

PATH: P:\FSLAND SUNSET\CADD\CIVIL\21-PRELIMINARY PLAT\21T.DWG
PLOTTED BY: Rod Signon PLOT DATE: 5/20/2020 10:21 AM
XREFS: 21TB, 21 VICINITY MAP, 20BASE.

SUNSET
PRELIMINARY PLAT
AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION
TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO
103.83 ACRES - 249 LOTS - 23 TRACTS
PP-000838-2016

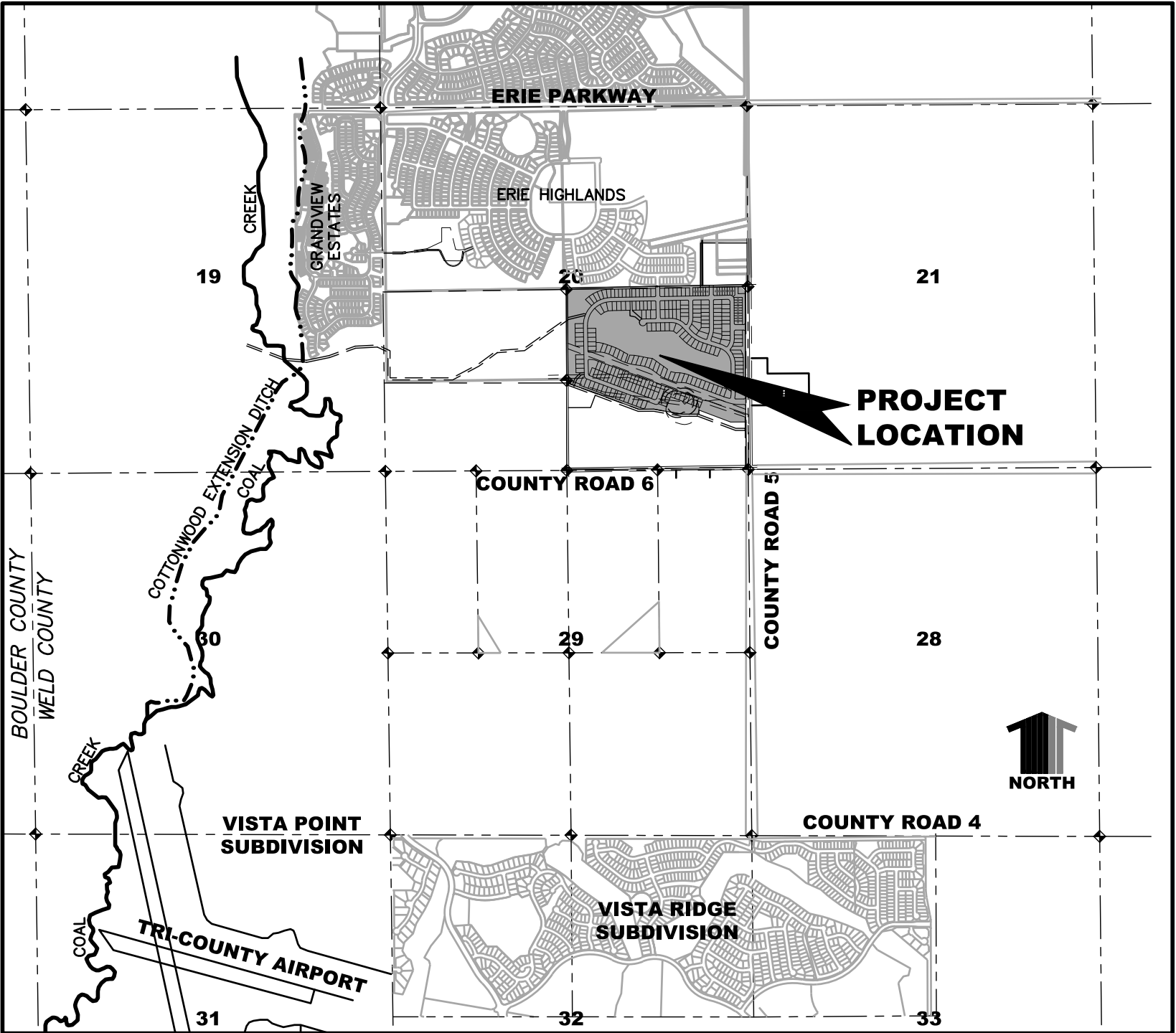
LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO.
A REPLAT OF TRACT A AS DEFINED BY THE SUNSET-MINOR SUBDIVISION PLAT RECEPTION NUMBER 3916652.
CONTAINING 4,522,901 SQUARE FEET OR 103.832 ACRES MORE OR LESS.

LAND SUMMARY CHART			
LAND USES	DWELLING UNITS	AREA/ACRES	% OF TOTAL AREA
HOUSING DIVERSITY:			
DUPLEX	24	2.61	2.51%
5,000 -9,999- SF LOTS	215	37.30	35.92%
10,000-39,999-SF LOTS	10	2.5	2.41%
SUB TOTAL	249	42.41	40.85%
PARK LAND:			
POCKET PARKS (H, R, T)	0.35	4.25	4.09%
NEIGHBORHOOD PARKS	2.13	FEE *	
COMMUNITY PARKS	3.55	BUILDING PERMIT FEE	
COMMON/LANDSCAPE AREA	0.00	5.74	5.53%
SUB TOTAL	6.03	9.99	9.62%
OPEN SPACE:			
CREDITED (TRACTS C, G AND U)	12.06	28.86	27.80%
DRAINAGE (TRACT F)		2.55	2.46%
PUBLIC ACCESS TRACTS		2.98	2.87%
SUB TOTAL	12.06	34.39	31.16%
STREETS:			
LOCAL ROW		17.04	16.41%
SUB TOTAL		17.04	16.41%
TOTAL	249 DU's	103.83	100.00%

*NEIGHBORHOOD PARK LAND AND DEVELOPMENT
CONSTRUCTION COST FEE.

TRACT SUMMARY CHART				
TRACT	AREA (AC.)	USE	OWNERSHIP	MAINTENANCE
TRACT A	1.146	PUBLIC ACCESS ESMT/LANDSCAPE BUFFER/DRAINAGE	METRO DISTRICT	METRO DISTRICT
TRACT B	0.626	PUBLIC ACCESS ESMT/LANDSCAPE BUFFER/DRAINAGE	METRO DISTRICT	METRO DISTRICT
TRACT C	6.238	PUBLIC ACCESS ESMT/SPINE TRAIL/OPEN SPACE/DRAINAGE	METRO DISTRICT	METRO DISTRICT
TRACT D	0.090	PUBLIC ACCESS ESMT/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT E	0.303	PUBLIC ACCESS ESMT/LANDSCAPE BUFFER/TRAIL	METRO DISTRICT	METRO DISTRICT
TRACT F	2.547	DRAINAGE	METRO DISTRICT	METRO DISTRICT
TRACT G	20.577	PUBLIC LAND DEDICATION	METRO DISTRICT	METRO DISTRICT
TRACT H	0.281	POCKET PARK	METRO DISTRICT	METRO DISTRICT
TRACT J	0.168	PUBLIC ACCESS ESMT/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT K	0.053	LANDSCAPE BUFFER	METRO DISTRICT	METRO DISTRICT
TRACT L	1.290	PUBLIC ACCESS ESMT/LANDSCAPE BUFFER	METRO DISTRICT	METRO DISTRICT
TRACT M	0.085	PUBLIC ACCESS ESMT/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT N	0.176	PUBLIC ACCESS ESMT/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT O	0.653	PUBLIC ACCESS ESMT	METRO DISTRICT	METRO DISTRICT
TRACT P	0.741	PUBLIC ACCESS ESMT	METRO DISTRICT	METRO DISTRICT
TRACT Q	0.903	PUBLIC ACCESS ESMT	METRO DISTRICT	METRO DISTRICT
TRACT R	0.439	POCKET PARK	METRO DISTRICT	METRO DISTRICT
TRACT S	0.165	PUBLIC ACCESS ESMT/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT T	3.533	POCKET PARK	METRO DISTRICT	METRO DISTRICT
TRACT U	2.040	PUBLIC ACCESS ESMT/OPEN SPACE	METRO DISTRICT	METRO DISTRICT
TRACT V	1.113	LANDSCAPE BUFFER/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT W	0.985	PUBLIC ACCESS ESMT/LANDSCAPE BUFFER/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT X	0.230	LANDSCAPE BUFFER/UTILITIES	METRO DISTRICT	METRO DISTRICT
TOTAL	44.382			



VICINITY MAP

SCALE: 1"=2000'

BENCHMARK:

BENCHMARK JR 53 5026: USGS BRASS DISK IN TOP OF A SQUARE CONCRETE MONUMENT LOCATED 42 FEET NORTH FROM THE CENTERLINE OF WELD COUNTY ROAD 8, 33 FEET EAST-NORTHEAST FROM THE EAST RAIL, 11 FEET NORTH FROM A FENCE CORNER AND 2.5 FEET SOUTH FROM A WITNESS POST. NAVD 1988 DATUM. ELEVATION=5028.04.

BASIS OF BEARINGS:

BASIS OF BEARINGS IS THE SOUTH INE OF THE SOUTHEAST QUARTER OF SECTION 20, BEING S89°22'52"W, AND MONUMENTED AS SHOWN.

NOTES:

- ALL TRACTS SHALL HAVE PUBLIC ACCESS EASEMENTS.
- AN AVIGATION EASEMENTS COVERS THE ENTIRE PROPERTY PER EASEMENT RECORDED ON 11/26/07, RECEPTION NO. 3519430.
- HOUSING DIVERSITY
HOUSING TYPES
1. SINGLE FAMILY
2. DUPLEX LOTS
HOUSING VARIATION/LOT SIZES
1. 5,000 SF TO 9,999 SF
2. 10,000 SF TO 39,999 SF
3. DUPLEX LOTS 4,440 SF TO 6,292 SF

OWNER/APPLICANT:
FS ERIE ESTATES, LLC.
9754 SUNSET HILL DRIVE
LONE TREE CO 80124
PHONE: (303) 591-1321

KEY CONTACTS:

