

# ERIE HIGHLANDS PUD ZONING MAP AMENDMENT NO. 2

A PART OF THE NORTHEAST QUARTER OF SECTION 20,  
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

305.126 ACRES  
PUDA-000934-2017

## OVERALL BOUNDARY DESCRIPTION:

ALL THOSE CERTAIN PORTIONS OF ERIE HIGHLANDS FILING NO. 1, AS RECORDED UNDER RECEPTION NO. 4044915, AND ERIE HIGHLANDS FILING NO. 1, 1st AMENDMENT AS RECORDED UNDER RECEPTION NO. 4108023, AND ERIE HIGHLANDS FILING NO. 2, AS RECORDED UNDER RECEPTION NO. 4108025, AND ERIE HIGHLANDS FILING NO. 3, AS RECORDED UNDER RECEPTION NO. 4128216, AND ERIE HIGHLANDS FILING NO. 4, AS RECORDED UNDER RECEPTION NO. 4128218, OF THE RECORDS OF THE WELD COUNTY CLERK AND RECORDER'S OFFICE, SITUATED IN THE NORTH HALF OF SECTION 20, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND BEING A PART OF THE NORTH HALF OF SECTION 20, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**BEGINNING** AT THE NORTHWEST CORNER OF SAID SECTION 20, AND CONSIDERING THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 20 TO BEAR NORTH 88°48'39" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE ALONG SAID NORTH LINE, NORTH 88°48'39" EAST, A DISTANCE OF 2,648.08 FEET TO THE NORTH QUARTER CORNER OF SAID SECTION 20;

THENCE ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 20, NORTH 88°48'06" EAST, A DISTANCE OF 2648.24 FEET TO THE NORTHEAST CORNER OF SAID SECTION 20;

THENCE ALONG THE EAST LINE OF SAID NORTHEAST QUARTER, SOUTH 00°00'25" WEST, A DISTANCE OF 1720.04 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF THAT PARCEL OF LAND DESCRIBED IN DEED RECORDED IN BOOK 509 AT PAGE 79, IN THE OFFICE OF THE CLERK AND RECORDER OF WELD COUNTY;

THENCE DEPARTING SAID EAST LINE AND ALONG SAID NORTHERLY BOUNDARY, SOUTH 78°55'29" WEST, A DISTANCE OF 430.59 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF THAT PARCEL OF LAND DESCRIBED IN DEED RECORDED IN BOOK 1179 AT PAGE 541, IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY BOUNDARY, NORTH 89°59'35" WEST, A DISTANCE OF 27.44 FEET TO THE NORTHWEST CORNER OF SAID PARCEL;

THENCE ALONG THE WESTERLY BOUNDARY OF SAID PARCEL, SOUTH 00°00'25" WEST, A DISTANCE OF 5.38 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF SAID PARCEL DESCRIBED IN BOOK 509 AT PAGE 79;

THENCE ALONG SAID NORTHERLY BOUNDARY, SOUTH 78°55'29" WEST, A DISTANCE OF 769.24 FEET TO THE NORTHEASTERLY CORNER OF THAT PARCEL OF LAND DESCRIBED IN DEED RECORDED IN BOOK 814 AT PAGE 251, IN SAID RECORDS;

THENCE ALONG THE NORTHERLY, WESTERLY AND SOUTHERLY BOUNDARIES OF SAID PARCEL THE FOLLOWING THREE (3) COURSES:

- 1) SOUTH 78°55'29" WEST, A DISTANCE OF 250.00 FEET;
- 2) SOUTH 11°04'31" EAST, A DISTANCE OF 125.00 FEET;
- 3) NORTH 78°55'29" EAST, A DISTANCE OF 250.00 FEET TO THE SOUTHWESTERLY CORNER OF SAID PARCEL DESCRIBED IN BOOK 509 AT PAGE 79;

THENCE ALONG THE SOUTHERLY BOUNDARY OF SAID PARCEL, NORTH 78°55'29" EAST, A DISTANCE OF 744.76 FEET TO A POINT ON THE WESTERLY BOUNDARY OF SAID PARCEL DESCRIBED IN BOOK 1179 AT PAGE 541;

THENCE ALONG SAID WESTERLY BOUNDARY, SOUTH 00°00'25" WEST, A DISTANCE OF 76.02 FEET TO THE NORTHEASTERLY CORNER OF THAT PARCEL OF LAND DESCRIBED IN DEED RECORDED IN BOOK 1044 AT RECEPTION NO. 1983198, IN SAID RECORDS;

THENCE ALONG THE NORTHERLY BOUNDARY OF SAID PARCEL, SOUTH 89°05'08" WEST, A DISTANCE OF 225.15 FEET TO THE NORTHWESTERLY CORNER OF SAID PARCEL;

