



The Town of Erie
645 Holbrook St.
P.O. Box 750
Erie, CO 80516
(303) 926-2774
smoeller@erieco.gov

Planning & Development Planning

Memo

To: Samantha Crowder

From: Chris LaRue, Senior Planner

Date: February 10, 2021

Re: PUDA- 01184-2020, Bridgewater PUD Amendment No. 6

cc: Fred Starr; Deborah Bachelder; David Pasic; Tyler Burhenn; Luke Bolinger; Patrick Hammer; Darren Champion

Town staff has reviewed the application for PUDA-01184-2020 Bridgewater PUD Amendment No. 6 application for conformance with Municipal Code, Title 10 at the February 4, 2021 Development Review Team meeting. A list of the Town staff that have commented and referral agencies that have responded are listed below. Referral comments received by the Town after the date of this memo shall be forwarded on to the applicant.

The next step for the application is revision and resubmittal for another referral and Development Review Team review before the scheduling of public hearings for the applications can be determined. Please make the appropriate revisions to the application materials and provide written response to address each written comment from the Town staff and referral agencies.

Digital Copies:

- 1 Digital Copy of written response and all resubmittal documents. Digital copies will be distributed to the following referral agencies:
 1. Town of Erie – internally distributed to: Planning
- The following agencies provided comments that do not require a response:
 1. Mountain View Fire District
 2. St. Vrain Valley School District
- The following agencies did not provide any comments:
 1. Colliers Hill HOA
 2. Daybreak Metropolitan Districts
 3. Erie Highlands HOA & Metropolitan District

Planning Comments

PUD AMENDMENT NO. 3

1. Please refer to redlines for specific comments on the PUD document (**attached**).

NEIGHBORHOOD MEETING

A neighborhood Meeting with notices 500 ft from all of village 14 is required per the UDC Section 10.7.6.D. This meeting needs to be held prior to scheduling any public hearings for PUD Amendment No. 6. Please note that generally, the Board of Trustees has expressed concern about the effectiveness of gathering neighborhood input if a neighborhood meeting is held far in advance of a public hearing. Staff may recommend that an additional neighborhood meeting is held if the timing of the public hearing will significantly exceed six months after the neighborhood meeting.

INFORMATIONAL COMMENTS

The following comments are informational in nature and do not require a response at this time:

1. Review Process: Prior to scheduling of the PUDA for public hearings, the final signed mylar for the shall be submitted to staff. At the time that the PUDA is acceptable to staff, the items shall be placed on the next available Planning Commission meeting as a public hearing. Prior to the hearing, the applicant shall be responsible for providing all items requested by staff. After the PC hearing, a Board of Trustees hearing is required. If the BOT approves the items, the PUDA and Rezoning documents shall be recorded.

The review process is a cumulative process and dependent on various criteria. We reserve the right to provide further comment(s) and request additional information. Please contact me at 303-926-2776 or clarue@erieco.gov for further clarification. Staff is happy to schedule a virtual meeting to discuss the comments.

Sincerely,

Christopher C. LaRue
Senior Planner

ATTACHMENTS:

1. Redlines: Planning (PUDA)
2. Engineering – no comments
3. Referral Comments: Mountain View Fire & St. Vrain School District

Could we replace "Bridgewater" with "Colliers Hill"?

BRIDGEWATER P.U.D. OVERLAY MAP – AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

965.83 ACRES
PUDA-001184-2020

OVERALL BOUNDARY DESCRIPTION:

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, ALL IN TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST QUARTER CORNER OF SECTION 8;
 THENCE S00°49'09"W, 2,674.68 FEET ALONG THE EASTERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 8 TO THE SOUTHEAST CORNER OF SECTION 8/NORTHEAST CORNER OF SECTION 17;
 THENCE S00°12'52"E, 2,631.66 FEET ALONG THE EASTERLY LINE OF THE NORTHEAST QUARTER OF SECTION 17 TO THE EAST QUARTER CORNER OF SECTION 17;
 THENCE S00°13'30"E, 2,631.71 FEET ALONG THE EASTERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 17 TO THE SOUTHWEST CORNER OF SECTION 17;
 THENCE S88°48'09"W, 2,648.37 FEET ALONG THE SOUTHERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 17 TO THE SOUTH QUARTER CORNER OF SECTION 17;
 THENCE S88°48'45"W, 2,648.06 FEET ALONG THE SOUTHERLY LINE OF THE SOUTHWEST QUARTER OF SECTION 17 TO THE SOUTHWEST CORNER OF SECTION 17/SOUTHEAST CORNER OF SECTION 18;
 THENCE N89°31'17"W, 1,298.14 FEET ALONG THE SOUTHERLY LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 18 TO THE EAST SIXTEENTH CORNER OF SECTIONS 18 AND 19;
 THENCE N89°30'44"W, 88.21 FEET ALONG THE SOUTHERLY LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 18;
 THENCE N00°29'16"E, 130.00 FEET;
 THENCE 453.09 FEET ALONG THE ARC OF A TANGENT CURVE TO THE LEFT, SAID ARC SUBTENDED BY A RADIUS OF 440.00 FEET, A CENTRAL ANGLE OF 59°00'00", AND A CHORD BEARING N29°00'44"W, 433.33 FEET;
 THENCE N58°30'44"W, 204.67 FEET;
 THENCE ALONG THE EASTERLY RIGHT OF WAY OF THE UNION PACIFIC RAILROAD AS CONVEYED BY DEED RECORDED IN BOOK 359 AT PAGE 418, BEING A LINE PARALLEL WITH AND 50.00 FEET EAST OF THE CENTERLINE OF THE TRACKS AS PRESENTLY CONSTRUCTED, THE FOLLOWING NINE COURSES:

- 1) 629.21 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, SAID ARC SUBTENDED BY A RADIUS OF 1,007.50 FEET, A CENTRAL ANGLE OF 35°46'57", AND A CHORD BEARING N07°31'37"E, 619.03 FEET;
- 2) N10°21'52"W, 694.70 FEET;
- 3) 894.20 FEET ALONG THE ARC OF A TANGENT CURVE TO THE RIGHT, SAID ARC SUBTENDED BY A RADIUS OF 1,287.50 FEET, A CENTRAL ANGLE OF 39°47'36", AND A CHORD BEARING N09°31'57"E, 876.34 FEET;
- 4) N29°25'45"E, 224.87 FEET;
- 5) 463.85 FEET ALONG THE ARC OF A TANGENT CURVE TO THE LEFT, SAID ARC SUBTENDED BY A RADIUS OF 1,673.50 FEET, A CENTRAL ANGLE OF 15°52'51", AND A CHORD BEARING N21°29'19"E, 462.36 FEET;
- 6) N13°32'54"E, 421.72 FEET;
- 7) 966.20 FEET ALONG THE ARC OF A TANGENT CURVE TO THE LEFT, SAID ARC SUBTENDED BY A RADIUS OF 2,957.50 FEET, A CENTRAL ANGLE OF 18°43'06", AND A CHORD BEARING N04°11'21"E, 961.91 FEET;
- 8) N05°10'12"W, 351.67 FEET;
- 9) 165.07 FEET ALONG THE ARC OF A TANGENT CURVE TO THE RIGHT, SAID ARC SUBTENDED BY A RADIUS OF 1,575.00 FEET, A CENTRAL ANGLE OF 06°00'18", AND A CHORD BEARING N02°10'03"W, 165.00 FEET TO THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF SECTION 18;

THENCE S89°14'48"E, 1,236.77 FEET ALONG SAID NORTHERLY LINE TO THE NORTHEAST CORNER OF SECTION 18/NORTHWEST CORNER OF SECTION 17;
 THENCE N89°01'14"E, 2,648.43 FEET ALONG THE NORTHERLY LINE OF THE NORTHWEST QUARTER OF SECTION 17 TO THE NORTH QUARTER CORNER OF SECTION 18/SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SECTION 8;

THENCE N00°01'31"E, 2,700.60 FEET ALONG THE WESTERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 8 TO THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SECTION 8;
 THENCE N89°35'35"E, 2,685.16 FEET ALONG THE NORTHERLY LINE OF SAID SOUTHEAST QUARTER TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THE FOLLOWING TWO PARCELS:

EXCEPTION 1:

A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 17 AND THE EAST HALF OF SECTION 18 DESCRIBED AS FOLLOWS: COMMENCING AT THE EAST QUARTER CORNER OF SECTION 18 FROM WHENCE THE SOUTHEAST CORNER LIES S00°25'10"E, 2,604.46 FEET;

THENCE S00°25'10"E, 45.70 FEET ALONG THE EASTERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 18 TO THE POINT OF BEGINNING;

THENCE N89°34'58"W, 30.00 FEET;

THENCE ALONG THE BOUNDARY OF THE ERIE CEMETERY THE FOLLOWING FIVE COURSES:

- 1) N89°34'58"W 804.84 FEET;
- 2) N00°04'57"W, 417.42 FEET;
- 3) S89°34'58"E, 163.67 FEET;
- 4) N00°03'40"E, 404.65 FEET;
- 5) S89°59'20"E, 640.42 FEET;

THENCE CONTINUING S89°59'20"E 84.53 FEET;

THENCE S00°00'00"E, 529.64 FEET;

THENCE 307.88 FEET ALONG THE ARC OF A TANGENT CURVE TO THE LEFT, SAID ARC SUBTENDED BY A RADIUS OF 700.00 FEET, A CENTRAL ANGLE OF 25°12'01", AND A CHORD BEARING S12°36'00"E, 305.40 FEET;

THENCE N89°34'58"W, 120.25 FEET TO THE POINT OF BEGINNING;

EXCEPTION 2:

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8 DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SECTION 8;

THENCE S00°49'09"W, 167.29 FEET ALONG THE EASTERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 8 TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID EASTERLY LINE, S00°49'09"W 100.45 FEET;

THENCE ALONG THE SOUTHERLY RIGHT OF WAY LINE OF THE UNION PACIFIC RAILROAD, BEING A LINE PARALLEL WITH AND 50.00 FEET SOUTH OF THE CENTERLINE OF THE TRACKS AS PRESENTLY CONSTRUCTED, THE FOLLOWING THREE COURSES:

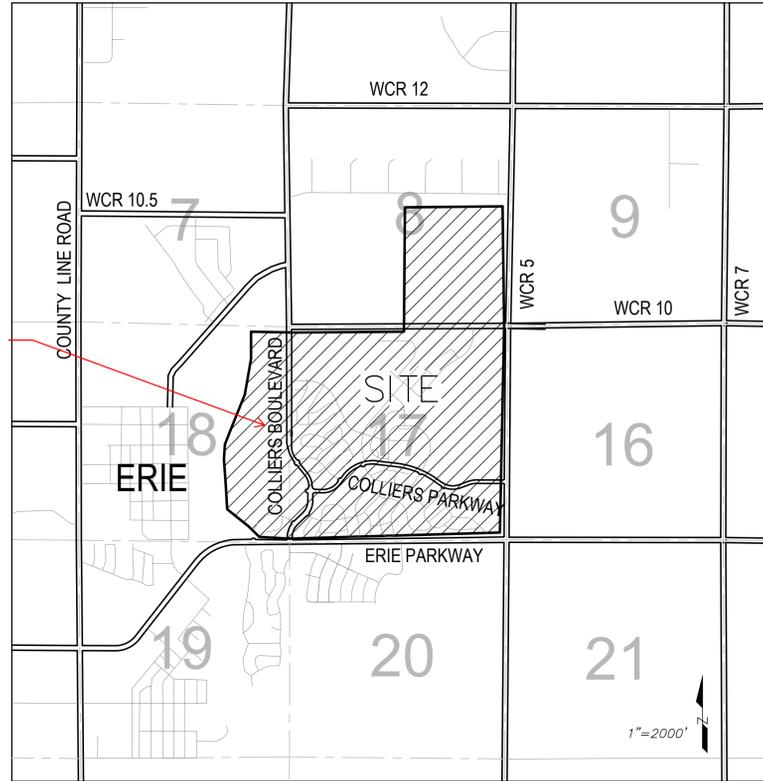
- 1) N83°46'14"W, 802.50 FEET;
- 2) 1,735.43 FEET ALONG THE ARC OF A TANGENT CURVE TO THE LEFT, SAID ARC SUBTENDED BY A RADIUS OF 1,858.50 FEET, A CENTRAL ANGLE OF 53°30'06", AND A CHORD BEARING S69°28'43"W, 1,673.07 FEET;
- 3) S42°43'40"W, 467.34 FEET;

THENCE N00°01'31"E, 147.45 FEET ALONG THE WESTERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 8;

THENCE ALONG THE NORTHERLY RIGHT OF WAY LINE OF THE UNION PACIFIC RAILROAD, BEING A LINE PARALLEL WITH AND 50.00 FEET NORTH OF THE CENTERLINE OF THE TRACKS AS PRESENTLY CONSTRUCTED, THE FOLLOWING THREE COURSES:

- 1) N42°43'40"E, 358.98 FEET;
- 2) 1,828.81 FEET ALONG THE ARC OF A TANGENT CURVE TO THE RIGHT, SAID ARC SUBTENDED BY A RADIUS OF 1,958.50 FEET, A CENTRAL ANGLE OF 53°30'06", AND A CHORD BEARING N69°28'43"E, 1,763.09 FEET;
- 3) S83°46'14"E, 793.02 FEET TO THE POINT OF BEGINNING.

NET ACREAGE: 965.83 ACRES



Cemetery should not be a part of the shaded area.

VICINITY MAP

NOTES

1. Bearings are based on the south line of the Southeast Quarter, assumed to bear S88°48'09"W.
2. The development of BridgeWater will be phased. The specifics of this phasing and the associated infrastructure requirements are outlined in the BridgeWater Annexation Agreement. This PUD Overlay Map modifies standards set forth in the Town of Erie Municipal Code Title 10 (Code) to allow the phased development of this project.
3. This PUD Overlay Map modifies the dimensional standards set forth in the Town of Erie's UDC to allow the phased development of this project over approximately a 15 year period. The ability to modify specific sections of the UDC within this PUD allows the developer to commit to the construction and financing of the necessary public improvements for BridgeWater as outlined in the BridgeWater Annexation Agreement. The justifications for any variances requested are set forth in this PUD.
4. In the event there is any discrepancy between the Code and this PUD, the PUD shall control. Any provisions that are not specifically addressed in the approved PUD shall comply with the Code.
5. Prior to the issuance of the first building permit the Developer, at its option, may submit and request approval of specific design standards for the PUD that generally meet or exceed the UDC standards as of the date of approval of the PUD Overlay.
6. Multi-family building height measured per UDC Sections 10.11.3 and per 10.4.2.B.2 and per 10.6.4.G.6.

SHEET INDEX

1. COVER SHEET
2. P.U.D. PLAN
3. P.U.D. TABLE & SECTIONS
4. P.U.D. TABLE & ELEVATIONS
5. ARCHITECTURE STANDARDS
6. ARCHITECTURE STANDARDS
7. ARCHITECTURE STANDARDS

Update index to include architectural standards for 4H. List what the standards are for. i.e. SFD, duplex, SFA.

SURVEYOR'S CERTIFICATE

I, BO BAIZE, A DULY LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PUD OVERLAY MAP TRULY AND CORRECTLY REPRESENTS THE ABOVE DESCRIBED LEGAL DESCRIPTION.

I ATTEST THE ABOVE ON THIS ____ DAY OF _____, 20____

BO BAIZE
FOR AND ON BEHALF OF HURST & ASSOCIATES, INC.
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR #37990

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

PLANNING COMMISSION CERTIFICATE

THIS PUD OVERLAY MAP WAS REVIEWED BY THE PLANNING COMMISSION ON THE DATE OF ____ DAY OF _____, 20____

CHAIRPERSON

BOARD OF TRUSTEES APPROVAL CERTIFICATE

THIS PUD OVERLAY MAP IS TO BE KNOWN AS THE "BRIDGEWATER PUD OVERLAY MAP-AMENDMENT NO. 6" AND IS APPROVED AND ACCEPTED BY ORDINANCE NO. _____, PASSED AND ADOPTED AT THE REGULAR MEETING OF THE BOARD OF TRUSTEES OF ERIE, COLORADO, HELD ON _____, 20____.

MAYOR

ATTEST:

TOWN CLERK

CLERK & RECORDER CERTIFICATE

STATE OF COLORADO)
) SS
COUNTY OF WELD)

I HEREBY CERTIFY THAT THIS ANNEXATION MAP WAS FILED IN MY OFFICE ON THIS ____ DAY OF _____, 20____ AND WAS RECORDED AT RECEPTION NO. _____

WELD COUNTY CLERK AND RECORDER

BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF
SEC. 9, SEC. 17, E 1/2 OF SEC. 18,
T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

HURST CIVIL ENGINEERING PLANNING SURVEYING www.hurst-assoc.com	1265 S Public Road	SCALE	HOR. N/A
	Suite B	DESIGN/APPR.	JJ
	Lafayette, CO 80026	DRAWN BY	BO
	303-449-9105	DATE	12/18/20
		www.hurst-assoc.com	SHEET 1 of 7

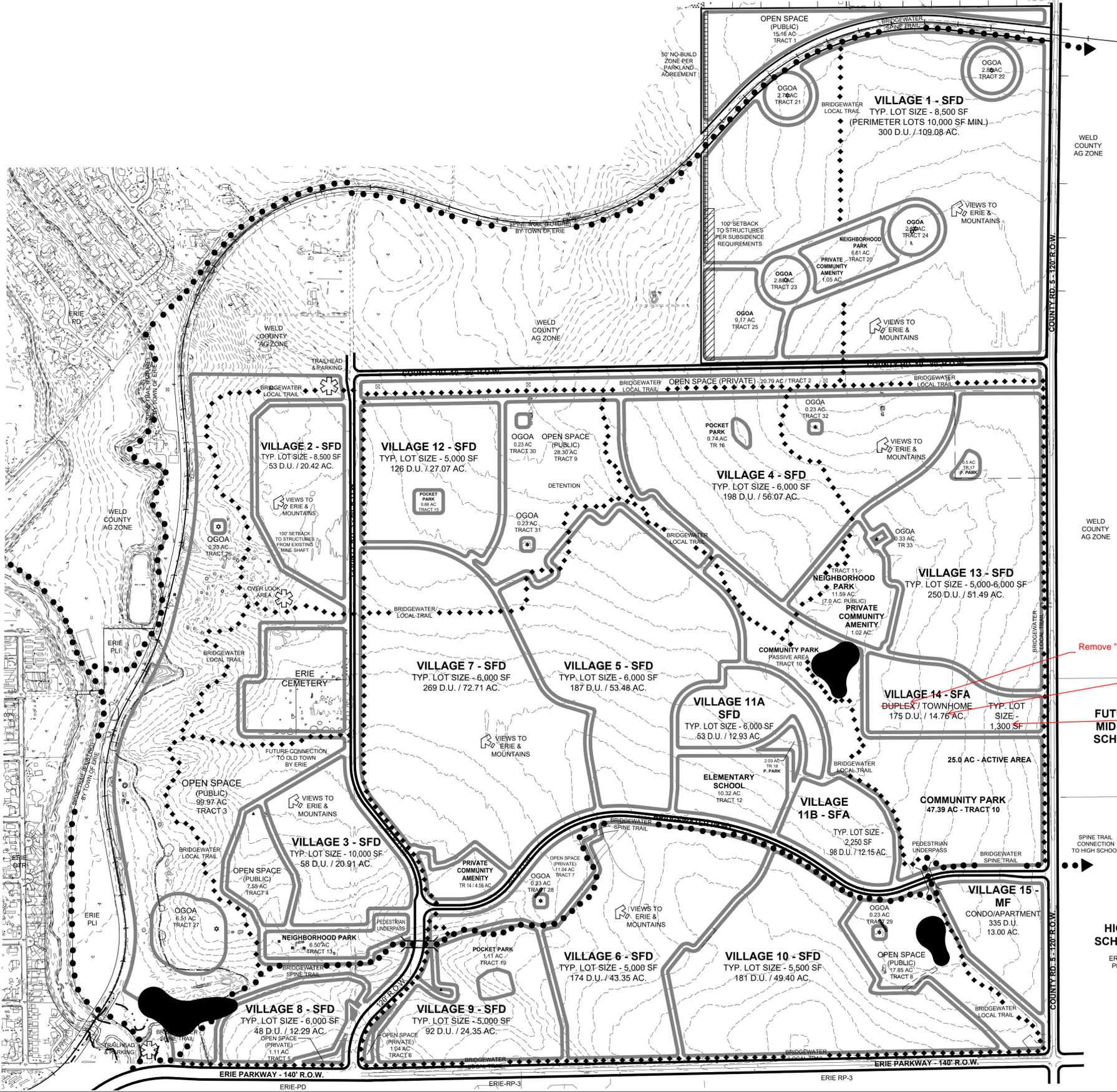
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BRIDGEWATER P.U.D. OVERLAY MAP – AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH,
RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

965.83 ACRES
PUDA-001184-2020



This table may need to be updated per the comments provided on PUD Amendment No. 7.

PROPOSED P.U.D. TABLES

PARKS AND OPEN SPACE COMPLIANCE		
	REQUIRED (per Annex/PUD)	PROVIDED (w/ Sketch Plan)
PARK AREA (based on 2,880 d.u. max.)		
COMMUNITY PARK	40.0 ac.	47.39 ac.
NEIGHBORHOOD PARKS	24.0 ac.	24.70 ac. (5.64 ac. Private)
POCKET PARKS	4.0 ac.	5.24 ac.
OPEN SPACE (based on 2,880 d.u. max.)		
PUBLIC OPEN SPACE (tracts 1, 3, 4, 8 & 9)	136.6 ac.	168.82 ac.
PRIVATE OPEN SPACE (tracts 2, 5, 6, 7 & 14)	45.0 ac.	38.53 ac.

LAND USE SUMMARY OVERVIEW		
TYPE	AREA	% OF TOTAL AREA
RESIDENTIAL AREAS	593.46 ac.	61%
SCHOOL PARCEL	10.32 ac.	1%
PARKS & OPEN SPACE	284.68 ac.	29%
OUTLOTS (OIL & GAS)	28.76 ac.	3%
PUBLIC RIGHT-OF-WAY	48.61 ac.	5%
TOTAL ACREAGE	965.83 ac.	100%
GROSS DENSITY	2,880 d.u. = 2.98 d.u./ac.	

LAND USE SUMMARY				
TRACT	AREA	USE	TARGET D.U.	ZONE DISTRICT
VILLAGE 1	109.08 AC	SFD	300	SR
VILLAGE 2	20.42 AC	SFD	53	LR
VILLAGE 3	20.91 AC	SFD	58	LR
VILLAGE 4	56.07 AC	SFD	198	LR
VILLAGE 5	53.48 AC	SFD	187	LR
VILLAGE 6	43.35 AC	SFD	174	LR
VILLAGE 7	72.71 AC	SFD	269	LR
VILLAGE 8	12.29 AC	SFD	48	LR
VILLAGE 9	24.35 AC	SFD	92	LR
VILLAGE 10	49.40 AC	SFD	181	LR
VILLAGE 11A	12.93 AC	SFD	53	LR
VILLAGE 11B	12.15 AC	SFA	98	LR
VILLAGE 12	27.07 AC	SFD	126	LR
VILLAGE 13	51.49 AC	SFD	250	LR
VILLAGE 14	14.76 AC	SFA	175	LR
VILLAGE 15	13.00 AC	SFA	335	LR
SUBTOTAL	593.46 AC		2,597 D.U.	
			2,880 MAXIMUM	
NUMBER OF UNITS ALLOWED				
TRACT 10	47.39 AC	O/PARK	N/A	LR
TRACT 11	11.59 AC	N/PARK	N/A	LR
TRACT 12	10.32 AC	SCHOOL	N/A	OS
TRACT 13	6.50 AC	N/PARK	N/A	OS
TRACT 15	0.88 AC	P/PARK	N/A	LR
TRACT 16	0.74 AC	P/PARK	N/A	LR
TRACT 17	0.50 AC	P/PARK	N/A	LR
TRACT 18	2.03 AC	P/PARK	N/A	LR
TRACT 19	1.11 AC	P/PARK	N/A	LR
TRACT 20	6.61 AC	N/PARK	N/A	SR
PARK AREA	87.65 AC			
TRACT 1	15.16 AC	O.S. PUBLIC	N/A	ER
TRACT 2	20.79 AC	O.S. PRIVATE	N/A	LR
TRACT 3	99.97 AC	O.S. PUBLIC	N/A	OS
TRACT 4	7.55 AC	O.S. PUBLIC	N/A	LR
TRACT 5	1.11 AC	O.S. PRIVATE	N/A	LR
TRACT 6	1.04 AC	O.S. PRIVATE	N/A	LR
TRACT 7	11.04 AC	O.S. PRIVATE	N/A	LR
TRACT 8	17.85 AC	O.S. PUBLIC	N/A	LR
TRACT 9	28.30 AC	O.S. PUBLIC	N/A	LR
TRACT 14	4.55 AC	O.S. PRIVATE	N/A	LR
OPEN SPACE	207.35 AC			
TRACT 21	2.71 AC	O.G.O.A.	N/A	SR
TRACT 22	2.88 AC	O.G.O.A.	N/A	SR
TRACT 23	2.88 AC	O.G.O.A.	N/A	SR
TRACT 24	2.88 AC	O.G.O.A.	N/A	SR
TRACT 25	9.17 AC	O.G.O.A.	N/A	SR
TRACT 26	0.23 AC	O.G.O.A.	N/A	OS
TRACT 27	6.51 AC	O.G.O.A.	N/A	OS
TRACT 28	0.23 AC	O.G.O.A.	N/A	LR
TRACT 29	0.23 AC	O.G.O.A.	N/A	LR
TRACT 30	0.23 AC	O.G.O.A.	N/A	LR
TRACT 31	0.23 AC	O.G.O.A.	N/A	LR
TRACT 32	0.23 AC	O.G.O.A.	N/A	LR
TRACT 33	0.33 AC	O.G.O.A.	N/A	LR
O.G.O.A.	28.76 AC			

Sketch Plan states 14.69 acres.

Remove "duplex".

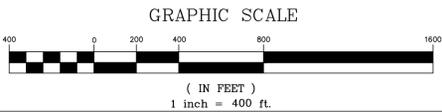
The sketch plan lists this as 14.69 acres. Update accordingly.

Sketch Plan lists the smallest lot size at 1,250 SF. Update accordingly.

NOTES:
1. DEVELOPABLE UNITS (D.U.) MAY BE TRANSFERRED BETWEEN VILLAGE PARCELS AS LONG AS THE TOTAL PROJECT DENSITY IS NOT EXCEEDED.
2. VILLAGE AND TRACT BOUNDARIES SHOWN ARE APPROXIMATE AND MAY BE ADJUSTED AS LONG AS THE TOTAL AREA WITHIN THE BOUNDARY IS ADHERED TO.

FUTURE MIDDLE SCHOOL

HIGH SCHOOL



BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF SEC. 9, SEC. 17, E 1/2 OF SEC. 18, T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

HURST
CIVIL ENGINEERING
PLANNING
SURVEYING

1265 S. Public Road
Lafayette, CO 80026
303.449.9105
www.hurst-assoc.com

SCALE: HOR. N/A
VERT. N/A
Suite 8 DESIGN/APPR. BO
Lafayette, CO 80026 DRAWN BY BO
303.449.9105 DATE 12/18/20
www.hurst-assoc.com SHEET 2 of 7

FILE: G:\202042\ZONING_PUD\02-PUD_MAP_AMEND_6

BRIDGEWATER P.U.D. OVERLAY MAP – AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH,
RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

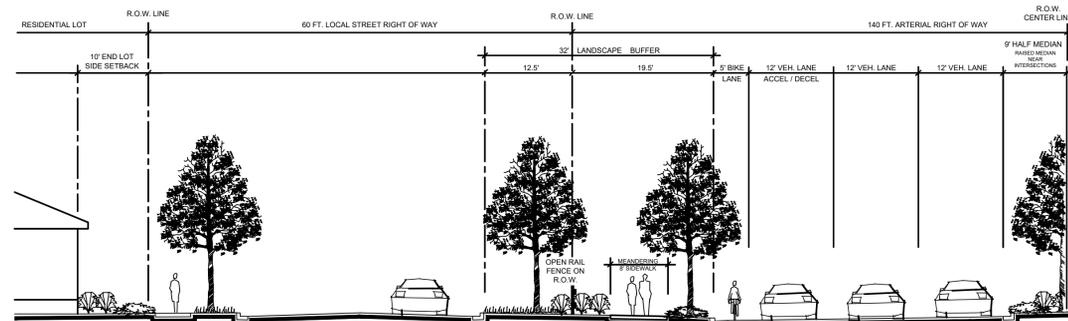
965.83 ACRES
PUDA-001184-2020

STREET DESIGN CRITERIA

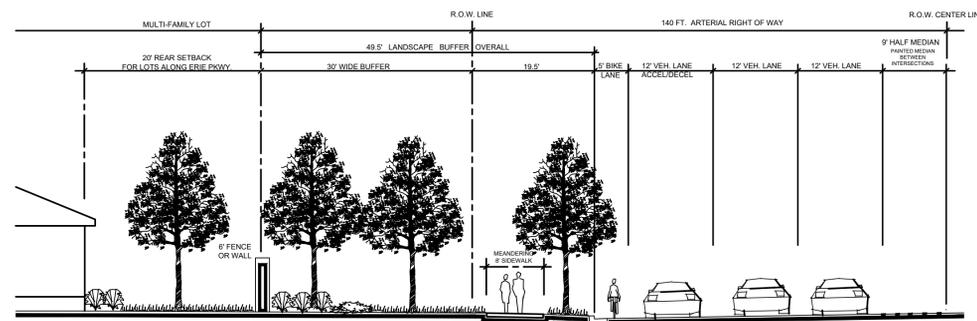
DESIGN ELEMENT	PRINCIPAL** ARTERIAL (ERIE PKWY.)	MINOR** ARTERIAL (CR 5)	MINOR** ARTERIAL (CR 3)	MAJOR COLLECTOR (CR 3, S.P., CR10)	RESIDENTIAL COLLECTOR (TYP. VOL. 2000 VPD)	LOCAL STREET (TYP. VOL. 1000 VPD)	LOW VOLUME LOCAL STREET (TYP. VOL. 300 VPD)	ALLEYS
RIGHT-OF-WAY WIDTHS	140'	120'	120'	80'	70'	60'	54'	16' W/O UTILITIES 30' W/ UTILITIES
COMMUNITY GATEWAYS: LANDSCAPE BUFFER (EACH SIDE - OUTSIDE OF R.O.W.)	*30' WHERE LOTS ABUT R.O.W.	0' (LANDSCAPE BUFFER 21.5' WIDE IN THE R.O.W.)	*30' WHERE LOTS ABUT R.O.W.	N/A	N/A	N/A	N/A	N/A
DOUBLE FRONTAGE RESIDENTIAL LOTS: LANDSCAPE BUFFER (OUTSIDE OF R.O.W.)	N/A	0'	N/A	0' (LANDSCAPE BUFFER 21.5' WIDE IN THE R.O.W.)	0' (LANDSCAPE BUFFER 14.5' WIDE IN THE R.O.W.)	6'	6'	N/A

* LOCAL PUBLIC STREET R.O.W., OIL AND GAS EASEMENTS, PUBLIC UTILITY EASEMENTS, AND OTHER PUBLIC UTILITY LINES WILL BE ALLOWED TO BE LOCATED WITHIN THE 30' LANDSCAPE BUFFER.

