



MOUNTAIN VIEW FIRE RESCUE

3561 N. Stagecoach Road • Longmont, CO 80504

(303) 772-0710 • FAX (303) 651-7702

November 3, 2020

Ms. Shannon Moeller
Town of Erie
645 Holbrook Street
Erie, CO 80516

Dear Ms. Moeller:

I have reviewed the submitted material pertaining to the rezoning of the Westerly property (Case Number: RZ-001099-2020 & PUD-001198-2020).

The Fire District does not object to the rezoning and PUD. All applicable codes must be met as they pertain to street designs and water supply for fire protection.

Plans for the street and hydrant layout must be submitted to the Fire District for review and approval.

We appreciate being involved in the planning process, should you have any questions please contact me at 303-772-0710 x 1121.

Sincerely,

LuAnn Penfold
Fire Prevention Specialist

lp11.01.20

From: Rogers, Tracy (CONTR) <Rogers@WAPA.GOV>
Sent: Tuesday, November 3, 2020 11:28 AM
To: Melinda Helmer <mhelmer@erieco.gov>
Subject: RE: [EXTERNAL] Referral Review - Westerly PUD & Rezoning

Hello,

WAPA requires a License Agreement if there is any work to be done within the easement of our high voltage transmission line. The main purpose of this is to protect our line and your contractors during installation. It looks like there will be landscaping installed in the SWSW and SWSE Quarter of Section 21, Township 1N, Range 68W.

Erie Land Co. or their contractor can contact me for further information and a Right-of-Way Application.

Thanks for your cooperation and have a great day!

*Thanks,
Tracy*

Tracy Rogers | Realty Technician

Wyandotte Services on contract to
Western Area Power Administration | Rocky Mountain Region | Loveland, CO
(O) 970.461.7654 | rogers[at]wapa.gov



From: Melinda Helmer <mhelmer@erieco.gov>
Sent: Monday, November 2, 2020 11:21 AM
To: Misty Hall <mhall@erieco.gov>; Luke Bolinger <lbolinger@erieco.gov>; Darren Champion <dchampion@erieco.gov>; Matt Spinner <mspinner@erieco.gov>; John@coloradols.com; Rogers, Tracy (CONTR) <Rogers@WAPA.GOV>; molly@farmersres.com; Kristine Ranslem <kranslem@weldgov.com>; weld-districts@weldgov.com; LuAnn Penfold <lpenfold@mvfpd.org>; CGS LUR@mines.edu; Jason Duetsch - DNR <jason.duetsch@state.co.us>; Tyler Asnicar <tyler.asnicar@state.co.us>; Charles.Buck <Charles.Buck@FHUENG.COM>
Cc: Shannon Moeller <smoeller@erieco.gov>; Tyler Burhenn <tburhenn@erieco.gov>
Subject: [EXTERNAL] Referral Review - Westerly PUD & Rezoning

Good Morning,

Please find the attached link for referral documents regarding the above noted project:
<https://erieco.sharefile.com/d-s58f07c9d97040a69>

Comments are due back by December 8, 2020. Staff DRT is scheduled for December 10, 2020.

Please let me know if you have any questions.

COLORADO GEOLOGICAL SURVEY

1801 Moly Road
Golden, Colorado 80401



Karen Berry
State Geologist

December 7, 2020

Shannon Moeller
Planning & Development
Town of Erie
developmentreferral@erieco.gov

Location:
Section 21,
T1N, R68W of the 6th P.M.
40.0392, -105.0061

Subject: Westerly Rezoning & PUD Amendment (RZ-001199-2020 and PUD-001198-2020)
Town of Erie, Weld County, CO; CGS Unique No. WE-19-0046 4

Dear Ms. Moeller:

Colorado Geological Survey has reviewed the Westerly rezoning and PUD referral. The rezoning application states, "the proposal is for some minor adjustments to the existing zoning boundary on the south to align with the Sketch Plan." The PUD amendment involves adding the adjacent Swink parcel (63.36 acres) to the Westerly development. The available referral documents include a Westerly Illustrative Plan (September 1, 2020) and a set of six Westerly – P.U.D. Overlay District sheets (Matrix/PCS Group/Southern Land Company, September 30, 2020).

No geologic or geotechnical information was included with the available referral documents, but CGS has previously reviewed a Mine Subsidence Investigation, Dearmin/Swink Property, 420.58 Acres in Section 21, Township 1 North, Range 68 West, Weld County, Colorado (Western Environment and Ecology, Inc., December 15, 2018).

Historic coal mines, subsidence hazard, and maximum foundation length restrictions. Proposed Villages 3 and 4 as shown on the PUD Overlay Map (sheet 4 of the 9/30/2020 Westerly – P.U.D. Overlay District plans), within the Swink portion of the site, are partially undermined by the Eagle Mine. Western Environment recommends a maximum allowable foundation dimension of 93 feet within most of proposed Village 3 and approximately the eastern half of proposed Village 4.

It appears that most of the proposed "Townhome Alley Load" lots within proposed Village 3 are outside of Western's 93 ft. maximum foundation length restriction area, but all of the proposed "Duplex Alley Load" lots, and many of the SFD lots within Village 4, will be subject to the restriction.

CGS has no objection to approval of the rezoning and PUD amendment as proposed, but would like to continue to review this project for conformance with Western's subsidence hazard mitigation recommendations. Foundation length restriction plat notes, similar to the notes on the Westerly Filing No. 1 plat, will probably be needed.

CGS reminds the Town and applicant that the southern portion of Tract L, Westerly Filing No. 1, is undermined by the Columbine Mine and has a maximum foundation length restriction of 98 feet.

Thank you for the opportunity to review and comment on this project. If you have questions or require further review, please call me at 303-384-2643, or e-mail carlson@mines.edu.

Sincerely,

Jill Carlson, C.E.G.
Engineering Geologist

A handwritten signature in black ink, appearing to read "Jill Carlson", is written over the typed name and title.

The Farmers Reservoir and Irrigation Company
80 South 27th Avenue
Brighton, CO 80601
303-659-7373

TO: Town of Erie

DATE: December 8, 2020

EMAILED TO: Shannon Moeller

APPLICANT: Erie Land Company

RE: Rezoning & Planned Unit Development

CASE #: RZ-001199-2020 & PP-001198-2020

DEAR Ms. Moeller:

I wish to submit the following information regarding the above referenced project.

 X The concerns of Farmers Reservoir and Irrigation Company are in the area of encroachment to the Right of Way of the canal. FRICO requires a minimum of 25' on each side of the canal for a maintenance road plus the distance to the toe of the ditch embankment. The boundaries of the Right of Way must be agreed upon.

 X Drainage is another concern that must be addressed as FRICO does not allow any developed storm flow into our canals. This will apply if any development happens.

 X FRICO does not allow the drip line of trees to be within FRICO's ROW.

 X No construction of any structure can be put on our ROW. No use of any sort including pedestrian or vehicle on our ROW is approved.

 Please send drainage study and additional information regarding your project so that we may complete our review and that review criteria can be sent to you, if applicable.

 FRICO does not accept retention ponds adjacent to our facilities, however, we may grant a variance with submittal of application and engineering deposit for review of drainage plan and other documents.

 Canal road may not be used for access without approval and executed agreement.

 X FRICO will require a license agreement **-Crossing of the Community Canal under Erie Parkway, any crossing of the canal will need a license agreement.**

 X FRICO will require an access permit **-Crossing of the Community Canal under Erie Parkway, any crossing of the canal will need a license agreement.**

 X FRICO will require a seepage agreement

 X FRICO will require an easement agreement **-for the east half of Sec 21, T1N, R68W**

 FRICO No comments on application/proposal

 X We request to comment again.

The applicant has or X has not completed a Project Review Application and submitted a deposit for review fees with the Ditch Company. In addition to the above comments, FRICO's comments are limited to this set of plans.

Please email Scott Edgar, FRICO General Manager or Eve Craven should you have any questions.

Sincerely,

Scott Edgar
Scott@farmersres.com
FRICO, General Manager



Eve Craven
Eve@farmersres.com
FRICO, Projects Coordinator

OVERALL PARCEL - DEARMIN

LEGAL DESCRIPTION
A PARCEL OF LAND LOCATED IN THE WEST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER OF SAID OF SECTION 21 BEING NORTH 00°00'31" EAST A DISTANCE OF 2,654.72 FEET;

BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 21; THENCE NORTH 89°38'17" EAST, COINCIDENT WITH SAID NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 21, A DISTANCE OF 2,663.55 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 21;

THENCE SOUTH 00°16'01" EAST, COINCIDENT WITH THE EASTERLY LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 2,649.90 FEET TO THE CENTER CORNER OF SAID SECTION 21;

THENCE SOUTH 00°16'04" EAST COINCIDENT WITH THE EASTERLY LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 21 A DISTANCE OF 1,229.70 FEET TO A POINT ON THE WESTERLY BOUNDARY OF THE COMMUNITY DITCH AS DESCRIBED IN BOOK 63, PAGE 464, RECEPTION NO. 23030 OF THE RECORDS OF THE WELD COUNTY CLERK AND RECORDER;

THENCE COINCIDENT WITH SAID WESTERLY BOUNDARY OF THE COMMUNITY DITCH THE FOLLOWING TWENTY- ONE (21) COURSES:

1. SOUTH 76°41'08" WEST A DISTANCE OF 77.18 FEET TO A POINT OF CURVATURE;
2. ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 26°32'10", A RADIUS OF 225.00 FEET, AN ARC LENGTH OF 104.21 FEET AND A CHORD THAT BEARS SOUTH 89°57'13" WEST A DISTANCE OF 103.28 FEET;
3. NORTH 76°46'42" WEST A DISTANCE OF 223.90 FEET TO A POINT OF CURVATURE;
4. ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 15°24'26", A RADIUS OF 425.00 FEET, AN ARC LENGTH OF 114.29 FEET AND A CHORD THAT BEARS SOUTH 84°28'55" WEST A DISTANCE OF 113.94 FEET;
5. SOUTH 87°48'52" WEST A DISTANCE OF 145.31 FEET TO A POINT OF CURVATURE;
6. ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 34°36'07", A RADIUS OF 325.00 FEET, AN ARC LENGTH OF 196.27 FEET AND A CHORD THAT BEARS SOUTH 70°30'47" WEST A DISTANCE OF 193.30 FEET;
7. SOUTH 53°12'44" WEST A DISTANCE OF 80.82 FEET TO A POINT OF CURVATURE;
8. ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 13°09'14", A RADIUS OF 425.00 FEET, AN ARC LENGTH OF 97.57 FEET AND A CHORD THAT BEARS SOUTH 46°38'08" WEST A DISTANCE OF 97.36 FEET;
9. SOUTH 40°03'31" WEST A DISTANCE OF 199.79 FEET;
10. SOUTH 43°18'24" WEST A DISTANCE OF 274.93 FEET;
11. SOUTH 41°54'01" WEST A DISTANCE OF 126.84 FEET;
12. SOUTH 43°57'21" WEST A DISTANCE OF 169.36 FEET TO A POINT OF CURVATURE;
13. ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 62°08'24", A RADIUS OF 225.00 FEET, AN ARC LENGTH OF 244.02 FEET AND A CHORD THAT BEARS SOUTH 12°53'09" WEST A DISTANCE OF 232.24 FEET;
14. SOUTH 18°11'03" EAST A DISTANCE OF 8.91 FEET TO A POINT OF CURVATURE;
15. ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 39°02'42", A RADIUS OF 175.00 FEET, AN ARC LENGTH OF 119.26 FEET AND A CHORD THAT BEARS SOUTH 37°42'25" EAST A DISTANCE OF 116.96 FEET;
16. SOUTH 57°13'46" EAST A DISTANCE OF 50.68 FEET TO A POINT OF CURVATURE;
17. ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 24°57'41", A RADIUS OF 425.00 FEET, AN ARC LENGTH OF 185.15 FEET AND A CHORD THAT BEARS SOUTH 69°42'37" EAST A DISTANCE OF 183.69 FEET;
18. SOUTH 82°11'27" EAST A DISTANCE OF 100.58 FEET TO A POINT OF CURVATURE;
19. ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 22°03'40", A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 221.40 FEET AND A CHORD THAT BEARS SOUTH 71°09'37" EAST A DISTANCE OF 220.03 FEET;
20. SOUTH 60°07'47" EAST A DISTANCE OF 347.74 FEET TO A POINT OF CURVATURE;
21. ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 02°24'14", A RADIUS OF 475.00 FEET, AN ARC LENGTH OF 19.93 FEET AND A CHORD THAT BEARS SOUTH 58°55'40" EAST A DISTANCE OF 19.93 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF WELD COUNTY ROAD 6 AS DESCRIBED IN COMMISSIONERS BOOK 86, PAGE 273 OF THE RECORDS OF THE WELD COUNTY COMMISSIONERS;

THENCE SOUTH 00°34'03" EAST A DISTANCE 30.00 FEET TO THE SOUTH LINE OF THE SOUTHWEST CORNER OF SAID SECTION 21;

THENCE SOUTH 89°25'57" WEST, COINCIDENT WITH SAID SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 21, A DISTANCE OF 2,049.35 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 21;

THENCE NORTH 00°06'17" WEST, COINCIDENT WITH THE WEST LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 904.30 TO THE WESTERLY EXTENSION OF THE SOUTHERLY LINE OF THAT PARCEL OF LAND DESCRIBED AT RECEPTION NO. 2978817 OF THE RECORDS OF THE WELD COUNTY CLERK AND RECORDER;

THENCE COINCIDENT WITH SAID PARCEL THE FOLLOWING FIVE (5) COURSES:

1. NORTH 89°53'43" EAST, COINCIDENT WITH SAID SOUTHERLY LINE AND THE WESTERLY EXTENSION THEREOF, A DISTANCE OF 837.64 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL;
 2. NORTH 00°06'17" WEST, A DISTANCE OF 457.00 FEET;
 3. SOUTH 89°53'43" WEST A DISTANCE OF 608.07 FEET;
 4. NORTH 00°06'17" WEST A DISTANCE OF 230.00 FEET;
 5. SOUTH 89°53'43" WEST, COINCIDENT WITH THE NORTHERLY LINE OF SAID PARCEL AND ITS WESTERLY EXTENSION, A DISTANCE OF 229.57 FEET TO A POINT ON WEST LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21;
- THENCE NORTH 00°06'17" WEST, COINCIDENT WITH SAID WESTERLY LINE, A DISTANCE OF 1,064.00 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21;
- THENCE NORTH 00°00'31" EAST, ALONG THE WEST LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21 A DISTANCE OF 2,654.72 FEET TO THE NORTHWEST CORNER OF SAID SECTION 21 AND THE POINT OF BEGINNING;
- CONTAINING AN AREA OF 276.273 ACRES, (12,034,438 SQUARE FEET), MORE OR LESS.

BASIS OF BEARINGS STATEMENT

THE BASIS OF BEARINGS FOR THIS MAP IS THE NORTH LINE OF THE NORTHEAST ONE-QUARTER OF SECTION TWENTY-ONE (21), TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING MONUMENTED ON THE WEST END BY A FOUND 2 INCH ALUMINUM CAP, STAMPED "LS 14083", AND ON THE EAST END BY A FOUND 2 INCH ALUMINUM CAP, STAMPED "LS 14083", AND IS ASSUMED TO BEAR NORTH 89°38'36" EAST A DISTANCE OF 2,663.38 FEET:

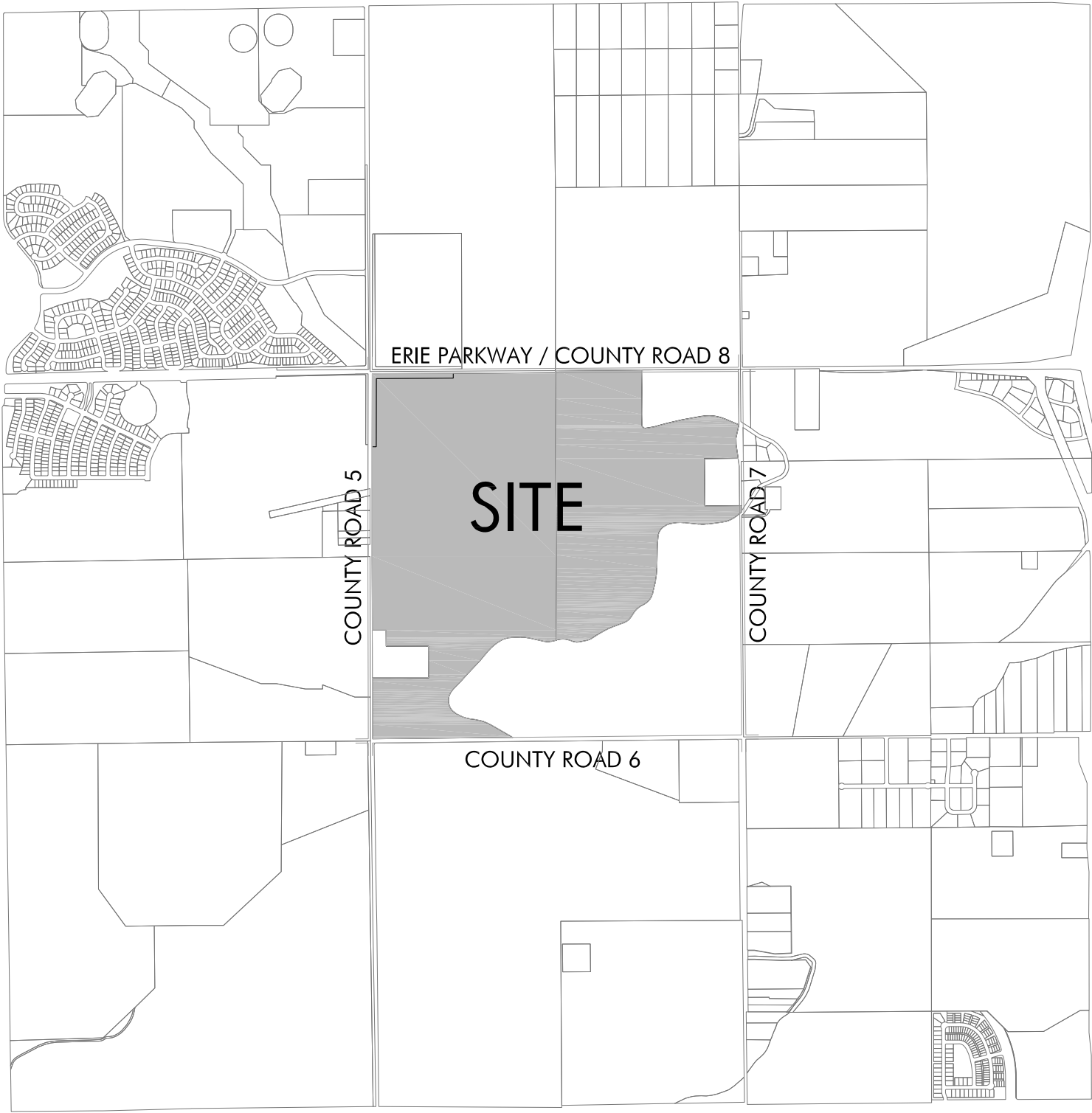
OVERALL PARCEL - SWINK:

A PARCEL OF LAND LOCATED IN THE EAST ONE-HALF OF SECTION TWENTY-ONE (21), TOWNSHIP ONE (1) NORTH, RANGE SIXTY EIGHT (68) WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

WESTERLY - P.U.D. OVERLAY DISTRICT

A PORTION OF THE EAST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

287.00 ACRES
PUD-001198-2020



VICINITY MAP

BEGIN AT THE NORTH ONE-QUARTER CORNER OF SAID SECTION TWENTY-ONE (21);

THENCE NORTH 89°38'36" EAST, COINCIDENT WITH THE NORTH LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION TWENTY-ONE (21), A DISTANCE OF 1,250.37 FEET;

THENCE SOUTH 00°21'24" EAST, A DISTANCE OF 30.00 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF WELD COUNTY ROAD 8 (ALSO KNOWN AS ERIE PARKWAY) AS DESCRIBED IN BOOK 86 AT PAGE 273 IN THE RECORDS OF THE WELD COUNTY CLERK AND RECORDER'S OFFICE, SAID POINT ALSO BEING ON THE WESTERLY LINE OF THAT PARTICULAR 50 FOOT WIDE DITCH PARCEL AS DESCRIBED IN BOOK 63 AT PAGE 464 IN SAID RECORDS;

THENCE COINCIDENT WITH THE WESTERLY AND SOUTHERLY LINES OF SAID 50' WIDE DITCH THE FOLLOWING ELEVEN (11) COURSES:

1. THENCE SOUTH 00°49'26" WEST, A DISTANCE OF 381.56 FEET;
 2. THENCE SOUTH 00°42'57" WEST, A DISTANCE OF 225.38 FEET;
 3. THENCE SOUTH 01°25'12" EAST, A DISTANCE OF 155.38 FEET TO A 47.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHEASTERLY;
 4. THENCE SOUTHEASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 97°55'37", AN ARC DISTANCE OF 80.33 FEET AND HAVING A CHORD THAT BEARS SOUTH 50°23'01" EAST, A DISTANCE OF 70.90 FEET;
 5. THENCE NORTH 80°39'30" EAST, A DISTANCE OF 123.80 FEET;
 6. THENCE NORTH 73°56'17" EAST, A DISTANCE OF 64.14 FEET;
 7. THENCE NORTH 74°41'14" EAST, A DISTANCE OF 127.29 FEET;
 8. THENCE NORTH 77°11'24" EAST, A DISTANCE OF 214.63 FEET;
 9. THENCE NORTH 79°40'39" EAST, A DISTANCE OF 294.87 FEET TO A 575.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHEASTERLY;
 10. THENCE EASTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 32°50'35", AN ARC DISTANCE OF 329.60 FEET AND HAVING A CHORD THAT BEARS SOUTH 83°54'04" EAST, A DISTANCE OF 325.11 FEET;
 11. THENCE SOUTH 67°28'48" EAST, A DISTANCE OF 226.67 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF WELD COUNTY ROAD 7 AS DESCRIBED AT RECEPTION NO. 2502152 IN SAID RECORDS;
- THENCE NORTH 89°30'20" EAST A DISTANCE OF 31.51 FEET TO THE EAST LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION TWENTY-ONE (21);
- THENCE SOUTH 00°29'40" EAST, COINCIDENT WITH SAID EAST LINE, A DISTANCE OF 484.82 FEET;
- THENCE SOUTH 89°30'20" WEST, A DISTANCE OF 46.21 FEET TO THE EAST RIGHT-OF-WAY LINE OF WELD COUNTY ROAD 7 AS DESCRIBED AT RECEPTION NO. 2502152 IN SAID RECORDS, SAID POINT ALSO BEING ON THE NORTHERLY LINE OF A PARCEL OF LAND CONVEYED TO LEFT HAND WATER DISTRICT AS DESCRIBED AT RECEPTION NO. 3833970 IN SAID RECORDS;
- THENCE SOUTH 89°30'19" WEST, COINCIDENT WITH SAID NORTHERLY LINE, A DISTANCE OF 483.79 FEET TO THE NORTHWEST CORNER OF SAID PARCEL;
- THENCE SOUTH 00°29'41" EAST, COINCIDENT WITH THE WESTERLY LINE OF SAID PARCEL, A DISTANCE OF 680.00 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL;
- THENCE NORTH 89°30'19" EAST, COINCIDENT WITH THE SOUTHERLY LINE OF SAID PARCEL, A DISTANCE OF 499.99 FEET TO A POINT THE EAST RIGHT-OF-WAY LINE OF WELD COUNTY ROAD 7 AS DESCRIBED IN BOOK 63 AT PAGE 464 IN SAID RECORDS;
- THENCE NORTH 89°30'20" EAST, A DISTANCE OF 30.00 FEET TO THE EAST LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION TWENTY-ONE (21);
- THENCE SOUTH 00°29'40" EAST, COINCIDENT WITH SAID EAST LINE, A DISTANCE OF 113.65 FEET;
- THENCE SOUTH 89°30'20" WEST, A DISTANCE OF 30.00 FEET TO THE NORTHERLY LINE OF THAT PARTICULAR 50 FOOT WIDE DITCH PARCEL AS DESCRIBED IN BOOK 63 AT PAGE 464 IN SAID RECORDS;
- THENCE COINCIDENT WITH THE NORTHERLY LINES OF SAID PARCEL THE FOLLOWING THIRTY-TWO (32) COURSES:

1. THENCE SOUTH 51°26'38" WEST, A DISTANCE OF 70.89 FEET TO A 375.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;
2. THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 31°10'52", AN ARC DISTANCE OF 204.08 FEET AND HAVING A CHORD THAT BEARS SOUTH 67°02'04" WEST, A DISTANCE OF 201.57 FEET;

SURVEYOR'S CERTIFICATION:

I, ROBERT L. MEADOWS, JR., A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PUD ZONING MAP TRULY AND CORRECTLY REPRESENTS THE ABOVE DESCRIBED LEGAL DESCRIPTION FOR EACH PUD OVERLAY ZONE DISTRICT.