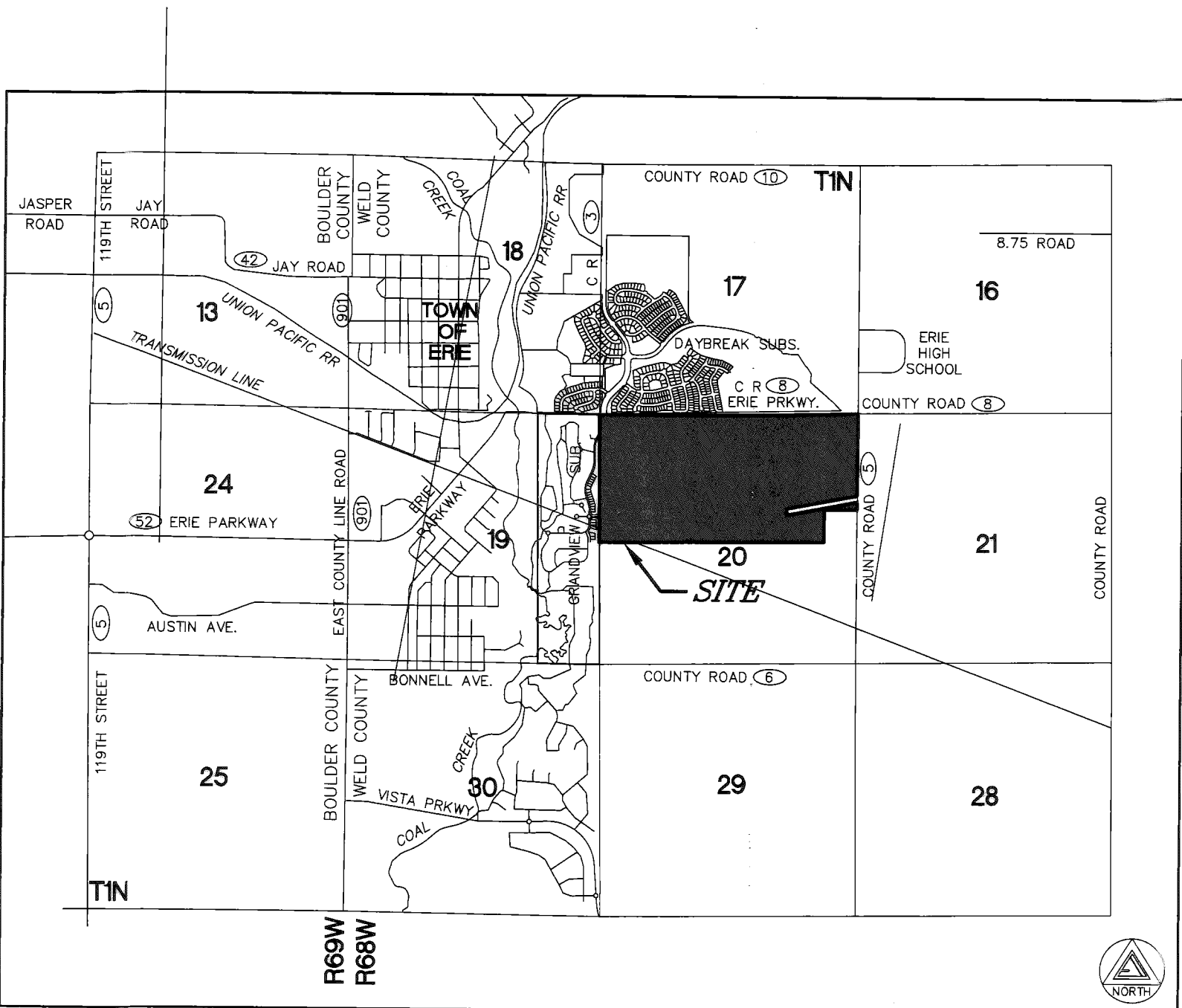
THENCE ALONG THE WESTERLY BOUNDARY OF SAID PARCEL, SOUTH 00°00'21" WEST, A DISTANCE OF 650.47 FEET TO THE SOUTHWESTERLY CORNER OF SAID PARCEL AND A POINT ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 20;

THENCE ALONG SAID SOUTH LINE, SOUTH 89°05'07" WEST, A DISTANCE OF 1,962.78 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 20;

THENCE ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 20, SOUTH 89°05'29" WEST, A DISTANCE OF 2640.94 FEET TO THE WEST QUARTER CORNER OF SAID SECTION 20;

THENCE ALONG THE WEST LINE OF SAID NORTHWEST QUARTER, NORTH 00°21'43" WEST, A DISTANCE OF 2628.51 FEET TO THE **POINT OF BEGINNING**.

CONTAINING AN AREA OF 305.126 ACRES, (13,291,297 SQUARE FEET), MORE OR LESS.



**VICINITY MAP**  
SCALE: 1"=3000'

## NOTES:

1. THIS PUD ZONING MAP MODIFIED THE STANDARDS SET FORTH IN THE TOWN OF ERIE UDC AS PROVIDED FOR IN SECTION 10.2.7.D.
2. IN THE EVENT THAT THERE IS ANY DISCREPANCY BETWEEN THE CODE AND THIS PUD, THE PUD SHALL CONTROL. ANY PROVISIONS THAT ARE NOT SPECIFICALLY ADDRESSED IN THIS PUD ZONING MAP SHALL COMPLY WITH THE CODE.
3. THE MAXIMUM NUMBER OF UNITS ALLOWED IN THIS PUD IS 978.
4. DISTANCES ON THIS MAP ARE GROUND DISTANCES EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
5. AMENDMENT NO.2 ADDS SHEET 4 AND MODIFIES/ADDS DETAILS WHICH RELATE ONLY TO PLANNING AREA 9 AND MAKES NO CHANGES TO TO OTHER PLANNING AREAS IN THE PUD.

## SURVEYOR'S CERTIFICATE

I, TONY PEALL, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PUD ZONING MAP TRULY AND CORRECTLY REPRESENTS THE ABOVE DESCRIBED LEGAL DESCRIPTION.

I ATTEST TO THE ABOVE ON THIS 20TH DAY OF JANUARY, 2020.

TONY PEALL

COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR # 38636



## PLANNING COMMISSION CERTIFICATE

THIS PUD ZONING MAP WAS REVIEWED BY THE PLANNING COMMISSION ON THE 18th DAY OF December, 2019.

CHAIRPERSON

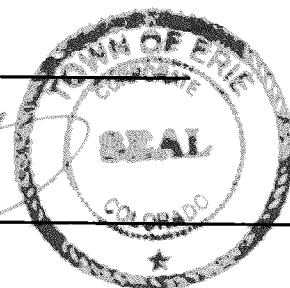
12-18-19  
DATE

## BOARD OF TRUSTEES APPROVAL CERTIFICATE

THIS PUD ZONING MAP IS TO BE KNOWN AS THE "ERIE HIGHLANDS PUD ZONING MAP AMENDMENT NO. 2" AND IS APPROVED AND ACCEPTED BY ORDINANCE NO. 5-2020, PASSED AND ADOPTED AT THE REGULAR MEETING OF THE BOARD OF TRUSTEES OF ERIE, COLORADO, HELD ON January 14, 2020.

MAYOR *Pro Tem*

ATTEST *[Signature]*  
TOWN CLERK



## CLERK & RECORDER CERTIFICATE

STATE OF COLORADO )  
COUNTY OF WELD ) ss.

I DO HEREBY CERTIFY THAT THIS PUD ZONING MAP WAS FILED IN MY OFFICE ON THIS                      DAY OF                     , 20   A.D. AND WAS RECORDED AT RECEPTION NUMBER                     .

