	QUERCUS ROBUR	2" CAL.	B&B
ORNAME	NTAL	TREES				
	2	ср	CHANTICLEER PEAR	PYRUS CALLERYANA	1 1/2" CAL.	В&В
	4	sc	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	1 1/2" CAL.	B&B
EVERGR	EEN TE	REES		,		
	3	cb	COLORADO BLUE SPRUCE	PICEA PUNGENS	6' HT.	B&B
	4	ар	AUSTRIAN PINE	PINUS NIGRA	6' HT.	B & B
SHRUBS						
20	3	ra	GRO-LOW SUMAC	RHUS AROMATICA 'GROW LOW'	5 GAL.	CONT.
0 00	12	aw	ANOTHONY WATERER SPIREA	SPIREA JAPONICA 'ANTHONY WATER'	5 GAL.	CONT.
ø O O	6	gp	GOLD DROP POTENTILLA	POTENTILLA FRUITICOSA 'GOLD DROP'	5 GAL.	CONT.
0	13	gm	GREEN MOUND CURRANT	RIBES ALPINUM 'GREENMOUND'	5 GAL.	CONT.
~ ~	13	bm	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS	5 GAL.	CONT.
	5	db	DWARF BURNING BUSH	EOUNYMUS ALATA 'DWARF NANA'	5 GAL.	CONT.
	4	rs	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL.	CONT.
	11	de	DWARF EUROPEAN CRANBERRY	VIBURNUM OPULUS 'NANUM'	5 GAL.	CONT.
ORNAME	NTAL	GRASS	SES			
all. No	9	kf	KARL REED FORESTER GRASS	CALAMAGROSTIS ACUTI ' KARL FORESTER'	1 GAL.	CONT.
* *	14	mg	MAIDEN GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	1 GAL.	CONT.



CONTACT INFORMATION
88 INVERNESS CIRCLE EAST, SUITE B-10
ENGLEWOOD, CO 80112
(720) 206-6931
CPERDUE@STRATEGICSITEDESIGNS.CO

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DATE 6/28/2024

2321-001

9 of 18

Please label with the new parcel nomenclature from the

FLATIRON MEADOWS FILING NO.14 MINOR

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

> SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES SPECIAL REVIEW USE SITE PLAN SP2024-00004; SRU2024-00001

DO NOT CUT TREE LEADER. PRUNE ONLY CROSSOVER LIMBS, CO- DOMINANT LEADERS AND

SECURE WITH 3 SPECIFIED 8-FT STEEL TREE STAKES IN UNDISTURBED SOIL. INSTALL WIRE AND NON- GIRDLING FLAT FABRIC FASTENERS IMMEDIATELY AFTER PLANTING, ALLOWING 3"-4" TRUNK MOVEMENT. COVER WIRE WITH SPECIFIED RUBBER GARDEN HOSE AND INSTALL 4" FLORESCENT ORANGE FLAG ON EACH WIRE.

PLANT ROOT BALL 3"-4" HIGH WITH RESPECT TO FINISHED GRADE. DO NOT COVER TOP OF ROOTBALL WITH SOIL. CUT AND REMOVE TOP 2/3 OF WIRE BASKET AND REMOVE TOP 2/3 BURLAP. REMOVE ALL ROPE, TWINE AND WIRE OTHER THAN BASKET.

 PLACE MULCH/COBBLE RING AROUND TREE. DO NOT PLACE MULCH/ COBBLE IN CONTACT WITH TREE TRUNK. RE: SPECIFICATIONS FOR MULCH/COBBLE TYPE AND DEPTH.

PREPARE AND PLACE BACKFILL SOIL MIX AS PER SPECIFICATIONS.

INJURED OR DEAD BRANCHES FROM TREE.

SET ROOTBALL ON UNDISTURBED SOIL. SET PLUMB AND CENTER IN PIT.

COMPACTED SUBGRADE

SHADE TREES: LOWEST LIMBS MIN. 6-8' FROM ROOT CROWN

AFTER TWO YEARS NO LIMBS SHALL BE WITHIN 8' OF PAVEMENT

REJECT TREES WITH BROKEN OR DAMAGED ROOTBALLS

DECIDUOUS TREE

2 x ROOTBALL DIA.

NOT TO SCALE

REMOVE ONLY INJURED OR DEAD BRANCHES FROM SHRUBS. SHRUB SPACING AS PER PLANS.

PLACE 3' DIA. MIN. RING OF MULCH/COBBLE UNDER SHRUB.

PLACE PLANT IN VERTICAL, PLUMB POSITION. REMOVE CONTAINER PRIOR TO PLACING BACKFILL.

PREPARE AND PLACE PLANTING SOIL MIX AS PER SPEC.

PLACE 3" OF SPECIFIED BACKFILL BELOW THE ROOTBALL.

SHRUB PLANTING

2 x ROOTBALL DIA.

NOT TO SCALE

DOMINANT LEADERS AND INJURED OR DEAD BRANCHES FROM

SECURE WITH 3 SPECIFIED 8-FT STEEL TREE STAKES IN UNDISTURBED SOIL. INSTALL WIRE AND NON-GIRDLING FLAT FABRIC FASTENERS IMMEDIATELY AFTER PLANTING, ALLOWING 3"-4" TRUNK MOVEMENT. COVER WIRE WITH SPECIFIED RUBBER GARDEN HOSE AND INSTALL 4" FLORESCENT ORANGE FLAG ON EACH WIRE

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PREPARE AND PLACE BACKFILL SOIL MIX AS PER SPECIFICATIONS.

SET ROOTBALL ON UNDISTURBED SOIL. SET PLUMB AND CENTER IN PIT.

COMPACTED SUBGRADE

REJECT TREES WITH BROKEN OR DAMAGED ROOTBALLS

EVERGREEN TREE PLANTING

SIDEWALK, TOP OF CURB, OR TOP OF SEAT WALL FINISHED GRADE OR TOP OF SOD LEVEL WITH PAVED EDGE

SPECIFIED SOD OR SEED

FULL DEPTH OF SPECIFIED AMENDED TOPSOIL PLACED APPROX. 1" BELOW TOP OF PAVED EDGE FOR SOD AND LEVEL FOR SEED

SOD ADJACENT TO WALKS AND CURBS

2 x ROOTBALL DIA.

SIDEWALK, TOP OF CURB, OR TOP OF SEAT WALL

FINISHED GRADE OR TOP OF MULCH/COBBLE 1/2" BELOW PAVED EDGE

SPECIFIED COBBLE

SPECIFIED WEED BARRIER FABRIC UNDER MULCH/ COBBLE WITH SPECIFIED PRE-EMERGENT HERBICIDE BELOW FABRIC

FULL DEPTH OF SPECIFIED AMENDED TOPSOIL PLACED THE NECESSARY DISTANCE BELOW PAVED EDGE

MULCH ADJACENT TO WALKS AND CURBS

SPECIFIED SOD OR SEED

FINISHED GRADE OR TOP OF SOD LEVEL WITH TOP OF EDGER

STEEL EDGER

FINISHED GRADE OR TOP OF MULCH/COBBLE 1/2" BELOW TOP OF EDGER

SPECIFIED MULCH/COBBLE

SPECIFIED WEED BARRIER FABRIC UNDER MULCH COBBLE SPECIFIED PRE-EMERGENT HERBICIDE BELOW FABRIC

FULL DEPTH OF SPECIFIED AMENDED TOPSOIL PLACED THE NECESSARY DISTANCE BELOW TOP

OF EDGER

EDGE TREATMENT

EDGER

NOT TO SCALE

NOT TO SCALE





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STATION ESCUE VIEW U R VIEW FIRE I

MOUNTA

sdw sdw

2321-001

6/28/2024 10 of 18

Please label with the new parcel nomenclature from the

GENERAL NOTES

ALL LIGHT SOURCES SHALL BE CONCEALED OR

ALL FIXTURES SHALL BE LED WITH A COLOR

THE MAXIMUM HEIGHT OF ANY LIGHTING POLE

THE MAXIMUM LIGHTING LEVEL UNIFORMITY RATIO (MAXIMUM TO MINIMUM) FOR NONRESIDENTIAL

IN NO CASE SHALL EXTERIOR LIGHTING ADD MORE

RENDERING INDEX ABOVE 70.

SHALL NOT EXCEED 25FT.

PARKING LOTS SHALL BE 10:1.

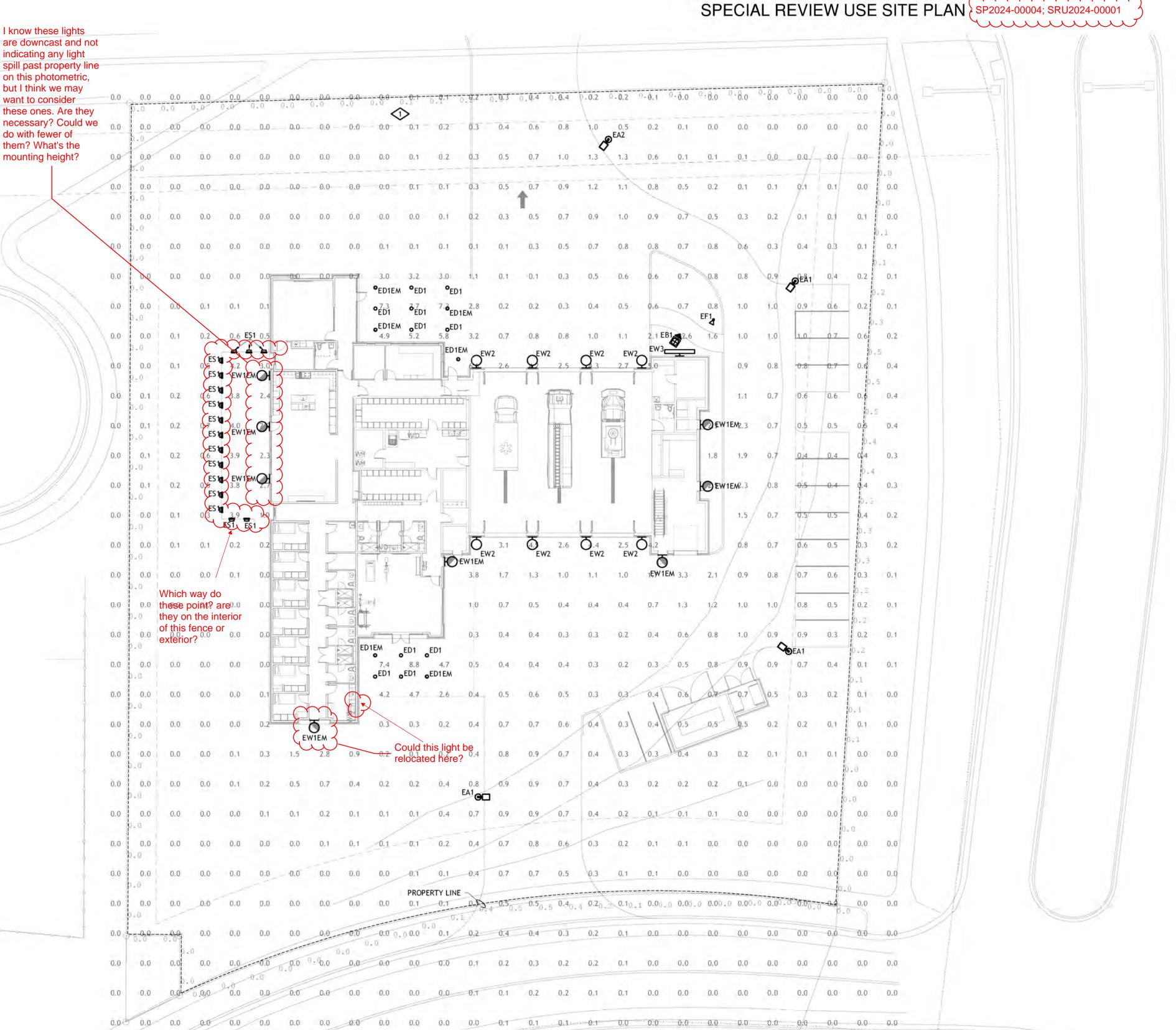
SHIELDED WITH AN IESNA FULL CUT-OFF STYLE FIXTURE TO MINIMIZE POTENTIAL FOR GLARE AND