I ATTEST THE ABOVE ON THIS ____ DAY OF _____, 20____.

ROBERT L. MEADOWS, JR., PLS
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR NO. 34977
FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.

PLANNING COMMISSION CERTIFICATION

THIS PUD PLANNING MAP WAS REVIEWED BY THE PLANNING COMMISSION ON THE ____ DAY OF _____, 20____.

CHAIRPERSON _____ DATE _____
BOARD OF TRUSTEES APPROVAL CERTIFICATE

THIS ZONING MAP IS TO BE KNOWN AS THE "WESTERLY PUD ZONING MAP" AND IS APPROVED AND ACCEPTED BY THE ORDINANCE NO. _____, PASSED AND ADOPTED AT THE REGULAR MEETING OF THE BOARD OF TRUSTEES OF ERIE, COLORADO HELD ON _____, 20____.

MAYOR _____
ATTEST _____ TOWN CLERK

CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO)
COUNTY OF WELD) ss

I HEREBY CERTIFY THAT THIS ANNOTATION MAP WAS FILED IN MY OFFICE ON THIS

____ DAY OF _____, 20____ A.D. AND WAS RECORDED AT

RECEPTION NUMBER _____

WELD COUNTY CLERK AND RECORDER

SHEET INDEX

1.....COVER
2-3.....ZONING LEGAL DESCRIPTION
4..... PUD PLAN & DIMENSIONAL STANDARDS
5-6..... PUD OVERLAY STANDARDS

PUD NOTES:

1. THIS PUD ZONING MAP MODIFIES STANDARDS FOUND IN MUNICIPAL CODE TITLE 10. IN THE EVENT THAT THERE IS A DISCREPANCY BETWEEN THE MUNICIPAL CODE AND THIS PUD, THE PUD SHALL CONTROL. ANY PROVISIONS THAT ARE NOT SPECIFICALLY ADDRESSED IN THIS PUD ZONING MAP SHALL COMPLY WITH THE MUNICIPAL CODE.



APPLICANT/DEVELOPER:
ERIE LAND COMPANY, LLC
1225 17TH STREET, SUITE 2420
DENVER, CO - 80202
303-887-8075

SOUTHERN LAND
COMPANY

Southern Land Company, LLC
1550 W. McEwen Drive, Suite 200 - Franklin, Tennessee 37067
Office (615) 778-3150 - Fax (615) 778-8875 - www.southernland.com

people
creating spaces
pcs group inc.
www.pcsgroup.com
po box 18287 - denver co 80265
t 303.331.4905 - f 303.331.4908

Matrix
DESIGN GROUP

WESTERLY
PLANNED UNIT DEVELOPMENT ZONING MAP
A PORTION OF THE EAST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH,
RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

REVISIONS:	
1	
2	
3	
4	
5	
6	

DATE: 09.30.2020
PROJECT #: PUD 001198-2020

COVER
SHEET

SHEET NO.

1 OF 6

WESTERLY - P.U.D. OVERLAY DISTRICT

A PORTION OF THE EAST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH

PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

287.00 ACRES

PUD-001198-2020

- THENCE SOUTH 82°37'33" WEST, A DISTANCE OF 226.27 FEET TO A 525.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;
- THENCE WESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 13°34'39", AN ARC DISTANCE OF 124.41 FEET AND HAVING A CHORD THAT BEARS SOUTH 89°24'52" WEST, A DISTANCE OF 124.12 FEET;
- THENCE NORTH 83°47'48" WEST, A DISTANCE OF 212.21 FEET TO A 565.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHWESTERLY;
- THENCE WESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 20°51'50", AN ARC DISTANCE OF 205.74 FEET AND HAVING A CHORD THAT BEARS SOUTH 85°46'17" WEST, A DISTANCE OF 204.61 FEET;
- THENCE SOUTH 75°20'23" WEST, A DISTANCE OF 6.27 FEET TO A 225.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHEASTERLY;
- THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 22°53'25", AN ARC DISTANCE OF 89.89 FEET AND HAVING A CHORD THAT BEARS SOUTH 63°53'40" WEST, A DISTANCE OF 89.29 FEET;
- THENCE SOUTH 52°26'57" WEST, A DISTANCE OF 22.72 FEET TO A 165.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHEASTERLY;
- THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 46°45'37", AN ARC DISTANCE OF 134.66 FEET AND HAVING A CHORD THAT BEARS SOUTH 29°04'08" WEST, A DISTANCE OF 130.95 FEET;
- THENCE SOUTH 05°41'21" WEST, A DISTANCE OF 106.91 FEET;
- THENCE SOUTH 01°41'27" WEST, A DISTANCE OF 92.68 FEET;
- THENCE SOUTH 01°00'54" WEST, A DISTANCE OF 269.23 FEET TO A 1,075.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;
- THENCE SOUTHERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 09°38'03", AN ARC DISTANCE OF 180.76 FEET AND HAVING A CHORD THAT BEARS SOUTH 05°49'56" WEST, A DISTANCE OF 180.55 FEET;
- THENCE SOUTH 10°38'58" WEST, A DISTANCE OF 50.93 FEET TO A 1,225.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;
- THENCE SOUTHERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 05°50'26", AN ARC DISTANCE OF 124.87 FEET AND HAVING A CHORD THAT BEARS SOUTH 13°34'11" WEST, A DISTANCE OF 124.82 FEET;
- THENCE SOUTH 16°29'24" WEST, A DISTANCE OF 29.52 FEET TO A 235.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;
- THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID CURVE, THROUGH A CENTRAL ANGLE OF 45°35'43", AN ARC DISTANCE OF 187.01 FEET AND HAVING A CHORD THAT BEARS SOUTH 39°17'15" WEST, A DISTANCE OF 182.11 FEET;
- THENCE SOUTH 62°05'05" WEST, A DISTANCE OF 52.47 FEET;
- THENCE SOUTH 57°50'12" WEST, A DISTANCE OF 48.87 FEET TO A 150.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHEASTERLY;
- THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 24°38'28", AN ARC DISTANCE OF 64.51 FEET AND HAVING A CHORD THAT BEARS SOUTH 45°30'58" WEST, A DISTANCE OF 64.01 FEET;
- THENCE SOUTH 33°11'43" WEST, A DISTANCE OF 111.15 FEET TO A 200.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;
- THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 36°47'54", AN ARC DISTANCE OF 128.45 FEET AND HAVING A CHORD THAT BEARS SOUTH 51°35'40" WEST, A DISTANCE OF 126.25 FEET;
- THENCE SOUTH 69°59'39" WEST, A DISTANCE OF 171.86 FEET TO A 925.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHEASTERLY;
- THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 12°52'08", AN ARC DISTANCE OF 207.76 FEET AND HAVING A CHORD THAT BEARS SOUTH 63°33'35" WEST, A DISTANCE OF 207.32 FEET;
- THENCE SOUTH 57°07'30" WEST, A DISTANCE OF 139.10 FEET TO A 200.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;
- THENCE WESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 21°33'48", AN ARC DISTANCE OF 75.27 FEET AND HAVING A CHORD THAT BEARS SOUTH 67°54'24" WEST, A DISTANCE OF 74.83 FEET;
- THENCE SOUTH 78°41'20" WEST, A DISTANCE OF 119.10 FEET TO A 145.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;
- THENCE WESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 33°20'03", AN ARC DISTANCE OF 84.36 FEET AND HAVING A CHORD THAT BEARS NORTH 84°38'38" WEST, A DISTANCE OF 83.18 FEET;
- THENCE NORTH 67°58'36" WEST, A DISTANCE OF 47.24 FEET TO A 275.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHWESTERLY;
- THENCE WESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 35°56'54", AN ARC DISTANCE OF 172.54 FEET AND HAVING A CHORD THAT BEARS NORTH 85°57'03" WEST, A DISTANCE OF 169.72 FEET;
- THENCE SOUTH 76°04'29" WEST, A DISTANCE OF 23.35 FEET TO THE WEST LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 21;

THENCE NORTH 00°16'04" WEST, COINCIDENT WITH SAID WEST LINE, A DISTANCE OF 1,223.79 FEET TO THE CENTER OF SAID SECTION 21;

THENCE NORTH 00°16'01" WEST, COINCIDENT WITH THE WEST LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 2,649.90 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIPTION CONTAINS 6,601,174 SQUARE FEET OR (151.5421 ACRES), MORE OR LESS.

VILLAGE 1 LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN THE WEST ONE-HALF OF SECTION21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER OF SAID OF SECTION 21 BEING NORTH 00°00'31" EAST, A DISTANCE OF 2,654.72 FEET;

BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 21; THENCE NORTH 89°38'17" EAST, COINCIDENT WITH SAID NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 21, A DISTANCE OF 912.10 FEET;

THENCE SOUTH 00°21'43" EAST A DISTANCE OF 70.00 FEET TO THE SOUTHERLY LINE OF THE WELD COUNTY ROAD 8 RIGHT-OF-WAY AS DESCRIBED IN THAT CERTAIN DOCUMENT RECORDED IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDER'S OFFICE UNDER RECEPTION NUMBER  ;

THENCE SOUTH 00°24'06" EAST A DISTANCE OF 230.92 FEET;

THENCE SOUTH 48°32'14" WEST A DISTANCE OF 182.44 FEET TO A 48.50 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 41°27'42" EAST;

THENCE SOUTHWESTERLY, ALONG SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 48°04'50" AN ARC DISTANCE OF 40.70 FEET;

THENCE SOUTH 00°27'32" WEST A DISTANCE OF 32.42 FEET TO A 507.50 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 00°44'28" WEST;

THENCE WESTERLY, ALONG SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 19°03'12" AN ARC DISTANCE OF 168.76 FEET;

THENCE SOUTH 71°41'16" WEST A DISTANCE OF 38.58 FEET TO A TANGENT 40.00 FOOT RADIUS CURVE WHOSE CENTER BEARS SOUTH 18°18'44" EAST;

THENCE SOUTHWESTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 90°00'00" AN ARC DISTANCE OF 62.83 FEET;

THENCE SOUTH 18°18'44" EAST A DISTANCE OF 67.50 FEET;

THENCE NORTH 71°41'16" EAST A DISTANCE OF 78.58 FEET TO A TANGENT 400.00 FOOT RADIUS CURVE WHOSE CENTER BEARS SOUTH 18°18'44" EAST;

THENCE EASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 38°15'27" AN ARC DISTANCE OF 267.09 FEET;

THENCE SOUTH 70°03'17" EAST A DISTANCE OF 144.50 FEET TO A TANGENT 1,000.00 FOOT RADIUS CURVE WHOSE CENTER BEARS NORTH 19°56'43" EAST;

THENCE EASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 14°25'38" AN ARC DISTANCE OF 251.80 FEET TO A 933.88 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 88°31'21" EAST;

THENCE NORTHERLY, ALONG SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 16°19'47" AN ARC DISTANCE OF 266.16 FEET;

THENCE SOUTH 71°45'45" EAST A DISTANCE OF 61.10 FEET TO A TANGENT 93.50 FOOT RADIUS CURVE WHOSE CENTER BEARS NORTH 18°14'15" EAST;

THENCE EASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 18°57'37" AN ARC DISTANCE OF 30.94 FEET;

THENCE NORTH 89°16'38" EAST A DISTANCE OF 46.45 FEET;

THENCE SOUTH 13°58'51" WEST A DISTANCE OF 72.68 FEET TO A TANGENT 15.00 FOOT RADIUS CURVE WHOSE CENTER BEARS SOUTH EAST;

THENCE SOUTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 109°08'30" AN ARC DISTANCE OF 28.57 FEET TO A 850.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 05°50'43" WEST;

THENCE EASTERLY, ALONG SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 21°22'17" AN ARC DISTANCE OF 317.05 FEET TO A 15.00 FEET COMPOUND CURVE;

THENCE NORTHERLY, ALONG SAID COMPOUND CURVE THROUGH A CENTRAL ANGLE OF 84°07'44" AND ARC DISTANCE OF 22.02 FEET;

THENCE NORTH 21°00'43" WEST A DISTANCE OF 41.78 FEET TO A TANGENT 10.00 FOOT RADIUS CURVE WHOSE CENTER BEARS SOUTH WEST;

THENCE NORTHWESTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 69°21'30" AN ARC DISTANCE OF 12.10 FEET;

THENCE SOUTH 89°38'19" WEST A DISTANCE OF 173.31 FEET TO A TANGENT 15.00 FOOT RADIUS CURVE WHOSE CENTER BEARS SOUTH 00°21'41" EAST;

THENCE SOUTHWESTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 91°05'03" AN ARC DISTANCE OF 23.85 FEET;

THENCE SOUTH 00°01'08" EAST A DISTANCE OF 14.42 FEET;

THENCE SOUTH 89°16'38" WEST A DISTANCE OF 30.00 FEET;

THENCE NORTH 00°04'04" WEST A DISTANCE OF 159.90 FEET;

THENCE NORTH 89°38'19" EAST A DISTANCE OF 162.65 FEET;

THENCE NORTH 00°25'16" WEST A DISTANCE OF 30.00 FEET;

THENCE NORTH 00°03'27" WEST A DISTANCE OF 239.97 FEET TO THE SOUTHERLY LINE OF THE WELD COUNTY ROAD 8 RIGHT-OF-WAY AS DESCRIBED IN THAT CERTAIN DOCUMENT RECORDED NOVEMBER 8, 2005 IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDED UNDER RECEPTION NUMBER 3338310;

THENCE NORTH 00°21'43" WEST A DISTANCE OF 30.00 FEET TO THE NORTH LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE NORTH 89°38'17" EAST, COINCIDENT WITH SAID NORTH LINE, A DISTANCE OF 985.11 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE SOUTH 00°16'01" EAST, COINCIDENT WITH THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 21, A DISTANCE OF 2,649.90 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 21;

THENCE SOUTH 00°16'04" EAST, COINCIDENT WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 21, A DISTANCE OF 414.51 FEET;

THENCE SOUTH 89°43'56" WEST, A DISTANCE OF 430.01 FEET;

THENCE SOUTH 17°55'57" WEST, A DISTANCE OF 117.72 FEET;

THENCE SOUTH 38°54'56" EAST, A DISTANCE OF 59.07 FEET;

THENCE NORTH 62°20'39" EAST, A DISTANCE OF 106.23 FEET;

THENCE NORTH 89°43'54" EAST, A DISTANCE OF 5.61 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 220.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH 63°01'01" WEST;

THENCE SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 160°18'18", AN ARC LENGTH OF 615.53 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 1,450.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 27°09'31" WEST;

THENCE SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 07°33'26", AN ARC LENGTH OF 191.25 FEET;

THENCE SOUTH 15°51'17" EAST, A DISTANCE OF 56.36 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 610.03 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH 15°51'19" EAST;

THENCE SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 31°16'36", AN ARC LENGTH OF 333.00 FEET;

THENCE SOUTH 42°52'05" WEST, A DISTANCE OF 524.23 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 2,251.04 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH 06°20'32" WEST;

THENCE WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 06°26'49", AN ARC LENGTH OF 253.29 FEET;

THENCE SOUTH 89°53'43" WEST, A DISTANCE OF 111.61 FEET;

THENCE NORTH 00°06'17" WEST, A DISTANCE OF 143.38 FEET;

THENCE SOUTH 89°53'43" WEST, A DISTANCE OF 608.07 FEET;

THENCE NORTH 00°06'17" WEST, A DISTANCE OF 230.00 FEET;

THENCE SOUTH 89°53'43" WEST, A DISTANCE OF 229.57 FEET;

THENCE NORTH 00°06'17" WEST, A DISTANCE OF 1,064.01 FEET TO THE WEST QUARTER CORNER OF SAID SECTION 21;

THENCE NORTH 00°00'31" EAST, A DISTANCE OF 2,654.72 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 215.685 ACRES, (9,395,235 SQUARE FEET), MORE OR LESS.

VILLAGE 2 LEGAL DESCRIPTION:

LEGAL DESCRIPTION
A PARCEL OF LAND LOCATED IN THE WEST ONE-HALF OF SECTION21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER OF SAID OF SECTION 21 BEING NORTH 00°00'31" EAST, A DISTANCE OF 2,654.72 FEET;

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 21; THENCE NORTH 89°38'17" EAST, COINCIDENT WITH THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 21, A DISTANCE OF 912.10 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUE NORTH 89°38'17" EAST, COINCIDENT WITH SAID NORTH LINE, A DISTANCE OF 766.34 FEET;

THENCE SOUTH 00°21'43" EAST A DISTANCE OF 30.00 FEET TO THE SOUTHERLY LINE OF THE WELD COUNTY ROAD 8 RIGHT-OF-WAY AS DESCRIBED IN THAT CERTAIN DOCUMENT RECORDED NOVEMBER 8, 2005 IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDED UNDER RECEPTION NUMBER 3338310;

THENCE SOUTH 00°03'27" EAST A DISTANCE OF 239.97 FEET;

THENCE SOUTH 00°25'16" EAST A DISTANCE OF 30.00 FEET;

THENCE SOUTH 89°38'19" WEST A DISTANCE OF 162.65 FEET;

THENCE SOUTH 00°04'04" EAST A DISTANCE OF 159.90 FEET;

THENCE NORTH 89°16'38" EAST A DISTANCE OF 30.00 FEET;

THENCE NORTH 00°01'08" WEST A DISTANCE OF 14.42 FEET TO A 15.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 69°21'30" EAST;

THENCE NORTHEASTERLY, ALONG SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 91°05'03" AN ARC DISTANCE OF 23.85 FEET;

THENCE NORTH 89°38'19" EAST A DISTANCE OF 173.31 FEET TO A TANGENT 10.00 FOOT RADIUS CURVE WHOSE CENTER BEARS SOUTH EAST;

THENCE SOUTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 69°21'30" AN ARC DISTANCE OF 12.10 FEET;

THENCE SOUTH 21°00'43" EAST A DISTANCE OF 41.78 FEET TO A TANGENT 15.00 FOOT RADIUS CURVE WHOSE CENTER BEARS SOUTH 68°59'17" WEST;

THENCE SOUTHERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 84°07'44" AN ARC DISTANCE OF 22.02 FEET TO A 850.00 FEET COMPOUND CURVE;

THENCE WESTERLY, ALONG SAID COMPOUND CURVE THROUGH A CENTRAL ANGLE OF 21°22'17" AND ARC DISTANCE OF 317.05 FEET TO A 15.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTH EAST;

THENCE NORTHWESTERLY, ALONG SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 109°08'30" AN ARC DISTANCE OF 28.57 FEET;

THENCE NORTH 13°58'51" EAST A DISTANCE OF 72.68 FEET;

THENCE SOUTH 89°16'38" WEST A DISTANCE OF 46.45 FEET TO A TANGENT 93.50 FOOT RADIUS CURVE WHOSE CENTER BEARS NORTH 00°43'22" WEST;

THENCE WESTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 18°57'37" AN ARC DISTANCE OF 30.94 FEET;

THENCE NORTH 71°45'45" WEST A DISTANCE OF 61.10 FEET TO A 933.88 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 72°11'33" EAST;

THENCE SOUTHERLY, ALONG SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 16°19'47" AN ARC DISTANCE OF 266.16 FEET TO A 1,000.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 05°31'05" EAST;

THENCE WESTERLY, ALONG SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 14°25'38" AN ARC DISTANCE OF 251.80 FEET;

THENCE NORTH 70°03'17" WEST A DISTANCE OF 144.50 FEET TO A TANGENT 400.00 FOOT RADIUS CURVE WHOSE CENTER BEARS SOUTH 19°56'43" WEST;

THENCE WESTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 38°15'27" AN ARC DISTANCE OF 267.09 FEET;

THENCE SOUTH 71°41'16" WEST A DISTANCE OF 78.58 FEET;

THENCE NORTH 18°18'44" WEST A DISTANCE OF 67.50 FEET TO A TANGENT 40.00 FOOT RADIUS CURVE WHOSE CENTER BEARS NORTH 71°41'16" EAST;

THENCE NORTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 90°00'00" AN ARC DISTANCE OF 62.83 FEET;


THENCE NORTH 71°41'16" EAST A DISTANCE OF 38.58 FEET TO A TANGENT 507.50 FOOT RADIUS CURVE WHOSE CENTER BEARS SOUTH 18°18'44" EAST;

THENCE EASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 19°03'12" AN ARC DISTANCE OF 168.76 FEET;

THENCE NORTH 00°27'32" EAST A DISTANCE OF 32.42 FEET TO A 48.50 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 89°32'32" EAST;

THENCE NORTHEASTERLY, ALONG SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 48°04'50" AN ARC DISTANCE OF 40.70 FEET;

THENCE NORTH 48°32'14" EAST A DISTANCE OF 182.44 FEET;

THENCE NORTH 00°24'06" WEST A DISTANCE OF 230.92 FEET TO THE SOUTHERLY LINE OF THE WELD COUNTY ROAD 8 RIGHT-OF-WAY AS DESCRIBED IN THAT CERTAIN DOCUMENT RECORDED IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDER'S OFFICE UNDER RECEPTION NUMBER  ;

THENCE NORTH 00°21'43" WEST A DISTANCE OF 70.00 FEET TO THE NORTH LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21 AND THE POINT OF BEGINNING.

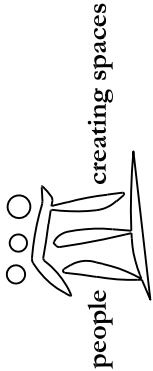
CONTAINING AN AREA OF 11.707 ACRES, (509,969 SQUARE FEET), MORE OR LESS.

APPLICANT/DEVELOPER:
ERIE LAND COMPANY, LLC
1225 17TH STREET, SUITE 2420
DENVER, CO - 80202
303-887-8075

WESTERLY PLANNED UNIT DEVELOPMENT ZONING MAP

A PORTION OF THE EAST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH,
RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

SOUTHERN LAND
COMPANY



pcs group inc.

Southern Land Company, LLC
1350 W. McEwen Drive, Suite 200 - Franklin, Tennessee 37067
Office (615) 778-3150 - Fax (615) 778-8875 - www.southernland.com

www.pcsgrouppcs.com
po box 18287 - denver co 80265
t 303.331.4905 - f 303.331.4908

Matrix

DESIGN GROUP

REVISIONS:	
1	
2	
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4	
5	
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DATE:	09.30.2020
PROJECT #:	PUD 001198-2020

WESTERLY - P.U.D. OVERLAY DISTRICT

A PORTION OF THE EAST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

287.00 ACRES
PUD-001198-2020

VILLAGE 3 LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PART OF THE NORTHEAST ONE-QUARTER OF SECTION TWENTY-ONE (21), TOWNSHIP ONE (1) NORTH, RANGE SIXTY EIGHT (68) WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTH ONE-QUARTER CORNER OF SAID SECTION TWENTY-ONE (21);

THENCE NORTH 89°38'36" EAST AND COINCIDENT WITH THE NORTH LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION TWENTY-ONE (21), A DISTANCE OF 1,250.37 FEET;

THENCE SOUTH 00°21'24" EAST, A DISTANCE OF 30.00 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF WELD COUNTY ROAD 8 (ALSO KNOWN AS ERIE PARKWAY) AS DESCRIBED IN BOOK 86 AT PAGE 273 IN THE RECORDS OF THE WELD COUNTY CLERK AND RECORDER'S OFFICE, SAID POINT ALSO BEING ON THE WESTERLY LINE OF THAT PARTICULAR 50 FOOT WIDE DITCH PARCEL AS DESCRIBED IN BOOK 63 AT PAGE 464 IN SAID RECORDS;

THENCE COINCIDENT WITH THE WESTERLY LINES OF SAID 50' WIDE DITCH THE FOLLOWING THREE (3) COURSES:

1. THENCE SOUTH 00°49'26" WEST, A DISTANCE OF 381.56 FEET;
2. THENCE SOUTH 00°42'57" WEST, A DISTANCE OF 225.38 FEET;
3. THENCE SOUTH 01°25'12" EAST, COINCIDENT WITH SAID WEST LINE AND THE SOUTHERLY EXTENSION THEREOF, A DISTANCE OF 237.84 FEET TO A NON-TANGENT CURVE HAVING A RADIUS OF 1,470.00 FEET, WHOSE CENTER BEARS NORTH 01°23'23" WEST;

THENCE WESTERLY AND COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 20°26'28", AN ARC DISTANCE OF 524.45 FEET AND HAVING A CHORD THAT BEARS NORTH 81°10'09" WEST, A DISTANCE OF 521.67 FEET TO A REVERSE CURVE HAVING A RADIUS OF 1,970.00 FEET;

THENCE WESTERLY AND COINCIDENT WITH SAID REVERSE CURVE, THROUGH A CENTRAL ANGLE OF 21°32'52", AN ARC DISTANCE OF 740.88 FEET AND HAVING A CHORD THAT BEARS NORTH 81°43'21" WEST, A DISTANCE OF 736.52 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION TWENTY-ONE (21);

THENCE NORTH 00°16'01" WEST AND COINCIDENT WITH SAID WEST LINE, A DISTANCE OF 680.75 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIPTION CONTAINS 956,209 SQUARE FEET OR (21.95154 ACRES), MORE OR LESS.

