

BASIS OF BEARINGS STATEMENT

THE BASIS OF BEARINGS FOR THIS MAP IS THE WEST LINE OF THE NORTHWEST ONE-QUARTER OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN BEING MONUMENTED ON THE NORTH END BY A FOUND 2-1/2 INCH ALUMINUM CAP WITHIN A MONUMENT CASING STAMPED WITH THE APPROPRIATE TEXT AND SYMBOLOLOGY FOR THE NORTHWEST CORNER OF SECTION 21 AND "LS 2350.11" AND MONUMENTED ON THE SOUTH END BY A FOUND 3-1/4 INCH ALUMINUM CAP WITHIN A MONUMENT CASING STAMPED WITH THE APPROPRIATE TEXT AND SYMBOLOLOGY FOR THE ONE-QUARTER CORNER OF SECTION 21 AND "PLS 26606" AND IS ASSUMED TO BEAR NORTH 00°00'31" EAST A DISTANCE OF 2654.72 FEET.

OVERALL LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN THE WEST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS; BEGIN AT THE NORTHWEST CORNER OF SAID SECTION 21; THENCE NORTH 89°38'17" EAST, COINCIDENT WITH THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 21, A DISTANCE OF 2,663.55 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 21; THENCE SOUTH 00°16'01" EAST, COINCIDENT WITH THE EASTERLY LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 2,649.90 FEET TO THE SOUTHEAST CORNER OF SAID NORTHWEST ONE-QUARTER SECTION 21; THENCE SOUTH 00°16'04" EAST, COINCIDENT WITH THE EASTERLY LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 21, A DISTANCE OF 414.50 FEET; THENCE SOUTH 89°43'56" WEST, A DISTANCE OF 430.01 FEET; THENCE SOUTH 17°55'57" WEST, A DISTANCE OF 121.26 FEET TO A 380.00 FOOT RADIUS NON-TANGENT CURVE, WHOSE CENTER BEARS NORTH 71°49'29" WEST; THENCE SOUTHWESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 63°32'08", AN ARC DISTANCE OF 421.38 FEET TO A 720.00 FOOT RADIUS REVERSE CURVE; THENCE SOUTHWESTERLY, COINCIDENT WITH SAID REVERSE CURVE, THROUGH A CENTRAL ANGLE OF 7°33'56", AN ARC DISTANCE OF 95.07 FEET; THENCE SOUTH 15°51'17" EAST, A DISTANCE OF 110.00 FEET TO A 610.03 FOOT RADIUS NON-TANGENT CURVE, WHOSE CENTER BEARS SOUTH 15°51'20" EAST; THENCE SOUTHWESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 31°16'36", AN ARC DISTANCE OF 333.00 FEET; THENCE SOUTH 42°52'05" WEST, A DISTANCE OF 524.23 FEET TO A 2,251.04 FOOT RADIUS NON-TANGENT CURVE, WHOSE CENTER BEARS SOUTH 06°20'32" WEST; THENCE WESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 06°26'49", AN ARC DISTANCE OF 253.29 FEET; THENCE NORTH 89°53'43" WEST, A DISTANCE OF 111.61 FEET TO THE EXTERIOR BOUNDARY OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN A DOCUMENT RECORDED IN THE OFFICE OF THE CLERK AND RECORDER OF WELD COUNTY UNDER AT RECEPTION NO. 2978817. THENCE NORTHERLY AND WESTERLY, COINCIDENT WITH SAID EXTERIOR BOUNDARY, THE FOLLOWING FOUR (4) COURSES:

- THENCE NORTH 00°06'17" WEST, A DISTANCE OF 143.39 FEET;
- THENCE SOUTH 89°53'43" WEST A DISTANCE OF 608.07 FEET;
- THENCE NORTH 00°06'17" WEST A DISTANCE OF 230.00 FEET;
- THENCE SOUTH 89°53'43" WEST, COINCIDENT WITH THE NORTHERLY LINE OF SAID EXTERIOR BOUNDARY AND ITS WESTERLY EXTENSION, A DISTANCE OF 229.57 FEET TO THE WEST LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE NORTH 00°06'17" WEST, COINCIDENT WITH SAID WEST LINE, A DISTANCE OF 1,064.00 FEET TO THE NORTHWEST CORNER OF THE SAID SOUTHWEST ONE-QUARTER OF SAID SECTION 21; THENCE NORTH 00°00'31" EAST, COINCIDENT WITH THE WEST LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 2,654.72 FEET TO THE POINT OF BEGINNING;

THE ABOVE DESCRIPTION CONTAINS A CALCULATED AREA OF 9,828,961 SQUARE FEET (225.64189 ACRES), MORE OR LESS.