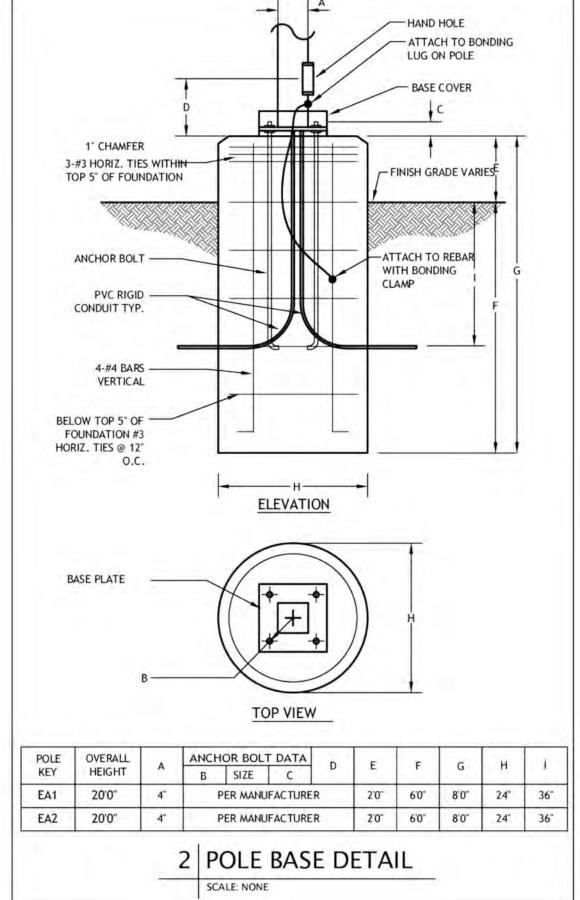
UNNECESSARY DIFFUSION ON ADJACENT PROPERTY

FLATIRON MEADOWS FILING NO.14 MINOR

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES





Calculation Summary

Property Line

Parking Lot

		FOOTCANDLE TO ILLUMINATION LEVELS AT NT OFF SITE.
	PURPOSE	DOOR LIGHT NOT NECESSARY FOR SECURITY ES SHALL BE REDUCED VIA MOTION SENSORS HED OFF DURING NON-OPERATING HOURS.
	STATUES POLE, PE NARROW	XTURES USED TO ILLUMINATE FLAGS, 6, OR ANY OTHER OBJECTS MOUNTED ON A EDESTAL, OR PLATFORM SHALL USE A 7 BEAM OF THAT THAT WILL NOT EXTEND THE ILLUMINATED OBJECT.
		LIGHTING FIXTURES
	A a	LUMINAIRE TYPE, REFERENCING LUMINAIRE SCHEDULE, TYPICAL ALL FIXTURES. SUBSCRIPT, IF SHOWN, REFERENCES WALL SWITCH OR RELAY/ZONE CONTROL.
	$\Delta =$	WALL MOUNTED LUMINAIRE
	0 🗆	DOWNLIGHT LUMINAIRE
		HATCH INDICATES EMERGENCY LUMINAIRE
	$\Theta\Box$	EXTERIOR AREA LIGHT
	▽	MONOPOINT LUMINAIRE
		BOLLARD
36"		STEP LIGHT

KEYNOTE LEGEND

	KEY VALUE	
Max/Min I.A. I.A. I.A. I.A. I.A. I.A. I.A. I.A	1.	APPROXIMATE LOCATION OF IN-GRADE UPLIGHTS FOR MONUMENT SIGN. FIXTURES ARE NOT SHOWN ON PHOTOMETRIC PLAN SINCE THEY ARE NOT INTENDED TO ILLUMINATE THE HORIZONTAL PLANE. FIXTURES SHALL UTILIZE A NARROW BEAM OF LIGHT TO

ILLUMINATE THE SIGN.

TATIO S SCUE RE **VIEW FIRE** UNTA

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PD, ENM, ANW

KMD

PD, ENM, ANW 2321-001

JUN 24, 2024

1' = 20'

I know these lights

indicating any light

do with fewer of

them? What's the

Integrated Lighting, Technology, and Electrical Solutions 1900 Wazee Street #205 Denver, CO 80202 303.296.3034 se dealgrains, com-

Please label with the new parcel nomenclature from the

BOF

BOF

OFH

CEILING

CEILING

POLE

WALL

70 CRI

80 CRI

90 CRI

80 CRI

80 CRI

90 CRI

80 CRI

FLATIRON MEADOWS FILING NO.14 MINOR

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LIGHTING FIXTURE SCHEDULE

EXTERIOR LED AREA LIGHT, FULL CUTOFF

TYPE IV MEDIUM DISTRIBUTION.

TYPE II MEDIUM DISTRIBUTION.

SLOPED CEILING ADAPTER

ED1EM 6IN DIAMETER LED RECESSED DOWNLIGHT,

EXTERIOR FLAG POLE LIGHT

GOOSENECK ARM

ABOVE GROUND POWER SUPPLY

FULL-CUTOFF, EMERGENCY BATTERY

EXTERIOR LED WALL MOUNT, 12IN SHADE,

HOUSE-SIDE SHIELD, ROUND POLE EXTERIOR LED AREA LIGHT, FULL CUTOF

HOUSE-SIDE SHIELD, ROUND POLE EXTERIOR LED BOLLARD, TYPE IV DISTRIBUTION, DOUBLE HEAD

6IN DIAMETER LED RECESSED DOWNLIGHT,

SLOPED CEILING ADAPTER, EMERGENCY

D-Series Size 0 LED Area Luminaire Introduction The modern styling of the highly refined aesthetic to benefits of the latest in LE a high performance, high I luminaire. The photometric performance high I luminaire. The photometric performance high I luminaire. The photometric performance high I luminaire and I cover density. I photometric performance high I luminaire and I cover density. I photometric performance high I luminaire and I cover density. I photometric performance high I service in a real light HI 2.2 No. I lead that I was a service life of over 100,000. Weight 22 be a service with the latest in LE and I long the latest in	Somes offers the technology into incarcy, long-life the results in sites sater pole spacing series outstanding the number of g applications, with a rest expected. If you was a result of the results in sites income including the number of g applications, with a rest expected. If you was a result of the results include the results included the	FEATURES & SPECIFICATIONS HITTARD PUR.— "Type-in spirit attems contained the formatting and inclination of the contained the contained the formatting and inclination of the contained
EXAMPLE: DSXD LED P6 40K 70CRI T3M MVOLT SPA NL RANGE RA	MATERIALS Colorvor be bottlers to make of BLIGS-TE extracted purposation profiles and projected. If y a treat company gives 1 feet and purposation of the straight of the st	SOCIATY STARP were their growing and the companies of the
Secretario control mine Sec. Se	Refresh and devices a spalled Contagh at macronisals present, and trends and for long term finals. CERTIFICATION Certified and Appropriate as per CSA CSE3 for 2500 standard and AMULAL, state standard, for well assembly as independent and AMULAL, state standard, for well assembly performed by an independent and account of assembly in Assembly in Assembly in Assembly in Assembly and Independent and AMULAL, state standards are standards and account of assembly in Assembl	1000 2000 2015 0015

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT, AFF(AFG) - ABOVE FINISHED FLOOR (GRADE), WFD - WALL FIXTURE DEPTH A. ALL REFLECTOR LAMPS SHALL BE PROVIDED AS WIDE FLOOD DISTRIBUTION, UON. B. LUMENS LISTED ARE DELIVERED LUMENS, NOT INITIAL.

C. FOR ALL SPECIFIED LUMINAIRES. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MOUNTING HARDWARE, ACCESSORIES, COMPONENTS, LEADER/JUMPER CABLES, WIRE FEED CONNECTORS, END CAPS, REMOTE POWER SUPPLIES, AND ANY OTHER NECESSARY COMPONENT AS REQUIRED FOR INSTALLING A SECURE AND FULLY FUNCTIONAL SYSTEM. D. THE CONTRACTOR SHALL VERIFY THE CEILING TYPE BEFORE ORDERING LIGHT FIXTURES TO ENSURE COMPATIBILITY WITH SPECIFIED FIXTURES. NOTIFY SPECIFIER OF ANY DISCREPANCIES.

MANUFACTURER

EAGLE MOUNTAIN

CATALOG NUMBER

DSX0-LED-P1-30K-T4M-MVOLT-

DSX0-LED-P1-30K-T2M-MVOLT-

LDN6-30/10-L06-BR-120-EZ1

RPA-HS-DBLXD

RPA-HS-DBLXD

SG-AG-DRIVER

L-BB-SGB

E4WH-DBLXD

NA-NA-NA-NA-LED16-3000K-FL

277-3000K-DF_MCS-DF_FT

E. ALL FINISH SELECTIONS SHALL BE VERIFIED BY ARCHITECT/INTERIOR DESIGNER/OWNER AS PART OF THE SUBMITTAL PROCESS. UNLESS OTHERWISE NOTED, EC SHALL ASSUME STANDARD LUMINAIRE F. EC SHALL VERIFY ALL FIXTURE MOUNTING HEIGHTS WITH ARCHITECTURAL ELEVATIONS PRIOR TO ANY ROUGH-IN

G. REMOTE DRIVER(S)/TRANSFORMER(S) SHALL BE LOCATED IN A CONCEALED, ACCESSIBLE, AND VENTILATED LOCATION AS PROPOSED BY THE EC AND APPROVED BY THE ARCHITECT. REFER TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR MINIMUM REQUIRED CLEARANCES FROM ADJACENT MATERIALS, AND WIRING REQUIREMENTS TO PREVENT VOLTAGE DROP H. FOR LUMINAIRES SPECIFIED WITH 0-10V DIMMING, 0-10V DIMMING DRIVER(S) REQUIRE ADDITIONAL LOW VOLTAGE CONTROL WIRES IN ADDITION TO STANDARD WIRING FOR POWER.

I. EXTERIOR LUMINAIRES SHALL BE COLD WEATHER RATED FOR 0 DEG. F / -18 DEG. C., AND RATED FOR OUTDOOR USE. J. SPECIFICATIONS DO NOT INCLUDE FIXTURE QUANTITIES, FINAL DIMENSIONS WITH ARCHITECTURAL FINISHES, WEIGHTS OR GAUGES, FABRICATION PROCESSES, CONSTRUCTION MEANS OR METHODS,

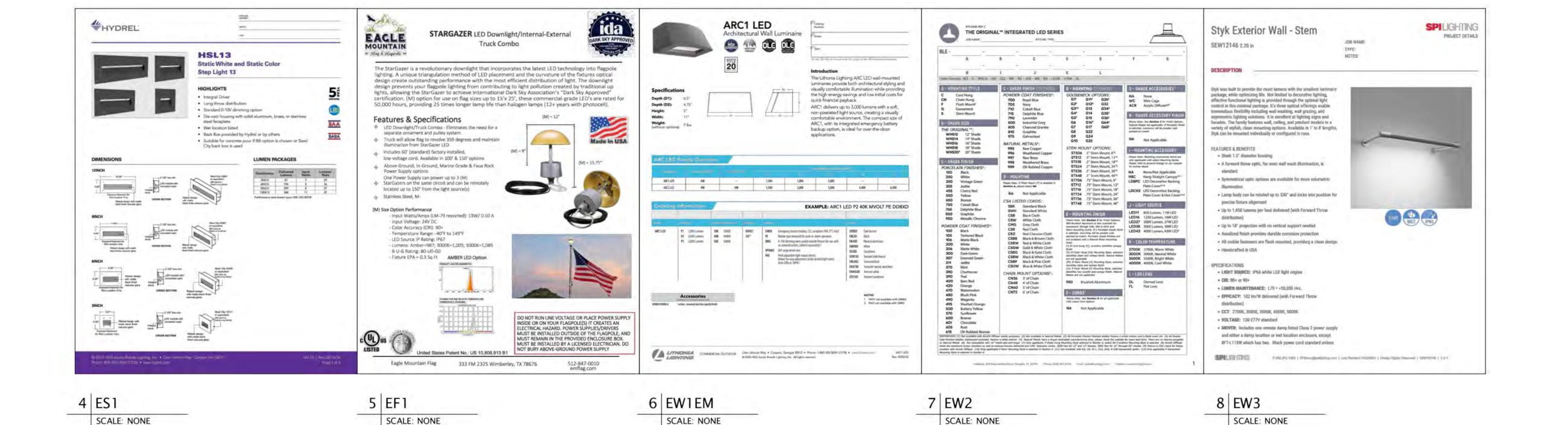
SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

1. VERIFY FIXTRUE FINISH WITH ARCHITECT/OWNER PRIOR TO ORDERING

2. FIXTURE SHALL BE AIMED DOWNWARD WITH FORWARD THROW DISTRIBUTION TOWARD FACADE TO ILLUMINATE BUILDING SIGNAGE. PROJECTION OF FIXTRUE FROM WALL IS WITHIN THE LIMITS OF THE ROOF OVERHANG. NO UPLIGHT WILL BE EMITTED INTO THE NIGHT SKY.