VILLAGE 4 LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PART OF THE NORTHEAST ONE-QUARTER OF SECTION TWENTY-ONE (21), TOWNSHIP ONE (1) NORTH, RANGE SIXTY EIGHT (68) WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH ONE-QUARTER CORNER OF SAID SECTION TWENTY-ONE (21);

THENCE SOUTH 00°16'01" EAST AND COINCIDENT WITH THE WEST LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION TWENTY-ONE (21), A DISTANCE OF 680.75 FEET TO THE POINT OF BEGINNING; SAID POINT ALSO BEING THE BEGINNING OF A CURVE TO THE RIGHT, OF WHICH THE RADIUS POINT BEARS SOUTH 02°29'47" EAST, A RADIAL DISTANCE OF 1,970.00 FEET;

THENCE EASTERLY AND COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 21°32'52", AN ARC DISTANCE OF 740.88 FEET AND HAVING A CHORD THAT BEARS SOUTH 81°43'21" EAST, A DISTANCE OF 736.52 FEET TO A REVERSE CURVE HAVING A RADIUS OF 1,470.00 FEET;

THENCE EASTERLY AND COINCIDENT WITH SAID REVERSE CURVE, THROUGH A CENTRAL ANGLE OF 20°26'28", AN ARC DISTANCE OF 524.45 FEET AND HAVING A CHORD THAT BEARS SOUTH 81°10'09" EAST, A DISTANCE OF 521.67 FEET;

THENCE NORTH 01°25'12" WEST, A DISTANCE OF 82.46 FEET TO THE SOUTHERLY LINE OF THAT PARTICULAR 50 FOOT WIDE DITCH PARCEL AS DESCRIBED IN BOOK 63 AT PAGE 464 IN THE RECORDS OF THE WELD COUNTY CLERK AND RECORDER'S OFFICE, SAID POINT BEING THE BEGINNING OF A NON-TANGENT CURVE HAVING A RADIUS OF 47.00 FEET, WHOSE CENTER BEARS NORTH 88°34'47" EAST;

THENCE COINCIDENT WITH THE SOUTHERLY LINES OF SAID 50' WIDE DITCH THE FOLLOWING EIGHT (8) COURSES:

1. THENCE SOUTHEASTERLY AND COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 97°55'37", AN ARC DISTANCE OF 80.33 FEET AND HAVING A CHORD THAT BEARS SOUTH 50°23'01" EAST, A DISTANCE OF 70.90 FEET;
2. THENCE NORTH 80°39'30" EAST, A DISTANCE OF 123.80 FEET;
3. THENCE NORTH 73°56'17" EAST, A DISTANCE OF 64.14 FEET;
4. THENCE NORTH 74°41'14" EAST, A DISTANCE OF 127.29 FEET;
5. THENCE NORTH 77°11'24" EAST, A DISTANCE OF 214.63 FEET;
6. THENCE NORTH 79°40'39" EAST, A DISTANCE OF 294.87 FEET TO A TANGENT CURVE HAVING A RADIUS OF 575.00 FEET, WHOSE CENTER BEARS SOUTHEASTERLY;
7. THENCE EASTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 32°50'35", AN ARC DISTANCE OF 329.60 FEET AND HAVING A CHORD THAT BEARS SOUTH 83°54'04" EAST, A DISTANCE OF 325.11 FEET;
8. THENCE SOUTH 67°28'48" EAST, A DISTANCE OF 226.67 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF WELD COUNTY ROAD 7 AS DESCRIBED AT RECEPTION NO. 2502152 IN SAID RECORDS;

THENCE NORTH 89°30'20" EAST, A DISTANCE OF 30.00 FEET TO A POINT ON THE EAST LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION TWENTY-ONE (21);

THENCE SOUTH 00°29'40" EAST AND COINCIDENT WITH SAID EAST LINE, A DISTANCE OF 128.99 FEET;

THENCE SOUTH 89°30'20" WEST, A DISTANCE OF 83.18 FEET TO A TANGENT CURVE HAVING A RADIUS OF 430.00 FEET, WHOSE CENTER BEARS NORTHWESTERLY;

THENCE WESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 21°39'55", AN ARC DISTANCE OF 162.60 FEET AND HAVING A CHORD THAT BEARS NORTH 79°39'43" WEST, A DISTANCE OF 161.63 FEET;

THENCE NORTH 68°49'45" WEST, A DISTANCE OF 213.12 FEET TO A TANGENT CURVE HAVING A RADIUS OF 370.00 FEET, WHOSE CENTER BEARS SOUTHWESTERLY;

THENCE WESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 33°37'48", AN ARC DISTANCE OF 217.17 FEET AND HAVING A CHORD THAT BEARS NORTH 85°38'39" WEST, A DISTANCE OF 214.07 FEET;

THENCE SOUTH 77°32'27" WEST, A DISTANCE OF 486.45 FEET TO A TANGENT CURVE HAVING A RADIUS OF 1,530.00 FEET, WHOSE CENTER BEARS NORTHWESTERLY;

THENCE WESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 05°10'46", AN ARC DISTANCE OF 138.31 FEET AND HAVING A CHORD THAT BEARS SOUTH 80°07'50" WEST, A DISTANCE OF 138.27 FEET TO A REVERSE CURVE HAVING A RADIUS OF 15.00 FEET;

THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID REVERSE CURVE, THROUGH A CENTRAL ANGLE OF 82°43'13", AN ARC DISTANCE OF 21.66 FEET AND HAVING A CHORD THAT BEARS SOUTH 41°21'37" WEST, A DISTANCE OF 19.82 FEET;

THENCE SOUTH 00°00'00" EAST, A DISTANCE OF 32.75 FEET TO A TANGENT CURVE HAVING A RADIUS OF 550.00 FEET, WHOSE CENTER BEARS SOUTHWESTERLY;

THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 56°17'20", AN ARC DISTANCE OF 540.33 FEET AND

HAVING A CHORD THAT BEARS SOUTH 28°08'40" WEST, A DISTANCE OF 518.86 FEET;

THENCE SOUTH 56°17'20" WEST, A DISTANCE OF 138.48 FEET TO A TANGENT CURVE HAVING A RADIUS OF 445.00 FEET, WHOSE CENTER BEARS SOUTHEASTERLY;

THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 33°40'13", AN ARC DISTANCE OF 261.51 FEET AND HAVING A CHORD THAT BEARS SOUTH 39°27'13" WEST, A DISTANCE OF 257.76 FEET;

THENCE SOUTH 22°37'07" WEST, A DISTANCE OF 80.55 FEET TO A TANGENT CURVE HAVING A RADIUS OF 655.00 FEET, WHOSE CENTER BEARS NORTHWESTERLY;

THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 62°43'36", AN ARC DISTANCE OF 717.09 FEET AND HAVING A CHORD THAT BEARS SOUTH 53°58'55" WEST, A DISTANCE OF 681.81 FEET;

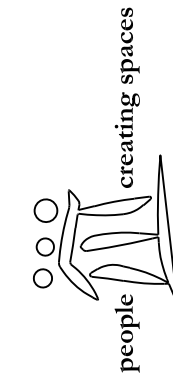
THENCE SOUTH 85°20'43" WEST, A DISTANCE OF 222.09 FEET TO A TANGENT CURVE HAVING A RADIUS OF 490.00 FEET, WHOSE CENTER BEARS SOUTHEASTERLY;

THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 6°28'45", AN ARC DISTANCE OF 55.41 FEET AND HAVING A CHORD THAT BEARS SOUTH 82°06'21" WEST, A DISTANCE OF 55.38 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION TWENTY-ONE (21);

THENCE NORTH 00°16'01" WEST AND COINCIDENT WITH SAID WEST LINE, A DISTANCE OF 1,516.18 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIPTION CONTAINS 1,640,249 SQUARE FEET OR (39.65493 ACRES), MORE OR LESS.

SOUTHERN LAND
COMPANY

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WESTERLY

PLANNED UNIT DEVELOPMENT ZONING MAP

A PORTION OF THE EAST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH,
RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

REVISIONS:

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DATE: 09.30.2020

PROJECT #: PUD 001198-2020

SHEET NO.

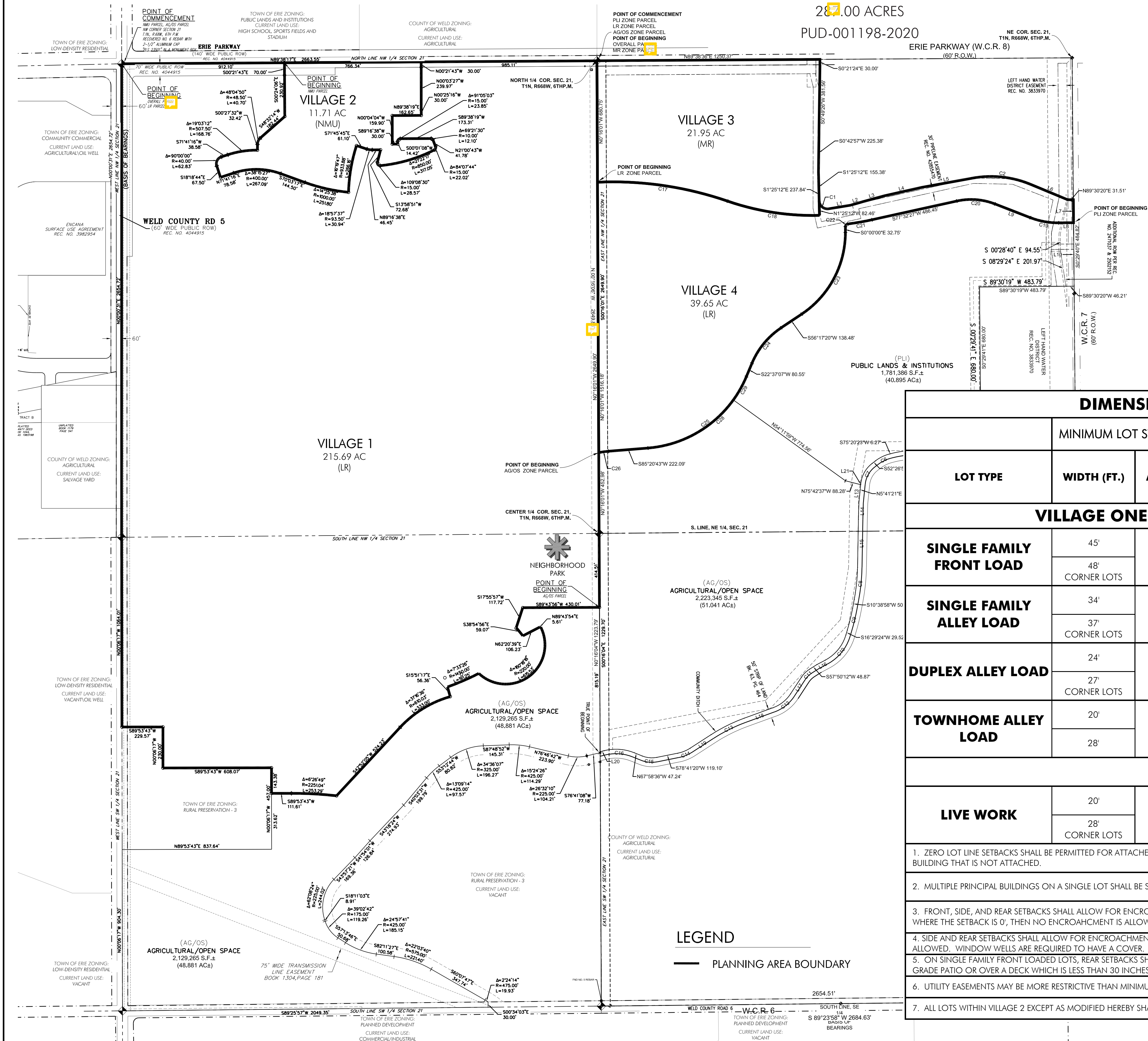
3 OF 6

APPLICANT/DEVELOPER:
ERIE LAND COMPANY, LLC
1225 17TH STREET, SUITE 2420
DENVER, CO - 80202
303-887-8075

WESTERLY - P.U.D. OVERLAY DISTRICT

A PORTION OF THE EAST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

28.00 ACRES
PUD-001198-2020



USE TABLE

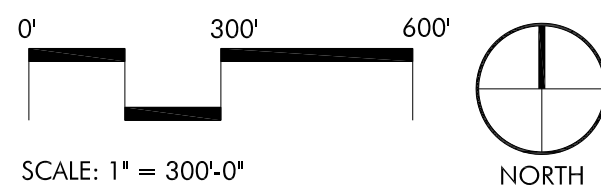
VILLAGE		PERMITTED PRINCIPAL USES
LR	VILLAGE 1	SINGLE FAMILY FRONT LOAD
		SINGLE FAMILY ALLEY LOAD ¹
		DUPLEX ALLEY LOAD ¹
NMU	VILLAGE 2	TOWNHOME ALLEY LOAD ¹
		ALL USES PERMITTED BY THE MUNICIPAL CODE IN THE NMU DISTRICT AS AMENDED
MR	VILLAGE 3	SINGLE FAMILY FRONT LOAD
		SINGLE FAMILY ALLEY LOAD ¹
		DUPLEX ALLEY LOAD ¹
LR	VILLAGE 4	TOWNHOME ALLEY LOAD ¹
		SINGLE FAMILY FRONT LOAD
		SINGLE FAMILY ALLEY LOAD ¹
		DUPLEX ALLEY LOAD ¹
		TOWNHOME ALLEY LOAD ¹

1. ACCESSORY STRUCTURES ARE NOT PERMITTED ON LOTS WHERE VEHICULAR ACCESS IS PROVIDED TO THE REAR OF THE LOT BY AN ALLEY.

DIMENSIONAL STANDARDS SUMMARY CHART

	MINIMUM LOT STANDARDS		MINIMUM LOT SETBACKS (FT.)					
LOT TYPE	WIDTH (FT.)	AREA (S.F.)	FRONT ON STREET	FRONT ON GARDEN COURT	SIDE (TO ABUTTING STREET)	SIDE (TO INTERIOR LOT)	REAR	HEIGHT
VILLAGE ONE - VILLAGE THREE - VILLAGE FOUR								
SINGLE FAMILY FRONT LOAD	45'	4,500	PRIN. - 15' GARAGE - 20'	NOT APPLICABLE	8'	5'	PRIN. - 15'	PRIN. - 35' ACC. 25'
	48' CORNER LOTS		ACC. - 25'				ACC. - 5'	
SINGLE FAMILY ALLEY LOAD	34'	3,000	8'	5'	8'	5'	PRIN. - 0'	
	37' CORNER LOTS							
DUPLEX ALLEY LOAD	24'	1,700	8'	5'	8'	5'	PRIN. - 0'	
	27' CORNER LOTS							
TOWNHOME ALLEY LOAD	20'	1,200	8'	5'	8'	5'	PRIN. - 0'	
	28'							
VILLAGE TWO								
LIVE WORK	20'	1,000	5'	NOT APPLICABLE	8'	5'	PRIN. - 0'	PRIN. - 45' ACC. 25'
	28' CORNER LOTS							

- ZERO LOT LINE SETBACKS SHALL BE PERMITTED FOR ATTACHED BUILDINGS PROVIDED THAT THE BUILDING MEETS THE ZONE DISTRICT INTERIOR LOT LINE SETBACK ON THE SIDE OF THE BUILDING THAT IS NOT ATTACHED.
- MULTIPLE PRINCIPAL BUILDINGS ON A SINGLE LOT SHALL BE SEPARATED BY A DISTANCE EQUAL TO THE DISTANCE THAT WOULD BE REQUIRED IF THEY WERE SEPARATED BY A LOT LINE.
- FRONT, SIDE, AND REAR SETBACKS SHALL ALLOW FOR ENCROACHMENTS INTO THE SETBACK OF UP TO 2 FEET FOR ABOVE-GRADE FEATURES INCLUDING EAVES, AND OVERHANGS, EXCEPT WHERE THE SETBACK IS 0', THEN NO ENCROACHMENT IS ALLOWED.
- SIDE AND REAR SETBACKS SHALL ALLOW FOR ENCROACHMENTS INTO THE SETBACK OF UP TO 3 FEET FOR WINDOW WELLS, EXCEPT WHERE THE SETBACK IS 0', THEN NO ENCROACHMENT IS ALLOWED. WINDOW WELLS ARE REQUIRED TO HAVE A COVER.
- ON SINGLE FAMILY FRONT LOADED LOTS, REAR SETBACKS SHALL ALLOW FOR AN ENCROACHMENT INTO THE SETBACK OF UP TO 6 FEET FOR A ROOF TO BE CONSTRUCTED OVER AN AT GRADE PATIO OR OVER A DECK WHICH IS LESS THAN 30 INCHES ABOVE GRADE.
- UTILITY EASEMENTS MAY BE MORE RESTRICTIVE THAN MINIMUM SETBACKS, THE GREATER OF THE MINIMUM SETBACK OR THE UTILITY EASEMENT SHALL GOVERN.
- ALL LOTS WITHIN VILLAGE 2 EXCEPT AS MODIFIED HEREBY SHALL FOLLOW THE DIMENSIONAL STANDARDS ESTABLISHED BY THE UDC FOR NMU OUTSIDE OF OLD TOWN AS AMENDED.



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Matrix
DESIGN GROUP

WESTERLY

PLANNED UNIT DEVELOPMENT ZONING MAP

A PORTION OF THE EAST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH,
RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

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DATE: 09.30.2020

PROJECT #: PUD 001198-2020

PUD
OVERLAY
MAP

SHEET NO.

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WESTERLY - P.U.D. OVERLAY DISTRICT

A PORTION OF THE EAST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

287.00 ACRES
PUD-001198-2020

SINGLE FAMILY DETACHED ARCHITECTURAL STANDARDS

1. Architectural Variety and Character

a. Architectural Variety

- Design Standards
 - No identical model plan elevation shall be repeated directly across any street from the same model plan and elevation.
 - No identical model plan elevation shall be repeated more than once within every 4 lots on the same side of any street.
 - A minimum of 3 recognizably different model plans with 3 recognizably different elevations be submitted to the Town for review.
- Tracking
 - It shall be the responsibility of the developer to provide to the Town a plat sheet tracking document that maintains a record of home model variety for every development parcel. The developer shall demonstrate compliance with this Section prior to issuance of a building permit.

b. Architectural Character

Each single family detached model plan and elevation shall demonstrate the following design attributes:

- Design Standards:
 - Each Elevation shall include a minimum of two windows (or one window and one door) per floor. There shall be at least one opening (window or door) per quadrant of the elevation so that long stretches of wall are broken up by fenestration. However, elevations with a partial or smaller upper level (such as a front facing gable) may be allowed to have a minimum of one window in the upper story and the window shall be appropriate in size to the scale of the upper level mass.
 - Wall Plane Change:

Window Articulation that adds shadow and visual interest is encouraged.

The wall plane change shall be proportional to the building elevation, have a depth of at least 12 inches, be at least a full story in height, and be at least 6 feet wide. Recessed planes shall be recognizable as part of the elevation being enhanced.

Each front and rear elevation shall include more than one wall plane,

Or, on front elevations one wall plane may be allowed when one or more of the following is provided.

 - Window(s) or Door(s) exceeding the minimum required per floor. The use of shutters may also enhance the total scale of fenestration provided per elevation quadrant.
 - A porch or stoop that is covered.
 - Roof Dormers.



C. A variety of roof forms shall be used. Single unbroken roof pitches should be avoided except where a single roof treatment is an essential element of the Architectural Style. (e.g. Mansard)

D. The main roof shall extend beyond the primary façade by a minimum of 12 inches.

Or, on homes with a roof pitch of 10:12 or greater, a gable rake of less than 12 inches may be permitted.

Models with gable rake overhangs of less than 12 inches shall not be located directly across the street from each other or more than once within every 4 lots on the same side of any street.

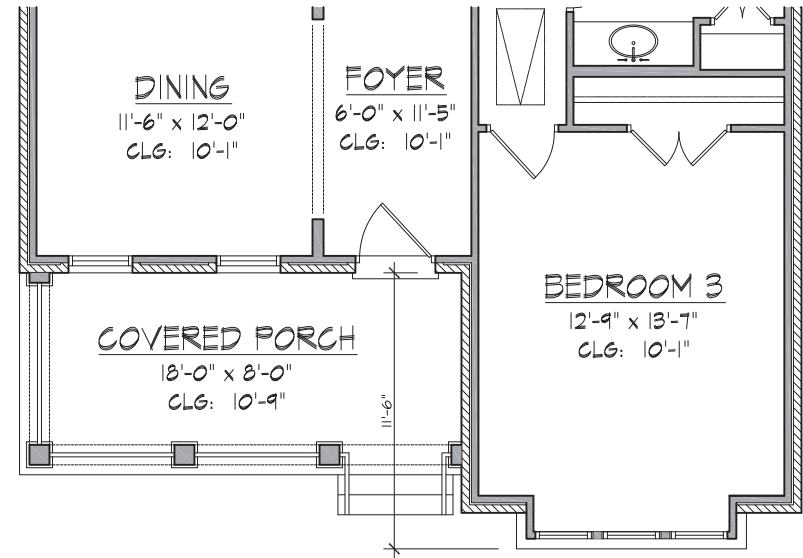
E. An elevation of the home that faces a street, park, trail corridor or open space area shall provide an “enhanced elevation” which further improves the architectural aesthetic of the residence; an enhanced elevation shall provide three of the following design enhancements. The design enhancement shall be applied in a manner that is consistent with the style of the home. Side and rear elevation design enhancements shall be consistent with the design elements of the front elevation.

- Window(s) of sufficient size and appropriate scale to add character to the elevation.
 - A change in wall plane as defined in subsection 1.b.i.B above.
 - A porch, patio, or deck that is covered.
 - The use of architectural detail elements such as shutters, vents, eave and/or gable brackets, exposed rafter tails, corbels, lintels, trellises, columns or pilasters, additional exterior accent materials, etc. which in combination create an enhanced architectural style.
 - The use of two or more exterior materials. Additional materials should be used in locations where it is logical and appropriate and should continue to a natural transition point. To achieve the enhancement the additional material(s) shall be used to cover a minimum of 15% of the elevation being enhanced. Exterior materials may include but are not limited to masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other decorative siding treatment. Different application styles of the same material, for example the application of lap siding in different widths, does not constitute a second material.
- F. Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. (No exposed 4” x 4” posts shall be allowed more than 36 inches above the ground). Columns supporting upper story decks should be 8” x 8” minimum finished.

- Materials
 - All exterior materials shall be of high quality, used in applications and treated appropriately to provide and attractive and long lasting appearance.
 - When masonry is used it should be used in locations where its mass is logical and appropriate. In instances where masonry wraps the exterior corner of the home the masonry should continue to a natural transition point such as the inside corner of a projection wall, a column, a door or window or other logical point. In cases where no such feature exists near the corner, the masonry wrap shall extend at least six feet from the corner.