                     COUNTY CLERK AND RECORDER

## APPLICANT / OWNER

CLAYTON PROPERTIES GROUP II, INC.  
4908 TOWER ROAD  
DENVER, CO 80249  
(303) 486-8500  
CONTACT: BRUCE RAU

## PLANNER

TERRACINA DESIGN  
10200 E. GIRARD AVE.  
SUITE A-314  
DENVER, CO 80231  
(303) 632-8867  
CONTACT: LAYLA ROSALES

## ENGINEER

CORE CONSULTANTS  
1950 WEST LITTLETON BLVD.  
SUITE 109  
LITTLETON, COLORADO 80120  
(303) 703-4444  
CONTACT: DAVID FORBES

## SURVEYOR

AZTEC CONSULTANTS  
300 E. MINERAL AVENUE, SUITE 1  
LITTLETON, COLORADO 80122  
(303) 713-1898  
CONTACT: TONY PEALL

## SHEET INDEX

- |   |                    |
|---|--------------------|
| 1 | COVER              |
| 2 | PUD PLAN           |
| 3 | PUD NOTES          |
| 4 | PUD NOTES/EXHIBITS |



PROJECT NAME

ERIE HIGHLANDS  
PUD ZONING MAP AMENDMENT NO. 2  
TOWN OF ERIE, COLORADO

SHEET TITLE

COVER SHEET

SHEET NUMBER

1

SHEET 1 OF 4

October 15, 2019



# ERIE HIGHLANDS PUD ZONING MAP AMENDMENT NO. 2

A PART OF THE NORTHEAST QUARTER OF SECTION 20,  
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

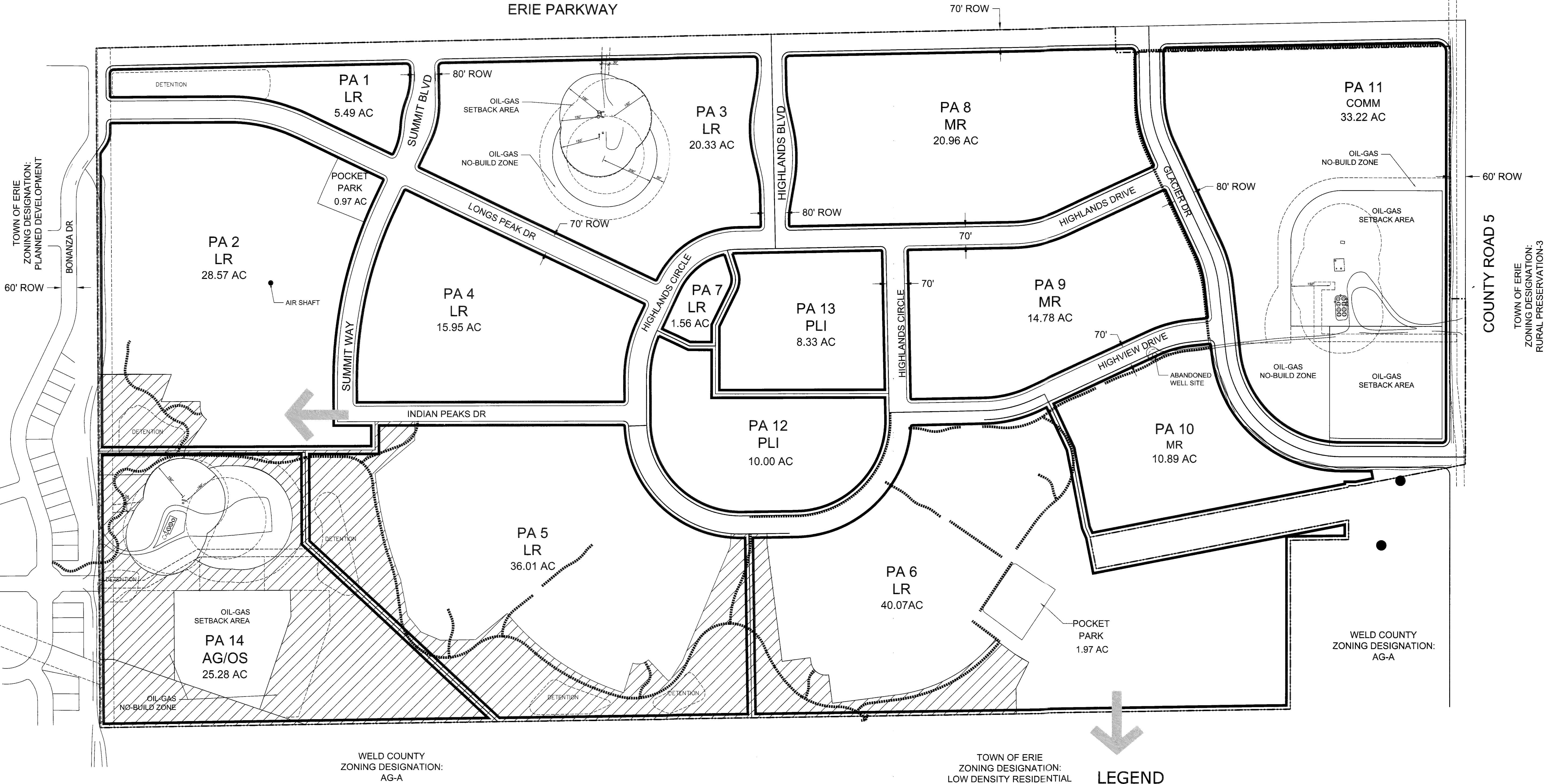
305.126 ACRES  
PUDA-000934-2017

PARKS & OPEN SPACE		
PARK AREA	ACRES REQUIRED	ACRES TO BE PROVIDED
COMMUNITY PARK	13.64	FEE IN LIEU
NEIGHBORHOOD PARK	8.19	8.33
POCKET PARK	1.36	1.97
OPEN SPACE (PUBLIC)	46.39	33.39 + FEE IN LIEU

TOWN OF ERIE  
ZONING DESIGNATION: LOW  
DENSITY RESIDENTIAL

DEVELOPMENT SUMMARY		
LAND USE	ACRES	% ACRES
Residential	174.99	57.3%
Commercial	33.22	10.9%
School	10.02	3.3%
Parks & Open Space	53.22	17.4%
Right-of-Way	33.68	11.0%
<b>TOTAL</b>	<b>305.13</b>	

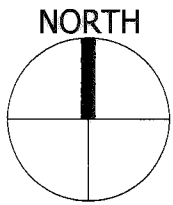
ERIE PARKWAY



WELD COUNTY  
ZONING DESIGNATION:  
AG-A

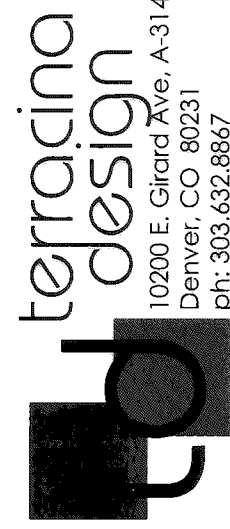
TOWN OF ERIE  
ZONING DESIGNATION:  
LOW DENSITY RESIDENTIAL

- LEGEND**
- OPEN SPACE (PUBLIC)
  - TRAIL CONNECTIONS
  - OIL & GAS- SUA SETBACKS
  - OIL & GAS- NO-BUILD ZONE



Scale: 1"=200'

0 100 200 400



PROJECT NAME

ERIE HIGHLANDS  
PUD ZONING MAP AMENDMENT NO. 2  
TOWN OF ERIE, COLORADO

SHEET TITLE

PUD PLAN

SHEET NUMBER

2

SHEET 2 OF 4

October 15, 2019



# ERIE HIGHLANDS PUD ZONING MAP AMENDMENT NO. 2

A PART OF THE NORTHEAST QUARTER OF SECTION 20,  
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

305.126 ACRES  
PUDA-000934-2017

## ARCHITECTURAL STANDARDS-SINGLE FAMILY RESIDENTIAL DETACHED - PA 1-8

### 1. Architectural Variety and Character a. Architectural Variety

#### i. Design Standards

- No identical model plan elevation shall be repeated directly across any street from the same model plan and elevation.
- No identical model plan elevation shall be repeated more than once within every 4 lots on the same side of any street.
- A minimum of 3 alternative elevations for each model plan shall be submitted to the Town for review.

