



PD Development Guide

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INTENT

The Erie Town Center Planned Development (PD) encourages an urban pattern which is compact, connected, complete, convivial, cost-effective, conserving, and cooperative; responding to the aspirations of residents participating in the public process of November 6 – November 12, 2019 that led to the creation of the Town Center PD. These intentions shall guide the proposals of developers, the interpretation of regulators, and the decisions of the Town.

To be **compact** by wasting as little land as possible in being as dense as the local market will bear.

To be **connected** by the thoroughfares being suitable for travel by foot, bike, and transit, as well as cars.

To be **complete** by approaching a balance of housing, commercial premises, workplaces, cultural facilities, and of recreational places.

To be **complex** by providing the range of dwellings suitable for younger and older persons, for individuals and households, and accessible to a range of incomes, reflecting a regional demographic balance.

To be **convivial** in encouraging streetscapes and public spaces that support social interaction and by masking parking lots behind attractive building frontages.

To be **cost-effective** by not wasting resources on overdesigned infrastructure or inefficient or unwarranted permit processing.

To be **conserving** by discouraging automobile commuting and errands, unnecessarily large dwellings, and water-hungry landscaping.

To be **cooperative** by coordinating private-sector plans with each other and harmonizing the aesthetic of buildings.

ERIE TOWN CENTER PD SUBSECTIONS

Section A: GENERAL PROVISIONS

Section B: PD PLAN

Section C: ARCHITECTURAL STANDARDS

Section D: PRIVATE FRONTAGE STANDARDS

Section A: GENERAL PROVISIONS

A1.0 The provisions of the Erie Town Center PD shall govern the development of the Erie Town Center. Where the provisions of the PD do not address a particular subject, the relevant provisions of the Town's Unified Development Code (UDC) and standards shall be applicable.

A2.0 All Subdivision and Site Plan Land Use applications for development within this PD shall be reviewed under the UDC Chapter 7 Review and Approval Procedures.

A2.1 Subdivision Land Use applications shall follow UDC Section 10.7.7 D. Procedure for Review of Final Plats. The Sketch Plan and Preliminary Plat review procedures within UDC Section 10.7.7 Subdivision shall not be required.

A2.2 Site Plan and Site Plan Amendment Land Use applications shall follow UDC Section 10.7.12 E Procedure for Administrative Site Plan Review.

Section B: PD PLAN

B1.0 The Thoroughfare Type Assignment Plan shows the trajectory and types of thoroughfares. The thoroughfares shall be built as specified in the Thoroughfare Type Assignment Plan.

B2.0 The PD Zoning Plan allocates three Zoning Categories: Urban Center, General Urban, and Urban Edge.

B2.1 Permitted Uses

B2.1.1 Urban Center Zone: The buildings shall be dedicated to commercial use and mixed use — including lodging or public use. For mixed-use buildings, commercial use shall occupy the ground floor.

B2.1.2 General Urban Zone: The buildings shall be dedicated to residential, commercial use, or mixed-use. For mixed-use buildings, commercial use shall occupy the ground floor.

B2.1.3 Urban Edge Zone: The buildings shall be dedicated to residential use, to home occupation, and to limited lodging.

B3.0 The Primary and Special Frontages Plan specifies the Frontage Line of each lot. According to the Zoning Category and Building Type, building setback and other requirements / allowances are specified for the Frontages.

B3.1 Frontage building setback for the Urban Center Zone shall be a minimum of zero ft and maximum of 12 ft, measured from the property line.

B3.2 Frontage building setback for the General Urban Zone shall be a minimum of 5 ft and maximum of 18 ft, measured from the property line.

B3.3 Frontage building setback for the Urban Edge Zone shall be a minimum of 5 ft and maximum of 24 ft, measured from the property line.

- B3.4

Side and rear building setbacks shall be a min. of 5 ft measured from the property line, except that;
- B3.4.1

They may be encroached up to 3 ft by eaves, porches, bay windows, or window wells, or as constrained by the Fire Code.
- B3.4.2

Small lot single-family (Cottages) shall have a side setback a minimum of 3 ft.
- B3.4.3

Zero lot line setbacks shall be permitted where buildings are attached at a lot line.
- B4.0

Building height shall be measured from the finished grade at the center of the frontage of each lot.
- B4.1

Maximum building height shall be 35 ft to the eave of a pitched roof or to the top of a parapet wall. The height of the parapet shall be a minimum of 30 inches, measured from the point where the roof surface and the wall intersect.
- B4.2

Chimneys and roof screens masking machinery shall not be limited by the maximum building height.
- B4.3

Ornamental towers in the Urban Center Zone, when uninhabited above 35 ft, may be up to 75 ft in height.

- B5.0

Lot Widths.
- B5.1

There shall be no minimum nor maximum lot width in the Urban Center and General Urban Zones.
- B5.2

The maximum lot width at the Urban Edge Zone shall be 80 ft.
- B5.3

There may be up to three residential units on each lot within the Urban Edge Zone. The aggregate habitable space of the units shall not exceed 2800 sf. and all units shall remain under single ownership with the owner resident on the premises.

- B6.0

Parking Requirements.
- B6.1

There shall be provided one parking space per each 1000 sf of habitable dwelling space. There shall be one parking space for each 250 sf. of commercial space.
- B6.2

At Urban Edge Zones, off-street parking for lots less than 60 ft in width shall be accessed by a rear alley or rear lane. Parking on larger lots may be accessed from the frontage.
- B6.3

Off-Street Parking in front-loaded residential lots shall be behind the minimum building setback.
- B6.4

Garage doors shall not face the frontage unless recessed a minimum of 24 ft from the building frontage.
- B6.5

On-street parking along the lot frontage shall count towards fulfillments of the parking requirement.
- B6.6

ADA spaces shall be compliant with ADA standards.
- B6.8

Parking lots shall be well designed and, where possible, comprised of crushed granite surfaces rather than pavement. This is less visually jarring, more environmentally sensitive, less expensive, and easier to plant with trees. Drainage should be designed so that the tributary sub-areas do not result in erosion and snow removal and snow storage should be accommodated.
- B6.6

Large surface parking lots shall be lined with thin buildings (liner building). When liner buildings are not feasible, lots may be lined with a hedge combined with a metal fence or short masonry wall of between 3 and 4 feet to screen the cars.
- B6.7

In the interim, prior to erecting liner buildings, food trucks and temporary retail within non-permanent structures may also be placed as liners along the frontages of parking lots.
- B6.9

As the Town Center grows the need for structured parking on some well-placed lots may be identified. Such sites shall be designated to ensure that in the foreseeable future parking

- can be made available within easy walking distance to most Town Center destinations.
- B6.10

Parking garages, like open lots, shall be lined with frontages that activate the streetscape and reduce the wide expanses of asphalt associated with parking lots.
- B6.11

Parking garages can serve general parking and may also allow for the conversion of existing surface parking lots to new mixed-use developments.

B7.0 Open Spaces / Paths

- B7.1

Provide a network of pedestrian paths connecting the Town Center with surrounding civic assets, residential neighborhoods, the historic downtown, and existing trails (see Path Network Plan).
- B7.1

Create a network of open spaces servicing the Town Center. Spaces shall detail their function i.e. public plazas, playgrounds / greens, community gardens, and neighborhood parks. The spaces shall be coordinated and connect with the town-wide network (see Civic and Open Space Plan).

Section C: ARCHITECTURAL STANDARDS

- C1.0

Architectural standards shall apply to buildings in private ownership in all zones. Municipal-owned buildings shall be exempt.
- C1.1

The building facades designated as Special Frontages on the PD Plan should be designed with greater architecture care and rigor as they frame and define special locations in the Town Center PD.
- C1.2

Commercial awnings and canopies may extend to the depth of the enfronting sidewalk, 2 ft short of the curb. No other parts of the building shall encroach into the public right-of-way.
- C1.3

Porches, if provided, on the frontage shall be a minimum of 5 ft deep.

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- C1.4 Buildings shall have relatively flat facades. No frontage shall present more than four exterior corners to public view exclusive of attachments.
- C2.0 Openings.

C2.1 Fenestration along the frontage should be vertically proportioned. Window mullions, if present, shall all be identical in proportion throughout the building frontage.

C2.2 Shutters, if provided, shall coincide in size with their associated window.

C2.3 Materials

C2.3.1 Windows shall be made of painted aluminum, wood or vinyl and shall have clear glass.

C2.3.2 Doors (including garage doors) shall be painted wood or composite wood.

C2.3.3 Storefronts shall be made of painted wood or metal.

C2.3.4 Shutters shall be made of painted wood or Hardiplank.

C2.4 Configuration

C2.4.1 Windows shall be single, double, triple-hung, or operable casements. Openings shall be rectangular with a vertical or square proportion. Multiple windows in the same rough opening shall be separated by a 4 inch minimum post. The centerline of the window sash shall align within the centerline of the wall (there shall be no flush mounted windows).

C2.4.2 Muntins shall be true divided panes or fixed on the interior and exterior surfaces. Panes shall be similar proportions, throughout the building.

- C2.4.3 Bay Windows shall extend to the floor inside and to the ground outside, or be supported by visible brackets.
- C2.4.4 Shutters shall be either louvered or paneled, sized and shaped to match the associated openings.
- C2.4.5 Storm Windows and Screens, if provided, shall cover the entire window area.
- C2.4.6 Doors (except garage doors) shall be side hinged (no sliders).
- C2.4.7 Garage Doors facing a frontage shall be a maximum of 9 ft.
- C3.0 Roofs.

C3.1 Sloped roofs should be between 4:12 and 8:12 on one story structures, between 4:12 and 10:12 on the second story of two-story structures, and between 3:12 and 8:12 on porches.

C3.2 Roof colors should be in the grey range.

C3.2 Flat roofs shall be surrounded on all sides by a parapet.

C3.3 Materials

C3.3.1 Sloped Roofs shall be clad in slate, galvanized metal, concrete tile, wood shingles, or fiberglass shingles, samples of which require approval by the Planning Division.

C3.3.2 Flat Roofs shall be commercial type roofing.

C3.3.3 Gutters, downspouts and projecting drainpipes shall be made of galvanized metal or painted aluminum.

- C3.4 Configuration

C3.4.1 Principal Roofs, where sloped, shall be a symmetrical gable or hip between 6:12 and 8:12. Flat roofs shall be surrounded by a horizontal parapet wall no less than 3.5 feet high from the roof deck. Vaulted roofs of any type are permitted.

C3.4.2 Ancillary Roofs may be sheds angled no less than 3:12.

C3.4.3 Overlapping Gables are permitted only when the smaller gable is associated with a balcony, porch, or entrance on the facade.

C3.4.4 Dormers, if provided, shall be habitable and placed a minimum of 3 feet from the side building walls.

C3.4.5 Eaves shall be as deep and continuous as possible. Eaves which overhang less than 1 foot may have a closed soffit.

C3.4.6 Gutters shall be half-round.

C3.4.7 Rafter Tails shall not exceed 6 inches in height at their ends.

C3.4.8 Roof Penetrations, including vent stacks, shall not be placed on the frontage roof slope and shall match the color of the roof.

C3.4.9 Skylights shall be flat.
- C4.0 Walls.

C4.1 Wall color should be in the tan to red range. Shutters, balconies, porches, and trim may be any color.

- C4.2 No more than two wall materials shall be present in any building facade, excluding basements, porches, bay windows, shutters, and trim.
- C4.3 The heavier of the wall materials shall be located below the lighter (stone below brick; brick below stucco; stucco below wood). The material transition shall run horizontally across the entire length of the facade.
- C4.4 Materials

C4.4.1 Building Walls shall be finished in wood clapboard (sealed with paint or stain) board and batten, cedar shingles, Hardiplank, stucco, brick, or metal (galvanized or corrugated).

C4.4.2 Arches and Piers shall match the building walls.

C4.4.3 Columns and Posts shall be made of wood, fiberglass, metal, or cast stone.

C4.4.4 Frontage Walls and Stoops shall match the associated buildings.

C4.4.5 Yard Fences (for side and rear yards shall be made of closed wood boards, masonry, trellis, lattice, or some combination thereof. Fences may have stucco, brick, or stone bases and columns between other materials.

C4.4.6 Frontage Fences shall be made of metal or wood pickets.

C4.4.7 Gates on frontage walls shall be made of metal or wood.
- C4.5 Configuration

C4.5.1 Building Walls shall show no more than two materials in addition to the basement or undercroft. Materials

- shall change only along a horizontal line, with the heavier material below the lighter.
- C4.5.2 Undercrofts shall be enclosed with horizontal wood clapboard, wood louvers, shingles, or framed wood lattice.
- C4.5.3 Stucco shall be cement and may be integral color or painted. Finish may be smooth sand-finish. Full size samples of alternate textures must be submitted for approval by the Planning Division.
- C4.5.4 Brick shall be approved by the Planning Division and may be painted.
- C4.5.5 Wood or Hardiplank shall be in the pattern of clapboard, dropsiding, or board-and-batten and shall be painted.
- C4.5.6 Trim shall be a minimum of grade “B” lumber or Symwood and shall not exceed 1 inch in depth or 6 inches in width at corner and around openings, except at the front entrance, which may be any size or configuration.
- C4.5.7 Arches and Piers of masonry shall be no less than 12 X 12 inches.
- C4.5.8 Posts shall be no less than 6 X 6 inches.
- C4.5.9 Intercolumniation on the ground floor shall be vertically proportioned.
- C4.5.10 Frontage Fences shall have different designs than adjacent lots and shall be painted white.
- C4.5.11 Colors on the building exterior shall be selected from a list approved by the Planning Division.

- C5.0 Attachments.

C5.1 Materials

C5.1.1 Chimneys, where visible, shall be brick, stone, or stucco.

C5.1.2 Flues may be black painted or galvanized.

C5.1.3 Decks shall be made of wood and located within rear yards only.

C5.1.4 Signs shall be made of wood or metal.

C5.1.5 Awnings shall be a light metal armature stretching a non-translucent canvas membrane.

C5.1.6 Balconies and Railings shall be made of wood or metal, the detail design to be approved by the Planning Division.

C5.2 Configuration

C5.2.1 Chimneys shall extend to the ground and have a projecting cap.

C5.2.2 Balconies shall be visibly supported by brackets and shall not exceed 3 feet in depth.

C5.2.3 Railings shall have top and bottom rails centered on the balusters. Bottom rails shall clear the floor. Maximum railing spacing shall be 4 inches clear.

C5.2.4 Postal Numbers shall be placed on the principal building facades and on the alley and rear lanes.

C5.2.6 Awnings shall be sloping rectangles without side or bottom soffit panels.

C5.2.7 Keystones and Quoins shall not be permitted.

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- C5.2.8 Yard Equipment, including HVAC, utility meters, clotheslines, satellite dishes, play equipment, hot tubs, and the like shall be permitted at rear yards only.
- C5.2.9 Trash Containers shall be located within permanent enclosures when not within an alley or lane.
- C5.2.10 Outbuildings shall be equipped with outside lights with motion detectors.

Section D: PRIVATE FRONTAGE

- D1.0 Landscaping and pavement on the private frontages shall follow the Landscape Standards*. Planting in the private side and rear yards are not subject to these Standards.
- D1.1 The Landscape Standards* shall establish a plant list for street trees, other trees, underbrush and ground cover. Side and rear yards are exempt.
- D1.2 Plant species within the private frontage shall be coordinated with the public frontage.
- D1.3 Thoroughfares shall be built as designated in the Regulating Plan. The thoroughfare pavement and landscaping shall be as technically specified in the Thoroughfare Standards.
- D1.4 With the exception of wet utilities, utility apparatus and refuse collection bins—including those within enclosures—shall not be placed in front of the building, nor at street frontages except that dry utility gear boxes may be placed at alleys or common parking lot driveways .

* by Town of Erie

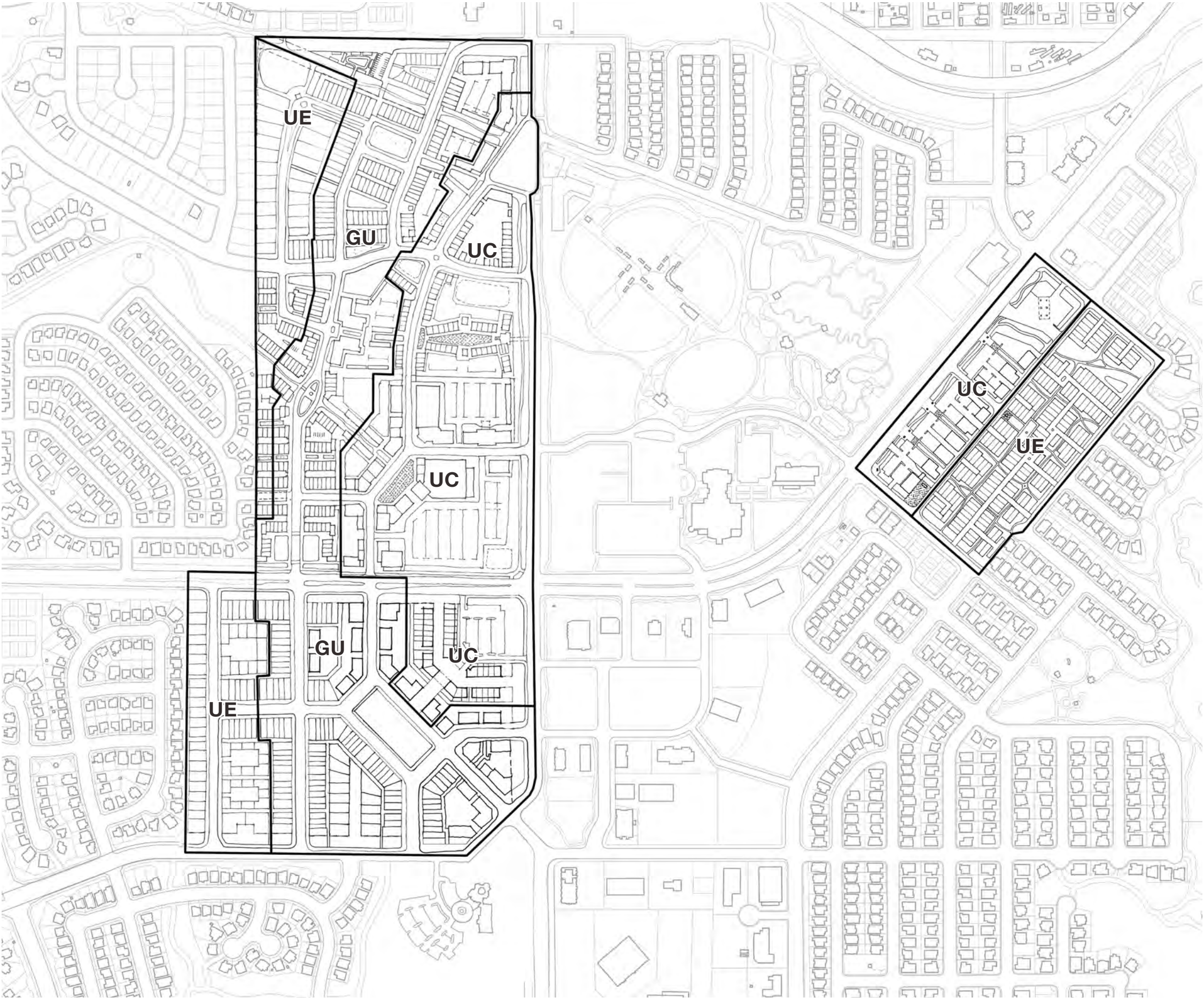
Note 1: The PD Zoning Plan and associated ‘Development Guide’ have been prepared using information provided by the Town and/or other stakeholders. Portions of such information, including but not limited to the location and impact of underminings, remain incomplete and/or unverified at the time of preparation of the PD Zoning Plan and associated ‘Development Guide’. In determining building types, uses, design, and construction techniques for individual sites, developers must satisfy themselves and the Town that site information has been verified for accuracy and completeness. For example the PD zoning on a site might allow a building height of up to 3 stories; the verification of the presence of undermining may require a single story building and limit specific uses.