** FOR LOTS ABUTTING ERIE PARKWAY, COLLIER'S HILL PKWY, CR10, CR5, AND CR3, FENCING SHALL BE A MAXIMUM SIX (6) FEET IN HEIGHT WHICH MAY INCLUDE OPAQUE FENCING IN STRAIGHT RUNS LIMITED TO APPROXIMATELY 600' IN LENGTH WITHOUT A BREAK ALONG COLLIER'S HILL PKWY, CR10, CR5, AND CR3. FOR LOTS ABUTTING ERIE PARKWAY, STRAIGHT RUNS SHALL BE LIMITED TO APPROXIMATELY 600 FEET IN LENGTH AND 30% OF THE TOTAL FRONTAGE OF ERIE PARKWAY. MASONRY COLUMNS SHALL BE PROVIDED ON CORNERS OF LOTS SPACED A MINIMUM EVERY THREE LOTS FOR ALL OPAQUE FENCING ALONG ARTERIAL STREETS.



TYPICAL SECTION - WHERE LOCAL STREET R.O.W. ABUTS ERIE PKWY.
(PROVIDES OPEN VIEWS INTO THE COMMUNITY)



TYPICAL SECTION - WHERE LOTS BACK TO ERIE PKWY.
(LIMITED TO 30% OF FRONTAGE, +/- 30 LOTS)

NOTE: TYPICAL SECTIONS ARE FOR ILLUSTRATIVE PURPOSES TO DEMONSTRATE LANDSCAPE BUFFER CONCEPTS. STREET SECTIONS TO BE DEVELOPED AND FINALIZED DURING PLAT PROCESS.

BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF
SEC. 9, SEC. 17, E 1/2 OF SEC. 18,
T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

HURST CIVIL ENGINEERING PLANNING SURVEYING	1265 S. Public Road Suite B Lafayette, CO 80026 303.449.9105 www.hurst-assoc.com	HOR. N/A VERT. N/A SCALE DESIGN/APPR. BO DRAWN BY BO DATE 12/17/20 SHEET 3 OF 7
	FILE: G:\2527.2\PU\03-PUD-STANDARDS-AMEND_6.DWG	

BRIDGEWATER P.U.D. OVERLAY MAP – AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH,
RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

965.83 ACRES
PUDA-001184-2020

DIMENSIONAL STANDARDS

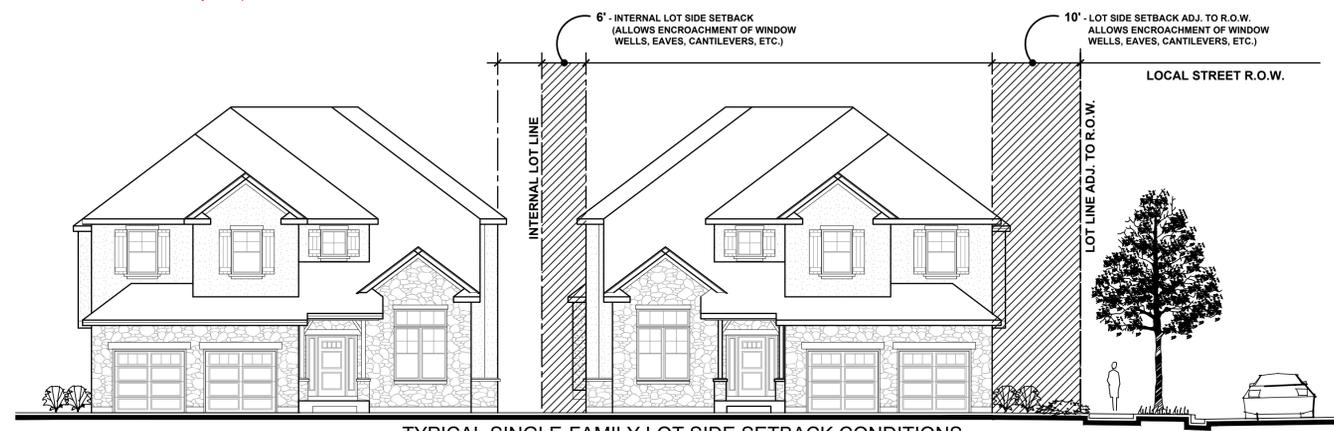
DISTRICT	MINIMUM LOT STANDARDS		MINIMUM LOT SETBACKS (FT.) ^(2,3,7)				MAX. HT.
	WIDTH (FT.)	AREA (S.F.)	FRONT ⁽⁶⁾	SIDE ^(1,4) (TO ABUTTING STREET)	SIDE ^(1,4) (TO INTERIOR LOT)	REAR ^(4,5)	
ER	100'	40,000	PRIN. - 30' ACC. - 40'	30'	10'	PRIN. - 30' ACC. - 10'	PRIN. - 35'
SR	75'	SFD 8,500 MF 5,000/D.U.	PRIN. - 25' ACC. - 35'	20'	PRIN. - 10' ACC. - 5'	PRIN. - 25' ACC. - 5'	PRIN. - 35' ACC. - 30'
LR (WITH SFD)	40' 50' CORNER LOTS	3,500	PRIN. - 20' ACC. - 30'	10'	6'	PRIN. - 20' ACC. - 5'	PRIN. - 35' ACC. - 25'
LR (VILLAGE 15 APARTMENTS)	NONE	1,500	PRIN. - 20' ACC. - 30'	10'	NONE	PRIN. - 20' ACC. - 5'	PRIN. - 35' ⁽⁹⁾ ACC. - 25'
LR (DUPLEX ALLEY LOADED)	30'	2,250	PRIN. (OS) - 6' PRIN. (ROW) - 12'	10'	6'	PRIN. - 0' ⁽⁸⁾ ACC. - N/A	PRIN. - 35' ACC. - 25'
LR (TOWNHOME ALLEY LOADED)	20'	1,300	PRIN. (OS) - 6' PRIN. (ROW) - 12'	10'	6'	PRIN. - 0' ⁽⁸⁾ ACC. - N/A	PRIN. - 35' ACC. - 25'

- (1) ZERO LOT LINE SETBACKS SHALL BE PERMITTED FOR ATTACHED BUILDINGS PROVIDED THAT THE BUILDING MEETS THE ZONE DISTRICT INTERIOR LOT LINE SETBACK ON THE SIDE OF THE BUILDING THAT IS NOT ATTACHED
- (2) MULTIPLE PRINCIPAL BUILDINGS ON A SINGLE LOT SHALL BE SEPARATED BY A DISTANCE EQUAL TO THE DISTANCE THAT WOULD BE REQUIRED IF THEY WERE SEPARATED BY A SIDE TO INTERIOR LOT LINE.
- (3) FRONT, SIDE, AND REAR SETBACKS SHALL ALLOW FOR ENCROACHMENTS UP TO 2 FEET BEYOND THE BUILDING FOUNDATION FOR ABOVE-GRADE FEATURES INCLUDING EAVES, COUNTERFORTS, FIREPLACE BOX-OUT, STOOPS, BAY WINDOWS, ROOM CANTILEVERS, AND OVERHANGS PROVIDED THAT THE LIVING SPACE OF THE PROJECTION DOES NOT EXCEED 20 SQUARE FEET IN EACH INSTANCE AND EXTEND MORE THAN 2 FEET. THERE SHALL BE NO MORE THAN TWO (2) ABOVE-GRADE LIVING SPACE ENCROACHMENTS PER ELEVATION ARTICULATION (AS DEFINED IN 10.6.7.F.1.d.ii.(C)). REAR ENCROACHMENTS ARE NOT PERMITTED WITH ALLEY LOADED LOTS.
- (4) SIDE AND REAR SETBACKS FOR FRONT LOADED LOTS SHALL ALLOW FOR ENCROACHMENTS UP TO 3 FEET BEYOND THE BUILDING FOUNDATION FOR BELOW-GRADE WINDOW WELLS.
- (5) REAR SETBACKS FOR FRONT LOADED LOTS SHALL ALLOW FOR AN ENCROACHMENT OF UP TO 6' FOR A COVERED PATIO (NOT ENCLOSED).
- (6) REDUCTION OF FRONT SETBACK TO 15' IS ALLOWED WHEN A GARAGE SIDES TO THE R.O.W.
- (7) PROPERTY LINES ABUTTING THE EXTERIOR BOUNDARY OF THIS PUD SHALL ADHERE TO ALL REQUIRED SETBACKS OF THE UNDERLYING ZONE DISTRICT UNLESS OTHERWISE NOTED IN THE PUD.
- (8) NO ENCROACHMENTS ARE PERMITTED OVER THE 0' REAR SETBACKS, THIS INCLUDES ALL ARCHITECTURAL FEATURES SUCH AS EAVES, OVERHANGS, AND OTHER.
- (9) MUTLI-FAMILY BUILDING HEIGHT MEASURED PER UDC SECTIONS 10.11.3 AND PER 10.4.2.B.2 AND PER 10.6.4.G.6.

Sketch plan lists smallest lot size as 1,250 SF. Update accordingly.

Not sure where the front is? Wouldn't the landscape common area be a 0' setback with encroachments? Is the alley the front setback? An exhibit should be included within the PUD depicting the setbacks. See "Erie Highlands PUD Zoning Map Amendment No. 2" where a "definitions" key was provided.

Will the TH products have basements? If not, this shouldn't be applicable to the TH area.



TYPICAL SINGLE-FAMILY LOT SIDE SETBACK CONDITIONS
(ENCROACHMENTS ALLOWED IN SETBACKS)

LAST SAVED: 12/17/2020 3:26 PM

C:\Users\vhonda\Documents\Projects\Collins Hill\03-PUD Standards amend 6.dwg

BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF
SEC. 9, SEC. 17, E 1/2 OF SEC. 18,
T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

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	303.449.9105	DATE 12/18/20
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BRIDGEWATER P.U.D. OVERLAY MAP - AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 68
WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

965.83 ACRES
PUDA-001184-2020

Architectural Standards for Single-Family Detached Dwelling Units - These standards replace subsection 6.7.E of the UDC.

1. Architectural Variety and Character

a. Architectural Variety

i. Design Standards

- (A) No identical model plan elevation shall be repeated directly across any street from the same model plan and elevation.
- (B) No identical model plan elevation shall be repeated more than once within every 4 lots on the same side of any street.
- (C) A minimum of 3 alternative elevations for each model plan shall be submitted to the Town for review.

b. Architectural Character

i. Design Standards

- (A) Each elevation shall include a minimum of 2 windows (or 1 window and 1 door) per floor.
- (B) Each front and rear elevation shall include more than 1 wall plane. Articulation that adds shadow and visual interest is encouraged.
- (C) A variety of roof forms should be used. Single unbroken roof pitches should be avoided, except where a single roof treatment is an essential element of the Architectural Style (e.g.: Mansard)
- (D) The main roof should extend beyond the primary façade by a minimum of 1 foot.
- (E) An elevation for the home that faces a street, park, trail corridor or open space area shall provide an "Enhanced Elevation". An "Enhanced Elevation" shall provide 3 or more of the following design enhancements listed in (1) through (5) below. Application of the design enhancement shall be applied in a manner that is consistent with the style of the home. Side and rear elevations design enhancements shall be consistent with the design elements of the front elevation.
 - (1) The addition of 1 window unit.
 - (2) A change in wall plane by providing 1 or more of the following options:
 - An additional wall plane change.
 - A projecting or cantilevered living space.
 - A bay or boxed window.
 - (3) A covered porch or deck.
 - (4) The addition of architectural detail elements such as: shutters, eave brackets, exposed rafter tails, corbels, lintels, trellises, columns or pilasters.
 - (5) The use of a minimum of 2 exterior cladding materials that can include materials such as masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other decorative siding treatment.
- (F) Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. (No exposed 4 inch x 4 inch posts shall be allowed more than 36 inches above ground). Columns supporting upper story decks should be 8 inches x 8 inches minimum finished.

ii. Materials

- (A) All exterior materials shall be of high quality used in applications and treated appropriately to provide an attractive and long lasting appearance.
- (B) When masonry cladding is used it should be used in locations where its mass is a logical and appropriate. In instances where masonry wraps the exterior corner of the home, the masonry should continue to a natural transition point such as an inside corner of a projecting wall, a column, a door or window or other logical point. In cases where no such feature exists near the corner, the masonry wrap shall extend at least 6 feet from the outside corner.

2. Orientation of Dwellings to the Street

Each residence shall have at least 1 primary pedestrian doorway for access to the dwelling unit facing and generally visible from the front lot line of the property and within 12 feet of the most forward plane of the ground level living space. On corner lots, the pedestrian doorway may face any adjacent street. Unless prohibited by terrain or other site constraints, the orientation of the homes shall repeat the predominant relationship of building to buildings and buildings to street along the same block or the facing block. An exception shall be made for alley-loaded single-family detached dwelling units that do not have street frontage but do front onto a park or landscaped common area. In such case where the dwelling unit does not have street frontage, 1 primary pedestrian doorway shall be oriented toward a common pedestrian walk that connects to a street.

3. Garages

These regulations for garages shall be applied to non-living space or storage areas within garages whether used for storage of automobiles or other items.

a. Diversity of Garage Orientation

(A) Except for garages oriented to alleys, all single family homes shall provide garages that meet one of the requirements below, and, a variety in garage orientation by providing a minimum of 2 of the following garage orientations on any single block:

- (1) Recessed garages; where the primary garage door generally faces the front lot line and the garage is recessed a minimum of 2 feet behind the most forward plane of main floor living space or a front porch.
- (2) Projecting garages; where the primary garage door generally faces the front lot line and the garage projects no more than 15 feet from the front door.
- (3) Side-loaded garages.
- (4) Garages recessed a minimum of 2 feet beneath a second floor living space.

b. Width/Façade Ratio

The width of a front loaded garage shall not exceed 65% of the width of the front elevation.

c. 3 or More Car Garages Orientation

The third or more bay of any 3 or more car garage shall either:

- I. Have a different orientation from the first 2; or
- II. Shall be recessed behind the first 2 by at least 2 feet when having the same orientation:
or
- III. Shall be tandem to the first 2.

4. Front Stoop

For model plans with a front stoop, the front stoop shall include the platform and stairs that are generally in front of a door that can be covered or uncovered. The maximum width of a front stoop shall be 3 feet in width.

5. Front Porches

For model plans with a front porch, the front porch shall include the covered area accessing the front door. Porches may fully extend outside the front façade of the home or be partially recessed. This space shall be a minimum size of 50 square feet with a minimum depth of 5 feet. For model plans with a partially recessed front porch, the porch must extend a minimum of 1 foot from the front façade of the home for architectural relief. Square footage may include the "front stoop" area, when the front stoop is included under the same covering as the front porch.

BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF
SEC. 9, SEC. 17, E 1/2 OF SEC. 18,
T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

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	DATE 12/18/20	SHEET 5 OF 7

BRIDGEWATER P.U.D. OVERLAY MAP - AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 68
WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO
965.83 ACRES
PUDA-001184-2020

The townhomes should be in their own separate section/sheet from the duplex standards.

Please review section 10.6.7.F. You will need to bring in the items that are being altered, or changed. Please provide an analysis listing the code requirement and the change being made. This should be similar to the apartment amendment. Specifically of note: -Section 10.6.7.F.c.ii.(A) & (B) - Primary entrances shall be oriented to primary streets/common open areas, and primary entrances shall not be on an alley.

These standards are considerably more strict than the TH standards found within the UDC. Just wanted to make sure this is the intention. Also, will these work for this development?

Architectural standards for Single-Family Attached Dwelling Units - These standards replace subsection 10.6.7.E and 10.6.7.F of the Unified Development Code and are only applicable for Village 11B and 14.

1. Architectural Variety and Character

a. Architectural Variety

i. Design Standards

- (A) No identical model plan elevation shall be repeated directly across any street from the same model plan and elevation.
- (B) No identical model plan elevation shall be repeated more than once within every 4 lots on the same side of any street.
- (C) A minimum of 3 alternative elevations for each model plan shall be submitted to the Town for review.

b. Architectural Character

i. Design Standards

- (A) Each elevation unit shall include a minimum of 2 windows (or 1 window and 1 door) per floor. For rear elevations where there is not enough space for both a garage door and an additional window, window panels within the garage door will suffice.
- (B) Each front elevation shall include more than 1 wall plane. Articulation that adds shadow and visual interest is encouraged.
- (C) A variety of roof forms should be used. Single, unbroken roof pitches should be avoided, except where a single roof treatment is an essential element of the Architectural Style (e.g.: Mansard)
- (D) The main roof should extend beyond the primary façade by a minimum of 1 foot.
- (E) An elevation for the home that faces a street, park, trail corridor or open space area shall provide an "Enhanced Elevation". An "Enhanced Elevation" shall provide 3 or more of the following design enhancements listed in (1) through (5) below. Application of the side elevation design enhancement shall be applied in a manner that is consistent with the design elements of the front elevation.
 - (1) The addition of 1 window unit.
 - (2) A change in wall plane by providing 1 or more of the following options:
 - An additional wall plane change.
 - A projecting or cantilevered living space.
 - A bay or boxed window.
 - (3) A covered porch or deck.
 - (4) The addition of architectural detail elements such as: shutters, eave brackets, exposed rafter tails, corbels, lintels, trellises, columns or pilasters.
 - (5) The use of a minimum of 2 exterior cladding materials that can include materials such as masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other decorative siding treatment.
- (F) Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. No exposed 4 inch x 4 inch posts shall be allowed more than 36 inches above ground. Columns supporting upper story decks should be 8 inches x 8 inches minimum, finished.

ii. Materials

- (A) All exterior materials shall be of high quality used in applications and treated appropriately to provide an attractive and long lasting appearance.

2. Orientation of Dwellings to the Street

Each residence shall have at least 1 primary pedestrian doorway for access to the dwelling unit facing, and generally visible from, the front lot line of the property and within 8 feet of the most forward plane of the ground level living space. On corner lots, the pedestrian doorway may face any adjacent street. Unless prohibited by terrain or other site constraints, the orientation of the homes shall repeat the predominant relationship of building to buildings and buildings to street along the same block or facing block. An exception shall be made for alley-loaded single-family attached dwelling units that do not have street frontage but do front onto a park or landscaped common area. In such case where the dwelling unit does not have street frontage, 1 primary pedestrian doorway shall be oriented toward a common pedestrian walk that connects to a street.

This may not be the right term.

These are confusing with respect to what the setbacks are called. The setback key referenced on page 2 should help clear this up.

3. Landscaped Common Area

Landscaped Common Areas shall be defined as common landscape and pedestrian areas within residential neighborhoods where alley-loaded buildings front each other and a street is not present. These spaces are envisioned as a publicly accessible space via a public access easement granted over a portion of the front setback of a rear-loaded single-family attached lot. Landscaped Common Areas shall be a minimum of 30' in width as measured between the front primary facades of facing buildings. Encroachments are permitted for the following architectural appurtenances: Covered front porches up to 6' (inclusive of roof overhangs), front stoops or uncovered patios up to 5', second-story architectural cantilevers up to 3' (inclusive of roof overhangs), bay windows up to 3' (inclusive of roof overhangs), other above-grade features such as roof overhangs, eaves, counterforts, and fireplace box-outs up to 2'. See exhibit 3.1 below.

Fencing should specifically be noted as not permitted in the landscape common area.

4. Front Stoop

For model plans with a front stoop, the front stoop shall include the platform and stairs that are generally in front of a door that can be covered or uncovered. The maximum width of a front stoop shall be 3 feet in width.

5. Front Porches

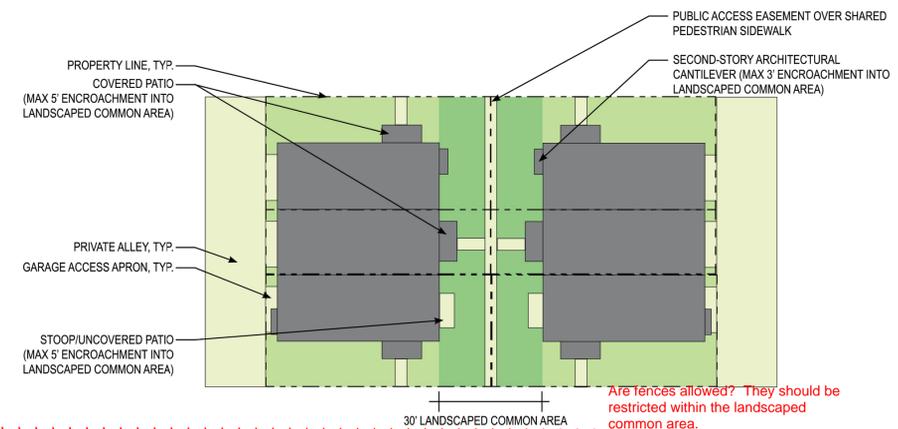
For model plans with a front porch, the front porch shall be a minimum size of 50 square feet, with a minimum depth of 5 feet. Square footage should be one plane and does not include the stoop area if the stoop area is raised from the remainder of the porch.

does

6. Bicycle Racks

One (1) guest bicycle rack shall be provided for every 10 single-family attached units. Loop bicycle racks shall accommodate 2 bicycles per loop. Racks shall be distributed evenly throughout the single-family attached residential area, with priority focused on key pedestrian areas and circulation paths.

EXHIBIT 1.1



How are the end units which face each other dealt with in terms of what their front doors face? See section 10.6.7.F.1.c. Another exhibit may be necessary for this circumstance. See sketch plan.

BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF SEC. 9, SEC. 17, E 1/2 OF SEC. 18, T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

HURST CIVIL ENGINEERING PLANNING SURVEYING	1265 S. Public Road	SCALE	N/A
	Suite 8	DESIGN/APPR.	BO
	Lafayette, CO 80026	DRAWN BY	BO
	303.449.9105	DATE	12/18/20
www.hurst-assoc.com	SHEET	6	OF 7

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BRIDGEWATER P.U.D. OVERLAY MAP - AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 68
WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

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ARCHITECTURAL STANDARDS FOR MULTI-FAMILY SPECIFIC TO VILLAGE 15

Architectural standards to Multi-Family Residential Dwelling Units – these standards replace subsection 10.6.7.F of the Unified Development Code and are only applicable to Village 15.

General Provisions

Purpose: To provide areas for residential uses of an urban character at a gross density not to exceed 26 dwelling units per acre. Buildings three (3) stories or less shall contain a maximum of 36 units per building.

10.5.6.A & 10.6.3.B – Parks and Open Space – Land dedication requirements have been prior satisfied elsewhere with the Bridgewater PUD – no additional land dedications or fees-in-lieu shall apply to Village 15.

10.5.6.B -- Contributions for Public School Sites – Land dedication requirements have been prior satisfied elsewhere within the Bridgewater PUD – no additional land dedications or fees-in-lieu shall apply to Village 15.

10.6.6 OFF-STREET PARKING AND LOADING

D. Off-Street Parking Requirements

1. Schedule A

c. Off Street Parking Location

vii. The following shall count toward the minimum parking requirement:

(A) Surface parking, including detached garages, carports and tandem spaces located in front of garage doors to be used by tenant of said garage.

10.6.7 RESIDENTIAL USE CATEGORY DESIGN STANDARDS

F. Additional Standards for Multi-family Residential

1. Building Design and Character

d. Architectural Character

i. Design Standards

(C) The maximum building length of any multi-family building, of 3-stories or less, shall be 160 feet. All buildings shall incorporate 1 additional item listed in 10.6.7.F.d.ii(D), totaling 3 or more features from the list below:

- (1) Balconies;
- (2) Bay or box windows;
- (3) Insets or other relief in the wall plane;
- (4) Porches;
- (5) Dormers;
- (6) Variations in materials; or
- (7) Variations in roof forms.

Additionally, building facades facing a Public Way shall incorporate one further Architectural Design Enhancement from the list below:

- (8) Use of 10% masonry (Stone, Manufactured Stone or Brick) along the façade facing the Public Right of Way or Common Open Space;
- (9) Enhanced architectural detailing on facades facing the Public Right of Way or Common Open Space, including but not limited to enhanced trim, articulated columns and/or column bases, awnings, brackets, corbels, exposed structure (whether actual or simulated structure);
- (10) Unit doors at round level patios in units facing the Public Right of Way or Common Open Space to allow direct access from the private unit to the Public Right of Way or Common Open Space; or
- (11) A portion of the roofs and/or awnings facing the Public Right of Way or Common Open Space in an enhanced material such as metal panel, standing seam or tile roofing.

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	DATE 12/18/20	SHEET 7 OF 7
	FILE: G:\2021\22\ZONING\04-ARCH STDS AMEND 6.DWG	

Chris LaRue

From: Tyler Burhenn
Sent: Friday, February 5, 2021 10:34 AM
To: Chris LaRue
Cc: David Pasic; Wendi Palmer; Chad Schroeder
Subject: Colliers Hill F4H - Engineering Comments
Attachments: Eng Markups F4H SK Plan.pdf

Hey Chris,

Here are my redline comments for Colliers Hill Filing 4H Sketch Plan. I have no additional comments for the PUD.

Thank you,



Tyler Burhenn | Civil Engineer
Town of Erie | Planning and Development Department
645 Holbrook Street | P.O. Box 750 | Erie, CO 80516
Cell: 515-520-1624 | Phone: 303-926-2798
<http://www.erieco.gov> | [Facebook](#) | [Twitter](#) | [LinkedIn](#)

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Chris LaRue

From: LuAnn Penfold <lpenfold@mvfpd.org>
Sent: Tuesday, December 29, 2020 12:32 PM
To: Development Referral
Subject: Bridgewater PUD Amendment 6

We do not have an objections to PUD Amendment 6 for Bridgewater.

LuAnn Penfold, Fire Prevention Specialist

Mountain View Fire Rescue
3561 N. Stagecoach Road, Longmont, CO 80504
720-678-9890 | lpenfold@mvfpd.org | www.mvfpd.org





February 1, 2021

Chris LaRue, Planning Director
Town of Erie
645 Holbrook St, PO BOX 750
Erie CO 80516

RE: Colliers Hill : Bridgewater PUD Amnd 6

Dear Chris,

Thank you for the opportunity to comment on this referral. The SVVSD has reviewed the application and does not have any comment on the referral. The PUD amendment is text to redistribute units and provide dimensional and architecture requirements.

Warm Regards,

Ryan Kragerud, Planner

Chris LaRue

From: Chris LaRue
Sent: Friday, April 23, 2021 3:53 PM
To: Samantha Crowder; Jerry Richmond
Cc: Fred Starr; David Pasic; Deborah Bachelder; Tyler Burhenn; Darren Champion; Luke Bolinger
Subject: Colliers Hill PUD Amendment # 6 DRT comments
Attachments: PUD # 6 redlines and referrals.pdf; Comments on Drainage for Review of Bridgewater permit application; Comment on 2nd Referral Review - Colliers Hill PUD Amdt 6; Bridgewater runoff threatens our homes due to insufficient consideration of existing infrastructure; Request for response - 2nd Referral Review - Colliers Hill PUD Amdt 6; Re: Bridgewater Response; Request for response - 2nd Referral Review - Colliers Hill PUD Amdt 6; Re: 2nd Referral Review - Colliers Hill PUD Amdt 6; Re: 2nd Referral Review - Colliers Hill PUD Amdt 6

Good afternoon:

Town staff has reviewed the application for PUDA-01184-2020 Bridgewater PUD Amendment No. 6 application for conformance with Municipal Code, Title 10 at the April 15, 2021 Development Review Team meeting. The next step for the application is revision and resubmittal for another referral and Development Review Team review before the scheduling of public hearings for the applications can be determined. Please make the appropriate revisions to the application materials and provide written response to address each written comment from the Town staff and referral agencies.

Attached are the comments for Colliers Hill PUD Amendment No. 6. Please note, engineering has no comments on the PUD Amendment but will be concerned with the drainage concerns. Once you have a chance to review the comments, please let me know if you would like to meet and discuss by zoom.

Attached you will also find a response from the Parkland HOA and many citizen comments the Town has received. Please provide a response to these as well.

Thank you,



Chris LaRue | Senior Planner
Town of Erie | Planning & Development
645 Holbrook Street | P.O. BOX 750 | Erie, CO 80516
Phone: 303-926-2776 | Fax: 303-926-2706
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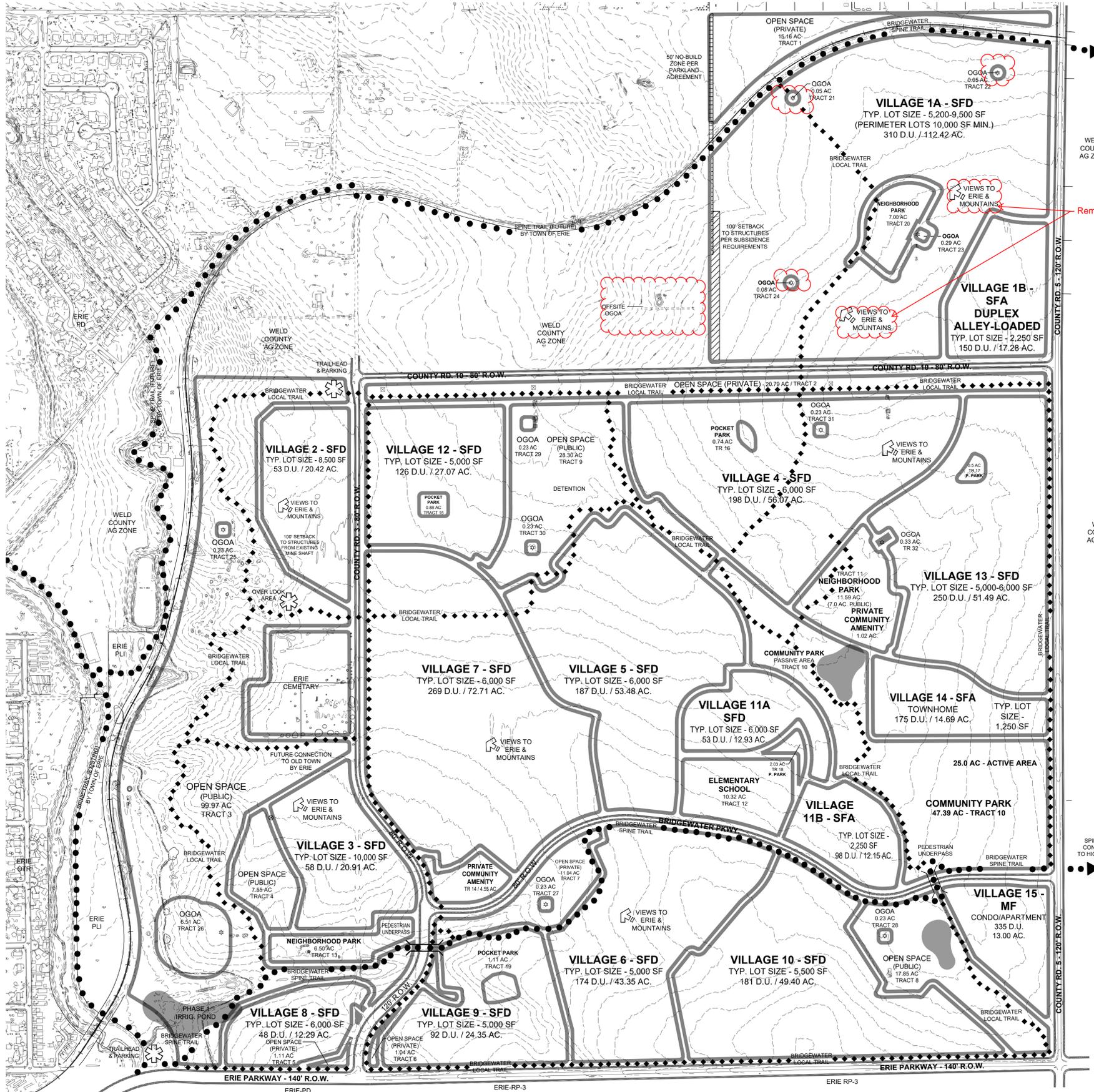
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Comment not addressed, though it was stated this was being worked on: Provide an exhibit for the oil and gas impacts. It should depict all the relevant components of the SUAs and the UDC. See comment # 2 on the sketch plan comments, which will require responses with PUD Amendment No. 7.