SCALE: NONE

3 ED1, ED1EM SCALE: NONE



AE DESIGN Integrated Lighting, Technology, and Electrical Solutions 1900 Wazee Street #205 Denver, CO 80202 303.296,3034 se dealgrains, com-

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MOUNTA

STATION SCHEDULE RESCUE **VIEW FIRE**

PD, ENM, ANW KMD PD, ENM, ANW

2321-001 1' = 20'

JUN 24, 2024

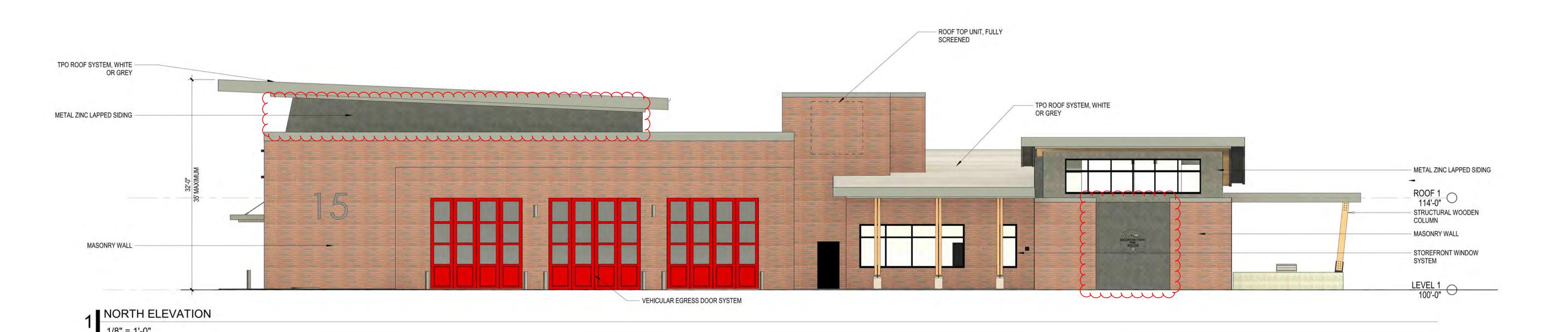
Please label with the new parcel nomen

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PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

> SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES SPECIAL REVIEW USE SITE PLAN SP2024-00004; SRU2024-00001





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ROOF TOP UNIT, FULLY -SCREENED TPO ROOF SYSTEM, WHITE OR GREY METAL ZINC FASCIA w/ -WOOD SOFFIT BELOW STRUCTURAL WOODEN METAL ZINC LAPPED SIDING COLUMN - MASONRY WALL MASONRY WALL STOREFRONT WINDOW SYSTEM STOREFRONT WINDOW SYSTEM FENCE / SCREEN WALL

THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREIN ARE INTENDED TO DEMONSTRATE HOW ALL HVAC AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED ACCORDING TO TOWN OF ERIE, UNIFIED DEVELOPMENT CODE REQUIREMENTS. IT IS THE APPLICANTS RESPONSIBILITY TO ENSURE THAT THIS APPROVED SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS, REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES, OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE APPROVED SCREENING MAY RESULT IN DELAY

2 WEST ELEVATION

1/8" = 1'-0"

OF FINAL INSPECTIONS AND/ OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

EXTERIOR MATERIALS LEGEND NORMAN BRICK 1/3 OFFSET SQUARE PANEL B.O.D. INTERSTATE BRICK B.O.D. RHEINZINK COLOR: GRANUM SKYGREY COLOR: IRONSTONE

VIEW FIRE RESCUE - STATION SPECIAL REVIEW USE MOUNTA

#15

2321-001 As indicated JUN 28, 2024

PART OF THE SE 1/4 OF SECTION 23, TOWNSHIP 1 SOUTH, RANGE 69WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

SRU AREA - 1.56 ACRES - TOTAL AREA 1.56 ACRES



1 OVERALL FLOOR PLAN

1" = 10'-0"

VIEW FIRE RESCUE - STATION SPECIAL REVIEW USE

MOUNTAIN

1" = 10'-0"

JUN 28, 2024

FLATIRON MEADOWS FILING NO.14 MINOR SUBDIVISION

FLATIRON MEADOWS MASTER PLAT, TRACT G

IN THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

1.56 ACRES - LOT 1,BLOCK 1

CASE NUMBER INSERTED

PURPOSE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO REDEFINE THE PARCEL OF LAND BEING ENTIRELY TRACT G OF THE FLATIRON MEADOWS MASTER PLAT, AS RECORDED AT RECEPTION NO. 2988916, TO FLATIRON

DEDICATED AND OWNERSHIP STATEMENT:

MEADOWS FILING NO. 14, LOT 1, BLOCK 1

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, OR LIEN HOLDERS OF CERTAIN LANDS IN THE TOWN OF ERIE, COUNTY OF WELD, COLORADO, DESCRIBED AS FOLLOWS:

TRACT G OF THE RECORDED PLAT, FLATIRON MEADOWS MASTER PLAT, RECORDED AT RECEPTION NO. 2988916, IN THE OFFICE OF CLERK AND RECORDER OF BOULDER COUNTY AND AND ALSO BEING A PORTION OF THE SOUTH HALF OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPLE MERIDIAN, IN THE TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO.

SAID PARCEL CONTAINS 67,863.75 SQUARE FEET OR 1.56 ACRES MORE OR LESS.

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, TRACTS, STREETS AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND SUBDIVISION OF FLATIRON MEADOWS SUBDIVISION. THE PEDESTRIAN AND MAINTENANCE EASEMENT SHOWN HEREON IS DEDICATED TO THE TOWN OF ERIE AND PUBLIC, FOR PUBLIC USES AND PURPOSES AS SHOWN HEREON.

OWNER: MOUNTAIN VIEW FIRE RESCUE DISTRICT, A TITLE 32 SPECIAL DISTRICT

BY: (DAVID BEEBE)	(DATE)
TITLE: FIRE CHIEF	
STATE OF COLORADO)) SS.	
COUNTY OF)	
ACKNOWLEDGED BEFORE ME THIS DAY C	DF, 20B
WITNESS MY HAND AND OFFICIAL SEAL	
NOTARY PUBLIC	
MY COMMISSION EXPIRES:	

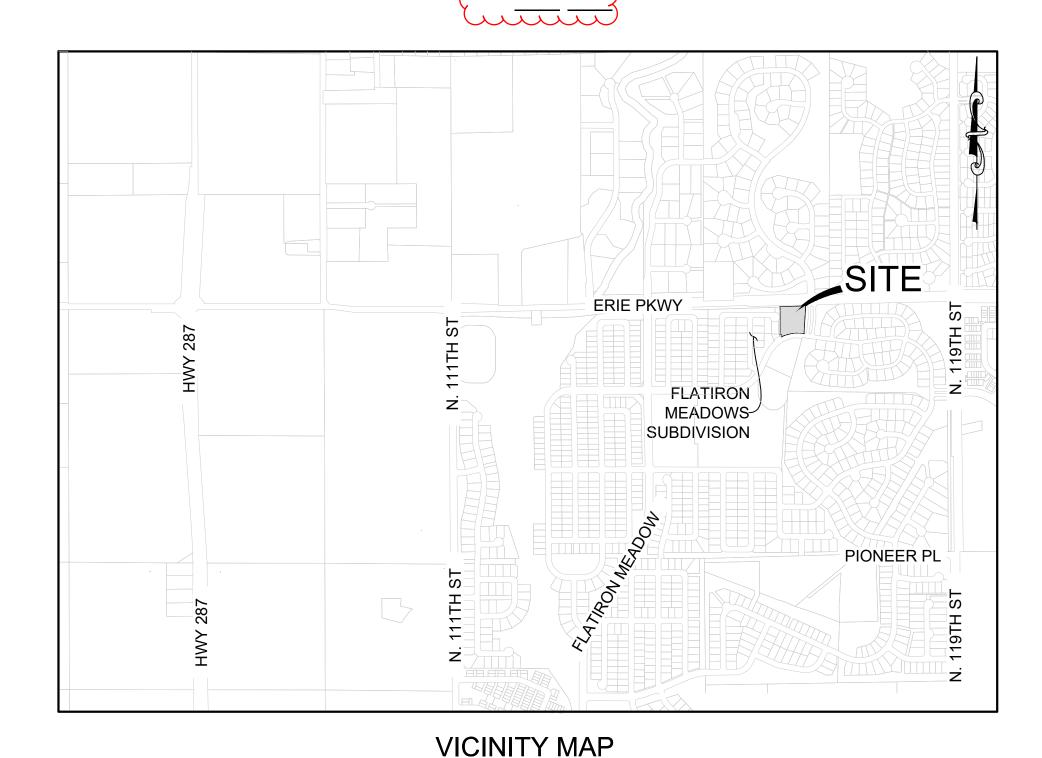
I don't think we need this block - typically this is for dedications to a private entity (a Metro district or HOA). A dedication/acceptance for the town

ACCEPTANCE CERTIFICATE:

MY COMMISSION EXPIRES:_

THE DEDICATED <u>PEDESTRIAN ACCESS AND MAINTENA</u> OWNERSHIP AND MAINTENANCE BY THE <u>THE TOWN O</u>	
TOWN OF ERIE	
BY:	(DATE)
TITLE: PLANNING AND DEVELOPMENT DIRECTOR	
STATE OF COLORADO)) SS. COUNTY OF BOULDER)	
ACKNOWLEDGED BEFORE ME THIS DAY OF AS	, 20 BY
WITNESS MY HAND AND OFFICIAL SEAL	
NOTARY PUBLIC	

 \sim



LAND SUMMARY CHART			
TYPE	AREA (ACRES)	% OF TOTAL AREA	
LOT 1 - PUBLIC SAFETY SERVICES	1.56	100%	
TRACTS	0.00	0%	
PUBLIC ROWS	0.00	0%	

SCALE: 1" = 2000'

PLAT NOTES

- 1. BASIS OF BEARING: THE EAST/WEST MID-SECTION LINE OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST, MONUMENTED AT THE CENTER CORNER OF SAID SECTION 23 BY A FOUND 2.5" ALUMINUM CAP, STAMPED "LS96512" (2024) AND MONUMENTED AT THE EAST ¼ CORNER WITH A FOUND 3.5" ALUMINUM CAP STAMPED "INTEGRAL" LS37885 (2009), BASED ON COLORADO STATE PLANE '83 NORTH ZONE, BEING MEASURED TO BEAR NORTH 88°27'32" EAST FOR A DISTANCE OF 2620.67'
- 2. NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOUR FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

BENCHMARK

BEARINGS SHOWN HEREIN ARE BASED UPON THE EAST/WEST MID-SECTION LINE OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST, MONUMENTED AT THE CENTER CORNER OF SAID SECTION 23 BY A FOUND 2.5" ALUMINUM CAP, STAMPED "LS96512" (2024) AND MONUMENTED AT THE EAST 1/4 CORNER WITH A FOUND 3.5" ALUMINUM CAP STAMPED "INTEGRAL" LS37885 (2009), BASED ON COLORADO STATE PLANE '83 NORTH ZONE, BEING MEASURED TO BEAR NORTH 88°27'32" EAST FOR A DISTANCE OF 2620.67'

TITLE VERIFICATION CERTIFICATE:

WE <u>STEWART TITLE COMPANY</u>, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE OF ALL LAND PLATTED HEREON AND THAT TITLE TO SUCH LAND IS IN THE DEDICATOR(S) FREE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES, EXCEPT AS FOLLOWS:

TITLE:______

ATTEST: (IF CORPORATION)

SECRETARY/TREASURER

STATE OF COLORADO) SS.

COUNTY OF ______)

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ BY ____ AS _____.

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES:

STEWART TITLE COMPANY

SURVEYOR'S CERTIFICATE:

I, ANTHONY L. KNIEVEL, A DULY REGISTERED PROFESSIONAL SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF THE SURVEY MADE ON MARCH 4 2024, BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (SECOND ORDER); AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND AND ALL APPLICABLE PROVISIONS OF THE TOW OF ERIE UNIFIED DEVELOPMENT

I ATTEST THE ABOVE ON THIS_____DAY OF_____,20___

COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR # 38157

TOP ERIE UNIFIED DEV

REVISED

TOWN COUNCIL —

_		
	DOADD OF THICKES	APPROVAL CERTIFICAT
	DUAND OF INUSIEE	APPROVAL CERTIFICAT

MAYOR	TOWN COUNCI	L
ATTEST	REVISED	

PLANNING & DEVELOPMENT APPROVAL CERTIFICATE:

THIS PLAT IS HEREBY APPROVED BY THE TOWN OF ERIE PLANNING & DEVELOPMENT DIRECTOR ON THIS ______DAY OF______, 20____.