Note 2: The PD Zoning Plan and associated ‘Development Guide’ allow for flexibility. This is a key strength of the design and an important part of being a sustainable, successful Town Center. Several of the Plans and Illustrations that follow depict one possible configuration out of several for the Town Center; for clarity such plans and illustrations are labeled ‘For Illustrative Purposes Only’.



Parcel	Areas (Acres)
1 - Ranchwood	28
2 - Regency	20
3 - Four Corners/ Foundry Builders	45
4 - Erie Commons	21
5 - Ellen Lumry Estate	30
Total Area Five Parcels: 145 acres	
Total Area Town Center: 390 acres	





Legend

- UE: Urban Edge Zone
- GU: General Urban Zone
- UC: Urban Center Zone

PD Development Guide

Annotated Illustrative Plan

This Plan is for Illustrative Purposes Only

*This Plan version shows Option A for the Southern Gateway. (Please see p.16)



Legend

- 1 Police Station
- 2 'The Peel' Northern Gateway
- 3 expERIENCE Signage
- 4 Trail Connection
- 5 County Line Underpass
- 6 Potential Civic Building / Community Center Expansion Location (TBD)
- 7 Town Center Plaza
- 8 Grocery Store
- 9 expERIENCE Signage
- 10 Commercial and Cultural Incubator Spaces
- 11 Event Spaces
- 12 Neighborhood Park
- 13 The Peel Southern Gateway
- 14 expERIENCE Signage
- 15 Church & School
- 16 Erie Commons Link Road
- 17 Erie Commons Plaza
- 18 Trail Connection
- 19 Community Center and Library
- 20 Health Center
- 21 Expanded Erie Park
- 22 Trail Connection
- 23 Playing Fields
- 24 Potential Civic Building / Community Center Expansion Location (TBD)

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Town Center Illustration

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Illustrative Purposes Only

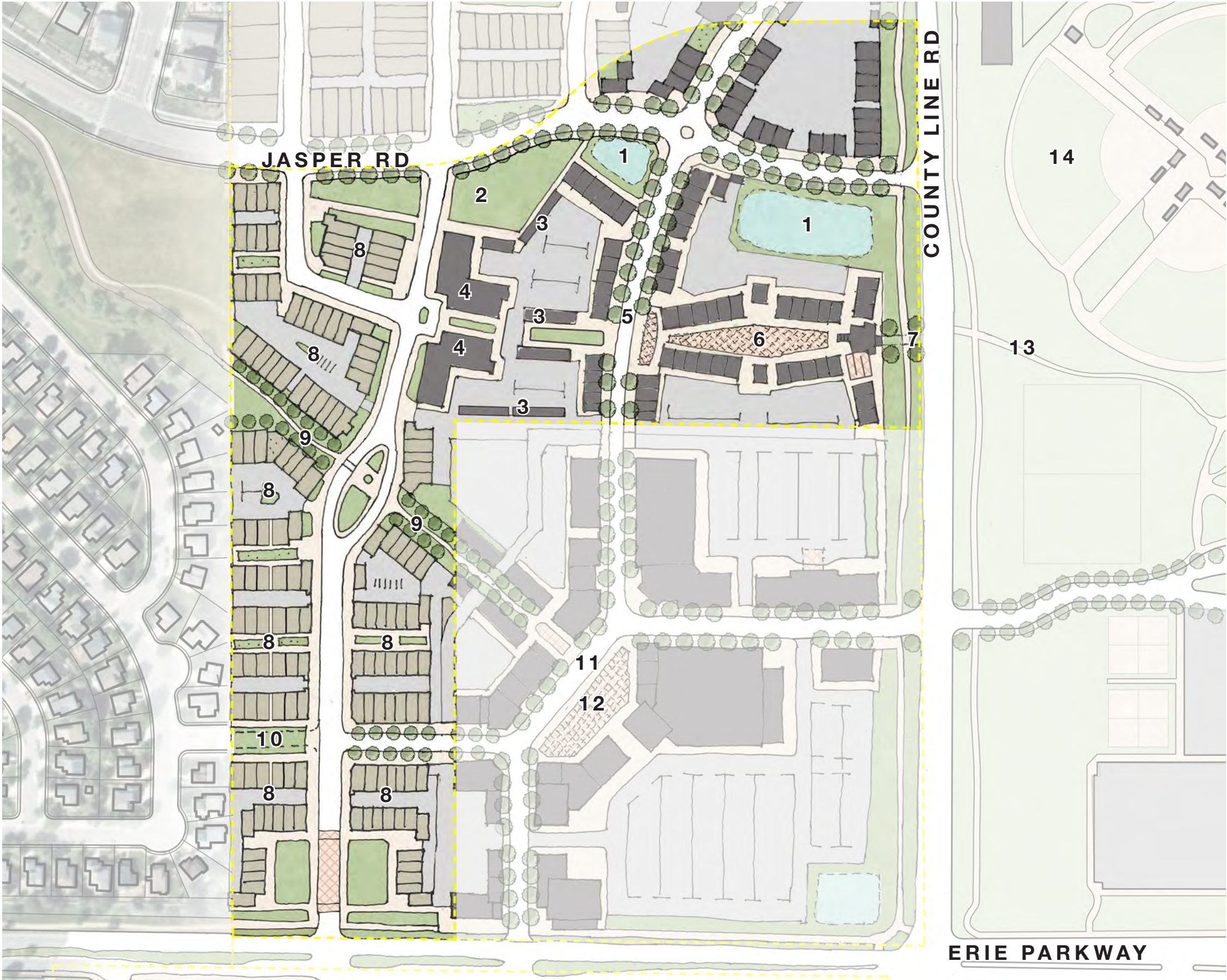
*This Plan version shows Option B
for the Southern Gateway.
(Please see p.16)



PD Development Guide

Illustrative Parcel 1 Annotations -
Ranchwood

This Plan is for Illustrative Purposes Only



Legend

- 1 Detention Ponds
- 2 Existing Well Buffer Zone
- 3 Liner Buildings
- 4 Apartment Buildings
- 5 The Peel
- 6 Neighborhood Plaza
- 7 Underpass
- 8 Residential (may include more than one building type; refer to PD Development Guide)
- 9 Trail Connection to Town Center Plaza and Grocery Store
- 10 Pedestrian Path to Sun West Neighborhood
- 11 Transit Stop
- 12 Town Center Plaza and Grocery Store
- 13 Trail Connection to Community Center and Library
- 14 Playing Fields

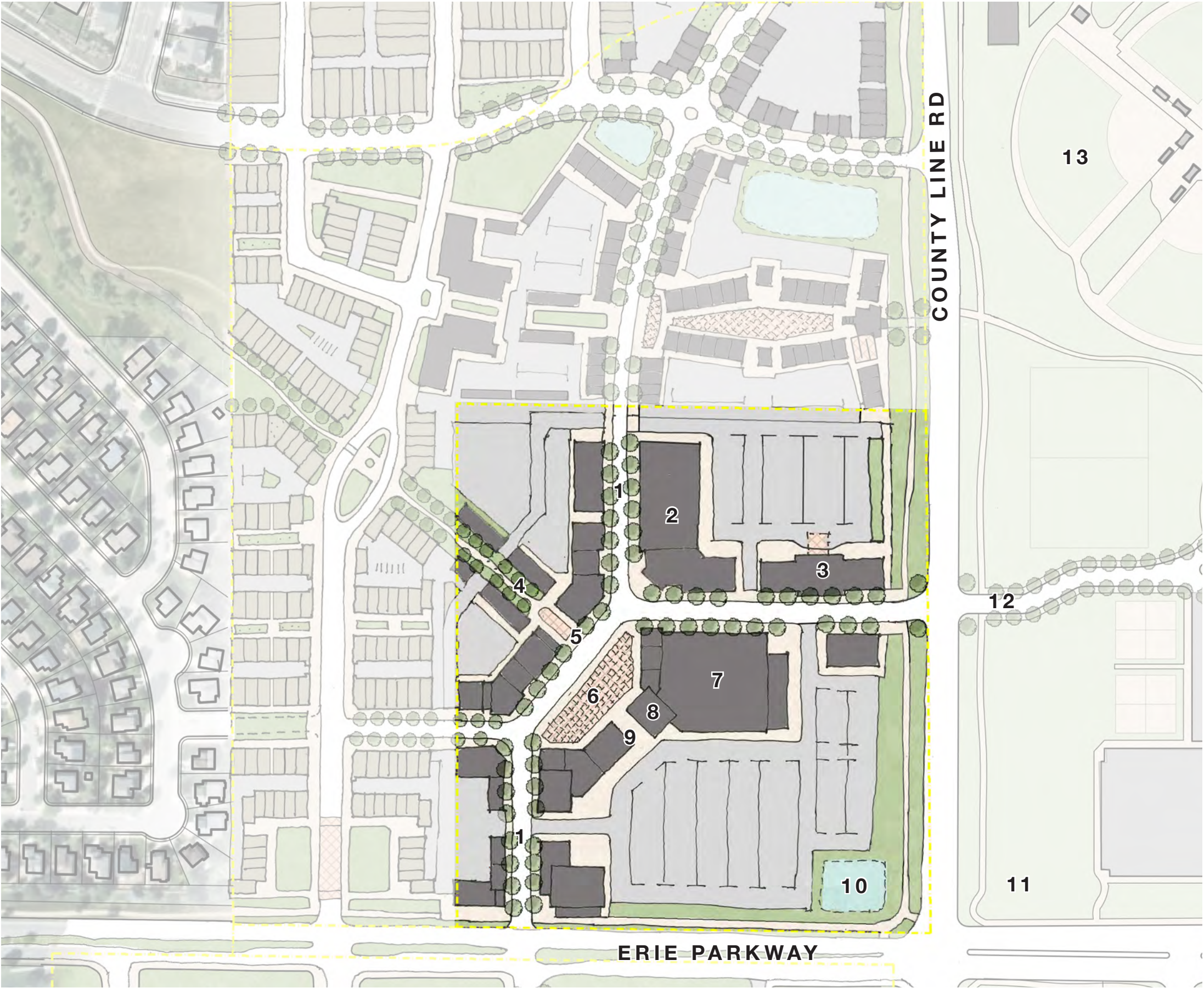
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Illustrative Parcel 2 Annotations - Regency

This Plan is for Illustrative Purposes Only

Legend

- 1 The Peel
- 2 Potential Civic Building / Community Center Expansion Location (TBD)
- 3 Hotel
- 4 Trail Connection
- 5 Transit Stop
- 6 Town Center Plaza
- 7 Grocery
- 8 Landmark Feature
- 9 Paseo Connection Between Parking and Town Center
- 10 Detention Pond
- 11 expERIEnce Signage
- 12 Connection to Community Center
- 13 Playing Fields



This Rendering is for Illustrative Purposes Only



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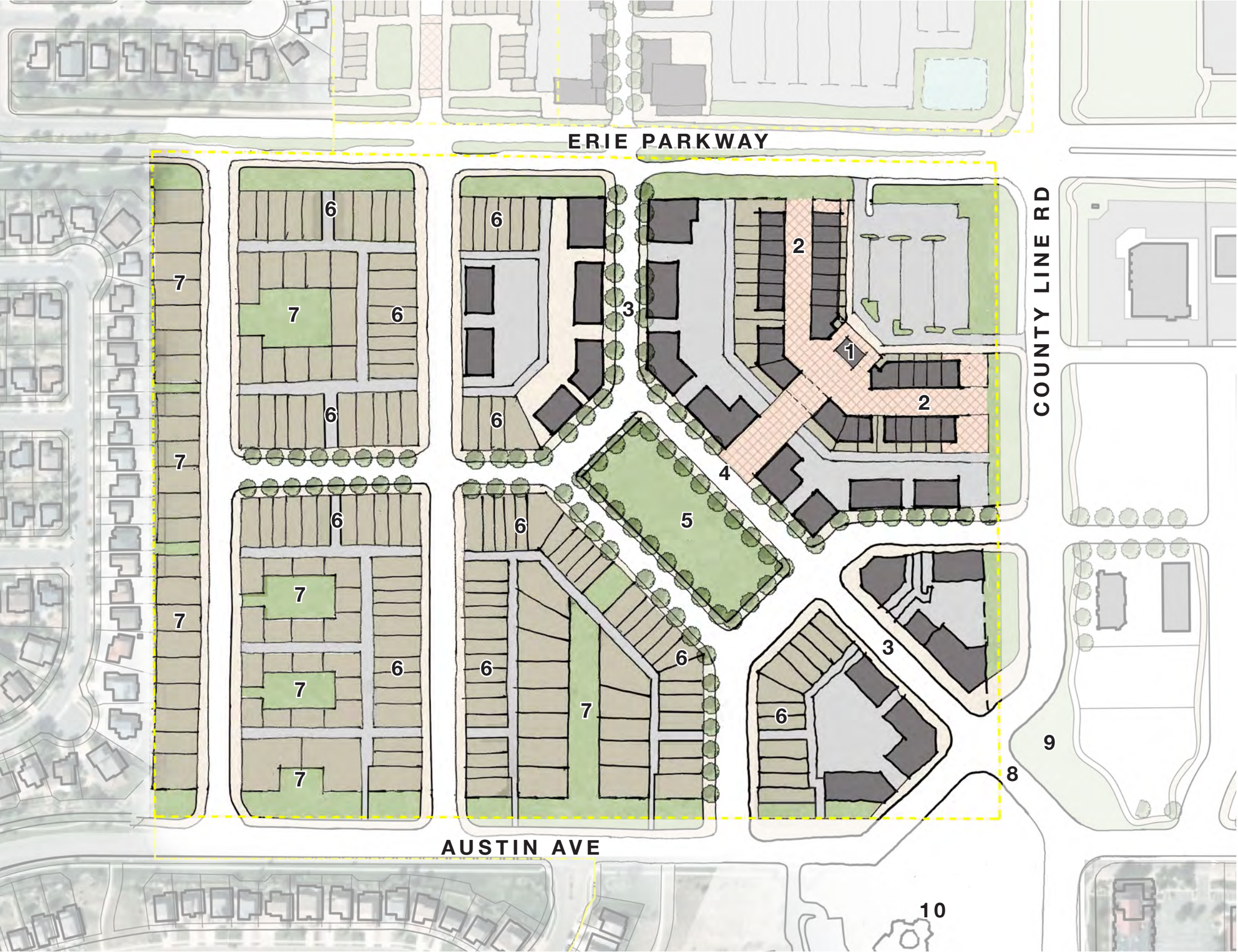
Illustrative Parcel 3 Annotations - Four Corners / Foundry Builders