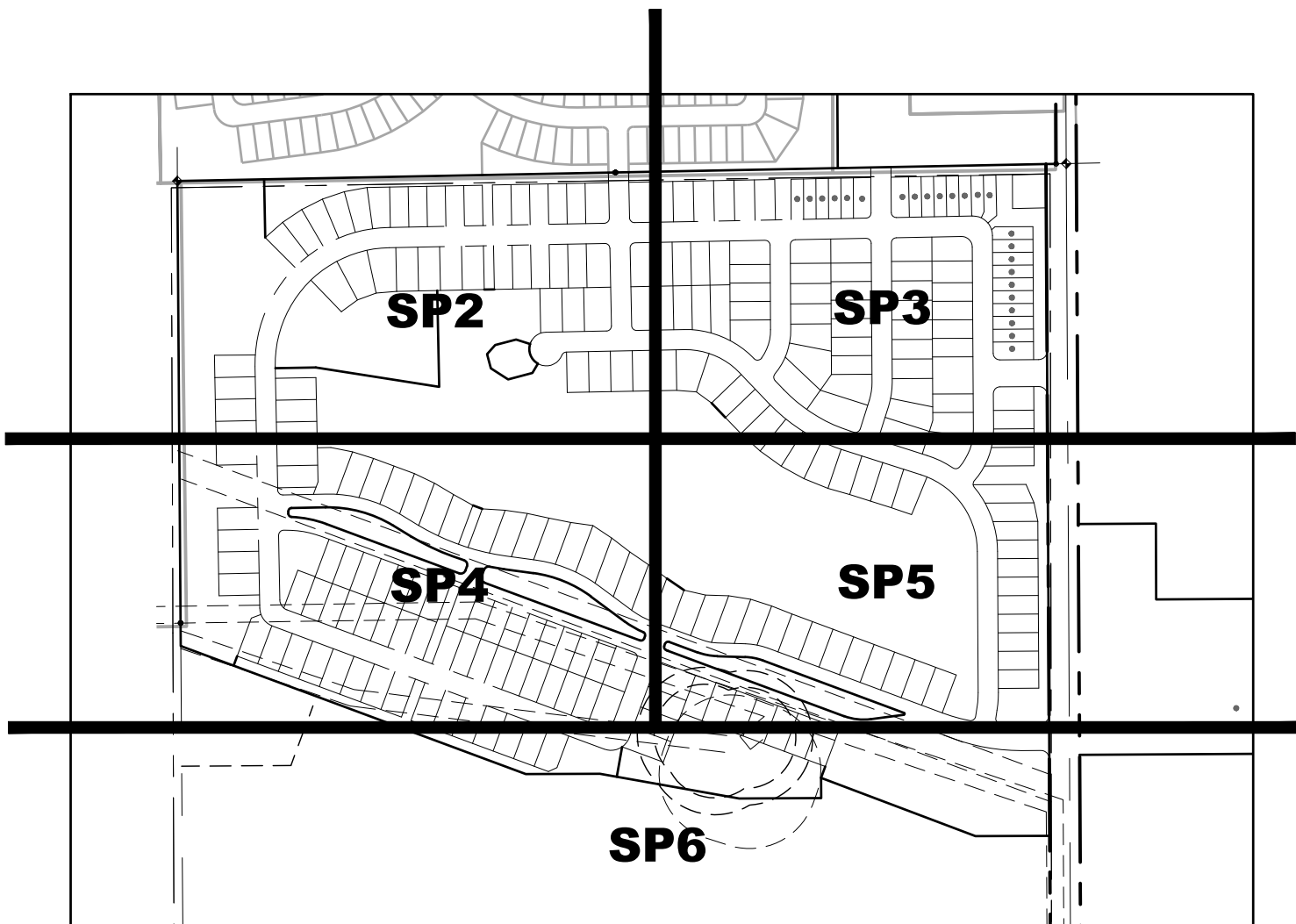
CIVIL ENGINEERING:
CALIBRE ENGINEERING INC.
9090 S. RIDGELINE BLVD., SUITE 105
HIGHLANDS RANCE, CO 80129
PHONE: (303) 730-0434
FAX: (303) 730-1139

PLANNER/LANDSCAPING ARCHITECT
THE HENRY DESIGN GROUP
1501 WAZEE STREET, SUITE 1-C
DENVER, CO. 80202
PHONE: (303) 446-2368
FAX: (303) 446-0958

SHEET INDEX

T1	1	TITLE SHEET
SP1	2	SITE PLAN/PHASING
SP2-SP7	3-8	SITE PLAN
TY1	9	TYPICAL SECTIONS
EC1	10	EXISTING CONDITIONS
GR1-GR3	11-13	GRADING PLANS
OU1	14	OFF-SITE UTILITY PLAN
OU2-OU3	15-16	OVERALL UTILITY PLAN

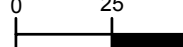
16 TOTAL SHEETS



KEYMAP

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DATE		REVISION DESCRIPTION

Drawing Name	21T.dwg
Job Number	FSLAND SUNSET
Prepared For	FS ERIE ESTATES, LLC

 1 inch = 50 ft. Horizontal		
Designer BKM	Drafter BRR	Checked TAJ

Calibre Engineering, Inc.
9090 South Ridgeline Boulevard, Suite 105
Highlands Ranch, CO 80129 (303) 730-0434
www.calibre-engineering.com
Construction Management Civil Engineering Surveying

SUNSET
PRELIMINARY PLAT
TITLE SHEET

Sheet	1 of 16
Date	MAY 15, 2020

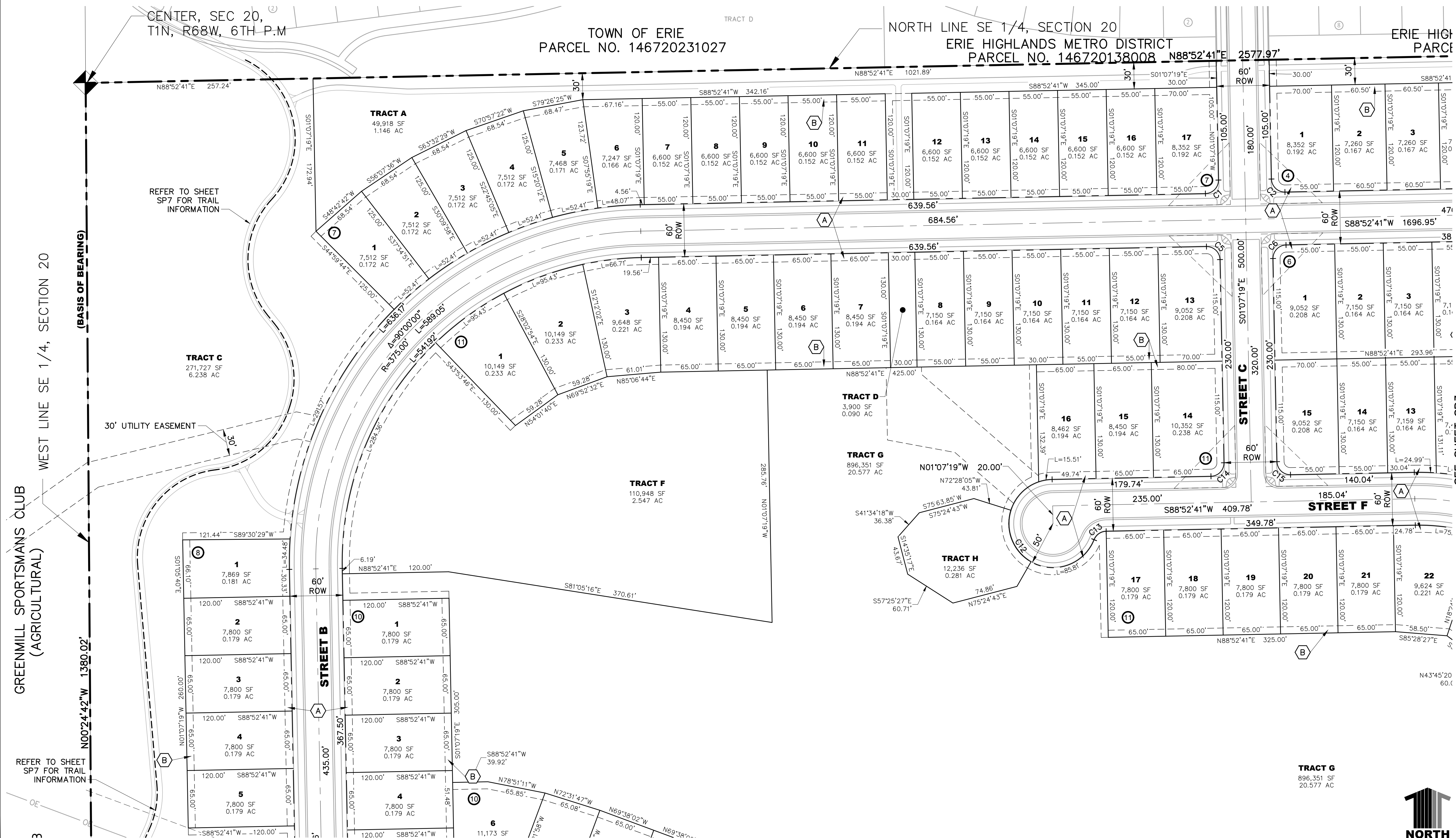


ERIE LAND COMPANY (RP-3)

BLOCK NUMBER	LOT NUMBER	ELEVATION RESTRICT
1	7	5206.10
1	8	5268.80
1	9	5268.40
1	10	5270.10
1	11	5272.70
1	12	5274.40
1	13	5278.10
1	14	5277.80
1	15	5270.80

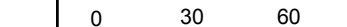
B 8' UTILITY EASEMENT ADJACENT TO ALL
REAR PROPERTY LINES

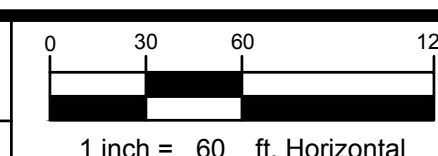
CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA
C1	23.56'	15.00'	90°00'00"
C2	23.56'	15.00'	90°00'00"
C3	23.35'	15.00'	89°11'31"
C4	23.77'	15.00'	90°48'29"
C5	23.56'	15.00'	90°00'00"
C6	23.56'	15.00'	90°00'00"
C7	23.77'	15.00'	90°48'29"
C8	23.35'	15.00'	89°11'31"
C9	23.77'	15.00'	90°48'29"
C10	23.35'	15.00'	89°11'31"
C11	17.28'	58.00'	17°04'06"
C12	215.88'	50.00'	247°22'48"
C13	17.64'	15.00'	67°22'48"
C14	23.56'	15.00'	90°00'00"
C15	23.56'	15.00'	90°00'00"
C16	26.49'	15.00'	101°11'32"
C17	21.84'	15.00'	83°24'50"
C18	23.56'	15.00'	90°00'00"
C19	23.56'	15.00'	90°00'00"
C20	21.79'	15.00'	83°13'23"
C21	21.17'	15.00'	80°52'32"
C22	31.42'	20.00'	90°00'00"
C23	39.27'	25.00'	90°00'00"
C24	31.42'	20.00'	90°00'00"
C25	39.27'	25.00'	90°00'00"



SEE SHEET SP4

	6	
	5	
	4	
	3	
	2	
DATE	1	REVISION DESCRIPTION

Drawing Name 21SP1.dwg			
Job Number FSLAND SUNSET		1 inch = 60 ft. Horizontal	
Prepared For FS ERIE ESTATES, LLC		Designer BKM	Drafter BRR
		Checked TAJ	