PLANNING & DEVELOPMENT DIRECTOR

TOWN CLERK

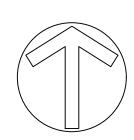
mmmmmm

CLERK & RECORDER CERTIFICATE:

STATE OF COLORADO)
COUNTY OF BOULDER)

I HEREBY CERTIFY THAT THIS PLAT WAS FILED IN MY OFFICE ON THIS_____DAY
OF_____,20___A...D. AND WAS RECORDED AT RECEPTION NUMBER____

COUNTY CLERK AND RECORDER.



INDEX OF PLAN SHEETS

1 COVER SHEET
2 SUBDIVISION PLAT

of 2

Pescription
Submittal #1

COVER SHE

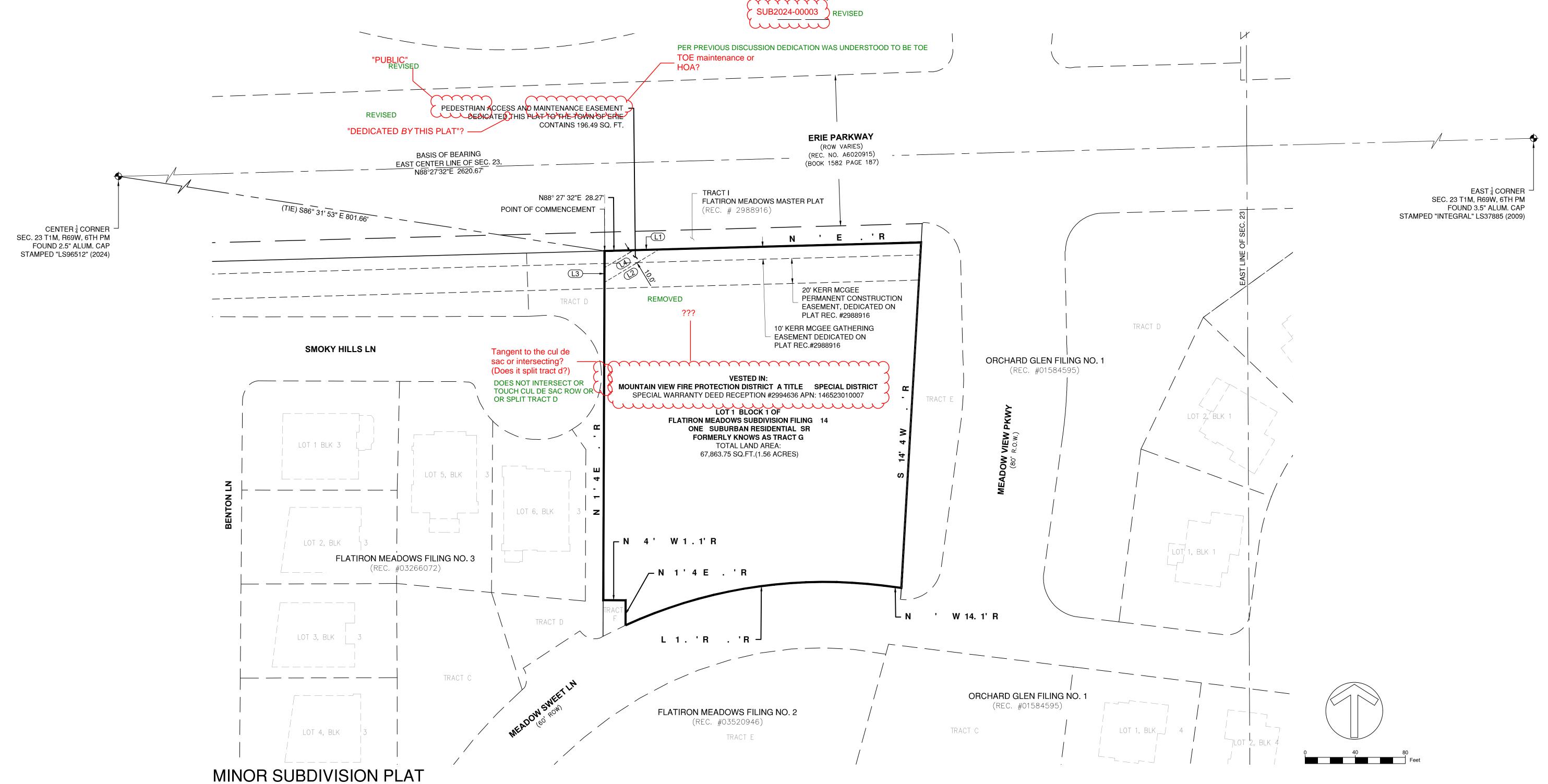
FILING

FLATIRON MEADOWS FILING NO.14 MINOR SUBDIVISION

FLATIRON MEADOWS MASTER PLAT, TRACT G

IN THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO





LEGEND

— – PROPERTY LIN

— EASEMENT LINE

PLSS MONUMENTATION FOUND AS DESCRIBED

FOUND MONUMENTATION AS DESCRIBED

• SET 5/8" REBAR WITH ALUMINUM CAP MARKED PLS 38157

SCALE: 1" = 40'

(R) RECORDED

	ACCESS & MAINTENANCE EASEMENT LINE TABLE			
LINE # LENGTH DIRECTION		DIRECTION		
	L1	20.12	N88° 49' 49.32"E	
	L2	50.92	S58° 55' 53.47"W	
	L3	11.74	N0° 07' 08.44"E	
	L4	27.40	N58° 58' 16.12"E	
•				

BASIS AND BEARING

BEARINGS SHOWN HEREIN ARE BASED UPON THE EAST/WEST MID-SECTION LINE OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST, MONUMENTED AT THE CENTER CORNER OF SAID SECTION 23 BY A FOUND 2.5" ALUMINUM CAP, STAMPED "LS96512" (2024) AND MONUMENTED AT THE EAST ¼ CORNER WITH A FOUND 3.5" ALUMINUM CAP STAMPED "INTEGRAL" LS37885 (2009), BASED ON COLORADO STATE PLANE '83 NORTH ZONE, BEING MEASURED TO BEAR NORTH 88°27'32" EAST FOR A DISTANCE OF 2620.67'

BENCHMARK

THE PRO ECT BENCHMARK IS THE CENTER CORNER OF SECTION 23, LOCATED IN THE CENTER OF ERIE PARKWAY AND MONUMENTED BY A 2.5" ALUMINUM CAP, STAMPED "LS96512" (2024). ELEVATIONS ARE BASED UPON THE NAVD 88 DATUM AND ESTABLISHED USING THE RTK NETWORK. THE ELEVATION IS 5146.36 US SURVEY FT.

GeoVista Survey and Mapping 88 Inverness Cir East, Suite 101 Englewood, Colorado 80112

TIRON MEADOWS FILING NO MINOR SUBDIVISION

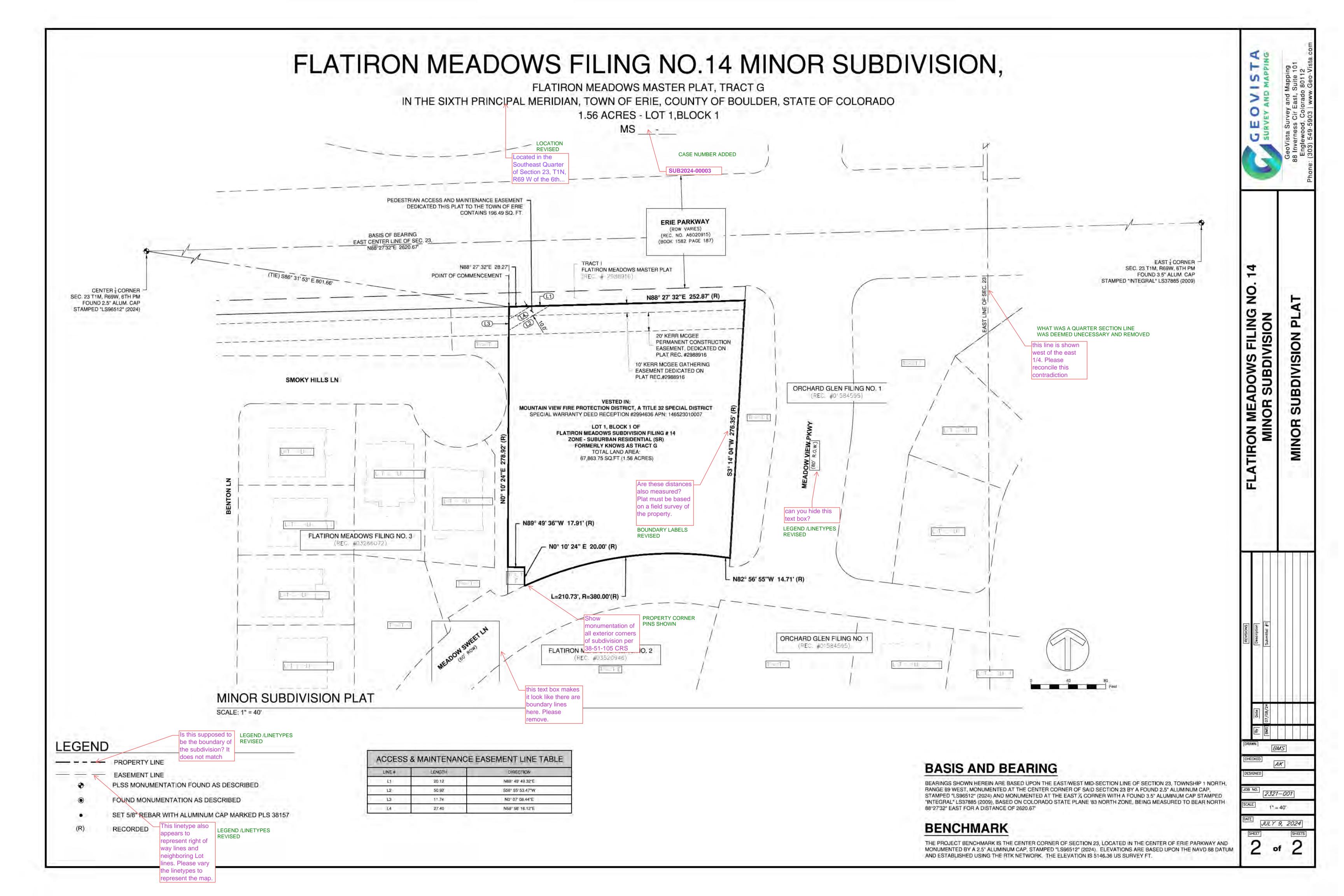
NAMADA BMS 07/08/24 Submittal #1

CHECKED A

JOB NO. 2321-001

JULY 9, 2024

 $\frac{1}{2}$ of $\frac{2}{2}$



ADDRESS PLAT FLATIRON MEADOWS FILING NO. 14 ERIE PARKWAY TRACT I FLATIRON MEADOWS MASTER PLAT (REC. # 2988916) **SMOKY HILLS LN** FLATIRON MEADOWS FILING NO. 14 **ADDRESS PLAT** 2285 Meadow Sweet Ln TRACT E LOT 1, BLOCK 1 OF FLATIRON MEADOWS SUBDIVISION FILING # 14 LOT 5, BLK 3 601 SMOKY HILLS LN LOT 6, BLK 3 599 SMOKY LOT 1, BLK 1 2275 CHESTNUT CIR FLATIRON MEADOWS FILING NO. 3 (REC. #03266072) TRACT D TRACT C ORCHARD GLEN FILING NO. 1 (REC. #01584595) FLATIRON MEADOWS FILING NO. 2 LOT 1, BLK 4 2280 MEADOW SWEET LN (REC. #03520946) TRACT C TRACT E JOB NO: 2123-001 ORIGINAL ISSUE: 07/12/24 DESIGN BY: AS CHECKED BY: MDC SCALE: 1" = 40' PAGE NO. 1 OF 1



Memo

To: Harry Brennan

From: Misty Hall, Stormwater Coordinator

Date: September 18, 2024

Subject: MVFR – Station 15 Fire Station – Stormwater Comments

General Comments:

1. During construction, the site will need to apply for a Town of Erie Stormwater Quality Permit.

Civil Construction Drawings:

1. Erosion Control Plans are required to be phased.

Phase III Drainage Report:

1. Include the Post construction Design Standards form as an Appendix.



WesternMidstream.com

November 25, 2024

VIA E-MAIL

Town of Erie Planning Division Harry Brennan 645 Holbrook St. PO BOX 750 Erie, CO 80516 hbrennan@erieco.gov

NOTICE OF RIGHT-OF-WAY GRANTS OWNED BY WES DJ GATHERING LLC AND ASSOCIATED SAFETY REQUIREMENTS:

Re: Mountain View Fire Rescue Station 15

Mountain View Fire Rescue District – Property Owner

Township 1 North, Range 69 West, 6th P.M.

