

ERIE VILLAGE PLANNED DEVELOPMENT - DEVELOPMENT PLAN AMENDMENT NO. 6

LOCATED IN THE EAST 1/2 OF SECTION 12, T1N, R69W OF THE 6TH P.M.
TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
AREA = 149.15 ACRES
PDA-001107-2019



ERIE VILLAGE PD AMENDMENT NO. 6 ERIE, COLORADO

PROJ. NO. 1069
DRAWN: -
CHECKED: DPA
CADD FILE: .dwg
DATE: 08/24/20
REVISIONS:

PLANNED DEVELOPMENT
SUBMITTAL
SHEET TITLE:
COVER SHEET

SCALE: AS NOTED
SHEET NUMBER:

1 of 5

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE EAST HALF OF SECTION 12, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

CONSIDERING THE EAST LINE OF SECTION 12, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M., TO BEAR NORTH 00°03'40" WEST, A DISTANCE OF 1349.10 FEET BETWEEN THE SOUTHEAST CORNER OF SAID SECTION 12, BEING A FOUND PIPE WITH 2 1/2" ALUMINUM CAP "LS11372" AND NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 12, BEING A FOUND #6 REBAR WITH 2" ALUMINUM CAP IN RANGE BOX "LS22579", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT SAID SOUTHEAST CORNER OF SAID SECTION 12, NORTH 89°08'12" WEST, A DISTANCE OF 30.00 FEET TO THE SOUTHEAST CORNER OF THE PLAT OF ERIE VILLAGE, FIFTH FILING, AS FOUND IN THE RECORDS OF BOULDER COUNTY CLERK AND RECORDER'S OFFICE AT RECEPTION NO. 1903172, DATED FEBRUARY 8, 1999, AND THE POINT OF BEGINNING;

THENCE ALONG THE SOUTH LINE OF SAID PLAT OF ERIE VILLAGE, FIFTH FILING, NORTH 89°08'12" WEST, A DISTANCE OF 501.96 FEET; THENCE NORTH 00°51'48" EAST, A DISTANCE OF 140.00 FEET; THENCE NORTH 34°04'51" EAST, A DISTANCE OF 168.10 FEET; THENCE 455.33 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 617.26 FEET, AN INCLUDED ANGLE OF 42°15'55" AND SUBTENDED BY A CHORD BEARING NORTH 34°47'12" WEST, A DISTANCE OF 445.08 FEET TO THE SOUTHEAST CORNER OF THE PLAT OF ERIE VILLAGE, FIRST FILING REPLAT A, AS FOUND IN THE RECORDS OF BOULDER COUNTY CLERK AND RECORDER'S OFFICE AT RECEPTION NO. 1810338, DATED JUNE 8, 1998;

THENCE ALONG THE SOUTH LINE OF SAID PLAT OF ERIE VILLAGE, FIRST FILING REPLAT A NORTH 89°58'18" WEST, A DISTANCE OF 565.25 FEET TO A POINT ON THE EASTERLY LINE OF THE PLAT OF ERIE VILLAGE, THIRD FILING, AS FOUND IN THE RECORDS OF BOULDER COUNTY CLERK AND RECORDER'S OFFICE AT RECEPTION NO. 1903170, DATED FEBRUARY 8, 1999;

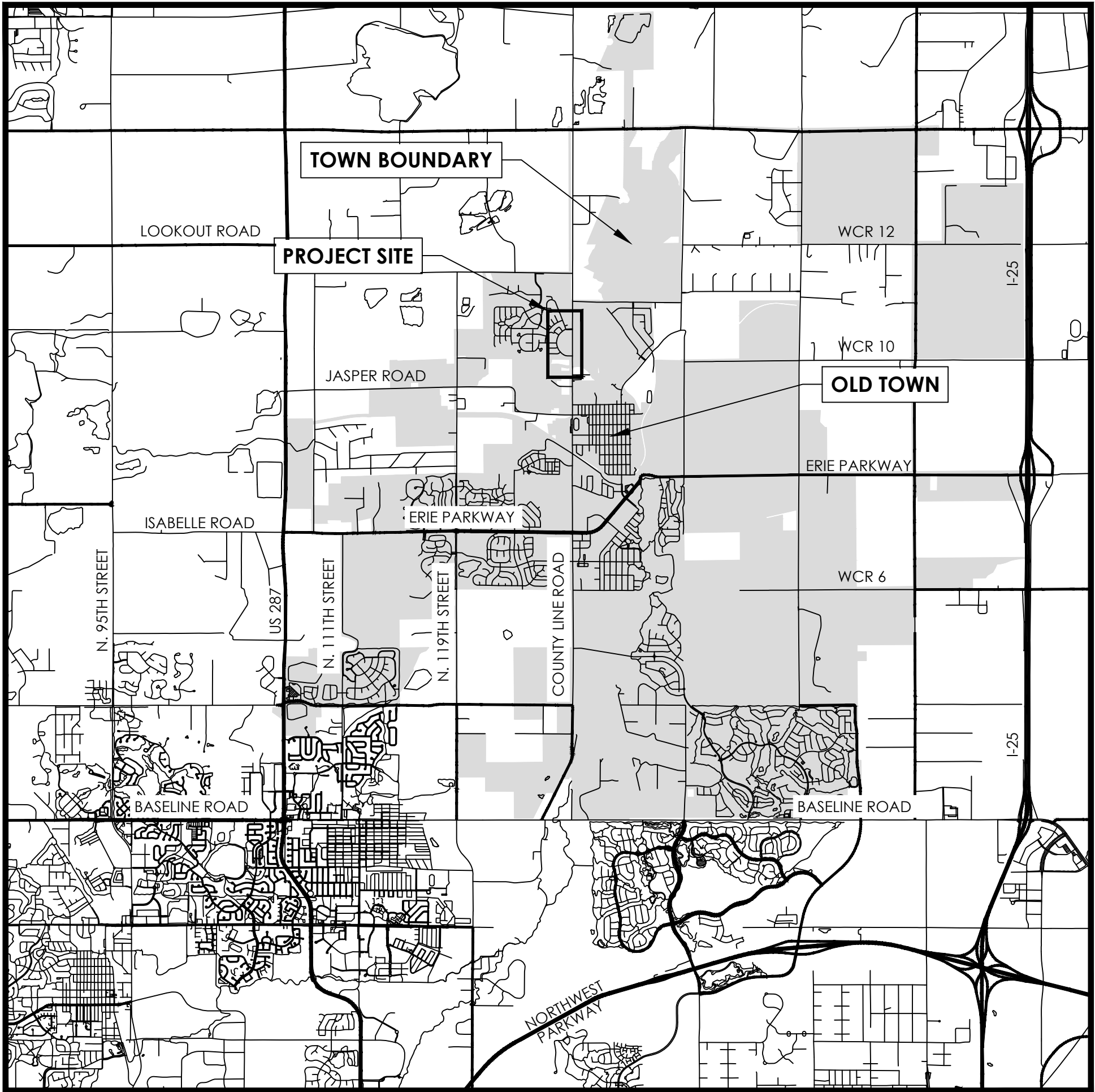
THENCE SOUTH 00°51'48" WEST, A DISTANCE OF 634.06 FEET TO THE SOUTHEAST CORNER OF SAID PLAT OF ERIE VILLAGE, THIRD FILING; THENCE NORTH 89°08'12" WEST, A DISTANCE OF 866.16 FEET TO THE SOUTHWEST CORNER OF SAID PLAT OF ERIE VILLAGE, THIRD FILING AND THE SOUTHEAST CORNER OF THE PLAT OF ERIE VILLAGE, FOURTH FILING, AS FOUND IN THE RECORDS OF BOULDER COUNTY CLERK AND RECORDER'S OFFICE AT RECEPTION NO. 1903171, DATED FEBRUARY 8, 1999;