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SUNSET

PRELIMINARY PLAT

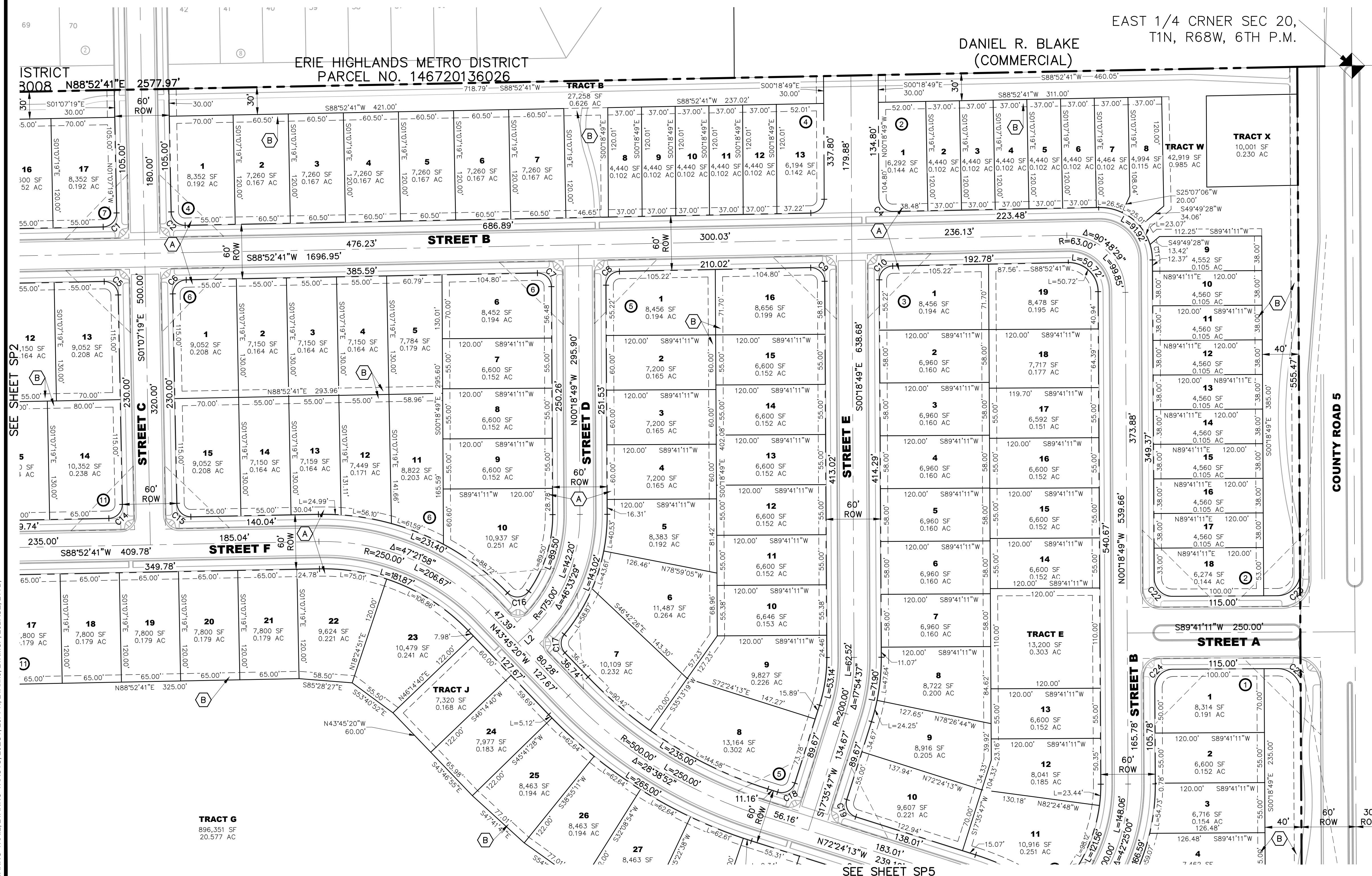
SITE PLAN

Sheet
SP2
Date
MAY 15, 2020

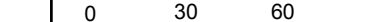
PATH: P:\FSLAND SUNSET\CADD\CIVIL\21-PRELIMINARY PLAT\21SP1.DWG
PLOTTED BY: Rod Sigmon PLOT DATE: 5/20/2020 10:22 AM

B 8' UTILITY EASEMENT ADJACENT TO ALL
REAR PROPERTY LINES

CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA
C1	23.56'	15.00'	90°00'00"
C2	23.56'	15.00'	90°00'00"
C3	23.35'	15.00'	89°11'31"
C4	23.77'	15.00'	90°48'29"
C5	23.56'	15.00'	90°00'00"
C6	23.56'	15.00'	90°00'00"
C7	23.77'	15.00'	90°48'29"
C8	23.35'	15.00'	89°11'31"
C9	23.77'	15.00'	90°48'29"
C10	23.35'	15.00'	89°11'31"
C11	17.28'	58.00'	17°04'06"
C12	215.88'	50.00'	274°22'48"
C13	17.64'	15.00'	67°22'48"
C14	23.56'	15.00'	90°00'00"
C15	23.56'	15.00'	90°00'00"
C16	26.49'	15.00'	101°11'32"
C17	21.84'	15.00'	83°24'50"
C18	23.56'	15.00'	90°00'00"
C19	23.56'	15.00'	90°00'00"
C20	21.79'	15.00'	83°13'23"
C21	21.17'	15.00'	80°52'32"
C22	31.42'	20.00'	90°00'00"
C23	39.27'	25.00'	90°00'00"
C24	31.42'	20.00'	90°00'00"
C25	39.27'	25.00'	90°00'00"



	6	
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DATE	1	REVISION DESCRIPTION

Drawing Name 21SP1.dwg			
Job Number FSLAND SUNSET			
Prepared For FS ERIE ESTATES, LLC	Designer BKM	Drafter BRR	Checked TAJ



SUNSET

PRELIMINARY PLAT

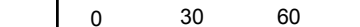
SITE PLAN

 8' UTILITY EASEMENT ADJACENT TO ALL
REAR PROPERTY LINES

Sheet
SP4
 Date
 MAY 15, 2021



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DATE	1	REVISION DESCRIPTION

Drawing Name 21SP1.dwg			
Job Number FSLAND SUNSET			
Prepared For FS ERIE ESTATES, LLC	Designer BMK	Drafter BRR	Checked TAJ

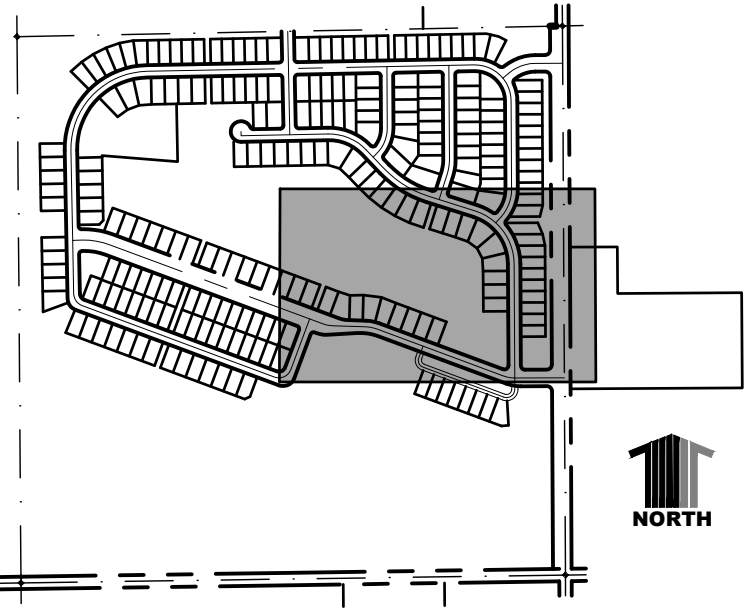
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SUNSET

PRELIMINARY PLAT

SITE PLAN

SUNSET
PRELIMINARY PLAT
AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION
TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO
103.83 ACRES - 249 LOTS - 23 TRACTS
PP-000838-2016



KEYMAP
LEGEND:
A 8' UTILITY EASEMENT ADJACENT TO ALL RIGHT-OF-WAY
B 8' UTILITY EASEMENT ADJACENT TO ALL REAR PROPERTY LINES
NOTES
1. LOTS WITH * HAVE HOUSE HEIGHT RESTRICTIONS AS DEFINED IN TABLE 1.

CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA
C20	21.79'	15.00'	83°13'23"
C21	21.17'	15.00'	80°52'32"
C26	23.56'	15.00'	90°00'00"
C27	23.56'	15.00'	90°00'00"
C28	15.01'	9.50'	90°30'36"
C29	14.26'	9.50'	86°01'42"
C30	69.35'	58.00'	68°30'44"
C31	38.26'	32.00'	68°30'44"
C32	23.51'	14.50'	92°53'41"
C33	22.78'	14.50'	90°00'00"
C34	20.47'	14.50'	80°52'56"
C35	22.78'	14.50'	90°00'00"
C36	50.27'	32.00'	90°00'00"
C37	91.11'	58.00'	90°00'00"
C38	35.10'	58.00'	34°40'41"
C39	23.56'	15.00'	90°00'00"
C40	23.56'	15.00'	90°00'00"
C41	14.92'	9.50'	90°00'00"
C42	14.45'	9.50'	87°09'11"
C43	14.92'	9.50'	90°00'00"
C44	14.92'	9.50'	90°00'00"
C45	60.30'	184.50'	18°43'35"
C46	47.20'	145.00'	18°38'58"
C47	53.87'	165.50'	18°38'58"
C48	74.39'	152.50'	27°56'57"
C49	85.37'	175.00'	27°56'57"
C50	80.73'	165.50'	27°56'57"
C51	7.96'	3.00'	152°03'03"
C52	100.00'	205.00'	27°56'57"
C53	70.73'	145.00'	27°56'57"
C54	24.01'	15.00'	91°43'33"
C55	26.11'	15.00'	99°44'55"
C56	206.63'	572.50'	20°40'47"
C57	39.27'	25.00'	90°00'00"
C58	39.27'	25.00'	90°00'00"

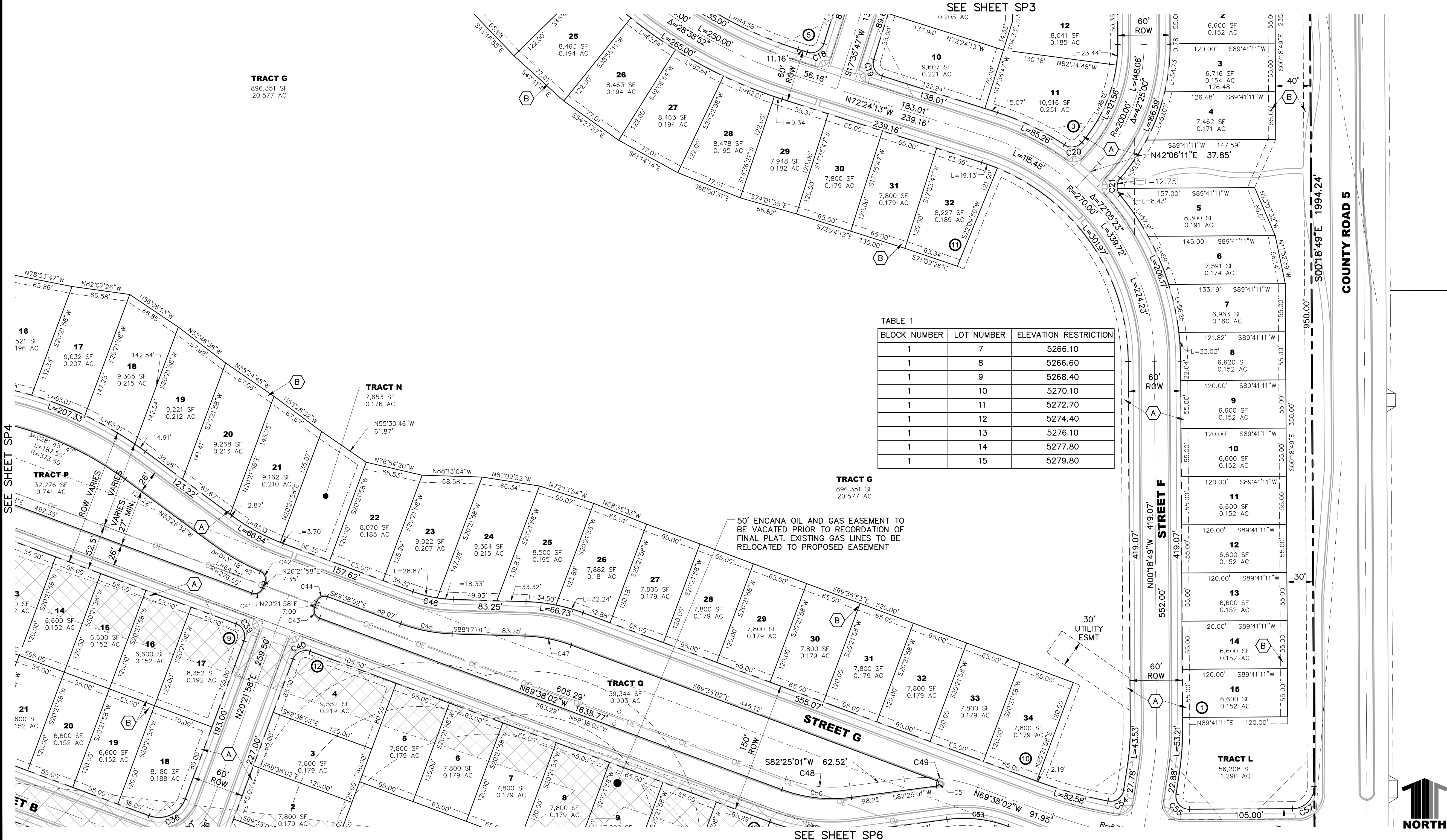


TABLE 1

BLOCK NUMBER	LOT NUMBER	ELEVATION RESTRICTION
1	7	5266.10
1	8	5266.60
1	9	5268.40
1	10	5270.10
1	11	5272.70
1	12	5274.40
1	13	5276.10
1	14	5277.80
1	15	5279.80

PATH: P:\ISLAND SUNSET\CD\121-PRELIMINARY PLAT\121SP1.DWG
PLOT DATE: 5/20/2020 10:23 AM
XREFS: w-Core-PPN 21ANNO-TRAIL 21ANNO-TRAIL 20PPN 21ANNO 21KMSPP 20BASE 21TB.