2. Orientation of Dwellings to the Street

- Each dwelling unit shall face the front lot line of the property and have at least 1 primary pedestrian doorway for access to the dwelling unit located on the elevation of the dwelling unit facing the front lot line of the property. The doorway shall be no more than 12 feet from the most forward plane of the forward most living space within the house and shall be clearly visible from the street or public area adjacent to the front lot line (example below).
- For Single Family Front Loaded Lots adjacent to streets on two sides (corner lots), the dwelling may be oriented to either adjacent street and the pedestrian doorway may thus be located facing either adjacent street.



3. Garages

These regulations for garages shall be applied to non-living space or storage areas within garages whether used for storage of automobiles or other items.

- Front Loaded Garages:**
 - Garages shall be recessed a minimum of 8’-0” from the forward most façade, front porch, or covered stoop, whichever length is greatest, for front loaded lots 70’ or greater in width.
 - Garages shall be recessed a minimum of 2’-0” from the forward most façade, front porch, or covered stoop, whichever length is greatest, for front loaded lots between 45’ and 69’ feet in width.
 - The width of a front-loaded garage shall not exceed 65% of the width of the front elevation.
- Side Loaded Garages:**
 - On corner lots where the garage is oriented to the side lot line rather than the front lot line, the garage must be set back a minimum of 31’ from the front stoop or porch or from the forward most plane of the front facade when there is not a stoop or porch.
- Alley Load Garages:**
 - Garages must be oriented to and accessed from the alley when the dwelling is located on a lot with alley access.
- Three or More Car Garage Orientation:**

When garage bays exceed two, the additional garage bays shall either:

 - Have a different orientation from the first two; or
 - Shall be recessed behind the first two by at least two feet when having the same orientation; or
 - Shall be tandem to the first two.

4. Front Stoop

A front stoop is comprised of stairs and a platform which provides access to a front door when the threshold is not at grade and may be covered or uncovered. For dwelling units with a front stoop, the front stoop platform shall be at least 12 square feet.

5. Front Porches

A front porch is comprised of stairs, platform, and columns or railing and provides access a font door when the threshold is not at grade. A front porch has a generous sized platform which creates an outdoor living space at the front of the house. For dwelling units with a front porch, the front porch shall be at least 60 square feet, and shall have a minimum depth of 6 feet as measured from the stud wall to the column centerline or railing.

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Matrix
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WESTERLY
PLANNED UNIT DEVELOPMENT ZONING MAP
A PORTION OF THE EAST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH,
RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

REVISIONS:	
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DATE: 09.30.2020
PROJECT #: PUD 001198-2020

PUD OVERLAY
STANDARDS

SHEET NO.

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WESTERLY - P.U.D. OVERLAY DISTRICT

A PORTION OF THE EAST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

287.00 ACRES
PUD-001198-2020

SINGLE FAMILY ATTACHED ARCHITECTURAL STANDARDS

Additional Standards for Duplex & Townhome Areas

1. Building Design and Character

a. General Purpose

The purposes of these building design and character standards are to:

- Establish a more predictable approach to Duplex and Townhome areas that encourages creativity in design for individualism of buildings or dwelling units that results in attractive, long-lasting neighborhoods.

b. Building Orientation

i. Intent

To organize the primary entrances and facades of Duplex or Townhome buildings with a clear orientation towards a Street or Common Open Space/Greencourt,

(A) To create an integrated neighborhood appearance for Duplex and Townhome areas that establishes a pattern that is integrated with adjacent uses instead of segregated as a separate sub-community.

ii. Design Standards

(A) The primary entrance and facade of individual buildings shall be oriented towards:

- Primary internal or perimeter streets, or
- Common open space/Greencourts, such as interior courtyards, parks, or on-site natural areas or features with a clearly defined and easily accessible pedestrian circulation system.

(B) Primary entrances and facades shall not be oriented towards alleys, parking lots, garages, or carports.

c. Architectural Character

i. Intent

(A) To improve the appearance of Duplex and Townhome areas through the incorporation of architectural detailing, facade articulation, and other features designed to provide a more distinct character and human scale for buildings of all sizes.

(B) To encourage the use of architectural styles that reinforces the Town's traditional character.

ii. Design Standards

(A) All sides of a Duplex or Townhome building shall display a similar level of quality and architectural detailing. The majority of a building's architectural features and treatments shall not be restricted to a single facade. Building details, including roof forms, windows, doors, trim, and siding materials, shall reflect the architectural style of the building.

(B) Attached dwelling units may either express each individual unit or give each building the appearance of a large single-family home.

(C) The maximum length of any Townhome building shall be 156 feet.

(D) The incorporation of a variety of roof forms is strongly encouraged on differentiated dwelling units. Generally, Duplex or Townhomes shall incorporate roof pitches of between 3:12 and 16:12; however, alternative roof forms may be permitted at the discretion of the Community Development Director.

(E) Roof overhangs shall extend beyond the primary façade by a minimum of 12 inches.

Or, on homes with a roof pitch of 10:12 or greater, a gable rake of less than 12 inches may be permitted.

Models with gable rake overhangs of less than 12 inches shall not be placed adjacent to or across the street from 1 another.

(F) Horizontal variations in materials along the facade of a Duplex or Townhome building shall occur in conjunction with a change in wall plane, preferably at the inside corner of a wall.

d. Architectural Variety

i. Intent

(A) To ensure that individual groupings of Duplex or Townhome buildings within a larger development exhibit a distinct variation in size and mass that allows them to be easily distinguished from surrounding building groupings.

(B) To avoid the bleak, "barracks-type" appearance associated with large concentrations of identical or very similar structures.

(C) Townhomes

- No more than 6 townhome dwelling units may be attached in any single row or building cluster.
- Within each townhome row or cluster, individual dwelling units shall either be differentiated or may express a purposely uniform design.

A. When dwelling units are to be differentiated, dwelling units shall be differentiated through 2 or more of the following methods,

- Use of distinct color variation between individual dwelling units;
- Use of distinct variations in materials between individual dwelling units;
- Use of distinct variations in architectural style or features, such as a porch or similar feature, between individual dwelling units;
- Use of distinct variations in roof form,

- A variation in the plane of the front facade to provide a minimum 1 foot variation between individual dwelling units.

B. When uniformity (sameness or pattern repetition) in design is proposed, this shall be expressed through repetition of 2 or more of the following methods,

- Use of materials both in type and location;
- Size, style, and patterning of windows;
- Size and detailing of front porches;
- Roof dormers, roof form, and roof pitch.

(D) Duplexes

A continuous row of identical homes along a block shall be prohibited. Individual structures shall be differentiated through 2 or more of the following methods:

- Use of distinct color variation and materials between individual structures;
- Use of distinct variations in roof form, or
- Use of distinct variations in architectural features, such as porches, roof form, windows, or similar feature, between individual structures.

- Models with identical facades shall not be placed adjacent to or across the street from 1 another.

e. Materials

i. Intent

(A) To maximize the quality, value, and longevity of multi-family neighborhoods through the use of durable materials that will minimize maintenance costs and improve the overall appearance of the development.

(B) To encourage the use of recycled and other environmentally- friendly, Leadership in Energy and Environmental Design (LEED) certified building materials.

ii. Design Standards

(A) Primary exterior building materials on multi-family structures shall be constructed from durable materials with product warranties or an industry expected life of a minimum of 25-years.

(B) Exterior Insulating and Finish System (EIFS) shall not be permitted.

(C) All multi-family structures shall utilize durable, environmentally sensitive roofing materials with product warranties or an industry expected life of a minimum of 25 years.

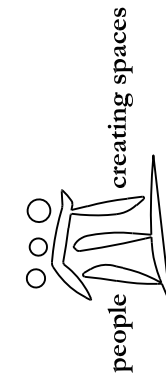
2. Parking and Garage Placement

On-street parking spaces may be counted towards guest parking for a Duplex or Townhome area, provided the on-street spaces are located on an adjacent or internal street that allows on-street parking. On-street parking spaces being counted towards the minimum requirement for guest parking shall be identified on plans at time of submittal to the Town. Required dwelling unit parking shall be off-street. Garages shall be accessed from an alley.

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WESTERLY

PLANNED UNIT DEVELOPMENT ZONING MAP

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PROJECT #: PUD 001198-2020

PUD OVERLAY STANDARDS

SHEET NO.

6 OF 6

From: Tyler Burhenn <tburhenn@erieco.gov>

Sent: Wednesday, December 16, 2020 2:27 PM

To: Shannon Moeller <smoeller@erieco.gov>; Luke Bolinger <lbolinger@erieco.gov>; Darren Champion <dchampion@erieco.gov>

Subject: RE: Referral Review - Westerly PUD & Rezoning

No comments from engineering.

Thank you,



Tyler Burhenn | Civil Engineer

Town of Erie | Planning and Development Department

645 Holbrook Street | P.O. Box 750 | Erie, CO 80516

Phone: 303-926-2798 | Fax: 303-926-2706

<http://www.erieco.gov> | [Facebook](#) | [Twitter](#) | [LinkedIn](#)

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From: Darren Champion <dchampion@erieco.gov>
Sent: Wednesday, December 16, 2020 10:36 AM
To: Shannon Moeller <smoeller@erieco.gov>; Luke Bolinger <lbolinger@erieco.gov>; Tyler Burhenn <tburhenn@erieco.gov>
Subject: RE: Referral Review - Westerly PUD & Rezoning

Hi Shannon,

Parks does not have any comments for this application.

Thanks,



Darren Champion *CPSI* | Parks and Open Space Project Coordinator
Town of Erie | Parks & Recreation Department
150 Bonnell Avenue | P.O. Box 750 | Erie, CO 80516
Phone: 303-926-2886 | Cell: 303-591-1280 | Fax: 303-665-9420
www.erieco.gov/parksandrec | [Facebook](#) | [Twitter](#) | [LinkedIn](#)

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The Town of Erie
645 Holbrook St.
P.O. Box 750
Erie, CO 80516
(303) 926-2774
smoeller@erieco.gov

Planning & Development Planning

Memo

To: John Prestwich, PCS Group
From: Shannon Moeller, Senior Planner
Date: December 15, 2020
Re: RZ-001199-2020 Westerly Rezoning No. 2
PUD-001198-2020 Westerly PUD Amendment No. 1
cc: Heidi Majerik, Southern Land Company; Fred Starr; Deborah Bachelder; David Pasic; Tyler Burhenn; Luke Bolinger; Patrick Hammer; Darren Champion

Town staff has reviewed the initial submittal of the RZ-001199-2020 Westerly Rezoning No. 2 and PUD-001198-2020 Westerly PUD Amendment No. 1 application for conformance with Municipal Code, Title 10 at the December 10, 2020 Development Review Team meeting. A list of the Town staff that have commented and referral agencies that have responded are listed below. Referral comments received by the Town after the date of this memo shall be forwarded on to the applicant. The next step for the application is revision and resubmittal for another referral and Development Review Team review. Please make the appropriate revisions to the application materials and provide written response to address each written comment from the Town staff and referral agencies.

All resubmittals shall be provided by requesting a link from Melinda Helmer, Planning Technician, mhelmer@erieco.gov. Please request a link in advance of a planned resubmittal.

Digital Copies:

- 1 Digital Copy of written response and all resubmittal documents. Digital copies will be distributed to the following referral agencies:
 1. Town of Erie – internally distributed to: Planning
 2. Ehrhart Land Surveying
 3. FRICO
- The following agencies provided comments that do not require an additional referral:
 1. MVFPD
 2. WAPA
 3. CGS
 4. Town of Erie – Parks, Engineering

Planning Comments

PUD AMENDMENT

GENERAL

1. Please ensure that the southern boundary of the PUD overlay, and total number of acres in the villages and overall PUD overlay, is adjusted consistent with the staff comments on the rezoning for the LR / AG-OS zoning boundary line (see comments below).
2. Because the underlying zoning and standards are identical for Village 1 and the proposed Village 4:
 - a. On the Sheet 4 overlay map, please relabel "Village 4" as "Village 1."
 - b. In the Sheet 4 Use Table, eliminate the Village 4 row.
 - c. In the Sheet 4 Dimensional Standards Summary Chart, eliminate the Village 4 label.
 - d. In the Sheets 2-3 legal descriptions for the villages, revise to combine Village 1 and Village 4 within one legal description.

SHEET 1

3. Please adjust the vicinity map and legal descriptions so that they depict only the areas where PUD overlay will exist, e.g. not across the AG-OS zoned land, etc.
4. The sheet header states that the PUD overlay contains 287 acres, but the sum of the individual villages shown on sheet 4 is 289. Please clarify or correct.

SHEET 4

5. In the Use Table, eliminate single-family front load and single family alley load from the Village 3 row as this is a medium density area and these uses are not proposed on the conceptual plan.

REZONING

GENERAL

6. Please clarify if anything is changing with the boundary line between the LR / NMU zoned areas. The square footage of this area appears slightly different than the previously approved zoning map.
7. Please revise the location of the proposed LR / AG-OS zoning boundary line so that it aligns with anticipated lot or tract line(s) to avoid placing a lot or tract within two separate zoning districts per section 10.5.4.E.4. Please revise the proposed LR / AG-OS zoning boundary line to align with the anticipated property line generally at the rear of lots and south of the neighborhood park, for example the line shown in **purple** below:



8. In keeping with the above comment, please submit an application for a Minor Plat Amendment (administrative review) to be reviewed concurrently with the next resubmittal of this rezoning application. The MPA is necessary to revise the location of the tract line to align with the proposed zoning boundary line. The Minor Plat Amendment would be recorded concurrently with the rezoning.

NEIGHBORHOOD MEETING

9. Per Section 10.7.5.B.4 and 10.7.6.D.4, a Neighborhood Meeting is required for Rezoning and PUD Amendment applications. The requirements for a Neighborhood Meeting are provided in Section 10.7.2.D. Staff recommends holding the meeting after responding to these initial review comments.

INFORMATIONAL COMMENTS

The following comments are informational in nature and do not require a response at this time:

1. PUD Amendment and Rezoning Review Process: At the time that the PUDA and Rezoning are acceptable to staff, the items shall be placed on the next available Planning Commission meeting as a public hearing. Prior to the hearing, the applicant shall be responsible for providing all items requested by staff. After the PC hearing, a Board of Trustees hearing is required. If the BOT approves the items, the PUDA and Rezoning documents shall be recorded. The Minor Plat Amendment (described in above comments) is an administrative review and would be recorded concurrently.

The review process is a cumulative process and dependent on various criteria. We reserve the right to provide further comment(s) and request additional information. Please contact me at 303-926-2774 or smoeller@erieco.gov for further clarification. Staff is happy to schedule a virtual meeting to discuss the comments.

Sincerely,

Shannon Moeller, AICP
Senior Planner

ATTACHMENTS:

1. Referral Comments: MVFPD, WAPA, CGS, FRICO, Ehrhart



The Town of Erie
645 Holbrook St.
P.O. Box 750
Erie, CO 80516
(303) 926-2774
smoeller@erieco.gov

Planning & Development Planning

Memo

To: John Prestwich, PCS Group
From: Shannon Moeller, Senior Planner
Date: April 15, 2021
Re: RZ-001199-2020 Westerly Rezoning No. 2
PUD-001198-2020 Westerly PUD Amendment No. 1
cc: Heidi Majerik, Southern Land Company; Fred Starr; Deborah Bachelder

Town staff has reviewed the initial submittal of the RZ-001199-2020 Westerly Rezoning No. 2 and PUD-001198-2020 Westerly PUD Amendment No. 1 application for conformance with Municipal Code, Title 10 at the April 15, 2021 Development Review Team meeting. A list of the Town staff that have commented and referral agencies that have responded are listed below. Referral comments received by the Town after the date of this memo shall be forwarded on to the applicant. The next step for the application is revision and resubmittal for another referral and Development Review Team review. Please make the appropriate revisions to the application materials and provide written response to address each written comment from the Town staff and referral agencies.

All resubmittals shall be provided by requesting a link from Melinda Helmer, Planning Technician, mhelmer@erieco.gov. Please request a link in advance of a planned resubmittal.

Digital Copies:

- 1 Digital Copy of written response and all resubmittal documents. Digital copies will be distributed to the following referral agencies:
 1. Town of Erie – internally distributed to: Planning
 2. Ehrhart Land Surveying
- The following agencies did not provide a referral response:
 1. FRICO

Planning Comments

PUD AMENDMENT

1. Repeat Comment: In the Use Table on sheet 4, eliminate the single family products from Village 3. These products were not depicted in this village on the conceptual plan that was approved as part of the annexation agreement.
2. Please revise the PUD Overlay extents consistent with the LR zoning district boundary as described in the rezoning comment below.

REZONING

3. The proposal to extend the AG-OS zoning across the future neighborhood park would present an issue for the location of future “athletic fields and courts” within the future neighborhood park as these uses are only allowed in this zoning district by Special Review Use. Please maintain the neighborhood park within the LR zoning district by locating the LR / AG-OS boundary line at the southern extents of the anticipated neighborhood park. Alternatively, the entire AG-OS zoning district throughout Dearmin/Swink could be rezoned from AG-OS to PLI, but this would involve a more extensive rezoning.
4. Please see attached redlines for minor changes to the Zoning Map.

NEIGHBORHOOD MEETING

5. Per Section 10.7.5.B.4 and 10.7.6.D.4, a Neighborhood Meeting is required for Rezoning and PUD Amendment applications. The requirements for a Neighborhood Meeting are provided in Section 10.7.2.D. The neighborhood meeting can be held after addressing the above-mentioned comments.

INFORMATIONAL COMMENTS

The following comments are informational in nature and do not require a response at this time:

1. PUD Amendment and Rezoning Review Process: At the time that the PUDA and Rezoning are acceptable to staff, the items shall be placed on the next available Planning Commission meeting as a public hearing. Prior to the hearing, the applicant shall be responsible for providing all items requested by staff. After the PC hearing, a Board of Trustees hearing is required. If the BOT approves the items, the PUDA and Rezoning documents shall be recorded.

The Final Plat to adjust the tract lines in the area of the rezoning, which will also establish some new and revised lots within Westerly Filing 1, requires Planning Commission and BOT hearings. The Final Plat will be reviewed on the same hearing dates as the PUD and Rezoning.

The review process is a cumulative process and dependent on various criteria. We reserve the right to provide further comment(s) and request additional information. Please contact me at 303-926-2774 or smoeller@erieco.gov for further clarification. Staff is happy to schedule a virtual meeting to discuss the comments.

Sincerely,

Shannon Moeller, AICP
Senior Planner

ATTACHMENTS:

1. Referral Comments: Ehrhart
2. Redlines: Planning – Zoning Map

WESTERLY - ZONING MAP

A PORTION OF THE WEST HALF OF SECTION 21, TOWNSHIP 1 NORTH,
RANGE 68 WEST, 6TH PRINCIPAL MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
276.27 ACRES
RZ-001199-2020

BASIS OF BEARINGS STATEMENT:

THE BASIS OF BEARINGS FOR THIS MAP IS THE NORTH LINE OF THE NORTHWEST ONE-QUARTER OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN BEING MONUMENTED ON THE WEST END BY A FOUND 2-1/2 INCH ALUMINUM CAP WITHIN A MONUMENT CASING STAMPED WITH THE APPROPRIATE TEXT AND SYMBOLOGY FOR THE NORTHWEST CORNER OF SECTION 21 AND "LS 23501" AND MONUMENTED ON THE EAST END BY A FOUND REBAR WITH 2 INCH ALUMINUM CAP ILLEGIBLY STAMPED ENCASED IN A STANDARD MONUMENT WELL BEARING NORTH 89°38'17" EAST A DISTANCE OF 2663.55 FEET.

OVERALL LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN THE WEST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF SAID SECTION 21; THENCE NORTH 89°38'17" EAST, COINCIDENT WITH THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 21, A DISTANCE OF 2,663.55 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 21;

THENCE SOUTH 00°16'01" EAST, COINCIDENT WITH THE EASTERLY LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 2,049.90 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE SOUTH 00°16'04" EAST, COINCIDENT WITH THE EAST LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 1,229.70 FEET TO A POINT ON THE WESTERLY BOUNDARY OF THE COMMUNITY DITCH AS DESCRIBED IN A DOCUMENT RECORDED IN THE OFFICE OF THE CLERK AND RECORDER OF WELD COUNTY IN BOOK 63, PAGE 644, UNDER RECEPTION NO. 23030;

THENCE COINCIDENT WITH SAID WESTERLY BOUNDARY OF THE COMMUNITY DITCH THE FOLLOWING TWENTY-ONE (21) COURSES:

1. THENCE SOUTH 76°41'08" WEST A DISTANCE OF 77.18 FEET TO A 225.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHERLY;
2. THENCE WESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 26°32'10" AN ARC DISTANCE OF 104.21 FEET;
3. THENCE NORTH 76°46'42" WEST A DISTANCE OF 223.90 FEET TO A 425.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY;
4. THENCE WESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 15°24'26" AN ARC DISTANCE OF 114.29 FEET;
5. THENCE SOUTH 87°48'52" WEST A DISTANCE OF 145.31 FEET TO A 325.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 02°11'09" EAST;
6. THENCE WESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 34°36'07" AN ARC DISTANCE OF 196.27 FEET;
7. THENCE SOUTH 53°12'44" WEST A DISTANCE OF 80.82 FEET TO A 425.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 36°47'15" EAST;
8. THENCE SOUTHWESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 13°09'14" AN ARC DISTANCE OF 97.57 FEET;
9. THENCE SOUTH 40°03'31" WEST A DISTANCE OF 199.79 FEET;
10. THENCE SOUTH 43°18'24" WEST A DISTANCE OF 274.93 FEET;
11. THENCE SOUTH 41°54'01" WEST A DISTANCE OF 126.84 FEET;
12. THENCE SOUTH 43°57'21" WEST A DISTANCE OF 169.36 FEET TO A 225.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHEASTERLY;
13. THENCE SOUTHERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 62°08'24" AN ARC DISTANCE OF 244.02 FEET;
14. THENCE SOUTH 18°11'03" EAST A DISTANCE OF 8.91 FEET TO A 175.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 71°48'56" EAST;
15. THENCE SOUTHEASTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 39°02'42" AN ARC DISTANCE OF 119.26 FEET;
16. THENCE SOUTH 57°13'46" EAST A DISTANCE OF 50.68 FEET TO A 425.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHEASTERLY;
17. THENCE EASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 24°57'41" AN ARC DISTANCE OF 185.15 FEET;
18. THENCE SOUTH 82°11'27" EAST A DISTANCE OF 100.58 FEET TO A 575.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY;
19. THENCE EASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 22°03'40" AN ARC DISTANCE OF 221.40 FEET;
20. THENCE SOUTH 60°07'47" EAST A DISTANCE OF 347.74 FEET TO A 475.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHWESTERLY;
21. THENCE SOUTHEASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 02°24'14" AN ARC DISTANCE OF 19.93 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF WELD COUNTY ROAD 6 AS DESCRIBED IN COMMISSIONERS BOOK 86, PAGE 273 OF THE RECORDS OF THE WELD COUNTY COMMISSIONERS;

THENCE SOUTH 00°34'03" EAST A DISTANCE OF 30.00 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE SOUTH 89°25'57" WEST, COINCIDENT WITH SAID SOUTH LINE, A DISTANCE OF 2,049.35 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 21;

THENCE NORTH 00°06'17" WEST, COINCIDENT WITH THE WEST LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 904.30 FEET TO THE WESTERLY EXTENSION OF THE SOUTHERLY LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN A DOCUMENT RECORDED IN THE OFFICE OF THE CLERK AND RECORDER OF WELD COUNTY UNDER RECEPTION NO. 2978817;

THENCE COINCIDENT WITH SAID PARCEL BOUNDARY, THE FOLLOWING FIVE (5) COURSES:

1. THENCE NORTH 89°53'43" EAST, COINCIDENT WITH SAID WESTERLY EXTENSION AND SOUTH LINE, A DISTANCE OF 837.64 FEET;
2. THENCE NORTH 00°06'17" WEST A DISTANCE OF 457.00 FEET;
3. THENCE SOUTH 89°53'43" WEST A DISTANCE OF 608.07 FEET;
4. THENCE NORTH 00°06'17" WEST A DISTANCE OF 230.00 FEET;
5. THENCE SOUTH 89°53'43" WEST, COINCIDENT WITH THE NORTHERLY LINE OF SAID EXTERIOR BOUNDARY AND ITS WESTERLY EXTENSION, A DISTANCE OF 229.57 FEET TO THE WEST LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE NORTH 00°06'17" WEST, COINCIDENT WITH SAID WEST LINE, A DISTANCE OF 1,064.00 FEET TO THE NORTHWEST CORNER OF THE SAID SOUTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE NORTH 00°00'31" EAST, COINCIDENT WITH THE WEST LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 2,654.72 FEET TO THE **POINT OF BEGINNING**;

THE ABOVE DESCRIPTION CONTAINS A CALCULATED AREA OF 12,034,466 SQUARE FEET (276.27332 ACRES), MORE OR LESS.