#### b. Architectural Character

Each single family detached model plan and elevation shall demonstrate the following design attributes:

#### i. Design Standards

- Each elevation shall include a minimum of two windows (or one window and one door) per floor.
- Each front and rear elevation shall include more than one wall plane. Articulation that adds shadow and visual interest is encouraged.
- A variety of roof forms should be used. Single unbroken roof pitches should be avoided, except where a single roof treatment is an essential element of the Architectural Style. (e.g. Mansard)
- The main roof should extend beyond the primary façade by a minimum of one foot.
- An elevation of the home that faces a street, park, trail corridor or open space area shall provide an "Enhanced Elevation". An "Enhanced Elevation" shall provide three or more of the following design enhancements listed in (1) through (5) below. Application of the design enhancement shall be applied in a manner that is consistent with the style of the home. Side and rear elevation design enhancements shall be consistent with the design elements of the front elevation.

- The addition of one window unit.
- A change in wall plane by providing one or more of the following options:
  - An additional wall plane change. Minimum six feet in width and one foot projection.
  - A projecting or cantilevered living space.
  - A bay or boxed window.
- A covered porch or deck.
- The addition of architectural detail elements such as: shutters, eave brackets, exposed rafter tails, corbels, lintels, trellises, columns or pilasters.
- The use of a minimum of two exterior cladding materials that can include materials such as masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other decorative siding treatment.

- (F) Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. (No exposed 4"x4" posts shall be allowed more than 36 inches above the ground). Columns supporting upper story decks should be 8"x8" minimum finished.

#### ii. Materials

- All exterior materials shall be of high quality, used in applications and treated appropriately to provide an attractive and long lasting appearance.
- When masonry cladding is used in locations where its mass is logical and appropriate. In instances where masonry wraps the exterior corner of the home the masonry should continue to a natural transition point such as an inside corner of a projecting wall, a column, a door or window or other logical point. In cases where no such feature exists near the corner, the masonry wrap shall extend at least six feet from the corner.

### 2. Orientation of Dwellings to the Street

Each residence shall have at least one primary pedestrian doorway for access to the dwelling unit facing and generally visible from the front lot line of the property, and within twelve feet of the most forward plane of the ground level living space. On corner lots, the pedestrian doorway may face any adjacent street. An exception shall be made for alley-loaded single-family detached dwelling units that do not have street frontage but do front onto a park, or landscaped common area . In such case where the dwelling unit does not have street frontage, one primary pedestrian doorway shall be oriented toward a common pedestrian walk that connects to a street.

### 3. Garages

These regulations for garages shall be applied to non-living space or storage areas within garages whether used for storage of automobiles or other items.

#### a. Diversity of Garage Orientation:

- Except for garages oriented to alleys, all single family homes shall provide garages that meet one of the requirements below, and a variety in garage orientation by providing a minimum of two of the following garage orientations on any subdivision filing.

- Recessed garage; where the primary garage door generally faces the front lot line and the garage is recessed a minimum of two feet behind the most forward plane of the main floor living space or a front porch.
- Projecting garages; where the primary garage door generally faces the front lot line and the garage projects no more than fifteen feet from the front door.
- Side loaded garages.
- Garages recessed a minimum of two feet beneath a second floor living space.

#### b. Width / Façade Ratio

The width of a front loaded garage shall not exceed 65% of the width of the front elevation.

#### c. Three or More Car Garage Orientation

The third of more bay of any three or more garage shall either:

- Have a different orientation from the first two; or
- Shall be recessed behind the first two by at least two feet when having the same orientation; or
- Shall be tandem to the first two.

### 4. Front Stoop

For model plans with a front stoop; the front stoop shall include the platform and stairs that are generally in front of a door that can be covered or uncovered. The maximum width of a covered front stoop shall be three feet in width from the side of the front door. Covered platforms that exceed three feet in width from the side of the front door shall be considered a front porch.

### 5. Front Porches

For model plans with a front porch; the front porch shall be a minimum size of fifty square feet, excluding the stoop with a minimum depth of five feet.

DEVELOPMENT STANDARDS									
PLANNING AREA	ZONE DISTRICT	MIN LOT WIDTH	MIN LOT NET AREA (SF)	FRONT SETBACK	FRONT SETBACK (PORCH)	STREET SETBACK	INTERIOR LOT LINE SETBACK	REAR SETBACK	MAX. HEIGHT
PA-1	LR	60'(4)	6,000	16' (2)	10'	10' (1)(4)	5' (1)	20' (3)	35'
PA-2	LR	45' (4)	4,500	16' (2)	10'	10' (1)(4)	5' (1)	20' (3)	35'
PA-3	LR	60' (4)	6,000	16' (2)	10'	10' (1)(4)	5' (1)	20' (3)	35'
PA-4	LR	50'(4)	5,000	16' (2)	10'	10' (1)(4)	5' (1)	20' (3)	35'
PA-5	LR	60' (4)	6,000	16' (2)	10'	10' (1)(4)	5' (1)	20' (3)	35'
PA-6	LR	45' (4)	4,500	16' (2)	10'	10' (1)(4)	5' (1)	20' (3)	35'
PA-7	LR	45'	4,500	15'	N/A	N/A	5' (1)	5'	35'
PA-8	MR	45' (4)	4,500	16' (2)	10'	10' (1)(4)	5' (1)	20' (3)	35'

- Permitted encroachments. Side setbacks shall allow for encroachments up to twelve(12) inches beyond the building foundation for window wells and above grade features including eaves, counterforts, fireplace box out, stoops, bay windows, room cantilevers and overhangs provided that the living space of the projection does not exceed six (6) feet in width. There shall be no more than two above grade encroachments per elevation totaling no more than twenty (20) sf.
- Front loaded garages shall be set back twenty (20) feet. A sixteen(16) foot front setback allowed with side loaded garage
- Unenclosed covered patios may project up to eight (8) feet into a rear setback. The projection shall be at least five feet from the property line.
- The minimum lot width shall be measured from the front setback line and shall be increased on corner lots to accommodate the additional side on street setback.