THENCE ALONG THE SOUTH LINE OF SAID PLAT OF ERIE VILLAGE, FOURTH FILING NORTH 89°08'12" WEST, A DISTANCE OF 535.43 FEET TO THE SOUTHWEST CORNER OF SAID PLAT OF ERIE VILLAGE, FOURTH FILING; THENCE NORTH 00°00'45" WEST, A DISTANCE OF 1335.95 FEET TO THE NORTHWEST CORNER OF SAID PLAT OF ERIE VILLAGE, FOURTH FILING; THENCE SOUTH 89°25'08" EAST, A DISTANCE OF 747.87 FEET TO THE NORTHEAST CORNER OF SAID PLAT OF ERIE VILLAGE, FOURTH FILING, AND THE NORTHWEST CORNER OF SAID PLAT OF ERIE VILLAGE, THIRD FILING; THENCE SOUTH 89°25'08" EAST, A DISTANCE OF 552.42 FEET TO THE NORTHEASTERLY CORNER OF SAID PLAT OF ERIE VILLAGE, THIRD FILING AND TO A POINT ON THE WESTERLY LINE OF SAID PLAT OF ERIE VILLAGE, FIRST FILING REPLAT A;

THENCE SOUTH 89°25'08" EAST, A DISTANCE OF 32.09 FEET TO THE SOUTHWESTERLY CORNER OF THE PLAT OF ERIE VILLAGE, SECOND FILING, AS FOUND IN THE RECORDS OF BOULDER COUNTY CLERK AND RECORDER'S OFFICE AT RECEPTION NO. 1903169, DATED FEBRUARY 8, 1999;

THENCE ALONG THE WEST LINE OF SAID PLAT OF ERIE VILLAGE, SECOND FILING NORTH 00°02'15" WEST, A DISTANCE OF 1342.52 FEET; THENCE NORTH 00°02'12" EAST, A DISTANCE OF 1292.16 FEET TO THE NORTHWEST CORNER OF SAID PLAT OF ERIE VILLAGE, SECOND FILING; THENCE SOUTH 89°33'16" EAST, A DISTANCE OF 1302.89 FEET TO THE NORTHEAST CORNER OF SAID PLAT OF ERIE VILLAGE, SECOND FILING; THENCE SOUTH 00°05'07" WEST, A DISTANCE OF 1288.81 FEET; THENCE SOUTH 00°03'37" EAST, A DISTANCE OF 1101.00 FEET; THENCE SOUTH 61°10'45" WEST, A DISTANCE OF 34.22 FEET TO A POINT ON THE NORTHERLY LINE OF SAID PLAT OF ERIE VILLAGE, FIRST FILING REPLAT A; THENCE SOUTH 00°03'40" EAST, A DISTANCE OF 200.54 FEET TO THE NORTHEAST CORNER OF SAID PLAT OF ERIE VILLAGE, FIFTH FILING; THENCE SOUTH 00°03'40" EAST, A DISTANCE OF 619.32 FEET; THENCE SOUTH 89°55'58" EAST, A DISTANCE OF 30.00 FEET; THENCE SOUTH 00°03'40" EAST, A DISTANCE OF 760.50 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 6,496,882 SQ.FT. OR 149.15 ACRES, MORE OR LESS.



1 LOCATION MAP

SCALE: 1" = 5000'

SHEET INDEX

1	COVER SHEET
2	ARCHITECTURAL STANDARDS
3	STREET SECTIONS
4	PD SITE PLAN
5	OVERALL SITE PLAN

SURVEYOR'S CERTIFICATE

I, JOHN B. GUYTON, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PD DEVELOPMENT PLAN TRULY AND CORRECTLY REPRESENTS THE ABOVE DESCRIBED LEGAL DESCRIPTIONS FOR EACH PD DISTRICT.

I ATTEST THE ABOVE ON THIS ____ DAY OF _____, 20____.

JOHN B. GUYTON, PLS #16406
CHAIRMAN & CEO
FLATIRONS, INC.

COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR

PLANNING COMMISSION CERTIFICATE

THIS PD DEVELOPMENT PLAN WAS REVIEWED BY THE PLANNING COMMISSION ON THE ____ DAY OF _____, 20____.

CHAIRPERSON

DATE

BOARD OF TRUSTEES CERTIFICATE

THIS PD DEVELOPMENT PLAN IS TO BE KNOWN AS "ERIE VILLAGE PD DEVELOPMENT PLAN AMENDMENT NO. 6" AND IS APPROVED AND ACCEPTED BY ORDINANCE NO. _____, PASSED AND ADOPTED AT A MEETING OF THE BOARD OF TRUSTEES OF ERIE, COLORADO, HELD ON _____, 20____.

MAYOR

ATTEST:

TOWN CLERK

CLERK & RECORDER CERTIFICATE

STATE OF COLORADO }
COUNTY OF BOULDER }SS.

I HEREBY CERTIFY THAT THIS PD DEVELOPMENT PLAN WAS FILED IN MY OFFICE ON THIS ____ DAY OF _____, 20____ A.D. AND WAS RECORDED AT RECEPTION NUMBER _____.

BOULDER COUNTY CLERK AND RECORDER

ERIE VILLAGE PLANNED DEVELOPMENT - DEVELOPMENT PLAN AMENDMENT NO. 6

LOCATED IN THE EAST 1/2 OF SECTION 12, T1N, R69W OF THE 6TH P.M.
TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
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PDA-001107-2019

ERIE VILLAGE PLANNED DEVELOPMENT (PD) DEVELOPMENT PLAN, FILING 5, 6TH AMENDMENT PDA 07-003

I. GENERAL PROVISIONS

AUTHORITY

THIS PLANNED DEVELOPMENT AMENDMENT, HEREAFTER REFERRED TO AS 'DEVELOPMENT PLAN' IS AUTHORIZED BY THE TOWN OF ERIE MUNICIPAL CODE.

APPLICABILITY

THE PROVISIONS OF THE DEVELOPMENT PLAN WILL RUN WITH THE LAND. THE LANDOWNERS, THEIR SUCCESSORS AND ASSIGNS, SHALL BE BOUND BY THIS DEVELOPMENT PLAN, AS AMENDED BY THE DIRECTOR OF PLANNING & DEVELOPMENT OR THE TOWN BOARD OF TRUSTEES.

ADOPTION

THE ADOPTION OF THE DEVELOPMENT PLAN SHALL EVIDENCE THE FINDINGS AND DECISION OF THE TOWN OF ERIE BOARD OF TRUSTEES THAT THIS DEVELOPMENT PLAN FOR ERIE VILLAGE IS IN GENERAL CONFORMITY WITH THE TOWN OF ERIE COMPREHENSIVE PLAN AND IS AUTHORIZED BY AND IN COMPLIANCE WITH THE TOWN OF ERIE MUNICIPAL CODE.

RELATIONSHIP TO TOWN REGULATIONS

THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF ERIE VILLAGE, PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE TOWN OF ERIE MUNICIPAL CODE, AS AMENDED, OR ANY OTHER APPLICABLE ORDINANCE OR REGULATION OF THE TOWN OF ERIE, SHALL BE APPLICABLE.