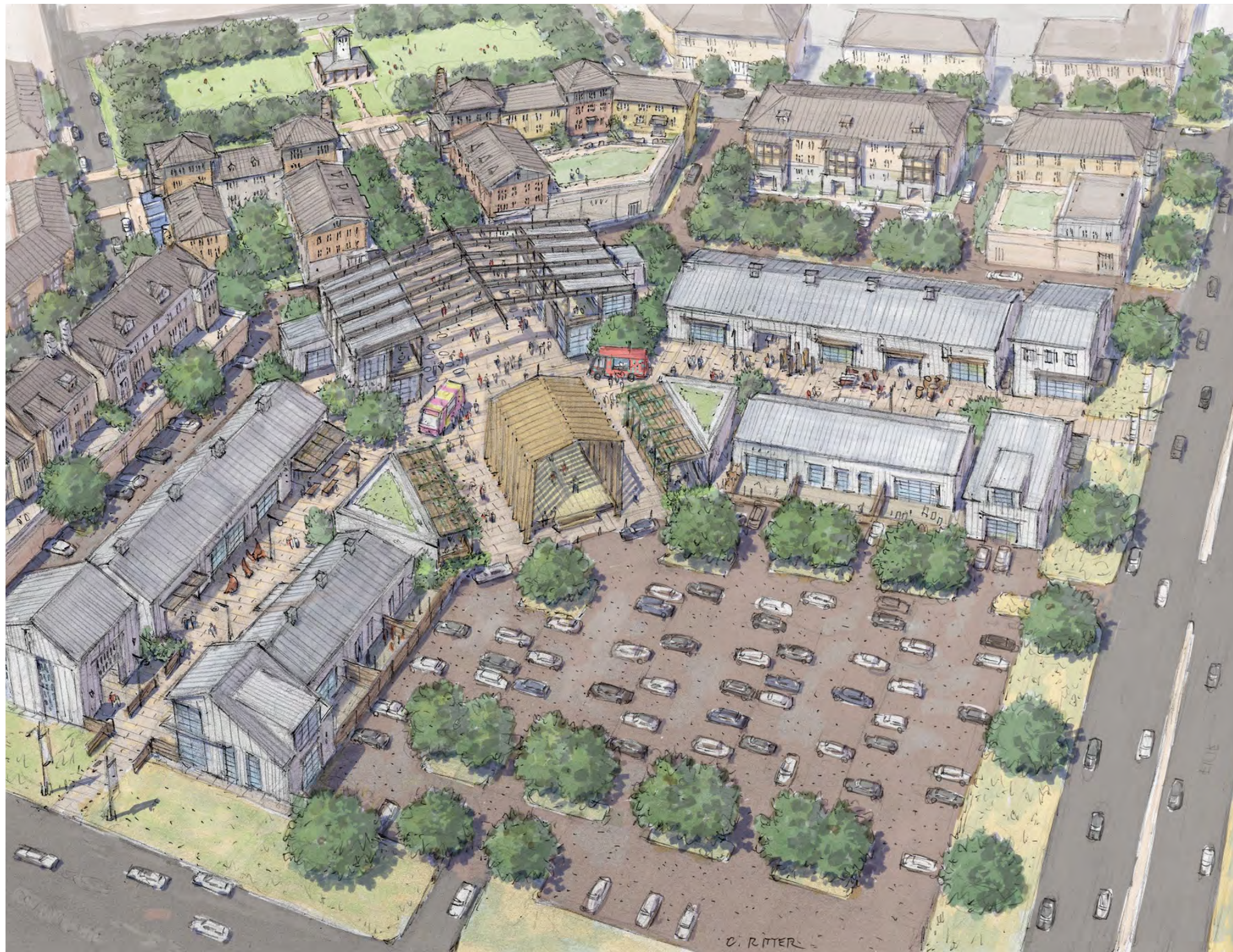
Above: Option B - The Peel Southern Gateway Roundabout

Legend

- 1 Entertainment Spaces
- 2 Commercial and Cultural Incubator Spaces
- 3 The Peel
- 4 Transit Stop
- 5 Neighborhood Park with Informal Playing Fields
- 6 Multifamily Housing (may include more than one building type; refer to PD Development Guide)
- 7 Single Family Housing (may include more than one building type; refer to PD Development Guide)
- 8 The Peel Southern Gateway
- 9 expERIEnce Signage
- 10 St. Luke Orthodox Church



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Parcel 3 Illustration - Four Corners Neighborhood and Park

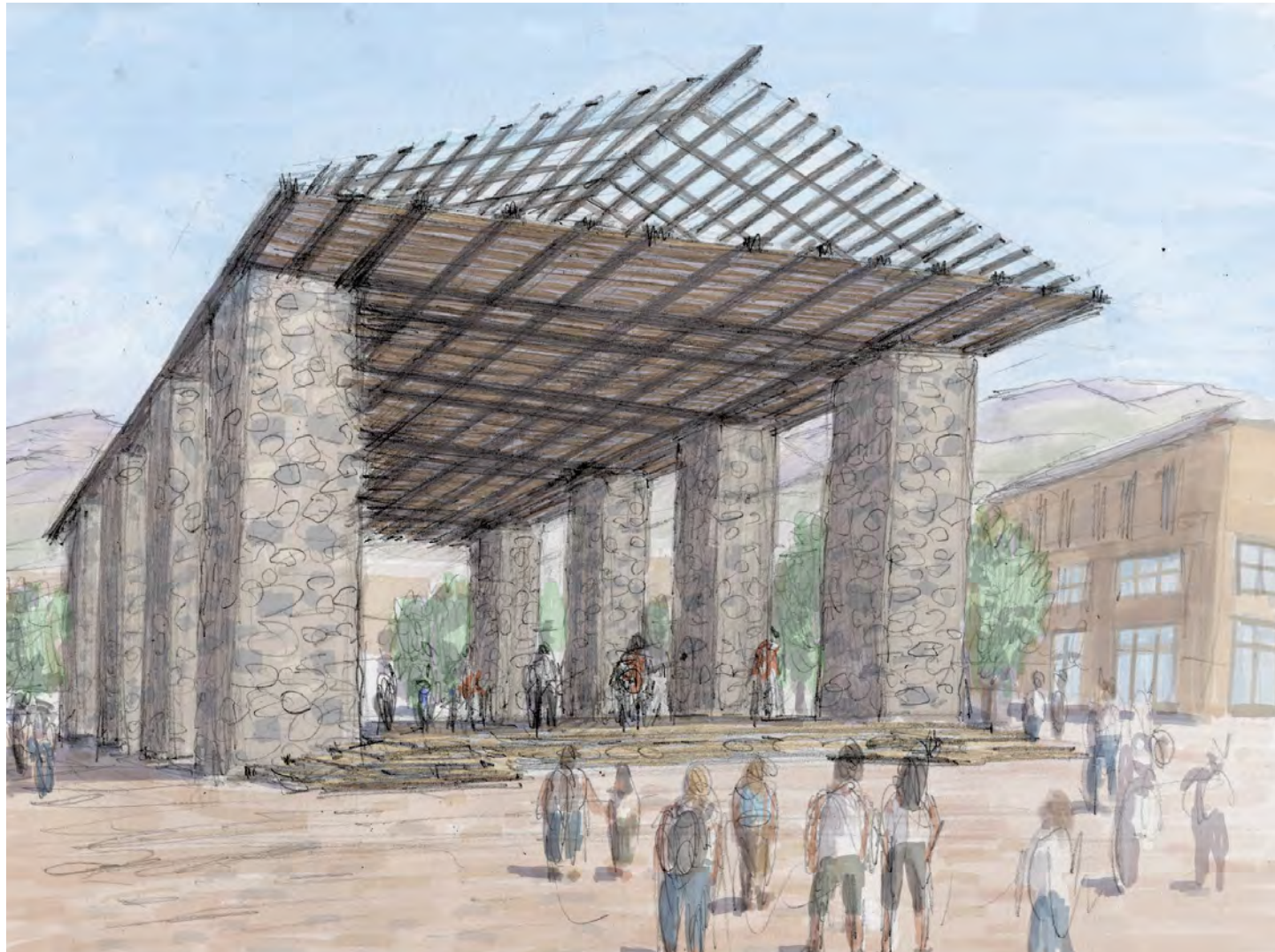
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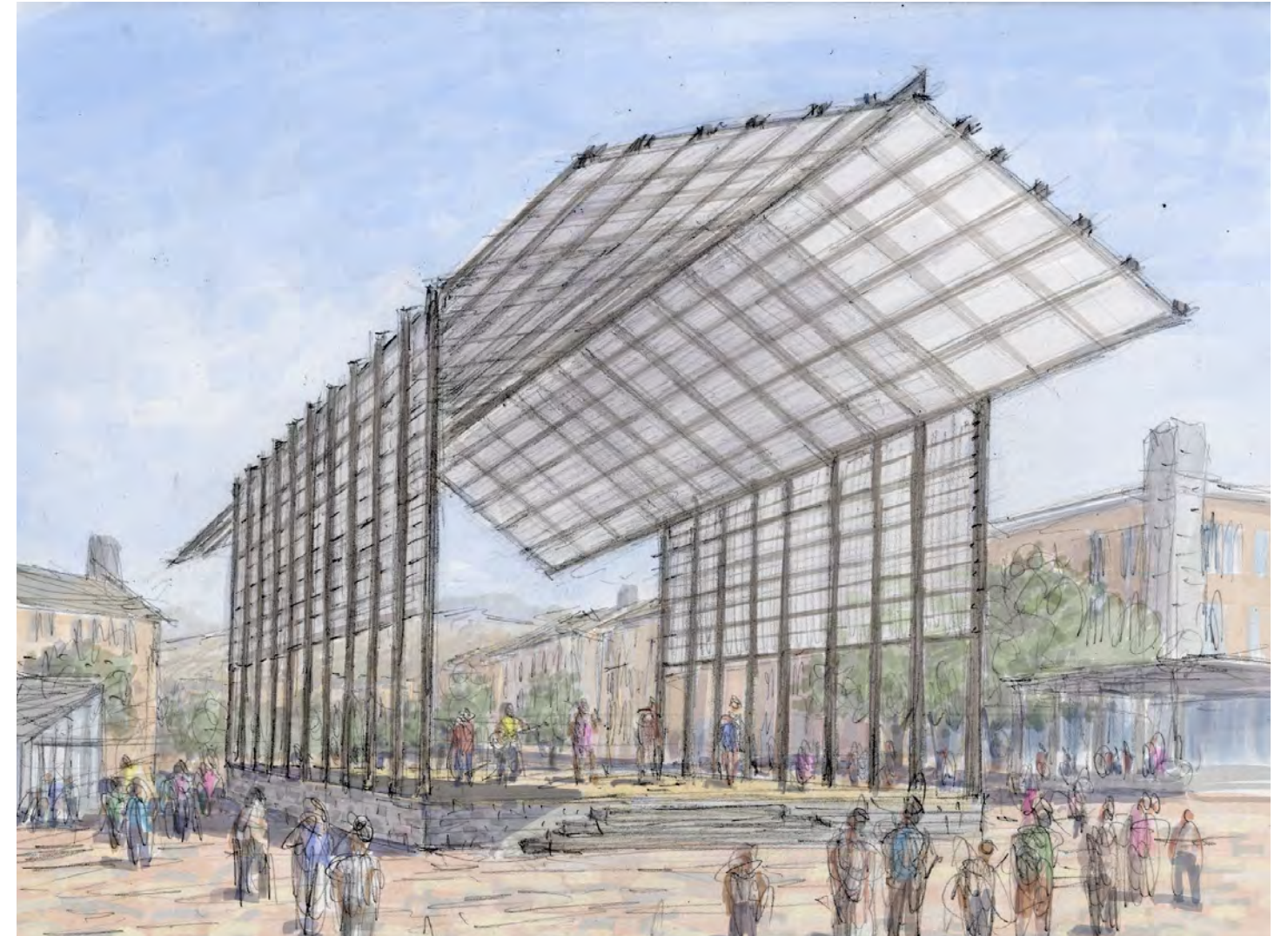
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Parcel 3 Illustration - Event Space Structure

These Renderings are for Illustrative Purposes Only



Scheme 1 - Stone



Scheme 2 - Ties

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Illustrative Parcel 4 Annotations - Erie Commons



Convenience Store and Gas Station alternative Option B

Legend

- 1 Health Center
- 2 Convenience Store and Gas Station
- 3 Pedestrian Paths
- 4 Trail Connections
- 5 Detention Pond
- 6 Central Open Space
- 7 Commercial Thoroughfare
- 8 Erie Commons Plaza
- 9 Transit Stop
- 10 Intersection Allowing Crossing to Library and Community Center
- 11 Library
- 12 Expanded Community Center

Note: Residential comprises small lot single family but may include more than one building type (refer to PD Development Guide)



This Rendering is for
Illustrative Purposes Only



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Illustrative Parcel 5 Annotation - Ellen Lumry Estate

This Plan is for Illustrative Purposes Only

Legend

1

Police Station

2

Proposed Site for Park Model Village

3

Trail Connection

4

Small Civic Buildings eg pavilions

5

Liner Buildings

6

The Peel Northern Gateway

7

expERIENCE Signage

8

Gateway Building

9

Public Green

10

Neighborhood Park

11

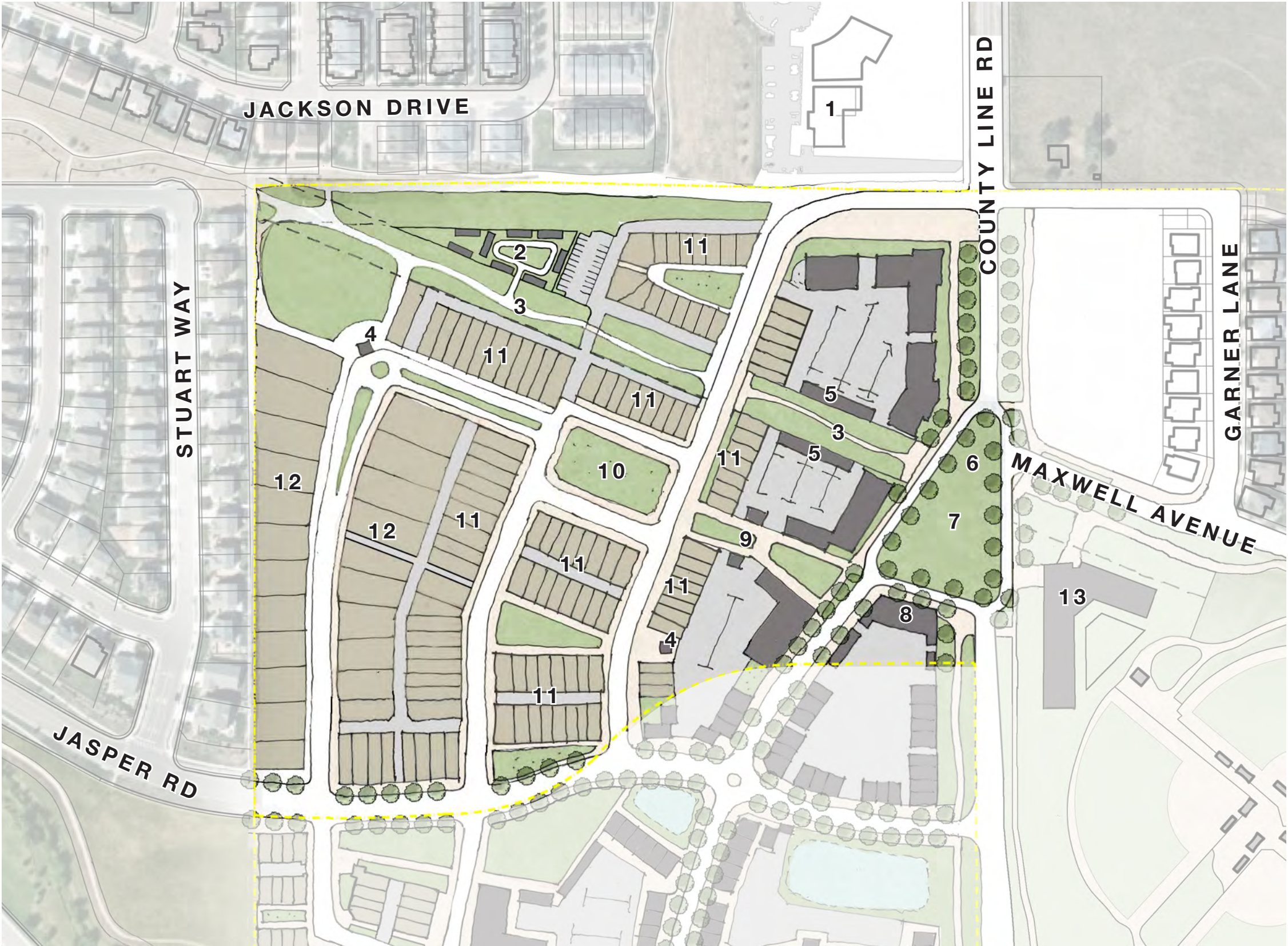
Multifamily Housing (may include more than one building type; refer to PD Development Guide)

12

Single Family Housing (may include more than one building type; refer to PD Development Guide)

13

Potential Civic Building / Community Center Expansion Location TBD



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Primary and Special Frontages Plan



Legend

- Primary Frontages
- Special Frontages

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Building Diversity Diagram

This Plan is for Illustrative
Purposes Only.