VILLAGE 1:

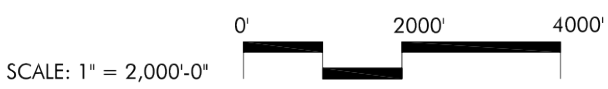
A PARCEL OF LAND LOCATED IN THE WEST ONE-HALF OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS; BEGIN AT THE NORTHWEST CORNER OF SAID SECTION 21; THENCE NORTH 89°38'17" EAST, COINCIDENT WITH SAID NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 21, A DISTANCE OF 912.10 FEET; THENCE SOUTH 00°21'43" EAST A DISTANCE OF 70.00 FEET TO THE SOUTHERLY LINE OF THE WELD COUNTY ROAD 8 RIGHT-OF-WAY AS DESCRIBED IN THAT CERTAIN DOCUMENT RECORDED JULY 18, 2019 IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDED UNDER RECEPTION NUMBER 4506864; THENCE SOUTH 00°24'06" EAST A DISTANCE OF 230.92 FEET; THENCE SOUTH 48°32'14" WEST A DISTANCE OF 182.44 FEET TO A 48.50 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 41°27'42" EAST; THENCE SOUTHWESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 48°04'50" AN ARC DISTANCE OF 40.70 FEET; THENCE SOUTH 00°27'32" WEST A DISTANCE OF 32.42 FEET TO A 507.50 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 00°44'28" WEST; THENCE WESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 19°03'12" AN ARC DISTANCE OF 168.76 FEET; THENCE SOUTH 71°41'16" WEST A DISTANCE OF 38.58 FEET TO A 40.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY; THENCE SOUTHWESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 90°00'00" AN ARC DISTANCE OF 62.83 FEET; THENCE SOUTH 18°18'44" EAST A DISTANCE OF 67.50 FEET; THENCE NORTH 71°41'16" EAST A DISTANCE OF 78.58 FEET TO A 400.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY; THENCE EASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 38°15'27" AN ARC DISTANCE OF 267.09 FEET; THENCE SOUTH 70°03'17" EAST A DISTANCE OF 144.50 FEET TO A 1,000.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHERLY; THENCE EASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 14°25'38" AN ARC DISTANCE OF 251.80 FEET TO A 933.88 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 88°31'21" EAST; THENCE NORTHERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 16°19'47" AN ARC DISTANCE OF 266.16 FEET; THENCE SOUTH 71°45'45" EAST A DISTANCE OF 61.10 FEET TO A 93.50 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHERLY; THENCE EASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 18°57'37" AN ARC DISTANCE OF 30.94 FEET; THENCE NORTH 89°16'38" EAST A DISTANCE OF 46.45 FEET; THENCE NORTH 13°58'51" WEST A DISTANCE OF 72.68 FEET TO A 15.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHEASTERLY; THENCE SOUTHEASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 109°08'30" AN ARC DISTANCE OF 28.57 FEET TO A 850.00 FOOT RADIUS COMPOUND CURVE; THENCE EASTERLY, COINCIDENT WITH SAID COMPOUND CURVE, THROUGH A CENTRAL ANGLE OF 21°02'17" AN ARC DISTANCE OF 312.11 FEET TO A 15.00 FOOT COMPOUND CURVE; THENCE NORTHERLY, COINCIDENT WITH SAID COMPOUND CURVE THROUGH A CENTRAL ANGLE OF 84°07'44" AND ARC DISTANCE OF 22.02 FEET; THENCE NORTH 21°00'43" WEST A DISTANCE OF 41.78 FEET TO A 10.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 68°59'33" WEST; THENCE NORTHWESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 69°21'30" AN ARC DISTANCE OF 12.10 FEET; THENCE SOUTH 89°38'19" WEST A DISTANCE OF 173.31 FEET TO A 15.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY; THENCE SOUTHWESTERLY, COINCIDENT WITH SAID CURVE, THROUGH A CENTRAL ANGLE OF 91°05'03" AN ARC DISTANCE OF 23.85 FEET; THENCE SOUTH 00°43'22" EAST A DISTANCE OF 14.42 FEET; THENCE SOUTH 89°16'38" WEST A DISTANCE OF 30.00 FEET; THENCE NORTH 00°21'41" WEST A DISTANCE OF 159.90 FEET; THENCE NORTH 89°38'19" EAST A DISTANCE OF 162.65 FEET; THENCE NORTH 00°25'16" WEST A DISTANCE OF 30.00 FEET; THENCE NORTH 00°03'27" WEST A DISTANCE OF 239.97 FEET TO THE SOUTHERLY LINE OF THE WELD COUNTY ROAD 8 RIGHT-OF-WAY AS DESCRIBED IN THAT CERTAIN DOCUMENT RECORDED NOVEMBER 8, 2005 IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDED UNDER RECEPTION NUMBER 3338310; THENCE NORTH 00°21'43" WEST A DISTANCE OF 30.00 FEET TO THE NORTH LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21; THENCE NORTH 89°38'17" EAST, COINCIDENT WITH SAID NORTH LINE, A DISTANCE OF 985.11 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21; THENCE SOUTH 00°16'01" EAST, COINCIDENT WITH THE EAST LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE

WESTERLY - P.U.D. OVERLAY DISTRICT  
LOCATED IN THE WEST HALF OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH  
PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