ENFORCEMENT

TO FURTHER THE MUTUAL INTERESTS OF RESIDENTS, OCCUPANTS, AND OWNERS OF THE PLANNED DEVELOPMENT AMENDMENT AND OF THE PUBLIC IN THE PRESERVATION OF THE INTEGRITY OF THE PLANNED DEVELOPMENT AMENDMENT, THE PROVISIONS OF THIS DEVELOPMENT PLAN REGULATING THE USE OF LAND AND THE LOCATION OF COMMON OPEN SPACE SHALL RUN IN FAVOR OF THE TOWN OF ERIE AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE TOWN WITHOUT ANY LIMITATION ON ANY POWER OR REGULATION.

CONFLICT

WHERE THERE IS MORE THAN ONE PROVISION WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION THAT IS MOST RESTRICTIVE OR COMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN UNLESS DETERMINED OTHERWISE BY THE DIRECTOR.

MAXIMUM LEVEL OF DEVELOPMENT

THE TOTAL NUMBER OF DWELLINGS OR THE TOTAL COMMERCIAL, BUSINESS INDUSTRIAL INTENSITY APPROVED FOR DEVELOPMENT WITHIN THE PLANNING AREA IS THE MAXIMUM DEVELOPMENT REQUESTED FOR PLATTING OR CONSTRUCTION (PLUS APPROVED DENSITY TRANSFERS IF ANY). THE ACTUAL DWELLINGS OR LEVEL OF DEVELOPMENT FOR COMMERCIAL, BUSINESS OR INDUSTRIAL PROPERTIES MAY BE LESS DUE TO THE SUBDIVISION OR SITE PLAN REQUIREMENTS, OR OTHER REQUIREMENTS BY THE BOARD OF TRUSTEES.

PROJECT TRACKING

AT THE TIME OF SUBDIVISION FINAL PLAT, THE APPLICANT SHALL PROVIDE A SUMMARY OF THE DEVELOPMENT TO DATE, ALONG WITH THE FINAL PLAT SUBMITTAL TO ENSURE MAXIMUM DEVELOPMENT LIMITS ARE NOT EXCEEDED.

SIXTH AMENDMENT

THE PLANNED DEVELOPMENT, SIXTH AMENDMENT IS INTENDED TO:

- UPDATE ZONING REFERENCES THROUGHOUT THE DOCUMENT TO REFLECT ADOPTION OF THE MUNICIPAL CODE TITLE 10.
- AMEND THE PROVISIONS OF THE PRIOR PLANS RELATIVE TO FILING 5 TO ACCOMMODATE THE MIXED-USE CORE PROPOSED FOR FILING 5.

II. SINGLE FAMILY RESIDENTIAL (FILINGS 1-4)

ERIE VILLAGE IS DESIGNED IN DENSITY RINGS PUTTING THE SMALLER LOTS AND THE HIGHEST DENSITY NEAR FILING 5 (CORE). FILINGS FURTHER FROM THE CORE HAVE LARGER LOTS AND LOWER CARRIAGE HOUSE DENSITY.

LOT SETBACK MINIMUMS

FRONT SETBACK:	FILING 1: FILING 2-4: (EXCLUDING SIDEWALK)	20' 16'
SIDE SETBACK:	5'	
SIDE SETBACK ADJOINING STREET ON CORNER LOT	FILING 1: FILINGS 2-4:	10' 16'
REAR SETBACK:	(EXCEPT ON DOUBLE FRONTAGE LOTS)	8' 16'
HEIGHT LIMIT:	FILINGS 1-4	35'
LOT COVERAGE	35% FOR SINGLE FAMILY	

ACCESSORY DWELLING UNITS OR USES IN SINGLE FAMILY AREAS

THIRTY-NINE PERCENT OF ERIE VILLAGE LOTS PERMIT ACCESSORY DWELLING UNITS AND ACCESSORY USES BY RIGHT. (CALLED CARRIAGE HOUSES IN EARLIER DOCUMENTATION.) CARRIAGE HOUSES ARE NOW CLASSIFIED AS ACCESSORY DWELLING UNITS TO CONFORM WITH THE GENERAL REQUIREMENTS IN THE MUNICIPAL CODE. USES MAY INCLUDE HOME OCCUPATION, STUDIO OR RESIDENTIAL USE. ACCESSORY DWELLING UNITS MAY BE LEASED TO HOME-OWNERS FOR RESIDENTIAL USES.

THE SPECIFIC LOTS PERMITTING ACCESSORY DWELLING UNITS BY RIGHT ARE LISTED ON THE ATTACHED "ACCESSORY APARTMENT SCHEDULE, EXHIBIT A". ACCESSORY DWELLING UNITS WILL NOT BE PERMITTED BY RIGHT OR SPECIAL REVIEW ON LOTS NOT LISTED ON EXHIBIT "A". ACCESSORY DWELLING UNITS WILL CONFORM TO THE ERIE BUILDING CODE AND GENERAL REQUIREMENTS IN THE MUNICIPAL CODE.

MINIMUM ARCHITECTURAL STANDARDS: SINGLE FAMILY RESIDENTIAL

THE FOLLOWING REFLECT THE MINIMUM ACCEPTABLE STANDARD FOR HOUSES IN ERIE VILLAGE. THE ERIE VILLAGE HOMEOWNER ASSOCIATION ARCHITECTURAL REVIEW COMMITTEE (EVHAARC) WORKS FROM MORE DETAILED GUIDELINES BASED ON THESE STANDARDS. VARIATION FROM THESE STANDARDS REQUIRES APPROVED BY EVHAARC AND THE ERIE PLANNING COMMISSION.

DESIGN AND BUILDING FEATURES

- PLANS WILL BE SUBMITTED TO EVHAARC FOR APPROVAL PRIOR TO CONSTRUCTION.
- SUBSTANTIALLY IDENTICAL HOME DESIGNS (INCLUDING MIRRORED PLANS) MUST BE A MINIMUM OF 400 FEET A PART IN ANY DIRECTION AND HAVE DIFFERENT ELEVATIONS AND DETAILING
- ALL HOUSES WILL HAVE COVERED FRONT PORCHES OF AT LEAST 6 FEET IN DEPTH AND 8 FEET IN WIDTH. PORCHES MAY NOT BE TWO STORIES IN HEIGHT AND THE FLOOR MUST BE A MINIMUM OF EIGHTEEN INCHES ABOVE THE ADJACENT FINISHED GRADE AND IN NO CASE LESS THAN 18" ABOVE THE ENFRONTING CURB HEIGHT.
- ROOFS SHALL BE SYMMETRICAL HIPPED, GAMBREL, OR GABLED (INCLUDING CLIPPED) WITH A PITCH OF NO LESS THAN 6:12 FOR A TWO-STORY RESIDENCE OR 8:12 FOR A SINGLE STORY. FOR "SKIRTED" OR "FLARED" THE MINIMUM PITCH IS 3:12. FLAT ROOFS MAY BE USED ONLY IF THEY ARE OCCUPIABLE AND ACCESSIBLE FROM AN INTERIOR ROOM.
- GARAGES OPENING TO THE FRONT OF THE LOT MUST BE SET BACK A MINIMUM OF 20 FEET FROM THE FRONT OF THE PRINCIPAL BUILDING. IF ENTERED FROM THE SIDE, THE GARAGE FRONT ELEVATION MAY NOT BE FORWARD OF THE HOUSE FRONT AND MUST HAVE APPROPRIATE WINDOW OR OTHER TREATMENT COMPATIBLE WITH THE HOUSE. OPENINGS FOR GARAGE DOORS MAY BE NO WIDER THAN 9 FEET NOR MORE THAN 8 FEET HIGH.
- EAVE DEPTH MUST BE 18" MINIMUM FOR THE PRINCIPAL BUILDING (AND ACCESSORY APARTMENT IF APPLICABLE) AND 12" FOR GABLE OVERHANGS. EAVES MUST BE CLOSED WITH SOFFITS.