Section 23: N2

Boulder County, Colorado

Town of Erie Planning Division:

This letter is being sent by WES DJ Gathering LLC ("WES") to inform you WES is the owner of valid easements and pipelines located in of Section 23, Township 1 North, Range 69 West for which the Town of Erie ("Town") is reviewing the Mountain View Fire Rescue Station 15. WES is submitting this comment timely, in accordance with the Town's procedural requirements.

The following are comments pertinent to this Notice:

1. WES is the owner of a valid Right-of-Way Grant that was executed on December 23rd, 2009 and recorded on April 9th, 2010 with the Boulder County Clerk and Recorder at reception number 03068423.

The applicant MUST review the above grants and cannot encroach on WES's pipelines. The applicant will need to conform to all terms of the Right-of-Way Grants identified above and adhere to WES safety requirements:

- Any utility crossing (phone, water, sewer, fiber optic cables, etc) require a minimum of 2' of vertical separation and should cross as close to 90° as possible.
- Utilities paralleling a WES pipeline will need to maintain at least 10' of horizontal separation.
 - For any work taking place within 10 feet, WES lines must be verified by hydrovacing with a WES standby present for both location and depth of pipeline.
- Grade cannot be reduced over the top of a WES Pipeline without prior written consent to ensure applicable federal pipeline safety regulations are not violated.
- Should crossing be required with heavy equipment, the make/model/max loaded weight of construction vehicles must be provided to WES at least 1 month in advance of dirt work for review and written approval.
- A standby will be required for any digging within 10' of a WES pipeline.
- Colorado 811 Laws must be adhered to.

Provided that the requirements above are met, WES does not object to the proposed Mountain View Fire Rescue Station 15. Additionally, WES reserves the right to stop work for any encroachment related to the proposed development if the above safety precautions are not met.

Please contact me at 970-598-4246 if you have any questions or comments about this matter.

Sincerely, WES DJ GATHERING LLC

Clay Young Senior Landman

cc: Sherry Bursey, Senior Counsel Jayson L. VanShura Paul Gerrish Kelly Reyos



Right of Way & Permits

1123 West 3rd Avenue Denver, Colorado 80223 Telephone: **303.571.3306** Facsimile: 303.571.3284 donna.l.george@xcelenergy.com

September 3, 2024

Town of Erie Community Development Services 645 Holbrook / PO Box 750 Erie, CO 80516

Attn: Harry Brennan

Re: Mountain View Fire Rescue Station #15, Meadow Sweet Lane Case #s SUB2024-00003, SP2024-00004, SRU2024-00001

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the special use review, site plan and subdivision plat for **Mountain View Fire Rescue Station #15**. Please be aware PSCo owns and operates existing natural gas distribution facilities along the south property line, and underground electric distribution facilities along the north property line for streetlighting.

The property owner/developer/contractor must complete the application process for any new natural gas or electric service, or modification to existing facilities via xcelenergy.com/InstallAndConnect. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details.

Additional easements *will* need to be acquired by separate document for new facilities (i.e. transformer) – be sure to have the Designer contact a Right-of-Way Agent.

As a safety precaution, PSCo would like to remind the developer to contact Colorado 811 for utility locates prior to construction.

Donna George Right of Way and Permits

Public Service Company of Colorado dba Xcel Energy

Office: 303-571-3306 - Email: donna.l.george@xcelenergy.com



WesternMidstream.com

August 19, 2024

VIA E-MAIL

Town of Erie Planning Division Harry Brennan 645 Holbrook St. PO BOX 750 Erie, CO 80516 hbrennan@erieco.gov

NOTICE OF RIGHT-OF-WAY GRANTS OWNED BY WES DJ GATHERING LLC AND ASSOCIATED SAFETY REQUIREMENTS:

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Mountain View Fire Rescue District – Property Owner

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Sincerely, WES DJ GATHERING LLC

Clay Young Senior Landman

cc: Sherry Bursey, Senior Counsel Jayson L. VanShura Paul Gerrish Kelly Reyos



Boulder County Clerk, CO

03068423 Page: 1 of 5 DF: \$0.00

RIGHT-OF-WAY GRANT

THIS RIGHT-OF-WAY GRANT ("Grant) is made this 23 day of December, 2009, from MOUNTAIN VIEW FIRE PROTECTION DISTRICT, a Title 32 special district, whose address is 9119 East County Line Road, Longmont, Colorado 80504, ("Grantor"), to KERR-McGEE GATHERING LLC, a Colorado limited liability company, whose address is 1099 18th Street, Denver, Colorado 80202 ("Grantee"). The parties agree

For and in consideration of Ten Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged. Grantor hereby grants, conveys and warrants unto Grantee, its successors and assigns, perpetual right-of-ways and non-exclusive easements to survey, construct, maintain, inspect, operate, repair, replace, modify, change the size of, reconstruct, mark, monitor, abandon or remove, at Grantee's election, pipelines and all appurtenances, below and/or above ground, including but not limited to launchers and receivers, convenient for the transportation or transmission of oil, gas, petroleum products, water, hydrocarbons and any other substances, whether fluid, solid or gaseous, and any products, derivatives, combinations or mixtures of any of the foregoing, in. on, over, under, or through the lands situated in Boulder County, State of Colorado, being described as follows:

TOWNSHIP 1 NORTH, RANGE 69 WEST, 6TH PM

Section 23: All that part of the S/2

Also described as Tract G, Flatirons Meadows Subdivision - Master Plat, County of Boulder, State of Colorado.

The specific route and course of the right-of-ways and easements conveyed hereby ("Right-of-Way Lands") is more particularly described on Exhibit "A" attached hereto and made a part hereof.

Grantor represents and warrants to Grantee that Grantor is the sole owner in fee simple of the Rightof-Way Lands and has full right, power and authority to make this Grant.

Grantee shall lay all pipe at a depth of not less than 48 inches. Grantee shall repair and/or restore any fence on or adjacent to the Right-of-Way Lands removed or severed by Grantee in the course of the operations provided for in this Grant. If necessary to prevent the escape of Grantor's livestock, Grantee shall construct temporary gates or fences.

Grantee shall have all rights, privileges and benefits necessary or convenient for the full use and enjoyment of this Grant, including but not limited to, the right of ingress and egress over and across Grantor's lands lying adjacent to the Right-of-Way Lands for any and all purposes necessary and incidental to exercising Grantee's rights hereunder. Grantor agrees not to build, create, construct or permit to be built, created or constructed, any obstruction, building, reservoir, engineering works or other structures or improvements over, under, on or across the Right-of-Way Lands, except as provided herein, without prior written consent of Grantee, which consent shall not be unreasonably withheld. Other utilities may be placed in the Right-of-Way Lands parallel to Grantee's pipeline so long as the horizontal separation from the centerline of Grantee's pipeline is at least 10 feet (10'). Grantor retains the right to landscape over the Rightof-Way Lands with grass, shallow root shrubs and gravel paths. Grantee shall not be liable for damage to landscaping or sprinkler systems placed in the Right-of-Way Lands. Grantor shall have the right to cross the Right-of Way Lands with roads, utilities and fences placed at substantially right angles.

Grantee shall be obligated to pay for, repair, replace or otherwise compensate Grantor for any damages resulting from Grantee's activities and operations on the Right-of-Way Lands; and, Grantor shall pay for, reimburse, indemnify and hold Grantee harmless from any and all claims or damages resulting from Grantor's activities on the Right-of-Way Lands. Grantor shall have the right to use and enjoy the Right-of-Way Lands, subject to the rights herein granted. This Grant cannot be modified, except in writing signed by all parties hereto.

The rights granted herein may be assigned in whole or in part, and the terms, conditions, and provisions of this Grant are a covenant running with the land and shall extend to and be binding upon the successors, and assigns of Grantor and Grantee.

Grantee agrees to level and restore any lands that may have excessive settling and sufficiently compact the soil within a reasonable period of time after completion of construction.

This Grant may be executed in counterparts each of which shall be considered one and the same agreement.

IN WITNESS WHEREOF, the parties have executed this Grant as of the date first above written.

Grantor: Mountain View Fire Protection District By: Mould Again.	Grantee: Kerr-McGee Gathering LLC By its Manager, Kerr-McGee Oil & Gas Onshore LP By: Ron Olsen
Min I A I I I I I I I I I I I I I I I I I	before me this day of December, 2009 by on behalf of Mountain View Fire Protection Notary Public: My Commission Expires: b
STATE OF COLORADO) ss. COUNTY OF DENVER The foregoing instrument was acknowledged before Olsen, as Agent and Attorney-in-Fact of Kerr-McKerr-McGee Gathering LLC, a Colorado limited lia Witness my hand and official Seal.	Gee Oil & Gas Onshore LP, in its capacity as Manager of

My Commission Expires 03/11/2012

IN WITNESS WHEREOF, the parties have executed this Grant as of the date first above written.

Grantee:

Kerr-McGee Gathering LLC By its Manager, Kerr-McGee Oil & Gas Openore LP

Grantor:

Mountain View Fire Protection District

1		By:	
		Ron Ol	sen
STATE OF COLORADO)		
COUNTY OF WELD)ss.)		
The foregoing instrument	was acknowledged be as fire Chie	fore me this on behalf of N	lay of December, 2009 by Mountain View Fire Protection
District. Witness my hand and officia	si Cool		
NOTAR)	ii Seai.	Doug &	muo
Suadon !		Notary Public: My Commission Expire	Steno b. John
C. C.			O
STATE OF COLORADO)) ss.		
COUNTY OF DENVER The foregoing instrument was		mathin lotte down Oc	2000 14 7
Olsen, as Agent and Attorn Kerr-McGee Gathering LLC,	ey-in-Fact of Kerr-McGe	ee Oil & Gas Onshore LP,	n its capacity as Manager of ch company:
Witness my hand and officia	il Seal.	MAROC	PA
	STORY STORY	Notary Public:	3/11/2012
	COTARL	My Commission Expire	s: Stilato
E Constitution of the Cons	AUBLIC OF		
Of.	FOF COLOR		

My Commission Expires 03/11/2012

EXHIBIT "A" RIGHT OF WAY LANDS

DESCRIPTION:

RIGHT OF WAY LANDS SUBSEQUENT TO CONSTRUCTION

A strip 10 feet wide in TRACT G of FLATIRON MEADOWS SUBDIVISION-MASTER PLAT recorded March 31, 2009 at Reception No. 2988916 of the Boulder County records being part of the southeast one-quarter of Section 23, Township 1 North, Range 69 West of the Sixth Principal Meridian, Town of Erie, County of Boulder, State of Colorado. The strip shall lie 5 feet on each side of the following described centerline;

A line monumented by 1-1/2 inch aluminum caps stamped PLS 26953 at the northwest corner of TRACT H and at a northeasterly corner of TRACT I of said FLATIRON MEADOWS SUBDIVISION–MASTER PLAT bears N 88°23'44" E a distance of 3050.58 feet with all bearings contained herein relative thereto.

BEGINNING at a point on the west line of said TRACT G from which northeasterly corner of said TRACT I, a 1-1/2 inch aluminum cap stamped PLS 26953, bears bears N 84°11'13" W a distance of 348.62 feet

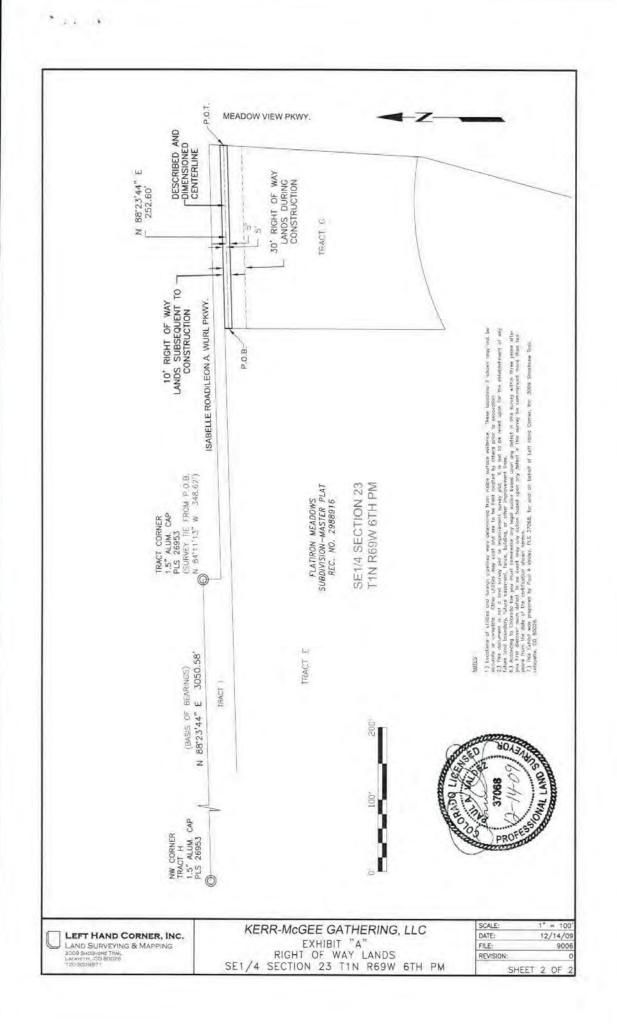
Thence N 88°23'44" E along a line 5.00 feet south of, distant to and parallel with the north line of said TRACT G a distance of 252.60 feet to the east line of said TRACT E and the POINT OF TERMINUS.