LAND USE SUMMARY					
TRACT	ZONE DISTRICT	AREA (ACRES)	PRIMARY USE	DWELLING UNITS	PUBLIC OPEN SPACE PROVIDED
LOW DENSITY RESIDENTIAL					
PA 1	LR	5.49	SFD	7	2.896
PA 2	LR	28.57	SFD	125	
PA 3	LR	20.33	SFD	37	
PA 4	LR	15.95	SFD	86	
PA 5	LR	36.01	SFD	84	16.633
PA 6	LR	40.07	SFD	146	
PA 7	LR	1.46	AMENITY	0	
SUBTOTAL		147.88			
RIGHT OF WAY		16.79			
SUBTOTAL		164.67		485	19.53
MEDIUM DENSITY RESIDENTIAL					
PA 8	MR	20.96	SFD	120	
PA 9	MR	14.79	SFD	170	
PA 10	MR	10.89	TH/ APT	203	
SUBTOTAL		46.64			
RIGHT OF WAY		10.56			
SUBTOTAL		57.20		493	
COMMUNITY COMMERCIAL					
PA 11		33.22	COMM		
SUBTOTAL		33.22			
RIGHT OF WAY		6.33			
SUBTOTAL		39.55			
PUBLIC LAND AND INSTITUTIONS					
PA 12		10.02	SCHOOL		
PA 13		8.41	N PARK		
SUBTOTAL		18.43			
AGRICULTURAL / OPEN SPACE					
PA 14		25.28	OPEN SPACE		13.86
SUBTOTAL		25.28			
TOTAL		305.13		978	33.39

## NOTES

- Density: Dwelling units may be transferred between planning areas in the same zone district as long as the maximum density allowed within that zone district is not exceeded.
- Erie Parkway: Thirty (30) foot landscape buffer not required when a local road is directly adjacent. (i.e. frontage road condition). Thirty (30)foot landscape buffer is required when lots abut Erie Parkway right of way.
- Fencing along Erie Parkway shall not exceed six feet in height which may include opaque fencing in straight runs limited to approximately 600 feet in length without a break and shall be limited to 30% of the total frontage of Erie Parkway. Masonry columns shall not exceed six feet in height with a four inch cap and shall be provided on corners of lots a minimum of every three lots for all opaque fencing along Erie Parkway.
- Double frontage lots abutting collector or local roads shall be an additional 10 feet in depth. A twenty (20) foot landscape buffer will be provided along local and collector roads abutting double frontage lots.
- Planning areas shown with apartments and townhomes land use designation shall be allowed to develop with lower density uses including single family attached and detached as long as the minimum housing diversity requirements and minimum gross density for the zone district are met.
- The trail along Highview Drive within PA-6 and PA-10 shall be located within a landscape tract and meander.



DESIGN STANDARDS - PA 9

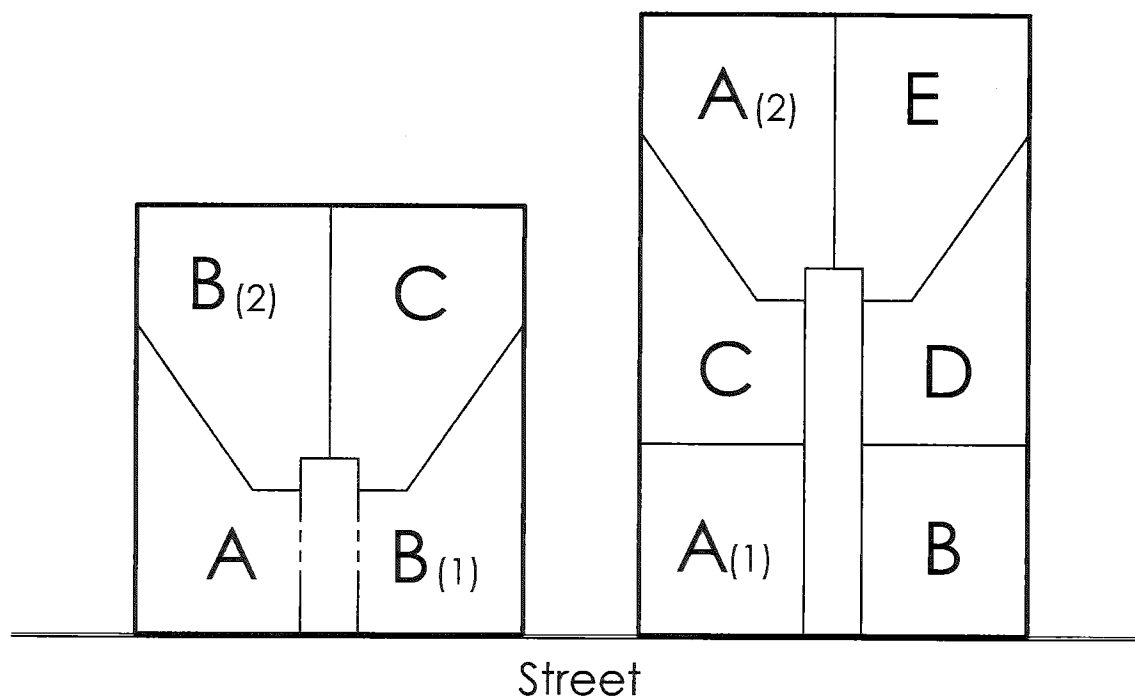
1. Architectural Variety

A. Street Fronting Lots

- No identical model plan elevation shall be repeated directly across any street from the same model plan and elevation.
- No identical model plan elevation shall be repeated more than once within every 4 lots on the same side of any street.
- A minimum of 3 alternative elevations for each model plan shall be submitted to the Town for review.

B. Within the Motorcourts

- No more than two (2) of the same model are permitted within a motorcourt.
- If two (2) of the same model do exist within the same motorcourt, they shall be of different elevations.



MOTORCOURT VARIETY EXHIBIT

Scale: NTS

2. Architectural Character - Each model plan and elevation shall demonstrate the following design attributes

A. Models on Street Side Lots

- Each Front, Street Side, and Street Rear Elevation shall include a minimum of two windows (or one window and one door) per floor. Acceptable minimum window size shall be a single window 4 sq ft minimum or a group of windows within the same room totaling 4 sq ft. Windows on the Front and Street Side Elevations shall have windows laid out in a pattern that reflects rhythm, balance, symmetry, and intentional design.
- Each Street Side Elevation shall include a covered wrap around porch.
- Each Interior Rear and Interior Side Elevation shall include a minimum of 20 sf of window area which may include windows within doors.
- Each Front Elevation shall include more than one wall plane.
- The main roof shall extend beyond the primary façade by a minimum of one foot.