-Remove O & G info from this area.

-Need the updated SUA, demonstrating the O & G will be removed, to move forward with this amendment.

-A note/requirement should be added onto the PUD reflecting the O & G setbacks from the UDC. Minimum 350' from active O & G and a minimum of 25' for abandoned O & G facilities.

these numbers should be updated to reflect the actual amounts.

Applicant Response: Acreages represented in this PUD are reflective of zoning areas and are not a direct comparison to approved acreages represented in Final Plats.

PROPOSED P.U.D. TABLES

PARKS AND OPEN SPACE COMPLIANCE		
	REQUIRED	PROVIDED
PARK AREA (based on 2,880 d.u. max.)	(per Annex/PUD)	
COMMUNITY PARK	40.0 ac.	47.39 ac.
NEIGHBORHOOD PARKS	24.0 ac.	24.70 ac. (5.64 ac. Private)
POCKET PARKS	4.0 ac.	5.26 ac.
OPEN SPACE (based on 2,880 d.u. max.)		
PUBLIC OPEN SPACE (tracts 1, 3, 4, 8 & 9)	136.6 ac.	168.84 ac.
PRIVATE OPEN SPACE (tracts 2, 5, 6, 7 & 14)	45.0 ac.	38.53 ac.

LAND USE SUMMARY OVERVIEW		
TYPE	AREA	% OF TOTAL AREA
RESIDENTIAL AREAS	614.01 ac.	64%
SCHOOL PARCEL	10.32 ac.	1%
PARKS & OPEN SPACE	295.42 ac.	31%
OUTLOTS (OIL & GAS)	8.66 ac.	1%
PUBLIC RIGHT-OF-WAY	37.42 ac.	4%
TOTAL ACREAGE	965.83 ac.	100%
GROSS DENSITY	2,880 d.u. = 2.98 d.u./ac.	

LAND USE SUMMARY

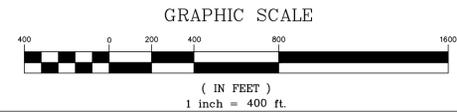
TRACT	AREA	USE	TARGET D.U.	ZONE
VILLAGE 1A	112.42 AC	SFD	310	LR
VILLAGE 1B	17.28 AC	SFA	150	LR
VILLAGE 2	20.42 AC	SFD	53	LR
VILLAGE 3	20.91 AC	SFD	58	LR
VILLAGE 4	56.07 AC	SFD	198	LR
VILLAGE 5	53.48 AC	SFD	187	LR
VILLAGE 6	43.35 AC	SFD	174	LR
VILLAGE 7	72.71 AC	SFD	269	LR
VILLAGE 8	12.29 AC	SFD	48	LR
VILLAGE 9	24.35 AC	SFD	92	LR
VILLAGE 10	49.40 AC	SFD	181	LR
VILLAGE 11A	12.93 AC	SFD	53	LR
VILLAGE 11B	12.15 AC	SFA	98	LR
VILLAGE 12	27.07 AC	SFD	126	LR
VILLAGE 13	51.49 AC	SFD	250	LR
VILLAGE 14	14.69 AC	SFA	175	LR
VILLAGE 15	13.00 AC	SFA	335	LR
SUBTOTAL	614.01 AC		2,757 D.U.	

TRACT	AREA	USE	TARGET D.U.	ZONE
TRACT 10	47.39 AC	C/PARK	N/A	LR
TRACT 11	11.59 AC	N/PARK	N/A	LR
TRACT 12	10.32 AC	SCHOOL	N/A	LR
TRACT 13	6.50 AC	N/PARK	N/A	OS
TRACT 15	0.88 AC	P/PARK	N/A	LR
TRACT 16	0.74 AC	P/PARK	N/A	LR
TRACT 17	0.50 AC	P/PARK	N/A	LR
TRACT 18	2.03 AC	P/PARK	N/A	LR
TRACT 19	1.11 AC	P/PARK	N/A	LR
TRACT 20	7.00 AC	N/PARK	N/A	LR
PARK AREA	88.06 AC			

TRACT	AREA	USE	TARGET D.U.	ZONE
TRACT 1	15.16 AC	O.S. PRIVATE	N/A	ER
TRACT 2	20.79 AC	O.S. PRIVATE	N/A	LR
TRACT 3	99.97 AC	O.S. PUBLIC	N/A	OS
TRACT 4	7.55 AC	O.S. PUBLIC	N/A	LR
TRACT 5	1.11 AC	O.S. PRIVATE	N/A	LR
TRACT 6	1.04 AC	O.S. PRIVATE	N/A	LR
TRACT 7	11.04 AC	O.S. PRIVATE	N/A	LR
TRACT 8	17.85 AC	O.S. PUBLIC	N/A	LR
TRACT 9	28.30 AC	O.S. PUBLIC	N/A	LR
TRACT 14	4.55 AC	O.S. PRIVATE	N/A	LR
OPEN SPACE	207.36 AC			

TRACT	AREA	USE	TARGET D.U.	ZONE
TRACT 21	0.05 AC	O.G.O.A.	N/A	LR
TRACT 22	0.05 AC	O.G.O.A.	N/A	LR
TRACT 23	0.29 AC	O.G.O.A.	N/A	LR
TRACT 24	0.05 AC	O.G.O.A.	N/A	LR
TRACT 25	0.23 AC	O.G.O.A.	N/A	OS
TRACT 26	6.51 AC	O.G.O.A.	N/A	OS
TRACT 27	0.23 AC	O.G.O.A.	N/A	LR
TRACT 28	0.23 AC	O.G.O.A.	N/A	LR
TRACT 29	0.23 AC	O.G.O.A.	N/A	LR
TRACT 30	0.23 AC	O.G.O.A.	N/A	LR
TRACT 31	0.23 AC	O.G.O.A.	N/A	LR
TRACT 32	0.33 AC	O.G.O.A.	N/A	LR
O.G.O.A.	8.66 AC			

NOTES:
1. DEVELOPABLE UNITS (D.U.) MAY BE TRANSFERRED BETWEEN VILLAGE PARCELS AS LONG AS THE TOTAL PROJECT DENSITY IS NOT EXCEEDED.
2. VILLAGE AND TRACT BOUNDARIES SHOWN ARE APPROXIMATE AND MAY BE ADJUSTED AS LONG AS THE TOTAL AREA WITHIN THE BOUNDARY IS ADHERED TO.



BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF SEC. 9, SEC. 17, E 1/2 OF SEC. 18, T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

HURST
CIVIL ENGINEERING
PLANNING
SURVEYING

1265 S. Public Road
Lafayette, CO 80026
www.hurst-assoc.com

SCALE: HOR. N/A
VERT. N/A
Suite 8 DESIGN/APPR. BO
RD
DATE 03/12/21
DRAWN BY
DATE
SHEET 2 OF 8

FILE: G:\202042\ZONING_PUD\02-PUD_MAP_AMEND_6

BRIDGEWATER P.U.D. OVERLAY MAP – AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH,
RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

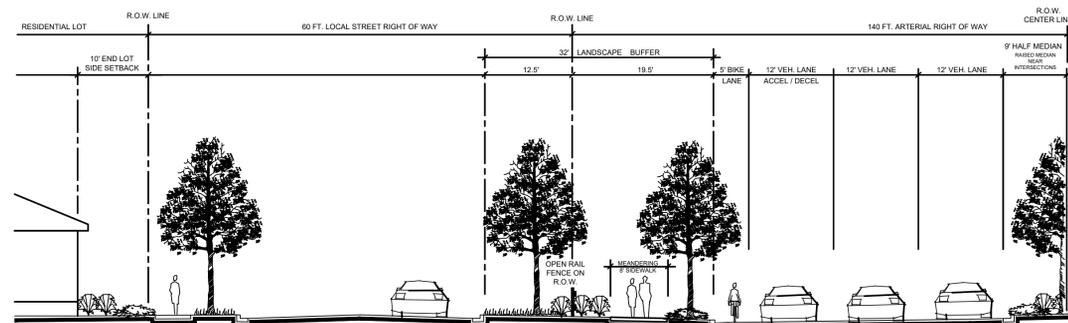
965.83 ACRES
PUDA-001184-2020

STREET DESIGN CRITERIA

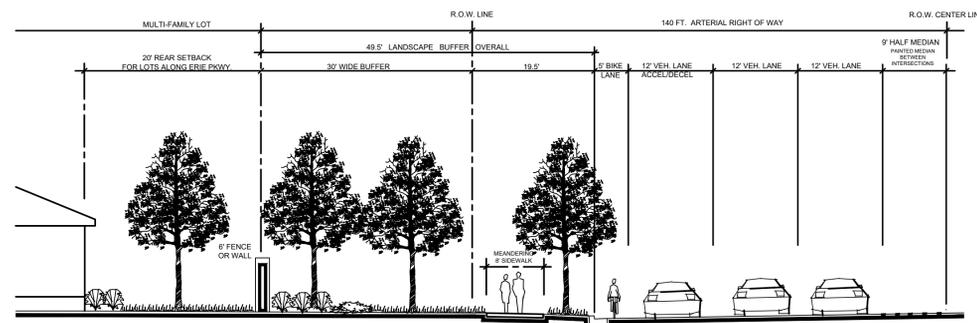
DESIGN ELEMENT	PRINCIPAL** ARTERIAL (ERIE PKWY.)	MINOR** ARTERIAL (CR 5)	MINOR** ARTERIAL (CR 3)	MAJOR COLLECTOR (CR 3, S.P., CR10)	RESIDENTIAL COLLECTOR (TYP. VOL. 2000 VPD)	LOCAL STREET (TYP. VOL. 1000 VPD)	LOW VOLUME LOCAL STREET (TYP. VOL. 300 VPD)	ALLEYS
RIGHT-OF-WAY WIDTHS	140'	120'	120'	80'	70'	60'	54'	16' W/O UTILITIES 30' W/ UTILITIES
COMMUNITY GATEWAYS: LANDSCAPE BUFFER (EACH SIDE - OUTSIDE OF R.O.W.)	*30' WHERE LOTS ABUT R.O.W.	0' (LANDSCAPE BUFFER 21.5' WIDE IN THE R.O.W.)	*30' WHERE LOTS ABUT R.O.W.	N/A	N/A	N/A	N/A	N/A
DOUBLE FRONTAGE RESIDENTIAL LOTS: LANDSCAPE BUFFER (OUTSIDE OF R.O.W.)	N/A	0'	N/A	0' (LANDSCAPE BUFFER 21.5' WIDE IN THE R.O.W.)	0' (LANDSCAPE BUFFER 14.5' WIDE IN THE R.O.W.)	6'	6'	N/A

* LOCAL PUBLIC STREET R.O.W., OIL AND GAS EASEMENTS, PUBLIC UTILITY EASEMENTS, AND OTHER PUBLIC UTILITY LINES WILL BE ALLOWED TO BE LOCATED WITHIN THE 30' LANDSCAPE BUFFER.

** FOR LOTS ABUTTING ERIE PARKWAY, COLLIER'S HILL PKWY, CR10, CR5, AND CR3, FENCING SHALL BE A MAXIMUM SIX (6) FEET IN HEIGHT WHICH MAY INCLUDE OPAQUE FENCING IN STRAIGHT RUNS LIMITED TO APPROXIMATELY 600' IN LENGTH WITHOUT A BREAK ALONG COLLIER'S HILL PKWY, CR10, CR5, AND CR3. FOR LOTS ABUTTING ERIE PARKWAY, STRAIGHT RUNS SHALL BE LIMITED TO APPROXIMATELY 600 FEET IN LENGTH AND 30% OF THE TOTAL FRONTAGE OF ERIE PARKWAY. MASONRY COLUMNS SHALL BE PROVIDED ON CORNERS OF LOTS SPACED A MINIMUM EVERY THREE LOTS FOR ALL OPAQUE FENCING ALONG ARTERIAL STREETS.



TYPICAL SECTION - WHERE LOCAL STREET R.O.W. ABUTS ERIE PKWY.
(PROVIDES OPEN VIEWS INTO THE COMMUNITY)



TYPICAL SECTION - WHERE LOTS BACK TO ERIE PKWY.
(LIMITED TO 30% OF FRONTAGE, +/- 30 LOTS)

NOTE: TYPICAL SECTIONS ARE FOR ILLUSTRATIVE PURPOSES TO DEMONSTRATE LANDSCAPE BUFFER CONCEPTS. STREET SECTIONS TO BE DEVELOPED AND FINALIZED DURING PLAT PROCESS.

BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF
SEC. 9, SEC. 17, E 1/2 OF SEC. 18,
T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

HURST CIVIL ENGINEERING PLANNING SURVEYING	1265 S. Public Road	SCALE	HOR. N/A
	Suite 8	DESIGN/APPR.	BO
	Lafayette, CO 80026	DRAWN BY	RD
	303.449.9105	DATE	03/12/21
www.hurst-assoc.com	SHEET	3	OF 8

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BRIDGEWATER P.U.D. OVERLAY MAP – AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH,
RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

965.83 ACRES
PUDA-001184-2020

DIMENSIONAL STANDARDS

DISTRICT	MINIMUM LOT STANDARDS		MINIMUM LOT SETBACKS (FT.) (2,3,7)				MAX. HT.
	WIDTH (FT.)	AREA (S.F.)	FRONT (6)	SIDE (1,4) (TO ADJUTING STREET)	SIDE (1,4) (TO INTERIOR LOT)	REAR (4,5)	
LR (WITH SFD)	40'	3,500 (10)	PRIN. - 20'	10'	6'	PRIN. - 20'	PRIN. - 35'
	50' CORNER LOTS		ACC. - 30'			ACC. - 5'	
LR (VILLAGE 15 APARTMENTS)	NONE	1,500	PRIN. - 20'	10'	NONE	PRIN. - 20'	PRIN. - 35' (9)
			ACC. - 30'			ACC. - 5'	
LR (SFA - DUPLEX-ALLEY LOADED)	30'	2,250	PRIN. (OS) - 6'	10'	6'	PRIN. - 0' (8)	PRIN. - 35'
			PRIN. (ROW) - 12'			ACC. - 0' (8)	
LR (SFA - TOWNHOME-ALLEY LOADED)	20'	1,250	PRIN. (OS) - 6'	10'	6'	PRIN. - 0' (8)	PRIN. - 35'
			PRIN. (ROW) - 12'			ACC. - 0' (8)	

(1) ZERO LOT LINE SETBACKS SHALL BE PERMITTED FOR ATTACHED BUILDINGS PROVIDED THAT THE BUILDING MEETS THE ZONE DISTRICT INTERIOR LOT LINE SETBACK ON THE SIDE OF THE BUILDING THAT IS NOT ATTACHED

(2) MULTIPLE PRINCIPAL BUILDINGS ON A SINGLE LOT SHALL BE SEPARATED BY A DISTANCE EQUAL TO THE DISTANCE THAT WOULD BE REQUIRED IF THEY WERE SEPARATED BY A SIDE TO INTERIOR LOT LINE.

(3) FRONT, SIDE, AND REAR SETBACKS SHALL ALLOW FOR ENCROACHMENTS UP TO 2 FEET BEYOND THE BUILDING FOUNDATION FOR ABOVE-GRADE FEATURES INCLUDING EAVES, COUNTERFORTS, FIREPLACE BOX-OUT, STOOPS, BAY WINDOWS, ROOM CANTILEVERS, AND OVERHANGS PROVIDED THAT THE LIVING SPACE OF THE PROJECTION DOES NOT EXCEED 20 SQUARE FEET IN EACH INSTANCE AND EXTEND MORE THAN 2 FEET. THERE SHALL BE NO MORE THAN TWO (2) ABOVE-GRADE LIVING SPACE ENCROACHMENTS PER ELEVATION ARTICULATION (AS DEFINED IN 10.6.7.F.1.d.ii.(C)). REAR ENCROACHMENTS ARE NOT PERMITTED WITH ALLEY LOADED LOTS.

(4) SIDE AND REAR SETBACKS FOR FRONT LOADED LOTS SHALL ALLOW FOR ENCROACHMENTS UP TO 3 FEET BEYOND THE BUILDING FOUNDATION FOR BELOW-GRADE WINDOW WELLS.

(5) REAR SETBACKS FOR FRONT LOADED LOTS SHALL ALLOW FOR AN ENCROACHMENT OF UP TO 6' FOR A COVERED PATIO (NOT ENCLOSED).

(6) REDUCTION OF FRONT SETBACK TO 15' IS ALLOWED WHEN A GARAGE SIDES TO THE R.O.W.

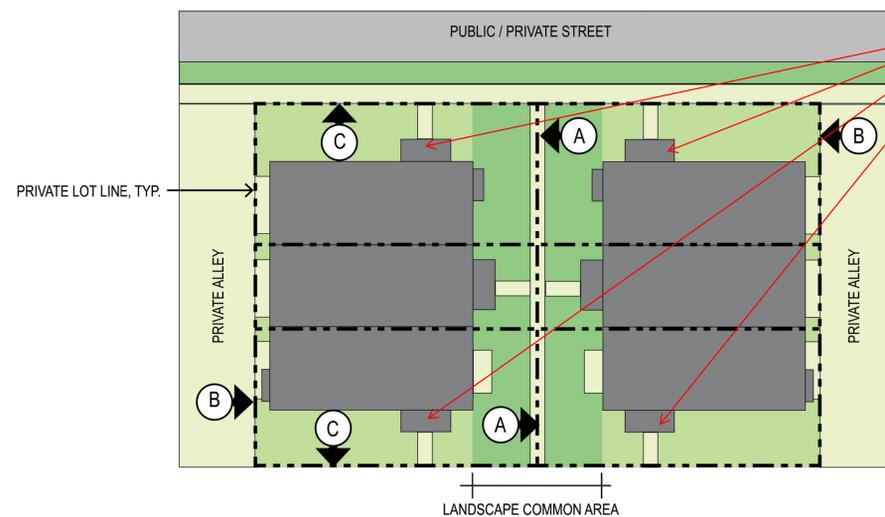
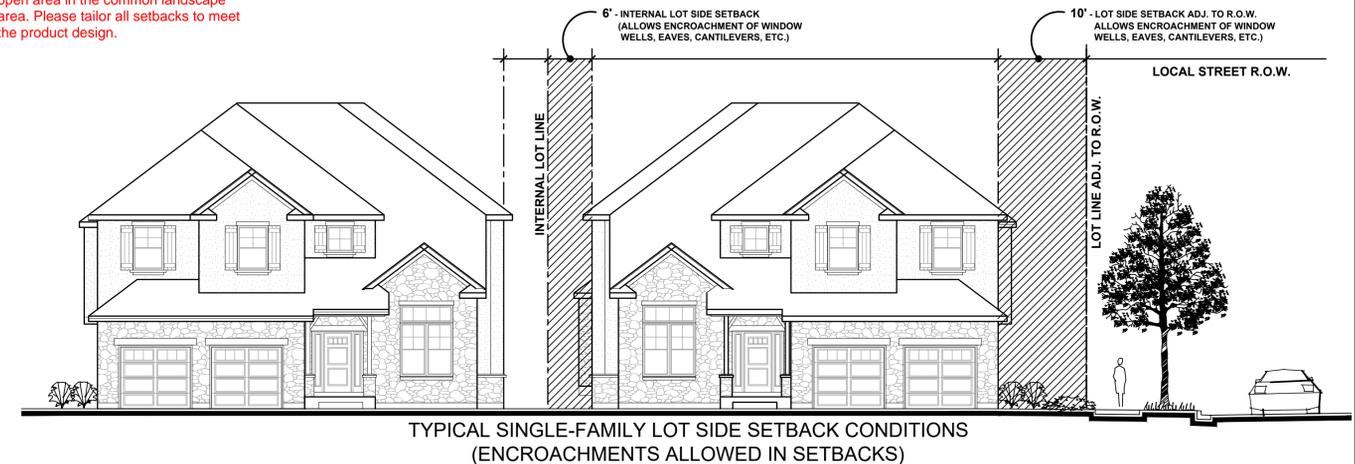
(7) PROPERTY LINES ABUTTING THE EXTERIOR BOUNDARY OF THIS PUD SHALL ADHERE TO ALL REQUIRED SETBACKS OF THE UNDERLYING ZONE DISTRICT UNLESS OTHERWISE NOTED IN THE PUD.

(8) NO ENCROACHMENTS ARE PERMITTED OVER THE 0' REAR SETBACKS, THIS INCLUDES ALL ARCHITECTURAL FEATURES SUCH AS EAVES, OVERHANGS, AND OTHER.

(9) MULTI-FAMILY BUILDING HEIGHT MEASURED PER UDC SECTIONS 10.11.3 AND PER 10.4.2.B.2 AND PER 10.6.4.G.6.

(10) SINGLE-FAMILY LOTS ALONG THE NORTHERN AND WESTERN PERIMETER OF VILLAGE 1 SHALL BE A MINIMUM OF 10,000 SF OR GREATER.

These setbacks aren't working with the proposal. Since the front setback is along the common landscape area ("A") a minimum 6' setback is unacceptable. This would also put buildings 12' apart instead of creating an open area. These setbacks need to be set to maximize the open area in the common landscape area. Please tailor all setbacks to meet the product design.



There should be some kind of minimum setback for the porches. Its written so they can encroach up to 5' in the landscape common area, but nothing addresses the ends. The UDC can allow encroachments as long as at least 5' of distance is maintained.

LR (SFA - TOWNHOME-ALLEY LOADED) - SETBACK EXHIBIT, TYPICAL

BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF SEC. 9, SEC. 17, E 1/2 OF SEC. 18, T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

HURST CIVIL ENGINEERING PLANNING SURVEYING www.hurst-assoc.com	1265 S. Public Road	SCALE	HOR. N/A VERT. N/A
	Suite B	DESIGN/APPR.	BO
	Lafayette, CO 80026	DRAWN BY	RD
	303.449.9105	DATE	03/12/21
		www.hurst-assoc.com	SHEET 4 OF 8

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BRIDGEWATER P.U.D. OVERLAY MAP - AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 68
WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

965.83 ACRES
PUDA-001184-2020

Architectural Standards for Single-Family Detached Dwelling Units - These standards replace subsection 6.7.E of the UDC.

1. Architectural Variety and Character

a. Architectural Variety

i. Design Standards

- (A) No identical model plan elevation shall be repeated directly across any street from the same model plan and elevation.
- (B) No identical model plan elevation shall be repeated more than once within every 4 lots on the same side of any street.
- (C) A minimum of 3 alternative elevations for each model plan shall be submitted to the Town for review.

b. Architectural Character

i. Design Standards

- (A) Each elevation shall include a minimum of 2 windows (or 1 window and 1 door) per floor.
- (B) Each front and rear elevation shall include more than 1 wall plane. Articulation that adds shadow and visual interest is encouraged.
- (C) A variety of roof forms should be used. Single unbroken roof pitches should be avoided, except where a single roof treatment is an essential element of the Architectural Style (e.g.: Mansard)
- (D) The main roof should extend beyond the primary façade by a minimum of 1 foot.
- (E) An elevation for the home that faces a street, park, trail corridor or open space area shall provide an "Enhanced Elevation". An "Enhanced Elevation" shall provide 3 or more of the following design enhancements listed in (1) through (5) below. Application of the design enhancement shall be applied in a manner that is consistent with the style of the home. Side and rear elevations design enhancements shall be consistent with the design elements of the front elevation.
 - (1) The addition of 1 window unit.
 - (2) A change in wall plane by providing 1 or more of the following options:
 - An additional wall plane change.
 - A projecting or cantilevered living space.
 - A bay or boxed window.
 - (3) A covered porch or deck.
 - (4) The addition of architectural detail elements such as: shutters, eave brackets, exposed rafter tails, corbels, lintels, trellises, columns or pilasters.
 - (5) The use of a minimum of 2 exterior cladding materials that can include materials such as masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other decorative siding treatment.
- (F) Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. (No exposed 4 inch x 4 inch posts shall be allowed more than 36 inches above ground). Columns supporting upper story decks should be 8 inches x 8 inches minimum finished.

ii. Materials

- (A) All exterior materials shall be of high quality used in applications and treated appropriately to provide an attractive and long lasting appearance.
- (B) When masonry cladding is used it should be used in locations where its mass is a logical and appropriate. In instances where masonry wraps the exterior corner of the home, the masonry should continue to a natural transition point such as an inside corner of a projecting wall, a column, a door or window or other logical point. In cases where no such feature exists near the corner, the masonry wrap shall extend at least 6 feet from the outside corner.

2. Orientation of Dwellings to the Street

Each residence shall have at least 1 primary pedestrian doorway for access to the dwelling unit facing and generally visible from the front lot line of the property and within 12 feet of the most forward plane of the ground level living space. On corner lots, the pedestrian doorway may face any adjacent street. Unless prohibited by terrain or other site constraints, the orientation of the homes shall repeat the predominant relationship of building to buildings and buildings to street along the same block or the facing block. An exception shall be made for alley-loaded single-family detached dwelling units that do not have street frontage but do front onto a park or landscaped common area. In such case where the dwelling unit does not have street frontage, 1 primary pedestrian doorway shall be oriented toward a common pedestrian walk that connects to a street.

3. Garages

These regulations for garages shall be applied to non-living space or storage areas within garages whether used for storage of automobiles or other items.

a. Diversity of Garage Orientation

(A) Except for garages oriented to alleys, all single family homes shall provide garages that meet one of the requirements below, and, a variety in garage orientation by providing a minimum of 2 of the following garage orientations on any single block:

- (1) Recessed garages; where the primary garage door generally faces the front lot line and the garage is recessed a minimum of 2 feet behind the most forward plane of main floor living space or a front porch.
- (2) Projecting garages; where the primary garage door generally faces the front lot line and the garage projects no more than 15 feet from the front door.
- (3) Side-loaded garages.
- (4) Garages recessed a minimum of 2 feet beneath a second floor living space.

b. Width/Façade Ratio

The width of a front loaded garage shall not exceed 65% of the width of the front elevation.

c. 3 or More Car Garages Orientation

The third or more bay of any 3 or more car garage shall either:

- I. Have a different orientation from the first 2; or
- II. Shall be recessed behind the first 2 by at least 2 feet when having the same orientation:
or
- III. Shall be tandem to the first 2.

4. Front Stoop

For model plans with a front stoop, the front stoop shall include the platform and stairs that are generally in front of a door that can be covered or uncovered. The maximum width of a front stoop shall be 3 feet in width.

5. Front Porches

For model plans with a front porch, the front porch shall include the covered area accessing the front door. Porches may fully extend outside the front façade of the home or be partially recessed. This space shall be a minimum size of 50 square feet with a minimum depth of 5 feet. For model plans with a partially recessed front porch, the porch must extend a minimum of 1 foot from the front façade of the home for architectural relief. Square footage may include the "front stoop" area, when the front stoop is included under the same covering as the front porch.

BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF
SEC. 9, SEC. 17, E 1/2 OF SEC. 18,
T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

HURST CIVIL ENGINEERING PLANNING SURVEYING	1265 S. Public Road Suite 8 Lafayette, CO 80026 303.449.9105 www.hurst-assoc.com	SCALE: HOR. N/A VERT. N/A
	DESIGN/APPR. BO	
	DRAWN BY RD	
	DATE 03/12/21	SHEET 5 OF 8

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BRIDGEWATER P.U.D. OVERLAY MAP - AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 68
WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

965.83 ACRES
PUDA-001184-2020

Architectural standards for Single-Family Attached Dwelling Units (Duplex – Alley Loaded)- These standards replace subsection 10.6.7.E and 10.6.7.F of the Unified Development Code and are only applicable for Village 11B and Village 1

1. Architectural Variety and Character

a. Architectural Variety

i. Design Standards

- (A) No identical model plan/building elevation shall be repeated directly across any street from the same model plan and elevation.
- (B) No identical model plan/building elevation shall be repeated more than once within every 4 buildings on the same side of any street.
- (C) A minimum of 3 alternative elevations for each model plan/building shall be submitted to the Town for review.

b. Architectural Character

i. Design Standards

- (A) Each elevation unit shall include a minimum of 2 windows (or 1 window and 1 door) per floor. For rear elevations where there is not enough space for both a garage door and an additional window, window panels within the garage door will suffice.
- (B) Each front elevation shall include more than 1 wall plane. Articulation that adds shadow and visual interest is encouraged.
- (C) A variety of roof forms should be used. Single, unbroken roof pitches should be avoided, except where a single roof treatment is an essential element of the Architectural Style (e.g.: Mansard)
- (D) The main roof should extend beyond the primary façade by a minimum of 1 foot.
- (E) An elevation for the home that faces a street, park, trail corridor or open space area shall provide an "Enhanced Elevation". An "Enhanced Elevation" shall provide 3 or more of the following design enhancements listed in (1) through (5) below. Application of the side elevation design enhancement shall be applied in a manner that is consistent with the design elements of the front elevation.
 - (1) The addition of 1 window unit.
 - (2) A change in wall plane by providing 1 or more of the following options:
 - An additional wall plane change.
 - A projecting or cantilevered living space.
 - A bay or boxed window.
 - (3) A covered porch or deck.
 - (4) The addition of architectural detail elements such as: shutters, eave brackets, exposed rafter tails, corbels, lintels, trellises, columns or pilasters.
 - (5) The use of a minimum of 2 exterior cladding materials that can include materials such as masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other decorative siding treatment.
- (F) Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. No exposed 4 inch x 4 inch posts shall be allowed more than 36 inches above ground. Columns supporting upper story decks should be 8 inches x 8 inches minimum, finished.

ii. Materials

- (A) All exterior materials shall be of high quality used in applications and treated appropriately to provide an attractive and long lasting appearance.