LOW DENSITY RESIDENTIAL (LR) LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN THE WEST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF SAID SECTION 21; THENCE NORTH 89°38'17" EAST, COINCIDENT WITH SAID NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 21, A DISTANCE OF 912.10 FEET;

THENCE SOUTH 00°21'43" EAST A DISTANCE OF 70.00 FEET TO THE SOUTHERLY LINE OF THE WELD COUNTY ROAD 8 RIGHT-OF-WAY AS DESCRIBED IN THAT CERTAIN DOCUMENT RECORDED JULY 18, 2019 IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDED UNDER RECEPTION NUMBER 4506864;

THENCE SOUTH 00°24'06" EAST A DISTANCE OF 230.92 FEET;

THENCE SOUTH 48°32'14" WEST A DISTANCE OF 182.44 FEET TO A 48.50 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 41°27'42" EAST;

THENCE SOUTHWESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 48°04'50" AN ARC DISTANCE OF 40.70 FEET;

THENCE SOUTH 00°27'32" EAST A DISTANCE OF 32.42 FEET TO A 507.50 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 00°44'28" WEST;

THENCE WESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 19°03'12" AN ARC DISTANCE OF 168.76 FEET;

THENCE SOUTH 71°14'16" WEST A DISTANCE OF 38.58 FEET TO A 40.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY;

THENCE SOUTHWESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 90°00'00" AN ARC DISTANCE OF 62.83 FEET;

THENCE SOUTH 18°18'44" EAST A DISTANCE OF 67.50 FEET;

THENCE NORTH 71°41'16" EAST A DISTANCE OF 78.58 FEET TO A 400.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY;

THENCE EASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 38°15'27" AN ARC DISTANCE OF 267.09 FEET;

THENCE SOUTH 70°03'17" EAST A DISTANCE OF 144.50 FEET TO A 1,000.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHERLY;

THENCE EASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 14°25'38" AN ARC DISTANCE OF 251.80 FEET TO A 933.88 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 88°31'21" EAST;

THENCE NORTHERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 16°19'47" AN ARC DISTANCE OF 266.16 FEET;

THENCE SOUTH 71°45'45" EAST A DISTANCE OF 61.10 FEET TO A 93.50 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHERLY;

THENCE EASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 18°57'37" AN ARC DISTANCE OF 30.94 FEET;

THENCE NORTH 89°16'38" EAST A DISTANCE OF 46.45 FEET;

THENCE SOUTH 13°58'51" WEST A DISTANCE OF 72.68 FEET TO A 15.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHEASTERLY;

THENCE SOUTHEASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 109°08'30" AN ARC DISTANCE OF 28.57 FEET TO A 850.00 FOOT RADIUS COMPOUND CURVE;

THENCE EASTERLY, COINCIDENT WITH SAID COMPOUND CURVE, THROUGH A CENTRAL ANGLE OF 21°22'17" AN ARC DISTANCE OF 317.05 FEET TO A 15.00 FOOT COMPOUND CURVE;

THENCE NORTHERLY, COINCIDENT WITH SAID COMPOUND CURVE THROUGH A CENTRAL ANGLE OF 84°07'44" AND ARC DISTANCE OF 22.02 FEET;

THENCE NORTH 21°00'43" WEST A DISTANCE OF 41.78 FEET TO A 10.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 68°59'33" WEST;

THENCE NORTHWESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 69°21'30" AN ARC DISTANCE OF 12.11 FEET;

THENCE SOUTH 89°38'19" WEST A DISTANCE OF 173.31 FEET TO A 15.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY;

THENCE SOUTHWESTERLY, COINCIDENT WITH SAID CURVE, THROUGH A CENTRAL ANGLE OF 91°05'03" AN ARC DISTANCE OF 23.85 FEET;

THENCE SOUTH 00°01'08" EAST A DISTANCE OF 14.42 FEET;

THENCE SOUTH 89°16'38" WEST A DISTANCE OF 30.00 FEET;

THENCE NORTH 00°04'04" WEST A DISTANCE OF 159.88 FEET;

THENCE NORTH 89°38'19" EAST A DISTANCE OF 162.65 FEET;

THENCE NORTH 00°25'16" WEST A DISTANCE OF 30.00 FEET;

THENCE NORTH 00°03'27" WEST A DISTANCE OF 239.97 FEET TO THE SOUTHERLY LINE OF THE WELD COUNTY ROAD 8 RIGHT-OF-WAY AS DESCRIBED IN THAT CERTAIN DOCUMENT RECORDED NOVEMBER 8, 2005 IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDED UNDER RECEPTION NUMBER 3338310;

THENCE NORTH 00°21'43" WEST A DISTANCE OF 30.00 FEET TO THE NORTH LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE NORTH 89°38'17" EAST, COINCIDENT WITH SAID NORTH LINE, A DISTANCE OF 985.11 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE SOUTH 00°16'01" EAST, COINCIDENT WITH THE EASTERLY LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 2,196.92 FEET TO A 490.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 11°08'02" EAST;

THENCE SOUTHWESTERLY, ALONG SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 58°15'43" AN ARC DISTANCE OF 498.26 FEET;

THENCE SOUTH 20°36'15" WEST A DISTANCE OF 4.00 FEET TO A 1,035.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;

THENCE SOUTHWESTERLY, ALONG SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 28°04'16" AN ARC DISTANCE OF 507.08 FEET TO A 15.00 FOOT RADIUS REVERSE CURVE;

THENCE SOUTHERLY, ALONG SAID REVERSE CURVE THROUGH A CENTRAL ANGLE OF 87°29'21" AN ARC DISTANCE OF 22.90 FEET;

THENCE SOUTH 38°48'50" EAST A DISTANCE OF 341.01 FEET TO A 106.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHEASTERLY;

THENCE SOUTHEASTERLY, ALONG SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 11°09'29" AN ARC DISTANCE OF 20.64 FEET;

THENCE NORTH 62°20'39" EAST A DISTANCE OF 109.00 FEET TO A 215.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 62°20'39" WEST;

THENCE SOUTHWESTERLY, ALONG SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 161°55'03" AN ARC DISTANCE OF 607.59 FEET TO A 1,445.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 27°18'00" WEST;

THENCE WESTERLY, ALONG SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 19°29'57" AN ARC DISTANCE OF 491.77 FEET TO A 465.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 89°57'29" WEST;

THENCE SOUTHERLY, ALONG SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 42°19'02" AN ARC DISTANCE OF 343.44 FEET;

THENCE SOUTH 42°21'34" WEST A DISTANCE OF 312.04 FEET;

THENCE SOUTH 89°53'43" WEST A DISTANCE OF 364.08 FEET TO THE EXTERIOR BOUNDARY OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN A DOCUMENT RECORDED IN THE OFFICE OF THE CLERK AND RECORDER OF WELD COUNTY UNDER RECEPTION NO. 2978817.

LOW DENSITY RESIDENTIAL (LR) LEGAL DESCRIPTION (CONTINUED):

THENCE NORTHERLY AND WESTERLY, COINCIDENT WITH SAID EXTERIOR BOUNDARY, THE FOLLOWING FOUR (4) COURSES:

1. THENCE NORTH 00°06'17" WEST, A DISTANCE OF 156.57 FEET;
2. THENCE SOUTH 89°53'43" WEST A DISTANCE OF 608.07 FEET;
3. THENCE NORTH 00°06'17" WEST A DISTANCE OF 230.00 FEET;
4. THENCE SOUTH 89°53'43" WEST, COINCIDENT WITH THE NORTHERLY LINE OF SAID EXTERIOR BOUNDARY AND ITS WESTERLY EXTENSION, A DISTANCE OF 229.57 FEET TO THE WEST LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE NORTH 00°06'17" WEST, COINCIDENT WITH SAID WEST LINE, A DISTANCE OF 1,064.00 FEET TO THE NORTHWEST CORNER OF THE SAID SOUTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE NORTH 00°00'31" EAST, COINCIDENT WITH THE WEST LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 2,654.72 FEET TO THE **POINT OF BEGINNING**;

THE ABOVE DESCRIPTION CONTAINS A CALCULATED AREA OF 8,986,185 SQUARE FEET (206.29443 ACRES), MORE OR LESS.

NEIGHBORHOOD MIXED USE (NMU) LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 21; THENCE NORTH 89°38'17" EAST, COINCIDENT WITH THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 21, A DISTANCE OF 912.10 FEET TO THE **POINT OF BEGINNING**;

THENCE CONTINUE NORTH 89°38'17" EAST, COINCIDENT WITH SAID NORTH LINE, A DISTANCE OF 766.34 FEET;

THENCE SOUTH 00°21'43" EAST A DISTANCE OF 30.00 FEET TO THE SOUTHERLY LINE OF THE WELD COUNTY ROAD 8 RIGHT-OF-WAY AS DESCRIBED IN THAT CERTAIN DOCUMENT RECORDED NOVEMBER 8, 2005 IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDED UNDER RECEPTION NUMBER 3338310;

THENCE SOUTH 00°03'27" EAST A DISTANCE OF 239.97 FEET;

THENCE SOUTH 00°25'16" EAST A DISTANCE OF 30.00 FEET;

THENCE SOUTH 89°38'19" WEST A DISTANCE OF 162.65 FEET;

THENCE SOUTH 00°04'04" EAST A DISTANCE OF 159.88 FEET;

THENCE NORTH 89°18'53" EAST A DISTANCE OF 30.00 FEET;

THENCE NORTH 00°01'08" WEST A DISTANCE OF 14.42 FEET TO A 15.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 88°33'16" EAST;

THENCE NORTHEASTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 91°05'03" AN ARC DISTANCE OF 23.85 FEET;

THENCE NORTH 89°38'19" EAST A DISTANCE OF 173.31 FEET TO A 10.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 00°21'57" EAST;

THENCE SOUTHEASTERLY, COINCIDENT WITH SAID CURVE, THROUGH A CENTRAL ANGLE OF 69°21'30" AN ARC DISTANCE OF 12.11 FEET;

THENCE SOUTH 21°00'43" EAST A DISTANCE OF 41.78 FEET TO A 15.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHWESTERLY;

THENCE SOUTHERLY, COINCIDENT WITH SAID CURVE, THROUGH A CENTRAL ANGLE OF 84°07'44" AN ARC DISTANCE OF 22.02 FEET TO A 850.00 FOOT RADIUS COMPOUND CURVE;

THENCE WESTERLY, COINCIDENT WITH SAID COMPOUND CURVE, THROUGH A CENTRAL ANGLE OF 21°22'17" AN ARC DISTANCE OF 317.05 FEET TO A 15.00 FOOT RADIUS COMPOUND CURVE;

THENCE NORTHWESTERLY, COINCIDENT WITH SAID COMPOUND CURVE, THROUGH A CENTRAL ANGLE OF 109°08'30" AN ARC DISTANCE OF 28.57 FEET;

THENCE NORTH 13°58'51" EAST A DISTANCE OF 72.68 FEET;

THENCE SOUTH 89°16'38" WEST A DISTANCE OF 46.45 FEET TO A 93.50 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHERLY;

THENCE WESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 18°57'37" AN ARC DISTANCE OF 30.94 FEET;

THENCE NORTH 71°45'45" WEST A DISTANCE OF 61.10 FEET TO A 933.88 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 72°11'33" EAST;

THENCE SOUTHERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 16°19'47" AN ARC DISTANCE OF 266.16 FEET TO A 1,000.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 05°31'05" EAST;

THENCE WESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 14°25'38" AN ARC DISTANCE OF 251.80 FEET;

THENCE NORTH 70°03'17" WEST A DISTANCE OF 144.50 FEET TO A 400.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY;

THENCE WESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 38°15'27" AN ARC DISTANCE OF 267.09 FEET;

THENCE SOUTH 71°41'16" WEST A DISTANCE OF 78.58 FEET;

THENCE NORTH 18°18'44" WEST A DISTANCE OF 67.50 FEET TO A 40.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS EASTERLY;

THENCE NORTHEASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 90°00'00" AN ARC DISTANCE OF 62.83 FEET;

THENCE NORTH 71°41'16" EAST A DISTANCE OF 38.58 FEET TO A 507.50 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY;

THENCE EASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 19°03'12" AN ARC DISTANCE OF 168.76 FEET;

THENCE NORTH 00°27'32" EAST A DISTANCE OF 32.42 FEET TO A 48.50 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 89°32'32" EAST;

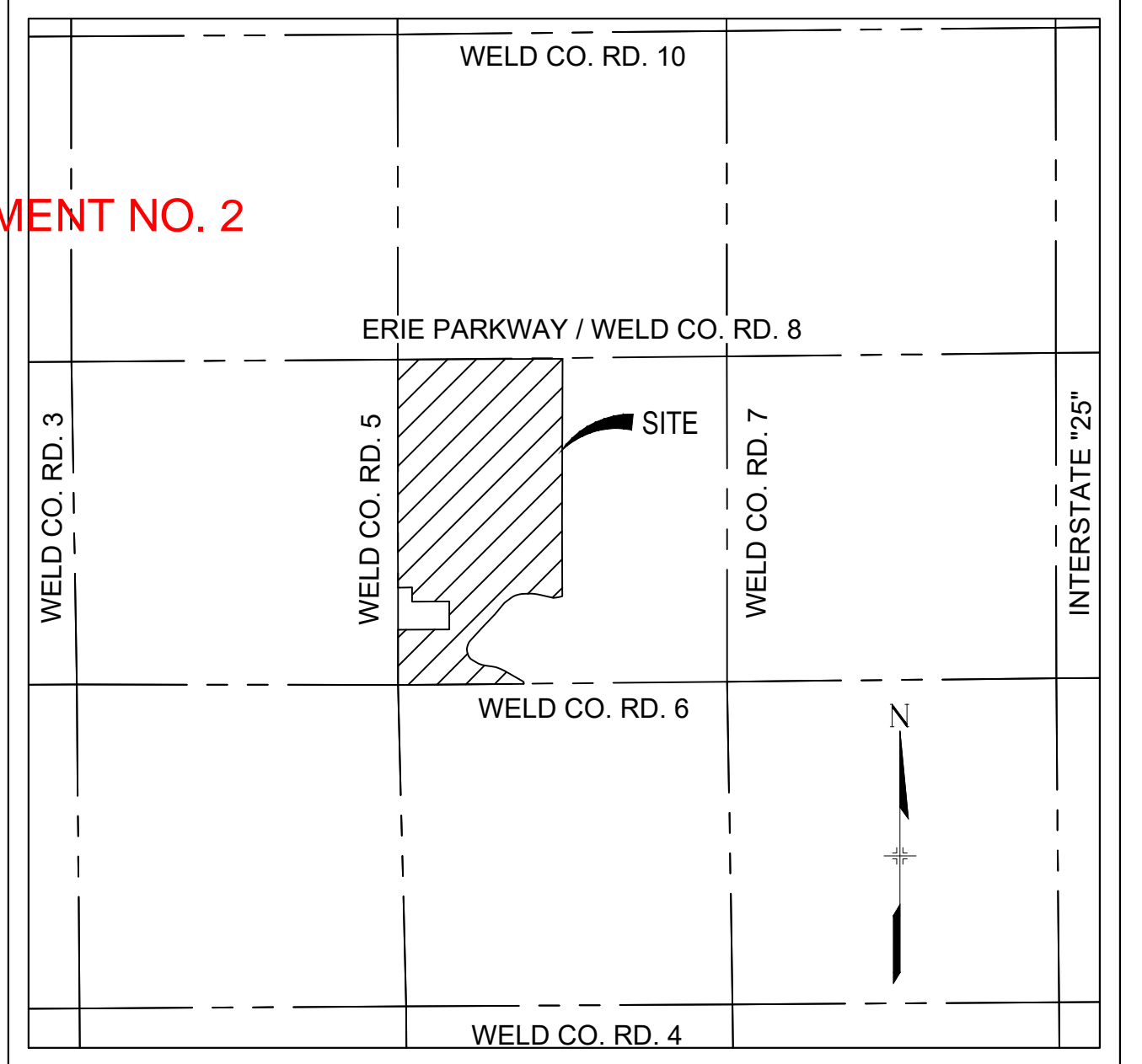
THENCE NORTHEASTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 48°04'50" AN ARC DISTANCE OF 40.70 FEET;

THENCE NORTH 48°32'14" EAST A DISTANCE OF 182.44 FEET;

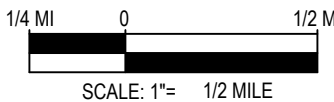
THENCE NORTH 00°24'06" WEST A DISTANCE OF 230.92 FEET TO THE SOUTHERLY LINE OF THE WELD COUNTY ROAD 8 RIGHT-OF-WAY AS DESCRIBED IN THAT CERTAIN DOCUMENT RECORDED JULY 18, 2019 IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDED UNDER RECEPTION NUMBER 4506864;

THENCE NORTH 00°21'43" WEST A DISTANCE OF 70.00 FEET TO THE NORTH LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21 AND THE **POINT OF BEGINNING**;

THE ABOVE DESCRIPTION CONTAINS A CALCULATED AREA OF 509,969 SQUARE FEET (11.70728 ACRES), MORE OR LESS,



VICINITY MAP



SURVEYOR'S CERTIFICATION:

I, JEFFREY A. MILLER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS ZONING MAP TRULY AND CORRECTLY REPRESENTS THE ABOVE DESCRIBED LEGAL DESCRIPTION FOR EACH ZONE DISTRICT.

I ATTEST THE ABOVE ON THIS ____ DAY OF _____, 2021.

JEFFREY A. MILLER
COLORADO LICENSED
PROFESSIONAL LAND SURVEYOR NO. 38467
FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.

Add Planning Commission Certificate

BOARD OF TRUSTEES APPROVAL CERTIFICATE

THIS ZONING MAP IS APPROVED AND ACCEPTED BY THE ORDINANCE NO. _____, PASSED AND ADOPTED AT THE REGULAR MEETING OF THE BOARD OF TRUSTEES OF ERIE, COLORADO HELD ON _____, 2021.

MAYOR

ATTEST

TOWN CLERK

CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO)
COUNTY OF WELD) ss

I HEREBY CERTIFY THAT THIS ANNEXATION MAP WAS FILED IN MY OFFICE ON THIS ____ DAY OF _____ A.D., 20____ AND WAS RECORDED AT

RECEPTION NUMBER _____

WELD COUNTY CLERK AND RECORDER

SHEET

WESTERLY - ZONING MAP

A PORTION OF THE WEST HALF OF SECTION 21, TOWNSHIP 1 NORTH,
RANGE 68 WEST, 6TH PRINCIPAL MERIDIAN

TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

276.27 ACRES

RZ-001199-2020

AGRICULTURAL/OPEN SPACE (AG/OS) LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN THE WEST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 21; THENCE NORTH 89°38'17" EAST, COINCIDENT WITH THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 21, A DISTANCE OF 2663.55 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE SOUTH 00°16'01" EAST, COINCIDENT WITH THE EAST LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 2196.92 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUE SOUTH 00°16'01" EAST, COINCIDENT WITH THE EAST LINE, A DISTANCE OF 452.98 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE SOUTH 00°16'04" EAST, COINCIDENT WITH THE EAST LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 1,229.70 FEET TO A POINT ON THE WESTERLY BOUNDARY OF THE COMMUNITY DITCH AS DESCRIBED IN A DOCUMENT RECORDED IN THE OFFICE OF THE CLERK AND RECORDER OF WELD COUNTY IN BOOK 63, PAGE 644, UNDER RECEPTION NO. 23030;

THENCE COINCIDENT WITH SAID WESTERLY BOUNDARY OF THE COMMUNITY DITCH THE FOLLOWING TWENTY-ONE (21) COURSES:

1. THENCE SOUTH 76°41'08" WEST A DISTANCE OF 77.18 FEET TO A 225.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHERLY;
2. THENCE WESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 26°32'10" AN ARC DISTANCE OF 104.21 FEET;
3. THENCE NORTH 76°46'42" WEST A DISTANCE OF 223.90 FEET TO A 425.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY;
4. THENCE WESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 15°24'26" AN ARC DISTANCE OF 114.29 FEET;
5. THENCE SOUTH 87°48'52" WEST A DISTANCE OF 145.31 FEET TO A 325.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 02°11'09" EAST;
6. THENCE WESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 34°36'07" AN ARC DISTANCE OF 196.27 FEET;
7. THENCE SOUTH 53°12'44" WEST A DISTANCE OF 80.82 FEET TO A 425.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 36°47'15" EAST;
8. THENCE SOUTHWESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 13°09'14" AN ARC DISTANCE OF 97.57 FEET;
9. THENCE SOUTH 40°03'31" WEST A DISTANCE OF 199.79 FEET;
10. THENCE SOUTH 43°18'24" WEST A DISTANCE OF 274.93 FEET;
11. THENCE SOUTH 41°54'01" WEST A DISTANCE OF 126.84 FEET;
12. THENCE SOUTH 43°57'21" WEST A DISTANCE OF 169.36 FEET TO A 225.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHEASTERLY;
13. THENCE SOUTHERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 62°08'24" AN ARC DISTANCE OF 244.02 FEET;
14. THENCE SOUTH 18°11'03" EAST A DISTANCE OF 8.91 FEET TO A 175.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTHEASTERLY;
15. THENCE SOUTHEASTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 39°02'42" AN ARC DISTANCE OF 119.26 FEET;
16. THENCE SOUTH 57°13'46" EAST A DISTANCE OF 50.68 FEET TO A 425.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHEASTERLY;
17. THENCE EASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 24°57'41" AN ARC DISTANCE OF 185.15 FEET;
18. THENCE SOUTH 82°11'27" EAST A DISTANCE OF 100.58 FEET TO A 575.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY;
19. THENCE EASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 22°03'40" AN ARC DISTANCE OF 221.40 FEET;
20. THENCE SOUTH 60°07'47" EAST A DISTANCE OF 347.74 FEET TO A 475.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHWESTERLY;
21. THENCE SOUTHEASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 02°24'14" AN ARC DISTANCE OF 19.93 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF WELD COUNTY ROAD 5 AS DESCRIBED IN COMMISSIONERS BOOK 86, PAGE 273 OF THE RECORDS OF THE WELD COUNTY COMMISSIONERS;

THENCE SOUTH 00°34'03" EAST A DISTANCE OF 30.00 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE SOUTH 89°25'57" WEST, COINCIDENT WITH SAID SOUTH LINE, A DISTANCE OF 2,049.35 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 21;

THENCE NORTH 00°06'17" WEST, COINCIDENT WITH THE WEST LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 904.30 FEET TO THE WESTERLY EXTENSION OF THE SOUTHERLY LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN A DOCUMENT RECORDED IN THE OFFICE OF THE CLERK AND RECORDER OF WELD COUNTY UNDER RECEPTION NO. 2978817;

THENCE COINCIDENT WITH SAID PARCEL BOUNDARY, THE FOLLOWING TWO (2) COURSES:

1. THENCE NORTH 89°53'43" EAST, COINCIDENT WITH SAID WESTERLY EXTENSION AND SOUTH LINE, A DISTANCE OF 837.64 FEET;
2. THENCE NORTH 00°06'17" WEST A DISTANCE OF 300.43 FEET;

THENCE NORTH 89°53'43" EAST A DISTANCE OF 364.08 FEET;

THENCE NORTH 42°21'34" EAST A DISTANCE OF 312.04 FEET TO A 465.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;

THENCE NORTHERLY, COINCIDENT WITH SAID TANGENT, THROUGH A CENTRAL ANGLE OF 42°19'02" AN ARC DISTANCE OF 343.44 FEET TO A 1,445.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 07°48'02" WEST;

THENCE EASTERLY, COINCIDENT WITH NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 19°29'57" AN ARC DISTANCE OF 491.77 FEET TO A 215.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 44°15'42" EAST;

THENCE NORTHEASTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 161°55'03" AN ARC DISTANCE OF 607.59 FEET;

THENCE SOUTH 62°20'39" WEST A DISTANCE OF 109.00 FEET TO A 106.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 62°20'39" WEST;

THENCE NORTHWESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 11°09'29" AN ARC DISTANCE OF 20.64 FEET;

THENCE NORTH 38°48'50" WEST A DISTANCE OF 341.01 FEET TO A 15.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHEASTERLY;

THENCE NORTHERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 87°36'23" AN ARC DISTANCE OF 22.94 FEET TO A 1,035.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 41°19'35" WEST;

THENCE NORTHEASTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 28°04'10" AN ARC DISTANCE OF 507.05 FEET;

THENCE NORTH 20°36'15" EAST A DISTANCE OF 4.00 FEET TO A 490.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS EASTERLY;

THENCE NORTHEASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 58°15'43" AN ARC DISTANCE OF 498.26 FEET TO THE POINT OF BEGINNING

THE ABOVE DESCRIPTION CONTAINS A CALCULATED AREA OF 2,538,312 SQUARE FEET (58.27162 ACRES), MORE OR LESS.