B. Models on Middle Lots

- Each Front and Street Rear Elevation shall include a minimum of two windows (or one window and one door) per floor. Acceptable minimum window size shall be a single window 4 sq ft minimum or a group of windows within the same room totaling 4 sq ft.
- Each Interior Rear and Interior Side Elevation shall include a minimum of 20 sf of window area which may include doors.
- Each Front Elevation shall include more than one wall plane.
- The main roof shall extend beyond the primary façade by a minimum of one foot.

C. Models on Rear of Cul De Sac Lots

- Each Front and Rear Elevation shall include a minimum of two windows (or one window and one door) per floor. Acceptable minimum window size shall be a single window 4 sq ft or a group of windows within the same room totaling 4 sq ft.
- Interior Side Elevations shall include a minimum of 20 sf of window area which may include doors.
- Each Front Elevation shall include more than one wall plane.
- Windows are required in the garage door.
- The main roof shall extend beyond the primary façade by a minimum of one foot.

D. Enhanced Elevation

An elevation of the home that faces a street, park, trail corridor or open space area shall provide an "Enhanced Elevation." An "Enhanced Elevation" shall provide three or more of the following design enhancements listed below in addition to those elements required above. Application of the design enhancement shall be applied in a manner that is consistent with the style of the home. Side and rear elevation design enhancements shall be consistent with the design elements of the front elevation.

- A change in wall plane by providing one or more of the following options:
  - An additional wall plane change. Minimum six feet in width and one foot projection.
  - A projecting or cantilevered living space.
  - A bay or boxed window.
- A porch, patio, or deck that is covered.
- The use of architectural detail elements such as: shutters, vents, eave and/or gable brackets, exposed rafter tails, corbels, lintels, trellises, columns or pilasters, decorative variations in the style of the same material, etc. which in combination, create an enhanced architectural style.
- The use of two or more exterior cladding materials that can include materials such as masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other material. The second material shall cover a minimum of 15% of the façade.

- Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. (No exposed 4"x4" posts shall be allowed more than 36 inches above the ground). Columns supporting upper story decks should be 8"x8" minimum finished.

F. Materials

- All exterior materials shall be of high quality, used in applications and treated appropriately to provide an attractive and long lasting appearance.
- Masonry cladding shall be used only in locations where its mass is logical and appropriate. In instances where masonry wraps the exterior corner of the home the masonry should continue to a natural transition point such as an inside corner of a projecting wall, a column, a fence line, a door or window or other logical point.

# ERIE HIGHLANDS PUD ZONING MAP AMENDMENT NO. 2

A PART OF THE NORTHEAST QUARTER OF SECTION 20,  
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

305.126 ACRES  
PUDA-000934-2017

3. Motorcourt Design

- The motorcourt, which includes the driveway on the shared tract and the private garage aprons on private lots, shall be colored pavers installed in a decorative pattern.

4. Orientation of Dwellings

- Each residential lot shall be provided with lot frontage on the motorcourt which provides access to a public street.
- Dwellings in middle and rear of cul-de-sac lots shall be oriented towards the motorcourt with both the primary pedestrian door and garage facing the motorcourt.
- Dwellings on street side lots shall have the primary pedestrian door facing the street and the garage door shall face the motorcourt.

5. Garages

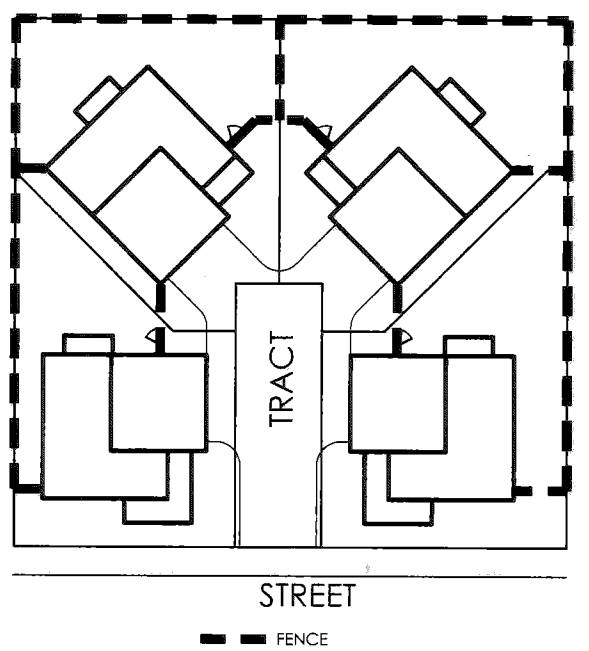
- Regulations for garages shall be applied to non-living space and/or storage areas within garages whether used for storage of automobiles or other items.
- All garages will face the motorcourt.
- The width of a garage shall not exceed 67% of the width of the front elevation

6. Front Porches

- A front porch that is a minimum of 50 square feet and five feet in depth inclusive of the front stoop is required on all models not adjacent to the street.
- Street Side models shall include a wrap-around porch that extends a minimum of 12 feet wide on the side with a minimum depth of five feet. The porch shall be a minimum of 100 square feet inclusive of the front stoop.

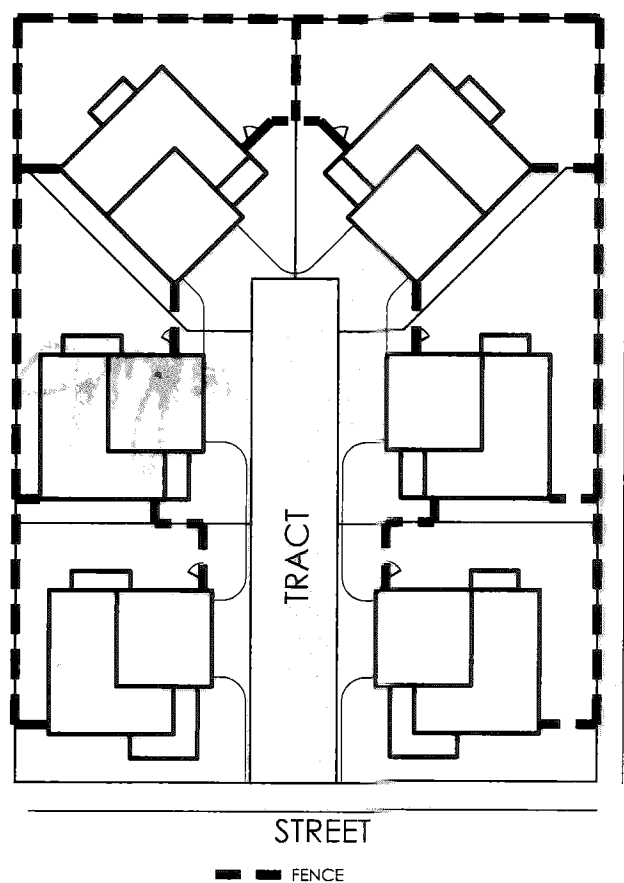
7. Fencing

- Fences must be located as shown in the exhibits below.
- Fences adjacent to open spaces, trails, and tracts will be open fence style.