2. Orientation of Dwellings to the Street

Each residence shall have at least 1 primary pedestrian doorway for access to the dwelling unit facing, and generally visible from, the front lot line of the property and within 12 feet of the most forward plane of the ground level living space. On corner lots, the pedestrian doorway may face any adjacent street. On interior unit lots a maximum of 50% of the units in a building may have a doorway facing the side lot line, however the porch or stoop will face the front lot line. Unless prohibited by terrain or other site constraints, the orientation of the homes shall repeat the predominant relationship of building to buildings and buildings to street along the same block or facing block. An exception shall be made for alley-loaded single-family attached dwelling units that do not have street frontage but do front onto a park or landscaped common area. In such case where the dwelling unit does not have street frontage, 1 primary pedestrian doorway shall be oriented toward a common pedestrian walk that connects to a street.

This is a change from the original and should be removed.

3. Front Stoop

For model plans with a front stoop, the front stoop shall include the platform and stairs that are generally in front of a door that can be covered or uncovered. The maximum width of a front stoop shall be 3 feet in width.

4. Front Porches

For model plans with a front porch, the front porch shall include the covered area accessing the front door. Porches may fully extend outside the front facade of the home or be partially recessed. This space shall be a minimum size of 50 square feet, with a minimum depth of 5 feet. For model plans with a partially recessed front porch, the porch must extend a minimum of 1 foot from the front facade of the home for architectural relief. Square footage may include the "front stoop" area, when the front stoop is included under the same covering as the front porch.

This has been changed from the original. How does this impact 11B?

5. Bicycle Racks

One (1) guest bicycle rack shall be provided for every 10 single-family attached units. Loop bicycle racks shall accommodate 2 bicycles per loop. Racks shall be distributed evenly throughout the single-family attached residential area, with priority focused on key pedestrian areas and circulation paths.

BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF
SEC. 9, SEC. 17, E 1/2 OF SEC. 18,
T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

HURST CIVIL ENGINEERING PLANNING SURVEYING	1265 S. Public Road Suite 8 Lafayette, CO 80026 303.449.9105 www.hurst-assoc.com	SCALE HOR. N/A VERT. N/A
	DESIGN/APPR. BO	DRAWN BY RD
	DATE 03/12/21	SHEET 6 OF 8
	FILE G:\2020\142\ZONING\04-ARCH STDS AMEND 6.DWG	

BRIDGEWATER P.U.D. OVERLAY MAP - AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 68
WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO
965.83 ACRES
PUDA-001184-2020

ARCHITECTURAL STANDARDS FOR MULTI-FAMILY SPECIFIC TO VILLAGE 15

Architectural standards to Multi-Family Residential Dwelling Units – these standards replace subsection 10.6.7.F of the Unified Development Code and are only applicable to Village 15.

General Provisions

Purpose: To provide areas for residential uses of an urban character at a gross density not to exceed 26 dwelling units per acre. Buildings three (3) stories or less shall contain a maximum of 36 units per building.

10.5.6.A & 10.6.3.B – Parks and Open Space – Land dedication requirements have been prior satisfied elsewhere with the Bridgewater PUD – no additional land dedications or fees-in-lieu shall apply to Village 15.

10.5.6.B -- Contributions for Public School Sites – Land dedication requirements have been prior satisfied elsewhere within the Bridgewater PUD – no additional land dedications or fees-in-lieu shall apply to Village 15.

10.6.6 OFF-STREET PARKING AND LOADING

D. Off-Street Parking Requirements

1. Schedule A

c. Off Street Parking Location

vii. The following shall count toward the minimum parking requirement:

(A) Surface parking, including detached garages, carports and tandem spaces located in front of garage doors to be used by tenant of said garage.

10.6.7 RESIDENTIAL USE CATEGORY DESIGN STANDARDS

F. Additional Standards for Multi-family Residential

1. Building Design and Character

d. Architectural Character

i. Design Standards

(C) The maximum building length of any multi-family building, of 3-stories or less, shall be 160 feet. All buildings shall incorporate 1 additional item listed in 10.6.7.F.d.ii(D), totaling 3 or more features from the list below:

- (1) Balconies;
- (2) Bay or box windows;
- (3) Insets or other relief in the wall plane;
- (4) Porches;
- (5) Dormers;
- (6) Variations in materials; or
- (7) Variations in roof forms.

Additionally, building facades facing a Public Way shall incorporate one further Architectural Design Enhancement from the list below:

- (8) Use of 10% masonry (Stone, Manufactured Stone or Brick) along the façade facing the Public Right of Way or Common Open Space;
- (9) Enhanced architectural detailing on facades facing the Public Right of Way or Common Open Space, including but not limited to enhanced trim, articulated columns and/or column bases, awnings, brackets, corbels, exposed structure (whether actual or simulated structure);
- (10) Unit doors at round level patios in units facing the Public Right of Way or Common Open Space to allow direct access from the private unit to the Public Right of Way or Common Open Space; or
- (11) A portion of the roofs and/or awnings facing the Public Right of Way or Common Open Space in an enhanced material such as metal panel, standing seam or tile roofing.

BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF
SEC. 9, SEC. 17, E 1/2 OF SEC. 18,
T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

HURST CIVIL ENGINEERING PLANNING SURVEYING	1265 S. Public Road Suite 8 Lafayette, CO 80026 303.449.9105 www.hurst-assoc.com	SCALE: HOR. N/A VERT. N/A
	DESIGN/APPR. BO	
	DRAWN BY RD	
	DATE 03/12/21	SHEET 7 OF 8

FILE: G:\2021\22\ZONING\04-ARCH STDS AMEND 6.DWG

BRIDGEWATER P.U.D. OVERLAY MAP - AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 68
WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

965.83 ACRES
PUDA-001136-2020

Architectural standards for Single-Family Attached Dwelling Units (Townhome – Alley loaded) – These standards replace subsection 10.6.7.F of the Unified Development Code and are only applicable for Village 14.

General Provisions

Purpose: The provide areas for residential uses of an urban character at a gross density not to exceed 12 dwelling units per acre.

10.6.6.G.1 is replaced as follows:

Bicycle Parking

All development shall provide bicycle parking areas that comply with the following standards:

- a. Location
Bicycle parking spaces shall be conveniently located, but in no case shall such facilities be located farther than 100 linear feet from the primary building entrance. Bicycle parking shall be distributed evenly throughout the single-family attached townhome area, with priority focused on key pedestrian areas and circulation paths.
- b. Spaces Required
Bicycle parking spaces shall be provided at the following rates:
 - i. A minimum of 2 bicycle parking spaces per 20 off-street parking spaces for all commercial and multi-family single-family attached townhome uses.
- c. A rack or other structure shall be provided to secure parked bicycles. Looped bicycle racks shall accommodate 2 bicycles per loop.

10.6.7.F.1.c is replaced as follows:

Building Orientation

ii. Design Standards

- (A) The primary entrance and façade of individual buildings within a multi-family single-family attached townhome development shall be oriented towards:
 - (1) Primary internal or perimeter streets;
 - (2) Common open space, such as interior courtyards, landscaped common areas, parks, or on-site natural areas or features with a clearly defined and easily accessible pedestrian circulation system.
- (B) Primary entrances and facades shall not be oriented towards alleys, parking lots, garages, or carports.

What are these? Responses indicate street, park, or OS.

Some units face each other. Not sure how this is met. Those don't appear to comply with this section. What are interior courtyards? That should be shown on the example at the bottom right.

10.6.7.F.1.d is replaced as follows:

Architectural Character

ii. Design Standards

- (A) All sides of a multi-family single-family attached townhome building shall display a similar level of quality and architectural detailing. The majority of a building's architectural features and treatments shall not be restricted to a single façade. Building details, including roof forms, windows, doors, trim, and siding materials, shall reflect the architectural style of the building.
- (B) On multi-family single-family attached townhome buildings of 10 dwelling units or less, the massing and use of exterior materials is encouraged to be arranged to give each building the appearance of a large single-family home to promote a cohesive style between units within a building, however distinction between buildings is required (RE: 10.6.7.F.1.e). This includes townhomes, duplexes, manor homes, and stacked tri-plex/quad-plex homes. but does not necessarily apply to townhomes in which the unique individualism of each dwelling unit is expressed.
- (C) The maximum length of any multi-family single-family attached townhome building shall be 156 feet.
- (D) Blocky, uniform facades buildings are prohibited. The facades buildings of all multi-family single-family attached townhome buildings shall be articulated through the incorporation of 2 or more of the following:
 - (1) Balconies;
 - (2) Bay or Box windows;
 - (3) Insets or other relief in the wall plane;
 - (4) Porches;
 - (5) Dormers;
 - (6) Variations in materials; or
 - (7) Variations in roof forms.
- (E) The incorporation of a variety of roof forms is strongly encouraged. Generally, multi-family single-family attached townhome buildings shall incorporate roof pitches of between 3:12 and 12:12; however, alternative roof forms may be permitted at the discretion of the Community Development Director.
- (F) Roof overhangs shall be a minimum of 12 inches to establish strong shadow lines and complement the pitch and architectural style of the structure.
- (G) Horizontal variations in materials along the façade of a multi-family single-family attached townhome building shall occur in conjunction with a change in wall plane, preferably at the inside of the corner of a wall. dwelling
- (H) Each elevation unit shall include a minimum of 2 windows (or 1 window and 1 door) per floor. For rear elevations where there is not enough space for both a garage door and an additional window, window panels within the garage door will suffice.
- (I) Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. No exposed 4 inch x 4 inch posts shall be allowed more than 36 inches above ground. Columns supporting upper story decks should be 8 inches x 8 inches minimum, finished.

Specifically of note: -Section 10.6.7.F.c.ii.(A) & (B) - Primary entrances shall be oriented to primary streets/common open areas, and primary entrances shall not be on an alley.

The sketch plan shows numerous units that have front entrances on the alleys.

Response indicates doors have been adjusted. Please share the adjusted plan.

How long will these actually be? this should be reduced to reflect the product. 156' seems too long.

10.6.7.F.1.e is replaced as follows:

Architectural Variety

ii. Design Standards

(B) Townhomes

- (1) No more than 6 townhome dwelling units may be attached in any single row or buildings cluster.
- (2) Within each townhome row or cluster, individual dwelling units shall be differentiated through 2 or more of the following methods:
 - a. Use of distinct color variation between individual dwelling units;
 - b. Use of distinct variations in materials between individual dwelling units;
 - c. Use of distinct variations in architectural style or features, such as a porch or similar feature, between individual dwelling units;
 - d. Use of distinct variations in roof form;
 - e. Variation in garage orientations;
 - f. A variation in the plane of the front façade to provide a minimum 3-foot variation between individual dwelling units.
- (3) No identical model plan elevation shall be repeated directly across any street from the same model plan and elevation.
- (4) No identical model plan elevation shall be repeated more than once within every 4 lots on the same side of any street.
- (5) A minimum of 3 alternative elevations for each model plan shall be submitted to the Town for review.
- (6) Each front elevation shall include more than 1 wall plane. Articulation that adds shadow and visual interest is encouraged.
- (7) An elevation for the home that faces a street, common open space, such as interior courtyards, landscaped common areas, parks, or on-site natural areas or features, shall provide an 'Enhanced Elevation'. An 'Enhanced Elevation' shall provide 2 or more of the following design enhancements listed in below. Application of the side elevation design enhancement shall be applied in a manner that is consistent with the design elements of the front elevation.
 - a) The addition of 1 window unit;
 - b) A change in wall plane by providing 1 or more of the following options
 - An additional wall plane change; of at least 12"
 - A projecting or cantilevered living space; or
 - A bay or boxed window.
 - c) A covered porch or deck;
 - d) The addition of architectural detail elements such as: shutters, eave brackets, exposed rafter tails, lintels, trellises, columns, or pilasters; or
 - e) The use of a minimum of 2 exterior cladding materials that can include materials such as masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other decorative siding treatment.

This should probably reference buildings or building groups

The PUD normally requires 3. Why only 2?

Response indicates front doors have

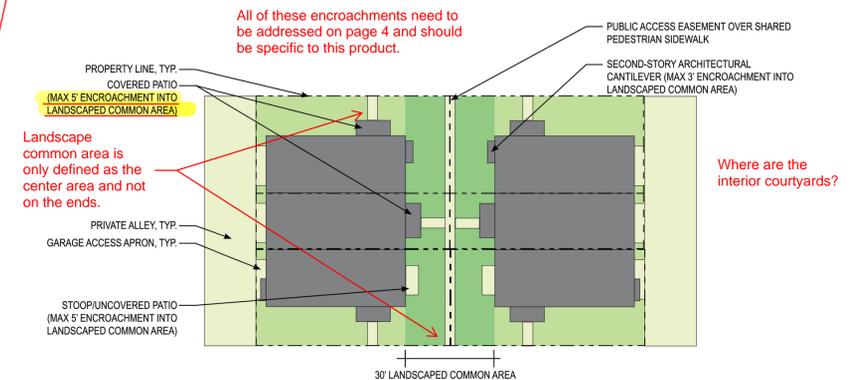
Additional Design Standards:

1. **Front Porch**
For plans with a front porch, the minimum size of front porches shall be 50 square feet of floor area, excluding the stoop and any projections, with a minimum depth of 5 feet. Should include the stoop as long as it is part of the porch
2. **Front Stoop**
For plans with a front stoop, the front stoop shall include the platform and stairs that are generally in front of a door that can be covered or uncovered, with a minimum depth of 3 feet.

Definitions:

1. **Landscaped Common Area**
Landscaped Common Areas shall be defined as common landscape and pedestrian areas within residential neighborhoods where alley-loaded buildings front each other, and a street is not present. These spaces are envisioned as a publicly accessible space via a public access easement granted over a portion of the front setback of a rear-loaded single-family attached lot. Landscaped Common Areas shall be a minimum of 30 feet in width as measured between the front primary facades of facing buildings. Encroachments are permitted for the following architectural appurtenances: Covered front porches up to 6 feet (inclusive of roof overhangs), front stoops or uncovered patios up to 5 feet, second-story architectural cantilevers up to 3 feet (inclusive of roof overhangs), bay windows up to 3 feet (inclusive of roof overhangs), other above-grade features such as roof overhangs, eaves, counterforts, and fireplace box-outs up to 2 feet. Fencing is not permitted in Landscaped Common Areas unless used as a decorative screening element for above ground utilities subject to the approval of the Community Development Director. See Exhibit 1.1 below.

EXHIBIT 1.1



Landscape common area is only defined as the center area and not on the ends.

Where are the interior courtyards?

This isn't needed if it is the same as the definition above.

NOTE: Landscaped Common Areas shall be defined as common landscape and pedestrian areas within residential neighborhoods where alley-loaded buildings front each other and a street is not present. These spaces are envisioned as a publicly accessible space via a public access easement granted over a portion of the front setback of a rear-loaded single-family attached lot. Landscaped Common Areas shall be a minimum of 30' in width as measured between the front primary facades of facing buildings. Encroachments are permitted for the following architectural appurtenances: Covered front porches up to 6' (inclusive of roof overhangs), front stoops or uncovered patios up to 5', second-story architectural cantilevers up to 3' (inclusive of roof overhangs), bay windows up to 3' (inclusive of roof overhangs), other above-grade features such as roof overhangs, eaves, counterforts, and fireplace box-outs up to 2'. See exhibit 1.1 above for reference.

BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF SEC. 9, SEC. 17, E 1/2 OF SEC. 18, T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

HURST CIVIL ENGINEERING PLANNING SURVEYING	1265 S. Public Road	SCALE	N/A
	Suite 8	DESIGN/APPR.	BO
	Lafayette, CO 80026	DRAWN BY	RD
	303.449.9105	DATE	03/12/21
www.hurst-assoc.com	SHEET	8	OF 8

FILE: G:\2020\22\ZONING\04-ARCH STDS AMEND 5.DWG

From: [Dawn Anderson](#)
To: [Melinda Helmer](#)
Subject: Colliers Hill Drainage
Date: Wednesday, April 14, 2021 3:53:11 PM
Attachments: [image002.jpg](#)
[0103_001.pdf](#)
[0104_001.pdf](#)
Importance: High

Melinda,

Weld County has received many concerns regarding the above mentioned development within Erie in respect to drainage. We have recently reviewed the drainage report and we too have concerns that we would like to discuss. Below you will find our initial comments. Could we schedule a meeting either in person or remote to discuss with Town of Erie Planning Department next week?

Initial Comments:

In reference to the Phase I Drainage Report for Colliers Hill Filing 6, Weld County has two different concerns. Pond 2 is proposed to release into an existing storm pipe that goes under the RTD embankment. This release will then go into the Parkland Estates subdivision and then further downstream to the Carmacar Subdivision. Weld County requests to review the report to ensure that the downstream properties are not adversely effected. Weld County recommends that the release rate be no higher than the 5-year pre-developed runoff rate to protect the residences and infrastructure in this area.

The report proposes that Pond 1 be located outside of the subdivision in a property that is currently in unincorporated Weld County, outside of the limits of the Town of Erie. This pond will then flow to a regional drainage channel. This pond needs to be designed in accordance with the Weld County Code. This will required the pond to capture the 100-year 1-hour storm and release at a rate no greater than the 5-year, 1-hour storm falling on the predeveloped site.

To address the above comments, downstream infrastructure improvements identified in the Outfall Systems Plan – East of Coal Creel report, dated January 2020 should be constructed prior to the construction of the development. These improvements should start downstream and work upstream to prevent downstream inundation. Both of the ponds proposed in the Phase 1 Drainage Report for Colliers Hill Filing 6 have downstream flow paths that have recommended improvements based upon the Outfall Systems Plan. The purpose of these improvements is to protect downstream existing properties and infrastructure.

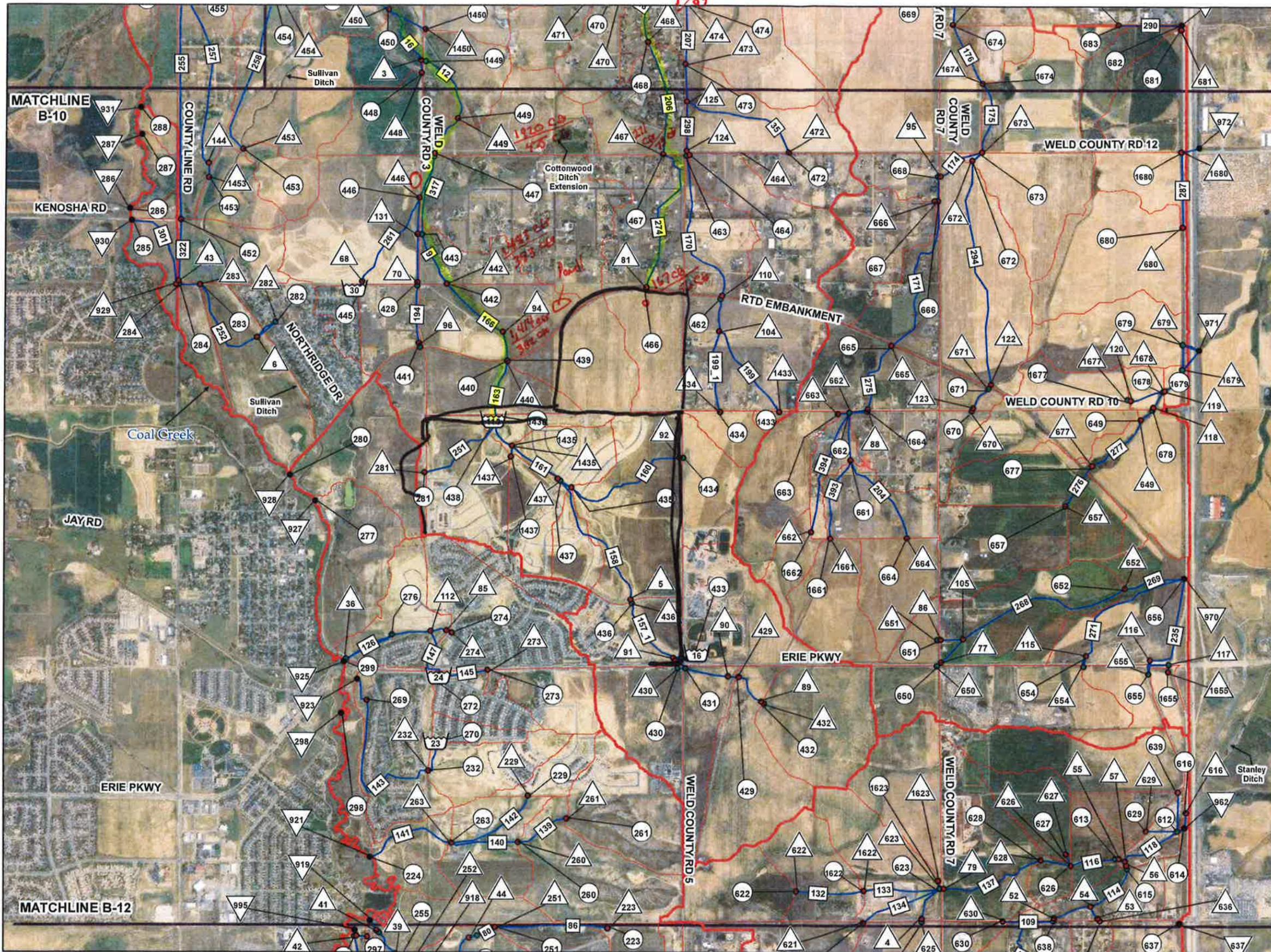
Weld County respectfully requests to review future drainage reports for the Colliers Hill/Bridgewater subdivision and developments in the area as well as drainage outfall improvement plans associated with this development.

Thank you,

*Dawn R. Anderson
Development Review Manager*



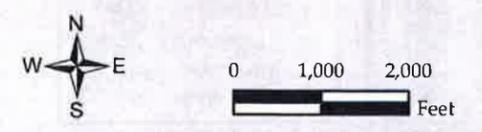
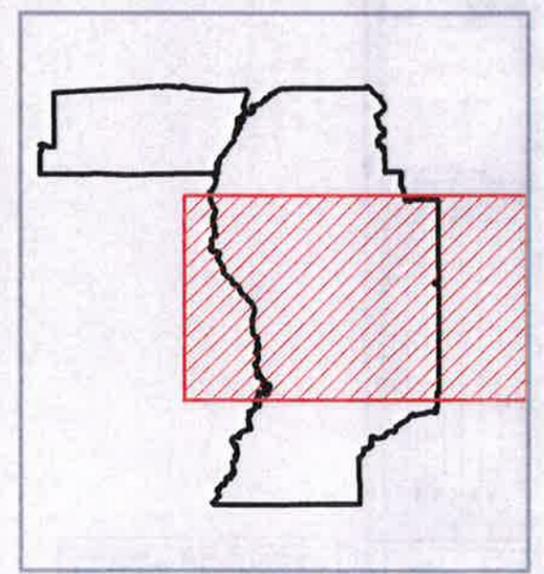
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Legend

- Study Area Boundary
 - Subcatchments
 - Major Watershed Boundary
- SWMM Elements**
- Subbasin
 - Design Points
 - Conveyance Element
 - Detention Facility
 - Outfall

KEY MAP



Merrick and Company
 2480 W 26th Ave, Unit B225
 Denver, CO 80211
 Phone: 303-964-3333
 Fax: 303-964-3355

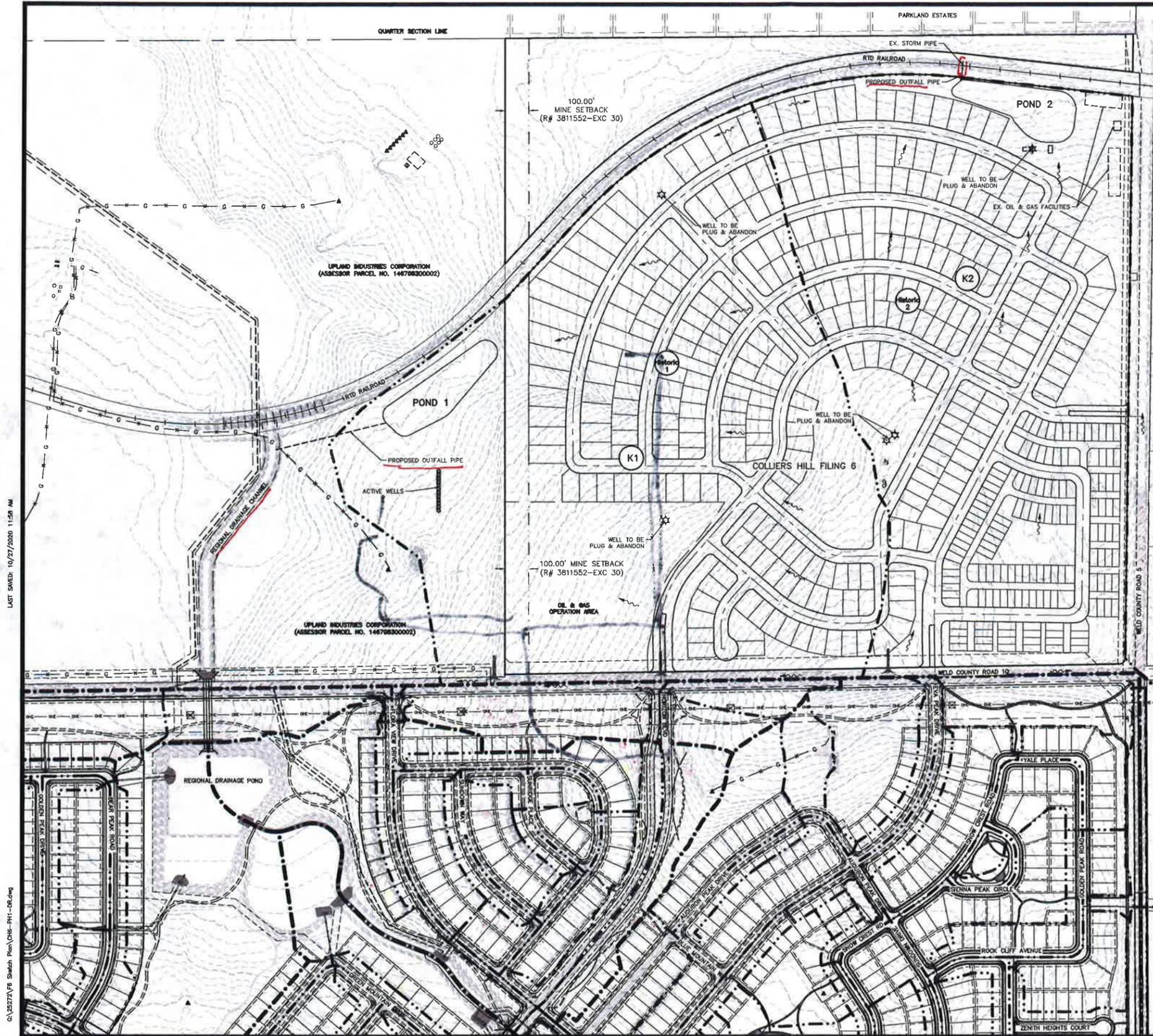


TOWN OF ERIE

TOWN OF ERIE OUTFALL SYSTEMS PLAN
 (EAST OF COAL CREEK)

SWMM ROUTING MAP

FIGURE
 B-11



LEGEND

- Existing Contours
- Proposed Contours
- Flow Arrow
- Basin Designation
- Basin Boundary
- Major Basin Boundary

SCALE VERIFICATION
 BAR IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

72 HOURS BEFORE YOU OR CALLER OF COLORADO (LOCAL) 811
 GAS ELECTRIC TELEPHONE CTV AND PAVEMENT EXISTING UTILITY LOCATIONS

REVISIONS

NO.	DESCRIPTION	DATE	BY

DEAN & ANN MIRABASH
4414 OR 5

TERRI & MARVIN BOWENSON
4280 OR 5

SHERLYNN & HAROLD BROWN
4218 OR 5

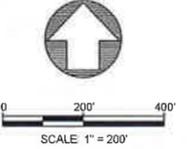
SHARIEL MERTONOMA
4132 OR 5

WENDY FOUST
4020 OR 5

HURST & ASSOCIATES, INC.
 1265 S. Public Road, Suite B
 Lafayette, CO 80026
 303.438.9105

HURST
 CIVIL ENGINEERING
 PLANNING
 SURVEYING

Basin	Area (acres)	C _p	C _{ss}	C _{ms}	T _c (mins)	I ₂ (in/hr)	I ₁₀ (in/hr)	I ₁₀₀ (in/hr)	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₁₀₀ (cfs)
K1	84.44	0.19	0.30	0.57	28.6	1.31	2.24	4.33	20.48	57.23	209.18
K2	70.30	0.25	0.37	0.61	33.7	1.19	2.03	3.92	20.86	52.34	167.99
H1	84.44	0.01	0.11	0.46	42.2	1.03	1.77	3.41	0.82	16.23	133.25
H2	70.30	0.01	0.11	0.46	53.0	0.89	1.53	2.94	0.60	11.95	96.20



LAST SAVED: 10/27/2020 11:58 AM

G:\2527A\FB Sketch Plan\CH6-PH1-DR.dwg

COLLIERS HILL FILING 6
 ERIE, CO
 PHASE 1 DRAINAGE REPORT
 DRAINAGE PLAN

Drawn by: R.H.
 Checked by: R.H.
 Drawing Name: CH6-PH1-DR
 Approved by: J.J.

Job Number: 2527-02
 Date: 10/23/2020
 Scale: 1"=200'
 Sheet No: 1 OF 1

Prepared for:
 DAYBREAK RECOVERY ACQUISITION LLC

Chris LaRue

From: J WADEFOTT <jwfott@comcast.net>
Sent: Tuesday, April 13, 2021 12:48 PM
To: jmcdonald@weldgov.com; erelford@weldgov.com; Chris LaRue; Melinda Helmer
Cc: lsaine@weldgov.com; smoreno@weldgov.com; pbuck@weldgov.com
Subject: Request for response - 2nd Referral Review - Colliers Hill PUD Amdt 6
Attachments: 201116_CH_Filing_No_6_Phase_1_Drainage_Report-SIGNED.pdf

To: Weld County Public Works Department and Town of Erie Planning Department:

The Parkland HOA has made me aware of a request by the Town of Erie to provide feedback on the 2nd Referral Review - Colliers Hill PUD Amdt 6, also known as "Bridgewater" development plans. I have been a resident of Parkland Estates near Erie, CO and Weld county since 2002.

