

LOCATED IN SECTION 36,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
COUNTY OF BOULDER, STATE OF COLORADO
218.48 ACRES
PUDA-01077-2019

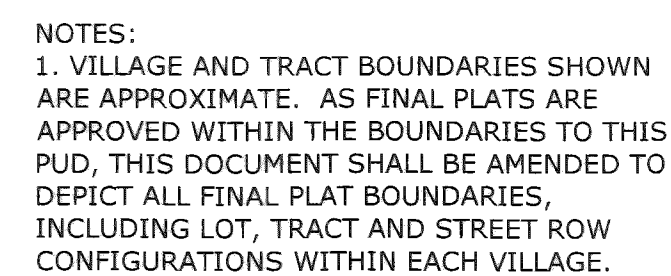
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SCALE: N.T.S.	JOB NO: 0043-1532
	BY: BSS
SHEET 1 OF 3	

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PARKDALE P.U.D. OVERLAY MAP, AMENDMENT NO.1

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ARCHITECTURAL STANDARDS - LR ZONING SINGLE FAMILY
DETACHED RESIDENTIAL (VILLAGES 1-5)

The Standards presented here are intended to modify the following sections of the Unified Development Code:

1. Architectural Variety and Character - Section 10.6.7 E1.c
a. Architectural Variety

i. Design Standards
(A) No identical model plan elevation shall be repeated directly across any street from the same model plan and elevation.
(B) No identical model plan elevation shall be repeated more than once within every 4 lots on the same side of any street.
(C) A minimum of 3 alternative elevations for each model plan shall be submitted to the Town for review.

b. Architectural Character - Section 10.6.7 E1.d
Each single family detached model plan and elevation shall demonstrate the following design attributes:

i. Design Standards
(A) Each elevation shall include a minimum of two windows (or one window and one door) per floor.
(B) Each front and rear elevation shall include more than one wall plane. Articulation that adds shadow and visual interest is encouraged.
(C) A variety of roof forms should be used. Single unbroken roof pitches should be avoided, except where a single roof treatment is an essential element of the Architectural Style.
(D) The main roof should extend beyond the primary facade by a minimum of one foot.
(E) An elevation of the home that faces a street, park, trail corridor or open space area shall provide an "Enhanced Elevation". An "Enhanced Elevation" shall provide three or more of the following design enhancements listed in (1) through (5) below. Application of the design enhancement shall be applied in a manner that is consistent with the style of the home. Side and rear elevation design enhancements shall be consistent with the design elements of the front elevations.
(1) The addition of one window unit.
(2) A change in wall plane by providing one or more of the following options:
- An additional wall plane change. Minimum six feet in width and one foot projection.
- A projecting or cantilevered living space.
- A bay or boxed window.
(3) A covered porch or deck.
(4) The addition of architectural detail elements such as: shutters, eave brackets, exposed rafter tails, corbels, lintels, trellises, columns or pilasters.
(5) The use of a minimum of two exterior cladding materials that can include materials such as masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other decorative siding treatment.
(F) Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. (No exposed 4"x4" posts shall be allowed more than 36 inches above the ground). Columns supporting upper story decks should be 8"x8" minimum finished.

ii. Materials
(A) All exterior materials shall be of high quality, used in applications and treated appropriately to provide an attractive and long lasting appearance.
(B) When masonry cladding is used should be in locations where its mass is logical and appropriate. In instances where masonry wraps the exterior corner of the home the masonry should continue to a natural transition point such as an inside corner of a projecting wall, a column, a door or window or other logical point. In cases where no such feature exists near the corner, the masonry wrap shall extend at least six feet from the corner.

2. Orientation of Dwellings to the Street - Section 10.6.7 E2

Each residence shall have at least 1 primary pedestrian doorway for access to the dwelling unit facing and generally visible from the front lot line of the property and within 12 feet of the most forward plane of the ground level living space. On corner lots, the pedestrian doorway may face any adjacent street. Unless prohibited by terrain or other site constraints, the orientation of the homes shall repeat the predominant relationship of building to buildings and buildings to street along the same block or the facing block. An exception shall be made for alley-loaded single-family detached dwelling units that do not have street frontage but do front onto a park or landscaped common area. In such case where the dwelling unit does not have street frontage, 1 primary pedestrian doorway shall be oriented toward a common pedestrian walk that connects to a street.