MATERIALS

- EXTERIOR WALLS MAY BE OF WOOD SHINGLES, WOOD OR HARDBOARD CLAPBOARD WITH NO MORE THAN 5.5" EXPOSED TO THE WEATHER, BOARD AND BATTEN, BRICK, NATURAL OR ARCHITECTURAL STONE, OR STUCCO.
- WINDOWS OR DOOR FRAMES WILL BE SOLID WOOD OR QUALITY VINYL.

ACCESSORY DWELLING UNITS AND ACCESSORY BUILDINGS

- MATERIALS AND DESIGN SHALL CONFORM TO THE PRINCIPAL RESIDENCE IN STYLE, MATERIAL AND COLOR TREATMENT.

III. MIXED USE CORE AREA (FILING 5)

THE CORE AREA IS INTENDED TO FACILITATE MIXED COMMERCIAL, OFFICE AND RESIDENTIAL USES AS DEPICTED ON THE CONCEPT PLAN INCLUDED HEREIN ON SHEET 4.

CONCEPT PLAN

THE CONCEPT PLAN SHOWS THE GENERAL CONFIGURATION AND MIX OF USES INTENDED AND PERMITTED BY THIS PD. THE CONCEPT PLAN IS ILLUSTRATIVE AND DOES NOT REPRESENT AN APPROVED PLAN. DEVIATION REQUESTED OR REQUIRED BY THE TOWN FOR SITE PLAN APPROVAL IS PERMISSIBLE UNDER THIS PD ZONING AND SUCH A DEVIATION SHALL NOT BE CONSTRUED TO REQUIRE FURTHER PD AMENDMENT. DEVELOPMENT OF THE PROPERTY SHALL BE SUBJECT TO THE TOWN CODES AND REGULATIONS IN PLACE AT THE TIME A DEVELOPMENT APPLICATION IS MADE TO THE TOWN.

PERMITTED USES

SINGLE-FAMILY DETACHED AND TOWNHOME RESIDENTIAL USES ALONG WITH COMMUNITY COMMERCIAL USES CONSISTENT WITH THE UDC ARE ALLOWED. THE FOLLOWING USES ARE PROHIBITED:

1. TRANSIT CENTER
2. COLLEGE OR UNIVERSITY
3. PUBLIC OR PRIVATE SCHOOL
4. HOSPITAL
5. LABORATORY
6. SUBSTANCE ABUSE TREATMENT FACILITY
7. ATHLETIC FIELDS & COURTS

RESIDENTIAL DENSITY

THE MAXIMUM GROSS DENSITY IS 5.5 DU/AC. THE MAXIMUM NUMBER OF UNITS SHALL BE 76 UNITS.

SINGLE FAMILY RESIDENTIAL DEVELOPMENT & DESIGN STANDARDS

THE PROVISIONS OF THIS PLANNED DEVELOPMENT SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF THE ERIE VILLAGE FILING NO.5 CORE AREA. WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE TOWN OF ERIE MUNICIPAL CODE, AS AMENDED, OR ANY OTHER APPLICABLE ORDINANCE OR REGULATION OF THE TOWN OF ERIE, SHALL BE APPLICABLE.

LOT SETBACK MINIMUMS

FRONT SETBACK:	16'
SIDE SETBACK:	5'
SIDE SETBACK ADJOINING STREET	16'
REAR SETBACK:	8'
HEIGHT LIMIT:	35'

NOTES:

1. ENCROACHMENTS ARE ALLOWED IN THE FRONT, SIDE AND REAR SETBACKS OF UP TO TWO (2') FEET FOR ABOVE-GRADE FEATURES INCLUDING EAVES AND OVERHANGS.
2. ENCROACHMENTS ARE ALLOWED IN SIDE AND REAR SETBACKS OF UP TO THREE (3') FEET FOR BELOW GRADE WINDOW WELLS.
3. ENCROACHMENTS ARE ALLOWED IN FRONT SETBACKS OF UP TO SIX (6') FEET FOR COVERED FRONT PORCHES.
4. ENCROACHMENTS ARE ALLOWED IN REAR SETBACKS OF UP TO SIX (6') FEET FOR COVERED PORCHES OR DECKS.

TOWNHOME RESIDENTIAL DEVELOPMENT STANDARDS

THE PROVISIONS OF THIS PLANNED DEVELOPMENT SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF THE ERIE VILLAGE FILING NO.5 CORE AREA. WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE TOWN OF ERIE MUNICIPAL CODE, AS AMENDED, OR ANY OTHER APPLICABLE ORDINANCE OR REGULATION OF THE TOWN OF ERIE, SHALL BE APPLICABLE. WITH THE FOLLOWING EXCEPTIONS.

LOT SETBACK & BUILDING SEPARATION MINIMUMS:

FRONT SETBACK:	12'
SIDE BUILDING 5'REAR SETBACK:	6'
SIDE SETBACK ADJOINING STREET	10'
MINIMUM LOT AREA	1,800SF

NOTES:

1. ENCROACHMENTS ARE ALLOWED IN THE FRONT, SIDE AND REAR SETBACKS OF UP TO TWO (2') FEET FOR ABOVE-GRADE FEATURES INCLUDING EAVES AND OVERHANGS.
2. ENCROACHMENTS ARE ALLOWED IN SIDE AND REAR SETBACKS OF UP TO THREE (3') FEET FOR BELOW GRADE WINDOW WELLS.
3. ENCROACHMENTS ARE ALLOWED IN FRONT SETBACKS OF UP TO SIX (6') FEET FOR ENTRY STAIRS AND LANDING.

GENERAL

WALKWAYS

ALL WALKWAYS SHALL MEET TOWN OF ERIE STANDARDS. HOWEVER, SIDEWALKS INTERNAL TO FILING 5 ON PRIVATE STREETS MUST BE MAINTAINED BY THE BIXLER PLACE AT ERIE VILLAGE OWNERS ASSOCIATION (BPEVOA). SIDEWALKS MUST BE LOCATED WITHIN THE RIGHT OF WAY ON PUBLIC STREETS.

IV. AGRICULTURAL AREA AND USES

AREAS DESIGNATED "AGRICULTURAL" IN FILING 2, WILL CONTINUE TO BE FARMED, AS WELL AS ALL OTHER AREAS UNTIL THEY ARE DEVELOPED. REQUESTS FOR STRUCTURES AND PARKING WILL BE SUBMITTED FOR REVIEW AND APPROVAL AS THE NEED DEVELOPS TO SUPPORT AGRICULTURAL SALES, OR RECREATION, AND RECREATIONAL PARKING.

SETBACKS, SIZES AND HEIGHTS FOLLOW STANDARDS IN THE RESOURCE PRESERVATION CATEGORY IN THE MUNICIPAL CODE. MINIMUM ARCHITECTURAL STANDARDS ENUMERATED ABOVE DO NOT APPLY TO AGRICULTURAL OR RECREATION BUILDINGS WHICH MAY BE LOCATED IN THE AGRICULTURAL PARCELS PLATTED IN FILING 2.

UNDEVELOPED LAND IN ALL FILINGS IN ERIE VILLAGE WILL CONTINUE TO BE FARMED UNTIL IMPROVED.