Legend

Civic

Grocery

Commercial

Mixed Use

Live/Work

Townhouses

Single Family / Compounds

Apartments

Small Lot Single Family

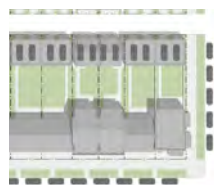

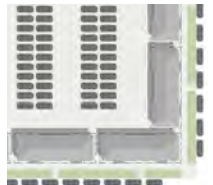


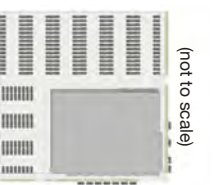
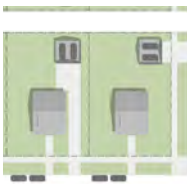



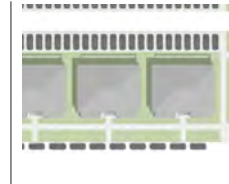

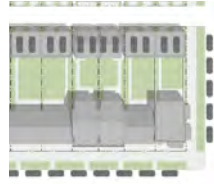

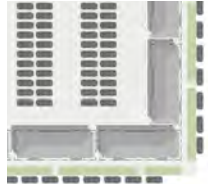

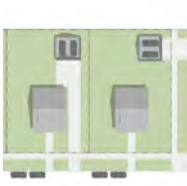





Hotel

Liners

Park Model

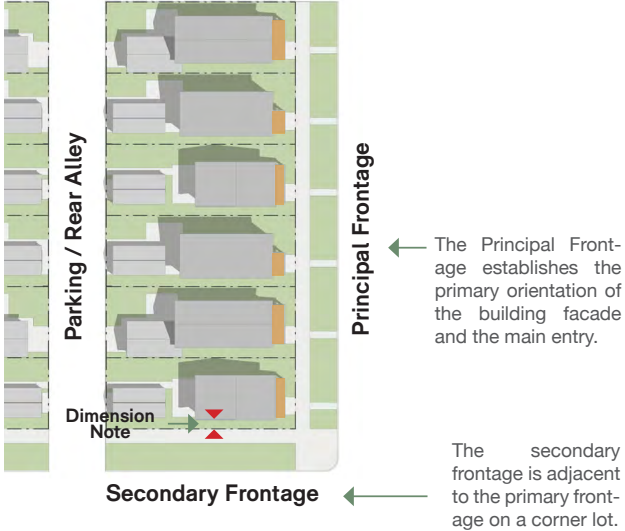


BUILDING TYPES

URBAN EDGE												TRANSECT												URBAN CENTER											
HOUSE	COMPOUND	PARK MODEL HOME	SMALL LOT SINGLE FAMILY	APARTMENT VILLA	TOWNHOUSE	LIVE/WORK	APARTMENT BUILDING	LINER BUILDING	MIXED-USE BUILDING	RETAIL	GROCERY STORE	URBAN CENTER GENERAL URBAN URBAN EDGE																							
											 (not to scale)																								
																																			
																																			
<p>• House: an edgelyard building type. A single-family dwelling on a large lot, shared with an ancillary building in the rear yard. The garage may be front-loaded.</p>	<p>• Compound: a lot containing several buildings, including separate residences. <i>Syn.:</i> Campus</p>	<p>• Park Model Home: an edgelyard manufactured dwelling that is certified as a recreational vehicle and is transportable, but is designed for permanent placement where an RV or mobile home is allowed.</p>	<p>• Small Lot Single-Family: an edgelyard building type. A single-family dwelling on a lot shared with an ancillary building in the rear yard.</p>	<p>• Apartment Villa: a rearyard building type designed similarly to a large house or villa, but contains several multi-family units. This type fits well on a street of single-family homes. <i>Syn.:</i> Mansion Apartments, Senior Apartments</p>	<p>• Townhouse: a rearyard building type. A single-family dwelling with common walls on the side lot lines, the facades forming a continuous frontage line. <i>Syn.:</i> Rowhouse, Terrace House</p>	<p>• Live/Work : a rearyard, fully mixed-use building type with one dwelling above or behind a commercial space. <i>Syn.:</i> Flex-house, Shop-front.</p>	<p>• Apartment Building: a rearyard residential building type accommodating multiple dwellings disposed above and beside each other, sharing a common entry. <i>Variant:</i> Loft Building</p>	<p>• Liner Building: a thin building used to screen surface parking lots from view. Located in urban centers, this flexible building type can be mixed-use or residential only. The ground floor is designed to serve as either small retail space or covered parking for the units above.</p>	<p>• Mixed-Use Block: a rearyard, flexible residential and/or commercial building type. Commercial buildings have floorplates deeper than residential ones. <i>Syn.:</i> Flex Building, Office Building.</p>	<p>• Retail Building: a purpose-built building solely designed for the sale of services or goods to the public for consumption. Is generally located in proximity to multiple residential or commercial areas, with convenient access to parking, automobile and pedestrian traffic. <i>Syn.:</i> Store, Shop, Restaurant.</p>	<p>• Grocery Store: a retail building purpose-built to primarily sell food, either fresh or preserved. Is generally located centrally in a regional catchment area, with convenient access to parking, automobile and pedestrian traffic. <i>Syn.:</i> Supermarket</p>																								

ANNOTATED LOT DIAGRAM

- Building
- Outbuilding (typically a garage)
- Porch/Stoop/Awning



PD Development Guide

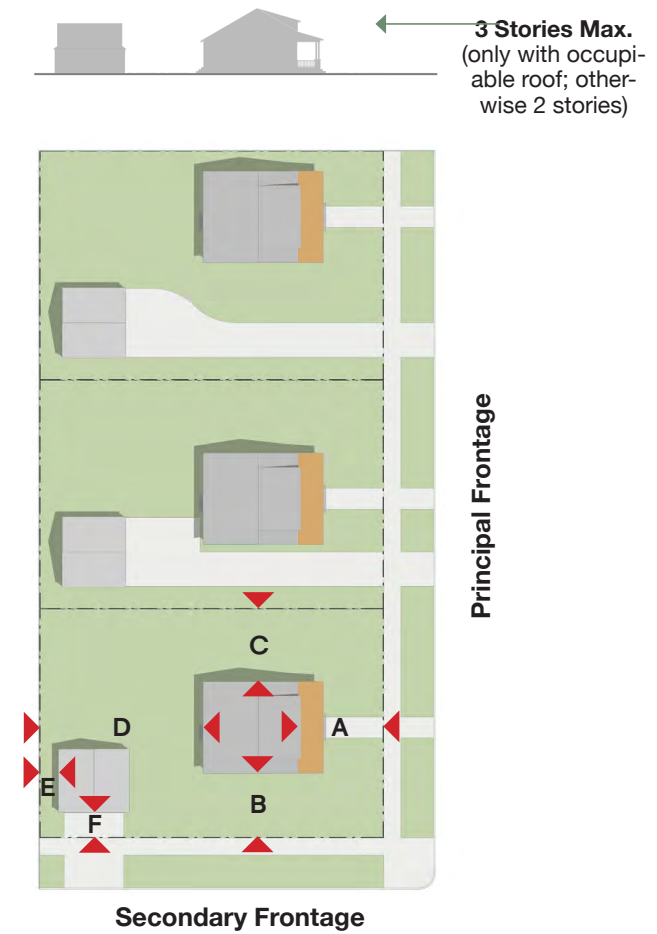
Development Standards

HOUSE (UE)

LOT TYPE 1A

INTENT:

Type 1A is an edgeyard building type. A single-family dwelling on a large lot, shared with an ancillary building in the rear yard. The garage may be front-loaded.



Lot Occupation		
Max. Lot Coverage by Buildings	50%	
Building Setbacks - Principal Building		
A Principal Frontage	5 - 24 ft.	
B Secondary Frontage	5 ft. min.	
C Side Setback	5 ft. min.	
D Rear Setback (Building)	30 ft. min.	
Building Setbacks - Outbuilding /Accessory Building		
E Rear Setback (to alley)	3 ft. min.	
F Side Setback	5 ft. min.	
Encroachments into Building Setbacks		
Principal Frontage	8 ft. max.	
Secondary Frontage	3 ft. max.	
Side	3 ft. max.	
Rear	8 ft. max.	

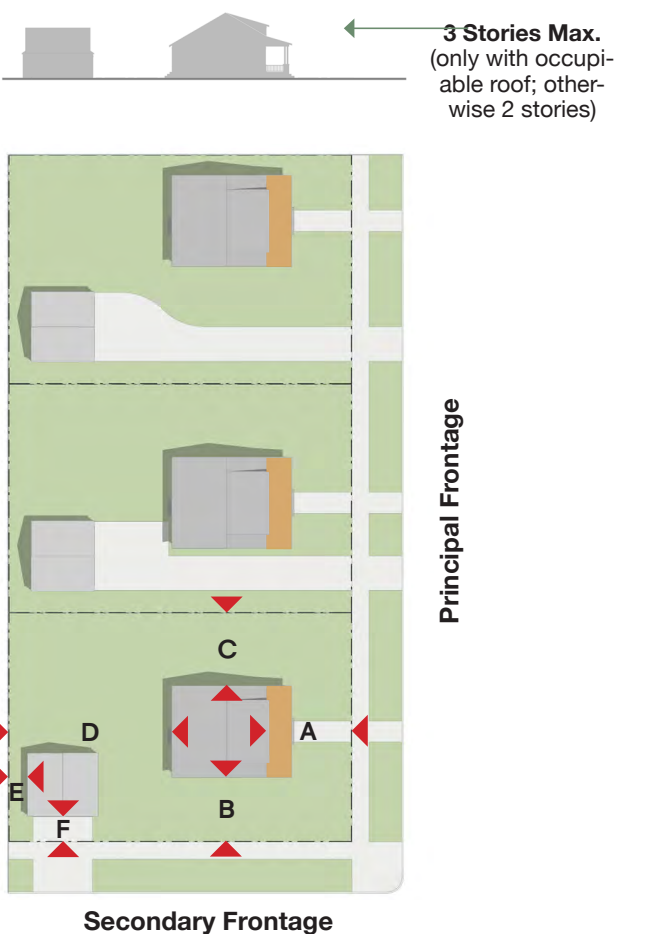
Frontage Requirements		
Frontage Buildout	40% min.	
Glazing at Ground Level	10% min. - 30% max.	
Glazing at Upper Level(s)	10% min. - 30% max.	
Frontage Types		
At Principal Frontage	Porch or Stoop	
Building height (to eave of a pitched roof)		
Principal Building	35 ft. max.	

HOUSE (GU)

LOT TYPE 1B

INTENT:

Type 1B is an edgeyard building type. A single-family dwelling on a large lot, shared with an ancillary building in the rear yard. The garage may be front-loaded.



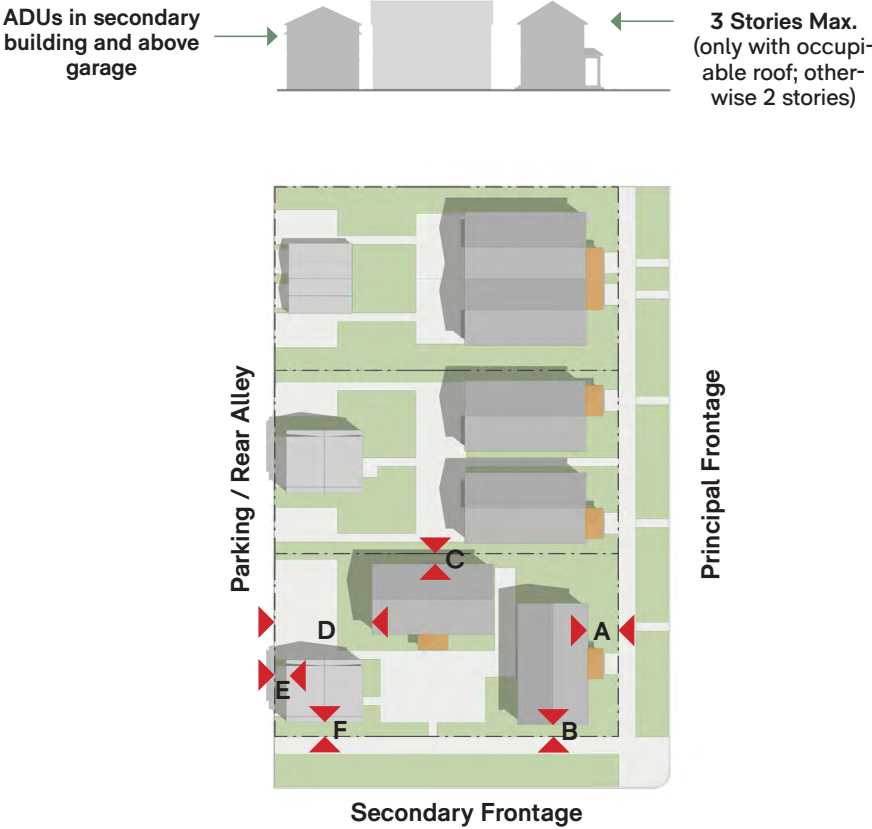
Lot Occupation		
Max. Lot Coverage by Buildings	50%	
Building Setbacks - Principal Building		
A Principal Frontage	5 - 18 ft.	
B Secondary Frontage	5 ft. min.	
C Side Setback	5 ft. min.	
D Rear Setback (Building)	30 ft. min.	
Building Setbacks - Outbuilding /Accessory Building		
E Rear Setback (to alley)	3 ft. min.	
F Side Setback	5 ft. min.	
Encroachments into Building Setbacks		
Principal Frontage	8 ft. max.	
Secondary Frontage	3 ft. max.	
Side	3 ft. max.	
Rear	8 ft. max.	

Frontage Requirements		
Frontage Buildout	40% min.	
Glazing at Ground Level	10% min. - 30% max.	
Glazing at Upper Level(s)	10% min. - 30% max.	
Frontage Types		
At Principal Frontage	Porch or Stoop	
Building height (to eave of a pitched roof)		
Principal Building	35 ft. max.	

COMPOUND (UE)

LOT TYPE 2A

INTENT:
Type 2A is a lot containing several build-
ings, including separate dwelling units.
Syn.: Campus



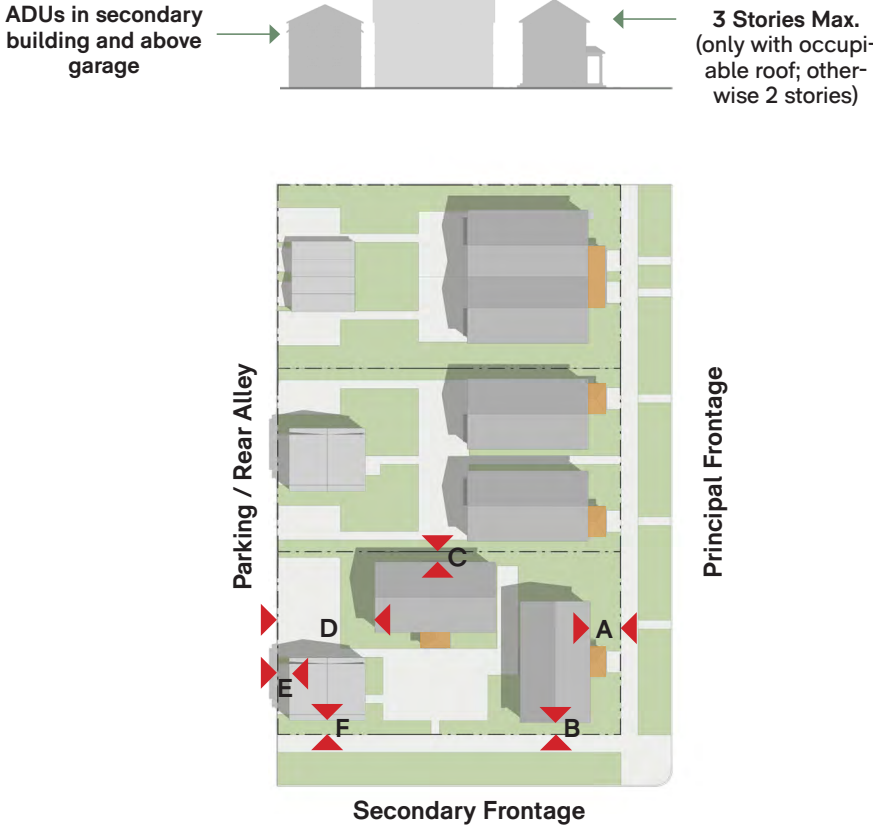
Lot Occupation		
Max. Lot Coverage by Buildings	60%	
Building Setbacks - Principal Building		
A Principal Frontage	5 - 24 ft.	
B Secondary Frontage	5 ft. min.	
C Side Setback	5 ft. min.	
D Rear Setback (Building)	50 ft. min.	
Building Setbacks - Outbuilding/Accessory Building		
E Rear Setback (to alley)	3 ft. min.	
F Side Setback	5 ft. min.	
Encroachments into Building Setbacks		
Principal Frontage	8 ft. max.	
Secondary Frontage	3 ft. max.	
Side	3 ft. max.	
Rear	8 ft. max.	

Frontage Requirements		
Frontage Buildout	50% min.	
Glazing at Ground Level	10% min. - 30% max.	
Glazing at Upper Level(s)	10% min. - 30% max.	
Frontage Types		
At Principal Frontage	Porch or Stoop	
Building height (to eave of a pitched roof)		
Principal Building	35 ft. max.	

COMPOUND (GU)

LOT TYPE 2B

INTENT:
Type 2B is a lot containing several build-
ings, including separate dwelling units.
Syn.: Campus



Lot Occupation		
Max. Lot Coverage by Buildings	60%	
Building Setbacks - Principal Building		
A Principal Frontage	5 - 18 ft.	
B Secondary Frontage	5 ft. min.	
C Side Setback	5 ft. min.	
D Rear Setback (Building)	50 ft. min.	
Building Setbacks - Outbuilding/Accessory Building		
E Rear Setback (to alley)	3 ft. min.	
F Side Setback	5 ft. min.	
Encroachments into Building Setbacks		
Principal Frontage	8 ft. max.	
Secondary Frontage	3 ft. max.	
Side	3 ft. max.	
Rear	8 ft. max.	

Frontage Requirements		
Frontage Buildout	50% min.	
Glazing at Ground Level	10% min. - 30% max.	
Glazing at Upper Level(s)	10% min. - 30% max.	
Frontage Types		
At Principal Frontage	Porch or Stoop	
Building height (to eave of a pitched roof)		
Principal Building	35 ft. max.	

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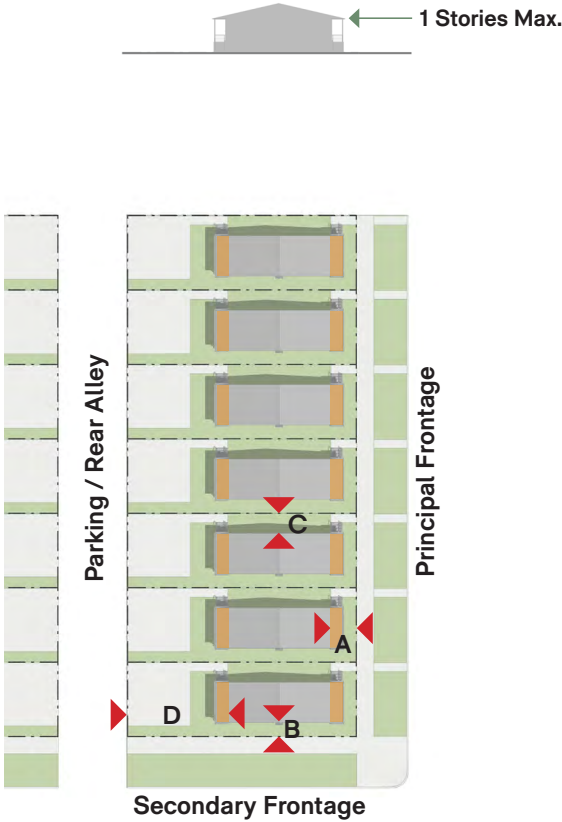
Development Standards

PARK MODEL (UE)

LOT TYPE 3A

INTENT:

Type 3A is an edgeward manufactured dwelling that is certified as a recreational vehicle and is trans-portable, but is designed for permanent placement where an RV or mobile home is allowed.