The attached file ("201116_CH_Filing_No_6_Phase_1_Drainage_Report-SIGNED.pdf") contains current plans for the "Bridgewater" new development stormwater drainage. These plans show two detention ponds that will direct outflow through Parkland Estates residents' personal property as well as Parkland HOA property, these outflows will also cross Weld County roads.

The "Bridgewater" planned development is located adjacent to WCR 5 and WCR 10, directly to the south of Parkland Estates. Specifically note the planned feature listed as Pond 1 on page 13 (this outflow will cross into the western portion of Parkland Estates) and the feature listed as Pond 2 on page 13 (outflow will cross into the eastern portion of Parkland Estates). The feature listed as Pond 1 outflow will be additive to outflow from the Colliers Hill development that is currently undergoing home and road construction. The outflow from the feature listed as Pond 2 will also impact the Carmacar community that is north of Parkland Estates.

The concern that I would like to raise is relative to the additional frequency, duration, and volume of stormwater incursions onto the Parkland Estate residents' personal property and HOA Property and potential adverse impacts to these properties, as well as potential impacts to Weld County roadways. The "Bridgewater" new development potential negative impacts due to increases in the amount of impervious surfaces such as rooftops and roadways should be reviewed relative to planning and implementation of integrated drainage management systems downstream prior to the new "Bridgewater" development PUD approval and any construction.

Please reference excerpts from **Weld County Code Ordinance 2019-12, Sec 8-11-10. Intent includes the following:**

"A. The intent of the Weld County Storm Drainage Criteria is to provide minimum standards to preserve and protect the public health, safety and general welfare in the unincorporated lands of the County, pursuant to authority granted by Part 4 of Article 15 of Title 30, and Article 35 of Title 30, C.R.S.

B. Adequate stormwater management is necessary to preserve and promote the health, safety, general welfare, and economic well-being of the County. Drainage is a regional issue involving multiple governmental jurisdictions and affecting all property parcels. This makes it especially critical for drainage systems and programs to address both public and private needs. The County should be directly involved to provide coordination and master planning for area-wide drainage facilities."

Excerpts from **Weld County Code Ordinance 2019-12, Section 8-11-40:**

"A. Weld County pursues a jurisdictionally unified drainage effort to assure an integrated drainage system and to cooperate with other regional and local planning agencies on drainage matters.

E. Public Works shall review and approve new development in accordance with the storm drainage criteria of this article."

I respectfully request a response from the Weld County Public Works Department and the Town of Erie relative to these Weld County Ordinance provisions and the coordination of stormwater management concerning the currently planned "Bridgewater" new development.

Thank you,

J. Wade Fott

Chris LaRue

From: J WADEFOTT <jwfott@comcast.net>
Sent: Tuesday, April 13, 2021 12:48 PM
To: jmcdonald@weldgov.com; erelford@weldgov.com; Chris LaRue; Melinda Helmer
Cc: lsaine@weldgov.com; smoreno@weldgov.com; pbuck@weldgov.com
Subject: Request for response - 2nd Referral Review - Colliers Hill PUD Amdt 6
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Please reference excerpts from **Weld County Code Ordinance 2019-12, Sec 8-11-10. Intent includes the following:**

"A. The intent of the Weld County Storm Drainage Criteria is to provide minimum standards to preserve and protect the public health, safety and general welfare in the unincorporated lands of the County, pursuant to authority granted by Part 4 of Article 15 of Title 30, and Article 35 of Title 30, C.R.S.

B. Adequate stormwater management is necessary to preserve and promote the health, safety, general welfare, and economic well-being of the County. Drainage is a regional issue involving multiple governmental jurisdictions and affecting all property parcels. This makes it especially critical for drainage systems and programs to address both public and private needs. The County should be directly involved to provide coordination and master planning for area-wide drainage facilities."

Excerpts from **Weld County Code Ordinance 2019-12, Section 8-11-40:**

"A. Weld County pursues a jurisdictionally unified drainage effort to assure an integrated drainage system and to cooperate with other regional and local planning agencies on drainage matters.

E. Public Works shall review and approve new development in accordance with the storm drainage criteria of this article."

I respectfully request a response from the Weld County Public Works Department and the Town of Erie relative to these Weld County Ordinance provisions and the coordination of stormwater management concerning the currently planned "Bridgewater" new development.

Thank you,

J. Wade Fott

Chris LaRue

From: Layne Los <skylayner@gmail.com>
Sent: Monday, April 12, 2021 1:53 PM
To: Melinda Helmer; Chris LaRue
Subject: Bridgewater runoff threatens our homes due to insufficient consideration of existing infrastructure

Good Afternoon Melinda and Chris,

I was a bit surprised and dismayed to learn that comments on this project were due today as I had not received any notice from the town about this project. It is clear with only a cursory understanding of the project that when a formally empty wheat field becomes a very high density housing development IT will shed **Much Much more water downhill towards our homes.**

I would encourage both of you to have a look at the current drainage infrastructure. When you do you'll immediately notice the initial drainage ditch is ~10 feet deep and 25 - 40 ft wide. That looks good initially, but rapidly narrows to a small crushed pipe with about a 18" opening. The crushed pipe should easily be fixed but it does not likely begin to handle the anticipated flows.

Once through that restriction under Rue De Trust the shallow ditch flows North for 500' or so where the remnants of this shallow ditch is filled in, at two locations. So even that ditch isn't a continuous drainage and thus diverts any of the flow toward our homes. So what should have carried limited flows in this shallow ditch quickly gets shunted toward our homes.

At the risk of stereotyping, Contractors often cause issues for surrounding areas but are not very good at taking responsibility for the damage their developments cause. Unless these are dealt with up front one can imagine a Lawsuit and the uncertainty of a favorable outcome, only after our homes are damaged.

One could easily see how all the nonpermeable surfaces would generate massive flooding if these concerns are not addressed now.

Layne Los, PhD
4677 Cathy Lane
Erie, CO 80516

Chris LaRue

From: Glen Feldpausch <glenfeld55@gmail.com>
Sent: Monday, April 12, 2021 9:09 AM
To: Melinda Helmer
Cc: Chris LaRue
Subject: Comment on 2nd Referral Review - Colliers Hill PUD Amdt 6

I would like to express my concern on the planned development in Erie Colorado as detailed by the Bridgewater – Colliers Hill P.U.D. Amendment 6. My concern is about the increase of surface water from the development and how it will affect the current Carmacar housing development.

To review, the Bridgewater Development will develop the land to the south of Carmacar with a significant number of housing units. The area is west of CR5 and from south of the RTD rail bed to Erie Parkway. The surface water from the northern part of this development is uphill of Carmacar and the established Parkland Estates Development.

The Bridgewater development plans include 2 retention ponds that should absorb a 100 year rain event. That is seemingly adequate for a major rain event. But with our changing climate, 100 year events and worse are occurring more frequently. In the event of a rain event that exceeds the design limits of the Bridgewater plan, outflow from the development becomes surface water flowing downhill towards the established Parkland Estates and Carmacar housing developments. These established developments already have insufficient surface water channel capacity as identified by a study done by the Town of Erie (Outfall Systems Plan East of Coal Creek – 01/2020). Adding excess surface water from the Bridgewater development, along with water from an extreme rain event, would overwhelm the current drainage systems, as already having been identified as insufficient. This would result in significant flooding threatening property and health in the established housing developments. Flooding has already occurred in the Carmacar Development when major rain occurred in 2013 and 2019. It would be worse with outflow from the Bridgewater Development.

I strongly suggest that the Town of Erie further research and develop a better solution to address this potential problem. The Town of Erie has an obligation to protect health and property in this matter.

If it is helpful, I can meet with and discuss this issue in further depth.

Thank you.

Glen Feldpausch

5618 Aspen, Ave. Erie, CO

517-930-6329

Chris LaRue

From: Martin Savinsky <phantomflyboy@gmail.com>
Sent: Friday, April 9, 2021 9:25 PM
To: Melinda Helmer; Chris LaRue; jmcDonald@weldgov.com; erelford@weldgov.com; bwilde@weldgov.com; dranderson@weldgov.com; mfreeman@weldgov.com; sjames@weldgov.com; lsaine@weldgov.com; smoreno@weldgov.com; pbuck@weldgov.com
Subject: Comments on Drainage for Review of Bridgewater permit application

The Town of Erie has requested input on the Bridgewater permit application by 4/13/2021 for issue 4/15/2021.

Weld County ordinance 2019-12 addresses stormwater drainage issues within Weld County. Excerpts from the Ordinance:

8-10-10

B. The County should be directly involved to provide coordination and master planning for area-wide drainage facilities.

8-11-40

E. Public Works shall review and approve new development in accordance with the storm drainage criteria of this article..

I. Exceptions to stormwater detention shall not jeopardize the public health, safety, and welfare of public and private property...

I live downhill from the proposed development at the intersection of CR 5 and CR12 in Unincorporated Weld County. The historical stormwater flows over the past 10 years have flooded my lot several times and flooded my basement once. Several of my neighbors have had similar occurrences. This occurred even with the Weld county limitation of building on no more than 4% of property square footage. The clay soil does not permit adequate percolation, and the drainage along CR 5 is restricted and inadequate. Attached are photos of flooding of my property. The water builds up until it flows over CR12.

My request is that Weld County "coordinate and master plan" the drainage proposal for Bridgewater to ensure the protection of downstream property as called for in Ordinance 2019-12. If infrastructure is required to safely direct drainage along CR5 rather than over private property, this should be completed before the thousands of homes and streets are built sealing current percolation and increasing stormwater runoff. Retention ponds are not the answer unless runoff can be directed away from private property.

I am directing these comments To Weld County as well as the Town of Erie, because the downstream properties are in Weld County, and Ordinance 2019-12 gives Weld oversight responsibility.

Martin and Mary Ann Savinsky

4949 CR5
Erie, CO 80516

425-269-3043
303-521-2930





Chris LaRue

From: Parkland HOA <Parkland.HOA@parklandstatesairpark.org>
Sent: Monday, April 12, 2021 2:50 PM
To: Chris LaRue
Cc: Tyler Burhenn; Darren Champion; Melinda Helmer; Parkland BOD
Subject: Re: 2nd Referral Review - Colliers Hill PUD Amdt 6
Attachments: 05.Restricted Improvements Lots.pdf; 06.Restricted Improvements Declaration Parkland(PSGE 5-12-20).docx; 04.Morgan Hill Avigation Restriction Desc.pdf; 03.Document Acknowledgement 06.25.20.docx.pdf; 01.2001.01.19.CDG-Parkland HOA Agreement.pdf; 02.2006.05.06.CDG Mike Burns Letter to Parkland HOA Including Map.pdf

Hello Chris

Our concerns are foremost for the safety of the people flying out of Parkland and for the people living in Bridgewater and secondly with ensuring that the people who move into Bridgewater are aware there is an airport next door. Some people like airplane noise and some people do not. Some people will be thrilled to look out of their window and see an airplane coming towards them and some people will not. Our goal is to have buyers make informed choices when it comes to living under a flight path so we all avoid noise complaints.

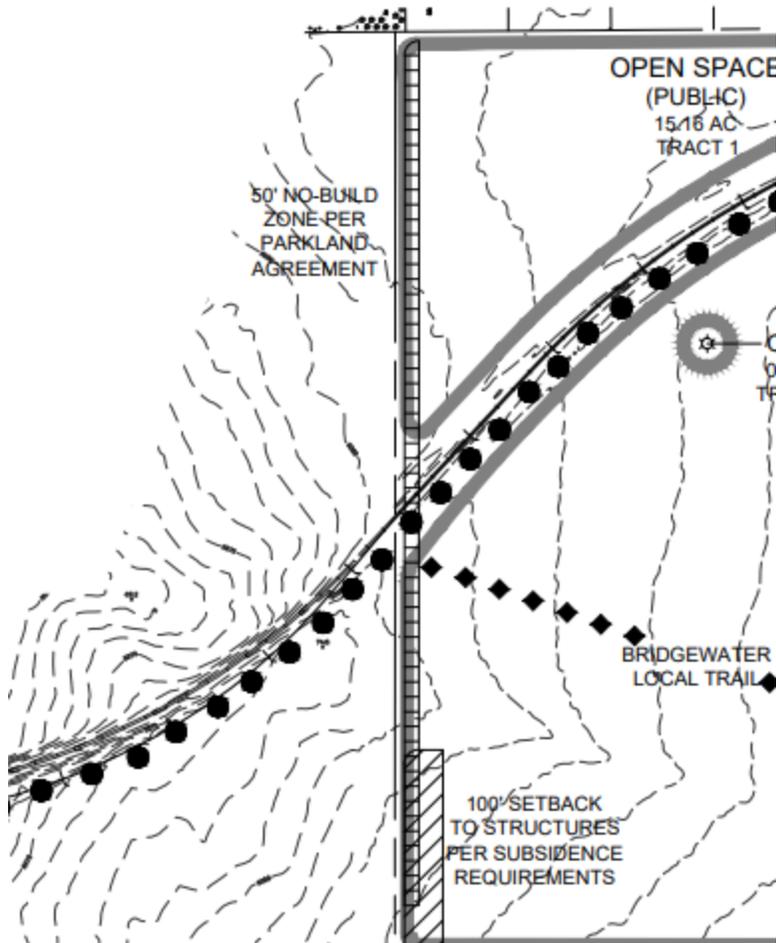
**In 2000 and 2006 Parkland negotiated agreements with CDG to cover the Morgan Hill and Bridgewater developments. The agreements include
The agreements are attached.**

- A no build area extending from the threshold of any runway 100' wide by 2500' long
- The no build area to have no fences, no trees, no bushes, no light poles, no park benches, no ditches, no curbs, etc.
- The area would be maintained as a no build area by the developer and by future HOAs so long as there is an airport in operation.
- **Purchasers will sign a disclosure agreement acknowledging the Town of Erie's avigation easement for the Erie Municipal and Parkland Airports, the no build area, and that the developer, the Town of Erie and the Parkland Homeowners Association will have no responsibility of liability for noise or damage to property occurring from overflights.**
- The avigation easement also has language in it permitting overflights by aircraft and restrictions on lights or sources or radio interference that could affect aircraft operations.

1. 100' Wide No build Zone

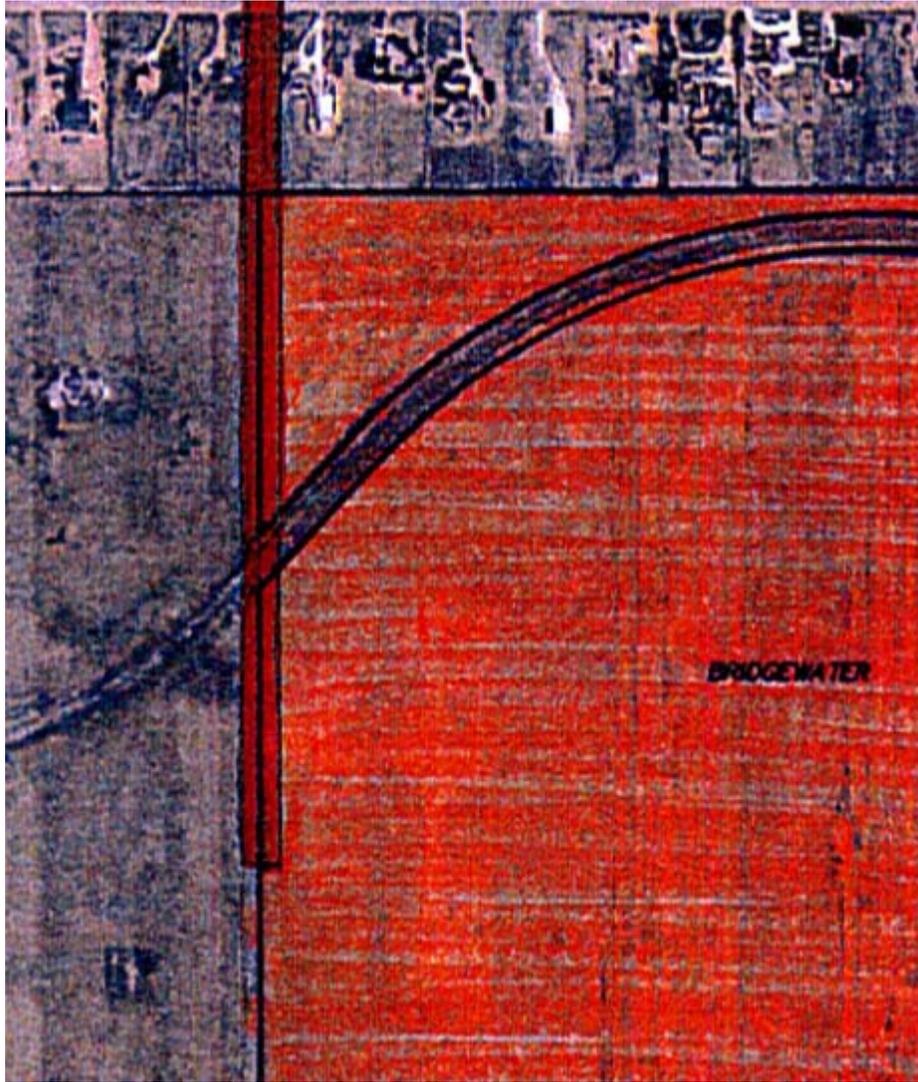
Page 2 of 201120-CH-PUD_Amend_07-PUD_Document shows a 50' NO-BUILD ZONE PER PARKLAND AGREEMENT.

PL



Prior to the sale of this parcel CDG made an agreement with Parkland when the east and west quarters were to be handled as one parcel. The agreement was to have a 100' wide x 2500' long no build zone extending from the southern threshold of RWY 17/35 (the North/South) runway at Parkland and straddle the boundary between the quarters.

This is a sketch from the CDG agreement.



The purpose of the NO BUILD Zone is to:

- a) provide an area with no obstructions for aircraft to climb or descend through during normal takeoff or landing operations and also to provide an open area for aircraft to crash in the event of an engine failure while using the runway.
- b) provide a buffer for the residents of Bridgewater so there is some separation from the noise and vibration they will experience from aircraft flying beside and directly over their houses.

Now that the west quarter is being developed separately we are left with the 50' no build zone shown above.

I met with Jerry Richmond and he has agreed to keep a 2500' long x 100' wide no build zone running from the northern property line to the southern property line that will be coincident with the oil & gas and mining setbacks.

----- Forwarded message -----

From: **Jerry Richmond** <jrichmond@raintree.us.com>

Date: Thu, Feb 25, 2021 at 2:46 PM

Subject: RE: Contact re Bridgewater and Parkland Airport

To: Parkland HOA <Parkland.HOA@parklandstatesairpark.org>

Cc: Chris LaRue <clarue@erieco.gov>, Parkland BOD

<Parkland.BOD@parklandstatesairpark.org>

Good to chat with you Craig. as mentioned the attached plan is a hope plan at this time and should not be considered final or approved by Erie.

As for the 100' set back along the western edge, we will definitely commit to that area being a "No Build Zone" from CR 10 to the northern Property Line.

I will get back to you as soon as possible after I return from vacation on the Affidavit of Acknowledgement, and the drainage concerns.

In the meantime, if you have other questions or concerns please feel free to email me.

Jerry B Richmond III

RainTree Investment Corp

7200 S. Alton Way, Suite C-400

Centennial CO 80112

303-267-6195

jrichmond@raintree.us.com

2. We would like to have this "No build Zone identified on the PUD & Plat ensuring that no above ground structure are constructed in the area so long as there is an airport operating at Parkland.

This is the statement from the Morgan Hill Platt

11) THE 100 FOOT WIDE RESTRICTED USE AREA ACROSS PORTIONS OF TRACKS K AND M IS A NO BUILD ZONE. NO TREES OR ABOVE GROUND STRUCTURES ARE ALLOWED WITHIN THIS STRIP.

- The no build area will have no fences, no trees, no bushes, no light poles, no park benches, no ditches, no curbs, etc.

- Some day if the railroad tracks are removed then the railroad bed could also be removed to level the ground and remove it as a hazard.

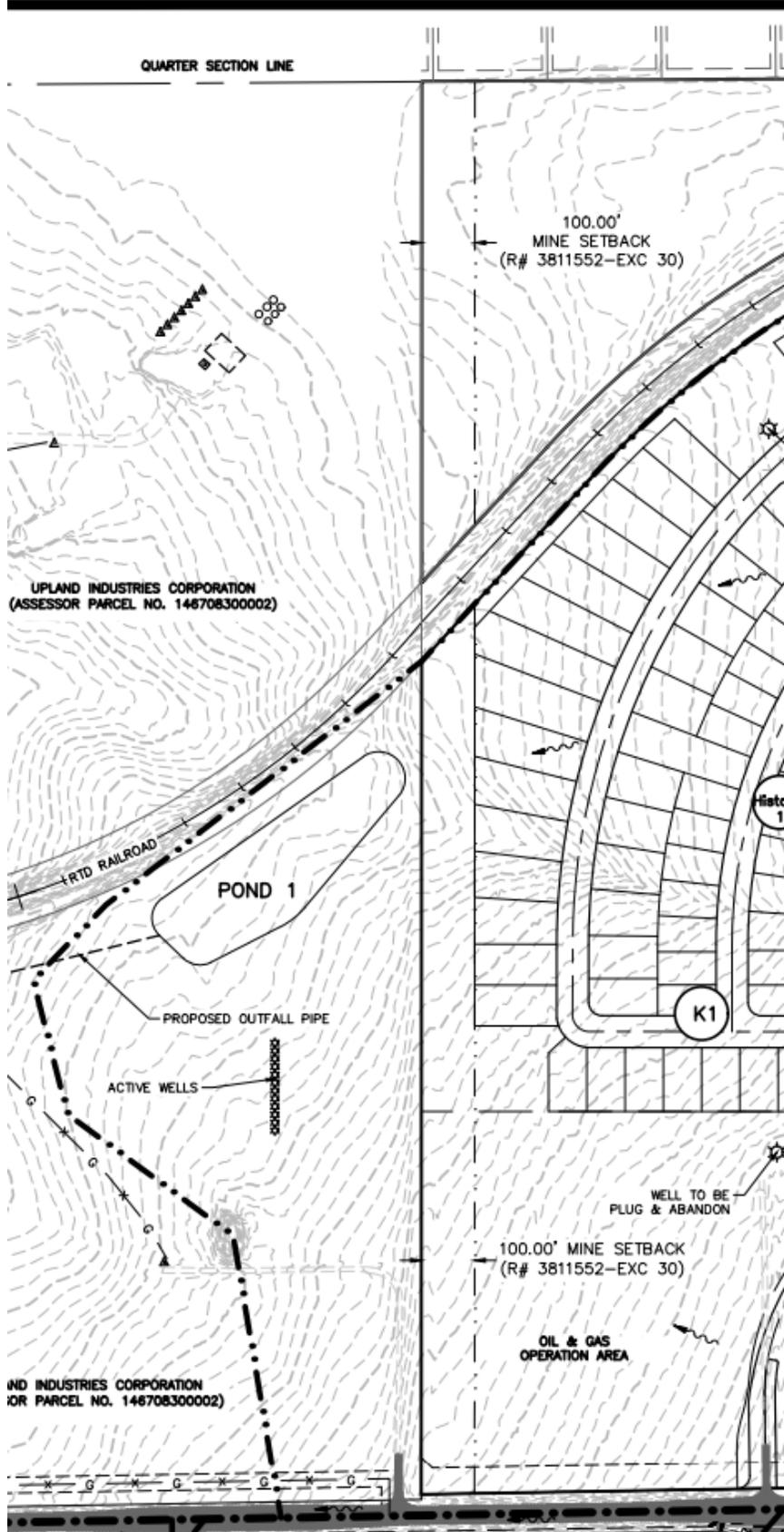
3. Building Heights along No Build Zone

Subsequent negotiations with CDG added restrictive covenants limiting the heights of the houses adjacent to the no build area in Morgan Hill.



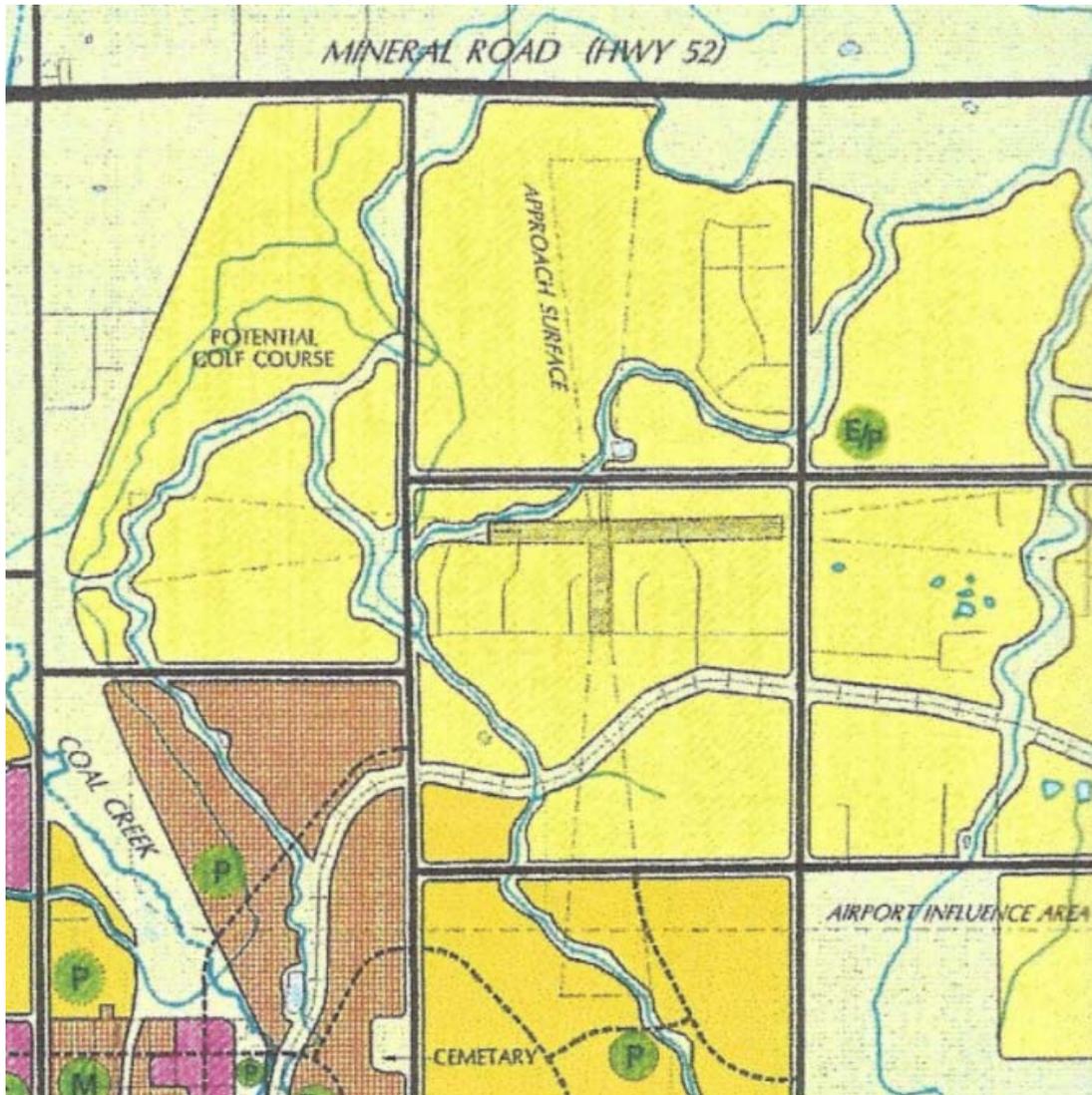
This image shows the No-Build Zone in the Morgan Hill Subdivision Track K & M, immediately west of Parkland runway 8/26. The lots highlighted in yellow are restricted to single story buildings. We were unable to get CDG to agree to a single story house to be constructed in lot 10. The glideslope for our runway puts an aircraft 55' over the roof of that house. In normal operations some aircraft will be higher than 55' and some will be lower. The terrain in Bridgewater does not rise to the south as much as it does to the west in Morgan hill so there should be closer to 80'-100' of clearance for an aircraft passing over houses at the south end of the no build zone in Bridgewater.

We would like to ensure that the houses adjacent to the No Build Zone at Bridgewater are single story construction.

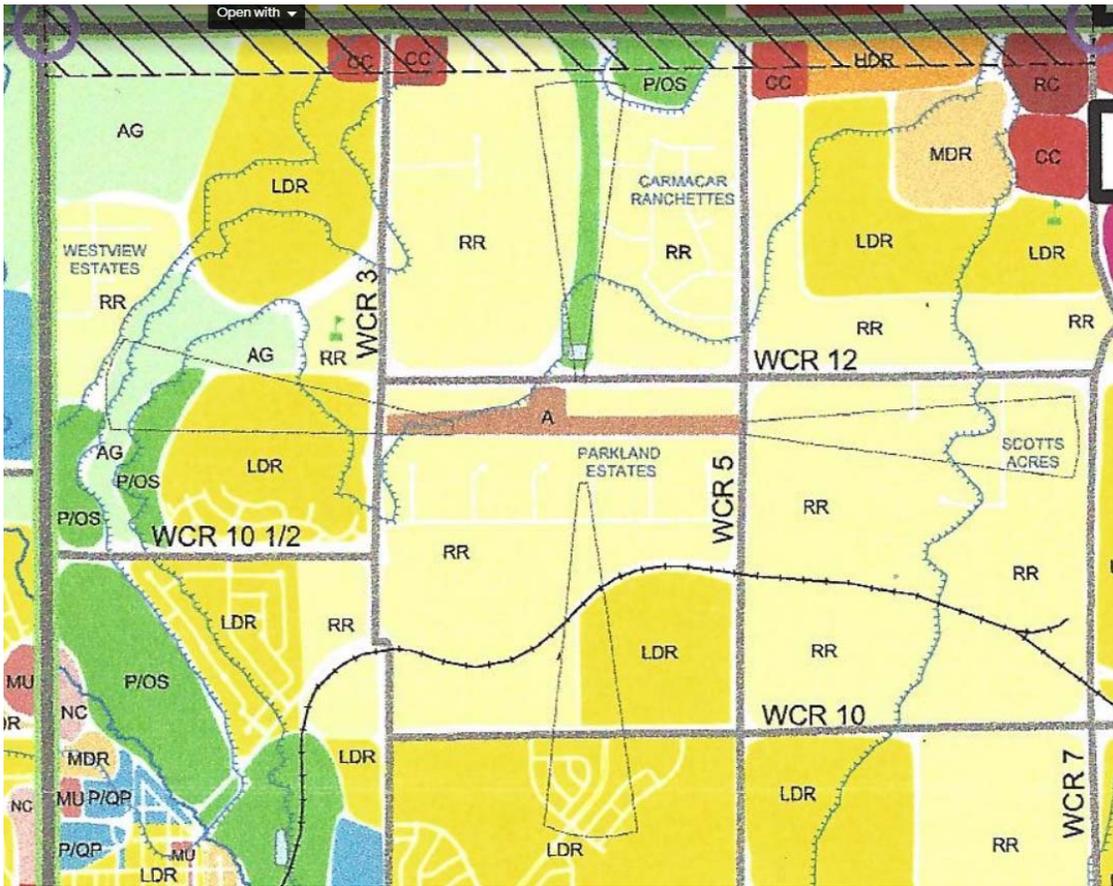


4. Disclosure of Avigation Easement

Back in 1996 & 1997 there was a Part 77 Airspace study completed for Parkland and the 1996 Erie Development Map shows FAA Runway Clear Zones and an Airport Influence Area in place for Parkland that covers the Bridgewater development.