V. MULTI-FAMILY RESIDENTIAL (FILING 1)

THE MULTI-FAMILY PARCEL IS VESTED FOR A TOTAL OF 98 DWELLING UNITS. THE PARCEL SIZE IS 7.248 ACRES PLUS 1.821 ACRES OF OPEN SPACE PREVIOUSLY DEDICATED TO THE TOWN OF ERIE. CALCULATED ON THE LARGER SITE, DENSITY IS 9.25 UNITS PER ACRE; CALCULATED ON THE SMALLER SITE, DENSITY IS 13.25 UNITS PER ACRE. THE SITE MAY BE DEVELOPED AT THIS DENSITY UNDER THE EXISTING TOWN OF ERIE MULTI-FAMILY DEVELOPMENT AND ZONING CODE.

MULTIFAMILY BULK AND DENSITY STANDARDS:

LOT SETBACK/BUILDING SEPARATION MINIMUMS:

FRONT SETBACK:	16'
SIDE TO SIDE BUILDING SEPARATION:	8'
REAR SETBACK (WEST PROPERTY LINE) - DWELLING UNIT:	15'
REAR SETBACK (WEST PROPERTY LINE) - OPTIONAL GARAGE:	9'
REAR SETBACK (NORTH PROPERTY LINE) - DWELLING UNIT:	25'
REAR SETBACK (NORTH PROPERTY LINE) - OPTIONAL GARAGE:	19'
REAR SETBACK (SOUTH PROPERTY LINE):	15'
REAR TO SIDE SETBACK:	30'
CW BIXLER SETBACK:	20'
SIDE SETBACK ADJOINING STREET:	16'
HEIGHT LIMIT:	35'
MAXIMUM BUILDING COVERAGE:	35%

VI. GENERAL

MEDIANS AND ISLANDS

ERIE VILLAGE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR LANDSCAPING, WATERING AND MAINTENANCE AND OF MEDIAN STRIPS, COMMON AREAS AND CUL DE SAC ISLANDS. ALTHOUGH IT IS NOT THE INTENT OF THE TOWN TO TAKE OVER MAINTENANCE OF THOSE AREAS, THE TOWN SHALL HAVE THE RIGHT TO DO SO.

SIDEWALKS

IN FILING 1, SIDEWALK WIDTH AND LOCATION RELATE TO PROJECTED USAGE WITH SIDEWALKS ON BOTH SIDES OF MAJOR THOROUGHFARES. ONE SIDE OF LOWER TRAFFIC STREETS AND EXCLUDED IN CUL DE SACS. IN SUBSEQUENT FILINGS, SIDEWALKS WILL BE LOCATED ON BOTH SIDES OF THE STREET EXCEPT THAT CUL DE SACS MAY HAVE ATTACHED SIDEWALKS.

FLOODPLAIN STANDARDS

LOTS ADJACENT TO COAL CREEK INCLUDE LAND WHICH IS IN THE 100-YEAR FLOOD PLAIN BUT OUTSIDE THE FLOODWAY. THE FLOOD PLAIN IS CLEARLY IDENTIFIED ON THE FINAL PLAT. TITLE INSURANCE OR OTHER WRITTEN NOTIFICATION WILL INFORM PURCHASERS OF SUCH LOTS THAT NO BUILDINGS ARE PERMITTED WITHIN THE 100-YEAR FLOODPLAIN. [NOTE THAT FEMA PERMITS BUILDINGS ON SUCH LOTS WITHOUT FLOOD INSURANCE AS LONG AS THE BUILDING IS OUT OF THE FLOODPLAIN.

LANDSCAPING

A LANDSCAPE PLAN FOR ALL PUBLIC AREAS WILL BE SUBMITTED IN COMPLIANCE WITH TOWN REGULATIONS AND STANDARDS FOR TOWN STAFF REVIEW AND APPROVAL.

OPEN SPACE STANDARDS AND RESTRICTIONS

ONLY FENCES FOLLOWING DESIGN CRITERIA, IN APPENDIX E, IN LOCATIONS APPROVED BY TOWN STAFF ARE PERMITTED ON PROPERTY LINES ADJACENT TO PARKS, OPEN SPACE, DRAINAGE AREAS AND PEDESTRIAN TRAIL LOTS. FENCES IN DRAINAGE AREAS OR THE FLOOD PLAIN WILL BE OPEN RAIL TYPE FENCE, APPROXIMATELY 42 INCHES TALL WITH THE BOTTOM RAIL NO LOWER THAN 6 INCHES FROM THE GROUND AND WILL FOLLOW APPROVED BY THE TOWN. PERMANENT CHAIN LINK FENCE IS NOT ALLOWED ERIE VILLAGE. TITLE INSURANCE OR OTHER WRITTEN NOTIFICATION WILL INFORM PURCHASERS OF IMPROVEMENT RESTRICTIONS ON LAND IN PUBLIC SERVICE COMPANY EASEMENTS. IN NO CASE WILL RESIDENCES, GARAGES OR ACCESSORY BUILDINGS BE PERMITTED IN SUCH EASEMENTS.

PARKS AND OPEN SPACE

OPEN SPACE WILL BE KEPT IN A NATURAL STATE WITH NATIVE GRASS COVERAGE. DEVELOPER WILL RESTORE IT WHEREVER DISTURBED BY DEVELOPMENT. PARK IMPROVEMENT PLANS WILL BE SUBMITTED FOR STAFF REVIEW AND APPROVAL. THE RIGHT OF WAY DEDICATED IN THIS AREA AND ADJACENT OUTLOT K AND OUTLOT O WILL BE DEVELOPED AS OPEN SPACE BY THE DEVELOPER AND MAINTAINED BY THE TOWN OF ERIE. THE DEDICATED AREA ALONG COAL CREEK MAY BE DESIGNATED AS OPEN SPACE OR AS NATURE PRESERVE AS THE TOWN PREFERS. ITS TRAILS WILL BE PART OF THE BOULDER CREEK-COAL CREEK TRAIL SYSTEM. TRAILS AND OPEN SPACE IN OUTLOT "B" WILL BE MAINTAINED BY THE TOWN OF ERIE.

THREE TOT LOTS LARGER THAN ONE HALF ACRE SERVE THE 189 RESIDENCES IN FILINGS 2, 3, 4 AND 5. NO TOT LOTS WERE REQUIRED IN FILING 1. THE TOT LOT FOR FILING 2 WILL BE IN OUTLOT "I", FOR FILING 2 AND 3 OUTLOT "M". BEFORE THE 155TH/ SINGLE FAMILY BUILDING PERMIT IS ISSUED, A TOT LOT WILL BE BUILT IN FILING 1, OUTLOT "A".

THE ERIE VILLAGE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF PARKS, TRAILS AND OPEN SPACE WHICH PRIMARILY BENEFIT THE HOMEOWNERS. THE TOWN MAY TAKE OVER MAINTENANCE WHEN AND IF IT CHOOSES.