3. Garages - Section 10.6.7 E3

These regulations for garages shall be applied to non-living space or storage areas within garages whether used for storage of automobiles or other items.

a. Diversity of Garage Orientation:
(A) Except for garages oriented to alleys, all single family homes shall provide garages that meet one of the requirements below, and, a variety in garage orientation by providing a minimum of 2 of the following garage orientations on any single block:
(1) Recessed garages; where the primary garage door generally faces the front lot line and the garage is recessed a minimum of 2 feet behind the most forward plane of main floor living space or a front porch.
(2) Projecting garages; where the primary garage door generally faces the front lot line and the garage projects no more than 15 feet from the front door.
(3) Side-loaded garages.
(4) Garages recessed a minimum of 2 feet beneath a second floor living space.

b. Width/Facade Ratio
The width of a front loaded garage shall not exceed 65% of the width of the front elevation.

c. Three or More Car Garage Orientation
The third bay of of any three bay or more garage shall either:
i. Have a different orientation from the first two; or
ii. Shall be recessed behind the first two by at least two feet when having the same orientation; or
iii. Shall be tandem to the first two.

4. Front Stoop
For model plans with a front stoop; the front stoop shall include the platform and stairs that are generally in front of a door that can be covered or uncovered. The maximum width of a covered front stoop shall be three feet in width.5. Front Porches - Section 10.6.7 E4
For model plans with a front porch; the front porch shall be a minimum size of fifty square feet.

ARCHITECTURAL STANDARDS - LR ZONING
SINGLE FAMILY ATTACHED RESIDENTIAL
(VILLAGE 6)

The Standards presented here are intended to modify the following sections of the Unified Development Code:

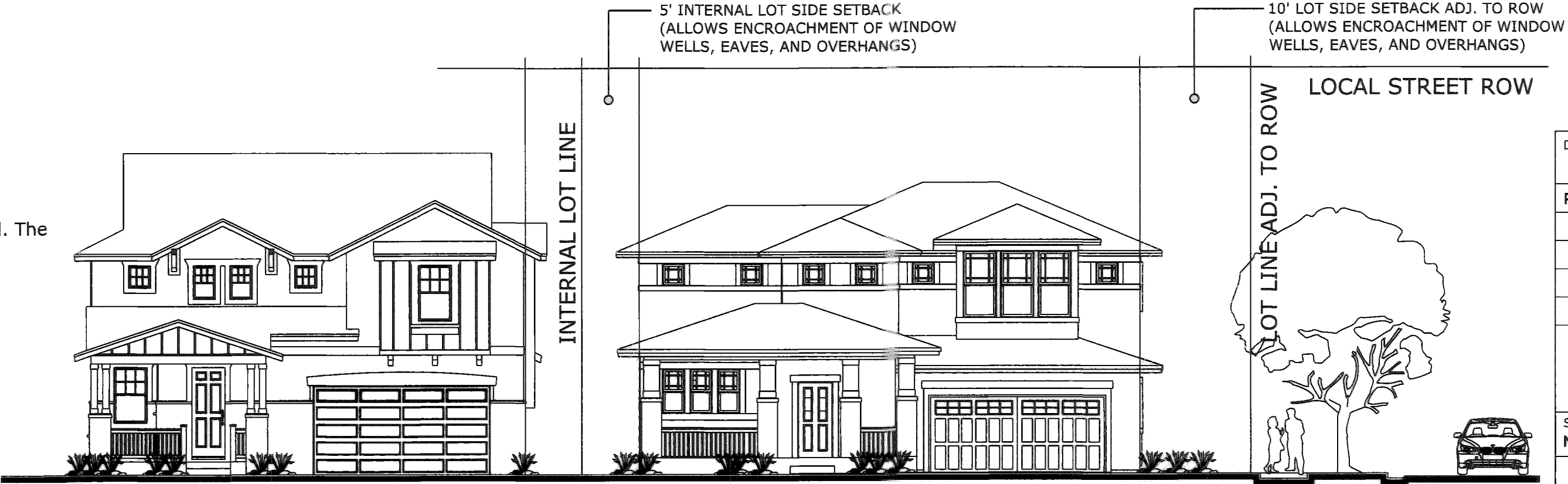
1. Building Orientation - Section 10.6.7 F-1.c-ii.
a. If a lot does not already front a public street, each residential lot shall be provided with lot frontage onto a private alley which provides access to a public street.
b. Dwellings may be oriented towards the private alley with both the primary pedestrian door and garage facing the private alley.
2. Private Alley Design
a. Where private alleys are provided, the private alley shall be constructed of decorative colored and patterned pavers or decorative colored and patterned concrete.
b. When private alleys are provided between perpendicular public streets, the private alley shall provide visual and physical breaks to prevent a vehicular through passage between the public streets, however, pedestrian through access shall be provided.
c. Landscaping within the private alley tract shall consist of a variety of shrubs and grasses, which will help break up the visual expanse of driveways and garages. When a visual and physical break is required to prevent through passage, landscaping shall enhance that area and contribute to creating a barrier.
3. Architectural Character - Section 10.6.7 F-1.d-ii(B)&(F).
a. The unique individualism of each dwelling unit may be expressed through massing and exterior materials, rather than attempting to give each building the appearance of a large single family home.
b. Roof overhangs shall be a minimum of 8".