The sidelines of said strip being extended or shortened as necessary to begin at the west line of said TRACT G and terminate at the east line of said TRACT G.

The strip contains an area of 0.058 acres more or less.



Prepared by: Paul A. Valdez PLS 37068 For and on behalf of Left Hand Corner, Inc. 1009 Shoshone Trail Lafayette, CO 80026



Land > Lease > Lease



D0001595936

Sender Name: Analicia Maldonado

Date Created: 06/07/2011
Barcode Expires: 07/07/2011
Department: Land Record
Security: Non-Privileged

COLOR DOCUMENT ONU-SPX19738

Attribute	Value
Description	ORIGINAL - RECORDED - ROW GRANT - MOUNTAIN VIEW FIRE PROTECTION DISTRICT TO KERF MCGEE GATHERING - T1N, R69W SEC.23:S2
Document Date	12/23/2009
Lease Document Type	Surface/Easement/ROW
New Lease Packet	No
New Well Handoff	No
Lease Number Suffix	CO-S00016099
File Key	2010710
Group Code	LSE
Lease End Date	12/31/2099
Lessor Name	MOUNTAIN VIEW FIRE PROTECTION DISTRICT
Prospect Name	WATTENBERG GATHERING MIDSTREAM SURFACE (KMGG)/A-42101067
State County	COLORADO:BOULDER(013)

SCANNED

Create another submittal sheet:

New | Based On This One

JUN 0 9 2011

APC

of Section 23, T1N

FLATIRON MEADOWS FILING NO.14 MINOR SUBDIVISION,

FLATIRON MEADOWS MASTER PLAT, TRACT G

IN THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

1.56 ACRES - LOT 1,BLOCK 1

PURPOSE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO REDEFINE THE PARCEL OF LAND BEING ENTIRELY TRACT G OF THE FLATIRON MEADOWS MASTER PLAT, AS RECORDED AT RECEPTION NO. 2988916, TO FLATIRON MEADOWS FILING NO. 14, LOT 1, BLOCK 1

DEDICATED AND OWNERSHIP STATEMENT:

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, OR LIEN HOLDERS OF CERTAIN LANDS IN THE TOWN OF ERIE. COUNTY OF WELD. COLORADO. DESCRIBED AS FOLLOWS:

TRACT G OF THE RECORDED PLAT, FLATIRON MEADOWS MASTER PLAT, RECORDED AT RECEPTION NO. 2988916, IN THE OFFICE OF CLERK AND RECORDER OF BOULDER COUNTY AND AND ALSO BEING A PORTION OF THE SOUTH HALF OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPLE MERIDIAN, IN THE TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO.

SAID PARCEL CONTAINS 67,863.75 SQUARE FEET OR 1.56 ACRES MORE OR LESS.

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, TRACTS, STREETS AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND SUBDIVISION OF FLATIRON MEADOWS SUBDIVISION. THE PEDESTRIAN AND MAINTENANCE EASEMENT SHOWN HEREON IS DEDICATED TO THE TOWN OF ERIE AND PUBLIC, FOR PUBLIC USES AND PURPOSES AS SHOWN HEREON.

OWNER: MOUNTAIN VIEW FIRE RESCUE DISTRICT, A TITLE 32 SPECIAL DISTRICT

BY:	(DATE)
TITLE: FIRE CHIEF	
STATE OF COLORADO)	
) SS. COUNTY OF)	
ACKNOWLEDGED BEFORE ME THIS DAY OF	, 20BY
WITNESS MY HAND AND OFFICIAL SEAL	
NOTARY PUBLIC	

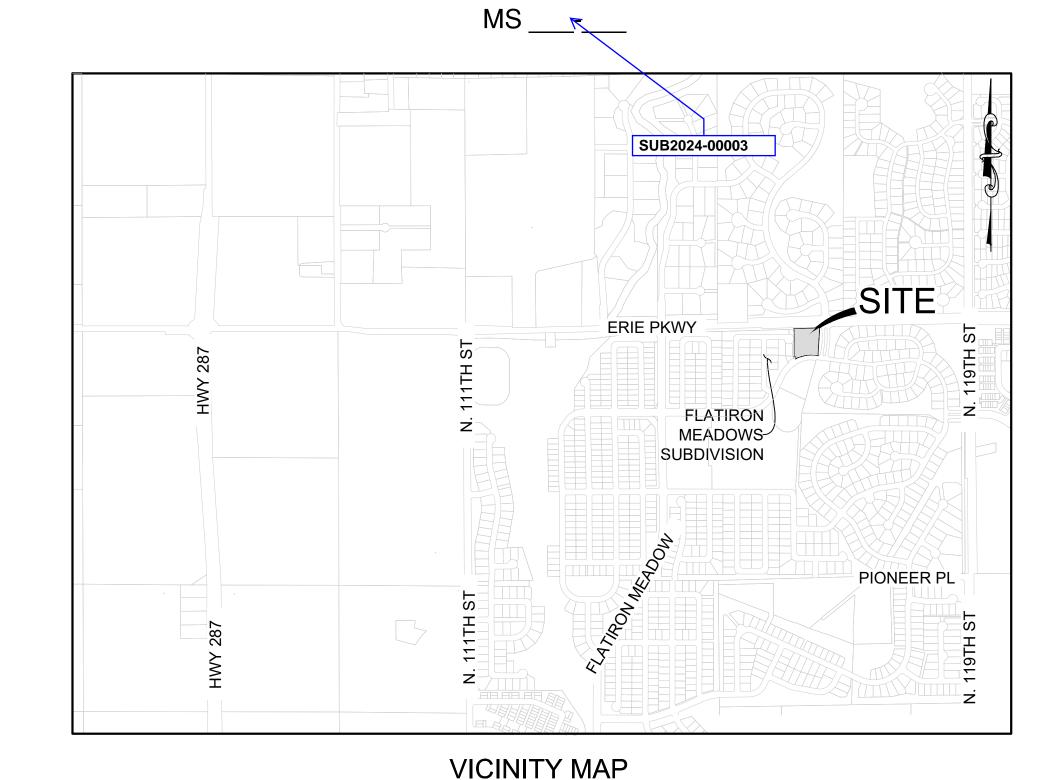
ACCEPTANCE CERTIFICATE:

MY COMMISSION EXPIRES:___

MY COMMISSION EXPIRES:

OWNERSHIP AND MAINTENANCE BY THE THE TOWN OF ERIE. TOWN OF ERIE CHRIS LARUE TITLE: PLANNING AND DEVELOPMENT DIRECTOR STATE OF COLORADO COUNTY OF BOULDER ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20_____ BY WITNESS MY HAND AND OFFICIAL SEAL NOTARY PUBLIC

THE DEDICATED PEDESTRIAN ACCESS AND MAINTENANCE EASEMENT IS HEREBY ACCEPTED FOR



LAND SUMMARY CHART			
TYPE	AREA (ACRES)	% OF TOTAL AREA	
LOT 1 - PUBLIC SAFETY SERVICES	1.56	100%	
TRACTS	0.00	0%	
PUBLIC ROWS	0.00	0%	

SCALE: 1" = 2000'

PLAT NOTES

- 1. BASIS OF BEARING: THE EAST/WEST MID-SECTION LINE OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST, MONUMENTED AT THE CENTER CORNER OF SAID SECTION 23 BY A FOUND 2.5" ALUMINUM CAP, STAMPED "LS96512" (2024) AND MONUMENTED AT THE EAST 1/4 CORNER WITH A FOUND 3.5" ALUMINUM CAP STAMPED "INTEGRAL" LS37885 (2009), BASED ON COLORADO STATE PLANE '83 NORTH ZONE, BEING MEASURED TO BEAR NORTH 88°27'32" EAST FOR A DISTANCE OF 2620.67'
- NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOUR FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

BENCHMARK

BEARINGS SHOWN HEREIN ARE BASED UPON THE EAST/WEST MID-SECTION LINE OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST, MONUMENTED AT THE CENTER CORNER OF SAID SECTION 23 BY A FOUND 2.5" ALUMINUM CAP, STAMPED "LS96512" (2024) AND MONUMENTED AT THE EAST ¼ CORNER WITH A FOUND 3.5" ALUMINUM CAP STAMPED "INTEGRAL" LS37885 (2009), BASED ON COLORADO STATE PLANE '83 NORTH ZONE, BEING MEASURED TO BEAR NORTH 88°27'32" EAST FOR A DISTANCE OF 2620.67'

TITLE VERIFICATION CERTIFICATE:

WE STEWART TITLE COMPANY, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE OF ALI LAND PLATTED HEREON AND THAT TITLE TO SUCH LAND IS IN THE DEDICATOR(S) FREE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES, EXCEPT AS FOLLOWS:

TITLE:		
ATTEST: (IF CORPORATION)		
SECRETARY/TREASURER		
STATE OF COLORADO)	SS.	
COUNTY OF)	33.	
ACKNOWLEDGED BEFORE ME 1	THIS DAY OF	, 20BY

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES:

STEWART TITLE COMPANY

SURVEYOR'S CERTIFICATE:

I ATTEST THE ABOVE ON THIS	DAY OF	,20

COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR # 38157

BOARD OF TRUSTEE APPROVAL CERTIFICATE:

THIS PLAT IS TO BE KNOWN AS FLATIRON MEADOWS FILING NO. 14 IS APPROVED AND ACCEPTED BY RESOLUTION NO. PASSED AND ADOPTED AT A MEETING OF THE BOARD OF TRUSTEES OF ERIE, COLORADO, HELD ON THE_____DAY OF_____20___.

MAYOR		
ATTEST		
	TOWN CLERK	

PLANNING & DEVELOPMENT APPROVAL CERTIFICATE:

THIS PLAT IS HEREBY APPROVED BY THE TOWN OF ERIE PLANNING & DEVELOPMENT DIRECTOR ON THIS _____, 20____.

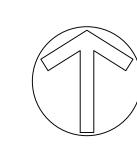
PLANNING & DEVELOPMENT DIRECTOR

CLERK & RECORDER CERTIFICATE:

STATE OF COLORADO COUNTY OF BOULDER

I HEREBY CERTIFY THAT THIS PLAT WAS FILED IN MY OFFICE ON THIS____ OF_____,20___A..D. AND WAS RECORDED AT RECEPTION NUMBER_