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PLANNED DEVELOPMENT
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STANDARDS

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2 of 5

ERIE VILLAGE PLANNED DEVELOPMENT - DEVELOPMENT PLAN AMENDMENT NO. 6

LOCATED IN THE EAST 1/2 OF SECTION 12, T1N, R69W OF THE 6TH P.M.
TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
AREA = 149.15 ACRES
PDA-001107-2019

APPENDIX A

Lots Permitting Accessory Dwelling Units by Right

Block	Filing 1 Lot	Filing 2 Lot	Filing 3 Lot	Filing 4 Lot
C	1,3			
1	2,3,6,7,10,11 13,14,16,17			
2	3,4,5,6			
3	12,13			
4		9,15,16,17,22		
5		5,6,8,11,12, 18,19,23,24		
6		5,6,7,8		
7		14,15		
8		4,5,6		
9	2,3		5,11	12,13,14,15 16,18,25,26
10	2,3		7,10,11,12,13	
11	1,2,3,4,5,6			
No Block 12				
13			5,6,7,8,9,10,12 13,14,15,16,17	18,19,21,22,23 24,25,26,28
14			1,2,3	
No Block 15				
16			1,2,4,5,7,8,9,13 14,15,17,18	
TOTAL	Filing 1 28	Filing 2 23	Filing 3 34	Filing 4 17
ALL FILINGS	102 Accessory Dwelling Unit Lots			

APPENDIX B

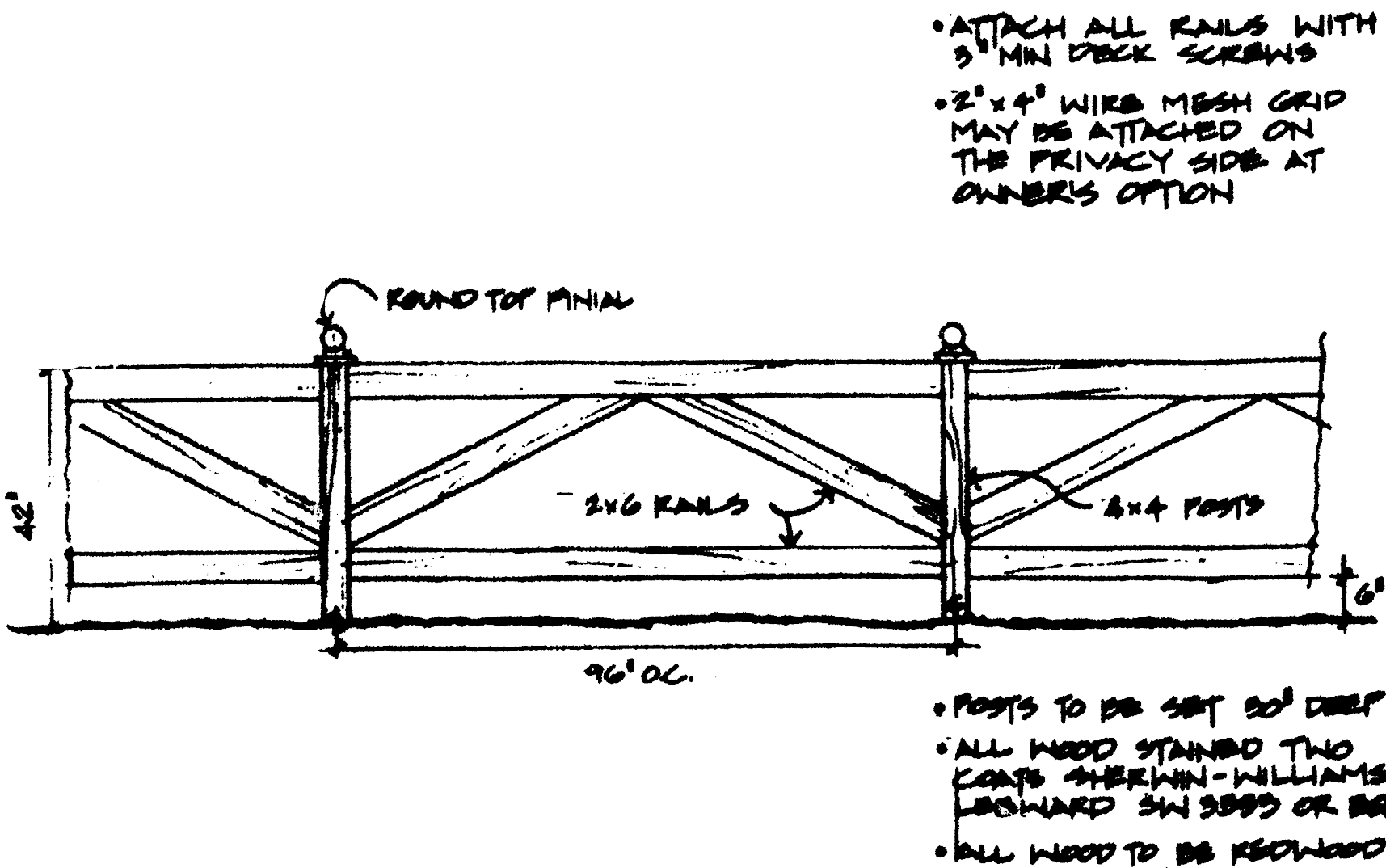
Uses Permitted in Filing 2 Agricultural Parcels (Rural Preservation)

Uses Permitted By Right: Agriculture, Produce Stand, Publicly Owned Facility - Erie

Uses Which May Be Permitted By Special Review: Open Space and Parks, Publicly Owned Facility - Other

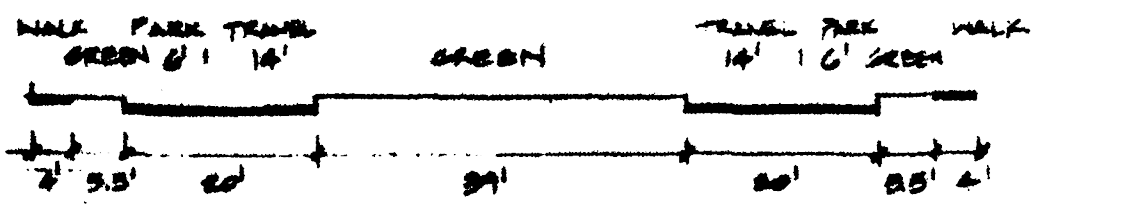
ERIE VILLAGE DEVELOPMENT PLAN - APPENDIX E

Fence Design for Areas in Floodplain or Drainageways

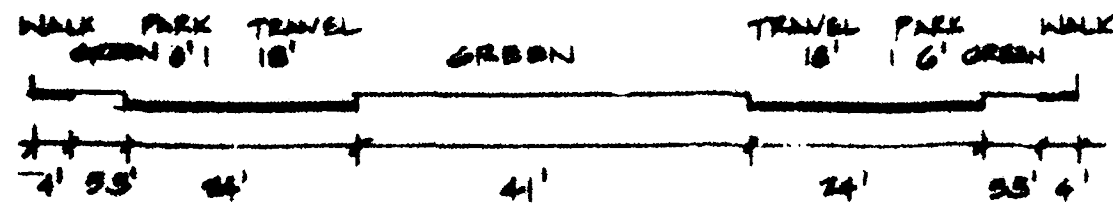


ERIE VILLAGE DEVELOPMENT PLAN - EXHIBIT C

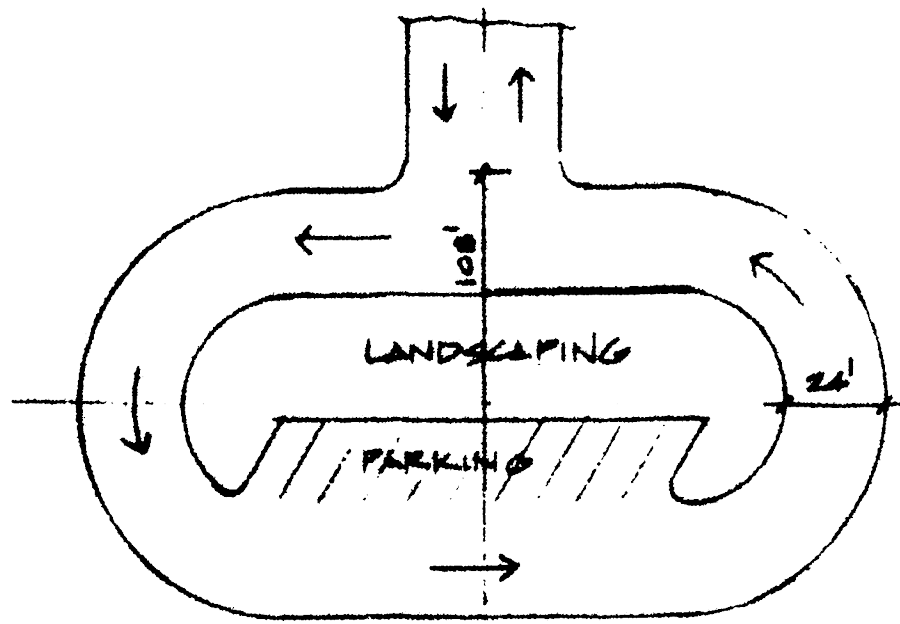
Street Section (Typical)