4 PACK FENCING EXHIBIT

Scale: NTS

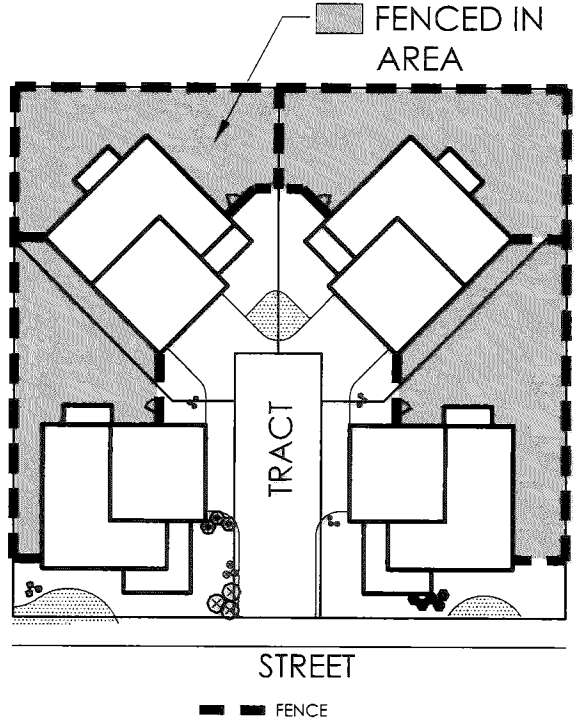


6 PACK FENCING EXHIBIT

Scale: NTS

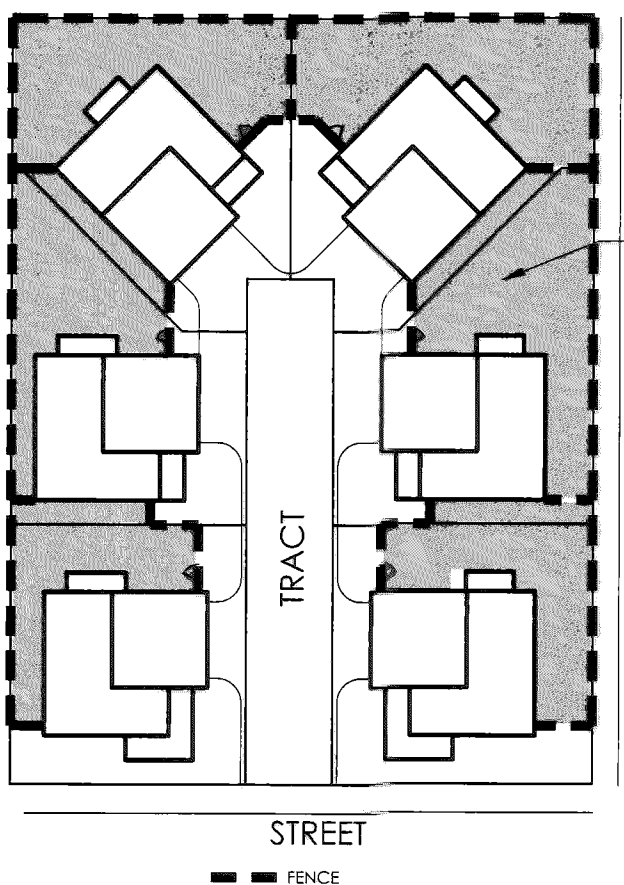
8. Rear and Side Yard Landscaping

- 50% of the combined side and rear yards, identified as the fenced in area below, shall be either landscaped with live plant material or paving material which creates patio. The other 50% of the area shall be landscaped in a way that covers bare dirt with rock, mulch or other material suitable to prevent erosion, suppress weeds, and provide an attractive and long lasting appearance.