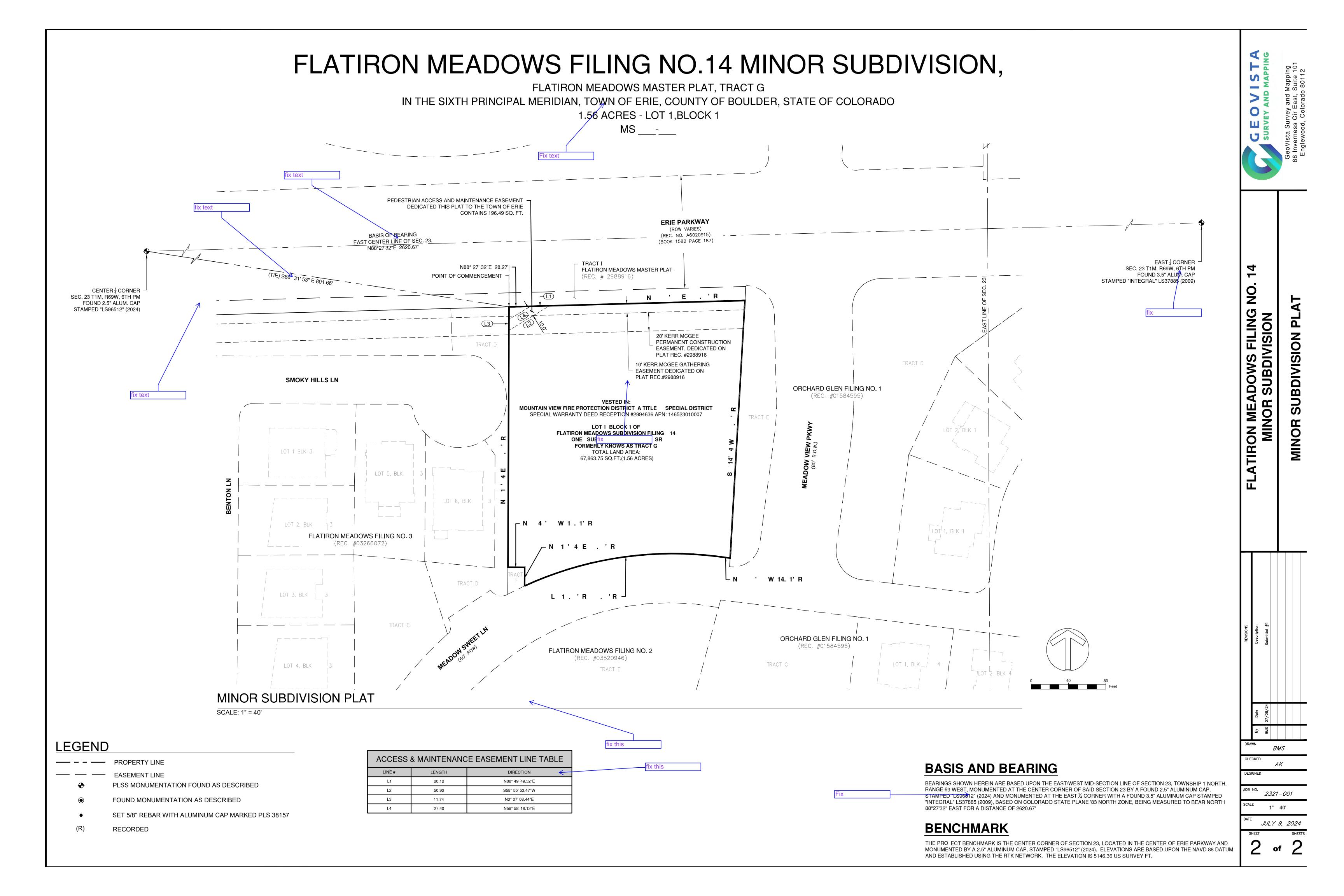
COUNTY CLERK AND RECORDER.



INDEX OF PLAN SHEETS

COVER SHEET 2 SUBDIVISION PLAT

FILING SUBDIVISION **TIRON MEADOWS**





MEMORANDUM

To: Doug Trettin, Planning Technician – Town of Erie

From: Bill Cowern, Senior Associate – Fox Tuttle Transportation Group

Date: September 9, 2024

Project: Mountain View Fire Rescue – Station 15

Subject: Review of Traffic Impact Letter by Strategic Site Designs, dated June 27th, 2024

In response to the Town of Erie staff's request to review the above referenced Traffic Letter, I offer the following comments:

- The purpose of this Traffic Impact Letter is to address the site generated traffic impacts for the proposed fire station to be constructed on Tract G of the Flatiron Meadows Subdivision. The letter notes that the trip generation of the site is minimal (approximately 5 trips per peak hour) and should not trigger a more formal traffic impact study. I concur with this evaluation and conclusion.
- o It should be noted that the letter states that non-emergency access to the fire station will occur on Meadow Sweet Drive, but the correct statement would be "Meadow Sweet Lane".
- The Traffic Impact Letter also notes that prior studies have recommended that a westbound deceleration lane be constructed at the intersection of Erie Parkway and Meadow View Parkway and that this left turn lane should provide 350 feet of queue. The left turn lane has been constructed and is currently in place, but it only provides 150 feet of queue. The letter does not address when the left turn lane will be extended and whose responsibility it is for that to occur. It is reasonable to assume that it is not triggered by the construction of the Fire Station, but reference to the need for this change and no discussion about how or when it will occur is questionable.

The greater transportation operations and safety concern is that the fire station sites emergency access point directly onto Erie Parkway is handled in a safe and appropriate fashion. The remainder of my comments will focus on this topic.

- The Traffic Impact Letter does not have any graphics which would show where access points are anticipated to occur on the site. This makes it difficult to understand and comment upon the approach to providing a safe and appropriate emergency access point out onto Erie Parkway. Such a site graphic should be provided which shows where the emergency access point will occur and how it will impact the geometry of Erie Parkway.
- The Traffic Impact Letter notes that the existing pedestrian crossing treatment (on the west leg of the Erie Parkway and Meadow View Parkway intersection) should be relocated to the east leg (to move it away from the site's emergency exit west of the intersection). It also notes that the traffic control should change from an RRFB to a Hawk Hybrid Beacon. An evaluation should occur and be documented by a professional engineer which studies and determines the correct location and



traffic control for this crossing treatment. The Town of Erie has "Pedestrian Crossing Treatment Guidelines" and these should be considered in this evaluation.

O The Traffic Impact Letter notes that additional warning signage will also be required on Erie Parkway to address emergency response vehicles entering Erie Parkway, and states that "at a minimum" the installation of Emergency Vehicle Warning Systems are recommended. I concur that traffic control is needed to ensure safe and appropriate entrance onto Erie Parkway however, it is not clear whether this treatment should be Emergency Vehicle Warning System flashing beacons or whether it should be more a more robust treatment such as an Emergency Access Traffic Signal or hybrid beacon. The Manual on Uniform Traffic Control Devices (MUTCD) provides guidance on when an emergency signal or hybrid beacon would be appropriate, and a professional engineer should make an assessment on what the appropriate traffic control for this access point should be.

Images of the warning beacons and traffic hybrid beacons are provided below.





I hope that these review comments are helpful. Please let me know if you have any questions or require any additional information.

Bill Cowern, P.E., Senior Associate

Fox Tuttle Transportation Group 1580 Logan Street, 6th Floor Denver, CO 80203 (o) 303-652-3571 | (c) 303-408-6492

bill.cowern@foxtuttle.com





Town of Erie, Engineering Division PO Box 750 645 Holbrook Street Erie, Colorado 80516

RE: 1st Referral Review – Mountain View Fire Rescue Station #15 – SUB2024-00003, SP2024-0004, SRU2024-0001

Dear Engineering Division:

Merrick has completed a utility review for the first referral of the Mountain View Fire Rescue Station #15, Meadow Sweet Ln., received August 15, 2024. The submittal included Civil Construction Plans and Site Plans both dated July 12, 2024, prepared by Strategic Site Designs. The following is a summary of our comments. Please refer to the attachment for further clarity of the review comments and mark-ups on submittal documents.

General Comments

1. Per Town standards for Site Plan and Minor Subdivision submittals, provide a Final Utility Report that, among other information, details the water demands and wastewater loadings for the site and the layout of the utilities. This should include flow and pipe sizing calculations. The utility design cannot be approved until a utility report is submitted and reviewed.

Master Plan Compliance

- 1. Sanitary Sewer Master Plan The site falls within the Orchard Glen Sanitary Sewer Basin. Although a utility report with flow calculations was not included in the submittal, from the drawings provided, it appears that the proposed connections comply with the Town's Wastewater Master Plan and does not trigger any capital improvement projects for the Town.
- 2. **Potable Water Master Plan** The site falls within potable water pressure Zone 3. The proposed connection complies with the Town's master plan and does not trigger any capital improvement projects.
- 3. Non-Potable Master Plan It does not appear that non-potable water is planned to be used on site. If this is not the case, provide flow and pipe sizing calculations and layout for a non-potable water system.

Potable Water System Construction Plans (Sheet C6.00 – Overall Utility Plan)

- 1. The scale bar does not appear to equate to the scale of the Utility Plan when comparing called out measurements. Verify the scale of the view and the scale bar match.
- 2. There are several symbols in the legend that do not correlate to what is shown on the plan. Revise so that the proposed utilities are correctly shown in the legend.
- 3. The fire hydrant is located within a couple feet of the access drive curve. Because large fire trucks will be using this access drive, it is recommended to move the hydrant (and water service meter) further east to limit the risk of collision.







Sanitary Sewer System Construction Plans (Sheet C6.01 – Sanitary Sewer Plan and Profile)

- 1. Provide invert information on the profile for the existing manhole.
- 2. Provide stationing on the profile for the manholes, both existing and proposed.
- 3. The invert "in" and "out" are reversed on the sewer profile. Revise to reflect the correct direction of gravity flow of the sewer extension.
- 4. Verify that the proposed sanitary sewer service is a minimum of eighteen inches, clear, below the existing water main.

Sincerely,

Merrick & Company

Clare Steninger, PE

Attachment: Utility Construction Plan Mark-Ups



4 Civl Construction Drawings MVFR Station 15 Flatiron Meadows - Markup.pdf Markup Summary

9 (4)



Subject: Markup/Add Page Label: 9 Author: clare.steninger

Date: 9/9/2024 12:12:17 PM

Status:
Color: Layer: MarkUp
Space:

Scale bar doesn't match measurements on the Utility Plan. Verify.



Subject: Markup/Add Page Label: 9

Author: clare.steninger Date: 9/9/2024 12:43:11 PM

Status: Color: ■ Layer: MarkUp Space: Hydrant located close to access drive. Recommend move to the east to reduce

risk of vehicle collision.



Subject: Markup/Add **Page Label:** 9

Author: clare.steninger Date: 9/9/2024 12:24:54 PM

Status:
Color: Layer: MarkUp
Space:

Symbols do not match what is on the plan. Revise to correctly show what is

proposed.

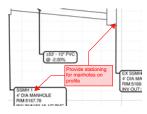


Subject: Markup/Add Page Label: 9

Author: clare.steninger Date: 9/9/2024 12:39:16 PM

Status: Color: Layer: MarkUp Space: Include material of water service line.

10 (4)



Subject: Markup/Add

Page Label: 10

Author: clare.steninger **Date:** 9/9/2024 12:31:22 PM

Status:
Color: Layer: MarkUp
Space:

Provide stationing for manholes on profile



Subject: Callout Page Label: 10

Author: clare.steninger Date: 9/6/2024 3:41:03 PM

Status: Color: Layer: Space: Revise to "Inv Out"



Subject: Callout

Page Label: 10
Author: clare.steninger **Date:** 9/9/2024 12:31:13 PM

Status: Color: Layer: Space:

Revise to "Inv In".

Provide existing invert out



Subject: Callout

Page Label: 10 Author: clare.steninger Date: 9/9/2024 12:36:21 PM

Status: Color: Layer: Space:

Verify sewer service is 18-in, clear, below

water main.



Town of Erie, Engineering Division P.O. Box 750 645 Holbrook Street Erie, Colorado 80516

RE: Mountain View Fire Rescue Station #15 Drainage Review

Dear Engineering Division:

We have reviewed the Mountain View Fire Rescue Station #15, Meadow Sweet Lane submittal received on August 15, 2024. The submittal included Civil Construction Drawings prepared dated June 29, 2024 and a Phase III Drainage Report and Site Plans dated June 28, 2024 by Strategic Site Designs. We have the following drainage review comments to offer:

Drainage Report

- Revise the Engineer's certification statement to match the statement in the Town of Erie Standards and Specifications (TESS) Section 162.02.04 and reference the correct drainage report phase and title in certification. Also provide the Town Acceptance statement on this page.
- 2. At the end of Section 4.2, a statement is made that proposed flows are similar to existing condition flows and that inlets have excess capacity for the proposed condition. See Comments 5 and 6 about correcting the existing condition flows which may result in proposed flows that are not negligibly higher than existing flows. Since changes to the drainage plan were made between design and construction, the Inlet Design Information from the 2012 study that was provided in Appendix C only includes the capacity at Design Point 5 that is comparative. Due to the design changes, the comparison of existing flows to proposed flows is not sufficient to determine if the existing storm sewer systems have adequate capacity to intercept the increased flow from the fire station site. Therefore, inlet and street capacity calculations must be provided and must show sufficient capacity for the proposed design for all inlets where flow from the fire rescue station will be intercepted.
- 3. Provide highlighted excerpts from the relevant drainage report that shows that the regional detention pond has capacity for the project site.
- 4. On page 9, update the Included Material for Appendix C to reflect the information provided and include the FIRM as indicated for the project site.
- 5. Percent Imperviousness Calculations comments:
 - a. Update table 800-3 to reflect impervious values provided in the TESS or provide highlighted excerpt from the 2012 Phase III Drainage Report that shows this table was used. Also, delete the reference to Liberty Ranch in Mead, CO at the top of the page.
 - b. DR-01 Flatiron Meadows Drainage Map "Expanded" comments:
 - Clarify if the northwestern corner of the fire station site is included in Basin E1 or Basin E3. Fix the blue basin boundary to show this correctly.