By 2015 the planning map rotated the Runway Clear Zone for RWY 8/26 to accommodate the Morgan Hill subdivision without consultation with Parkland but the rest of the clear zones are still shown in place.



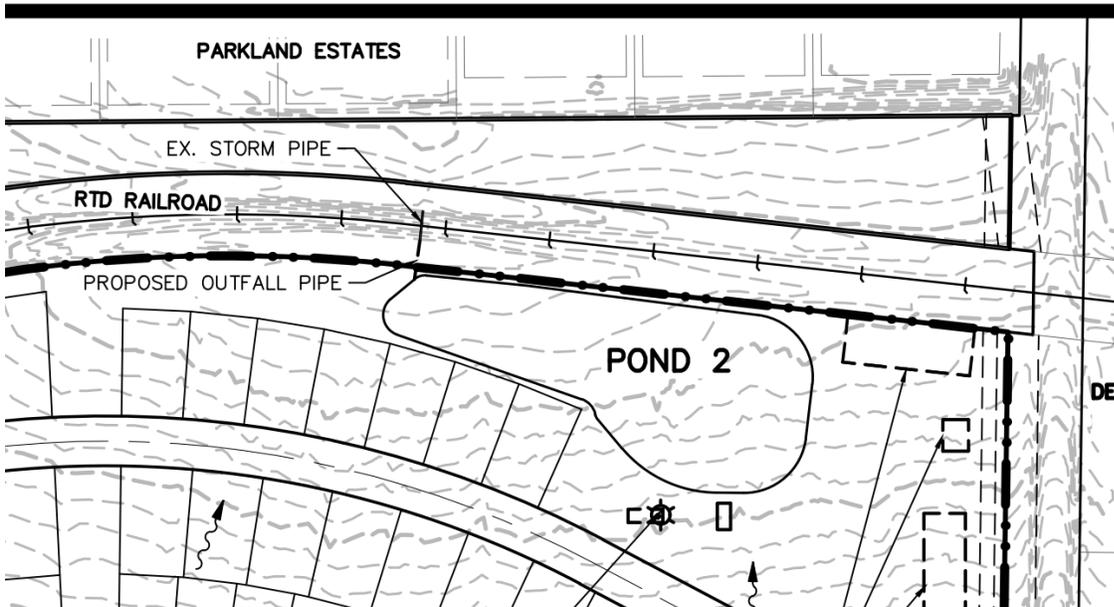
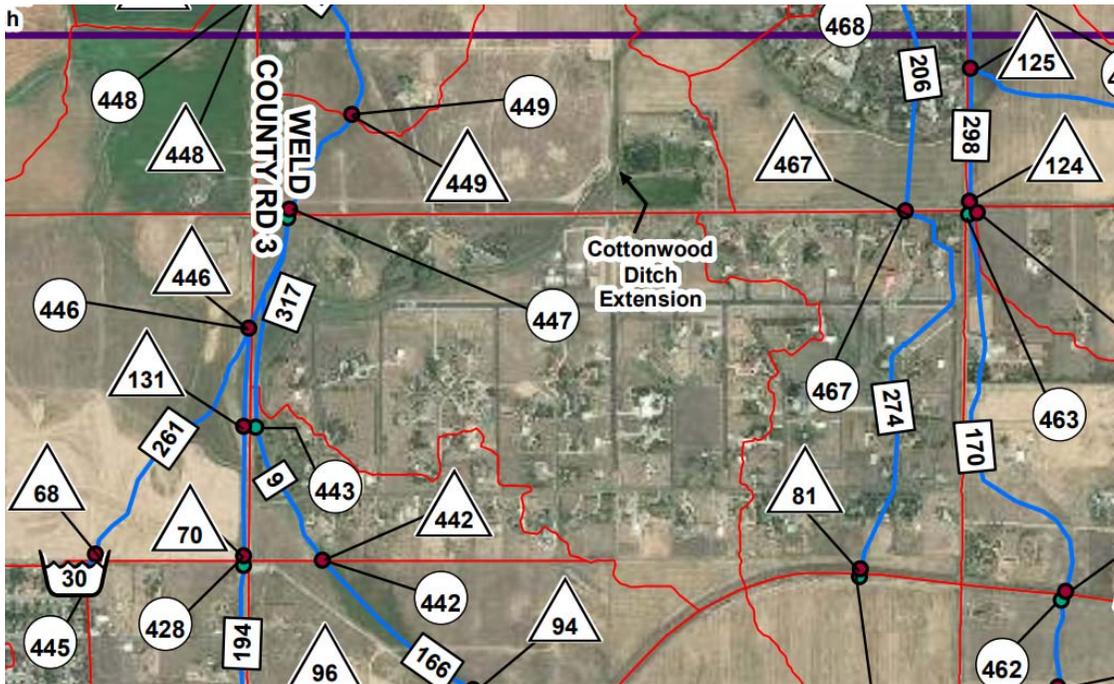
The Bridgewater development is directly under the aircraft traffic pattern for Parkland and under the approach for the Erie Municipal airport.

Realistically the odds of a plane ever crashing into a house or into the no build area at Bridgewater is very small. The chances of having noise complaints is 100%. We would like to defend against that happening and request that purchasers at Bridgewater sign a disclosure agreement acknowledging the Town of Erie's aviation easement for the Erie Municipal and Parkland Airports, the no build area, and that the developer, the Town of Erie, and the Parkland Homeowners Association will have no responsibility of liability for noise or damage to property occurring from overflights. I have attached a copy of the Disclosure document for Morgan Hill

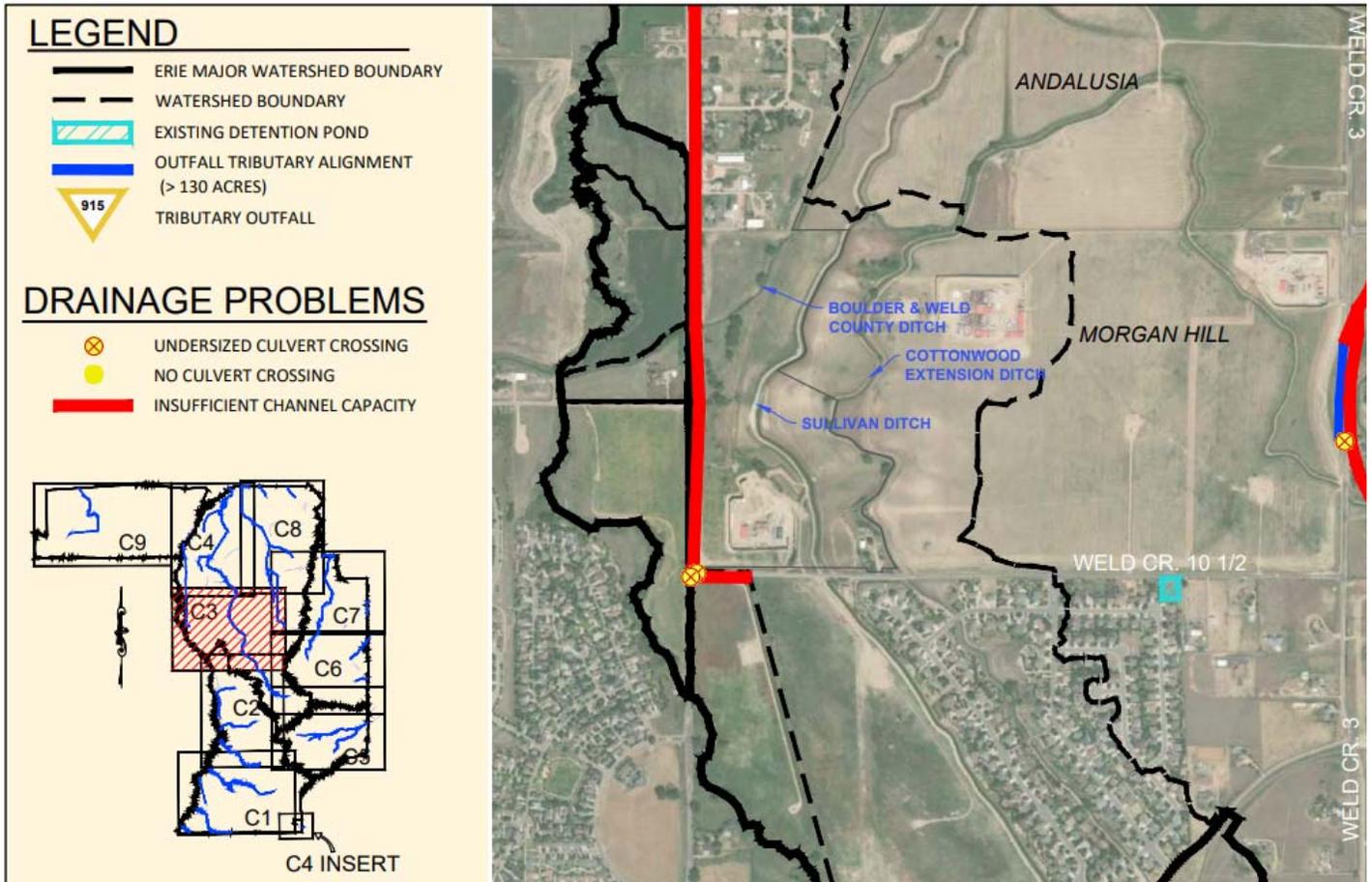
The Platt and Covenants should recognize the obligations of the Aviation Easement including permitting overflights by aircraft and restrictions on lights or sources or radio interference that could affect aircraft operations.

5. Drainage

1. For years Parkland has raised concerns about the proposal to discharge water into the back yards of Parkland residents both at the east and west ends of Parkland. These areas have experienced extensive flooding in the past and cannot support additional runoff.



Page 131 of the Tow of Erie [Outfall Systems Plan - East of Coal Creek](#) (2020) identifies that the current drainage is inadequate



The areas shown in Red already flood with just a few inches of rainfall.

We would like to have the Bridgewater detention pond made as possible and the outflow reduced.
 We would like to see the historic runoff calculations audited for accuracy.

Weld County public works is responsible to review the drainage plans and have not so for Morgan Hill, Colliers Hill, or Bridgewater. If they have made a review then we would like to receive a copy of their analysis.

Respectfully,

Craig Elder
 President Parkland HOA
 303-219-0830

Chris LaRue

From: Todd Harvey <teharvey44@gmail.com>
Sent: Tuesday, April 13, 2021 7:23 AM
To: Melinda Helmer
Subject: Re: Bridgewater Response
Attachments: Bridgewater Rezoning.docx

Melinda,
Thank you for making this easy, please find my response to Bridgewater attached. Thank you for keeping Parkland in the loop. Hope to see you in person one day.
Sincerely,

Todd Harvey
4676 Cathy Lane
Erie, CO

On Mon, Apr 12, 2021 at 10:37 PM Melinda Helmer <mhelmer@erieco.gov> wrote:

Mr. Harvey,

You are welcome to send it to me and I can get your comment logged in.

Thank you,



Melinda Helmer, CMC | Planning Technician
Town of Erie | Planning & Development
645 Holbrook Street | P.O. Box 750 | Erie, CO 80516
Phone: 303-926-2770 | Fax: 303-926-2706

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From: Todd Harvey <teharvey44@gmail.com>
Sent: Monday, April 12, 2021 9:28 PM
To: Melinda Helmer <mhelmer@erieco.gov>
Subject: Bridgewater Response

Hi Melinda,

I wanted to give my input to the Bridgewater development. Can I send it to you, or is there a better place to send it?

Thanks,

Todd Harvey



The Town of Erie
645 Holbrook St.
P.O. Box 750
Erie, CO 80516
(303) 926-2774
smoeller@erieco.gov

Planning & Development Planning

Memo

To: Samantha Crowder

From: Chris LaRue, Senior Planner

Date: June 2, 2021

Re: PUDA-001184-2020; RZ-001268-2021: Colliers Hill PUD Amendment # 6 (now inclusive of Amendment # 7) and Rezoning of Village 1 from SR to LR

cc: Fred Starr; Deborah Bachelder; David Pasic; Tyler Burnhen; Luke Bolinger; Darren Champion

Town staff has reviewed the Colliers Hill PUD Amendment No. 6 and Rezoning of Village 1 from SR to LR for conformance with Municipal Code, Title 10 at the June 3, 2021 Development Review Team meeting. A list of the Town staff that have commented and referral agencies that have responded are listed below. Referral comments received by the Town after the date of this memo shall be forwarded on to the applicant.

The next step for the application is revision and resubmittal for another referral and Development Review Team review. This next referral will be shortened significantly given the limited comments. Please make the appropriate revisions to the application materials and provide written response to address each written comment from the Town staff and referral agencies.

Referral Agency comments:

1. Town of Erie: Planning, Engineering (no comments), Parks & Rec, & OSTAB
2. Mountain View Fire (no concerns)

Digital Copies:

- One Digital Copy of written response and all resubmittal documents. Please contact Melinda Helmer (mhelmer@erieco.gov) to obtain a link to upload your resubmittal. Digital copies will be distributed to the following referral agencies:
 1. Town of Erie – internally distributed to: Planning
- The following agencies provided comments that do not require a response:
 1. Crestone
 2. Mountain View Fire
- The following agencies did not provide any comments:
 1. Colliers Hill HOA
 2. Daybreak Metro Districts
 3. Erie Highlands HOA
 4. Erie Highlands Metro District
 5. Ehrhart Land Surveying

6. Parkland HOA
7. St. Vrain Valley Schools
8. Weld County

The review process is a cumulative process and dependent on various criteria. We reserve the right to provide further comment(s) and request additional information on future submittals. Please contact me at 303-926-2776 or clarue@erieco.gov for further clarification. Staff is happy to schedule a meeting to discuss the comments.

Sincerely,

Christopher C. LaRue
Senior Planner

ATTACHMENTS:

1. Planning Memo and red lines
2. Referral Comments

BRIDGEWATER (COLLIERS HILL) P.U.D. OVERLAY MAP - AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH
 RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO
 965.83 ACRES
 PUDA-001136-2020

OVERALL BOUNDARY DESCRIPTION:

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, ALL IN TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST QUARTER CORNER OF SECTION 8;
 THENCE S00°49'09"W, 2,674.68 FEET ALONG THE EASTERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 8 TO THE SOUTHEAST CORNER OF SECTION 8/NORTHEAST CORNER OF SECTION 17;
 THENCE S00°12'52"E, 2,631.66 FEET ALONG THE EASTERLY LINE OF THE NORTHEAST QUARTER OF SECTION 17 TO THE EAST QUARTER CORNER OF SECTION 17;
 THENCE S00°13'30"E, 2,631.71 FEET ALONG THE EASTERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 17 TO THE SOUTHEAST CORNER OF SECTION 17;
 THENCE S88°48'09"W, 2,648.37 FEET ALONG THE SOUTHERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 17 TO THE SOUTH QUARTER CORNER OF SECTION 17;
 THENCE S88°48'45"W, 2,648.06 FEET ALONG THE SOUTHERLY LINE OF THE SOUTHWEST QUARTER OF SECTION 17 TO THE SOUTHWEST CORNER OF SECTION 17/SOUTHEAST CORNER OF SECTION 18;
 THENCE N89°31'17"W, 1,298.14 FEET ALONG THE SOUTHERLY LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 18 TO THE EAST SIXTEENTH CORNER OF SECTIONS 18 AND 19;
 THENCE N89°30'44"W, 88.21 FEET ALONG THE SOUTHERLY LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 18;

THENCE N00°29'16"E, 130.00 FEET;
 THENCE 453.09 FEET ALONG THE ARC OF A TANGENT CURVE TO THE LEFT, SAID ARC SUBTENDED BY A RADIUS OF 440.00 FEET, A CENTRAL ANGLE OF 59°00'00", AND A CHORD BEARING N29°00'44"W, 433.33 FEET;
 THENCE N58°30'44"W, 204.67 FEET;
 THENCE ALONG THE EASTERLY RIGHT OF WAY OF THE UNION PACIFIC RAILROAD AS CONVEYED BY DEED RECORDED IN BOOK 359 AT PAGE 418, BEING A LINE PARALLEL WITH AND 50.00 FEET EAST OF THE CENTERLINE OF THE TRACKS AS PRESENTLY CONSTRUCTED, THE FOLLOWING NINE COURSES:
 1) 629.21 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, SAID ARC SUBTENDED BY A RADIUS OF 1,007.50 FEET, A CENTRAL ANGLE OF 35°46'57", AND A CHORD BEARING N07°31'37"E, 619.03 FEET;
 2) N10°21'52"W, 694.70 FEET;
 3) 894.20 FEET ALONG THE ARC OF A TANGENT CURVE TO THE RIGHT, SAID ARC SUBTENDED BY A RADIUS OF 1,287.50 FEET, A CENTRAL ANGLE OF 39°47'36", AND A CHORD BEARING N09°31'57"E, 876.34 FEET;
 4) N29°25'45"E, 224.87 FEET;
 5) 463.85 FEET ALONG THE ARC OF A TANGENT CURVE TO THE LEFT, SAID ARC SUBTENDED BY A RADIUS OF 1,673.50 FEET, A CENTRAL ANGLE OF 15°52'51", AND A CHORD BEARING N21°29'19"E, 462.36 FEET;
 6) N13°32'54"E, 421.72 FEET;
 7) 966.20 FEET ALONG THE ARC OF A TANGENT CURVE TO THE LEFT, SAID ARC SUBTENDED BY A RADIUS OF 2,957.50 FEET, A CENTRAL ANGLE OF 18°43'06", AND A CHORD BEARING N04°11'21"E, 961.91 FEET;
 8) N05°10'12"W, 351.67 FEET;
 9) 165.07 FEET ALONG THE ARC OF A TANGENT CURVE TO THE RIGHT, SAID ARC SUBTENDED BY A RADIUS OF 1,575.00 FEET, A CENTRAL ANGLE OF 06°00'18", AND A CHORD BEARING N02°10'03"W, 165.00 FEET TO THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF SECTION 18;

THENCE S89°14'48"E, 1,236.77 FEET ALONG SAID NORTHERLY LINE TO THE NORTHEAST CORNER OF SECTION 18/NORTHWEST CORNER OF SECTION 17;
 THENCE N89°01'14"E, 2,648.43 FEET ALONG THE NORTHERLY LINE OF THE NORTHWEST QUARTER OF SECTION 17 TO THE NORTH QUARTER CORNER OF SECTION 18/SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SECTION 8;

THENCE N00°01'31"E, 2,700.60 FEET ALONG THE WESTERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 8 TO THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SECTION 8;
 THENCE N89°35'35"E, 2,685.16 FEET ALONG THE NORTHERLY LINE OF SAID SOUTHEAST QUARTER TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THE FOLLOWING TWO PARCELS:

EXCEPTION 1:

A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 17 AND THE EAST HALF OF SECTION 18 DESCRIBED AS FOLLOWS: COMMENCING AT THE EAST QUARTER CORNER OF SECTION 18 FROM WHENCE THE SOUTHEAST CORNER LIES S00°25'10"E, 2,604.46 FEET;

THENCE S00°25'10"E, 45.70 FEET ALONG THE EASTERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 18 TO THE POINT OF BEGINNING;

THENCE N89°34'58"W, 30.00 FEET;
 THENCE ALONG THE BOUNDARY OF THE ERIE CEMETERY THE FOLLOWING FIVE COURSES:

1) N89°34'58"W, 804.84 FEET;
 2) N00°04'57"W, 417.42 FEET;
 3) S89°34'58"E, 163.67 FEET;
 4) N00°03'40"E, 404.65 FEET;
 5) S89°59'20"E, 640.42 FEET;

THENCE CONTINUING S89°59'20"E 84.53 FEET;
 THENCE S00°00'00"E, 529.64 FEET;

THENCE 307.88 FEET ALONG THE ARC OF A TANGENT CURVE TO THE LEFT, SAID ARC SUBTENDED BY A RADIUS OF 700.00 FEET, A CENTRAL ANGLE OF 25°12'01", AND A CHORD BEARING S12°36'00"E, 305.40 FEET;

THENCE N89°34'58"W, 120.25 FEET TO THE POINT OF BEGINNING;
EXCEPTION 2:

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8 DESCRIBED AS FOLLOWS: COMMENCING AT THE EAST QUARTER CORNER OF SECTION 8;

THENCE S00°49'09"W, 167.29 FEET ALONG THE EASTERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 8 TO THE POINT OF BEGINNING;

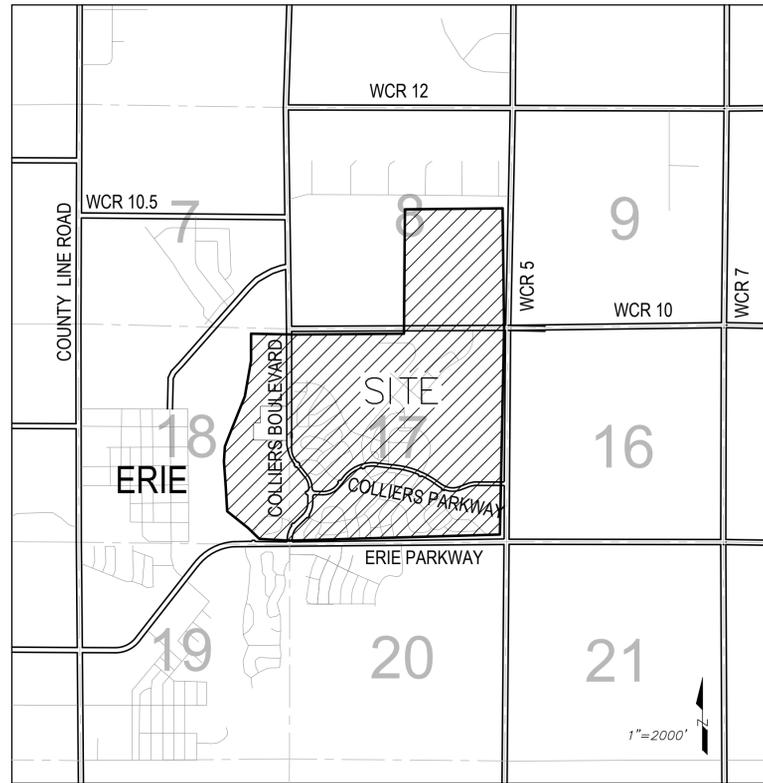
THENCE CONTINUING ALONG SAID EASTERLY LINE, S00°49'09"W 100.45 FEET;
 THENCE ALONG THE SOUTHERLY RIGHT OF WAY LINE OF THE UNION PACIFIC RAILROAD, BEING A LINE PARALLEL WITH AND 50.00 FEET SOUTH OF THE CENTERLINE OF THE TRACKS AS PRESENTLY CONSTRUCTED, THE FOLLOWING THREE COURSES:

1) N83°46'14"W, 802.50 FEET;
 2) 1,735.43 FEET ALONG THE ARC OF A TANGENT CURVE TO THE LEFT, SAID ARC SUBTENDED BY A RADIUS OF 1,858.50 FEET, A CENTRAL ANGLE OF 53°30'06", AND A CHORD BEARING S69°28'43"W, 1,673.07 FEET;
 3) S42°43'40"W, 467.34 FEET;

THENCE N00°01'31"E, 147.45 FEET ALONG THE WESTERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 8;
 THENCE ALONG THE NORTHERLY RIGHT OF WAY LINE OF THE UNION PACIFIC RAILROAD, BEING A LINE PARALLEL WITH AND 50.00 FEET NORTH OF THE CENTERLINE OF THE TRACKS AS PRESENTLY CONSTRUCTED, THE FOLLOWING THREE COURSES:

1) N42°43'40"E, 358.98 FEET;
 2) 1,828.81 FEET ALONG THE ARC OF A TANGENT CURVE TO THE RIGHT, SAID ARC SUBTENDED BY A RADIUS OF 1,958.50 FEET, A CENTRAL ANGLE OF 53°30'06", AND A CHORD BEARING N69°28'43"E, 1,763.09 FEET;
 3) S83°46'14"E, 793.02 FEET TO THE POINT OF BEGINNING.

NET ACREAGE: 965.83 ACRES



VICINITY MAP

NOTES

- Bearings are based on the south line of the Southeast Quarter, assumed to bear S88°48'09"W.
- The development of BridgeWater will be phased. The specifics of this phasing and the associated infrastructure requirements are outlined in the BridgeWater Annexation Agreement. This PUD Overlay Map modifies standards set forth in the Town of Erie Municipal Code Title 10 (Code) to allow the phased development of this project.
- This PUD Overlay Map modifies the dimensional standards set forth in the Town of Erie's UDC to allow the phased development of this project over approximately a 15 year period. The ability to modify specific sections of the UDC within this PUD allows the developer to commit to the construction and financing of the necessary public improvements for BridgeWater as outlined in the BridgeWater Annexation Agreement. The justifications for any variances requested are set forth in this PUD.
- In the event there is any discrepancy between the Code and this PUD, the PUD shall control. Any provisions that are not specifically addressed in the approved PUD shall comply with the Code.
- Prior to the issuance of the first building permit the Developer, at its option, may submit and request approval of specific design standards for the PUD that generally meet or exceed the UDC standards as of the date of approval of the PUD Overlay.
- Multi-family building height measured per UDC Sections 10.11.3 and per 10.4.2.B.2 and per 10.6.4.G.6.

SHEET INDEX

- COVER SHEET
- P.U.D. PLAN
- P.U.D. TABLE & SECTIONS
- P.U.D. TABLE & ELEVATIONS
- ARCHITECTURE STANDARDS - SINGLE-FAMILY DETACHED DWELLING UNITS
- ARCHITECTURE STANDARDS - SINGLE-FAMILY ATTACHED DWELLING UNITS (DUPLEX-ALLEY LOADED)
- ARCHITECTURE STANDARDS - MULTI-FAMILY RESIDENTIAL DWELLING UNITS
- ARCHITECTURE STANDARDS - SINGLE-FAMILY ATTACHED DWELLING UNITS (TOWNHOME-ALLEY LOADED)

SURVEYOR'S CERTIFICATE

I, BO BAIZE, A DULY LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PUD OVERLAY MAP TRULY AND CORRECTLY REPRESENTS THE ABOVE DESCRIBED LEGAL DESCRIPTION.

I ATTEST THE ABOVE ON THIS ____ DAY OF _____, 20____.

BO BAIZE
 FOR AND ON BEHALF OF HURST & ASSOCIATES, INC.
 COLORADO LICENSED PROFESSIONAL LAND SURVEYOR #37990

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

PLANNING COMMISSION CERTIFICATE

THIS PUD OVERLAY MAP WAS REVIEWED BY THE PLANNING COMMISSION ON THE ____ DAY OF _____, 20____.

CHAIRPERSON

BOARD OF TRUSTEES APPROVAL CERTIFICATE

THIS PUD OVERLAY MAP IS TO BE KNOWN AS THE "BRIDGEWATER PUD OVERLAY MAP-AMENDMENT NO. 6" AND IS APPROVED AND ACCEPTED BY ORDINANCE NO. _____, PASSED AND ADOPTED AT A MEETING OF THE BOARD OF TRUSTEES OF ERIE, COLORADO, HELD ON _____, 20____.

MAYOR

ATTEST:

TOWN CLERK

CLERK & RECORDER CERTIFICATE

STATE OF COLORADO)
) SS
 COUNTY OF WELD)

I HEREBY CERTIFY THAT THIS ANNEXATION MAP WAS FILED IN MY OFFICE ON THIS ____ DAY OF _____, 20____ AND WAS RECORDED AT RECEPTION NO. _____.