POINT OF COMMENCEMENT
NW CORNER, SECTION 21
FOUND NO. 6 REBAR WITH
2-1/2" ALUMINUM CAP STAMPED
"POWERS ELEVATION COMPANY 1993
PLS 23501" IN A MONUMENT CASING

TOWN OF ERIE ZONING:
PUBLIC LANDS AND INSTITUTIONS
CURRENT LAND USE:
HIGH SCHOOL, SPORTS FIELDS
AND STADIUM

COUNTY OF WELD ZONING:
AGRICULTURAL
CURRENT LAND USE:
AGRICULTURAL

N1/4 CORNER, SECTION 21
FOUND REBAR WITH 2" ALUMINUM
CAP ILLEGIBLY STAMPED IN A
MONUMENT CASING

TOWN OF ERIE ZONING:
LOW-DENSITY RESIDENTIAL
CURRENT LAND USE:
AGRICULTURAL/VACANT

TOWN OF ERIE ZONING:
COMMUNITY COMMERCIAL
CURRENT LAND USE:
AGRICULTURAL/OIL WELL

ZONING LEGEND

	NEIGHBORHOOD MIXED USE (NMU)
	LOW DENSITY RESIDENTIAL (LR)
	AGRICULTURAL/OPEN SPACE (AG/OS)

LINE TABLE		
LINE	BEARING	LENGTH
L1	S00°27'32"W	32.42
L2	S71°45'45"E	61.10
L3	N89°16'38"E	46.45
L4	S13°58'51"W	72.68
L5	N21°00'43"W	41.78
L6	S88°38'19"W	173.31
L7	S00°01'08"W	14.42
L8	S89°16'38"W	30.00
L9	N00°04'04"W	159.90
L10	N89°38'19"E	162.65

LINE TABLE		
LINE	BEARING	LENGTH
L11	N00°21'43"W	30.00
L12	S76°41'08"W	77.18
L13	S87°48'52"W	145.31
L14	S53°12'44"W	80.82
L15	S40°03'31"W	199.79
L16	S41°54'01"W	126.84
L17	S43°57'21"W	169.36
L18	S18°11'03"E	8.91
L19	S57°13'46"E	50.68
L20	S82°11'27"E	100.58

CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD LENGTH
C1	048°04'50"	48.50	40.70	S24°29'53"W	39.62
C2	019°03'12"	507.50	168.76	S81°12'52"W	167.99
C3	090°00'00"	40.00	62.83	S26°41'16"W	56.57
C4	038°15'27"	400.00	267.09	S89°11'00"E	262.15
C5	014°25'38"	1000.00	251.80	S77°16'06"E	251.14
C6	016°19'47"	933.88	266.16	N09°38'33"E	265.26
C7	018°57'37"	93.50	30.84	S81°14'33"E	30.80
C8	109°08'30"	15.00	28.57	S40°56'28"E	24.44
C9	084°07'44"	15.00	22.02	N21°03'09"E	20.10
C10	069°21'30"	10.00	12.10	N55°41'12"W	11.38
C11	091°05'03"	15.00	23.85	S44°05'47"W	21.41
C12	087°29'21"	15.00	22.90	S04°55'51"W	20.74
C13	011°09'29"	106.00	20.64	S33°14'05"E	20.61
C14	026°32'10"	225.00	104.21	S89°57'13"W	103.28
C15	015°24'26"	425.00	114.29	N84°28'55"W	113.94
C16	034°36'07"	325.00	196.27	S70°30'48"W	193.30
C17	013°09'14"	425.00	97.57	S46°38'08"W	97.36
C18	062°08'24"	225.00	244.02	S12°53'09"W	232.24
C19	039°02'42"	175.00	119.26	S37°42'29"E	116.96
C20	024°57'41"	425.00	185.15	S69°42'37"E	183.69
C21	022°03'40"	575.00	221.40	S71°09'37"E	220.03
C22	002°24'14"	475.00	19.93	S58°55'40"E	19.93

LEGEND

	ZONING DISTRICT BOUNDARY
	TOWN OF ERIE BOUNDARY
	RIGHT-OF-WAY

DEVELOPER

ERIE LAND COMPANY, LLC
1601 BLAKE STREET, SUITE 200
DENVER, CO. 80202
(303) 572-0200
CONTACT: HEIDI MAJERIK
heidi.majerik@southernland.com

SOUTHERN LAND
COMPANY

SURVEYOR

MATRIX DESIGN GROUP
1601 BLAKE STREET, SUITE 200
DENVER, CO. 80202
(303) 572-0200
CONTACT: BOB MEADOWS
bob_meadows@matrixdesigngroup.com



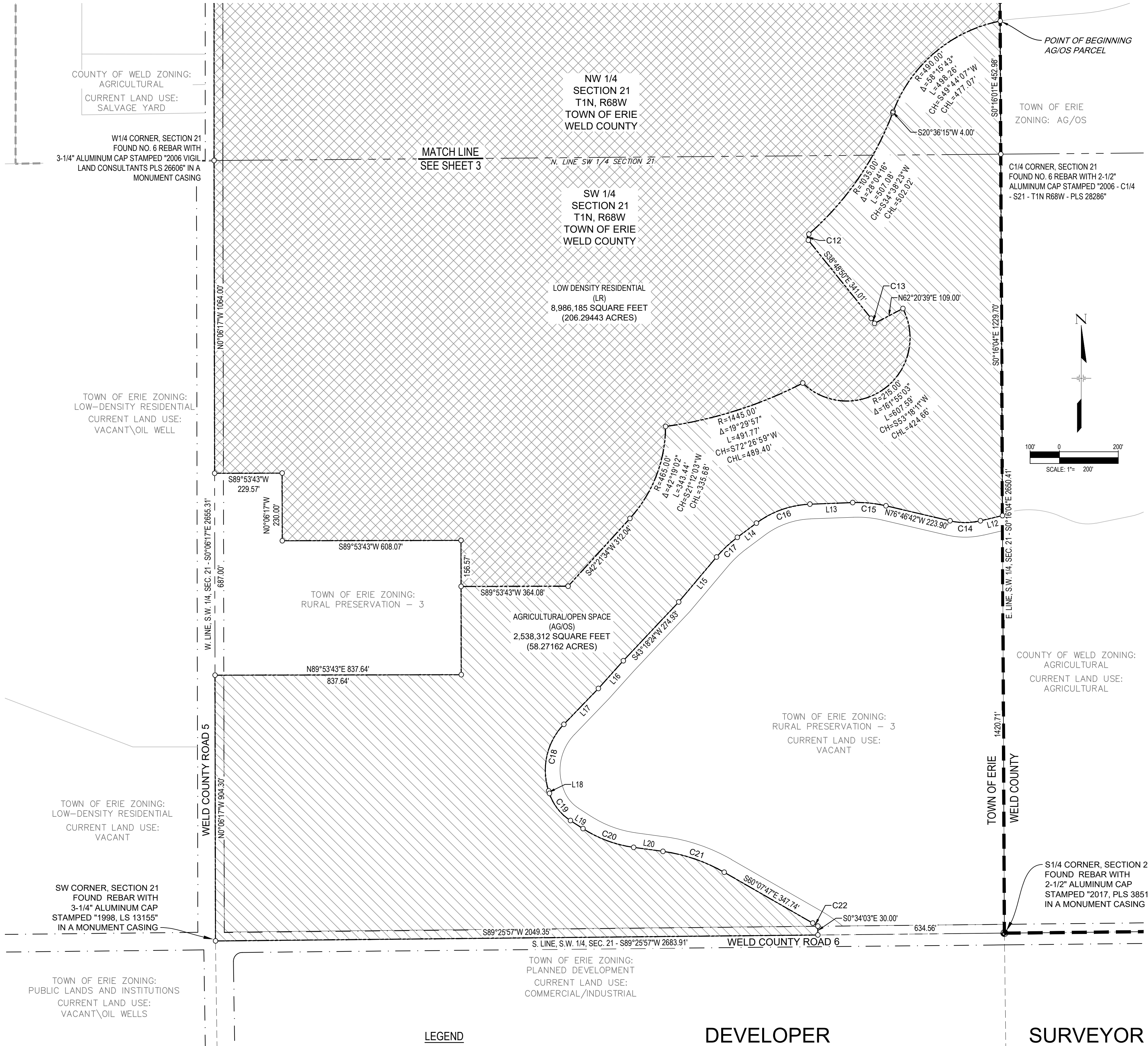
WESTERLY - ZONING MAP

A PORTION OF THE WEST HALF OF SECTION 21, TOWNSHIP 1 NORTH,
RANGE 68 WEST, 6TH PRINCIPAL MERIDIAN

TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

276.27 ACRES

RZ-001199-2020



ZONING LEGEND

	NEIGHBORHOOD MIXED USE (NMU)
	LOW DENSITY RESIDENTIAL (LR)
	AGRICULTURAL/OPEN SPACE (AG/OS)

LINE TABLE		
LINE	BEARING	LENGTH
L1	S00°27'32"W	32.42'
L2	S71°45'45"E	61.10'
L3	N88°16'38"E	46.45'
L4	S13°58'51"W	72.68'
L5	N21°00'43"W	41.78'
L6	S88°38'19"W	173.31'
L7	S00°01'08"W	14.42'
L8	S88°16'38"W	30.00'
L9	N00°04'04"W	159.90'
L10	N89°38'19"E	162.65'

LINE TABLE		
LINE	BEARING	LENGTH
L11	N00°21'43"W	30.00'
L12	S76°41'08"W	77.18'
L13	S87°48'52"W	145.31'
L14	S53°12'44"W	80.82'
L15	S40°03'31"W	199.79'
L16	S41°54'01"W	126.84'
L17	S43°57'21"W	169.36'
L18	S18°11'03"E	8.91'
L19	S57°13'46"E	50.68'
L20	S82°11'27"E	100.58'

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD LENGTH
C1	048°04'50"	48.50'	40.70'	S24°29'53"W	39.52'
C2	019°03'12"	507.50'	168.76'	S81°12'52"W	167.99'
C3	090°00'00"	40.00'	62.83'	S26°41'18"W	56.57'
C4	038°15'27"	400.00'	267.09'	S89°11'00"E	262.15'
C5	014°25'38"	1000.00'	251.80'	S77°16'06"E	251.14'
C6	016°19'47"	933.88'	266.16'	N09°38'33"E	265.26'
C7	018°57'37"	93.50'	30.94'	S81°14'33"E	30.80'
C8	109°08'30"	15.00'	28.57'	S40°56'28"E	24.44'
C9	084°07'44"	15.00'	22.02'	N21°03'09"E	20.10'
C10	069°21'30"	10.00'	12.10'	N55°41'12"W	11.38'
C11	091°05'03"	15.00'	23.85'	S44°09'47"W	21.41'
C12	087°29'21"	15.00'	22.90'	S04°55'51"W	20.74'
C13	011°09'29"	106.00'	20.64'	S33°14'05"E	20.61'
C14	026°32'10"	225.00'	104.21'	S89°57'13"W	103.28'
C15	015°24'26"	425.00'	114.29'	N84°28'55"W	113.94'
C16	034°36'07"	325.00'	196.27'	S70°30'48"W	193.30'
C17	013°09'14"	425.00'	97.57'	S46°38'08"W	97.36'
C18	062°08'24"	225.00'	244.02'	S12°53'09"W	232.24'
C19	039°02'42"	175.00'	119.26'	S37°42'25"E	116.96'
C20	024°57'41"	425.00'	185.15'	S69°42'37"E	183.69'
C21	022°03'40"	575.00'	221.40'	S71°09'37"E	220.03'
C22	002°24'14"	475.00'	19.93'	S88°55'40"E	19.93'

LEGEND

	PROPOSED ZONING DISTRICT BOUNDARY
	TOWN OF ERIE BOUNDARY
	RIGHT-OF-WAY

DEVELOPER

ERIE LAND COMPANY, LLC
1601 BLAKE STREET, SUITE 200
DENVER, CO. 80202
(303) 572-0200
CONTACT: HEIDI MAJERIK
heidi.majerik@southernland.com

SOUTHERN LAND
COMPANY

SURVEYOR

MATRIX DESIGN GROUP
1601 BLAKE STREET, SUITE 200
DENVER, CO. 80202
(303) 572-0200
CONTACT: BOB MEADOWS
bob_meadows@matrixdesigngroup.com



SHEET

DATE:

3 of 3

2021.03.20

LEGAL DESCRIPTION
A PARCEL OF LAND LOCATED IN THE WEST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER OF SAID OF SECTION 21 BEING NORTH 00°00'31" EAST A DISTANCE OF 2654.72 FEET;

THENCE SOUTH 00°16'01" EAST, COINCIDENT WITH THE EASTERLY LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 2,649.90 FEET TO THE CENTER CORNER OF SAID SECTION 21;

THENCE COINCIDENT WITH SAID WESTERLY BOUNDARY OF THE COMMUNITY DITCH THE FOLLOWING TWENTY- ONE (21) COURSES:

1. SOUTH 76°41'08" WEST A DISTANCE OF 77.18 FEET TO A POINT OF CURVATURE;
2. ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 26°32'10", A RADIUS OF 225.00 FEET, AN ARC LENGTH OF 104.21 FEET AND A CHORD THAT BEARS SOUTH 89°57'13" WEST A DISTANCE OF 103.28 FEET;
3. NORTH 76°46'42" WEST A DISTANCE OF 223.90 FEET TO A POINT OF CURVATURE;
4. ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 15°24'26", A RADIUS OF 425.00 FEET, AN ARC LENGTH OF 114.29 FEET AND A CHORD THAT BEARS NORTH 84°28'55" WEST A DISTANCE OF 113.94 FEET;
5. SOUTH 87°48'52" WEST A DISTANCE OF 145.31 FEET TO A POINT OF CURVATURE;
6. ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 34°36'07", A RADIUS OF 325.00 FEET, AN ARC LENGTH OF 196.27 FEET AND A CHORD THAT BEARS SOUTH 70°30'47" WEST A DISTANCE OF 193.30 FEET;
7. SOUTH 53°12'44" WEST A DISTANCE OF 80.82 FEET TO A POINT OF CURVATURE;
8. ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 13°09'14", A RADIUS OF 425.00 FEET, AN ARC LENGTH OF 97.57 FEET AND A CHORD THAT BEARS SOUTH 46°38'08" WEST A DISTANCE OF 97.36 FEET;
9. SOUTH 40°03'31" WEST A DISTANCE OF 199.79 FEET;
10. SOUTH 43°18'24" WEST A DISTANCE OF 274.93 FEET;
11. SOUTH 41°54'01" WEST A DISTANCE OF 126.84 FEET;
12. SOUTH 43°57'21" WEST A DISTANCE OF 169.36 FEET TO A POINT OF CURVATURE;
13. ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 62°08'24", A RADIUS OF 225.00 FEET, AN ARC LENGTH OF 244.02 FEET AND A CHORD THAT BEARS SOUTH 12°53'09" WEST A DISTANCE OF 232.24 FEET;
14. SOUTH 18°11'03" EAST A DISTANCE OF 8.91 FEET TO A POINT OF CURVATURE;
15. ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 39°02'42", A RADIUS OF 175.00 FEET, AN ARC LENGTH OF 119.26 FEET AND A CHORD THAT BEARS SOUTH 37°42'25" EAST A DISTANCE OF 116.96 FEET;
16. SOUTH 57°13'46" EAST A DISTANCE OF 50.68 FEET TO A POINT OF CURVATURE;
17. ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 24°57'41", A RADIUS OF 425.00 FEET, AN ARC LENGTH OF 185.15 FEET AND A CHORD THAT BEARS SOUTH 69°42'37" EAST A DISTANCE OF 183.69 FEET;
18. SOUTH 82°11'27" EAST A DISTANCE OF 100.58 FEET TO A POINT OF CURVATURE;
19. ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 22°03'40", A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 221.40 FEET AND A CHORD THAT BEARS SOUTH 71°09'37" EAST A DISTANCE OF 220.03 FEET;
20. SOUTH 60°07'47" EAST A DISTANCE OF 347.74 FEET TO A POINT OF CURVATURE;

THENCE SOUTH 89°25'57" WEST, COINCIDENT WITH SAID SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 21, A DISTANCE OF 2,049.35 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 21;

THENCE COINCIDENT WITH SAID PARCEL THE FOLLOWING FIVE (5) COURSES:

1. NORTH 89°53'43" EAST, COINCIDENT WITH SAID SOUTHERLY LINE AND THE WESTERLY EXTENSION THEREOF, A DISTANCE OF 837.64 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL;
2. NORTH 00°06'17" WEST, A DISTANCE OF 457.00 FEET;
3. SOUTH 89°53'43" WEST A DISTANCE OF 608.07 FEET;
4. NORTH 00°06'17" WEST A DISTANCE OF 230.00 FEET;
5. SOUTH 89°53'43" WEST, COINCIDENT WITH THE NORTHERLY LINE OF SAID PARCEL AND ITS WESTERLY EXTENSION, A DISTANCE OF 229.57 FEET TO A POINT ON WEST LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21;

CONTAINING AN AREA OF 276.273 ACRES, (12,034,438 SQUARE FEET), MORE OR LESS

THE BASIS OF BEARINGS FOR THIS MAP IS THE NORTH LINE OF THE NORTHEAST ONE-QUARTER OF SECTION TWENTY-ONE (21), TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING MONUMENTED ON THE WEST END BY A FOUND 2 INCH ALUMINUM CAP, STAMPED "LS 14083", AND ON THE EAST END BY A FOUND 2 INCH ALUMINUM CAP, STAMPED "LS 14083", AND IS ASSUMED TO BEAR NORTH 89°38'36" EAST A DISTANCE OF 2,663.38 FEET:

A PARCEL OF LAND LOCATED IN THE EAST ONE-HALF OF SECTION TWENTY-ONE (21), TOWNSHIP ONE (1) NORTH, RANGE SIXTY EIGHT (68) WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

SCALE: 1" = 2,000'-0"

THENCE COINCIDENT WITH THE WESTERLY AND SOUTHERLY LINES OF SAID 50' WIDE DITCH THE FOLLOWING ELEVEN (11) COURSES:

1. THENCE SOUTH 00°49'26" WEST, A DISTANCE OF 381.56 FEET;
2. THENCE SOUTH 00°42'57" WEST, A DISTANCE OF 225.38 FEET;
3. THENCE SOUTH 01°25'12" EAST, A DISTANCE OF 155.38 FEET TO A 47.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHEASTERLY;
4. THENCE SOUTHEASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 97°55'37", AN ARC DISTANCE OF 80.33 FEET AND HAVING A CHORD THAT BEARS SOUTH 50°23'01" EAST, A DISTANCE OF 70.90 FEET;
5. THENCE NORTH 80°39'30" EAST, A DISTANCE OF 123.80 FEET;
6. THENCE NORTH 73°58'17" EAST, A DISTANCE OF 64.14 FEET;
7. THENCE NORTH 74°41'14" EAST, A DISTANCE OF 127.29 FEET;
8. THENCE NORTH 77°11'24" EAST, A DISTANCE OF 214.63 FEET;
9. THENCE NORTH 79°40'39" EAST, A DISTANCE OF 294.67 FEET TO A 575.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHEASTERLY;
10. THENCE EASTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 32°50'35", AN ARC DISTANCE OF 329.60 FEET AND HAVING A CHORD THAT BEARS SOUTH 83°54'04" EAST, A DISTANCE OF 325.11 FEET;
11. THENCE SOUTH 67°28'48" EAST, A DISTANCE OF 226.67 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF WELD COUNTY ROAD 7 AS DESCRIBED AT RECORD NO. 2502152 IN SAID RECORDS;

THENCE COINCIDENT WITH THE NORTHERLY LINES OF SAID PARCEL THE FOLLOWING THIRTY-TWO (32) COURSES:

1. THENCE SOUTH 51°26'38" WEST, A DISTANCE OF 70.89 FEET TO A 375.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;
2. THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 31°10'52", AN ARC DISTANCE OF 204.08 FEET AND HAVING A CHORD THAT BEARS SOUTH 67°02'04" WEST, A DISTANCE OF 201.57 FEET;

I ATTEST THE ABOVE ON THIS ____ DAY OF _____, 20____.

ROBERT L. MEADOWS, JR., PLS
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR NO. 34977
FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.

THIS ZONING MAP WAS REVIEWED BY THE PLANNING COMMISSION ON THE _____ DAY OF _____, 20____.

THIS ZONING MAP IS TO BE KNOWN AS THE "WESTERLY - P.U.D. OVERLAY DISTRICT" AND IS APPROVED AND ACCEPTED BY THE ORDINANCE NO. _____, PASSED AND ADOPTED AT THE REGULAR MEETING OF THE BOARD OF TRUSTEES OF ERIE, COLORADO HELD ON _____, 20_____.

ATTEST

TOWN CLERK

STATE OF COLORADO)

____ DAY OF _____, 20__ A.D. AND WAS
RECORDED AT _____

RECEPTION NUMBER _____

WELD COUNTY CLERK AND RECORDER

1.....COVER
2-3.....ZONING LEGAL DESCRIPTION
4..... PUD PLAN & DIMENSIONAL STANDARDS
5-6..... PUD OVERLAY STANDARDS

PUD NOTES:

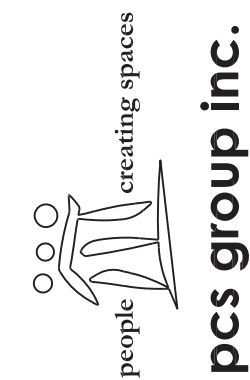
1. THIS PUD ZONING MAP MODIFIES STANDARDS FOUND IN MUNICIPAL CODE TITLE 10. IN THE EVENT THAT THERE IS A DISCREPANCY BETWEEN THE MUNICIPAL CODE AND THIS PUD, THE PUD SHALL CONTROL. ANY PROVISIONS THAT ARE NOT SPECIFICALLY ADDRESSED IN THIS PUD ZONING MAP SHALL COMPLY WITH THE MUNICIPAL CODE.



APPLICANT/DEVELOPER:
ERIE LAND COMPANY, LLC
1225 17TH STREET, SUITE 2420
DENVER, CO - 80202
303-887-8075

SOUTHERN LAND
COMPANY

Southern Land Company, LLC
1550 W. McEwen Drive, Suite 200 - Franklin, Tennessee 37067
Office (615) 778-3150 - Fax (615) 778-2875 - www.southernland.com



WESTERLY

REVISIONS:	
1	12.28.2020
2	03.15.2021
3	
4	
5	
6	

DATE: 09.30.2020

PROJECT #: PUD 001198-2020

COVER SHEET

SHEET NO.

1 OF 6

3.

THENCE SOUTH 82°37'33" WEST, A DISTANCE OF 226.27 FEET TO A 525.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;
4.

THENCE WESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 13°34'39", AN ARC DISTANCE OF 124.41 FEET AND HAVING A CHORD THAT BEARS SOUTH 89°24'52" WEST, A DISTANCE OF 124.12 FEET;
5.

THENCE NORTH 83°47'48" WEST, A DISTANCE OF 212.21 FEET TO A 565.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHWESTERLY;
6.