225.64 ACRES  
PUD-001039-2019



VICINITY MAP



OF 2,649.90 FEET TO THE SOUTHEAST CORNER OF SAID NORTHWEST ONE-QUARTER OF SECTION 21; THENCE SOUTH 00°16'04" EAST, COINCIDENT WITH THE EASTERLY LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21, A DISTANCE OF 414.50 FEET; THENCE SOUTH 89°43'56" WEST, A DISTANCE OF 430.01 FEET; THENCE SOUTH 17°55'57" WEST, A DISTANCE OF 121.26 FEET TO A 380.00 FOOT RADIUS NON-TANGENT CURVE, WHOSE CENTER BEARS NORTH 71°49'29" WEST; THENCE SOUTHWESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 63°32'08" AN ARC DISTANCE OF 421.38 FEET TO A 720.00 FOOT RADIUS REVERSE CURVE; THENCE WESTERLY, COINCIDENT WITH SAID REVERSE CURVE, THROUGH A CENTRAL ANGLE OF 07°33'56" AN ARC DISTANCE OF 95.07 FEET; THENCE SOUTH 15°51'17" EAST A DISTANCE OF 110.00 FEET TO A 610.03 FOOT RADIUS NON-TANGENT CURVE, WHOSE CENTER BEARS SOUTH 15°51'20" EAST; THENCE SOUTHWESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 31°16'36" AN ARC DISTANCE OF 333.00 FEET; THENCE SOUTH 42°52'05" WEST A DISTANCE OF 524.23 FEET TO A 2,251.04 FOOT RADIUS NON-TANGENT CURVE, WHOSE CENTER BEARS SOUTH 06°20'32" WEST; THENCE WESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 06°26'49" AN ARC DISTANCE OF 253.29 FEET; THENCE SOUTH 89°53'43" WEST A DISTANCE OF 111.61 FEET TO A POINT ON THE BOUNDARY OF THAT PARCEL OF LAND DESCRIBED AT RECEPTION NO. 2978817 OF THE RECORDS OF THE WELD COUNTY CLERK AND RECORDER;

THENCE COINCIDENT WITH SAID BOUNDARY THE FOLLOWING FOUR (4) COURSES:

- THENCE NORTH 00°06'17" WEST A DISTANCE OF 143.39 FEET;
- THENCE SOUTH 89°53'43" WEST A DISTANCE OF 608.07 FEET;
- THENCE NORTH 00°06'17" WEST A DISTANCE OF 230.00 FEET;
- THENCE SOUTH 89°53'43" WEST, COINCIDENT WITH THE NORTH LINE OF SAID PARCEL AND THE WESTERLY EXTENSION THEREOF, A DISTANCE OF 229.57 FEET TO A POINT ON THE WESTERLY LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21;

THENCE NORTH 00°06'17" WEST, COINCIDENT WITH SAID WESTERLY LINE, A DISTANCE OF 1,064.00 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 21; THENCE NORTH 00°00'31" EAST, ALONG THE WEST LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21 A DISTANCE OF 2,654.72 FEET TO THE NORTHWEST CORNER OF SAID SECTION 21 AND THE POINT OF BEGINNING; THE ABOVE DESCRIPTION CONTAINS A CALCULATED AREA OF 9,318,978 SQUARE FEET (213.93430 ACRES), MORE OR LESS.

VILLAGE 2:

A PARCEL OF LAND LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 21; THENCE NORTH 89°38'17" EAST, COINCIDENT WITH THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 21, A DISTANCE OF 912.10 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 89°38'17" EAST, COINCIDENT WITH SAID NORTH LINE, A DISTANCE OF 766.34 FEET; THENCE SOUTH 00°21'43" EAST A DISTANCE OF 30.00 FEET TO THE SOUTHERLY LINE OF THE WELD COUNTY ROAD 8 RIGHT-OF-WAY AS DESCRIBED IN THAT CERTAIN DOCUMENT RECORDED NOVEMBER 8, 2005 IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDED UNDER RECEPTION NUMBER 3338310; THENCE SOUTH 00°03'27" EAST A DISTANCE OF 239.97 FEET; THENCE SOUTH 00°25'16" EAST A DISTANCE OF 30.00 FEET; THENCE SOUTH 89°38'19" WEST A DISTANCE OF 162.65 FEET;