DATE	REVISION	DESCRIPTION

Drawing Name 21SP1.dwg	0 30 60 120
Job Number FSLAND SUNSET	1 inch = 60 ft. Horizontal
Prepared For FS ERIE ESTATES, LLC	Designer BMK
	Drafter BRR
	Checked TAJ

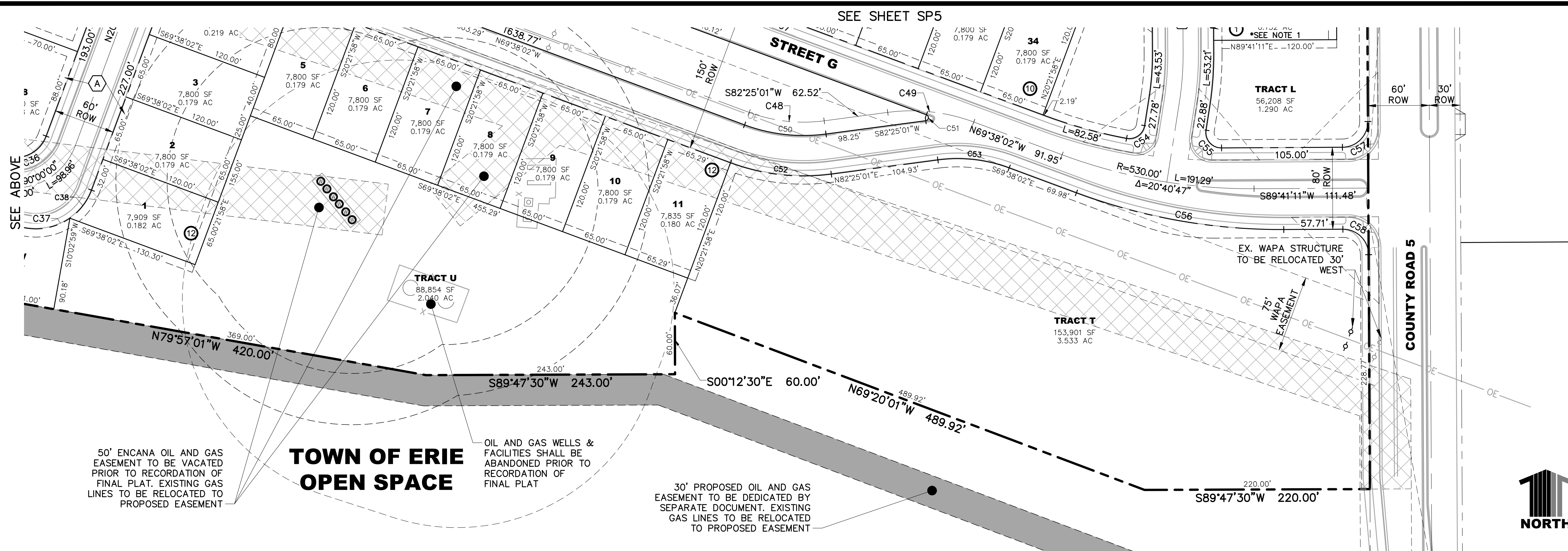
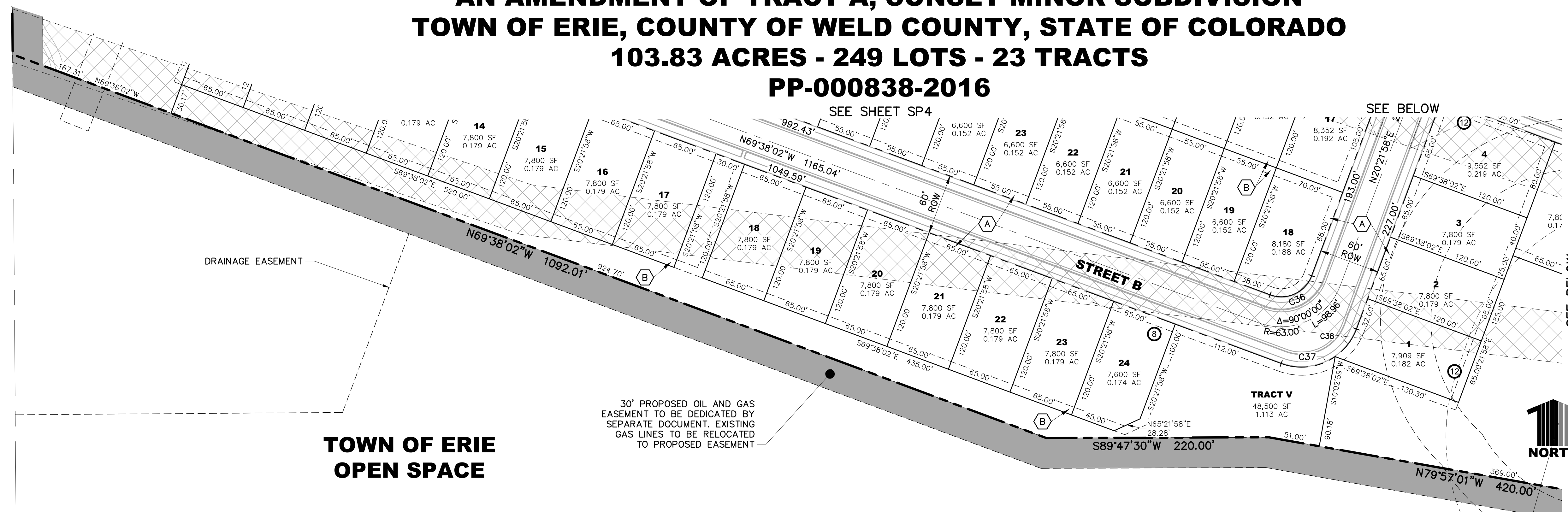
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SUNSET
PRELIMINARY PLAT
SITE PLAN

LEGEND:

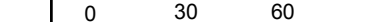
B 8' UTILITY EASEMENT ADJACENT TO ALL
REAR PROPERTY LINES

CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA
C20	21.79'	15.00'	83°13'23"
C21	21.17'	15.00'	80°52'32"
C26	23.56'	15.00'	90°00'00"
C27	23.56'	15.00'	90°00'00"
C28	15.01'	9.50'	90°30'36"
C29	14.26'	9.50'	86°01'42"
C30	69.35'	58.00'	68°30'44"
C31	38.26'	32.00'	68°30'44"
C32	23.51'	14.50'	92°53'41"
C33	22.78'	14.50'	90°00'00"
C34	20.47'	14.50'	80°52'56"
C35	22.78'	14.50'	90°00'00"
C36	50.27'	32.00'	90°00'00"
C37	91.11'	58.00'	90°00'00"
C38	35.10'	58.00'	34°40'41"
C39	23.56'	15.00'	90°00'00"
C40	23.56'	15.00'	90°00'00"
C41	14.92'	9.50'	90°00'00"
C42	14.45'	9.50'	87°09'11"
C43	14.92'	9.50'	90°00'00"
C44	14.92'	9.50'	90°00'00"
C45	60.30'	184.50'	18°43'35"
C46	47.20'	145.00'	18°38'58"
C47	53.87'	165.50'	18°38'58"
C48	74.39'	152.50'	27°56'57"
C49	85.37'	175.00'	27°56'57"
C50	80.73'	165.50'	27°56'57"
C51	7.96'	3.00'	152°03'00"
C52	100.00'	205.00'	27°56'57"
C53	70.73'	145.00'	27°56'57"
C54	24.01'	15.00'	91°43'33"
C55	26.11'	15.00'	99°44'55"
C56	206.63'	572.50'	20°40'47"
C57	39.27'	25.00'	90°00'00"
C58	39.27'	25.00'	90°00'00"



PATH: P:\FSLAND SUNSET\CADD\CIVIL\21-PRELIMINARY PLAT\21SP1.DWG
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DATE	1	REVISION DESCRIPTION

Drawing Name 21SP1.dwg			
Job Number FSLAND SUNSET			
Prepared For FS ERIE ESTATES, LLC		Designer BMK	Drafter BRR
		Checked TAJ	

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SUNSET

PRELIMINARY PLAT

SITE PLAN

Sheet	7
SP6	of
	16
Date	
MAY 15, 2020	

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PRELIMINARY PLAT
AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION
TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO
103.83 ACRES - 249 LOTS - 23 TRACTS
PP-000838-2016

TRAIL GEOMETRY:

LINE TABLE		
TAG	LENGTH	DIRECTION
L1	12.53'	S38°52'17"E
L2	3.52'	S18°07'45"W
L3	1.64'	S82°41'54"W
L4	249.48'	S05°00'18"E
L5	45.10'	S24°06'20"W
L6	63.21'	S10°21'26"E
L7	125.34'	S11°08'00"W
L8	75.59'	S00°47'07"W

CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA
C1	186.37'	100.00'	106°47'04"
C2	142.36'	100.00'	81°33'49"
C3	99.48'	100.00'	57°00'02"
C4	112.69'	100.00'	64°34'09"
C5	153.07'	100.00'	87°42'12"
C6	50.81'	100.00'	29°06'38"
C7	63.16'	105.00'	34°27'46"
C8	75.02'	200.00'	21°29'26"
C9	36.12'	200.00'	10°20'53"

TRACT G GEOMETRY:

LINE TABLE		
TAG	LENGTH	DIRECTION
L20	132.39'	S01°07'19"E
L21	43.81'	S72°28'05"E
L22	63.85'	N75°24'43"E
L23	36.38'	N41°34'18"E
L24	74.86'	S75°24'43"W
L25	32.00'	S29°49'39"W
L26	120.00'	S01°07'19"E
L27	58.50'	S85°28'27"E
L28	55.50'	S53°40'52"E
L29	60.00'	S43°45'20"E
L30	65.98'	S43°46'55"E
L31	77.01'	S47°41'41"E
L32	77.01'	S54°27'57"E
L33	77.01'	S61°14'14"E
L34	77.01'	S68°00'31"E
L35	66.82'	S74°01'55"E
L36	65.00'	S72°24'13"E
L37	65.00'	S72°24'13"E
L38	63.34'	S71°09'26"E
L39	120.99'	N22°09'50"E
L40	74.68'	N68°35'33"W
L41	65.07'	N72°13'54"W
L42	66.34'	N81°09'52"W
L43	68.58'	N88°13'04"W
L44	65.53'	N76°54'20"W
L45	61.87'	N55°30'46"W
L46	67.67'	N53°28'32"W
L47	67.06'	N55°24'45"W
L48	67.92'	N52°46'58"W
L49	66.85'	N56°08'13"W