THENCE WESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 20°51'50", AN ARC DISTANCE OF 205.74 FEET AND HAVING A CHORD THAT BEARS SOUTH 85°46'17" WEST, A DISTANCE OF 204.61 FEET;
7.

THENCE SOUTH 75°20'23" WEST, A DISTANCE OF 6.27 FEET TO A 225.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHEASTERLY;
8.

THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 22°53'25", AN ARC DISTANCE OF 89.89 FEET AND HAVING A CHORD THAT BEARS SOUTH 63°53'40" WEST, A DISTANCE OF 89.29 FEET;
9.

THENCE SOUTH 52°26'57" WEST, A DISTANCE OF 22.72 FEET TO A 165.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHEASTERLY;
10.

THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 46°45'37", AN ARC DISTANCE OF 134.66 FEET AND HAVING A CHORD THAT BEARS SOUTH 29°04'08" WEST, A DISTANCE OF 130.95 FEET;
11.

THENCE SOUTH 05°41'21" WEST, A DISTANCE OF 106.91 FEET;
12.

THENCE SOUTH 01°41'27" WEST, A DISTANCE OF 92.68 FEET;
13.

THENCE SOUTH 01°00'54" WEST, A DISTANCE OF 269.23 FEET TO A 1,075.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;
14.

THENCE SOUTHERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 09°38'03", AN ARC DISTANCE OF 180.76 FEET AND HAVING A CHORD THAT BEARS SOUTH 05°49'56" WEST, A DISTANCE OF 180.55 FEET;
15.

THENCE SOUTH 10°38'58" WEST, A DISTANCE OF 50.93 FEET TO A 1,225.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;
16.

THENCE SOUTHERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 05°50'26", AN ARC DISTANCE OF 124.87 FEET AND HAVING A CHORD THAT BEARS SOUTH 13°34'11" WEST, A DISTANCE OF 124.82 FEET;
17.

THENCE SOUTH 16°29'24" WEST, A DISTANCE OF 29.52 FEET TO A 235.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;
18.

THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID CURVE, THROUGH A CENTRAL ANGLE OF 45°35'43", AN ARC DISTANCE OF 187.01 FEET AND HAVING A CHORD THAT BEARS SOUTH 39°17'15" WEST, A DISTANCE OF 182.11 FEET;
19.

THENCE SOUTH 62°05'05" WEST, A DISTANCE OF 52.47 FEET;
20.

THENCE SOUTH 57°50'12" WEST, A DISTANCE OF 48.87 FEET TO A 150.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHEASTERLY;
21.

THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 24°38'28", AN ARC DISTANCE OF 64.51 FEET AND HAVING A CHORD THAT BEARS SOUTH 45°30'58" WEST, A DISTANCE OF 64.01 FEET;
22.

THENCE SOUTH 33°11'43" WEST, A DISTANCE OF 111.15 FEET TO A 200.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;
23.

THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 36°47'54", AN ARC DISTANCE OF 128.45 FEET AND HAVING A CHORD THAT BEARS SOUTH 51°35'40" WEST, A DISTANCE OF 126.25 FEET;
24.

THENCE SOUTH 69°59'39" WEST, A DISTANCE OF 171.86 FEET TO A 925.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHEASTERLY;
25.

THENCE SOUTHWESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 12°52'08", AN ARC DISTANCE OF 207.76 FEET AND HAVING A CHORD THAT BEARS SOUTH 63°33'35" WEST, A DISTANCE OF 207.32 FEET;
26.

THENCE SOUTH 57°07'30" WEST, A DISTANCE OF 139.10 FEET TO A 200.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;
27.

THENCE WESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 21°33'48", AN ARC DISTANCE OF 75.27 FEET AND HAVING A CHORD THAT BEARS SOUTH 67°54'24" WEST, A DISTANCE OF 74.83 FEET;
28.

THENCE SOUTH 78°41'20" WEST, A DISTANCE OF 119.10 FEET TO A 145.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;
29.

THENCE WESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 33°20'03", AN ARC DISTANCE OF 84.36 FEET AND HAVING A CHORD THAT BEARS NORTH 84°38'38" WEST, A DISTANCE OF 83.18 FEET;
30.

THENCE NORTH 67°58'36" WEST, A DISTANCE OF 47.24 FEET TO A 275.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHWESTERLY;
31.

THENCE WESTERLY AND COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 35°56'54", AN ARC DISTANCE OF 172.54 FEET AND HAVING A CHORD THAT BEARS NORTH 85°57'03" WEST, A DISTANCE OF 169.72 FEET;
32.

THENCE SOUTH 76°04'29" WEST, A DISTANCE OF 23.35 FEET TO THE WEST LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 21;

THENCE NORTH 00°16'04" WEST, COINCIDENT WITH SAID WEST LINE, A DISTANCE OF 1,223.79 FEET TO THE CENTER OF SAID SECTION 21;

THENCE NORTH 00°16'01" WEST, COINCIDENT WITH THE WEST LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 2,649.90 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIPTION CONTAINS 6,601,174 SQUARE FEET OR (151.5421 ACRES), MORE OR LESS.

VILLAGE 1 LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGIN AT THE NORTHWEST CORNER OF SAID SECTION 21;

THENCE NORTH 89°38'17" EAST, COINCIDENT WITH SAID NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 21, A DISTANCE OF 912.10 FEET;

THENCE SOUTH 00°21'43" EAST A DISTANCE OF 70.00 FEET TO THE SOUTHERLY LINE OF THE WELD COUNTY ROAD 8 RIGHT-OF-WAY AS DESCRIBED IN THAT CERTAIN DOCUMENT RECORDED JULY 18, 2019 IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDED UNDER RECEPTION NUMBER 4506864;

THENCE SOUTH 00°24'06" EAST A DISTANCE OF 230.92 FEET;

THENCE SOUTH 48°32'14" WEST A DISTANCE OF 182.44 FEET TO A 48.50 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 41°27'42" EAST;

THENCE SOUTHWESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 48°04'50" AN ARC DISTANCE OF 40.70 FEET;

THENCE SOUTH 00°27'32" WEST A DISTANCE OF 32.42 FEET TO A 507.50 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 00°44'28" WEST;

THENCE WESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 19°03'12" AN ARC DISTANCE OF 168.76 FEET;

THENCE SOUTH 71°41'16" WEST A DISTANCE OF 38.58 FEET TO A 40.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY;

THENCE SOUTHWESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 90°00'00" AN ARC DISTANCE OF 62.83 FEET;

THENCE SOUTH 18°18'44" EAST A DISTANCE OF 67.50 FEET;

THENCE NORTH 71°41'16" EAST A DISTANCE OF 78.58 FEET TO A 400.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY;

THENCE EASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 38°15'27" AN ARC DISTANCE OF 267.09 FEET;

WESTERLY - P.U.D. OVERLAY DISTRICT

A PORTION OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

287.35 ACRES
PUD-001198-2020

THENCE SOUTH 70°03'17" EAST A DISTANCE OF 144.50 FEET TO A 1,000.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHERLY;

THENCE EASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 14°25'38" AN ARC DISTANCE OF 251.80 FEET TO A 933.88 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 88°31'21" EAST;

THENCE NORTHERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 16°19'47" AN ARC DISTANCE OF 266.16 FEET;

THENCE SOUTH 71°45'45" EAST A DISTANCE OF 61.10 FEET TO A 93.50 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHERLY;

THENCE EASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 18°57'37" AN ARC DISTANCE OF 30.94 FEET;

THENCE NORTH 89°16'38" EAST A DISTANCE OF 46.45 FEET;

THENCE SOUTH 13°58'51" WEST A DISTANCE OF 72.68 FEET TO A 15.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS EASTERLY;

THENCE SOUTHEASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 109°08'30" AN ARC DISTANCE OF 28.57 FEET TO A 850.00 FOOT RADIUS COMPOUND CURVE;

THENCE EASTERLY, COINCIDENT WITH SAID COMPOUND CURVE, THROUGH A CENTRAL ANGLE OF 21°22'17" AN ARC DISTANCE OF 317.05 FEET TO A 15.00 FOOT COMPOUND CURVE;

THENCE NORTHERLY, COINCIDENT WITH SAID COMPOUND CURVE THROUGH A CENTRAL ANGLE OF 84°07'44" AND ARC DISTANCE OF 22.02 FEET;

THENCE NORTH 21°00'43" WEST A DISTANCE OF 41.78 FEET TO A 10.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 68°59'33" WEST;

THENCE NORTHWESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 69°21'30" AN ARC DISTANCE OF 12.10 FEET;

THENCE SOUTH 89°38'19" WEST A DISTANCE OF 173.31 FEET TO A 15.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY;

THENCE SOUTHWESTERLY, COINCIDENT WITH SAID CURVE, THROUGH A CENTRAL ANGLE OF 91°05'03" AN ARC DISTANCE OF 23.85 FEET;

THENCE SOUTH 00°01'08" WEST A DISTANCE OF 14.42 FEET;

THENCE SOUTH 89°16'38" WEST A DISTANCE OF 30.00 FEET;

THENCE NORTH 00°04'04" WEST A DISTANCE OF 159.90 FEET;

THENCE NORTH 89°38'19" EAST A DISTANCE OF 162.65 FEET;

THENCE NORTH 00°25'16" WEST A DISTANCE OF 30.00 FEET;

THENCE NORTH 00°03'27" WEST A DISTANCE OF 239.97 FEET TO THE SOUTHERLY LINE OF THE WELD COUNTY ROAD 8 RIGHT-OF-WAY AS DESCRIBED IN THAT CERTAIN DOCUMENT RECORDED NOVEMBER 8, 2005 IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDED UNDER RECEPTION NUMBER 3338310;

THENCE NORTH 00°21'43" WEST A DISTANCE OF 30.00 FEET TO THE NORTH LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE NORTH 89°38'17" EAST, COINCIDENT WITH SAID NORTH LINE, A DISTANCE OF 985.11 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE SOUTH 00°16'01" EAST, COINCIDENT WITH THE EAST LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 680.75 FEET TO A 1,970.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 02°29'47" EAST;

THENCE EASTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 21°32'52", AN ARC DISTANCE OF 740.88 FEET TO A 1,470.00 FOOT RADIUS REVERSE CURVE;

THENCE EASTERLY, COINCIDENT WITH SAID REVERSE CURVE, THROUGH A CENTRAL ANGLE OF 20°26'28", AN ARC DISTANCE OF 524.45 FEET;

THENCE NORTH 01°25'12" WEST, A DISTANCE OF 82.46 FEET TO THE SOUTHERLY LINE OF THAT PARTICULAR 50 FOOT WIDE DITCH PARCEL AS DESCRIBED IN BOOK 63 AT PAGE 464 IN THE RECORDS OF THE WELD COUNTY CLERK AND RECORDER'S OFFICE, SAID POINT BEING THE BEGINNING OF A 47.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 88°34'47" EAST;

THENCE COINCIDENT WITH THE SOUTHERLY LINES OF SAID 50' WIDE DITCH THE FOLLOWING EIGHT (8) COURSES:

1.

THENCE SOUTHEASTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 97°55'37", AN ARC DISTANCE OF 80.33 FEET;
2.

THENCE NORTH 80°39'30" EAST, A DISTANCE OF 123.80 FEET;
3.

THENCE NORTH 73°56'17" EAST, A DISTANCE OF 64.14 FEET;
4.

THENCE NORTH 74°41'14" EAST, A DISTANCE OF 127.29 FEET;
5.

THENCE NORTH 77°11'24" EAST, A DISTANCE OF 214.63 FEET;
6.

THENCE NORTH 79°40'39" EAST, A DISTANCE OF 294.87 FEET TO A 575.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY;
7.

THENCE EASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 32°50'35", AN ARC DISTANCE OF 329.60 FEET;
8.

THENCE SOUTH 67°28'48" EAST, A DISTANCE OF 226.67 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF WELD COUNTY ROAD 7 AS DESCRIBED AT RECEPTION NO. 2502152 IN SAID RECORDS;

THENCE NORTH 89°30'20" EAST, A DISTANCE OF 31.51 FEET TO A POINT ON THE EAST LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 21;

THENCE SOUTH 00°29'40" EAST, COINCIDENT WITH SAID EAST LINE, A DISTANCE OF 128.99 FEET;

THENCE SOUTH 89°30'20" WEST, A DISTANCE OF 83.18 FEET TO A 430.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS

NORTHERLY;

THENCE WESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 21°39'55", AN ARC DISTANCE OF 162.60 FEET;

THENCE NORTH 68°49'45" WEST, A DISTANCE OF 213.12 FEET TO A 370.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY;

THENCE WESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 33°37'48", AN ARC DISTANCE OF 217.17 FEET;

THENCE SOUTH 77°32'27" WEST, A DISTANCE OF 486.45 FEET TO A 1,530.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHERLY;

THENCE WESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 05°10'46", AN ARC DISTANCE OF 138.31 FEET TO 15.00 FOOT RADIUS REVERSE CURVE;

THENCE SOUTHWESTERLY, COINCIDENT WITH SAID REVERSE CURVE, THROUGH A CENTRAL ANGLE OF 82°43'13", AN ARC DISTANCE OF 21.66 FEET;

THENCE SOUTH 00°00'00" EAST, A DISTANCE OF 32.75 FEET TO A 550.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS WESTERLY;

THENCE SOUTHWESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 56°17'20", AN ARC DISTANCE OF 540.33 FEET;

THENCE SOUTH 56°17'20" WEST, A DISTANCE OF 138.48 FEET TO A 445.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHEASTERLY;

THENCE SOUTHWESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 33°40'13", AN ARC DISTANCE OF 261.51 FEET;

THENCE SOUTH 22°37'07" WEST, A DISTANCE OF 80.55 FEET TO A 655.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHWESTERLY;

THENCE SOUTHWESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 62°43'36", AN ARC DISTANCE OF 717.09 FEET;

THENCE SOUTH 85°20'43" WEST, A DISTANCE OF 222.09 FEET TO A 490.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY;

THENCE WESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 6°28'45", AN ARC DISTANCE OF 55.41 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 21;

THENCE SOUTH 00°16'01" EAST, COINCIDENT WITH SAID WEST LINE, A DISTANCE OF 452.98 TO THE CENTER QUARTER CORNER OF SAID SECTION 21;

THENCE SOUTH 00°16'04" EAST, COINCIDENT WITH THE EAST LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 523.60 FEET;

THENCE SOUTH 89°43'56" WEST, A DISTANCE OF 335.56 FEET TO A 215.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 62°20'39" WEST;

THENCE SOUTHWESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 161°55'03", AN ARC LENGTH OF 607.59 FEET TO A 1,445.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 27°17'59" WEST;

THENCE SOUTHWESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 19°29'57", AN ARC LENGTH OF 491.77 FEET TO A 465.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 89°57'28" WEST;

THENCE SOUTHERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 42°19'02", AN ARC LENGTH OF 343.44 FEET;

THENCE SOUTH 42°21'34" WEST, A DISTANCE OF 246.54 FEET;

THENCE SOUTH 63°35'18" WEST, A DISTANCE OF 107.74 FEET;

THENCE SOUTH 89°53'43" WEST, A DISTANCE OF 311.72 FEET TO THE EAST LINE OF THAT PARCEL OF LAND DESCRIBED AT RECEPTION NO. 2978817 OF SAID RECORDS ;

THENCE COINCIDENT WITH THE EAST AND NORTH LINES OF SAID PARCEL THE FOLLOWING FOUR (4) COURSES:

1.

THENCE NORTH 00°06'17" WEST, A DISTANCE OF 156.00 FEET;
2.

THENCE SOUTH 89°53'43" WEST, A DISTANCE OF 608.07 FEET;
3.

THENCE NORTH 00°06'17" WEST, A DISTANCE OF 230.00 FEET;
4.

THENCE SOUTH 89°53'43" WEST, A DISTANCE OF 229.57 FEET TO THE WEST LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE NORTH 00°06'17" WEST, COINCIDENT WITH SAID WEST LINE, A DISTANCE OF 1,064.00 FEET TO THE WEST QUARTER CORNER OF SAID SECTION 21;
THENCE NORTH 00°00'31" EAST, COINCIDENT WITH THE WEST LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 2,654.72 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 11,050,696 SQUARE FEET (253.68908 ACRES), MORE OR LESS.

VILLAGE 2 LEGAL DESCRIPTION:

LEGAL DESCRIPTION
A PARCEL OF LAND LOCATED IN THE WEST ONE-HALF OF SECTION21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER OF SAID OF SECTION 21 BEING NORTH 00°00'31" EAST, A DISTANCE OF 2,654.72 FEET;

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 21; THENCE NORTH 89°38'17" EAST, COINCIDENT WITH THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 21, A DISTANCE OF 912.10 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUE NORTH 89°38'17" EAST, COINCIDENT WITH SAID NORTH LINE, A DISTANCE OF 766.34 FEET;

THENCE SOUTH 00°21'43" EAST A DISTANCE OF 30.00 FEET TO THE SOUTHERLY LINE OF THE WELD COUNTY ROAD 8 RIGHT-OF-WAY AS DESCRIBED IN THAT CERTAIN DOCUMENT RECORDED NOVEMBER 8, 2005 IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDED UNDER RECEPTION NUMBER 3338310;

THENCE SOUTH 00°03'27" EAST A DISTANCE OF 239.97 FEET;

APPLICANT/DEVELOPER:
ERIE LAND COMPANY, LLC
1225 17TH STREET, SUITE 2420
DENVER, CO - 80202
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SOUTHERN LAND
COMPANY
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1350 W. McEwen Drive, Suite 200 - Franklin, Tennessee 37067
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Matrix
DESIGN GROUP

WESTERLY
PLANNED UNIT DEVELOPMENT ZONING MAP
A PORTION OF THE EAST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH,
RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

REVISIONS:	
1	12.28.2020
2	03.15.2021
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4	
5	
6	

DATE: 09.30.2020

PROJECT #: PUD 001198-2020

SHEET NO.
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WESTERLY - P.U.D. OVERLAY DISTRICT

A PORTION OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH
PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

287.35 ACRES
PUD-001198-2020

THENCE SOUTH 00°25'16" EAST A DISTANCE OF 30.00 FEET;
THENCE SOUTH 89°38'19" WEST A DISTANCE OF 162.65 FEET;
THENCE SOUTH 00°04'04" EAST A DISTANCE OF 159.90 FEET;
THENCE NORTH 89°16'38" EAST A DISTANCE OF 30.00 FEET;
THENCE NORTH 00°01'08" WEST A DISTANCE OF 14.42 FEET TO A 15.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 69°21'30" EAST;
THENCE NORTHEASTERLY, ALONG SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 91°05'03" AN ARC DISTANCE OF 23.85 FEET;
THENCE NORTH 89°38'19" EAST A DISTANCE OF 173.31 FEET TO A TANGENT 10.00 FOOT RADIUS CURVE WHOSE CENTER BEARS SOUTH EAST;
THENCE SOUTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 69°21'30" AN ARC DISTANCE OF 12.10 FEET;
THENCE SOUTH 21°00'43" EAST A DISTANCE OF 41.78 FEET TO A TANGENT 15.00 FOOT RADIUS CURVE WHOSE CENTER BEARS SOUTH 68°59'17" WEST;
THENCE SOUTHERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 84°07'44" AN ARC DISTANCE OF 22.02 FEET TO A 850.00 FEET COMPOUND CURVE;
THENCE WESTERLY, ALONG SAID COMPOUND CURVE THROUGH A CENTRAL ANGLE OF 21°22'17" AND ARC DISTANCE OF 317.05 FEET TO A 15.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTH EAST;
THENCE NORTHWESTERLY, ALONG SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 109°08'30" AN ARC DISTANCE OF 28.57 FEET;
THENCE NORTH 13°58'51" EAST A DISTANCE OF 72.68 FEET;
THENCE SOUTH 89°16'38" WEST A DISTANCE OF 46.45 FEET TO A TANGENT 93.50 FOOT RADIUS CURVE WHOSE CENTER BEARS NORTH 00°43'22" WEST;
THENCE WESTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 18°57'37" AN ARC DISTANCE OF 30.94 FEET;
THENCE NORTH 71°45'45" WEST A DISTANCE OF 61.10 FEET TO A 933.88 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 72°11'33" EAST;
THENCE SOUTHERLY, ALONG SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 16°19'47" AN ARC DISTANCE OF 266.16 FEET TO A 1,000.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 05°31'05" EAST;
THENCE WESTERLY, ALONG SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 14°25'38" AN ARC DISTANCE OF 251.80 FEET;
THENCE NORTH 70°03'17" WEST A DISTANCE OF 144.50 FEET TO A TANGENT 400.00 FOOT RADIUS CURVE WHOSE CENTER BEARS SOUTH 19°56'43" WEST;
THENCE WESTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 38°15'27" AN ARC DISTANCE OF 267.09 FEET;
THENCE SOUTH 71°41'16" WEST A DISTANCE OF 78.58 FEET;
THENCE NORTH 18°18'44" WEST A DISTANCE OF 67.50 FEET TO A TANGENT 40.00 FOOT RADIUS CURVE WHOSE CENTER BEARS NORTH 71°41'16" EAST;
THENCE NORTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 90°00'00" AN ARC DISTANCE OF 62.83 FEET;
THENCE NORTH 71°41'16" EAST A DISTANCE OF 38.58 FEET TO A TANGENT 507.50 FOOT RADIUS CURVE WHOSE CENTER BEARS SOUTH 18°18'44" EAST;
THENCE EASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 19°03'12" AN ARC DISTANCE OF 168.76 FEET;
THENCE NORTH 00°27'32" EAST A DISTANCE OF 32.42 FEET TO A 48.50 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 89°32'32" EAST;
THENCE NORTHEASTERLY, ALONG SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 48°04'50" AN ARC DISTANCE OF 40.70 FEET;
THENCE NORTH 48°32'14" EAST A DISTANCE OF 182.44 FEET;
THENCE NORTH 00°24'06" WEST A DISTANCE OF 230.92 FEET TO THE SOUTHERLY LINE OF THE WELD COUNTY ROAD 8 RIGHT-OF-WAY AS DESCRIBED IN THAT CERTAIN DOCUMENT RECORDED IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDER'S OFFICE UNDER RECEPTION NUMBER 7;
THENCE NORTH 00°21'43" WEST A DISTANCE OF 70.00 FEET TO THE NORTH LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21 AND THE POINT OF BEGINNING.
CONTAINING AN AREA OF 11.707 ACRES, (509,969 SQUARE FEET), MORE OR LESS.

VILLAGE 3 LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PART OF THE NORTHEAST ONE-QUARTER OF SECTION TWENTY-ONE (21), TOWNSHIP ONE (1) NORTH, RANGE SIXTY EIGHT (68) WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTH ONE-QUARTER CORNER OF SAID SECTION TWENTY-ONE (21);

THENCE NORTH 89°38'36" EAST AND COINCIDENT WITH THE NORTH LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION TWENTY-ONE (21), A DISTANCE OF 1,250.37 FEET;

THENCE SOUTH 00°21'24" EAST, A DISTANCE OF 30.00 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF WELD COUNTY ROAD 8 (ALSO KNOWN AS ERIE PARKWAY) AS DESCRIBED IN BOOK 86 AT PAGE 273 IN THE RECORDS OF THE WELD COUNTY CLERK AND RECORDER'S OFFICE, SAID POINT ALSO BEING ON THE WESTERLY LINE OF THAT PARTICULAR 50 FOOT WIDE DITCH PARCEL AS DESCRIBED IN BOOK 63 AT PAGE 464 IN SAID RECORDS;

THENCE COINCIDENT WITH THE WESTERLY LINES OF SAID 50' WIDE DITCH THE FOLLOWING THREE (3) COURSES:

1. THENCE SOUTH 00°49'26" WEST, A DISTANCE OF 381.56 FEET;
2. THENCE SOUTH 00°42'57" WEST, A DISTANCE OF 225.38 FEET;
3. THENCE SOUTH 01°25'12" EAST, COINCIDENT WITH SAID WEST LINE AND THE SOUTHERLY EXTENSION THEREOF, A DISTANCE OF 237.84 FEET TO A NON-TANGENT CURVE HAVING A RADIUS OF 1,470.00 FEET, WHOSE CENTER BEARS NORTH 01°23'23" WEST;

THENCE WESTERLY AND COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 20°26'28", AN ARC DISTANCE OF 524.45 FEET AND HAVING A CHORD THAT BEARS NORTH 81°10'09" WEST, A DISTANCE OF 521.67 FEET TO A REVERSE CURVE HAVING A RADIUS OF 1,970.00 FEET;

THENCE WESTERLY AND COINCIDENT WITH SAID REVERSE CURVE, THROUGH A CENTRAL ANGLE OF 21°32'52", AN ARC DISTANCE OF 740.88 FEET AND HAVING A CHORD THAT BEARS NORTH 81°43'21" WEST, A DISTANCE OF 736.52 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION TWENTY-ONE (21);

THENCE NORTH 00°16'01" WEST AND COINCIDENT WITH SAID WEST LINE, A DISTANCE OF 680.75 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIPTION CONTAINS 956,209 SQUARE FEET OR (21.95154 ACRES), MORE OR LESS.