THENCE SOUTH 00°21'41" EAST A DISTANCE OF 159.89 FEET; THENCE NORTH 89°16'38" EAST A DISTANCE OF 29.37 FEET; THENCE NORTH 00°43'22" WEST A DISTANCE OF 14.42 FEET TO A 15.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 88°33'16" EAST; THENCE NORTHEASTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 91°05'03" AN ARC DISTANCE OF 23.85 FEET; THENCE NORTH 89°38'19" EAST A DISTANCE OF 173.31 FEET TO A 10.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY; THENCE SOUTHEASTERLY, COINCIDENT WITH SAID CURVE, THROUGH A CENTRAL ANGLE OF 69°21'30" AN ARC DISTANCE OF 12.10 FEET; THENCE SOUTH 21°00'43" EAST A DISTANCE OF 41.78 FEET TO A 15.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHWESTERLY; THENCE SOUTHERLY, COINCIDENT WITH SAID CURVE, THROUGH A CENTRAL ANGLE OF 84°07'44" AN ARC DISTANCE OF 22.02 FEET TO A 850.00 FOOT RADIUS COMPOUND CURVE; THENCE WESTERLY, COINCIDENT WITH SAID COMPOUND CURVE, THROUGH A CENTRAL ANGLE OF 21°22'17" AN ARC DISTANCE OF 317.05 FEET TO A 15.00 FOOT RADIUS COMPOUND CURVE; THENCE NORTHWESTERLY, COINCIDENT WITH SAID COMPOUND CURVE, THROUGH A CENTRAL ANGLE OF 109°08'30" AN ARC DISTANCE OF 28.57 FEET; THENCE NORTH 13°58'51" EAST A DISTANCE OF 72.68 FEET; THENCE SOUTH 89°16'38" WEST A DISTANCE OF 46.45 FEET TO A 93.50 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHERLY; THENCE WESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 18°57'37" AN ARC DISTANCE OF 30.94 FEET; THENCE NORTH 71°45'45" WEST A DISTANCE OF 61.10 FEET TO A 933.88 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 72°11'33" EAST; THENCE SOUTHERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 16°19'47" AN ARC DISTANCE OF 266.16 FEET TO A 1,000.00 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 05°31'05" EAST; THENCE WESTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 14°25'38" AN ARC DISTANCE OF 251.80 FEET; THENCE NORTH 70°03'17" WEST A DISTANCE OF 144.50 FEET TO A 400.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY; THENCE WESTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 38°15'27" AN ARC DISTANCE OF 267.09 FEET; THENCE SOUTH 71°41'16" WEST A DISTANCE OF 78.58 FEET; THENCE NORTH 18°18'44" WEST A DISTANCE OF 67.50 FEET TO A 40.00 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS NORTHEASTERLY; THENCE NORTHEASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 90°00'00" AN ARC DISTANCE OF 62.83 FEET; THENCE NORTH 71°41'16" EAST A DISTANCE OF 38.58 FEET TO A 507.50 FOOT RADIUS TANGENT CURVE WHOSE CENTER BEARS SOUTHERLY; THENCE EASTERLY, COINCIDENT WITH SAID TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 19°03'12" AN ARC DISTANCE OF 168.76 FEET; THENCE NORTH 00°27'32" EAST A DISTANCE OF 32.42 FEET TO A 48.50 FOOT RADIUS NON-TANGENT CURVE WHOSE CENTER BEARS SOUTH 89°32'32" EAST; THENCE NORTHEASTERLY, COINCIDENT WITH SAID NON-TANGENT CURVE, THROUGH A CENTRAL ANGLE OF 48°04'50" AN ARC DISTANCE OF 40.70 FEET; THENCE NORTH 48°32'14" EAST A DISTANCE OF 182.44 FEET; THENCE NORTH 00°24'06" WEST A DISTANCE OF 230.92 FEET TO THE SOUTHERLY LINE OF THE WELD COUNTY ROAD 8 RIGHT-OF-WAY AS DESCRIBED IN THAT CERTAIN DOCUMENT RECORDED JULY 18, 2019 IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDED UNDER RECEPTION NUMBER 4506864; THENCE NORTH 00°21'43" WEST A DISTANCE OF 70.00 FEET TO THE NORTH LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 21 AND THE POINT OF BEGINNING.

THE ABOVE DESCRIPTION CONTAINS A CALCULATED AREA OF 509,977 SQUARE FEET (11.70746 ACRES), MORE OR LESS,

SURVEYOR'S CERTIFICATION:

I, ROBERT L. MEADOWS, JR., A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PUD ZONING MAP TRULY AND CORRECTLY REPRESENTS THE ABOVE DESCRIBED LEGAL DESCRIPTION FOR EACH PUD OVERLAY ZONE DISTRICT.

I ATTEST THE ABOVE ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_.

ROBERT L. MEADOWS, JR., PLS  
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR NO. 34977  
FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.

PLANNING COMMISSION CERTIFICATION

THIS PUD PLANNING MAP WAS REVIEWED BY THE PLANNING COMMISSION ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_.

CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

BOARD OF TRUSTEES APPROVAL CERTIFICATE

THIS ZONING MAP IS TO BE KNOWN AS THE "WESTERLY PUD ZONING MAP" AND IS APPROVED AND ACCEPTED BY THE ORDINANCE NO. \_\_\_\_\_, PASSED AND ADOPTED AT THE REGULAR MEETING OF THE BOARD OF TRUSTEES OF ERIE, COLORADO HELD ON \_\_\_\_\_, 20 \_\_\_\_.

MAYOR \_\_\_\_\_

ATTEST \_\_\_\_\_  
TOWN CLERK

CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO )  
COUNTY OF WELD ) ss

I HEREBY CERTIFY THAT THIS ANNEXATION MAP WAS FILED IN MY OFFICE ON THIS

\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_ A.D. AND WAS RECORDED AT

RECEPTION NUMBER \_\_\_\_\_

WELD COUNTY CLERK AND RECORDER

SHEET INDEX

- 1.....COVER
- 2.....ZONING LEGAL DESCRIPTION
- 3.....PUD PLAN & DIMENSIONAL STANDARDS
- 4.....PUD OVERLAY STANDARDS

PUD NOTES:

1. THIS PUD ZONING MAP MODIFIES STANDARDS FOUND IN MUNICIPAL CODE TITLE 10. IN THE EVENT THAT THERE IS A DISCREPANCY BETWEEN THE MUNICIPAL CODE AND THIS PUD, THE PUD SHALL CONTROL. ANY PROVISIONS THAT ARE NOT SPECIFICALLY ADDRESSED IN THIS PUD ZONING MAP SHALL COMPLY WITH THE MUNICIPAL CODE.