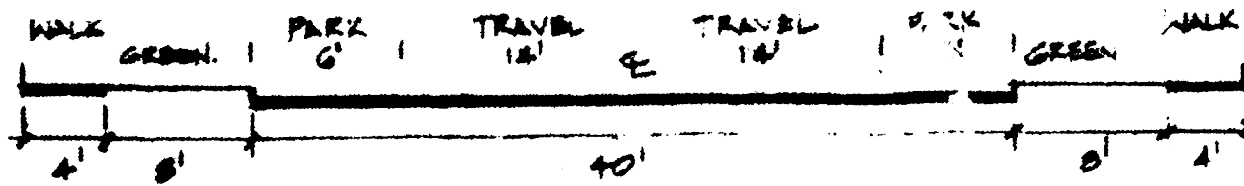
90' R.O.W. - WASHBURN ST. (TRAFFIC CALMING MEDIUM)



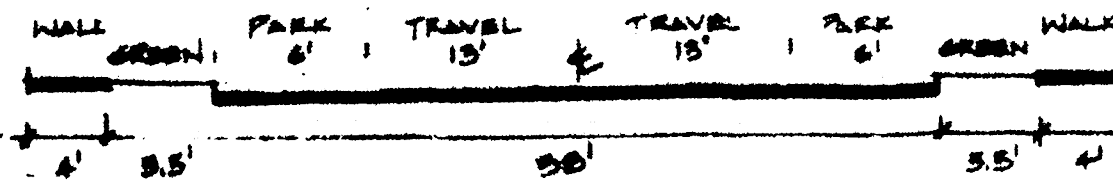
100' R.O.W. - BRENNAN CT; DAVIS CT; FLOWERS CT



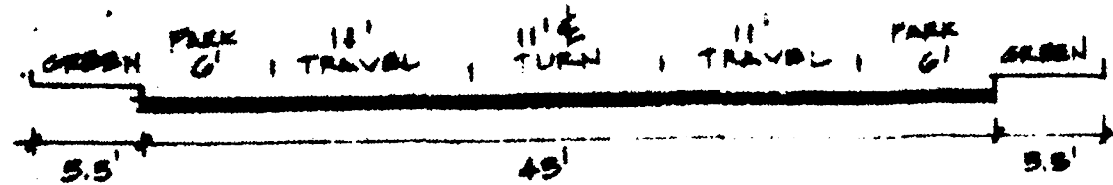
SKETCH PLAN OF ABOVE 100' R.O.W.



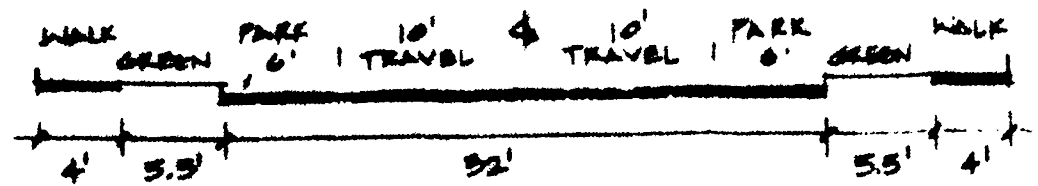
64' R.O.W. - ALLEN AVENUE
(NOTE: CONNECTS TO 54' R.O.W. (KENOSHA FARM & B6 (FILING 1))



57' R.O.W. - NONAHAM LANE



56' R.O.W. - C.W. DIXLER BLVD
(NOTE: CONTINUATION OF FILING 1, SIDEWALK LOCATED OUTSIDE R.O.W.)



51' R.O.W. - ALLEN CT; WASHBURN CT; RICHARDS CT;
PACFIELD OL; OAKLEY LN; GREENING AVE;
CONWAY ST; CONWAY CT; WASHBURN ST.
ALL STREETS WITHIN MULTIFAMILY PARCEL
(NOTE: SAME AS FILING 1, EXCEPT SIDEWALKS
ARE NOW INCLUDED IN R.O.W. FOR FILINGS 2-4)

ERIE VILLAGE PD AMENDMENT NO. 6 ERIE, COLORADO

PROJ. NO. 1069
DRAWN: -
CHECKED: DPA
CADD FILE: .dwg
DATE: 08/24/20
REVISIONS:

PLANNED DEVELOPMENT
SUBMITTAL
SHEET TITLE:
STREET SECTIONS

SCALE: AS NOTED
SHEET NUMBER:

3 of 5

ERIE VILLAGE PLANNED DEVELOPMENT - DEVELOPMENT PLAN AMENDMENT NO. 6

LOCATED IN THE EAST 1/2 OF SECTION 12, T1N, R69W OF THE 6TH P.M.
TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
AREA = 149.15 ACRES
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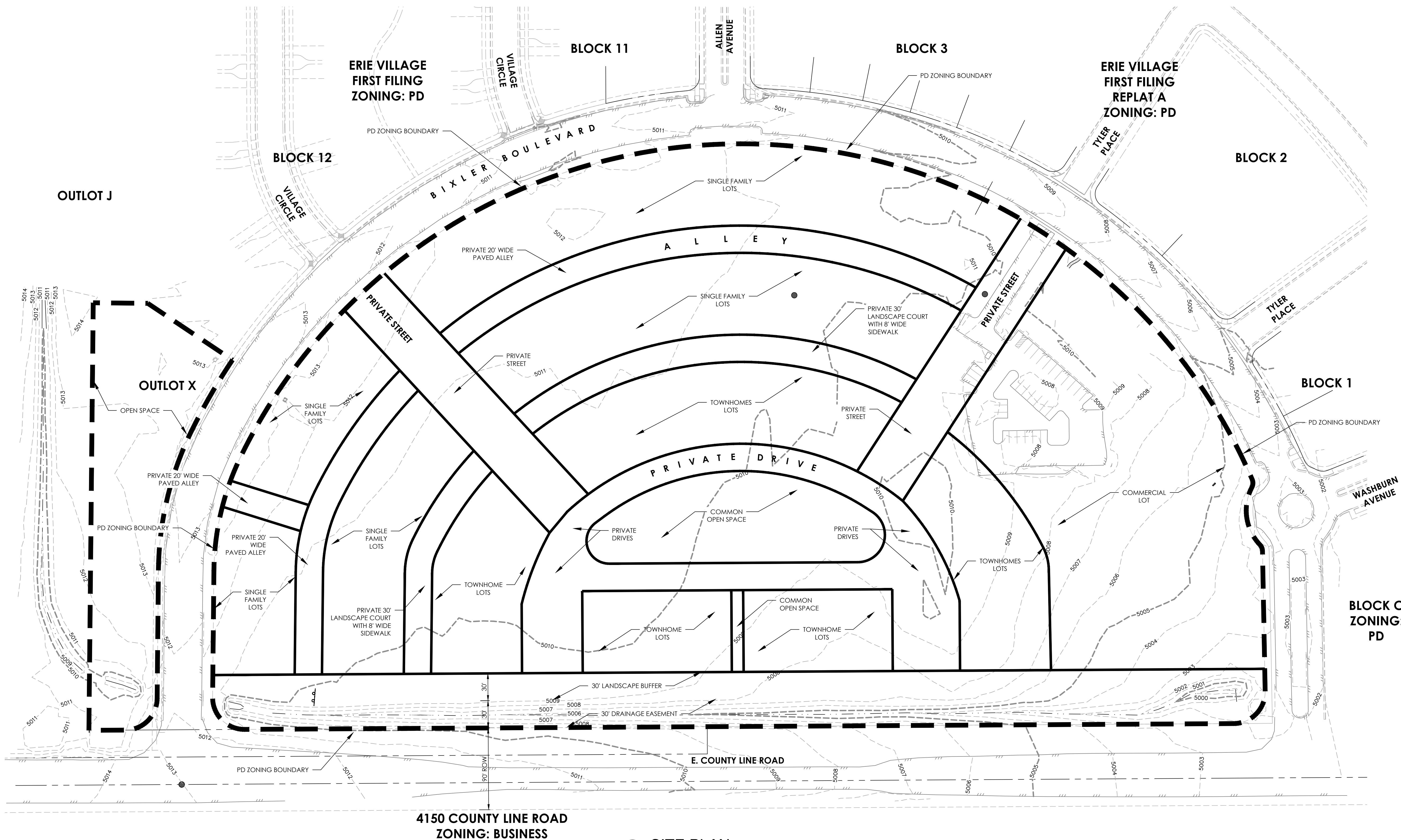
ERIE VILLAGE PD AMENDMENT NO. 6 ERIE, COLORADO