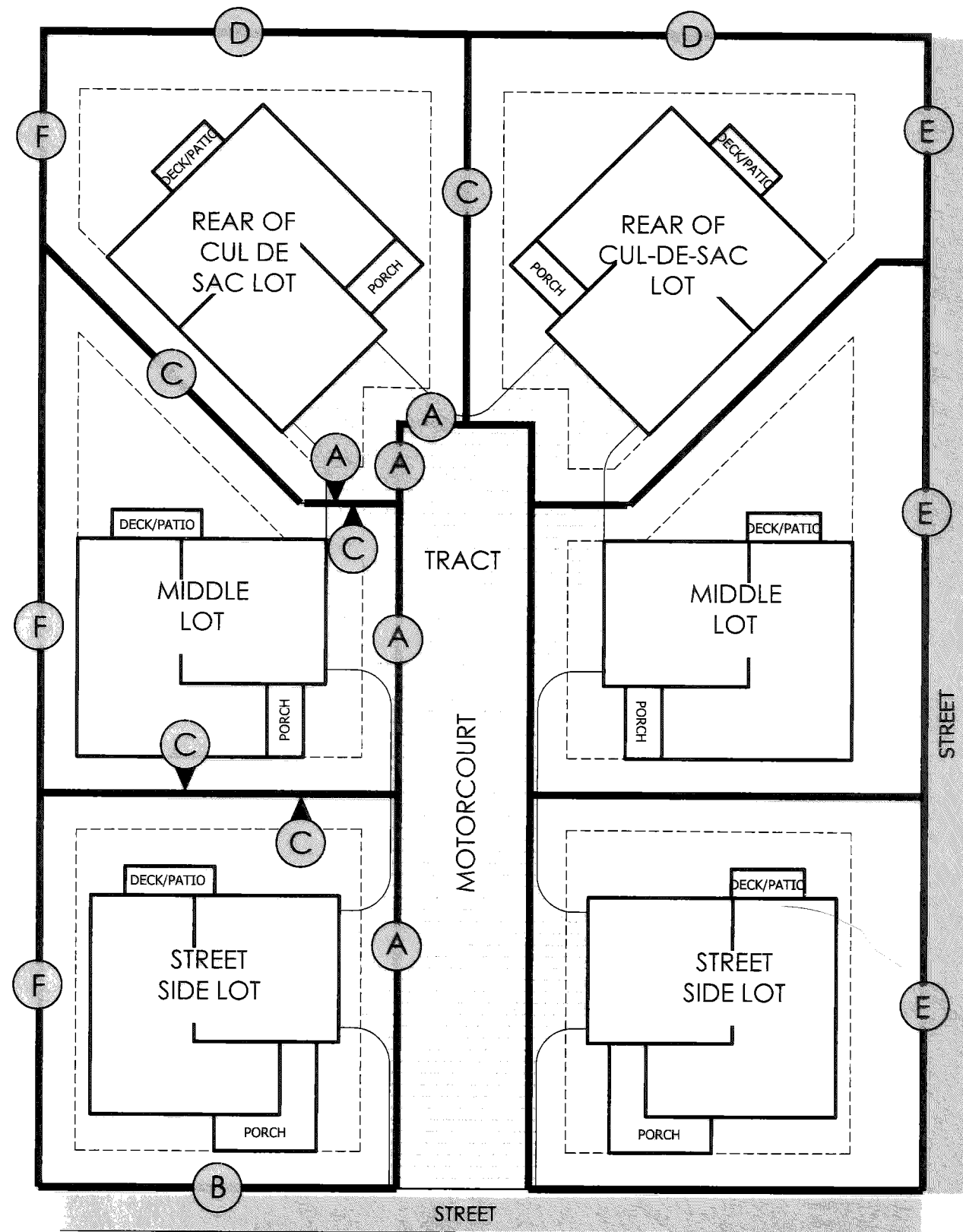
4 PACK REAR YARD EXHIBIT

Scale: NTS



6 PACK REAR YARD EXHIBIT

Scale: NTS

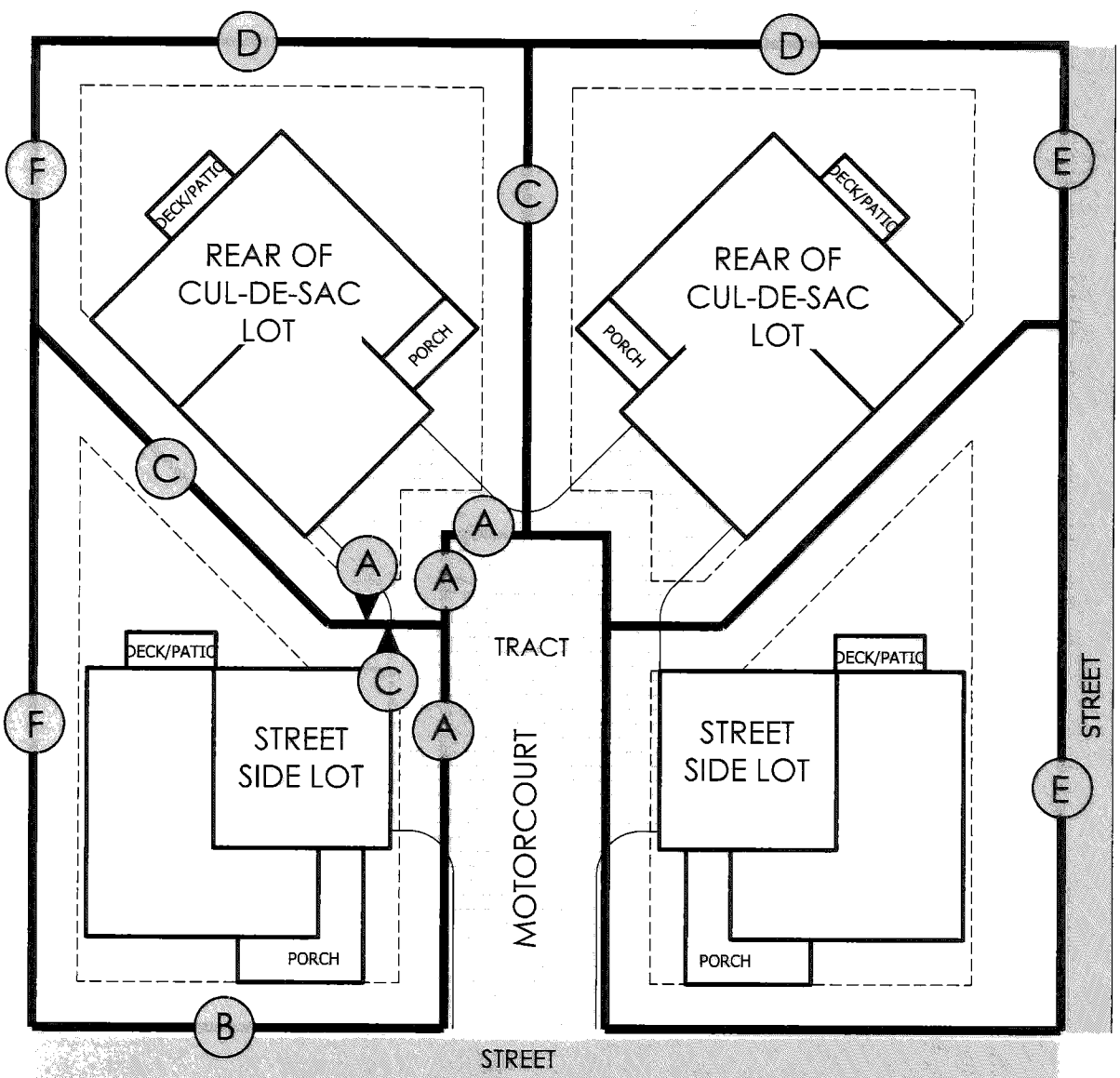


LOT LINES  
(A) FRONT  
(B) STREET SIDE  
(C) INTERIOR SIDE  
(D) REAR  
(E) STREET REAR  
(F) INTERIOR REAR

LOT LINE  
SETBACK BOUNDARY

6 PACK DEFINITIONS KEY

Scale: NTS



LOT LINES  
(A) FRONT  
(B) STREET SIDE  
(C) INTERIOR SIDE  
(D) REAR  
(E) STREET REAR  
(F) INTERIOR REAR

LOT LINE  
SETBACK BOUNDARY

4 PACK DEFINITIONS KEY

Scale: NTS



PROJECT NAME

ERIE HIGHLANDS  
PUD ZONING MAP AMENDMENT NO. 2  
TOWN OF ERIE, COLORADO

SHEET TITLE

PUD  
NOTES/EXHIBITS

SHEET NUMBER

4

SHEET 4 OF 4

October 15, 2019