LINE TABLE		
TAG	LENGTH	DIRECTION
L50	66.58'	N82°07'26"W
L51	65.86'	N78°53'47"W
L52	65.64'	N77°39'20"W
L53	66.50'	N81°50'13"W
L54	67.95'	N86°35'01"W
L55	30.00'	N69°38'02"W
L56	65.83'	N60°32'43"W
L57	66.07'	N59°19'34"W
L58	65.27'	N64°25'49"W
L59	130.00'	N69°38'02"W
L60	65.08'	N72°31'47"W
L61	65.85'	N78°51'11"W
L62	39.92'	N88°52'41"E
L63	78.52'	N01°07'19"W
L64	65.00'	N01°07'19"W
L65	65.00'	N01°07'19"W
L66	120.00'	S88°52'41"W
L67	30.00'	N01°07'19"W
L68	120.00'	N88°52'41"E

TABLE 1			
BLOCK NUMBER	LOT NUMBER	ELEVATION	RESTRICTION
1	7	5268.10	
1	8	5268.60	
1	9	5268.40	
1	10	5270.10	
1	11	5272.70	
1	12	5274.40	
1	13	5276.10	
1	14	5277.80	
1	15	5279.80	



PATH: P:\FSLAND SUNSET\CADD\CIVIL\21-PRELIMINARY PLAT\21SP1.DWG
PLOT DATE: 5/20/2020 10:23 AM
XREFS: w-Core-PPN 21-ANNO-TRAIL 21-ANNO-TRACTS 20EUT 20PPN 21-ANNO 21-KWSP 20BASE 21-TB

DATE	REVISION	DESCRIPTION

Drawing Name	21SP1.dwg
Job Number	FSLAND SUNSET
Prepared For	FS ERIE ESTATES, LLC

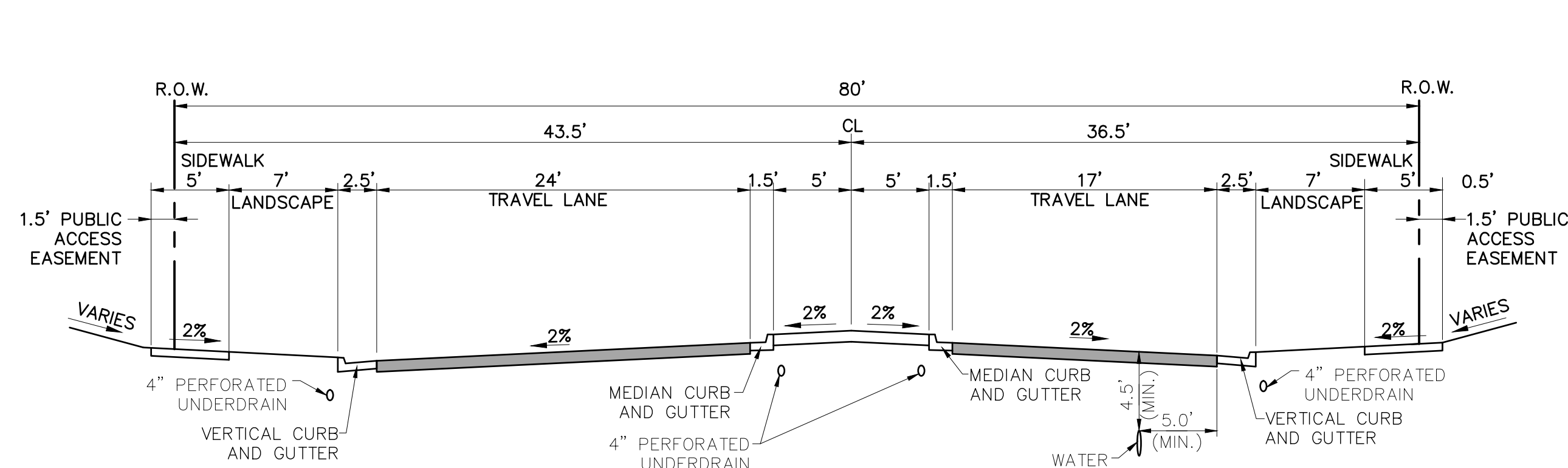
0	60	120	240
1 inch = 120 ft. Horizontal			
Designer	BKM	Drafter	BRR
Checked	TAJ		

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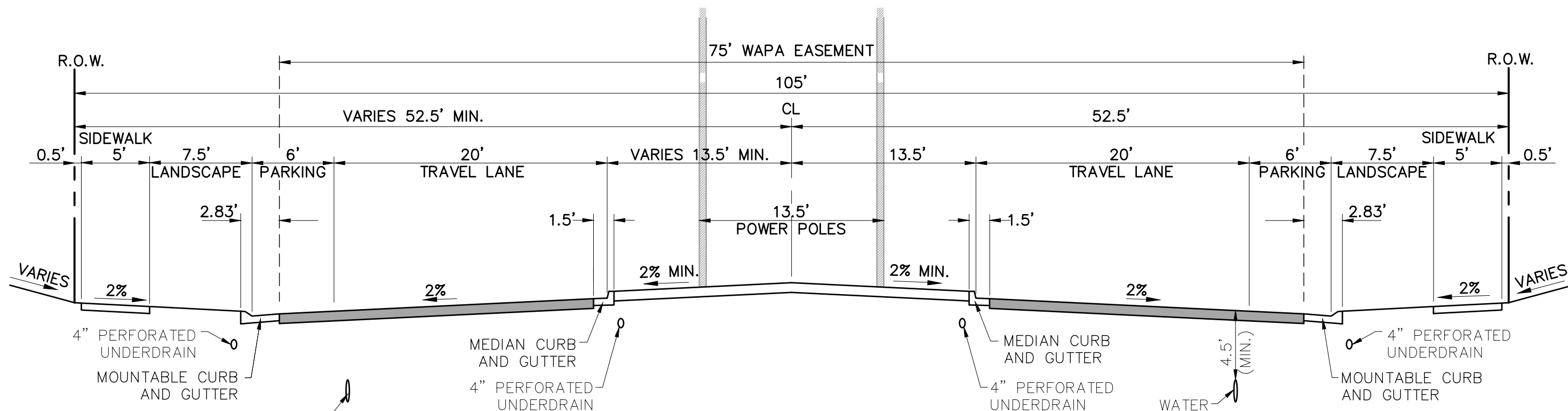
SUNSET
PRELIMINARY PLAT
SITE PLAN - TRACTS B1/F/F1/K/U AND TRAIL

Sheet
SP7
Date
MAY 15, 2020
8 of 16

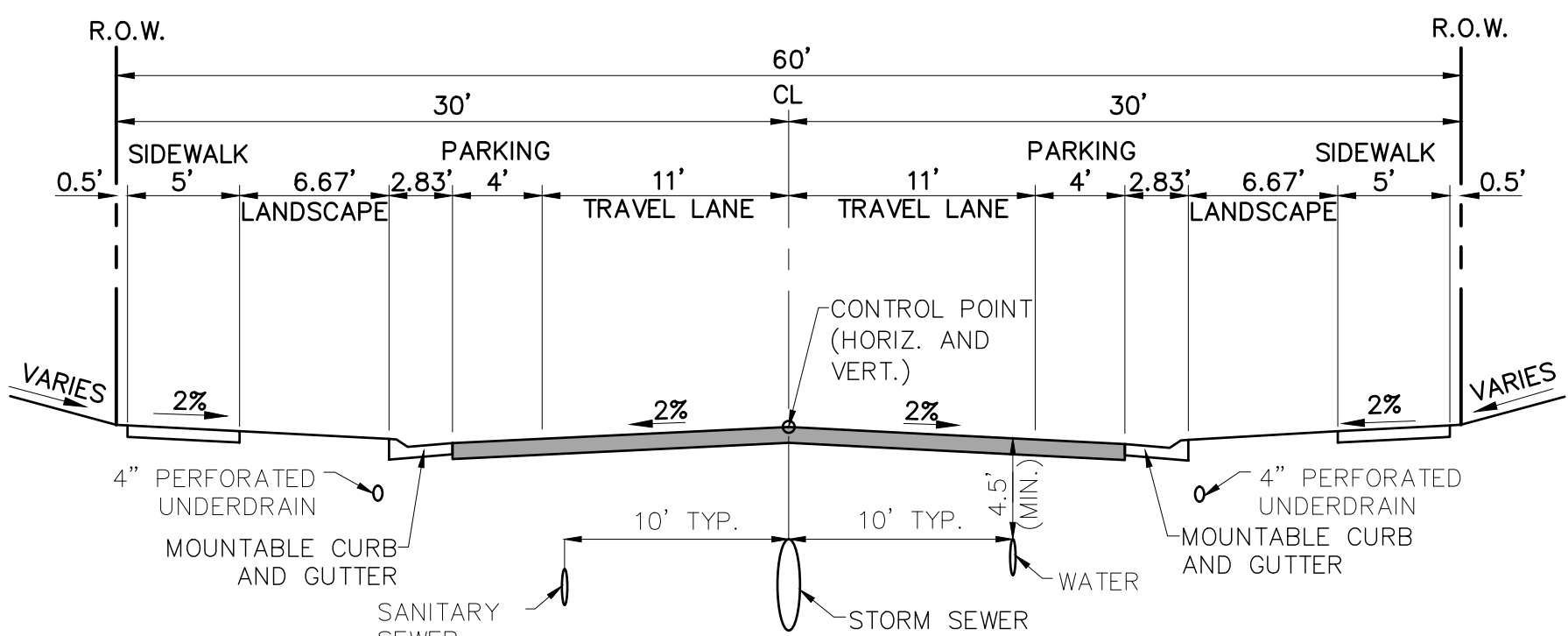
SUNSET
PRELIMINARY PLAT
AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION
TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO
103.83 ACRES - 249 LOTS - 23 TRACTS
PP-000838-2016



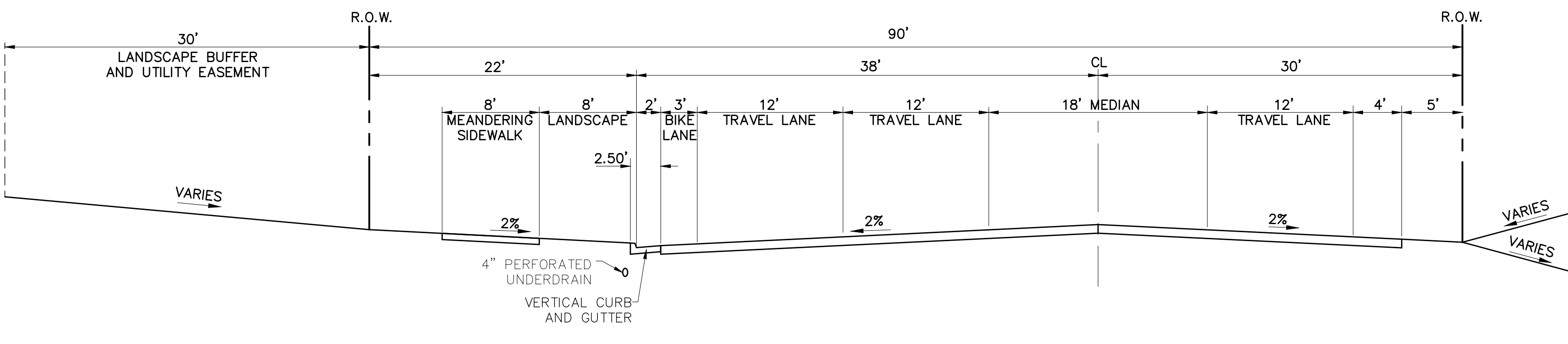
ENTRANCE
MODIFIED LOCAL STREET
N.T.S.



MODIFIED LOCAL STREET
N.T.S.