Lot Occupation		
Max. Lot Coverage by Buildings	40%	
Building Setbacks - Principal Building		
A	Principal Frontage	5 - 24 ft.
B	Secondary Frontage	5 ft. min.
C	Side Setback	5 ft. min.
D	Rear Setback (Building)	25 ft. min.
Encroachments into Building Setbacks		
Principal Frontage	8 ft. max.	
Secondary Frontage	3 ft. max.	
Side	3 ft. max.	
Rear	8 ft. max.	

Frontage Requirements	
Frontage Buildout	50% min.
Glazing at Ground Level	10% min. - 30% max.
Frontage Types	
At Principal Frontage	Porch
Building height (to eave of a pitched roof)	
Principal Building	16 ft. max.

PARK MODEL (GU)

LOT TYPE 3B

INTENT:

Type 3B is an edgeward manufactured dwelling that is certified as a recreational vehicle and is trans-portable, but is designed for permanent placement where an RV or mobile home is allowed.



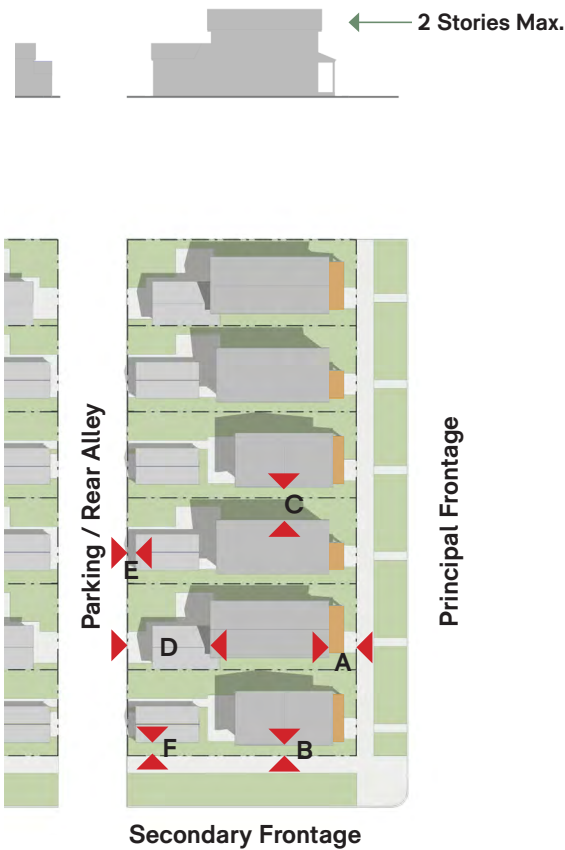
Lot Occupation		
Max. Lot Coverage by Buildings	40%	
Building Setbacks - Principal Building		
A	Principal Frontage	5 - 18 ft.
B	Secondary Frontage	5 ft. min.
C	Side Setback	5 ft. min.
D	Rear Setback (Building)	25 ft. min.
Encroachments into Building Setbacks		
Principal Frontage	8 ft. max.	
Secondary Frontage	3 ft. max.	
Side	3 ft. max.	
Rear	8 ft. max.	

Frontage Requirements	
Frontage Buildout	50% min.
Glazing at Ground Level	10% min. - 30% max.
Frontage Types	
At Principal Frontage	Porch
Building height (to eave of a pitched roof)	
Principal Building	16 ft. max.

SMALL LOT SINGLE-FAMILY (UE)

LOT TYPE 4A

INTENT:
Type 4A is an edgeward building type. It consists of a small single-family dwelling on a lot shared with an ancillary building in the rear yard.



Lot Occupation		
Max. Lot Coverage by Buildings	50%	
Building Setbacks - Principal Building		
A Principal Frontage	5 - 24 ft.	
B Secondary Frontage	3 ft. min.	
C Side Setback	3 ft. min.	
D Rear Setback (Building)	25 ft. min.	
Building Setbacks - Outbuilding/Accessory Building		
E Rear Setback (to alley)	3 ft. min.	
F Side Setback	3 ft. min.	
Encroachments into Building Setbacks		
Principal Frontage	8 ft. max.	
Secondary Frontage	2 ft. max.	
Side	0 ft. max.	
Rear	8 ft. max.	

Frontage Requirements	
Frontage Buildout	60% min.
Glazing at Ground Level	10% min. - 50% max.
Glazing at Upper Level(s)	10% min. - 50% max.
Frontage Types	
At Principal Frontage	Porch or Stoop
Building height (to eave of a pitched roof)	
Principal Building	35 ft. max.

SMALL LOT SINGLE-FAMILY (GU)

LOT TYPE 4B

INTENT:
Type 4B is an edgeward building type. It consists of a small single-family dwelling on a lot shared with an ancillary building in the rear yard.



Lot Occupation		
Max. Lot Coverage by Buildings	50%	
Building Setbacks - Principal Building		
A Principal Frontage	5 - 18 ft.	
B Secondary Frontage	3 ft. min.	
C Side Setback	3 ft. min.	
D Rear Setback (Building)	25 ft. min.	
Building Setbacks - Outbuilding/Accessory Building		
E Rear Setback (to alley)	3 ft. min.	
F Side Setback	3 ft. min.	
Encroachments into Building Setbacks		
Principal Frontage	8 ft. max.	
Secondary Frontage	2 ft. max.	
Side	0 ft. max.	
Rear	8 ft. max.	

Frontage Requirements	
Frontage Buildout	60% min.
Glazing at Ground Level	10% min. - 50% max.
Glazing at Upper Level(s)	10% min. - 50% max.
Frontage Types	
At Principal Frontage	Porch or Stoop
Building height (to eave of a pitched roof)	
Principal Building	35 ft. max.

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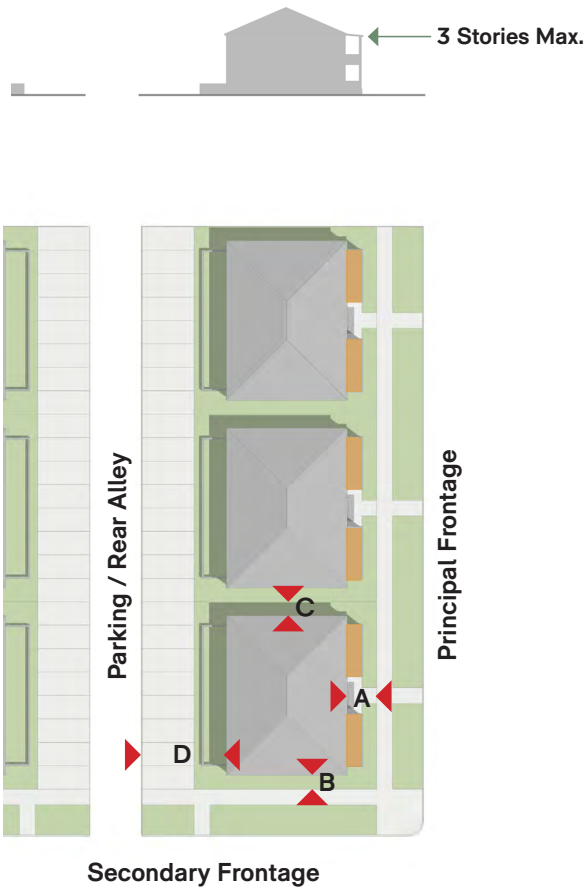
Development Standards

APARTMENT VILLA (UE)

LOT TYPE 5A

INTENT:

Type 5A is a rearyard building type designed similarly to a large house or villa, but contains several multi-family units. This type fits well on a street of single-family homes. *Syn.:* **Mansion Apartments, Senior Apartments**



Lot Occupation		
Max. Lot Coverage by Buildings	60%	
Building Setbacks - Principal Building		
A Principal Frontage	5 - 24 ft.	
B Secondary Frontage	5 ft. min.	
C Side Setback	5 ft. min.	
D Rear Setback (Building)	25 ft. min.	
Encroachments into Building Setbacks		
Principal Frontage	8 ft. max.	
Secondary Frontage	3 ft. max.	
Side or Rear	3 ft. max.	
Rear	8 ft. max.	

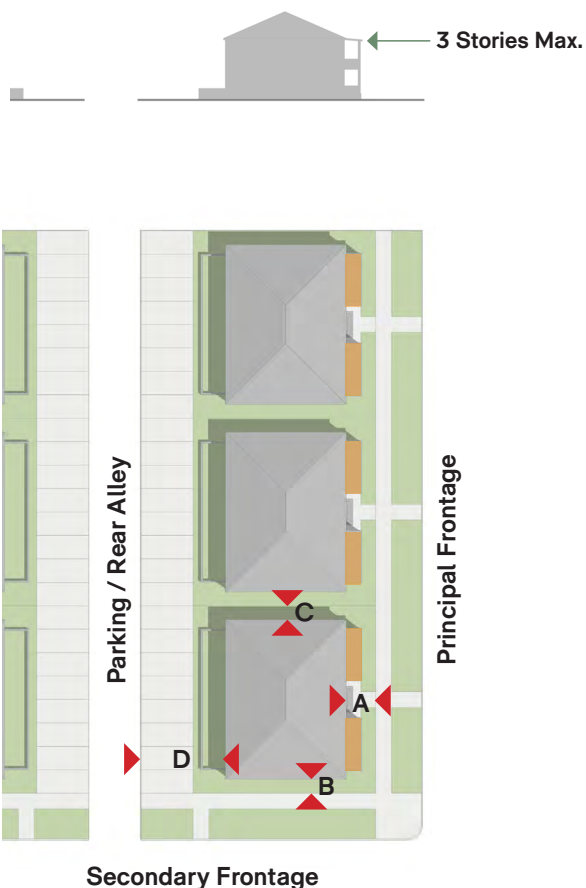
Frontage Requirements	
Frontage Buildout	60% min.
Glazing at Ground Level	10% min. - 50% max.
Glazing at Upper Level(s)	10% min. - 50% max.
Frontage Types	
At Principal Frontage	Stoop
Building height (to eave of a pitched roof)	
Principal Building	35 ft. max.

APARTMENT VILLA (GU)

LOT TYPE 5B

INTENT:

Type 5B is a rearyard building type designed similarly to a large house or villa, but contains several multi-family units. This type fits well on a street of single-family homes. *Syn.:* **Mansion Apartments, Senior Apartments**



Lot Occupation		
Max. Lot Coverage by Buildings	60%	
Building Setbacks - Principal Building		
A Principal Frontage	5 - 18 ft.	
B Secondary Frontage	5 ft. min.	
C Side Setback	5 ft. min.	
D Rear Setback (Building)	25 ft. min.	
Encroachments into Building Setbacks		
Principal Frontage	8 ft. max.	
Secondary Frontage	3 ft. max.	
Side or Rear	3 ft. max.	
Rear	8 ft. max.	

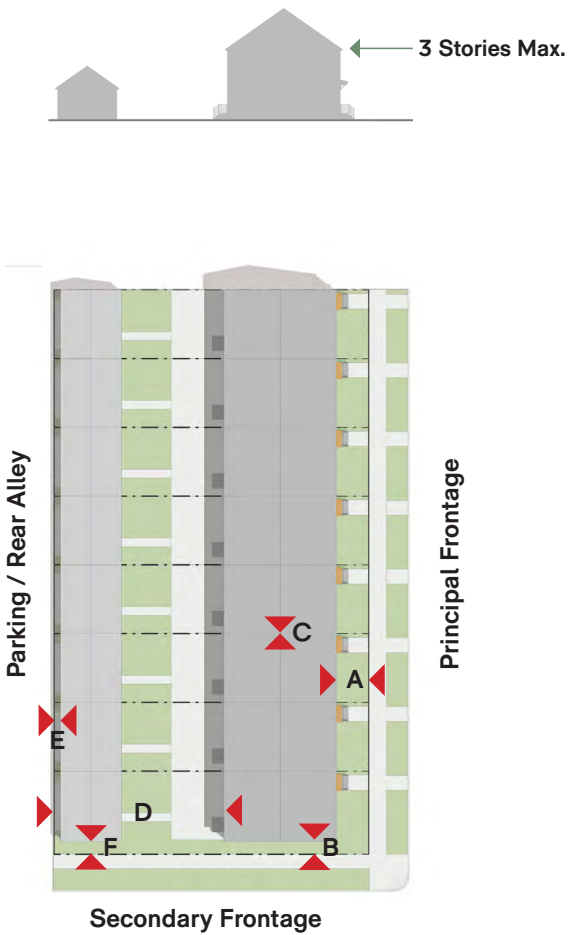
Frontage Requirements	
Frontage Buildout	60% min.
Glazing at Ground Level	10% min. - 50% max.
Glazing at Upper Level(s)	10% min. - 50% max.
Frontage Types	
At Principal Frontage	Stoop
Building height (to eave of a pitched roof)	
Principal Building	35 ft. max.

TOWNHOUSE (UE)

LOT TYPE 6A

INTENT:

Type 6A is a rearyard building type. A single-family dwelling with common walls on the side lot lines, the facades forming a continuous frontage line.
Syn.: **Rowhouse, Terrace House**



Lot Occupation		
Max. Lot Coverage by Buildings	90%	
Building Setbacks - Principal Building		
A Principal Frontage	5 - 24 ft.	
B Secondary Frontage	5 ft. min.	
C Side Setback	0 ft. min.	
D Rear Setback (Building)	3 ft. min.	
Building Setbacks - Outbuilding/Accessory Building		
E Rear Setback (to alley)	3 ft. min.	
F Side Setback	0 ft. min.	
Encroachments into Building Setbacks		
Principal Frontage	12 ft. max.	
Secondary Frontage	3 ft. max.	
Side	0 ft.	
Rear	3 ft. max.	

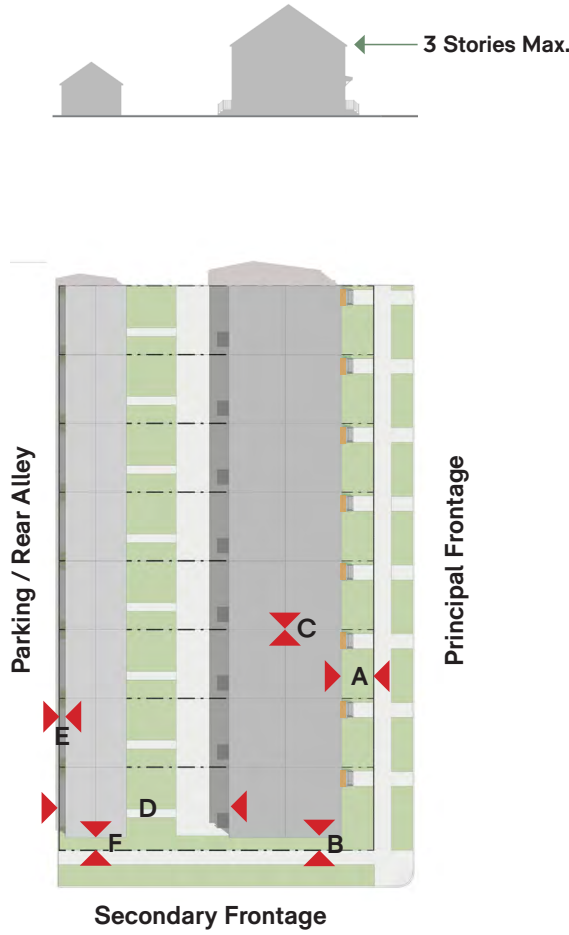
Frontage Requirements	
Frontage Buildout	60% min.
Glazing at Ground Level	10% min. - 50% max.
Glazing at Upper Level(s)	10% min. - 50% max.
Frontage Types	
At Principal Frontage	Stoop
Building height (to eave of a pitched roof or top of parapet wall)	
Principal Building	35 ft. max.

TOWNHOUSE (GU)

LOT TYPE 6B

INTENT:

Type 6B is a rearyard building type. A single-family dwelling with common walls on the side lot lines, the facades forming a continuous frontage line.
Syn.: **Rowhouse, Terrace House**



Lot Occupation		
Max. Lot Coverage by Buildings	90%	
Building Setbacks - Principal Building		
A Principal Frontage	5 - 18 ft.	
B Secondary Frontage	5 ft. min.	
C Side Setback	0 ft. min.	
D Rear Setback (Building)	3 ft. min.	
Building Setbacks - Outbuilding/Accessory Building		
E Rear Setback (to alley)	3 ft. min.	
F Side Setback	0 ft. min.	
Encroachments into Building Setbacks		
Principal Frontage	12 ft. max.	
Secondary Frontage	3 ft. max.	
Side	0 ft.	
Rear	3 ft. max.	

Frontage Requirements	
Frontage Buildout	60% min.
Glazing at Ground Level	10% min. - 50% max.
Glazing at Upper Level(s)	10% min. - 50% max.
Frontage Types	
At Principal Frontage	Stoop
Building height (to eave of a pitched roof or top of parapet wall)	
Principal Building	35 ft. max.