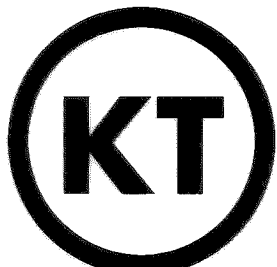
4. Garage Placement & Design - 10.6.7 F-2.b-i(A).
a. Where a garage façade protrudes beyond the primary structure facade, the front porch shall extend beyond the garage façade plane to provide visual depth to the overall primary structure facade5. Front Porches
a. Dwelling units that side onto the public street shall include a wrap around porch that extends a minimum of 12 feet from the front of the dwelling unit towards the rear and is a minimum depth of 5 feet.
b. All wrap around porches shall be a minimum of 100 square feet, which includes the front porch and any covered stoop.
c. All models shall include a front porch that is a minimum of 50 square feet and 5 feet in depth, which includes any covered stoop.6. Enhanced Elevation
An elevation of the home that faces public or private open space that contains trails, sidewalks or public amenities shall provide an "Enhanced Elevation". An "Enhanced Elevation" shall provide three or more of the following design enhancements listed below. Application of the design enhancement shall be applied in a manner that is consistent with the style of the home.

- (1) A change in wall plane by providing one or more of the following options:
i. An additional wall plane change, minimum of six feet in width and one foot projection.
ii. A projecting or cantilevered living space.
iii. A bay or boxed window.
- (2) An additional window on the street facing side of the home.
- (3) Additional architectural elements such as shutters, eave brackets, exposed rafter tails, corbels, lintels, trellises, columns or pilasters.
- (4) The use of a minimum of two exterior cladding materials that can include materials such as masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other decorative siding treatments. Variations of the same material, of the same or different color will be considered different materials. The coverage of the second material does not need to be distributed evenly on all sides of the home.

PARKDALE DIMENSIONAL STANDARDS SUMMARY CHART								
	MINIMUM LOT STANDARDS		MINIMUM LOT SETBACKS (FT.) ^(2,3,4,5,6)					
DISTRICT	WIDTH (FT.)	AREA (S.F.)	FRONT ^(2,3,6,7)	SIDE ^(2,3,7) (TO ABUTTING STREET)	SIDE ^(1,2,3) (TO INTERIOR LOT)	REAR ^(2,3,4,6)	HT.	
LR (SFD) (VILLAGE 1-4)	50'	5,000	PRIN. - 20'	10'	5'	PRIN. - 20'	PRIN. - 35' ACC. - 25'	
	55' CORNER LOTS		ACC. - 30'			ACC. - 5'		
LR (SFD) (VILLAGE 5)	45'	4,725	PRIN. - 20'	10'	5'	PRIN. - 20'		
	50' CORNER LOTS		ACC. - 30'			ACC. - 5'		
LR (SFA) ⁽⁷⁾ (VILLAGE 6)	35'	2,500	PRIN. - 11'	10'	5'	PRIN. - 12'		
LR (POOLHOUSE) (VILLAGE 7)	50'	5,000	PRIN. - 8'	10'	5'	PRIN. - 20'		
						ACC. - 5'		
POCKET PARKS	50'	10,890	PRIN. - 8'	10'	5'	PRIN. - 20'		
						ACC. - 5'		
1. ZERO LOT LINE SETBACKS SHALL BE PERMITTED FOR ATTACHED BUILDINGS PROVIDED THAT THE BUILDING MEETS THE ZONE DISTRICT INTERIOR LOT LINE SETBACK ON THE SIDE OF THE BUILDING THAT IS NOT ATTACHED.								
2. ABOVE GRADE EAVES, ROOF OVERHANGS, ARE PERMITTED TO ENCROACH UP TO 2 FEET INTO THE FRONT, SIDE, AND REAR SETBACKS.								
3. BELOW GRADE WINDOW WELLS ARE PERMITTED TO ENCROACH UP TO 3 FEET INTO THE SIDE AND REAR SETBACKS.								
4. UNENCLOSED COVERED PATIOS AND DECKS ARE PERMITTED TO ENCROACH UP TO 6 FEET INTO THE REAR SETBACK.								
5. REDUCTION OF FRONT SETBACK TO 15' IS ALLOWED WHEN A GARAGE DOOR IS PERPENDICULAR TO THE STREET ROW/LOT FRONTAGE.								
6. PROPERTY LINES ABUTTING THE EXTERIOR BOUNDARY OF THIS PUD SHALL ADHERE TO ALL REQUIRED SETBACKS OF THE UNDERLYING ZONE DISTRICT.								
7. SFA PORCHES AND STEPS MAY EXTEND 6' INTO THE FRONT SETBACK, AND 5' INTO THE SIDE ABUTTING STREET SETBACK.								

DWG. NAME



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SHEET 3 OF 3				