APPLICANT/DEVELOPER:  
ERIE LAND COMPANY, LLC  
1225 17TH STREET, SUITE 2420  
DENVER, CO - 80202  
303-887-8075

WESTERLY  
PLANNED UNIT DEVELOPMENT ZONING MAP

LOCATED IN THE WEST HALF OF SECTION 21, TOWNSHIP 1 NORTH,  
RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

**SOUTHERN LAND COMPANY**

Southern Land Company, LLC  
1550 W. McEwen Drive, Suite 200 - Franklin, Tennessee 37067  
Office (615) 779-3150 - Fax (615) 779-9875 - www.southernland.com

people creating spaces

**pcs group inc.**

www.pcsgrouppcs.com  
po box 18287 - denver co 80265  
t 303.331.4905 - f 303.331.4908

**Matrix**  
DESIGN GROUP

REVISIONS:	
1	06.11.2019
2	11.18.2019
3	03.20.2020
4	04.16.2020
5	05.22.2020
6	06.8.2020
DATE: 02.26.2019	
PROJECT #:: PUD 001039-2019	

COVER SHEET
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SHEET NO. <b>1 OF 4</b>
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# WESTERLY - P.U.D. OVERLAY DISTRICT

LOCATED IN THE WEST HALF OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH  
PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

225.64 ACRES  
PUD-001039-2019

## USE TABLE

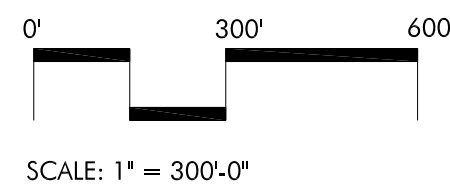
VILLAGE		PERMITTED PRINCIPAL USES
LR	VILLAGE 1	SINGLE FAMILY FRONT LOAD
		SINGLE FAMILY ALLEY LOAD <sup>1</sup>
		DUPLEX ALLEY LOAD <sup>1</sup>
		TOWNHOME ALLEY LOAD <sup>1</sup>
NMU	VILLAGE 2	ALL USES PERMITTED BY THE MUNICIPAL CODE IN THE NMU DISTRICT AS AMENDED

1. ACCESSORY STRUCTURES ARE NOT PERMITTED ON LOTS WHERE VEHICULAR ACCESS IS PROVIDED TO THE REAR OF THE LOT BY AN ALLEY.

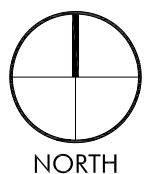
## DIMENSIONAL STANDARDS SUMMARY CHART

	MINIMUM LOT STANDARDS		MINIMUM LOT SETBACKS (FT.)					
LOT TYPE	WIDTH (FT.)	AREA (S.F.)	FRONT ON STREET	FRONT ON GARDEN COURT	SIDE (TO ABUTTING STREET)	SIDE (TO INTERIOR LOT)	REAR	HEIGHT
VILLAGE ONE								
SINGLE FAMILY FRONT LOAD	45'	4,500	PRIN. - 15' GARAGE - 20'	NOT APPLICABLE	8'	5'	PRIN. - 15'	PRIN. - 35' ACC. 25'
	48' CORNER LOTS		ACC. - 25'				ACC. - 5'	
SINGLE FAMILY ALLEY LOAD	34'	3,000	8'	5'	8'	5'	PRIN. - 0'	
	37' CORNER LOTS							
DUPLEX ALLEY LOAD	24'	1,700	8'	5'	8'	5'	PRIN. - 0'	
	27' CORNER LOTS							
TOWNHOME ALLEY LOAD	20'	1,200	8'	5'	8'	5'	PRIN. - 0'	
	28'							
VILLAGE TWO								
LIVE WORK	20'	1,000	5'	NOT APPLICABLE	8'	5'	PRIN. - 0'	PRIN. - 45' ACC. 25'
	28' CORNER LOTS							

1. ZERO LOT LINE SETBACKS SHALL BE PERMITTED FOR ATTACHED BUILDINGS PROVIDED THAT THE BUILDING MEETS THE ZONE DISTRICT INTERIOR LOT LINE SETBACK ON THE SIDE OF THE BUILDING THAT IS NOT ATTACHED.
2. MULTIPLE PRINCIPAL BUILDINGS ON A SINGLE LOT SHALL BE SEPARATED BY A DISTANCE EQUAL TO THE DISTANCE THAT WOULD BE REQUIRED IF THEY WERE SEPARATED BY A LOT LINE.
3. FRONT, SIDE, AND REAR SETBACKS SHALL ALLOW FOR ENCROACHMENTS INTO THE SETBACK OF UP TO 2 FEET FOR ABOVE-GRADE FEATURES INCLUDING EAVES, AND OVERHANGS, EXCEPT WHERE THE SETBACK IS 0', THEN NO ENCROACHMENT IS ALLOWED.
4. SIDE AND REAR SETBACKS SHALL ALLOW FOR ENCROACHMENTS INTO THE SETBACK OF UP TO 3 FEET FOR WINDOW WELLS, EXCEPT WHERE THE SETBACK IS 0', THEN NO ENCROACHMENT IS ALLOWED. WINDOW WELLS ARE REQUIRED TO HAVE A COVER.
5. ON SINGLE FAMILY FRONT LOADED LOTS, REAR SETBACKS SHALL ALLOW FOR AN ENCROACHMENT INTO THE SETBACK OF UP TO 6 FEET FOR A ROOF TO BE CONSTRUCTED OVER AN AT GRADE PATIO OR OVER A DECK WHICH IS LESS THAN 30 INCHES ABOVE GRADE.
6. UTILITY EASEMENTS MAY BE MORE RESTRICTIVE THAN MINIMUM SETBACKS, THE GREATER OF THE MINIMUM SETBACK OR THE UTILITY EASEMENT SHALL GOVERN.
7. ALL LOTS WITHIN VILLAGE 2 EXCEPT AS MODIFIED HEREBY SHALL FOLLOW THE DIMENSIONAL STANDARDS ESTABLISHED BY THE UDC FOR NMU OUTSIDE OF OLD TOWN AS AMENDED.