- ii. On the map, labels for Basins A1, A2, and A3 are shown, but the basin boundaries are not shown. Either delete the labels or show these boundaries in a different color. If these are shown, include in the legend.
- iii. Correct the Proposed Drainage Divide label in the legend.
- iv. Fix the Basin P1 label, area, and flows.
- v. Southwest of the fire station site, there is an existing undeveloped area along Meadow Sweet Lane. The existing contours indicate that this area drains to Meadow Sweet Lane. Adjust the Basin E2/P2 boundary to include this area. Also, confirm if this area will be developed in the future or not and adjust the runoff calculations as needed.
- c. For Basin E1, use of the Public category at 50% imperviousness is not clear. It appears the Public area should be analyzed as Open Space at 2% imperviousness. Clarify and revise as needed.
- d. In general, it appears that the imperviousness calculations have several errors that must be corrected, including:
 - i. The percent imperviousness for all basins appears to be incorrectly calculated. For example, Basins A2, E2, and P2 should be about 61%, 62%, and 69%, respectively, based on the areas for each category.
 - ii. Imperviousness should not decrease from existing to proposed condition for any of the basins.
 - iii. The open space area should not increase from Basin E1 to Basin P1.
 - iv. The area of residential development should not change between existing and proposed conditions.
 - v. The total area input for Basins P1 and P2 appears to be incorrect. Revise as needed.
- 6. For the Rational Method calculations, the overland flow lengths for Basins A1 and A3 are excessively long (i.e., over 100 feet), but should only be about 20 to 25 feet before runoff is concentrated in a swale or gutter. The Basin P1 length should also be adjusted.
- 7. DR-01 Proposed Drainage Map comments:
 - a. Flows provided on the basin labels do not match the rational method calculations. Revise to match.
 - b. In the southwest corner, revise the flow path follow the proposed grading contours.
 - c. Proposed grading shown creates a localized low point at elevation 5169 in the sidewalk on the east side of the site along Meadow View Parkway. Revise to provide positive drainage and prevent nuisance ponding in the sidewalk, such as a swale along the sidewalk to daylight to the south or raising a portion of the sidewalk.
- 8. Provide swale capacity calculations.
- 9. Per Town criteria (Section 100, pages 100-100-17, 100-100-40, and 100-100-43), provide the completed Project Stormwater Quality Design Standards Form for this project. We understand that the existing regional detention pond is intended to provide water quality treatment for the project site, but these forms must be completed to document this.



Construction Plans

- 10. On Sheet C1.00, the Landscape plans indicated in the Sheet Index are not included. Include in set of plans or update Sheet Index.
- 11. Sheet C5.00 comments:
 - a. Fix proposed grading contours along south edge of site to tie into existing contours.
 - b. Northeast of the building, label the proposed contour northeast of the driveway that is adjacent to the highpoint.
- 12. Provide a typical detail for each swale.
- 13. Both swales direct runoff across existing sidewalks. Provide sidewalk chases at all locations where concentrated runoff will cross sidewalks.

Site Plans

- 14. Sheet 1 Cover Sheet comments:
 - a. The total hardscape area on the Site Plan Cover Sheet does not match the area based on the percent imperviousness in the drainage report text and calculations. Revise to match.
 - b. In the Site Data Summary Chart, the land cover areas do not match the total gross site area. Since the gross site area matches the area in the drainage report and appears to be correct, revise the land cover areas to equal the gross site area.
- 15. On Sheet 8 Landscape Plan, A common hackberry tree is located within the proposed swale in the southwest corner of site which is not allowed. Revise location of tree.

Please let us know if you have any questions.

Sincerely,

Merrick & Company

Jeanne M. Boyle, PE, CFM

Katherine E. Knight, CFM

Lattin E. Knight



From: LuAnn Penfold < lpenfold@mvfpd.org>
Sent: Thursday, August 22, 2024 8:59 AM

To: Development Referral

Subject: SUB2024-00003, SP2024-00004, SRU2024-00001

Follow Up Flag: Follow up Flag Status: Flagged

External Email: Do not click links or open attachments unless you recognize the sender and know the content is safe.

We have reviewed the submitted materials and have no objections to the construction of the fire station at Erie Parkway and Meadow Sweet Parkway.

Thank you for including the Prevention Division in the planning process.

LuAnn Penfold, Fire Prevention Specialist

Mountain View Fire Rescue 3561 N. Stagecoach Road, Longmont, CO 80504 303-772-0710 x1021 | lpenfold@mvfpd.org | www.mvfpd.org | www.mvfpd.org | www.mvfpd.org</





MVFPD Meadow Sweet Fire Station Review #2

Planning & Development

To: Kiley Baham, Michael Cleary

From: Harry Brennan, Senior Planner

Date: December 12, 2024

Re: MVFPD Meadow Sweet Fire Stn. SP2024-00004, SRU2024-00001 SUB2024-00003

Town staff has reviewed the application for the application for conformance with Municipal Code, Title 10 at a Development Review Team meeting. Referral comments received by the Town prior to the date of this memo are listed herein and included as attachments. Referral comments received by the Town after the date of this memo shall be forwarded on to the applicant.

The next step for the application is revision and resubmittal with a subsequent 3 week DRT referral process. The review process is a cumulative process and dependent on various criteria. We reserve the right to provide further comment(s) and request additional information. Please contact me at 720-745-1022 or hbrennan@erieco.gov for further clarification.

Sincerely,



Harry Brennan, Senior Planner

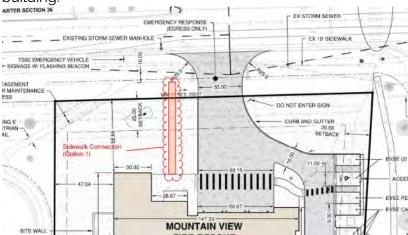
- Please provide written responses to the following:
 - a. Town of Erie
 - i. Planning
 - ii. Transportation (included in this letter)
 - iii. DNS (Development & Neighborhood Services/Parks & Rec)
 - iv. Engineering (forthcoming)
 - b. Western Midstream
 - c. Ehrhart Surveying



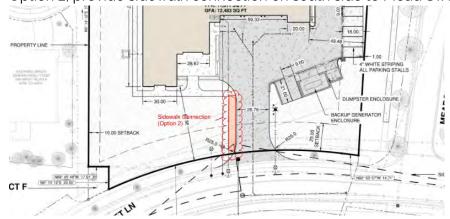
Comments on Site Plan

- Given the involvement of public improvements in the public ROW associated with this project, Engineering believes we will need a Development Agreement. I've attached a template for this development agreement and highlighted sections we will need from the applicant.
- Please add at least one sidewalk to provide pedestrian access into the site. One or both of the following options could be considered.

1. Option 1, provide sidewalk connection from Erie Parkway to main entrance of building.



2. Option 2, provide sidewalk connection on south side to Mead Sweet Lane.





Transportation Comments

John Firouzi, Transportation and Mobility Manager

Nick Wagner, Transportation Engineer II

- The TIL that was provided references an outdated TIA by LSC transportation from 2011. Per the original TIA, "by the year 2025, the northbound and southbound approaches of this intersection (Erie Parkway and Meadow View Parkways) will operate at a poor level of service (LOS) F"
- Given the exponential growth the area has seen since 2011, the intersection may already operating at an LOS F for the NB and SB traffic, thus creating an unsafe through and left turn operations for traffic. Note: We are currently working with a subcontractor to complete intersection counts through out Erie, in which this intersection is one of them. We should have more information, but it will not be till spring 2025.
- Given the development of the fire station and their anticipated daily traffic, they
 would have little to no effect on the current intersection operating level. If anything,
 they would make it slightly worse since they would be adding traffic to NB Meadow
 View Parkway (very minimal). I do agree with this statement within the TIL that was
 provided.
- After more discussion, we are opposed to moving the crosswalk to the mid-block of Erie Parkway. Erie Parkway is designated as a principal arterial per our TMP and having an abnormal mid-block crosswalk could affect the flow of traffic because the stoppage of traffic would be based on demand from the crosswalk, not a mixture of traffic and pedestrians how a traditional signalized intersection would perform.
- From a pedestrian perspective, we feel there would be push back from the community having to go roughly 1000' (500' there and back) to get across the street. The location would be abnormal to a traditional intersection crossing and I fear that many users would just cut across at the intersection in an unsafe manner. This is an increased concern with the school in the general vicinity and being the main generator of traffic for this crosswalk. I also have the concern that if the crosswalk is moved, whomever uses it and needs to continue south, would cut through the Flatiron Meadows subdivision, which might raise some complaints from the homes with increased foot traffic.
- Our recommendation would be to leave the crosswalk where it currently stands, signalize the intersection of Erie Parkway and Meadow View Parkway, and keep the current prelim design of the fire stations emergency access to Erie Parkway. We would be able to have the emergency flashers for the fire department work with the intersection signals to promote a safe entry/exit from the station. There are multiple examples of this scenario throughout Colorado, but one that matches our example as close as possible would be for the West Metro Fire Resue Station #14 (hyperlinked for google map view). We realize this would be an increase in cost compared to the original design, but there are some options that we could consider:



- 1. Cost share for the intersection between applicant and Town
- 2. We could discuss temporary signals to be install until Erie Parkway undergoes a resurfacing or reconstruction, in which permanent signal infrastructure is installed. The fire department that was discussed above seems to have gone this route with their intersection improvement. This would be a substantial cheaper cost upfront and has the potential to cost less or equal to the cost that the site developer was planning for.



Internal Memo

To: Harry Brennan, Senior Planner

From: Kathy Kron, Development & Neighborhood Services Manager

Date: 12/13/24

Subject: Mountain View Fire Station #15 (Flatiron Meadows) – SRU (SRU2024-00001), SUB (SUB2024-00003) & SP (SP2024-00004) – Development & Neighborhood Services (DNS) – 2nd Review

9/20/24 – 1st Review (applicant responses in blue) 12/13/24 – 2nd Review (new comments in red)

Below are review comments from the Development & Neighborhood Services Division (DNS), Parks & Recreation Department for the 2nd submittal of Mountain View Fire Station #15 in Flatiron Meadows dated 11/14/24.

DNS review is focused on the Minor Subdivision submittal documents.

TREE SURVEY

1. A tree survey and protection plan needs to be provided per Section 10-6-2 of the UDC. ROW trees adjacent to the site need to be included in the survey and protection plan. Existing trees in good condition will need to be mitigated for on-site with replacement trees or via fee-in-lieu.

Response: This information is now included on the landscape plan (sheet 8)

TOE: There are two tree circles on the plan labeled 8, and two 12's listed on the Tree Inventory Chart. Please revise plan and chart for accuracy. Additionally, tree protection of existing trees needs to be shown and labeled on the plan along with a tree protection detail.

PLAT

1. Provide a 30' landscape buffer easement or tract along Erie Parkway.

Response: This landscape buffer has been added, coinciding with linework for existing 10' and 20' easements.

TOE: Label this as a 30' landscape buffer and show the 30' measurement from the edge of the ROW.

2. The east side of the property, which is currently Tract E of Orchard Glen Filing No. 1, needs to be re-platted as ROW.

CONSTRUCTION DRAWINGS

1. Landscape & Irrigation Plans are listed in the Sheet Index on the Cover Sheet, but the plans are not included in the set.

Response: Landscape and irrigation plans had been inadvertently omitted but had been included in the site plan set.

- TOE: Irrigation Plans are incomplete. There are sheets labeled as Irrigation Plans, but they are repeats of the Landscape Plans.
- 2. Include the Director of Parks & Recreation signature for Landscape & Irrigation Plans on the cover sheet of the Construction Drawings per Section 161.03 of the Town of Erie Standards & Specifications.
 - Response: The landscape and irrigation plan acceptance certification statement has been added to the cover sheet.
 - TOE: Complete.
- 3. Landscape, irrigation and maintenance of the tree lawn adjacent to the site needs to be included in the project. The Landscape Plans in the Site Plan submittal indicate "Existing Landscape to Remain" for the Erie Parkway tree lawns, however, landscaping does not currently exist in those tree lawns.
 - Response: Landscape plan has been expanded to include the reference area.
 - TOE: Sheet L1.00 has callouts pointing to the Erie Parkway Tree Lawn indicating "Remove existing groundcover and replace with sod" and "Existing Landscape to remain typ." which are conflicting. To remain consistent with adjacent Erie Parkway frontage, the tree lawn may remain native seed. Include the Town of Erie Roadside Native Seed Mixture on the plans and indicate that any disturbance will be re-vegetated.
 - 4. Landscape and Irrigation Plans need to show changes/adjustments to the Erie Parkway median.

END OF COMMENTS