PROJ. NO. 1069
DRAWN: -
CHECKED: DPA
CADD FILE: .dwg
DATE: 08/24/20
REVISIONS:

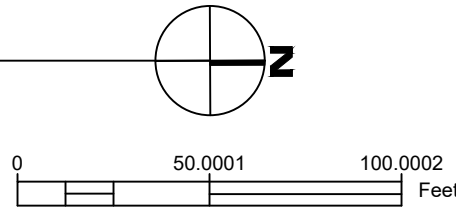
PLANNED DEVELOPMENT
SUBMITTAL
SHEET TITLE:
PD SITE PLAN

SCALE: 1" = 50'
SHEET NUMBER:

4 of 5



1 SITE PLAN
SCALE: 1" = 50'

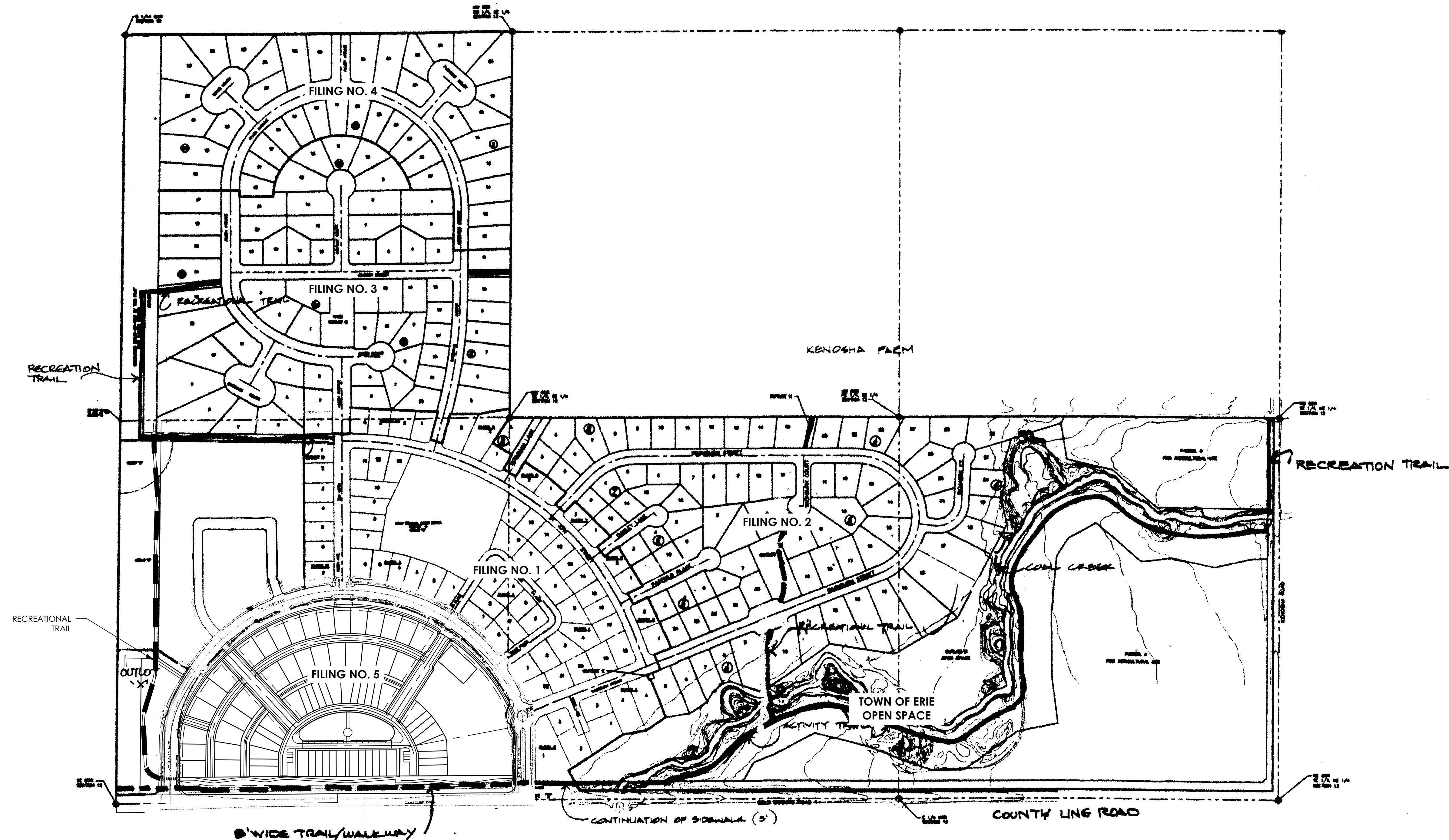


ERIE VILLAGE PLANNED DEVELOPMENT - DEVELOPMENT PLAN AMENDMENT NO. 6

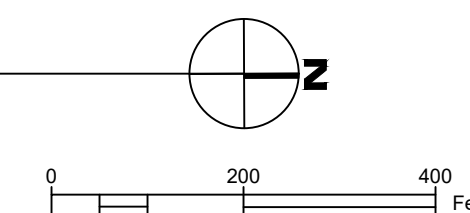
LOCATED IN THE EAST 1/2 OF SECTION 12, T1N, R69W OF THE 6TH P.M.
TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
AREA = 149.15 ACRES
PDA-001107-2019



ERIE VILLAGE
PD AMENDMENT NO. 6
ERIE, COLORADO



1 PD SITE PLAN
SCALE: 1" = 200'



PROJ. NO. 1069
DRAWN: -
CHECKED: DPA
CADD FILE: .dwg
DATE: 08/24/20
REVISIONS:

PLANNED DEVELOPMENT
SUBMITTAL
SHEET TITLE:
OVERALL SITE PLAN

SCALE: 1" = 200'
SHEET NUMBER:

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