APPLICANT/DEVELOPER:
ERIE LAND COMPANY, LLC
1225 17TH STREET, SUITE 2420
DENVER, CO - 80202
303-887-8075

SOUTHERN LAND
COMPANY

Southern Land Company, LLC
1550 W. McEwen Drive, Suite 200 - Franklin, Tennessee 37067
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WESTERLY
PLANNED UNIT DEVELOPMENT ZONING MAP
A PORTION OF THE EAST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH,
RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

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1	12.28.2020
2	03.15.2021
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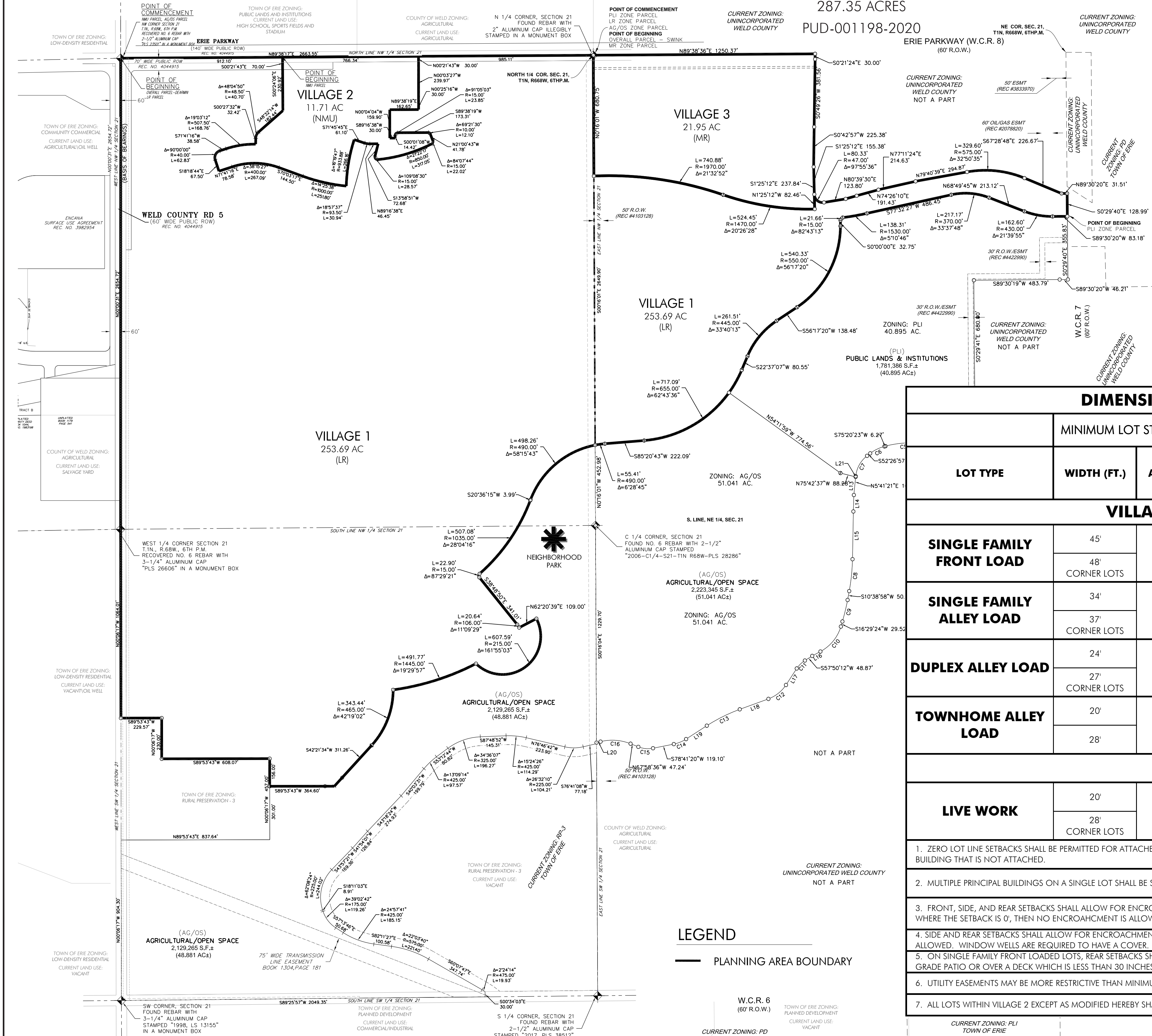
SHEET NO.

3 OF 6

WESTERLY - P.U.D. OVERLAY DISTRICT

A PORTION OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH
PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

287.35 ACRES
PUD-001198-2020



USE TABLE

VILLAGE		PERMITTED PRINCIPAL USES
LR	VILLAGE 1	SINGLE FAMILY FRONT LOAD
		SINGLE FAMILY ALLEY LOAD ¹
		DUPLEX ALLEY LOAD ¹
NMU	VILLAGE 2	TOWNHOME ALLEY LOAD ¹
		ALL USES PERMITTED BY THE MUNICIPAL CODE IN THE NMU DISTRICT AS AMENDED
MR	VILLAGE 3	SINGLE FAMILY ALLEY LOAD ¹
		DUPLEX ALLEY LOAD ¹
		TOWNHOME ALLEY LOAD ¹

1. ACCESSORY STRUCTURES ARE NOT PERMITTED ON LOTS WHERE VEHICULAR ACCESS IS PROVIDED TO THE REAR OF THE LOT BY AN ALLEY.

DIMENSIONAL STANDARDS SUMMARY CHART

	MINIMUM LOT STANDARDS		MINIMUM LOT SETBACKS (FT.)						
LOT TYPE	WIDTH (FT.)	AREA (S.F.)	FRONT ON STREET	FRONT ON GARDEN COURT	SIDE (TO ABUTTING STREET)	SIDE (TO INTERIOR LOT)	REAR	HEIGHT	
VILLAGE ONE - VILLAGE THREE									
SINGLE FAMILY FRONT LOAD	45'	4,500	PRIN. - 15' GARAGE - 20'	NOT APPLICABLE	8'	5'	PRIN. - 15'	PRIN. - 35' ACC. 25'	
	48' CORNER LOTS		ACC. - 25'				ACC. - 5'		
SINGLE FAMILY ALLEY LOAD	34'	3,000	8'	5'	8'	5'	PRIN. - 0'		
	37' CORNER LOTS								
DUPLEX ALLEY LOAD	24'	1,700	8'	5'	8'	5'	PRIN. - 0'		
	27' CORNER LOTS								
TOWNHOME ALLEY LOAD	20'	1,200	8'	5'	8'	5'	PRIN. - 0'		
	28'								
VILLAGE TWO									
LIVE WORK	20'	1,000	5'	NOT APPLICABLE	8'	5'	PRIN. - 0'		PRIN. - 45' ACC. 25'
	28' CORNER LOTS								

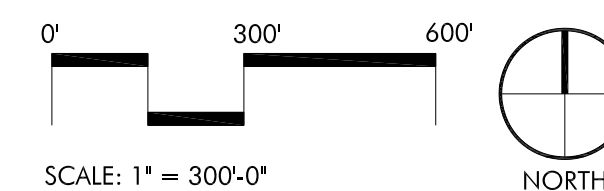
- ZERO LOT LINE SETBACKS SHALL BE PERMITTED FOR ATTACHED BUILDINGS PROVIDED THAT THE BUILDING MEETS THE ZONE DISTRICT INTERIOR LOT LINE SETBACK ON THE SIDE OF THE BUILDING THAT IS NOT ATTACHED.
- MULTIPLE PRINCIPAL BUILDINGS ON A SINGLE LOT SHALL BE SEPARATED BY A DISTANCE EQUAL TO THE DISTANCE THAT WOULD BE REQUIRED IF THEY WERE SEPARATED BY A LOT LINE.
- FRONT, SIDE, AND REAR SETBACKS SHALL ALLOW FOR ENCROACHMENTS INTO THE SETBACK OF UP TO 2 FEET FOR ABOVE-GRADE FEATURES INCLUDING EAVES, AND OVERHANGS, EXCEPT WHERE THE SETBACK IS 0', THEN NO ENCROACHMENT IS ALLOWED.
- SIDE AND REAR SETBACKS SHALL ALLOW FOR ENCROACHMENTS INTO THE SETBACK OF UP TO 3 FEET FOR WINDOW WELLS, EXCEPT WHERE THE SETBACK IS 0', THEN NO ENCROACHMENT IS ALLOWED. WINDOW WELLS ARE REQUIRED TO HAVE A COVER.
- ON SINGLE FAMILY FRONT LOADED LOTS, REAR SETBACKS SHALL ALLOW FOR AN ENCROACHMENT INTO THE SETBACK OF UP TO 6 FEET FOR A ROOF TO BE CONSTRUCTED OVER AN AT GRADE PATIO OR OVER A DECK WHICH IS LESS THAN 30 INCHES ABOVE GRADE.
- UTILITY EASEMENTS MAY BE MORE RESTRICTIVE THAN MINIMUM SETBACKS, THE GREATER OF THE MINIMUM SETBACK OR THE UTILITY EASEMENT SHALL GOVERN.
- ALL LOTS WITHIN VILLAGE 2 EXCEPT AS MODIFIED HEREBY SHALL FOLLOW THE DIMENSIONAL STANDARDS ESTABLISHED BY THE UDC FOR NMU OUTSIDE OF OLD TOWN AS AMENDED.

LEGEND

PLANNING AREA BOUNDARY

W.C.R. 6
(60' R.O.W.)

CURRENT ZONING: PD
TOWN OF ERIE



APPLICANT/DEVELOPER:
ERIE LAND COMPANY, LLC
1225 17TH STREET, SUITE 2420
DENVER, CO - 80202
303-887-8075

SOUTHERN LAND
COMPANY

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1550 W. McEwen Drive, Suite 200 - Franklin, Tennessee 37067
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Matrix
DESIGN GROUP

WESTERLY
PLANNED UNIT DEVELOPMENT ZONING MAP
A PORTION OF THE EAST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH,
RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

REVISIONS:

1	12.28.2020
2	03.15.2021
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PROJECT #: PUD 001198-2020

PUD
OVERLAY
MAP

SHEET NO.

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SINGLE FAMILY DETACHED ARCHITECTURAL STANDARDS

1. Architectural Variety and Character

a. Architectural Variety

- i. Design Standards
 - A. No identical model plan elevation shall be repeated directly across any street from the same model plan and elevation.
 - B. No identical model plan elevation shall be repeated more than once within every 4 lots on the same side of any street.
 - C. A minimum of 3 recognizably different model plans with 3 recognizably different elevations be submitted to the Town for review.
- ii. Tracking
 - A. It shall be the responsibility of the developer to provide to the Town a plat sheet tracking document that maintains a record of home model variety for every development parcel. The developer shall demonstrate compliance with this Section prior to issuance of a building permit.

b. Architectural Character

Each single family detached model plan and elevation shall demonstrate the following design attributes:

- i. Design Standards:
 - A. Each Elevation shall include a minimum of two windows (or one window and one door) per floor. There shall be at least one opening (window or door) per quadrant of the elevation so that long stretches of wall are broken up by fenestration. However, elevations with a partial or smaller upper level (such as a front facing gable) may be allowed to have a minimum of one window in the upper story and the window shall be appropriate in size to the scale of the upper level mass.
- B. Wall Plane Change:
 - Window Articulation that adds shadow and visual interest is encouraged.
 - The wall plane change shall be proportional to the building elevation, have a depth of at least 12 inches, be at least a full story in height, and be at least 6 feet wide. Recessed planes shall be recognizable as part of the elevation being enhanced.
 - Each front and rear elevation shall include more than one wall plane,
 - Or, on front elevations one wall plane may be allowed when one or more of the following is provided.
 - 1. Window(s) or Door(s) exceeding the minimum required per floor. The use of shutters may also enhance the total scale of fenestration provided per elevation quadrant.
 - 2. A porch or stoop that is covered.
 - 3. Roof Dormers.



WESTERLY - P.U.D. OVERLAY DISTRICT
A PORTION OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH
PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
287.35 ACRES
PUD-001198-2020

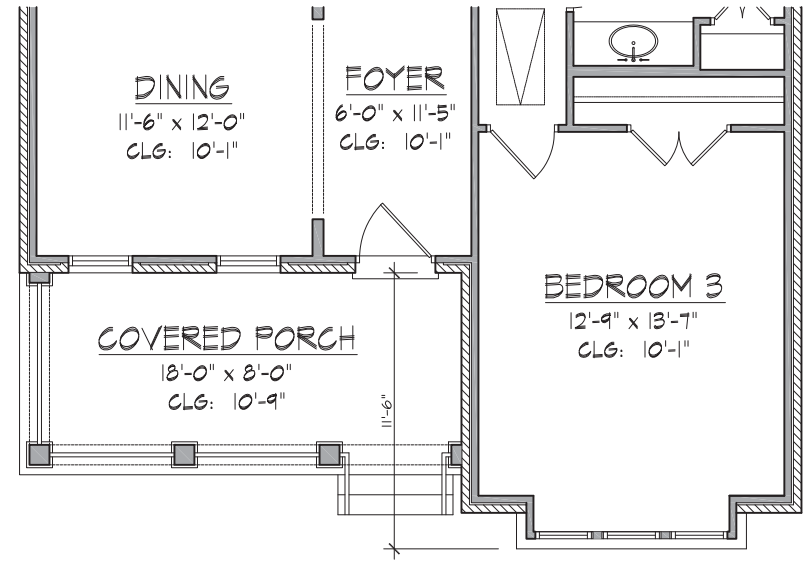
- C. A variety of roof forms shall be used. Single unbroken roof pitches should be avoided except where a single roof treatment is an essential element of the Architectural Style. (e.g. Mansard)
- D. The main roof shall extend beyond the primary façade by a minimum of 12 inches.
Or, on homes with a roof pitch of 10:12 or greater, a gable rake of less than 12 inches may be permitted.
Models with gable rake overhangs of less than 12 inches shall not be located directly across the street from each other or more than once within every 4 lots on the same side of any street.
- E. An elevation of the home that faces a street, park, trail corridor or open space area shall provide an “enhanced elevation” which further improves the architectural aesthetic of the residence; an enhanced elevation shall provide three of the following design enhancements. The design enhancement shall be applied in a manner that is consistent with the style of the home. Side and rear elevation design enhancements shall be consistent with the design elements of the front elevation.

- 1. Window(s) of sufficient size and appropriate scale to add character to the elevation.
- 2. A change in wall plane as defined in subsection 1.b.i.B above.
- 3. A porch, patio, or deck that is covered.
- 4. The use of architectural detail elements such as shutters, vents, eave and/or gable brackets, exposed rafter tails, corbels, lintels, trellises, columns or pilasters, additional exterior accent materials, etc. which in combination create an enhanced architectural style.
- 5. The use of two or more exterior materials. Additional materials should be used in locations where it is logical and appropriate and should continue to a natural transition point. To achieve the enhancement the additional material(s) shall be used to cover a minimum of 15% of the elevation being enhanced. Exterior materials may include but are not limited to masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other decorative siding treatment. Different application styles of the same material, for example the application of lap siding in different widths, does not constitute a second material.
- F. Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. (No exposed 4” x 4” posts shall be allowed more than 36 inches above the ground). Columns supporting upper story decks should be 8” x 8” minimum finished.

- ii. Materials
 - A. All exterior materials shall be of high quality, used in applications and treated appropriately to provide and attractive and long lasting appearance.
 - B. When masonry is used it should be used in locations where its mass is logical and appropriate. In instances where masonry wraps the exterior corner of the home the masonry should continue to a natural transition point such as the inside corner of a projection wall, a column, a door or window or other logical point. In cases where no such feature exists near the corner, the masonry wrap shall extend at least six feet from the corner.

2. Orientation of Dwellings to the Street

- A. Each dwelling unit shall face the front lot line of the property and have at least 1 primary pedestrian doorway for access to the dwelling unit located on the elevation of the dwelling unit facing the front lot line of the property. The doorway shall be no more than 12 feet from the most forward plane of the forward most living space within the house and shall be clearly visible from the street or public area adjacent to the front lot line (example below).
- B. For Single Family Front Loaded Lots adjacent to streets on two sides (corner lots), the dwelling may be oriented to either adjacent street and the pedestrian doorway may thus be located facing either adjacent street.



3. Garages

These regulations for garages shall be applied to non-living space or storage areas within garages whether used for storage of automobiles or other items.

- a. Front Loaded Garages:
 - i. Garages shall be recessed a minimum of 8’-0” from the forward most façade, front porch, or covered stoop, whichever length is greatest, for front loaded lots 70’ or greater in width.
 - ii. Garages shall be recessed a minimum of 2’-0” from the forward most façade, front porch, or covered stoop, whichever length is greatest, for front loaded lots between 45’ and 69’ feet in width.
 - iii. The width of a front-loaded garage shall not exceed 65% of the width of the front elevation.
- b. Side Loaded Garages:
 - i. On corner lots where the garage is oriented to the side lot line rather than the front lot line, the garage must be set back a minimum of 31’ from the front stoop or porch or from the forward most plane of the front facade when there is not a stoop or porch.
- c. Alley Load Garages:
 - i. Garages must be oriented to and accessed from the alley when the dwelling is located on a lot with alley access.
- d. Three or More Car Garage Orientation:
When garage bays exceed two, the additional garage bays shall either:
 - i. Have a different orientation from the first two; or
 - ii. Shall be recessed behind the first two by at least two feet when having the same orientation; or
 - iii. Shall be tandem to the first two.

4. Front Stoop

A front stoop is comprised of stairs and a platform which provides access to a front door when the threshold is not at grade and may be covered or uncovered. For dwelling units with a front stoop, the front stoop platform shall be at least 12 square feet.

5. Front Porches

A front porch is comprised of stairs, platform, and columns or railing and provides access a font door when the threshold is not at grade. A front porch has a generous sized platform which creates an outdoor living space at the front of the house. For dwelling units with a front porch, the front porch shall be at least 60 square feet, and shall have a minimum depth of 6 feet as measured from the stud wall to the column centerline or railing.

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WESTERLY
PLANNED UNIT DEVELOPMENT ZONING MAP
A PORTION OF THE EAST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH,
RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

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Matrix

DESIGN GROUP

REVISIONS:

1	12.28.2020
2	03.15.2021
3	
4	
5	
6	

DATE:

09.30.2020

PROJECT #:

PUD 001198-2020

PUD OVERLAY
STANDARDS

SHEET NO.

5 OF 6

WESTERLY - P.U.D. OVERLAY DISTRICT

A PORTION OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH
PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

287.35 ACRES
PUD-001198-2020

SINGLE FAMILY ATTACHED ARCHITECTURAL STANDARDS

Additional Standards for Duplex & Townhome Areas

1. Building Design and Character

a. General Purpose

The purposes of these building design and character standards are to:

- Establish a more predictable approach to Duplex and Townhome areas that encourages creativity in design for individualism of buildings or dwelling units that results in attractive, long-lasting neighborhoods.

b. Building Orientation

i. Intent

To organize the primary entrances and facades of Duplex or Townhome buildings with a clear orientation towards a Street or Common Open Space/Greencourt,

(A) To create an integrated neighborhood appearance for Duplex and Townhome areas that establishes a pattern that is integrated with adjacent uses instead of segregated as a separate sub-community.

ii. Design Standards

(A) The primary entrance and facade of individual buildings shall be oriented towards:

- Primary internal or perimeter streets, or
- Common open space/Greencourts, such as interior courtyards, parks, or on-site natural areas or features with a clearly defined and easily accessible pedestrian circulation system.

(B) Primary entrances and facades shall not be oriented towards alleys, parking lots, garages, or carports.

c. Architectural Character

i. Intent

(A) To improve the appearance of Duplex and Townhome areas through the incorporation of architectural detailing, facade articulation, and other features designed to provide a more distinct character and human scale for buildings of all sizes.

(B) To encourage the use of architectural styles that reinforces the Town's traditional character.

ii. Design Standards

(A) All sides of a Duplex or Townhome building shall display a similar level of quality and architectural detailing. The majority of a building's architectural features and treatments shall not be restricted to a single facade. Building details, including roof forms, windows, doors, trim, and siding materials, shall reflect the architectural style of the building.

(B) Attached dwelling units may either express each individual unit or give each building the appearance of a large single-family home.

(C) The maximum length of any Townhome building shall be 156 feet.

(D) The incorporation of a variety of roof forms is strongly encouraged on differentiated dwelling units. Generally, Duplex or Townhomes shall incorporate roof pitches of between 3:12 and 16:12; however, alternative roof forms may be permitted at the discretion of the Community Development Director.

(E) Roof overhangs shall extend beyond the primary façade by a minimum of 12 inches.

Or, on homes with a roof pitch of 10:12 or greater, a gable rake of less than 12 inches may be permitted.

Models with gable rake overhangs of less than 12 inches shall not be placed adjacent to or across the street from 1 another.

(F) Horizontal variations in materials along the facade of a Duplex or Townhome building shall occur in conjunction with a change in wall plane, preferably at the inside corner of a wall.

d. Architectural Variety

i. Intent

(A) To ensure that individual groupings of Duplex or Townhome buildings within a larger development exhibit a distinct variation in size and mass that allows them to be easily distinguished from surrounding building groupings.

(B) To avoid the bleak, "barracks-type" appearance associated with large concentrations of identical or very similar structures.

(C) Townhomes

- No more than 6 townhome dwelling units may be attached in any single row or building cluster.
- Within each townhome row or cluster, individual dwelling units shall either be differentiated or may express a purposely uniform design.

A. When dwelling units are to be differentiated, dwelling units shall be differentiated through 2 or more of the following methods,

- Use of distinct color variation between individual dwelling units;
- Use of distinct variations in materials between individual dwelling units;
- Use of distinct variations in architectural style or features, such as a porch or similar feature, between individual dwelling units;
- Use of distinct variations in roof form,

- A variation in the plane of the front facade to provide a minimum 1 foot variation between individual dwelling units.

B. When uniformity (sameness or pattern repetition) in design is proposed, this shall be expressed through repetition of 2 or more of the following methods,

- Use of materials both in type and location;
- Size, style, and patterning of windows;
- Size and detailing of front porches;
- Roof dormers, roof form, and roof pitch.

(D) Duplexes

A continuous row of identical homes along a block shall be prohibited. Individual structures shall be differentiated through 2 or more of the following methods:

- Use of distinct color variation and materials between individual structures;
- Use of distinct variations in roof form, or
- Use of distinct variations in architectural features, such as porches, roof form, windows, or similar feature, between individual structures.

- Models with identical facades shall not be placed adjacent to or across the street from 1 another.

e. Materials

i. Intent

(A) To maximize the quality, value, and longevity of multi-family neighborhoods through the use of durable materials that will minimize maintenance costs and improve the overall appearance of the development.

(B) To encourage the use of recycled and other environmentally- friendly, Leadership in Energy and Environmental Design (LEED) certified building materials.

ii. Design Standards

(A) Primary exterior building materials on multi-family structures shall be constructed from durable materials with product warranties or an industry expected life of a minimum of 25-years.

(B) Exterior Insulating and Finish System (EIFS) shall not be permitted.

(C) All multi-family structures shall utilize durable, environmentally sensitive roofing materials with product warranties or an industry expected life of a minimum of 25 years.

2. Parking and Garage Placement

On-street parking spaces may be counted towards guest parking for a Duplex or Townhome area, provided the on-street spaces are located on an adjacent or internal street that allows on-street parking.

On-street parking spaces being counted towards the minimum requirement for guest parking shall be identified on plans at time of submittal to the Town. Required dwelling unit parking shall be off-street.

Garages shall be accessed from an alley.

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