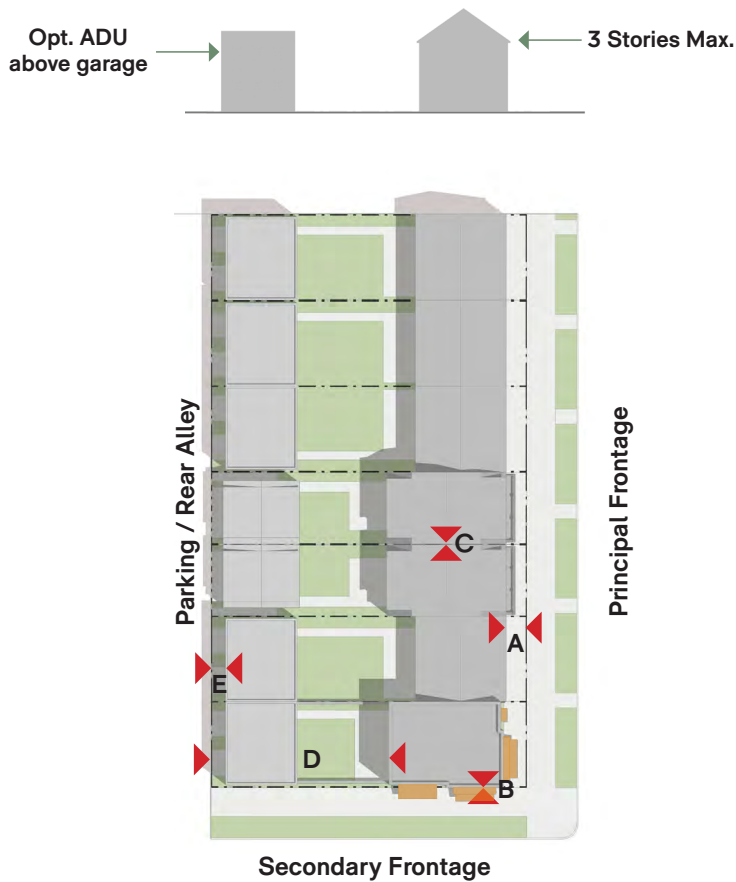
PD Development Guide

Development Standards

LIVE/WORK (GU)

LOT TYPE 7A

INTENT:
Type 7A is a rearyard, fully mixed-use building type with one dwelling above or behind a commercial space. *Syn.: Flexhouse, Shop-front.*



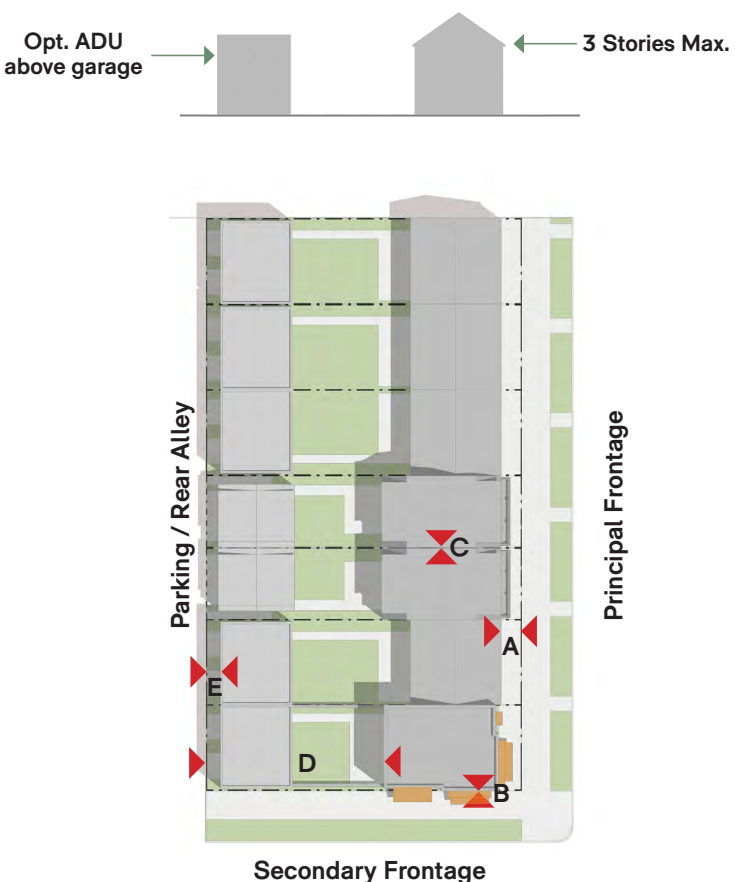
Lot Occupation		
Max. Lot Coverage by Buildings	70%	
Building Setbacks - Principal Building		
A Principal Frontage	5 - 18 ft.	
B Secondary Frontage	0 - 5 ft.	
C Side Setback	0 ft.	
D Rear Setback (Building)	3 ft. min.	
Building Setbacks - Outbuilding/Accessory Building		
E Rear Setback (to alley)	3 ft. min.	
F Side Setback	0 ft. min.	
Encroachments into Building Setbacks		
Principal Frontage	3 ft. max.	
Secondary Frontage	3 ft. max.	
Side	0 ft.	
Rear	3 ft. max.	

Frontage Requirements	
Frontage Buildout	60% min.
Glazing at Ground Level	50% min. - 80% max.
Glazing at Upper Level(s)	30% min. - 50% max.
Frontage Types	
At Principal Frontage	Shopfront, Stoop
Building height (to eave of a pitched roof or top of parapet wall)	
Principal Building	35 ft. max.

LIVE/WORK (UC)

LOT TYPE 7B

INTENT:
Type 7B is a rearyard, fully mixed-use building type with one dwelling above or behind a commercial space. *Syn.: Flexhouse, Shop-front.*



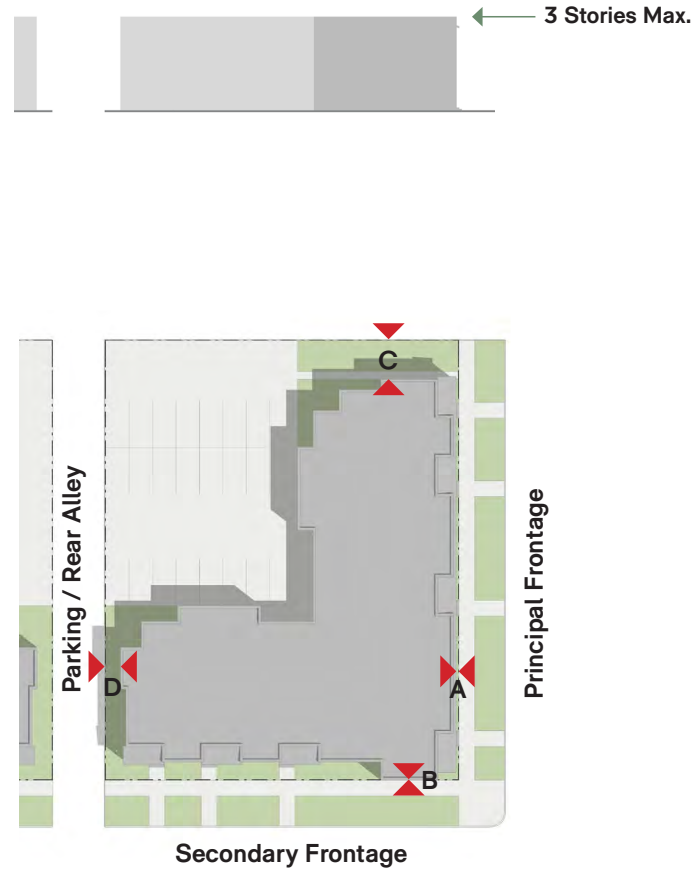
Lot Occupation		
Max. Lot Coverage by Buildings	70%	
Building Setbacks - Principal Building		
A Principal Frontage	0 - 12 ft.	
B Secondary Frontage	0 - 5 ft.	
C Side Setback	0 ft.	
D Rear Setback (Building)	3 ft. min.	
Building Setbacks - Outbuilding/Accessory Building		
E Rear Setback (to alley)	3 ft. min.	
F Side Setback	0 ft. min.	
Encroachments into Building Setbacks		
Principal Frontage	3 ft. max.	
Secondary Frontage	3 ft. max.	
Side	0 ft.	
Rear	3 ft. max.	

Frontage Requirements	
Frontage Buildout	60% min.
Glazing at Ground Level	50% min. - 80% max.
Glazing at Upper Level(s)	30% min. - 50% max.
Frontage Types	
At Principal Frontage	Shopfront, Stoop
Building height (to eave of a pitched roof or top of parapet wall)	
Principal Building	35 ft. max.

APARTMENT BUILDING (GU)

LOT TYPE 8A

INTENT:
Type 8A is a rearyard residential building type accommodating multiple dwellings disposed above and beside each other, sharing a common entry.
Syn.: Loft Building



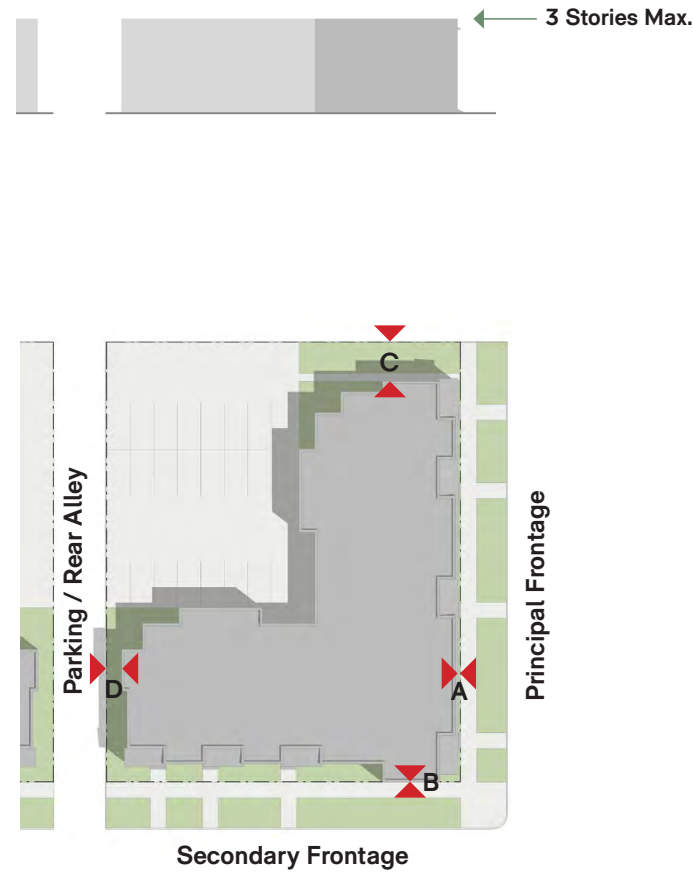
Lot Occupation		
Max. Lot Coverage by Buildings	60%	
Building Setbacks - Principal Building		
A	Principal Frontage	5 - 18 ft.
B	Secondary Frontage	0 - 12 ft.
C	Side Setback	0 - 5 ft.
D	Rear Setback (Building)	3 ft. min.
Encroachments into Building Setbacks		
	Principal Frontage	8 ft. max.
	Secondary Frontage	3 ft. max.
	Side	3 ft. max.
	Rear	8 ft. max.

Frontage Requirements		
Frontage Buildout	80% min.	
Glazing at Ground Level	30% min. - 60% max.	
Glazing at Upper Level(s)	30% min. - 60% max.	
Frontage Types		
At Principal Frontage	Shopfront, Stoop	
Building height (to eave of a pitched roof or top of parapet wall)		
Principal Building	35 ft. max.	

APARTMENT BUILDING (UC)

LOT TYPE 8B

INTENT:
Type 8B is a rearyard residential building type accommodating multiple dwellings disposed above and beside each other, sharing a common entry.
Syn.: Loft Building



Lot Occupation		
Max. Lot Coverage by Buildings	60%	
Building Setbacks - Principal Building		
A	Principal Frontage	0 - 12 ft.
B	Secondary Frontage	0 - 5 ft.
C	Side Setback	0 - 5 ft.
D	Rear Setback (Building)	3 ft. min.
Encroachments into Building Setbacks		
	Principal Frontage	5 ft. max.
	Secondary Frontage	3 ft. max.
	Side	3 ft. max.
	Rear	8 ft. max.

Frontage Requirements		
Frontage Buildout	80% min.	
Glazing at Ground Level	30% min. - 60% max.	
Glazing at Upper Level(s)	30% min. - 60% max.	
Frontage Types		
At Principal Frontage	Shopfront, Stoop	
Building height (to eave of a pitched roof or top of parapet wall)		
Principal Building	35 ft. max.	

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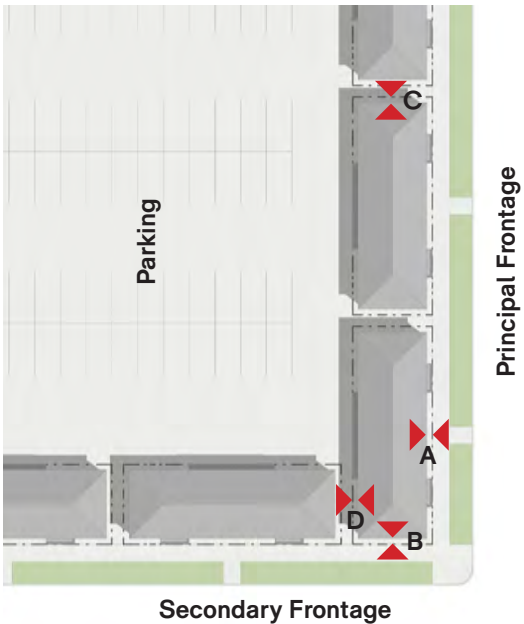
Development Standards

LINER BUILDING (GU)

LOT TYPE 9A

INTENT:

Type 9A is a rearyard residential building type accommodating multiple dwellings disposed above and beside each other, sharing a common entry.
Syn.: Loft Building



Lot Occupation		
Max. Lot Coverage by Buildings	90%	
Building Setbacks - Principal Building		
A Principal Frontage	5 - 18 ft.	
B Secondary Frontage	0 - 5 ft.	
C Side Setback	0 - 5 ft.	
D Rear Setback (Building)	3 ft. min.	
Encroachments into Building Setbacks		
Principal Frontage	5 ft. max.	
Secondary Frontage	3 ft. max.	
Side	3 ft. max.	
Rear	5 ft. max.	

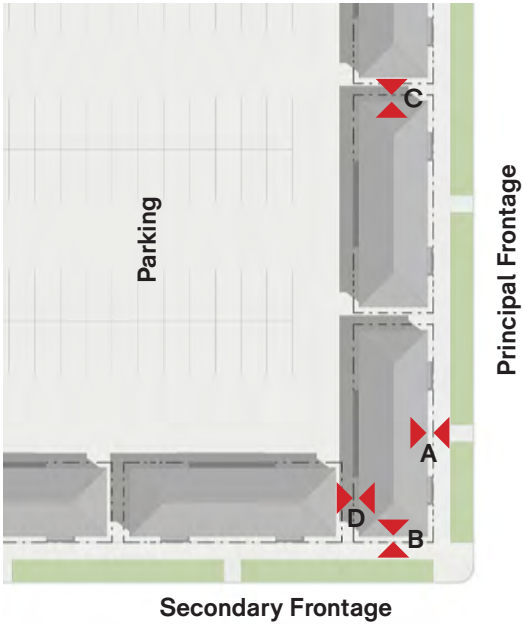
Frontage Requirements		
Frontage Buildout	90% min.	
Glazing at Ground Level	20% min. - 50% max.	
Glazing at Upper Level(s)	20% min. - 50% max.	
Frontage Types		
At Principal Frontage	Shopfront, Stoop	
Building height (to eave of a pitched roof or top of parapet wall)		
Principal Building	35 ft. max.	

LINER BUILDING (UC)

LOT TYPE 9B

INTENT:

Type 9B is a rearyard residential building type accommodating multiple dwellings disposed above and beside each other, sharing a common entry.
Syn.: Loft Building



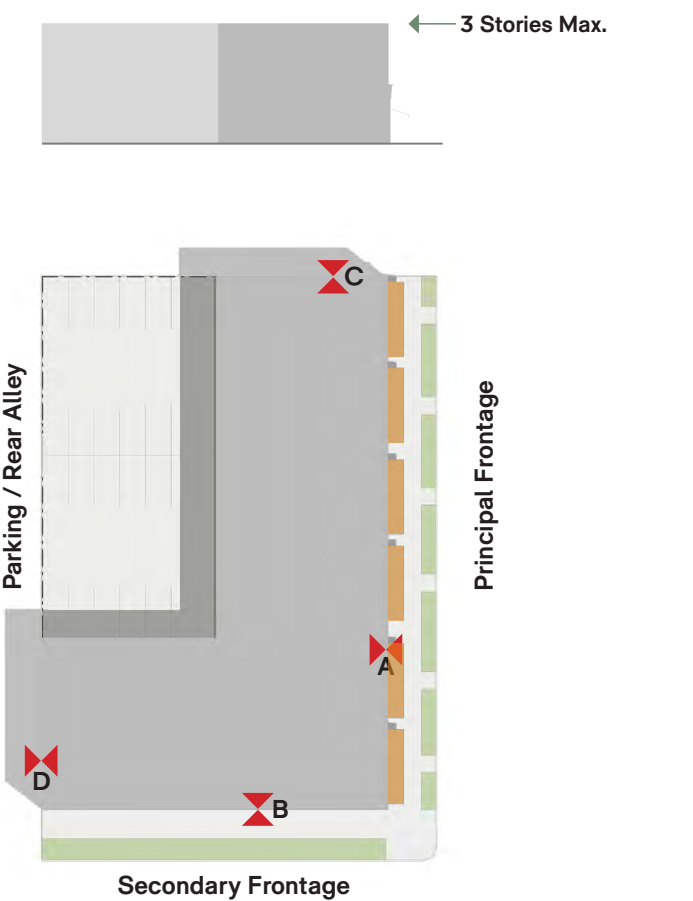
Lot Occupation		
Max. Lot Coverage by Buildings	90%	
Building Setbacks - Principal Building		
A Principal Frontage	0 - 12 ft.	
B Secondary Frontage	0 - 5 ft.	
C Side Setback	0 - 5 ft.	
D Rear Setback (Building)	3 ft. min.	
Encroachments into Building Setbacks		
Principal Frontage	5 ft. max.	
Secondary Frontage	3 ft. max.	
Side	3 ft. max.	
Rear	5 ft. max.	

Frontage Requirements		
Frontage Buildout	90% min.	
Glazing at Ground Level	20% min. - 50% max.	
Glazing at Upper Level(s)	20% min. - 50% max.	
Frontage Types		
At Principal Frontage	Shopfront, Stoop	
Building height (to eave of a pitched roof or top of parapet wall)		
Principal Building	35 ft. max.	