SCALE: 1" = 300'-0"



APPLICANT/DEVELOPER:  
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WESTERLY  
PLANNED UNIT DEVELOPMENT ZONING MAP  
LOCATED IN THE WEST HALF OF SECTION 21, TOWNSHIP 1 NORTH,  
RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

### REVISIONS:

1	06.11.2019
2	11.18.2019
3	03.20.2020
4	04.16.2020
5	05.22.2020
6	06.8.2020

DATE: 02.26.2019

PROJECT #: PUD 001039-2019

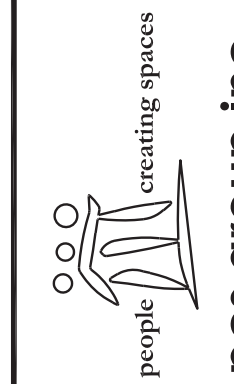
PUD  
OVERLAY  
MAP

SHEET NO.

2 OF 4

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# WESTERLY - P.U.D. OVERLAY DISTRICT

LOCATED IN THE WEST HALF OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH  
PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

225.64 ACRES  
PUD-001039-2019

## SINGLE FAMILY DETACHED ARCHITECTURAL STANDARDS

### 1. Architectural Variety and Character

#### a. Architectural Variety

##### i. Design Standards

- No identical model plan elevation shall be repeated directly across any street from the same model plan and elevation.
- No identical model plan elevation shall be repeated more than once within every 4 lots on the same side of any street.
- A minimum of 3 recognizably different model plans with 3 recognizably different elevations be submitted to the Town for review.

##### ii. Tracking

- It shall be the responsibility of the developer to provide to the Town a plat sheet tracking document that maintains a record of home model variety for every development parcel. The developer shall demonstrate compliance with this Section prior to issuance of a building permit.

#### b. Architectural Character

Each single family detached model plan and elevation shall demonstrate the following design attributes:

##### i. Design Standards:

- Each Elevation shall include a minimum of two windows (or one window and one door) per floor. There shall be at least one opening (window or door) per quadrant of the elevation so that long stretches of wall are broken up by fenestration. However, elevations with a partial or smaller upper level (such as a front facing gable) may be allowed to have a minimum of one window in the upper story and the window shall be appropriate in size to the scale of the upper level mass.

##### B. Wall Plane Change:

Window Articulation that adds shadow and visual interest is encouraged.

The wall plane change shall be proportional to the building elevation, have a depth of at least 12 inches, be at least a full story in height, and be at least 6 feet wide. Recessed planes shall be recognizable as part of the elevation being enhanced.

Each front and rear elevation shall include more than one wall plane,

Or, on front elevations one wall plane may be allowed when one or more of the following is provided.

- Window(s) or Door(s) exceeding the minimum required per floor. The use of shutters may also enhance the total scale of fenestration provided per



FRONT ELEVATION

- elevation quadrant.
- A porch or stoop that is covered.
- Roof Dormers.

C. A variety of roof forms shall be used. Single unbroken roof pitches should be avoided except where a single roof treatment is an essential element of the Architectural Style. (e.g. Mansard)

D. The main roof shall extend beyond the primary façade by a minimum of 12 inches.

Or, on homes with a roof pitch of 10:12 or greater, a gable rake of less than 12 inches may be permitted.

Models with gable rake overhangs of less than 12 inches shall not be located directly across the street from each other or more than once within every 4 lots on the same side of any street.

E. An elevation of the home that faces a street, park, trail corridor or open space area shall provide an “enhanced elevation” which further improves the architectural aesthetic of the residence; an enhanced elevation shall provide three of the following design enhancements. The design enhancement shall be applied in a manner that is consistent with the style of the home. Side and rear elevation design enhancements shall be consistent with the design elements of the front elevation.

- Window(s) of sufficient size and appropriate scale to add character to the elevation.
- A change in wall plane as defined in subsection 1.b.i.B above.
- A porch, patio, or deck that is covered.
- The use of architectural detail elements such as shutters, vents, eave and/or gable brackets, exposed rafter tails, corbels, lintels, trellises, columns or pilasters, additional exterior accent materials, etc. which in combination create an enhanced architectural style.
- The use of two or more exterior materials. Additional materials should be used in locations where it is logical and appropriate and should continue to a natural transition point. To achieve the enhancement the additional material(s) shall be used to cover a minimum of 15% of the elevation being enhanced. Exterior materials may include but are not limited to masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other decorative siding treatment. Different application styles of the same material, for example the application of lap siding in different widths, does not constitute a second material.