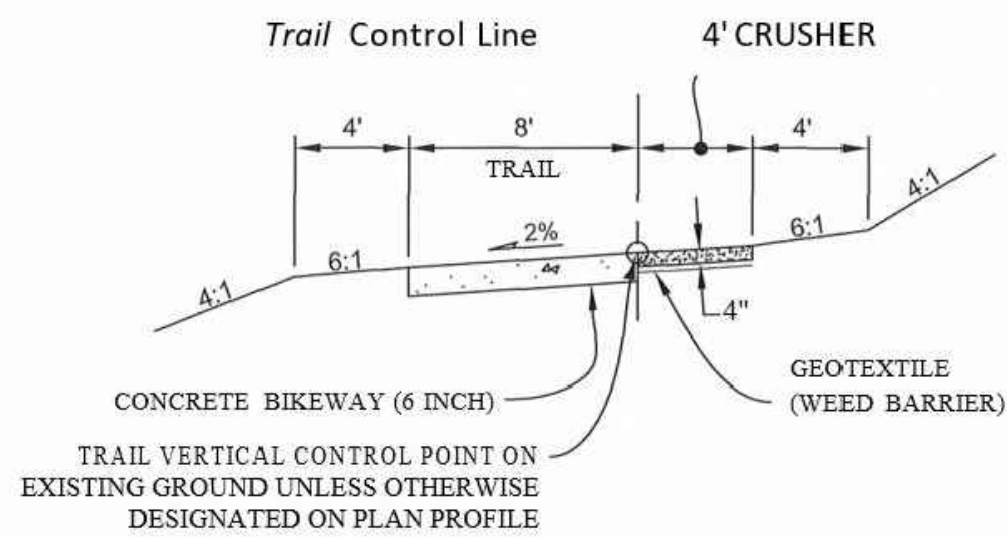


LOCAL STREET
N.T.S.



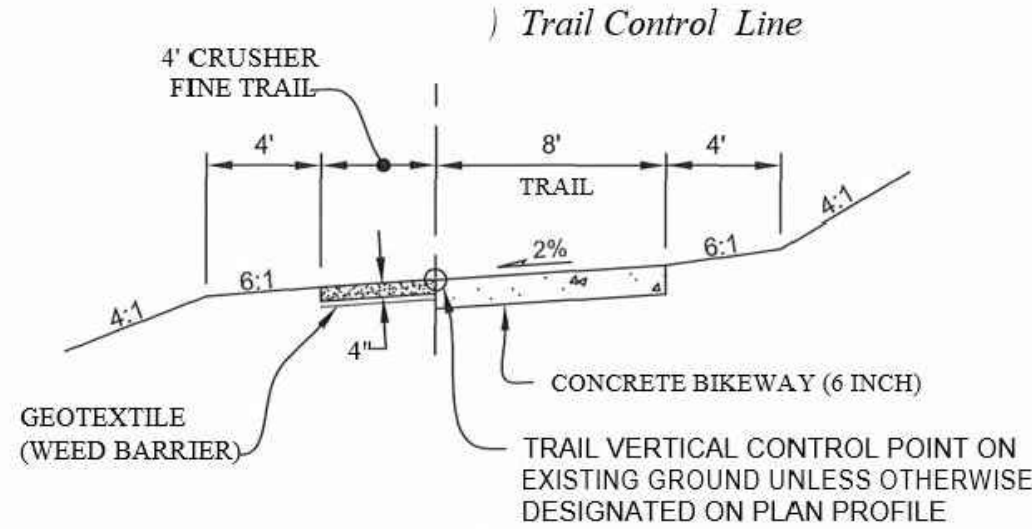
COUNTY ROAD 5
N.T.S.

TYPICAL SECTION — CRUSHER FINES LOCATED ON UPHILL SIDE



TRAIL TYPICAL DETAIL
N.T.S.

TYPICAL SECTION — CRUSHER FINES LOCATE DONDOWNHILL SIDE



TRAIL TYPICAL DETAIL
N.T.S.

PATH: P:\ISLAND SUNSET\CADD\CIVIL\21-PRELIMINARY PLAT\21TY1.DWG
PLOT DATE: 5/20/2020 10:23 AM
XREFS: 21TB

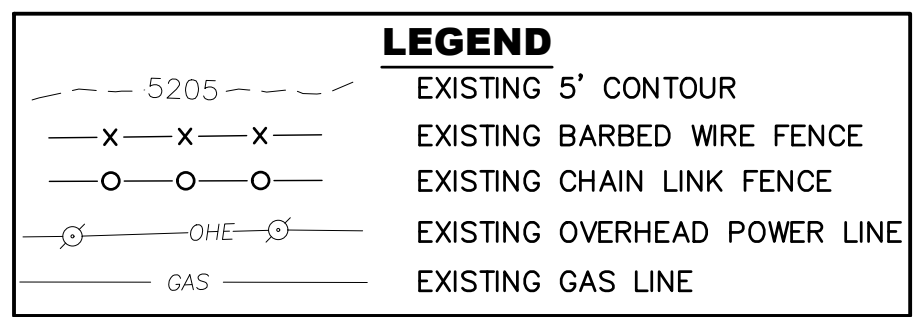
DATE	REVISION	DESCRIPTION

Drawing Name 21TY1.dwg			
Job Number FSLAND SUNSET			
Prepared For FS ERIE ESTATES, LLC	Designer BKM	Drafter BRR	Checked TAJ

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PRELIMINARY PLAT
TYPICAL SECTIONS

PP-000838-2016



	6	
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DATE	1	REVISION DESCRIPTION

SUNSET
PRELIMINARY PLAT
EXISTING CONDITIONS PLAN

Sheet	10
EC1	of
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Date	
MAY 15, 2020	

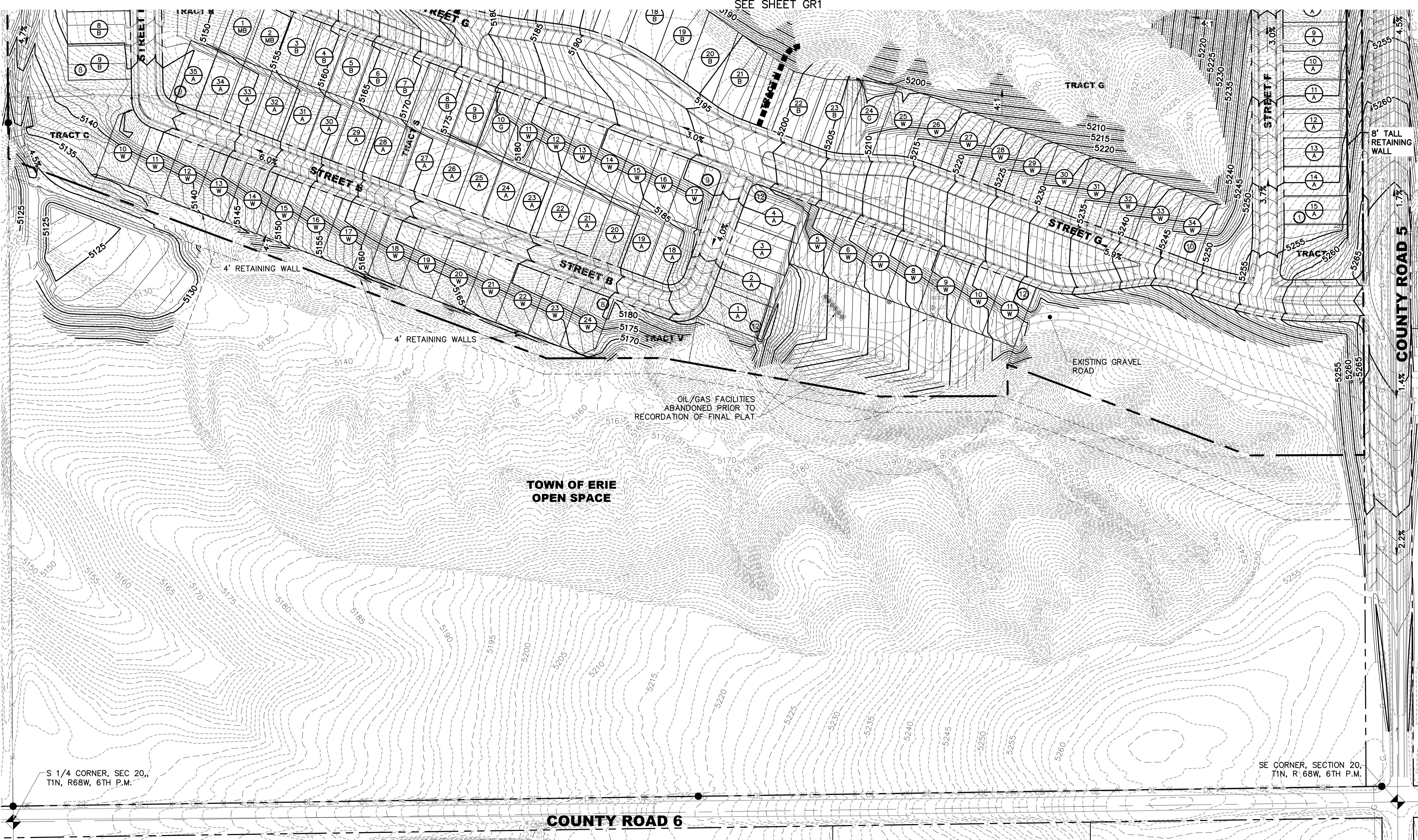
PP-000838-2016



5% MAX
ALLOWABLE
GRADE FOR
ACCESS TO
POWER POLES

Sheet
GR1
of
16
MAY 15, 2020

SUNSET
PRELIMINARY PLAT
AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION
TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO
103.83 ACRES - 249 LOTS - 23 TRACTS
PP-000838-2016



- LEGEND:**
- PROPOSED CONTOURS ——— 4925 ———
EXISTING CONTOURS - - - - - 4925 - - - - -
- 12
A LOT NUMBER
LOT TYPE
- A FRONT-DRAIN LOT
B SPLIT-DRAIN LOT
MB MODIFIED SPLIT-DRAIN LOT
T TRANSITIONAL LOT
W WALKOUT LOT
G GARDEN LEVEL LOT
■■■■ TRAIL ACCESS

- NOTES:**
1. SEE LANDSCAPE PLAN FOR WALK DELINEATIONS.
2. RETAINING WALLS WILL BE A MAXIMUM 4' TALL AND WILL BE CONSTRUCTED WITH HOMES. WALL MATERIALS WILL BE APPROVED PER THE COVENANTS. WALL HEIGHTS AND LOCATIONS TO BE DETERMINED ON FINAL PLAT.
3. THE DEVELOPER WILL BUILD THE RETAINING WALLS IN THE OPEN SPACE. THE BUILDER WILL BUILD THE RETAINING WALLS IN THE LOTS.
4. SLOPE GRADING DOES NOT EXCEED 4:1 UNLESS NOTED.



PATH: P:\ISLAND SUNSET\CADD\CIVIL\21-PRELIMINARY PLAT\21GR1.DWG
PLOT DATE: 5/20/2020 10:24 AM
XREFS: 20\WCOE Base, 20\PPN, 21\ANNO-GR, 21\ANNO, 20\EPN, 20\ELUT, W-Lot Template, 20\BASE, 21\TB.