MIXED-USE BUILDING (GU)

LOT TYPE 10A

INTENT:
Type 10A is a rearyard, flexible residential and/or commercial type. Commercial buildings have floorplates deeper than residential ones. Syn.: **Flex Building, Office Building.**



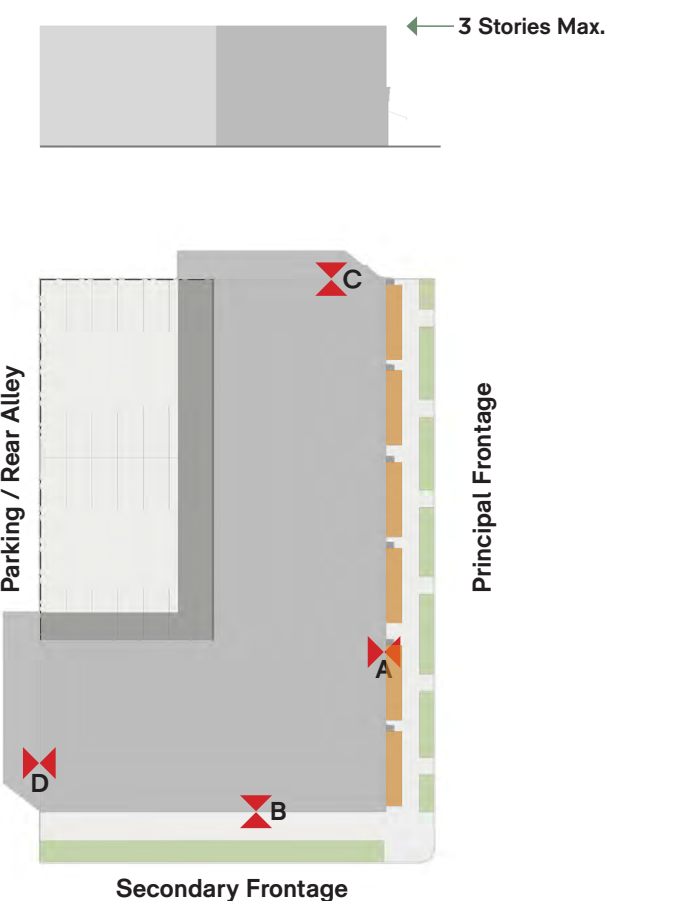
Lot Occupation		
Max. Lot Coverage by Buildings	70%	
Building Setbacks - Principal Building		
A	Principal Frontage	5 - 18 ft.
B	Secondary Frontage	0 - 5 ft.
C	Side Setback	0 - 5 ft.
D	Rear Setback (Building)	0 ft. min.
Encroachments into Building Setbacks		
Principal Frontage	8 ft. max.	
Secondary Frontage	8 ft. max.	
Side	3 ft. max.	
Rear	3 ft. max.	

Frontage Requirements		
Frontage Buildout	90% min.	
Glazing at Ground Level	30% min. - 60% max.	
Glazing at Upper Level(s)	30% min. - 60% max.	
Frontage Types		
At Principal Frontage	Shopfront, Stoop	
Building height (to eave of a pitched roof or top of parapet wall)		
Principal Building	35 ft. max.	

MIXED-USE BUILDING (UC)

LOT TYPE 10B

INTENT:
Type 10B is a rearyard, flexible residential and/or commercial type. Commercial buildings have floorplates deeper than residential ones. Syn.: **Flex Building, Office Building.**



Lot Occupation		
Max. Lot Coverage by Buildings	70%	
Building Setbacks - Principal Building		
A	Principal Frontage	0 - 12 ft.
B	Secondary Frontage	0 - 5 ft.
C	Side Setback	0 - 5 ft.
D	Rear Setback (Building)	0 ft. min.
Encroachments into Building Setbacks		
Principal Frontage	8 ft. max.	
Secondary Frontage	8 ft. max.	
Side	3 ft. max.	
Rear	3 ft. max.	

Frontage Requirements		
Frontage Buildout	90% min.	
Glazing at Ground Level	30% min. - 60% max.	
Glazing at Upper Level(s)	30% min. - 60% max.	
Frontage Types		
At Principal Frontage	Shopfront, Stoop	
Building height (to eave of a pitched roof or top of parapet wall)		
Principal Building	35 ft. max.	

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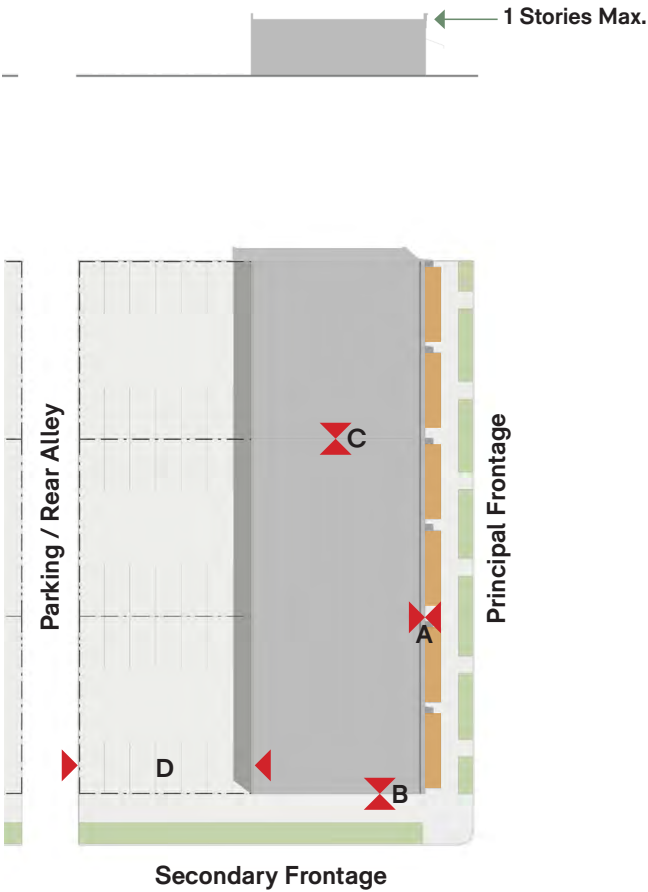
Development Standards

RETAIL BUILDING

LOT TYPE 11

INTENT:

Type 11 is a purpose-built building solely designed for the sale of services or goods to the public for consumption. Is generally located in proximity to residential or commercial areas, with convenient access to parking, automobile and pedestrian traffic. *Syn.:* **Store, Shop, Restaurant.**



Lot Occupation		
Max. Lot Coverage by Buildings	50%	
Building Setbacks - Principal Building		
A	Principal Frontage	0 - 12 ft.
B	Secondary Frontage	0 - 12 ft.
C	Side Setback	0 - 5 ft.
D	Rear Setback (Building)	25 ft. min.
Encroachments into Building Setbacks		
Principal Frontage	8 ft. max.	
Secondary Frontage	8 ft. max.	
Side	3 ft. max.	
Rear	3 ft. max.	

Frontage Requirements		
Frontage Buildout	90% min.	
Glazing at Ground Level	50% min. - 80% max.	
Frontage Types		
At Principal Frontage	Shopfront	
Building height (to eave of a pitched roof or top of parapet wall)		
Principal Building	20 ft. max.	

GROCERY STORE

LOT TYPE 12

INTENT:

Type 12 is a retail building purpose-built to primarily sell food, either fresh or preserved. Is generally located centrally in a regional catchment area, with convenient access to parking, automobile and pedestrian traffic. *Syn.:* **Supermarket**



Lot Occupation		
Max. Lot Coverage by Buildings	60%	
Building Setbacks - Principal Building		
A	Principal Frontage	0 - 12 ft.
B	Secondary Frontage	0 - 12 ft.
C	Side Setback	0 - 5 ft.
D	Rear Setback (Building)	25 ft. min.
Encroachments into Building Setbacks		
Principal Frontage	8 ft. max.	
Secondary Frontage	8 ft. max.	
Side	3 ft. max.	
Rear	3 ft. max.	

Frontage Requirements		
Frontage Buildout	50% min.	
Glazing at Ground Level	50% min. - 80% max.	
Frontage Types		
At Principal Frontage	Shopfront	
Building height (to eave of a pitched roof or top of parapet wall)		
Principal Building	20 ft. max.	



Figure 1. A-Frame Sign



Figure 2. Awning Sign



Figure 3. Canopy Sign



Figure 4. Corner Sign

A. SIGNAGE SECTION

Address numbers shall be mounted in an approved manner as specified by the Planning Division, and displayed in accordance with municipal standards.

1. Entrances to buildings including multi-family housing may install one directory sign, no more than 4 s.f. at each entry.
2. Commercial Signage shall be presented as integrated to the shopfront, and may include up to three of the following signage elements for each shopfront:
 - a. A-frame sidewalk signs may only be used if there is adequate clearance for pedestrian passage (min 8 ft.), subject to approval by the Town (see Figure 1 and Table 1).
 - b. Fabric awning signs may be used on the vertical valance only. The awning shall comply with municipal standards (see Figure 2 and Table 1).
 - c. Canopy Signs should only be located within the first 4 in. from the outer edges of the canopy, unless using a hanging sign

(see Figure 3 and Table 1).

- d. Corner signs shall project a maximum of 3.5 ft. from the building facade, measured to the outer most edge of the sign from the wall (see Figure 4 and Table 1).
- e. Ground signs should only be used to indicate buildings or places of particular importance, such as the entrance to Parks or Civic spaces, at the discretion of the Planning Division (see Figure 5 and Table 1).
- f. Hanging signs shall only be used under canopies or other approved structural elements that project a minimum of 5 ft. from the facade. Hanging sign dimensions shall follow those of projecting blade signs (see Figure 6 and Table 1).
- g. Horizontal wall sign shall be placed on the signage band no more than 2 ft. high placed above the storefront (see Figure 18 and Table 1).
- h. Projecting blade signs shall not be larger than 2 ft. high x

3 ft. wide constructed of wood or metal and supported by metal brackets and supports. It shall not project more than 5 ft. from the building facade. This is the preferred signage for pedestrian visibility (see Figure 8 and Table 1).

- i. Wall signage and art murals shall only be allowed if approved by the Planning Division (see Figure 9 and Table 1).
- j. Window signs should use hand painted letters and graphics (two colors maximum) applied to the storefront glazing that do not substantially obscure visibility of the interior of the shop (see Figures 10 and Table 1).
- k. Neon signs shall be installed behind the storefront glazing and no larger than 60 x 150 cm.
- l. All signs must be externally illuminated, with the exception of neon signs.
- m. Sign designs are subject to approval by the Planning Division.

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Signage Standards

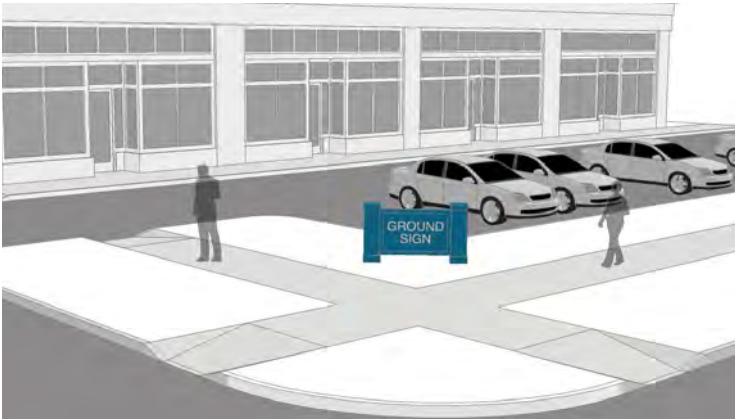


Figure 5. Ground Sign



Figure 6. Hanging Sign



Figure 7. Horizontal Wall Sign



Figure 8. Projecting Blade Sign



Figure 9. Wall Mural Sign (only by approval from the Planning Division)



Figure 10. Window Sign

SIGN	HEIGHT	NUMBER (MAX.)	SIGN AREA (MAX.)	COPY HEIGHT (MAX.)
ADDRESS	1 ft max.	1 per frontage	2 s.f. per sign face	n/a
A-FRAME	3 ft max.	1 per ground floor tenant	max. 3 ft. high max. 2.5 ft. wide	n/a
AWNING	n/a	n/a	25% of sloping plane	8 in.
CANOPY	n/a	1 per entry	2 s.f. per linear ft. of storefront	8 in.
CORNER	n/a	1 per frontage	12 s.f.	1.5 ft.
GROUND	6 ft. max.	1 per lot	50 s.f.	1.5 ft.
HANGING	n/a	1 per tenant	6 s.f. per side	8 in.
HORIZONTAL WALL	n/a	1 per entry	3 s.f. per linear ft. of storefront	18 in. or 30 in. if over 40 ft. from ROW
PROJECTING BLADE	n/a	1 per tenant	6.5 s.f. per side	8 in.
WALL MURAL	n/a	1 per building	n/a	n/a
WINDOW	n/a	n/a	10% of window	6 in.

Table 1. Signage Requirements

Note: Definitions are included for terms that are referenced in the text of this document. The inclusion of the term here does not necessarily imply that it is used in the Development Guide. Other definitions, not included below, can be found in the Unified Development Code.

Accessory Building: an outbuilding with an accessory unit.

Accessory Dwelling Unit (ADU): a secondary or tertiary housing unit on a single-family lot.

Allee: a regularly spaced and aligned row of trees usually planted along a thoroughfare or path.

Alley: a thoroughfare, or access easement, designated to be a secondary means of vehicular access to the rear or side of properties; an Alley may connect to a vehicular driveway located to the rear of lots providing access to outbuildings, service areas and parking, and may contain utility easements.

Ancillary Structure/Roof: a secondary structure attached to the main structure, typically in the form of a one-story structure attached to a two-story structure.

Apartment: a residential unit sharing a building and a lot with other units and/or uses; may be for rent, or for sale as part of a block. Syn: flat.

Arcade: a private frontage conventional for retail use wherein the facade is a colonnade supporting habitable space that overlaps the sidewalk, while the facade at sidewalk level remains at the frontage line.

Attic: the interior part of a building contained within a pitched roof structure.

Awning: a fixed or movable shading structure, cantilevered or otherwise entirely supported from a building, used to protect outdoor spaces from sun, rain, and other natural conditions. Awnings are typically used to cover outdoor seating for restaurants and cafés.

Awning Sign: lettering applied directly on the valance or other vertical portion of an awning

Backbuilding: a single-story structure connecting a principal building to an outbuilding.

Band Sign: a sign that is attached flat on the exterior front, rear or side wall of any building or other structure

Blade Sign: a sign made from rigid material mounted perpendicular to a building wall with one side attached or supported by a device extending from a building wall.

Block: the aggregate of private lots, passages, rear alleys and rear lanes, circumscribed by thoroughfares.

Block Face: the aggregate of all the building façades on one side of a block.

Building Height: the vertical extent of a building measured

in stories.

Build-to Line: used in lieu of a setback; it establishes a plane along which the building facade, or indicated building component, must be placed in order to produce a continuously aligned street wall.

Civic: the term defining organizations dedicated primarily to community benefit through the arts, culture, education, recreation, government, transport, and municipal parking.

Civic Building: a building operated by organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking, or for other community benefit.

Civic Space: an outdoor area dedicated for public use. Civic space types are defined by the combination of certain physical constraints including the relationships among their intended use, their size, their planting and their enfronting buildings.

Close: a pedestrian way, traversing a block with housing units and commercial uses along it.

Commercial: the term collectively defining workplace, office, retail, and lodging functions.

Common Area: a planted private frontage wherein the facade is set back from the frontage line. It is visually continuous with adjacent yard areas.

Configuration: the form of a building, based on its massing, private frontage, and height.

Continuous Planter: a narrow strip of turf bordering on a public frontage which accommodates street trees, whether continuous or individual.

Courtyard Building: a building that occupies the boundaries of its lot while internally defining one or more private patios.

Disposition: the placement of a building on its lot.

Driveway: a vehicular lane within a lot, often leading to a garage.

Elevation: an exterior wall of a building not along a frontage line. See: **Facade**.

Encroach: to break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a setback, into the public frontage, or above a height limit.

Encroachment: any building element that breaks the plane of a vertical or horizontal regulatory limit, extending into a setback, into the public frontage, or above a height limit.

Enfront: to place an element along a frontage, as in “porches enfront the street.”

Exception: a ruling that would permit a practice that is not consistent with a specific provision of this Code, but that is

justified by its intent.

Facade: the exterior wall of a building that is set along a frontage line. See **Elevation**.

Focal Elements: focuses specifically on a point of interest along a street. Focal elements should be emphasized by architectural design.

Forecourt: a private frontage wherein a portion of the facade is close to the frontage line and the central portion is set back.

Frontage: the area between a building facade and the public right-of-way, inclusive of its built and planted components. Frontage is divided into private frontage and public frontage.

Frontage Buildout: the minimum percentage of the length of a build-to line along which a building façade must be constructed in order to properly define the public space of the street.

Frontage Line: a lot line bordering a public frontage. Façades facing frontage lines define the public realm and are therefore more regulated than the elevations facing other lot lines.

Function: the use or uses accommodated by a building and its lot, categorized as restricted, limited, or open, according to the intensity of the use.

Green: a civic space type for unstructured recreation, spatially defined by planting rather than building frontages.

Habitable Space: space in a building for living, sleeping, eating or cooking. Bathrooms, toilet compartments, closets, halls, storage or utility spaces, and similar areas are not considered habitable space.

Home Occupation: non-retail commercial enterprises. The work quarters should be invisible from the frontage, located either within the house or in an outbuilding. Permitted activities are defined by the restricted office category.

Laneway: same as alley

Lightwell: a private frontage type that is a below-grade entrance or recess designed to allow light into basements.

Liner Building: a building specifically designed to mask a parking lot or a Parking Structure from a Frontage.

Live/Work: a mixed use unit consisting of a commercial and residential function. It typically has a substantial commercial component that may accommodate employees and walk-in trade. The unit is intended to function predominantly as work space with incidental residential accommodations that meet basic habitability requirements.

Lot: a parcel of land accommodating a building or buildings of unified design. The size of a lot is controlled by its width in order to determine the grain (i.e., fine grain or coarse

grain) of the urban fabric.

Lot Line: the boundary that legally and geometrically demarcates a lot.

Lot Width: the length of the principal frontage line of a lot.

Marquee: a tall rooflike projection above a theater entrance, usually containing the name of a currently featured play or film and its stars.

Median: the dividing area between two opposing lanes of traffic. Within boulevards and avenues, medians may be planted with predominately single species trees.