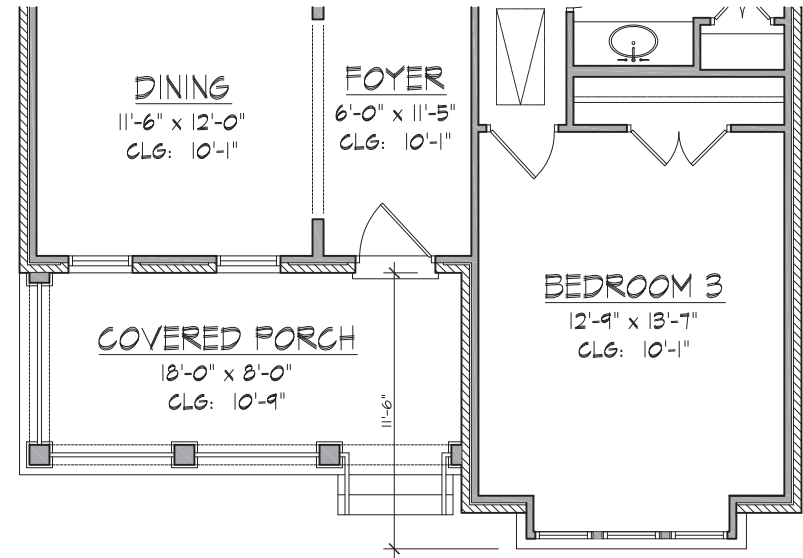
F. Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. (No exposed 4” x 4” posts shall be allowed more than 36 inches above the ground). Columns supporting upper story decks should be 8” x 8” minimum finished.

##### ii. Materials

- All exterior materials shall be of high quality, used in applications and treated appropriately to provide and attractive and long lasting appearance.
- When masonry is used it should be used in locations where its mass is logical and appropriate. In instances where masonry wraps the exterior corner of the home the masonry should continue to a natural transition point such as the inside corner of a projection wall, a column, a door or window or other logical point. In cases where no such feature exists near the corner, the masonry wrap shall extend at least six feet from the corner.

### 2. Orientation of Dwellings to the Street

- Each dwelling unit shall face the front lot line of the property and have at least 1 primary pedestrian



doorway for access to the dwelling unit located on the elevation of the dwelling unit facing the front lot line of the property. The doorway shall be no more than 12 feet from the most forward plane of the forward most living space within the house and shall be clearly visible from the street or public area adjacent to the front lot line (example below).

- For Single Family Front Loaded Lots adjacent to streets on two sides (corner lots), the dwelling may be oriented to either adjacent street and the pedestrian doorway may thus be located facing either adjacent street.

### 3. Garages

These regulations for garages shall be applied to non-living space or storage areas within garages whether used for storage of automobiles or other items.

#### a. Front Loaded Garages:

- Garages shall be recessed a minimum of 8’-0” from the forward most façade, front porch, or covered stoop, whichever length is greatest, for front loaded lots 70’ or greater in width.
- Garages shall be recessed a minimum of 2’-0” from the forward most façade, front porch, or covered stoop, whichever length is greatest, for front loaded lots between 45’ and 69’ feet in width.
- The width of a front-loaded garage shall not exceed 65% of the width of the front elevation.

#### b. Side Loaded Garages:

- On corner lots where the garage is oriented to the side lot line rather than the front lot line, the garage must be set back a minimum of 31’ from the front stoop or porch or from the forward most plane of the front facade when there is not a stoop or porch.

#### c. Alley Load Garages:

- Garages must be oriented to and accessed from the alley when the dwelling is located on a lot with alley access.

#### d. Three or More Car Garage Orientation:

When garage bays exceed two, the additional garage bays shall either:

- Have a different orientation from the first two; or
- Shall be recessed behind the first two by at least two feet when having the same orientation; or
- Shall be tandem to the first two.

### 4. Front Stoop

A front stoop is comprised of stairs and a platform which provides access to a front door when the threshold is not at grade and may be covered or uncovered. For dwelling units with a front stoop, the front stoop platform shall be at least 12 square feet.

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Matrix  
DESIGN GROUP

## WESTERLY

### PLANNED UNIT DEVELOPMENT ZONING MAP

LOCATED IN THE WEST HALF OF SECTION 21, TOWNSHIP 1 NORTH,  
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PROJECT #: PUD 001039-2019

PUD OVERLAY  
STANDARDS

SHEET NO.

3 OF 4



# WESTERLY - P.U.D. OVERLAY DISTRICT

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PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

225.64 ACRES  
PUD-001039-2019

## 5. Front Porches

A front porch is comprised of stairs, platform, and columns or railing and provides access a font door when the threshold is not at grade. A front porch has a generous sized platform which creates an outdoor living space at the front of the house. For dwelling units with a front porch, the front porch shall be at least 60 square feet, and shall have a minimum depth of 6 feet as measured from the stud wall to the column centerline or railing.