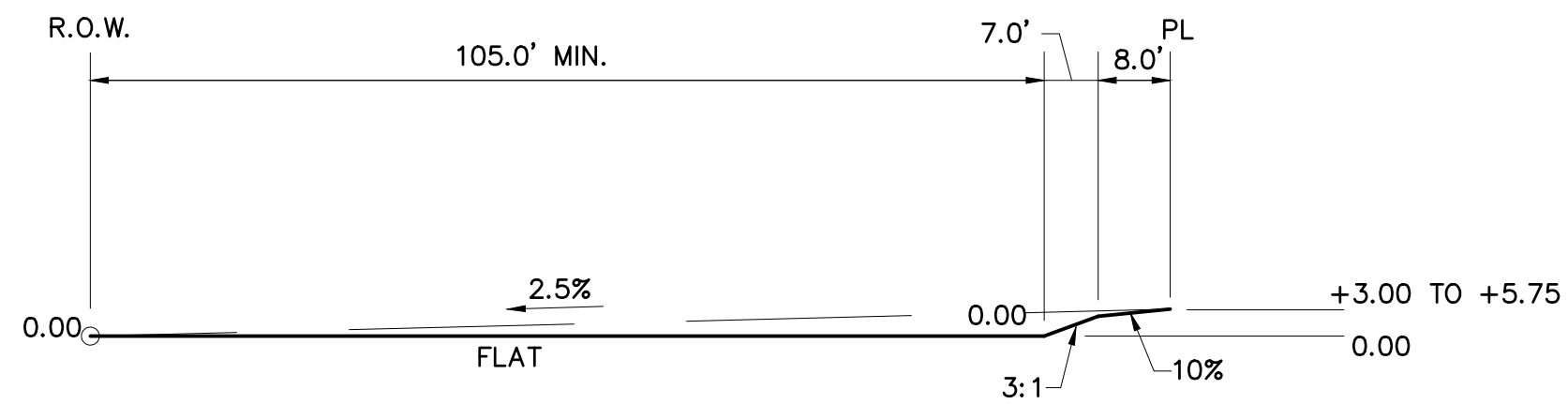
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Drawing Name 21GR1.dwg	0 50 100 200 1 inch = 100 ft. Horizontal
Job Number FSLAND SUNSET	
Prepared For FS ERIE ESTATES, LLC	Designer BKM
	Drafter BRR
	Checked TAJ

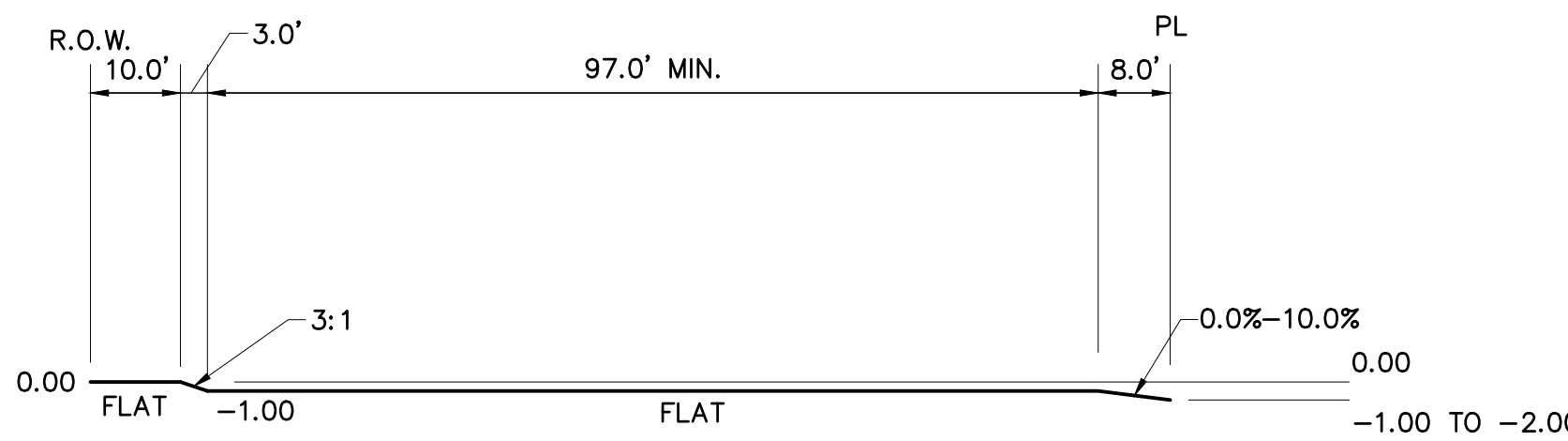
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SUNSET
PRELIMINARY PLAT
GRADING PLAN

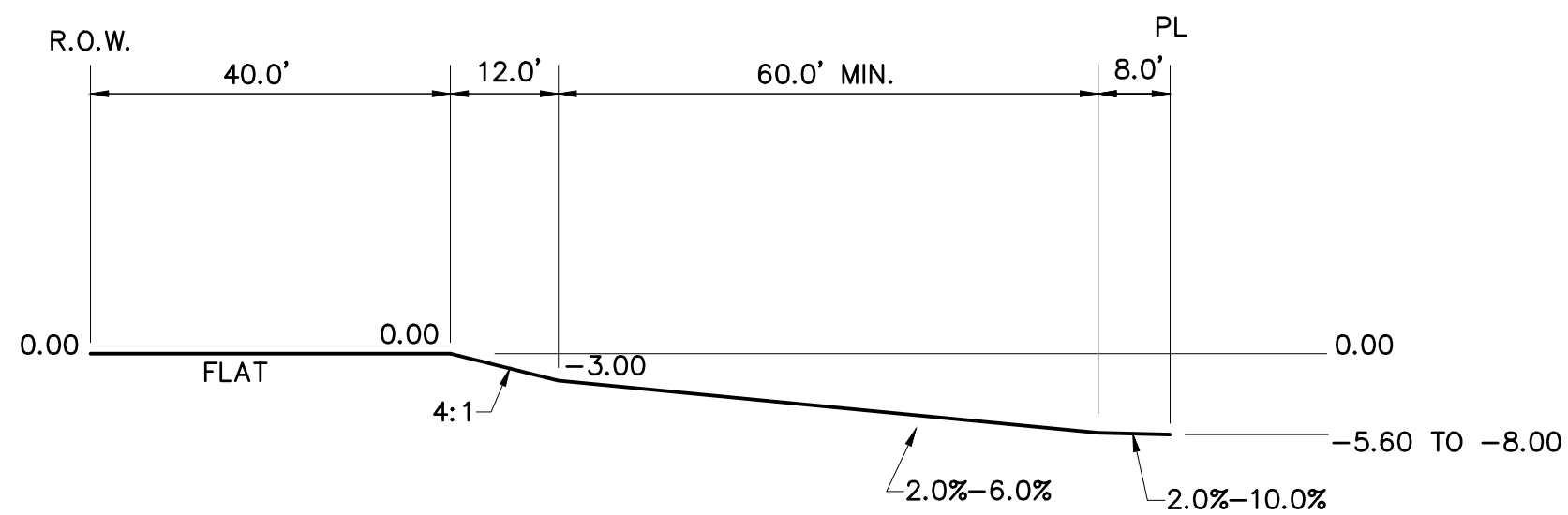
SUNSET
PRELIMINARY PLAT
AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION
TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO
103.83 ACRES - 249 LOTS - 23 TRACTS
PP-000838-2016