WELD COUNTY CLERK AND RECORDER

BRIDGEWATER P.U.D. OVERLAY MAP
 SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF
 SEC. 9, SEC. 17, E 1/2 OF SEC. 18,
 T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

HURST CIVIL ENGINEERING PLANNING SURVEYING www.hurst-assoc.com	1265 S Public Road	SCALE	HOR. N/A
	Suite B	DESIGN/APPR.	BO
	Lafayette, CO 80026	DRAWN BY	RD
	303-449-9105	DATE	05/06/21
		www.hurst-assoc.com	SHEET 1 of 8

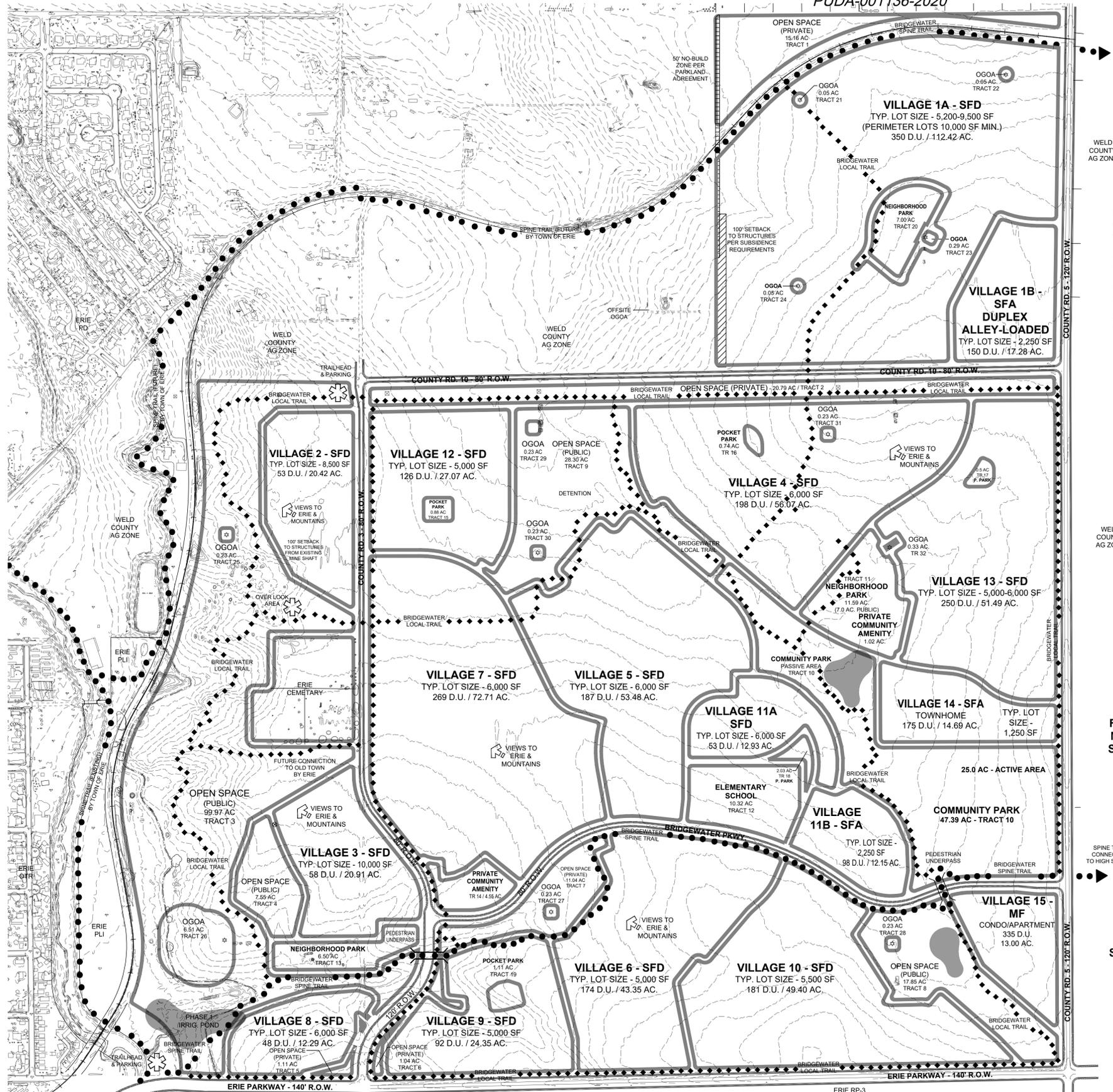
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BRIDGEWATER (COLLIERS HILL) P.U.D. OVERLAY MAP - AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH
RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

965.83 ACRES
PUDA-001136-2020



PROPOSED P.U.D. TABLES

PARKS AND OPEN SPACE COMPLIANCE		
PARK AREA (based on 2,880 d.u. max.)	REQUIRED (per Annex/PUD)	PROVIDED
COMMUNITY PARK	40.0 ac.	47.39 ac.
NEIGHBORHOOD PARKS	24.0 ac. (5.64 ac. Private)	24.70 ac.
POCKET PARKS	4.0 ac.	5.26 ac.
OPEN SPACE (based on 2,880 d.u. max.)		
PUBLIC OPEN SPACE (tracts 1, 3, 4, 8 & 9)	181.6 ac.	168.84 ac.
PRIVATE OPEN SPACE (tracts 2, 5, 6, 7 & 14)		38.53 ac.

Previous Comment: Need the updated SUA, demonstrating the O & G will be removed, to move forward with this amendment.

Applicant Response: The Applicant is currently working on finalizing revisions to the existing SUAs on site to reflect the capped and abandoned wells. The revised documents will be shared with the Town as soon as they are made available.

Staff response: What is the status of the SUA revisions? Please provide the updated documents.

LAND USE SUMMARY OVERVIEW		
TYPE	AREA	% OF TOTAL AREA
RESIDENTIAL AREAS	614.01 ac.	64%
SCHOOL PARCEL	10.32 ac.	1%
PARKS & OPEN SPACE	296.42 ac.	31%
OUTLOTS (OIL & GAS)	8.66 ac.	1%
PUBLIC RIGHT-OF-WAY	37.42 ac.	4%
TOTAL ACREAGE	965.83 ac.	100%
GROSS DENSITY	2,880 d.u. = 2.98 d.u./ac.	

LAND USE SUMMARY				
TRACT	AREA	USE	TARGET D.U.	ZONE
VILLAGE 1A	112.42 AC	SFD	350	LR
VILLAGE 1B	17.28 AC	SFA	150	LR
VILLAGE 2	20.42 AC	SFD	53	LR
VILLAGE 3	20.91 AC	SFD	58	LR
VILLAGE 4	56.07 AC	SFD	198	LR
VILLAGE 5	53.48 AC	SFD	187	LR
VILLAGE 6	43.35 AC	SFD	174	LR
VILLAGE 7	72.71 AC	SFD	269	LR
VILLAGE 8	12.29 AC	SFD	48	LR
VILLAGE 9	24.35 AC	SFD	92	LR
VILLAGE 10	49.40 AC	SFD	181	LR
VILLAGE 11A	12.93 AC	SFD	53	LR
VILLAGE 11B	12.15 AC	SFA	98	LR
VILLAGE 12	27.07 AC	SFD	126	LR
VILLAGE 13	51.49 AC	SFD	250	LR
VILLAGE 14	14.69 AC	SFA	175	LR
VILLAGE 15	13.00 AC	SFA	335	LR
SUBTOTAL	614.01 AC		2,797 D.U.	
			2,880 MAXIMUM	
			NUMBER OF UNITS ALLOWED	

TRACT 10	47.39 AC	C/PARK	N/A	LR
TRACT 11	11.59 AC	N/PARK	N/A	LR
TRACT 12	10.32 AC	SCHOOL	N/A	LR
TRACT 13	6.50 AC	N/PARK	N/A	OS
TRACT 15	0.88 AC	P/PARK	N/A	LR
TRACT 16	0.74 AC	P/PARK	N/A	LR
TRACT 17	0.50 AC	P/PARK	N/A	LR
TRACT 18	2.03 AC	P/PARK	N/A	LR
TRACT 19	1.11 AC	P/PARK	N/A	LR
TRACT 20	7.00 AC	N/PARK	N/A	LR
PARK AREA	88.06 AC			

TRACT 1	15.16 AC	O.S. PRIVATE	N/A	ER
TRACT 2	20.79 AC	O.S. PRIVATE	N/A	LR
TRACT 3	99.97 AC	O.S. PUBLIC	N/A	OS
TRACT 4	7.55 AC	O.S. PUBLIC	N/A	LR
TRACT 5	1.11 AC	O.S. PRIVATE	N/A	LR
TRACT 6	1.04 AC	O.S. PRIVATE	N/A	LR
TRACT 7	11.04 AC	O.S. PRIVATE	N/A	LR
TRACT 8	17.85 AC	O.S. PUBLIC	N/A	LR
TRACT 9	28.30 AC	O.S. PUBLIC	N/A	LR
TRACT 14	4.55 AC	O.S. PRIVATE	N/A	LR
OPEN SPACE	207.36 AC			

TRACT 21	0.05 AC	O.G.O.A.	N/A	LR
TRACT 22	0.05 AC	O.G.O.A.	N/A	LR
TRACT 23	0.29 AC	O.G.O.A.	N/A	LR
TRACT 24	0.05 AC	O.G.O.A.	N/A	LR
TRACT 25	0.23 AC	O.G.O.A.	N/A	OS
TRACT 26	6.51 AC	O.G.O.A.	N/A	OS
TRACT 27	0.23 AC	O.G.O.A.	N/A	LR
TRACT 28	0.23 AC	O.G.O.A.	N/A	LR
TRACT 29	0.23 AC	O.G.O.A.	N/A	LR
TRACT 30	0.23 AC	O.G.O.A.	N/A	LR
TRACT 31	0.23 AC	O.G.O.A.	N/A	LR
TRACT 32	0.33 AC	O.G.O.A.	N/A	LR
O.G.O.A.	8.66 AC			

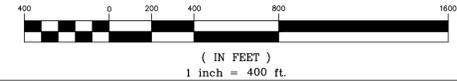
NOTES:

- DEVELOPABLE UNITS (D.U.) MAY BE TRANSFERRED BETWEEN VILLAGE PARCELS AS LONG AS THE TOTAL PROJECT DENSITY IS NOT EXCEEDED.
- VILLAGE AND TRACT BOUNDARIES SHOWN ARE APPROXIMATE AND MAY BE ADJUSTED AS LONG AS THE TOTAL AREA WITHIN THE BOUNDARY IS ADHERED TO.
- OIL AND GAS SETBACKS SHALL REFLECT STANDARDS OUTLINED IN THE TOWN OF ERIE UNIFIED DEVELOPMENT CODE (DECEMBER 2020). A MINIMUM OF 350' DISTANCE SHALL BE MAINTAINED FROM ACTIVE OIL AND GAS WELLS AND 25' FROM CAPPED AND ABANDONED OIL AND GAS WELLS. SETBACKS ARE MEASURED FROM THE WELL HEAD TO THE NEAREST RESIDENTIAL LOT.

FUTURE MIDDLE SCHOOL

HIGH SCHOOL

GRAPHIC SCALE



BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF SEC. 9, SEC. 17, E 1/2 OF SEC. 18, T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

HURST
CIVIL ENGINEERING
PLANNING
SURVEYING

1265 S. Public Road
Lafayette, CO 80026
303.449.9105
www.hurst-assoc.com

SCALE: HOR. N/A
VERT. N/A
Suite 8 DESIGN/APPR. BO
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DRAWN BY
DATE 05/06/21
SHEET 2 of 8

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BRIDGEWATER (COLLIERS HILL) P.U.D. OVERLAY MAP - AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH
RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

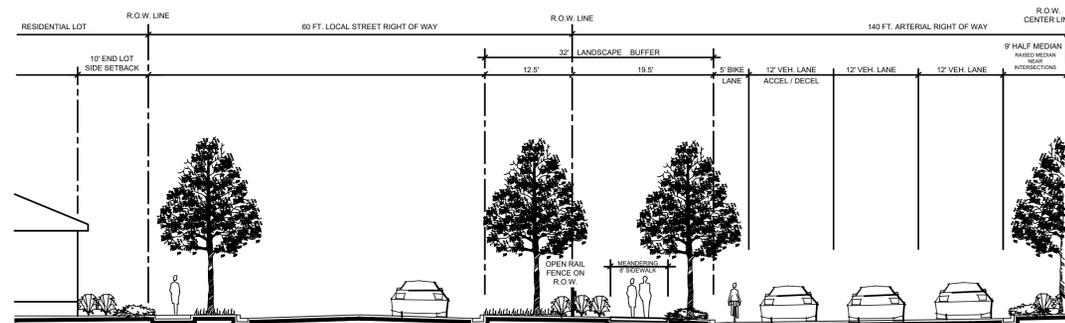
965.83 ACRES
PUDA-001136-2020

STREET DESIGN CRITERIA

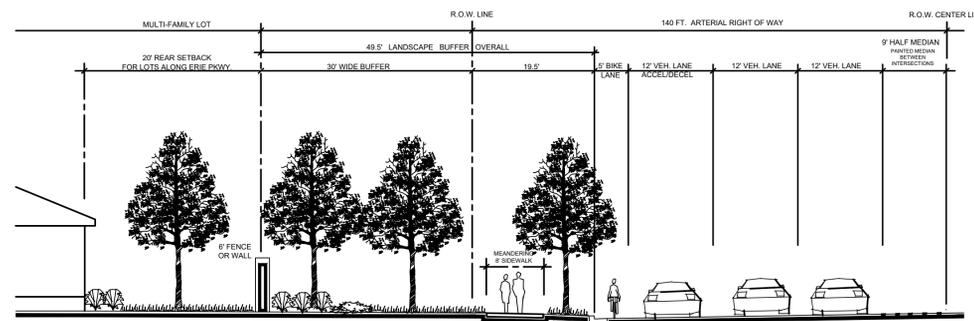
DESIGN ELEMENT	PRINCIPAL** ARTERIAL (ERIE PKWY.)	MINOR** ARTERIAL (CR 5)	MINOR** ARTERIAL (CR 3)	MAJOR COLLECTOR (CR 3, S.P., CR10)	RESIDENTIAL COLLECTOR (TYP. VOL. 2000 VPD)	LOCAL STREET (TYP. VOL. 1000 VPD)	LOW VOLUME LOCAL STREET (TYP. VOL. 300 VPD)	ALLEYS
RIGHT-OF-WAY WIDTHS	140'	120'	120'	80'	70'	60'	54'	16' W/O UTILITIES 30' W/ UTILITIES
COMMUNITY GATEWAYS: LANDSCAPE BUFFER (EACH SIDE - OUTSIDE OF R.O.W.)	*30' WHERE LOTS ABUT R.O.W.	0' (LANDSCAPE BUFFER 21.5' WIDE IN THE R.O.W.)	*30' WHERE LOTS ABUT R.O.W.	N/A	N/A	N/A	N/A	N/A
DOUBLE FRONTAGE RESIDENTIAL LOTS: LANDSCAPE BUFFER (OUTSIDE OF R.O.W.)	N/A	0'	N/A	0' (LANDSCAPE BUFFER 21.5' WIDE IN THE R.O.W.)	0' (LANDSCAPE BUFFER 14.5' WIDE IN THE R.O.W.)	6'	6'	N/A

* LOCAL PUBLIC STREET R.O.W., OIL AND GAS EASEMENTS, PUBLIC UTILITY EASEMENTS, AND OTHER PUBLIC UTILITY LINES WILL BE ALLOWED TO BE LOCATED WITHIN THE 30' LANDSCAPE BUFFER.

** FOR LOTS ABUTTING ERIE PARKWAY, COLLIERS HILL PKWY, CR10, CR5, AND CR3, FENCING SHALL BE A MAXIMUM SIX (6) FEET IN HEIGHT WHICH MAY INCLUDE OPAQUE FENCING IN STRAIGHT RUNS LIMITED TO APPROXIMATELY 600' IN LENGTH WITHOUT A BREAK ALONG COLLIERS HILL PKWY, CR10, CR5, AND CR3. FOR LOTS ABUTTING ERIE PARKWAY, STRAIGHT RUNS SHALL BE LIMITED TO APPROXIMATELY 600 FEET IN LENGTH AND 30% OF THE TOTAL FRONTAGE OF ERIE PARKWAY. MASONRY COLUMNS SHALL BE PROVIDED ON CORNERS OF LOTS SPACED A MINIMUM EVERY THREE LOTS FOR ALL OPAQUE FENCING ALONG ARTERIAL STREETS.



TYPICAL SECTION - WHERE LOCAL STREET R.O.W. ABUTS ERIE PKWY.
(PROVIDES OPEN VIEWS INTO THE COMMUNITY)



TYPICAL SECTION - WHERE LOTS BACK TO ERIE PKWY.
(LIMITED TO 30% OF FRONTAGE, +/- 30 LOTS)

NOTE: TYPICAL SECTIONS ARE FOR ILLUSTRATIVE PURPOSES TO DEMONSTRATE LANDSCAPE BUFFER CONCEPTS.
STREET SECTIONS TO BE DEVELOPED AND FINALIZED DURING PLAT PROCESS.

BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF
SEC. 9, SEC. 17, E 1/2 OF SEC. 18,
T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

HURST CIVIL ENGINEERING PLANNING SURVEYING www.hurst-assoc.com	1265 S. Public Road	SCALE	HOR. N/A
	Suite 8	DESIGN/APPR.	VERT. N/A
	Lafayette, CO 80026	DATE	RD
	303.449.9105	DATE	05/06/21
		DATE	05/06/21

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BRIDGEWATER (COLLIERS HILL) P.U.D. OVERLAY MAP - AMENDMENT NO. 6

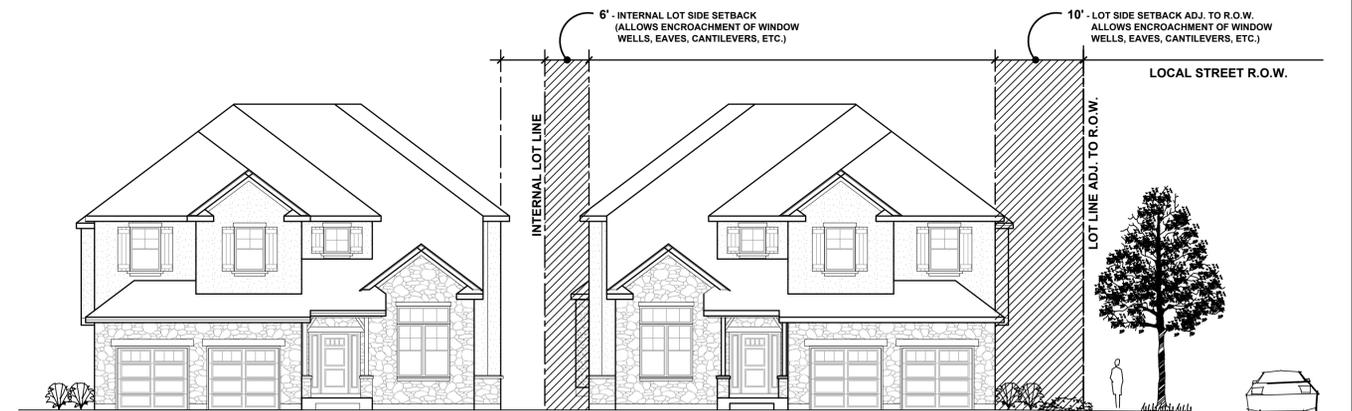
PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH
 RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO
 965.83 ACRES
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DIMENSIONAL STANDARDS

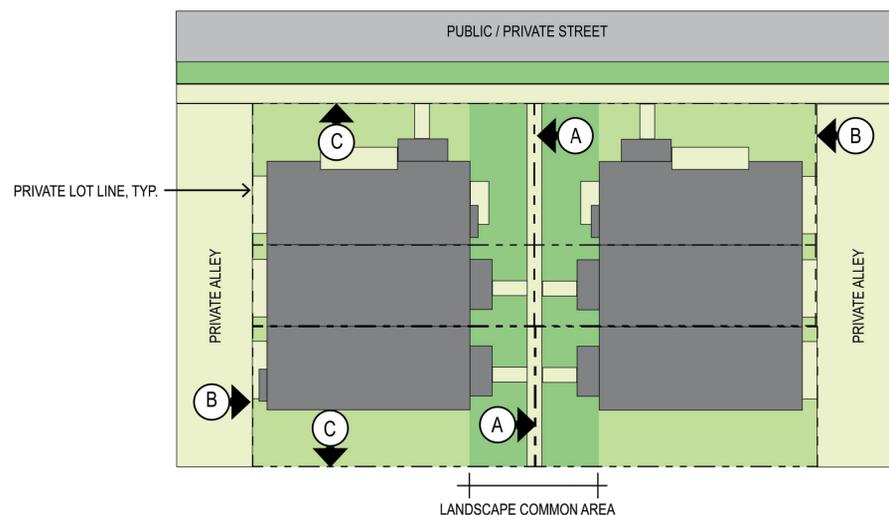
DISTRICT	MINIMUM LOT STANDARDS		MINIMUM LOT SETBACKS (FT.) ^(2,7)				MAX. HT.
	WIDTH (FT.)	AREA (S.F.)	FRONT	SIDE (TO ABUTTING STREET)	SIDE (TO INTERIOR LOT)	REAR	
LR (WITH SFD)	40'	3,500 ⁽¹⁰⁾	PRIN. - 20' ^(3,6)	10' ^(3,4)	6' ^(3,4)	PRIN. - 20' ^(3,4,5)	PRIN. - 35'
	50' CORNER LOTS		ACC. - 30' ^(3,6)			ACC. - 5' ^(3,4,5)	ACC. - 25'
LR (VILLAGE 15 APARTMENTS)	NONE	1,500	PRIN. - 20' ⁽³⁾	10' ⁽³⁾	NONE ^(1,3)	PRIN. - 20' ⁽³⁾	PRIN. - 35' ⁽⁹⁾
			ACC. - 30' ⁽³⁾			ACC. - 5' ⁽³⁾	ACC. - 25'
LR (SFA - DUPLEX-ALLEY LOADED)	30'	2,250	PRIN. (OS) - 6' ⁽³⁾	10' ⁽³⁾	6' ^(1,3)	PRIN. - 0' ⁽⁸⁾	PRIN. - 35'
			PRIN. (ROW) - 12' ⁽³⁾			ACC. - 0' ⁽⁸⁾	ACC. - 25'
LR (SFA - TOWNHOME-ALLEY LOADED)	20'	1,250	PRIN. (OS) - 15' ⁽¹¹⁾	10' ⁽¹³⁾	6' ^(1,13)	PRIN. - 0' ⁽⁸⁾	PRIN. - 35'
			PRIN. (ROW) - 10' ⁽¹²⁾			ACC. - 0' ⁽⁸⁾	ACC. - 25'

- (1) ZERO LOT LINE SETBACKS SHALL BE PERMITTED FOR ATTACHED BUILDINGS PROVIDED THAT THE BUILDING MEETS THE ZONE DISTRICT INTERIOR LOT LINE SETBACK ON THE SIDE OF THE BUILDING THAT IS NOT ATTACHED
- (2) MULTIPLE PRINCIPAL BUILDINGS ON A SINGLE LOT SHALL BE SEPARATED BY A DISTANCE EQUAL TO THE DISTANCE THAT WOULD BE REQUIRED IF THEY WERE SEPARATED BY A SIDE TO INTERIOR LOT LINE.
- (3) FRONT, SIDE, AND REAR SETBACKS SHALL ALLOW FOR ENCROACHMENTS UP TO 2 FEET BEYOND THE BUILDING FOUNDATION FOR ABOVE-GRADE FEATURES INCLUDING EAVES, COUNTERFORTS, FIREPLACE BOX-OUT, STOOPS, BAY WINDOWS, ROOM CANTILEVERS, AND OVERHANGS PROVIDED THAT THE LIVING SPACE OF THE PROJECTION DOES NOT EXCEED 20 SQUARE FEET IN EACH INSTANCE AND EXTEND MORE THAN 2 FEET. THERE SHALL BE NO MORE THAN TWO (2) ABOVE-GRADE LIVING SPACE ENCROACHMENTS PER ELEVATION ARTICULATION (AS DEFINED IN 10.6.7.F.1.d.ii.(C)). REAR ENCROACHMENTS ARE NOT PERMITTED WITH ALLEY LOADED LOTS.
- (4) SIDE AND REAR SETBACKS FOR FRONT LOADED LOTS SHALL ALLOW FOR ENCROACHMENTS UP TO 3 FEET BEYOND THE BUILDING FOUNDATION FOR BELOW-GRADE WINDOW WELLS.
- (5) REAR SETBACKS FOR FRONT LOADED LOTS SHALL ALLOW FOR AN ENCROACHMENT OF UP TO 6 FEET FOR A COVERED PATIO (NOT ENCLOSED).
- (6) REDUCTION OF FRONT SETBACK TO 15 FEET IS ALLOWED WHEN A GARAGE SIDES TO THE R.O.W.
- (7) PROPERTY LINES ABUTTING THE EXTERIOR BOUNDARY OF THIS PUD SHALL ADHERE TO ALL REQUIRED SETBACKS OF THE UNDERLYING ZONE DISTRICT UNLESS OTHERWISE NOTED IN THE PUD.
- (8) NO ENCROACHMENTS ARE PERMITTED OVER THE 0 FOOT REAR SETBACKS, THIS INCLUDES ALL ARCHITECTURAL FEATURES SUCH AS EAVES, OVERHANGS, AND OTHER.
- (9) MULTI-FAMILY BUILDING HEIGHT MEASURED PER UDC SECTIONS 10.11.3 AND PER 10.4.2.B.2 AND PER 10.6.4.G.6.
- (10) SINGLE-FAMILY LOTS ALONG THE NORTHERN AND WESTERN PERIMETER OF VILLAGE 1 SHALL BE A MINIMUM OF 10,000 SF OR GREATER.
- (11) FRONT SETBACK FACING OPEN SPACE OR COMMON LANDSCAPE AREAS SHALL ALLOW FOR ENCROACHMENTS UP TO 6 FEET FOR COVERED PORCHES (INCLUSIVE OF ROOF OVERHANGS), 5 FEET FOR STOOPS OR UNCOVERED PATIOS, 3 FEET FOR SECOND-STORY ARCHITECTURAL CANTILEVERS (INCLUSIVE OF ROOF OVERHANGS), 3 FEET FOR BAY WINDOWS (INCLUSIVE OF ROOF OVERHANGS), AND 2 FEET FOR OTHER ABOVE-GRADE FEATURES SUCH AS ROOF OVERHANGS, EAVES, COUNTERFORTS, AND FIREPLACE BOX-OUTS.
- (12) FRONT SETBACKS FACING RIGHT OF WAY SHALL ALLOW FOR ENCROACHMENTS UP TO 3 FEET FOR COVERED PORCHES (INCLUSIVE OF ROOF OVERHANGS), STOOPS OR UNCOVERED PATIOS, AND 2 FEET FOR OTHER ABOVE-GRADE FEATURES SUCH AS ROOF OVERHANGS AND EAVES.
- (13) SIDE SETBACKS SHALL ALLOW FOR ENCROACHMENTS UP TO 2 FEET FOR COVERED PORCHES (INCLUSIVE OF ROOF OVERHANGS, STOOPS OR UNCOVERED PATIOS).

Not sure about this "OS" reference. Delete it since it also includes "Common Landscape Areas".



TYPICAL SINGLE-FAMILY LOT SIDE SETBACK CONDITIONS
(ENCROACHMENTS ALLOWED IN SETBACKS)



LR (SFA - TOWNHOME-ALLEY LOADED) - SETBACK EXHIBIT, TYPICAL

- A | FRONT SETBACK
- B | REAR SETBACK
- C | SIDE SETBACK

BRIDGEWATER P.U.D. OVERLAY MAP
 SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF
 SEC. 9, SEC. 17, E 1/2 OF SEC. 18,
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HURST CIVIL ENGINEERING PLANNING SURVEYING	1265 S. Public Road	SCALE	HOR. N/A VERT. N/A
	Lafayette, CO 80026	Suite 8	DESIGN/APPR. BO
	303.449.9105	DATE	05/06/21
	www.hurst-assoc.com	DATE	05/06/21

BRIDGEWATER (COLLIERS HILL) P.U.D. OVERLAY MAP - AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH
RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO
965.83 ACRES
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Architectural Standards for Single-Family Detached Dwelling Units - These standards replace subsection 6.7.E of the UDC.

1. Architectural Variety and Character

a. Architectural Variety

I. Design Standards

- (A) No identical model plan elevation shall be repeated directly across any street from the same model plan and elevation.
- (B) No identical model plan elevation shall be repeated more than once within every 4 lots on the same side of any street.
- (C) A minimum of 3 alternative elevations for each model plan shall be submitted to the Town for review.

b. Architectural Character

I. Design Standards

- (A) Each elevation shall include a minimum of 2 windows (or 1 window and 1 door) per floor.
- (B) Each front and rear elevation shall include more than 1 wall plane. Articulation that adds shadow and visual interest is encouraged.
- (C) A variety of roof forms should be used. Single unbroken roof pitches should be avoided, except where a single roof treatment is an essential element of the Architectural Style (e.g.: Mansard)
- (D) The main roof should extend beyond the primary façade by a minimum of 1 foot.
- (E) An elevation for the home that faces a street, park, trail corridor or open space area shall provide an "Enhanced Elevation". An "Enhanced Elevation" shall provide 3 or more of the following design enhancements listed in (1) through (5) below. Application of the design enhancement shall be applied in a manner that is consistent with the style of the home. Side and rear elevations design enhancements shall be consistent with the design elements of the front elevation.
 - (1) The addition of 1 window unit.
 - (2) A change in wall plane by providing 1 or more of the following options:
 - An additional wall plane change.
 - A projecting or cantilevered living space.
 - A bay or boxed window.
 - (3) A covered porch or deck.
 - (4) The addition of architectural detail elements such as: shutters, eave brackets, exposed rafter tails, corbels, lintels, trellises, columns or pilasters.
 - (5) The use of a minimum of 2 exterior cladding materials that can include materials such as masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other decorative siding treatment.
- (F) Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. (No exposed 4 inch x 4 inch posts shall be allowed more than 36 inches above ground). Columns supporting upper story decks should be 8 inches x 8 inches minimum finished.

II. Materials

- (A) All exterior materials shall be of high quality used in applications and treated appropriately to provide an attractive and long lasting appearance.
- (B) When masonry cladding is used it should be used in locations where its mass is a logical and appropriate. In instances where masonry wraps the exterior corner of the home, the masonry should continue to a natural transition point such as an inside corner of a projecting wall, a column, a door or window or other logical point. In cases where no such feature exists near the corner, the masonry wrap shall extend at least 6 feet from the outside corner.

2. Orientation of Dwellings to the Street

Each residence shall have at least 1 primary pedestrian doorway for access to the dwelling unit facing and generally visible from the front lot line of the property and within 12 feet of the most forward plane of the ground level living space. On corner lots, the pedestrian doorway may face any adjacent street. Unless prohibited by terrain or other site constraints, the orientation of the homes shall repeat the predominant relationship of building to buildings and buildings to street along the same block or the facing block. An exception shall be made for alley-loaded single-family detached dwelling units that do not have street frontage but do front onto a park or landscaped common area. In such case where the dwelling unit does not have street frontage, 1 primary pedestrian doorway shall be oriented toward a common pedestrian walk that connects to a street.

3. Garages

These regulations for garages shall be applied to non-living space or storage areas within garages whether used for storage of automobiles or other items.

a. Diversity of Garage Orientation

(A) Except for garages oriented to alleys, all single family homes shall provide garages that meet one of the requirements below, and, a variety in garage orientation by providing a minimum of 2 of the following garage orientations on any single block:

- (1) Recessed garages; where the primary garage door generally faces the front lot line and the garage is recessed a minimum of 2 feet behind the most forward plane of main floor living space or a front porch.
- (2) Projecting garages; where the primary garage door generally faces the front lot line and the garage projects no more than 15 feet from the front door.
- (3) Side-loaded garages.
- (4) Garages recessed a minimum of 2 feet beneath a second floor living space.

b. Width/Façade Ratio

The width of a front loaded garage shall not exceed 65% of the width of the front elevation.

c. 3 or More Car Garages Orientation

The third or more bay of any 3 or more car garage shall either:

- I. Have a different orientation from the first 2; or
- II. Shall be recessed behind the first 2 by at least 2 feet when having the same orientation:
 - or
 - III. Shall be tandem to the first 2.

4. Front Stoop

For model plans with a front stoop, the front stoop shall include the platform and stairs that are generally in front of a door that can be covered or uncovered. The maximum width of a front stoop shall be 3 feet in width.

5. Front Porches

For model plans with a front porch, the front porch shall include the covered area accessing the front door. Porches may fully extend outside the front façade of the home or be partially recessed. This space shall be a minimum size of 50 square feet with a minimum depth of 5 feet. For model plans with a partially recessed front porch, the porch must extend a minimum of 1 foot from the front façade of the home for architectural relief. Square footage may include the "front stoop" area, when the front stoop is included under the same covering as the front porch.

BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF
SEC. 9, SEC. 17, E 1/2 OF SEC. 18,
T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

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SCALE: HOR. N/A
VERT. N/A
DESIGN/APPR. BO
DRAWN BY RD
DATE 05/06/21
SHEET 5 OF 8

FILE: G:\2021\22\ZONING\04-ARCH STDS AMEND 6.DWG

BRIDGEWATER (COLLIERS HILL) P.U.D. OVERLAY MAP - AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH
RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO
965.83 ACRES
PUDA-001136-2020

Architectural standards for Single-Family Attached Dwelling Units (Duplex – Alley Loaded)- These standards replace subsection 10.6.7.E and 10.6.7.F of the Unified Development Code and are only applicable for Village 11B and Village 1B.

1. Architectural Variety and Character

a. Architectural Variety

i. Design Standards

- (A) No identical model plan/building elevation shall be repeated directly across any street from the same model plan and elevation.
- (B) No identical model plan/building elevation shall be repeated more than once within every 4 buildings on the same side of any street.
- (C) A minimum of 3 alternative elevations for each model plan/building shall be submitted to the Town for review.

b. Architectural Character

i. Design Standards

- (A) Each elevation unit shall include a minimum of 2 windows (or 1 window and 1 door) per floor. For rear elevations where there is not enough space for both a garage door and an additional window, window panels within the garage door will suffice.
- (B) Each front elevation shall include more than 1 wall plane. Articulation that adds shadow and visual interest is encouraged.
- (C) A variety of roof forms should be used. Single, unbroken roof pitches should be avoided, except where a single roof treatment is an essential element of the Architectural Style (e.g.: Mansard)
- (D) The main roof should extend beyond the primary façade by a minimum of 1 foot.
- (E) An elevation for the home that faces a street, park, trail corridor or open space area shall provide an "Enhanced Elevation". An "Enhanced Elevation" shall provide 3 or more of the following design enhancements listed in (1) through (5) below. Application of the side elevation design enhancement shall be applied in a manner that is consistent with the design elements of the front elevation.
 - (1) The addition of 1 window unit.
 - (2) A change in wall plane by providing 1 or more of the following options:
 - An additional wall plane change.
 - A projecting or cantilevered living space.
 - A bay or boxed window.
 - (3) A covered porch or deck.
 - (4) The addition of architectural detail elements such as: shutters, eave brackets, exposed rafter tails, corbels, lintels, trellises, columns or pilasters.
 - (5) The use of a minimum of 2 exterior cladding materials that can include materials such as masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other decorative siding treatment.
- (F) Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. No exposed 4 inch x 4 inch posts shall be allowed more than 36 inches above ground. Columns supporting upper story decks should be 8 inches x 8 inches minimum, finished.

ii. Materials

- (A) All exterior materials shall be of high quality used in applications and treated appropriately to provide an attractive and long lasting appearance.

2. Orientation of Dwellings to the Street

Each residence shall have at least 1 primary pedestrian doorway for access to the dwelling unit facing, and generally visible from, the front lot line of the property and within 12 feet of the most forward plane of the ground level living space. On corner lots, the pedestrian doorway may face any adjacent street. Unless prohibited by terrain or other site constraints, the orientation of the homes shall repeat the predominant relationship of building to buildings and buildings to street along the same block or facing block. An exception shall be made for alley-loaded single-family attached dwelling units that do not have street frontage but do front onto a park or landscaped common area. In such case where the dwelling unit does not have street frontage, 1 primary pedestrian doorway shall be oriented toward a common pedestrian walk that connects to a street.

3. Front Stoop

For model plans with a front stoop, the front stoop shall include the platform and stairs that are generally in front of a door that can be covered or uncovered. The maximum width of a front stoop shall be 3 feet in width.

4. Front Porches

For model plans with a front porch, the front porch shall be a minimum size of 50 square feet, with a minimum depth of 5 feet. Square footage should be one plane and does not include the stoop area if the stoop is raised from the remainder of the porch.

5. Bicycle Racks

One (1) guest bicycle rack shall be provided for every 10 single-family attached units. Loop bicycle racks shall accommodate 2 bicycles per loop. Racks shall be distributed evenly throughout the single-family attached residential area, with priority focused on key pedestrian areas and circulation paths.

BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF
SEC. 9, SEC. 17, E 1/2 OF SEC. 18,
T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

HURST CIVIL ENGINEERING PLANNING SURVEYING	1265 S. Public Road Suite 8 Lafayette, CO 80026 303.449.9105 www.hurst-assoc.com	SCALE: HOR. N/A VERT. N/A
	DESIGN/APPR. BO	
	DATE 05/06/21	DRAWN BY RD
	SHEET 6 OF 8	

FILE: G:\2021\21\ZONING\04-ARCH STDS AMEND 6.DWG

BRIDGEWATER (COLLIERS HILL) P.U.D. OVERLAY MAP - AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH
RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO
965.83 ACRES
PUDA-001136-2020

ARCHITECTURAL STANDARDS FOR MULTI-FAMILY SPECIFIC TO VILLAGE 15

Architectural standards to Multi-Family Residential Dwelling Units – these standards replace subsection 10.6.7.F of the Unified Development Code and are only applicable to Village 15.

General Provisions

Purpose: To provide areas for residential uses of an urban character at a gross density not to exceed 26 dwelling units per acre. Buildings three (3) stories or less shall contain a maximum of 36 units per building.

10.5.6.A & 10.6.3.B – Parks and Open Space – Land dedication requirements have been prior satisfied elsewhere with the Bridgewater PUD – no additional land dedications or fees-in-lieu shall apply to Village 15.

10.5.6.B -- Contributions for Public School Sites – Land dedication requirements have been prior satisfied elsewhere within the Bridgewater PUD – no additional land dedications or fees-in-lieu shall apply to Village 15.

10.6.6 OFF-STREET PARKING AND LOADING

D. Off-Street Parking Requirements

1. Schedule A

c. Off Street Parking Location

vii. The following shall count toward the minimum parking requirement:

(A) Surface parking, including detached garages, carports and tandem spaces located in front of garage doors to be used by tenant of said garage.

10.6.7 RESIDENTIAL USE CATEGORY DESIGN STANDARDS

F. Additional Standards for Multi-family Residential

1. Building Design and Character

d. Architectural Character

i. Design Standards

(C) The maximum building length of any multi-family building, of 3-stories or less, shall be 160 feet. All buildings shall incorporate 1 additional item listed in 10.6.7.F.d.ii(D), totaling 3 or more features from the list below:

- (1) Balconies;
- (2) Bay or box windows;
- (3) Insets or other relief in the wall plane;
- (4) Porches;
- (5) Dormers;
- (6) Variations in materials; or
- (7) Variations in roof forms.

Additionally, building facades facing a Public Way shall incorporate one further Architectural Design Enhancement from the list below:

- (8) Use of 10% masonry (Stone, Manufactured Stone or Brick) along the façade facing the Public Right of Way or Common Open Space;
- (9) Enhanced architectural detailing on facades facing the Public Right of Way or Common Open Space, including but not limited to enhanced trim, articulated columns and/or column bases, awnings, brackets, corbels, exposed structure (whether actual or simulated structure);
- (10) Unit doors at round level patios in units facing the Public Right of Way or Common Open Space to allow direct access from the private unit to the Public Right of Way or Common Open Space; or
- (11) A portion of the roofs and/or awnings facing the Public Right of Way or Common Open Space in an enhanced material such as metal panel, standing seam or tile roofing.

BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF
SEC. 9, SEC. 17, E 1/2 OF SEC. 18,
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	DESIGN/APPR. BO	
	DRAWN BY RD	
	DATE 05/06/21	SHEET 7 OF 8

FILE: G:\2021\22\ZONING\04-ARCH STDS AMEND 6.DWG

BRIDGEWATER (COLLIERS HILL) P.U.D. OVERLAY MAP - AMENDMENT NO. 6

PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18, TOWNSHIP 1 NORTH
RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO
965.83 ACRES
PUDA-001136-2020

Architectural standards for Single-Family Attached Dwelling Units (Townhome – Alley loaded) – These standards replace subsection 10.6.7.F of the Unified Development Code and are only applicable for Village 14.

General Provisions

Purpose: The provide areas for residential uses of an urban character at a gross density not to exceed 12 dwelling units per acre.

10.6.5.G.1 is replaced as follows:

Bicycle Parking

All development shall provide bicycle parking areas that comply with the following standards:

- Location
Bicycle parking spaces shall be conveniently located, but in no case shall such facilities be located farther than 100 linear feet from the primary building entrance. Bicycle parking shall be distributed evenly throughout the single-family attached townhome area, with priority focused on key pedestrian areas and circulation paths.
- Spaces Required
Bicycle parking spaces shall be provided at the following rates:
 - A minimum of 2 bicycle parking spaces per 20 off-street parking spaces for all commercial and multi-family single-family attached townhome uses.
- A rack or other structure shall be provided to secure parked bicycles. Looped bicycle racks shall accommodate 2 bicycles per loop.

10.6.7.F.1.c is replaced as follows:

Building Orientation

- Design Standards
 - The primary entrance and façade of individual buildings within a multi-family single-family attached townhome development shall be oriented towards:
 - Primary internal or perimeter streets,
 - Common open space, such as interior courtyards, landscaped common areas, parks, or open space on-site natural areas or features with a clearly defined and easily accessible pedestrian circulation system.
 - Primary entrances and facades shall not be oriented towards alleys, parking lots, garages, or carpports.

10.6.7.F.1.d is replaced as follows:

Architectural Character

- Design Standards
 - All sides of a multi-family single-family attached townhome building shall display a similar level of quality and architectural detailing. The majority of a building's architectural features and treatments shall not be restricted to a single façade. Building details, including roof forms, windows, doors, trim, and siding materials, shall reflect the architectural style of the building.
 - On multi-family single-family attached townhome buildings of 10 dwelling units or less, the massing and use of exterior materials is encouraged to be arranged to give each building the appearance of a large single-family home to promote a cohesive style between units within a building, however distinction between buildings is required (RE: 10.6.7.F.1.e). This includes townhomes, duplexes, manor homes, and stacked tri-plex/quad-plex homes, but does not necessarily apply to townhomes in which the unique individualism of each dwelling unit is expressed.
 - The maximum length of any multi-family single-family attached townhome building shall be 110 to 156 feet.
 - Blocky, uniform facades buildings are prohibited. The facades buildings of all multi-family single-family attached townhome buildings shall be articulated through the incorporation of 2 or more of the following:
 - Balconies;
 - Bay or Box windows;
 - Insets or other relief in the wall plane;
 - Porches;
 - Dormers;
 - Variations in materials; or
 - Variations in roof forms.
 - The incorporation of a variety of roof forms is required strongly encouraged. Generally, multi-family single-family attached townhome buildings shall incorporate roof pitches of between 3:12 and 12:12; however, alternative roof forms may be permitted at the discretion of the Community Development Director.
 - Roof overhangs shall be a minimum of 12 inches to establish strong shadow lines and complement the pitch and architectural style of the structure.
 - Horizontal variations in materials along the façade of a multi-family single-family attached townhome building shall occur in conjunction with a change in wall plane, preferably at the inside of the corner of a wall.
 - Each elevation dwelling unit shall include a minimum of 2 windows (or 1 window and 1 door) per floor. For rear elevations where there is not enough space for both a garage door and an additional window, window panels within the garage door will suffice.
 - Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. No exposed 4 inch x 4 inch posts shall be allowed more than 36 inches above ground. Columns supporting upper story decks should be 8 inches x 8 inches minimum, finished.

10.6.7.F.1.e is replaced as follows:

Architectural Variety

- Design Standards
 - Townhomes
 - Within each townhome row or cluster, individual dwelling units shall be differentiated through 2 or more of the following methods:
 - Use of distinct color variation between individual dwelling units;
 - Use of distinct variations in materials between individual dwelling units;
 - Use of distinct variations in architectural style or features, such as a porch or similar feature, between individual dwelling units;
 - Use of distinct variations in roof form;
 - Variation in garage orientations;
 - A variation in the plane of the front façade to provide a minimum 3 foot variation between individual dwelling units.
 - No identical model plan elevation shall be repeated directly across any street from the same model plan and elevation.
 - No identical model plan elevation shall be repeated more than once within every 4 buildings or building groups on the same side of any street.
 - A minimum of 3 alternative elevations for each model plan shall be submitted to the Town for review.
 - Each front elevation shall include more than 1 wall plane. Articulation that adds shadow and visual interest is encouraged.
 - An elevation for the home that faces a street, park, trail corridor, open space, or landscaped common area shall provide an 'Enhanced Elevation'. An 'Enhanced Elevation' shall provide 3 or more of the following design enhancements listed in below. Application of the side elevation design enhancement shall be applied in a manner that is consistent with the design elements of the front elevation.
 - The addition of 1 window unit;
 - A change in wall plane by providing 1 or more of the following options:
 - An additional wall plane change of at least 12";
 - A projecting or cantilevered living space; or
 - A bay or boxed window.
 - A covered porch or deck;
 - The addition of architectural detail elements such as: shutters, eave brackets, exposed rafter tails, lintels, trellises, columns, or pilasters; or
 - The use of a minimum of 2 exterior cladding materials that can include materials such as masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other decorative siding treatment.

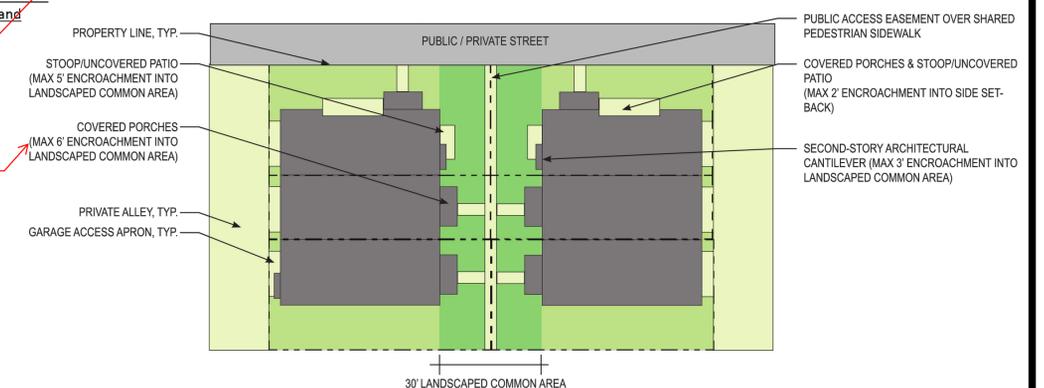
Additional Design Standards:

- Front Porch
For plans with a front porch, the minimum size of front porches shall be 50 square feet of floor area, including the stoop and any projections, with a minimum depth of 5 feet.
- Front Stoop
For plans with a front stoop, the front stoop shall include the platform and stairs that are generally in front of a door that can be covered or uncovered, with a minimum depth of 3 feet.

Definitions:

- Landscaped Common Area
Landscaped Common Areas shall be defined as common landscape and pedestrian areas within residential neighborhoods where alley-loaded buildings front each other, and a street is not present. These spaces are envisioned as a publicly accessible space via a public access easement granted over a portion of the front setback of a rear-loaded single-family attached lot. Landscaped Common Areas shall be a minimum of 30 feet in width as measured between the front primary facades of facing buildings. Encroachments are permitted for the following architectural appurtenances: Covered front porches up to 6 feet (inclusive of roof overhangs), front stoops or uncovered patios up to 5 feet, second-story architectural cantilevers up to 3 feet (inclusive of roof overhangs), bay windows up to 3 feet (inclusive of roof overhangs), other above-grade features such as roof overhangs, eaves, counterforts, and fireplace box-outs up to 2 feet. Fencing is not permitted in Landscaped Common Areas unless used as a decorative screening element for above ground utilities subject to the approval of the Community Development Director. See Exhibit 1.1 below.

EXHIBIT 1.1



6' looks like a typo? Previously it stated 5'. Also it states 5' in the front porch section.

BRIDGEWATER P.U.D. OVERLAY MAP
SE 1/4 OF SEC. 7, S 1/2 OF SEC. 8, SW 1/4 OF SEC. 9, SEC. 17, E 1/2 OF SEC. 18,
T1N, R68W OF THE 6TH P.M. WELD COUNTY, CO.

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	DRAWN BY RD	
	DATE 05/06/21	SHEET 8 OF 8

FILE: G:\2021\2120\NIN\04-ARCH-STDS-AMEND-5.DWG

April 15, 2021

Mr. Chris LaRue
Town of Erie Community Development
645 Holbrook Street
Erie, Colorado 80506

Re: Colliers Hill – Rezone

Dear Mr. LaRue,

Following please find our letter of introduction and project description for the Rezoning request for the north quarter section of Colliers Hill (Bridgewater PUD Village 1A and 1B). The general purpose for this rezone request is to convert a portion of the Colliers Hill community from SR to LR zoning, consistent with the remaining portion of the community and the Town of Erie Comprehensive Plan.

Proposed Project Description

Proposed land uses within Village 1A and 1B of the Bridgewater P.U.D. includes a mix of single-family detached and attached homes ranging in lot size from 2,250 sf to 10,000+ sf. A maximum of 350 single-family detached units and 150 single-family attached units are proposed within the P.U.D. over a total area of 142.25 acres resulting in an approximate density of 3.5 dwelling units per acre. Per the UDC zoning within Suburban Residential (SR) is capped at 3.0 dwelling units per acre, therefore a rezoning request is being made to Low-Density Residential (LR) which permits residential densities between 3.0 and 5.0 dwelling units per acres.

The proposed LR zoning classification is consistent with the majority of the Colliers Hill (Bridgewater) community, except for a small portion located north of the existing railroad which is currently zoned Estate Residential (ER). This area will remain as ER zoning and is proposed as HOA-owned open space.

Compliance with the Town of Erie Comprehensive Plan

The Town of Erie Comprehensive Plan currently outlines the entirety of the Colliers Hill (Bridgewater) community as Low Density Residential (LDR). This land use is characterized with suburban-style developments allowing for a range of single-family detached and attached homes with a density range between 2-6 dwelling units per acre. In addition, LDR areas are recommended to be located within walking distance to community facilities such as schools, and parks.

The proposed land uses intended for Village 1A and 1B of the community fall well within the density range required, at 3.5 du/ac and include a mix of single-family attached and detached homes. Residents are located within convenient walking distances to nearby community amenities such as regional trails, neighborhood and pocket parks, a future community park and the nearby Soaring Heights Middles School and Erie High School.

Surrounding Land Use

Adjacent land uses to Village 1A and 1B include the following:

To the North – Parkland Estates (Weld County PUD Zoning)

To the South – Village 4 and Village 13 of the Bridgewater P.U.D., single-family detached residential (LR Zoning)

Update to be consistent with Impact Assessment & PP.

April 5, 2021

Mr. Chris LaRue
Town of Erie Community Development
645 Holbrook Street
Erie, Colorado 80506

Re: Assessment of Impact Report

Dear Mr. LaRue,

Following please find our Assessment of Impact Report for the Rezoning request for the north quarter section of Colliers Hill (Bridgewater PUD Village 1A and 1B). The general purpose for this report is to assess impacts the proposed rezoned parcel would have on the Town, County, Special Districts and utilities and services.

PUD states
350 SFD.

Proposed Project Description

3.5

Proposed land uses within Village 1A and 1B of the Bridgewater P.U.D. includes a mix of single-family detached and attached homes ranging in lot size from 2,250 sf to 10,000+ sf. A maximum of 310 single-family detached units and 150 single-family attached units are proposed within the P.U.D. over a total area of 142.25 acres resulting in an approximate density of 3.2 dwelling units per acre. Per the UDC zoning within Suburban Residential (SR) is capped at 3.0 dwelling units per acre, therefore a rezoning request is being made to Low-Density Residential (LR) which permits residential densities between 3.0 and 5.0 dwelling units per acres.

The proposed LR zoning classification is consistent with the majority of the Colliers Hill (Bridgewater) community, except for a small portion located north of the existing railroad which is currently zoned Estate Residential (ER). This area will remain as ER zoning and is proposed as HOA-owned open space.

General Project Information

Current Zoning – Suburban Residential (SR)

Proposed Zoning – Low Density Residential (LR)

Jurisdictions applicable to this parcel – County of Weld, Town of Erie

Special Districts applicable to this parcel –

- Boulder Valley Conservation
- Colliers Hill Metropolitan District 3
- Town of Erie
- High Plains Library
- Mountain View Fire Protection District
- Northern Colorado Water District
- RTD
- School District RE1J-Longmont
- Weld County

Known Utility Service Providers –

- United Power (electric)
- Xcel Energy (gas)
- Town of Erie (water and sewer)
- Additional servicers may be used for telephone, internet, etc. by the individual homeowner

BRIDGEWATER ZONING MAP – AMENDMENT NO. 2

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, SECTION 17 AND THE EAST HALF OF SECTION 18,
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
965.83 ACRES
RZ-001268-2021

DESCRIPTION OF DISTRICT BEING CHANGED:

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT SOUTHEAST CORNER OF SAID SECTION 8 (A 2.5" ALUMINUM CAP MARKED LS 23501, 1993) FROM WHENCE THE SOUTH QUARTER CORNER OF SECTION 8 (A 3.25" ALUMINUM CAP MARKED 38252, 2018) LIES S89°01'00"W, 2,648.14 FEET (BASIS OF BEARINGS);

THENCE S89°01'00"W, 2,648.14 FEET ALONG THE SOUTHERLY LINE OF THE SOUTHEAST QUARTER;

THENCE N00°01'05"E, 1,609.82 FEET ALONG THE WESTERLY LINE OF THE SOUTHEAST QUARTER TO THE SOUTHERLY LINE OF A PARCEL DESCRIBED AS "UP CO V74 P12" IN DEED RECORDED 06/26/2009 AT RECEPTION NO. 3632827 (PREVIOUSLY UNION PACIFIC RAILROAD RIGHT OF WAY);

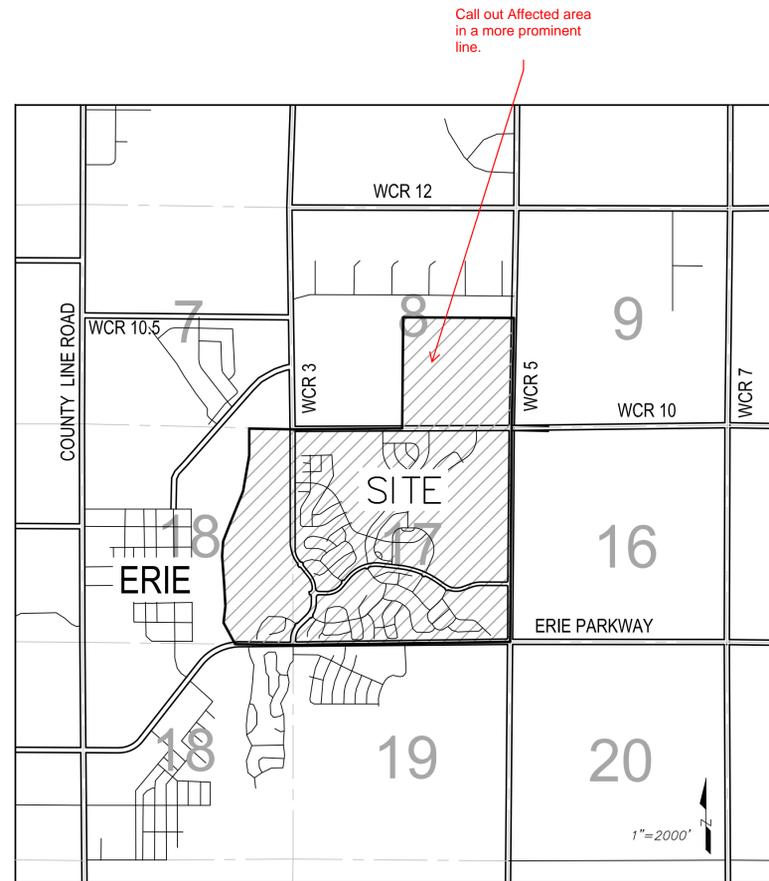
THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL THE FOLLOWING THREE COURSES:

- 1) N42°44'02"E, 466.98 FEET;
- 2) 1,737.57 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 1,859.88 FEET, A CENTRAL ANGLE OF 53°31'41", AND A CHORD BEARING N69°30'25"E, 1,675.06 FEET;
- 3) S83°44'07"E, 800.46 FEET TO THE WESTERLY LINE OF THE SOUTHEAST QUARTER;

THENCE S00°48'07"W, 2,406.70 FEET ALONG SAID WESTERLY LINE TO THE POINT OF BEGINNING, CONTAINING 142.25 ACRES, MORE OR LESS.

NOTES

1. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. THE PURPOSE OF THIS ZONING AMENDMENT IS TO CHANGE AN AREA CURRENTLY ZONED "SR – SUBURBAN RESIDENTIAL" BY THE BRIDGEWATER ZONING MAP TO "LR – LOW DENSITY RESIDENTIAL". NO OTHER ZONING AREAS ARE AFFECTED.
3. THIS ZONING MAP IS NOT AN IMPROVEMENT SURVEY PLAT, NOR IS IT A LAND SURVEY PLAT. IT IS INTENDED TO SHOW THE ZONING AREAS DESCRIBED IN THE LEGAL DESCRIPTIONS.
4. DISTRICT ZONES ARE DESCRIBED TO THE CENTERLINE OF RIGHT OF WAY, WHEN APPLICABLE.
5. ADJACENT ZONING BASED ON TOWN OF ERIE ONLINE ZONING MAP AND THE WELD COUNTY ONLINE PROPERTY PORTAL ACCESSED 03/31/2021.



VICINITY MAP

PLANNING COMMISSION CERTIFICATE

THIS ZONING MAP WAS REVIEWED BY THE PLANNING COMMISSION ON THE ____ DAY OF _____, 20____.

CHAIRPERSON _____ DATE _____

BOARD OF TRUSTEES APPROVAL CERTIFICATE

THIS ZONING MAP IS TO BE KNOWN AS THE "BRIDGEWATER PUD ZONING MAP – AMENDMENT NO. 2" AND IS APPROVED AND ACCEPTED BY ORDINANCE NO. _____ PASSED AND ADOPTED AT A MEETING OF THE BOARD OF TRUSTEES OF ERIE, COLORADO, HELD ON _____, 20____.

MAYOR _____

ATTEST:

TOWN CLERK _____

SURVEYOR'S CERTIFICATE

I, BO BAIZE, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PUD ZONING MAP TRULY AND CORRECTLY REPRESENTS THE ABOVE DESCRIBED LEGAL DESCRIPTION AND THE LEGAL DESCRIPTIONS FOR EACH ZONE DISTRICT.

I ATTEST THE ABOVE ON THIS ____ DAY OF _____, 20____.

BO BAIZE
FOR AND ON BEHALF OF HURST & ASSOCIATES, INC.
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR #37990

SCALE VERIFICATION
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

NO.	DESCRIPTION	REVISIONS	DATE	BY
1				

PLANNING COMMISSION CERTIFICATE
BOARD OF TRUSTEES APPROVAL CERTIFICATE

HURST
CIVIL ENGINEERING
PLANNING
SURVEYING

HURST & ASSOCIATES, INC.
1265 S Public Road, Suite B
Lafayette, CO 80026
303.449.9105

BRIDGEWATER ZONING MAP
AMENDMENT NO. 2
ERIE, COLORADO

DRAWN BY: BO	DESIGNED BY:	APPROVED BY:
JOB NUMBER: 2527-02	DATE: 04/15/21	SCALE: N/A
SHEET NO: 1 OF 2	FILE LOCATION: G:\2527\2527\REV\BRIDGEWATER ZONING MAP AMEND 2	

Chris LaRue

From: Bob Bresnahan <bob.bresnahan@CRESTONEPR.COM>
Sent: Monday, May 3, 2021 9:28 AM
To: Development Referral
Subject: RE: [EXTERNAL MAIL] Referral Review - Colliers Hill Filing 6 Rezone

Crestone Peak Resources has no objections with Colliers Hill Filing 6 Rezone.

Thank you,

Bob Bresnahan
Surface Landman Advisor
Crestone Peak Resources
Direct: (303) 774-3982
Cell: (720) 369-0432



Please note that our offices are closed the 1st, 3rd (and when applicable) 5th Friday's of every month. I will respond to all emails the following week.

From: Melinda Helmer <mhelmer@erieco.gov>
Sent: Friday, April 30, 2021 2:41 PM
To: Tyler Burhenn <tburhenn@erieco.gov>; Misty Hall <mhall@erieco.gov>; Darren Champion <dchampion@erieco.gov>; Luke Bolinger <lbolinger@erieco.gov>; Matt Spinner <mspinner@erieco.gov>; john@coloradols.com; LuAnn Penfold <lpenfold@mvfpd.org>; Kristine Ranslem <kranslem@weldgov.com>; weld-districts@weldgov.com; Jon Lee <jonrlee@cdgcolorado.com>; Jerry Richmond <jrichmond@raintree.us.com>; corpoffice@pcms.net; parkland.hoa@parklandestatesairpark.org; toillion_scott@svvsd.org; Jake.Billadeau@westernmidstream.com; Bob Bresnahan <bob.bresnahan@CRESTONEPR.COM>; Chandler Newhall <cnewhall@extractionog.com>; Sean Casper <scasper@extractionog.com>; grant.gerrard@westernmidstream.com; Murph.Shelby@westernmidstream.com; Brett.Cavanagh@westernmidstream.com; Kelly.Reyos@westernmidstream.com; Heather.Bennett@westernmidstream.com; Kelsey Wasylenky <kwasylenky@jostenergyllaw.com>; rons@mdsslaw.com; mike.brotzman@anadarko.com
Cc: Chris LaRue <clarue@erieco.gov>
Subject: [EXTERNAL MAIL] Referral Review - Colliers Hill Filing 6 Rezone

Good Afternoon,

Please find the enclosed link for referral documents on the above noted project:
<https://erieco.sharefile.com/d-s96c403a6c4ad46bf95f08938ee1c7c15>

Referral comments are due back by June 1st. Staff DRT is scheduled for June 3rd.

Please let me know if you have any questions.

Regards,

Chris LaRue

From: LuAnn Penfold <lpenfold@mvfpd.org>
Sent: Wednesday, May 12, 2021 1:00 PM
To: Development Referral
Subject: RZ-001268-2021

The Fire District does not object to the rezoning of Colliers Hill Filing 6 and will comment further when utility plans are received for review.

LuAnn Penfold, Fire Prevention Specialist

Mountain View Fire Rescue
3561 N. Stagecoach Road, Longmont, CO 80504
720-678-9890 | lpenfold@mvfpd.org | www.mvfpd.org