## SINGLE FAMILY ATTACHED ARCHITECTURAL STANDARDS

### Additional Standards for Duplex & Townhome Areas

#### 1. Building Design and Character

##### a. General Purpose

The purposes of these building design and character standards are to:

- Establish a more predictable approach to Duplex and Townhome areas that encourages creativity in design for individualism of buildings or dwelling units that results in attractive, long-lasting neighborhoods.

##### b. Building Orientation

###### i. Intent

To organize the primary entrances and facades of Duplex or Townhome buildings with a clear orientation towards a Street or Common Open Space/Greencourt,

(A) To create an integrated neighborhood appearance for Duplex and Townhome areas that establishes a pattern that is integrated with adjacent uses instead of segregated as a separate sub-community.

###### ii. Design Standards

(A) The primary entrance and facade of individual buildings shall be oriented towards:

- Primary internal or perimeter streets, or
- Common open space/Greencourts, such as interior courtyards, parks, or on-site natural areas or features with a clearly defined and easily accessible pedestrian circulation system.

(B) Primary entrances and facades shall not be oriented towards alleys, parking lots, garages, or carports.

##### c. Architectural Character

###### i. Intent

(A) To improve the appearance of Duplex and Townhome areas through the incorporation of architectural detailing, facade articulation, and other features designed to provide a more distinct character and human scale for buildings of all sizes.

(B) To encourage the use of architectural styles that reinforces the Town's traditional character.

###### ii. Design Standards

(A) All sides of a Duplex or Townhome building shall display a similar level of quality and architectural detailing. The majority of a building's architectural features and treatments shall not be restricted to a single facade. Building details, including roof forms, windows, doors, trim, and siding materials, shall reflect the architectural style of the building.

(B) Attached dwelling units may either express each individual unit or give each building the appearance of a large single-family home.

(C) The maximum length of any Townhome building shall be 156 feet.

(D) The incorporation of a variety of roof forms is strongly encouraged on differentiated dwelling units. Generally, Duplex or Townhomes shall incorporate roof pitches of between 3:12 and 16:12; however, alternative roof forms may be permitted at the discretion of the Community Development Director.

(E) Roof overhangs shall extend beyond the primary façade by a minimum of 12 inches.

Or, on homes with a roof pitch of 10:12 or greater, a gable rake of less than 12 inches may be permitted.

Models with gable rake overhangs of less than 12 inches shall not be placed adjacent to or across the street from 1 another.

(F) Horizontal variations in materials along the facade of a Duplex or Townhome building shall occur in conjunction with a change in wall plane, preferably at the inside corner of a wall.

##### d. Architectural Variety

###### i. Intent

(A) To ensure that individual groupings of Duplex or Townhome buildings within a larger development exhibit a distinct variation in size and mass that allows them to be easily distinguished from surrounding building groupings.

(B) To avoid the bleak, "barracks-type" appearance associated with large concentrations of identical or very similar structures.

## (C) Townhomes

- No more than 6 townhome dwelling units may be attached in any single row or building cluster.
- Within each townhome row or cluster, individual dwelling units shall either be differentiated or may express a purposely uniform design.

A. When dwelling units are to be differentiated, dwelling units shall be differentiated through 2 or more of the following methods,

- Use of distinct color variation between individual dwelling units;
- Use of distinct variations in materials between individual dwelling units;
- Use of distinct variations in architectural style or features, such as a porch or similar feature, between individual dwelling units;
- Use of distinct variations in roof form,
- A variation in the plane of the front facade to provide a minimum 1 foot variation between individual dwelling units.

B. When uniformity (sameness or pattern repetition) in design is proposed, this shall be expressed through repetition of 2 or more of the following methods,

- Use of materials both in type and location;
- Size, style, and patterning of windows;
- Size and detailing of front porches;
- Roof dormers, roof form, and roof pitch.

## (D) Duplexes

A continuous row of identical homes along a block shall be prohibited. Individual structures shall be differentiated through 2 or more of the following methods:

- Use of distinct color variation and materials between individual structures;
- Use of distinct variations in roof form, or
- Use of distinct variations in architectural features, such as porches, roof form, windows, or similar feature, between individual structures.

(1) Models with identical facades shall not be placed adjacent to or across the street from 1 another.

##### e. Materials

###### i. Intent

(A) To maximize the quality, value, and longevity of multi-family neighborhoods through the use of durable materials that will minimize maintenance costs and improve the overall appearance of the development.

(B) To encourage the use of recycled and other environmentally- friendly, Leadership in Energy and Environmental Design (LEED) certified building materials.

###### ii. Design Standards

(A) Primary exterior building materials on multi-family structures shall be constructed from durable materials with product warranties or an industry expected life of a minimum of 25-years.

(B) Exterior Insulating and Finish System (EIFS) shall not be permitted.

(C) All multi-family structures shall utilize durable, environmentally sensitive roofing materials with product warranties or an industry expected life of a minimum of 25 years.

## 2. Parking and Garage Placement

On-street parking spaces may be counted towards guest parking for a Duplex or Townhome area, provided the on-street spaces are located on an adjacent or internal street that allows on-street parking.

On-street parking spaces being counted towards the minimum requirement for guest parking shall be identified on plans at time of submittal to the Town. Required dwelling unit parking shall be off-street.

Garages shall be accessed from an alley.

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## WESTERLY

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## PUD OVERLAY STANDARDS

SHEET NO.

4 OF 4