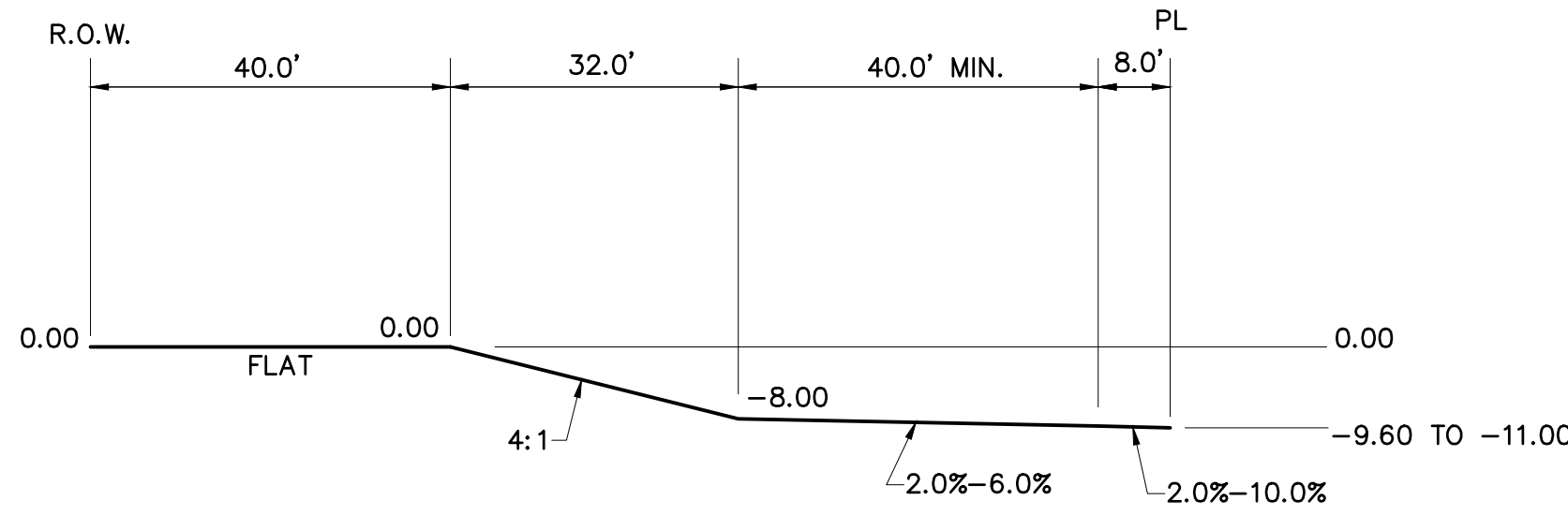
"A" LOT TEMPLATE



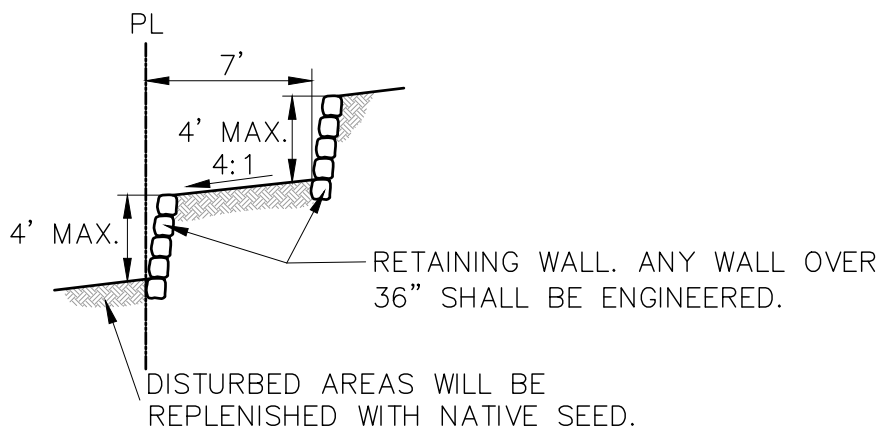
"B" LOT TEMPLATE



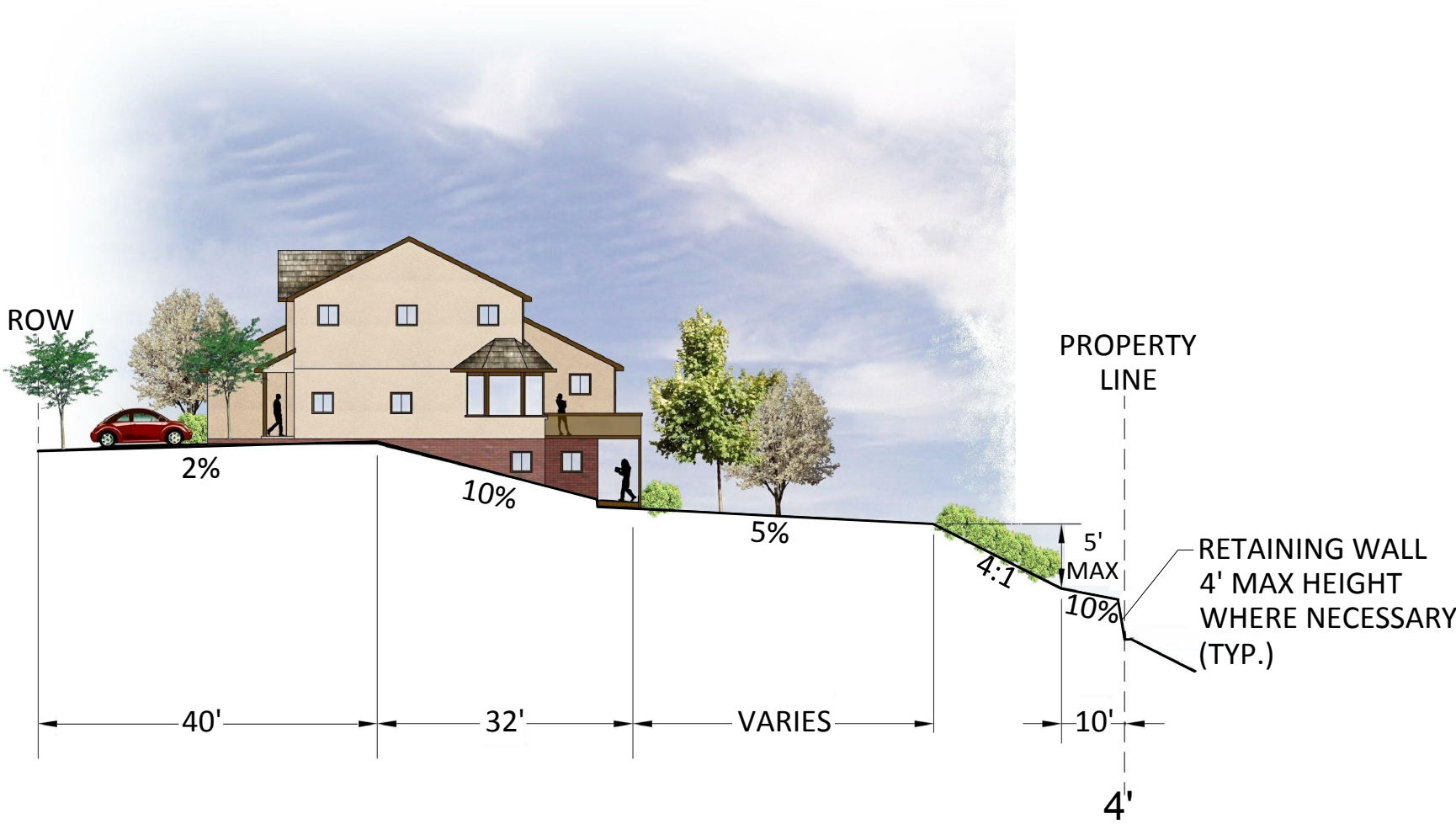
"G" - GARDEN LEVEL TEMPLATE



"W" - WALKOUT TEMPLATE



TYPICAL WALL SECTION
NTS



WALKOUT FINISHED GRADE EXHIBIT (FOR REFERENCE ONLY)

PATH: P:\ISLAND SUNSET\CADD\CIVIL\21-PRELIMINARY PLAT\21GR1.DWG
PLOT DATE: 5/20/2020 10:24 AM
XREFS: 20WCOE Base, 20PPN, 21ANNO-GR, 21APN, 20EPN, 20EUT, w-Lot Template, 20BASE, 21TB,

DATE	REVISION	DESCRIPTION

Drawing Name	21GR1.dwg
Job Number	FSLAND SUNSET
Prepared For	FS ERIE ESTATES, LLC

Designer	BKM
Drafter	BRR
Checked	TAJ

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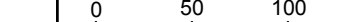
SUNSET
PRELIMINARY PLAT
GRADING PLAN

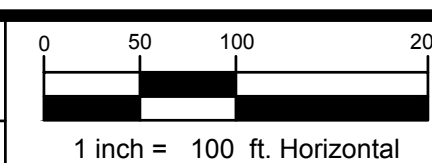
Sheet	13
of	16
Date	MAY 15, 2020

PP-000838-2016



DATE	REVISION DESCRIPTION
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Drawing Name 21OU1.dwg			
Job Number FSLAND SUNSET			
Prepared For FS ERIE ESTATES, LLC		Designer BKM	Drafter BRR
		Checked TAJ	



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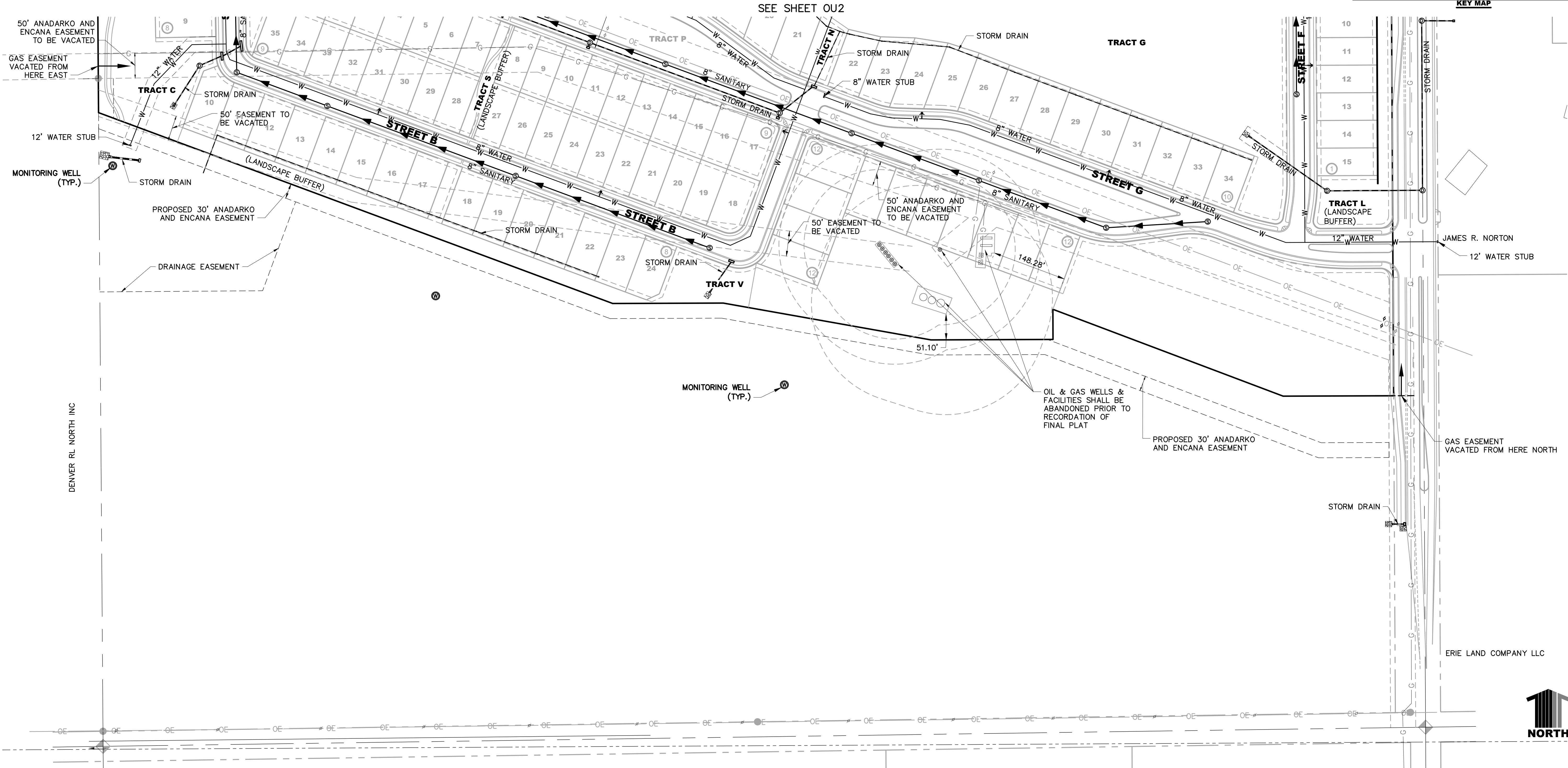
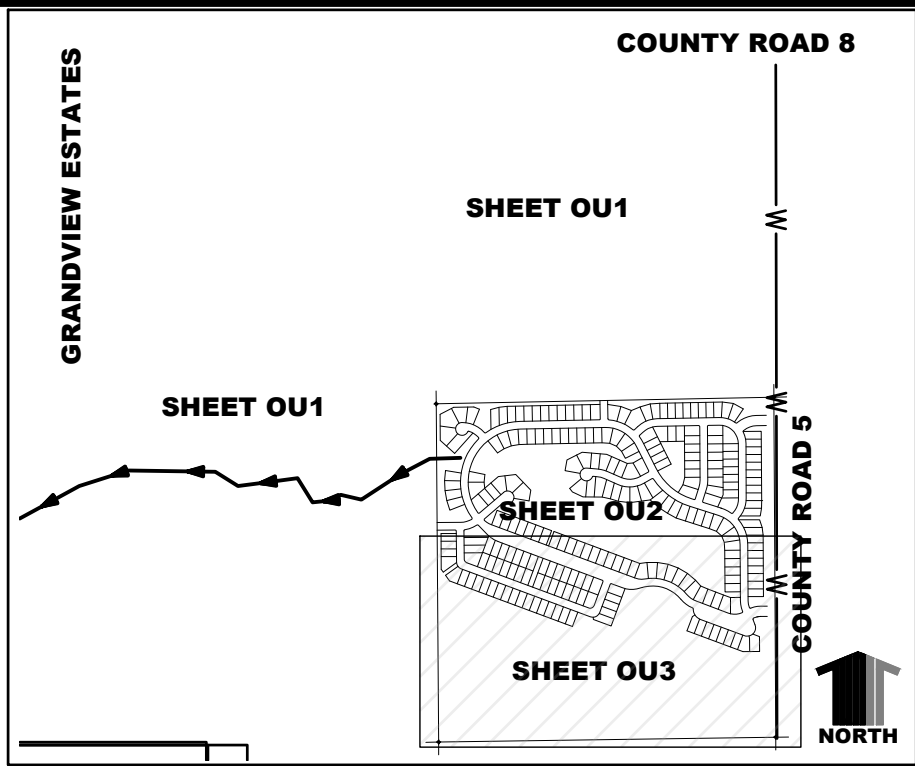
SUNSET
PRELIMINARY PLAT
OFF-SITE UTILITY PLAN

Sheet
OU1
Date
MAY 15, 2020



Sheet	15
OU2	of 16
Date MAY 15, 2020	

SUNSET
PRELIMINARY PLAT
AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION
TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO
103.83 ACRES - 249 LOTS - 23 TRACTS
PP-000838-2016



PATH: P:\FSLAND SUNSET\CADD\CIVIL\21-PRELIMINARY PLAT\21OU1.DWG
PLOT BY: Rod Signon PLOT DATE: 5/20/2020 10:25 AM
XREFS: 20wCORE Base, 20EUT, 00USGSerial, 20PPN, 21Anno, 20PUT, 20BASE, 21TB.

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Drawing Name
21OU1.dwg
Job Number
FSLAND SUNSET
Prepared For
FS ERIE ESTATES, LLC

0	50	100	200
1 inch = 100 ft. Horizontal			
Designer	Drafter	Checked	
BKM	BRR	TAJ	

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SUNSET
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OVERALL UTILITY PLAN