Mixed-Use: multiple functions within the same building through superimposition or adjacency, or in multiple buildings by adjacency, or at a proximity determined by exception..

Open Air Structure: an outdoor structure used for protection against rain and/or sun. The structure shall be open to the air on at least two sides, and may have a roof or trellis. Open Air Structures may not be enclosed with glass unless specifically permitted in this code.

Open Space: land intended to remain undeveloped; it may be for civic space.

Outbuilding: an accessory building, usually located toward the rear of the same lot as a principal building, and sometimes connected to the principal building by a backbuilding.

Park: a civic space type that is a natural preserve available for unstructured recreation.

Parking Garage: a building containing one or more stories of parking above grade.

Passage: a pedestrian connector, open or roofed, that passes between buildings to provide shortcuts through long blocks and connect rear parking areas to frontages.

Path: a pedestrian way traversing a Park or rural area, with landscape matching the contiguous open space, ideally connecting directly with the urban sidewalk network.

Plaza: a civic space type designed for civic purposes and commercial activities in the more urban transect zones, generally paved and spatially defined by building frontages.

Principal Building: the main building on a lot, usually located toward the frontage.

Principal Entrance: the main point of access for pedestrians into a building.

Principal Frontage: the private frontage designated to bear the address and principal entrance to the building, and the measure of the minimum lot width.

Private Frontage: the privately held layer between the frontage line and the principal building facade.

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Definitions

Public Parking lot: Publicly accessible parking lot.

Public Frontage: the area between the curb of the vehicular lanes and the frontage line.

Rear Alley: a vehicular way located to the rear of lots providing access to service areas, parking, and outbuildings and containing utility easements. Rear alleys should be paved from building face to building face, with drainage by inverted crown at the centre or with roll curbs at the edges.

Rear Lane: a vehicular way located to the rear of lots providing access to service areas, parking, and outbuildings and containing utility easements. Rear lanes may be paved lightly to driveway standards. The streetscape consists of gravel or landscaped edges, has no raised curb, and is drained by percolation.

Rear Street: a Municipal Street that serves the same function as a laneway. Syn: laneway, alley.

Rearyard Building: a building that occupies the full Frontage Line, leaving the rear of the lot as the sole yard.

Residential: characterizing premises available for long-term human dwelling.

Retail: characterizing premises available for the sale of merchandise and food service.

Retail Frontage: frontage that requires the provision of a storefront, encouraging the floor level to be available for retail use.

Road: a local, rural and suburban thoroughfare of low-to-moderate vehicular speed and capacity. This type is allocated to the more rural Transect Zones (T1-T3).

Secondary Frontage: on corner lots, the private frontage that is not the principal frontage. As it affects the public realm, its side facing the principal frontage is regulated.

Semi-detached Building: a building that occupies one side of the lot with a setback on the other side.

Setback: the area of a lot measured from the lot line to a building facade or elevation that is maintained clear of permanent structures, with the exception of encroachments.

Shared Surface: a vehicular and pedestrian way in which the pedestrian way and the vehicular way are not distinguished physically or through signage.

Shopfront: a private frontage conventional for retail use, with substantial glazing and an awning, with the facade aligned close to the frontage line and with the building entrance at sidewalk grade.

Sidewalk: the paved section of the public frontage dedicated exclusively to pedestrian activity.

Sidewalk Sign: a movable freestanding sign that is typically double-sided, places at the entrance to a business to attract pedestrians.

Specialized Building: a building that is not subject to residential, commercial, or lodging classification.

Special District: an area that, by its intrinsic function, disposition, or configuration, cannot or should not conform to one or more of the normative transect zones. Special districts may be mapped and regulated at the regional scale or the community scale.

Special Requirements: provisions designated on a regulating plan or other map requiring or advising special treatment of lots and buildings.

Square: a civic space type designed for unstructured recreation and civic purposes, spatially defined by building frontages and consisting of paths, lawns and trees, formally disposed.

Stoop: a private frontage wherein the facade is aligned close to the frontage line with the First floor elevated from the sidewalk for privacy, with an exterior stair and landing at the entrance.

Story: a habitable level within a building, excluding an attic or raised basement.

Street: a local urban thoroughfare of low speed and capacity.

Streetscreen: a freestanding wall built along the frontage line, or coplanar with the facade. Unless otherwise indicated, the streetscreen shall be minimum 3.5 ft. high.

Terminated Vista: a location at the axial conclusion of a thoroughfare.

Thoroughfare: a way for use by vehicular and pedestrian traffic and to provide access to lots and open spaces, consisting of vehicular lanes and the public frontage.

Turning Radius: the curved edge of a thoroughfare at an intersection, measured at the inside edge of the vehicular tracking. The smaller the turning radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn.

Window Sign: A sign placed or painted on the interior of a shopfront window or a window of a business door.

Yard Sign: a permanent freestanding sign on a private frontage, including a supporting post or posts.



Legend

- Existing Green Open Spaces
- Proposed Green Open Spaces
- Plazas / Paved Open Spaces
- Possible Detention Ponds

PD Development Guide

Path Network Plan



Legend

- Existing / Proposed Open Spaces
- Primary Paths / Connections

ST-57-20

— Pavement Width
— Right of Way Width
— Streetscape Type

Legend

- CS-60-36 (The Peel)
- CS-35-23
(The Peel Roundabout)
- ST-70-46 (Jasper New)
- ST-140-52 (Jasper Retrofit)
- ST-60-32/34
- CS-60-34/36
- CS/ST-60-36
- AL-22-12

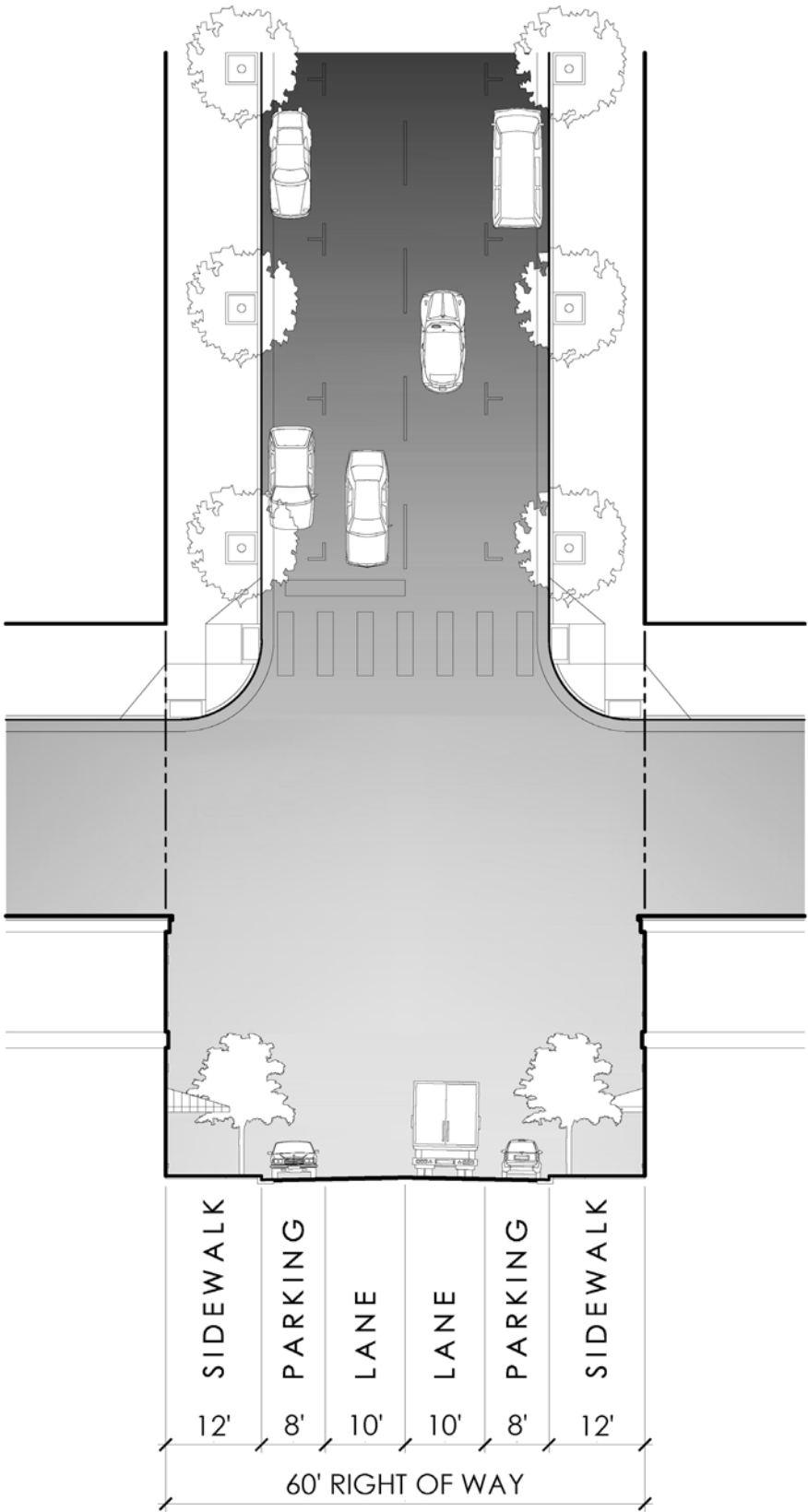
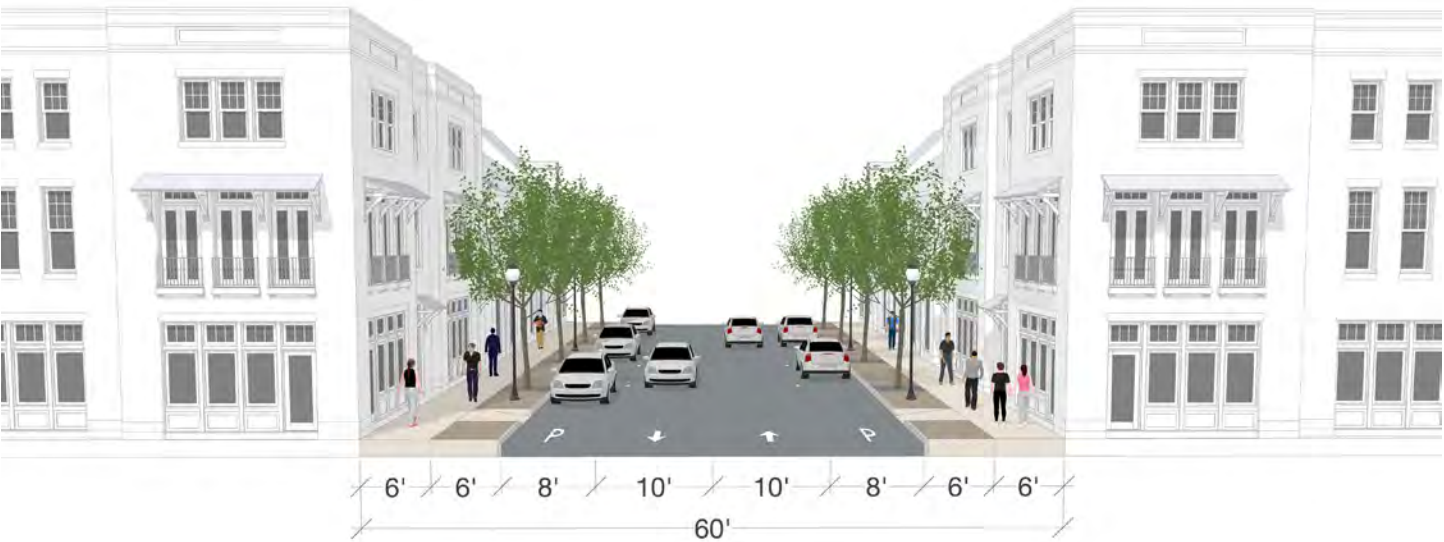
- 1** North Gateway
- 2** South Gateway



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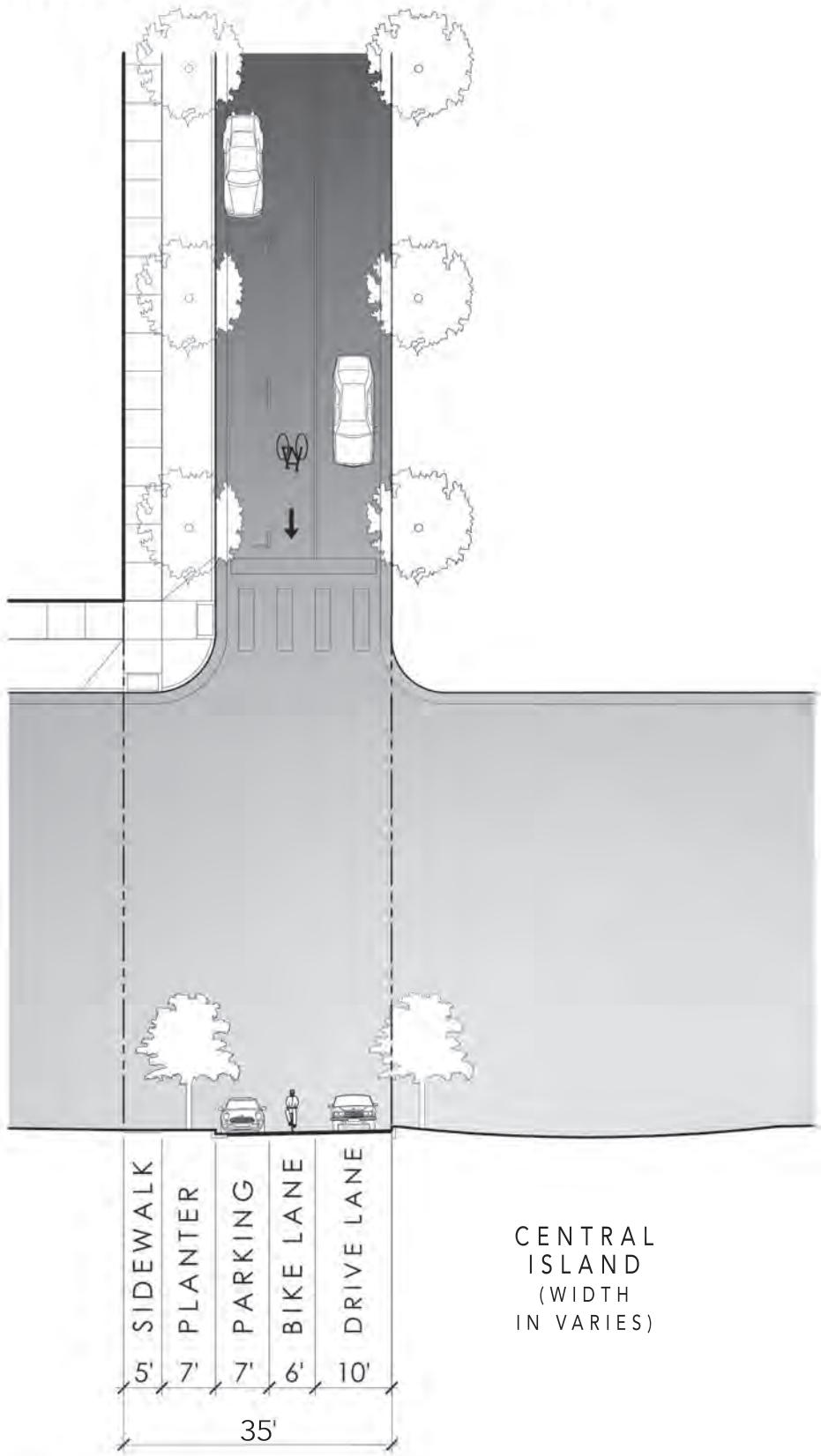
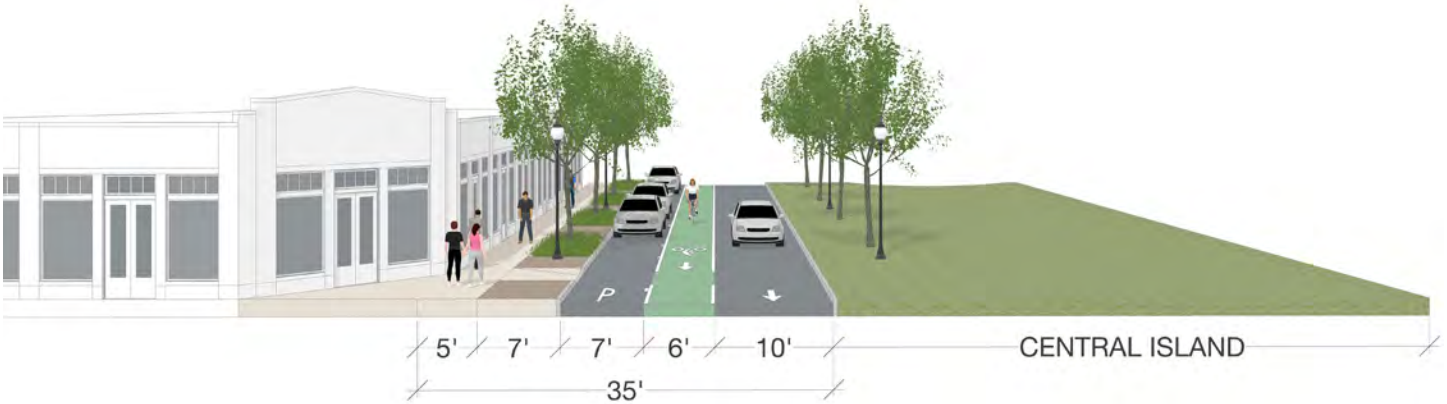
Thoroughfare Types

CS-60-36 (The Peel)



THOROUGHFARE TYPE	Commercial
ROW WIDTH	60 feet
PAVEMENT WIDTH	36 feet
MOVEMENT	free movement
TRAFFIC LANES	2 lanes
BIKE LANES	shared lane
CURB RADIUS	6 feet
WALKWAY TYPE	12 foot sidewalk
PLANTER TYPE	4ft x 4ft tree well
CURB TYPE	curb & gutter
LANDSCAPE TYPE	trees at 30 feet O.C

CS-35-23 (The Peel Roundabout)

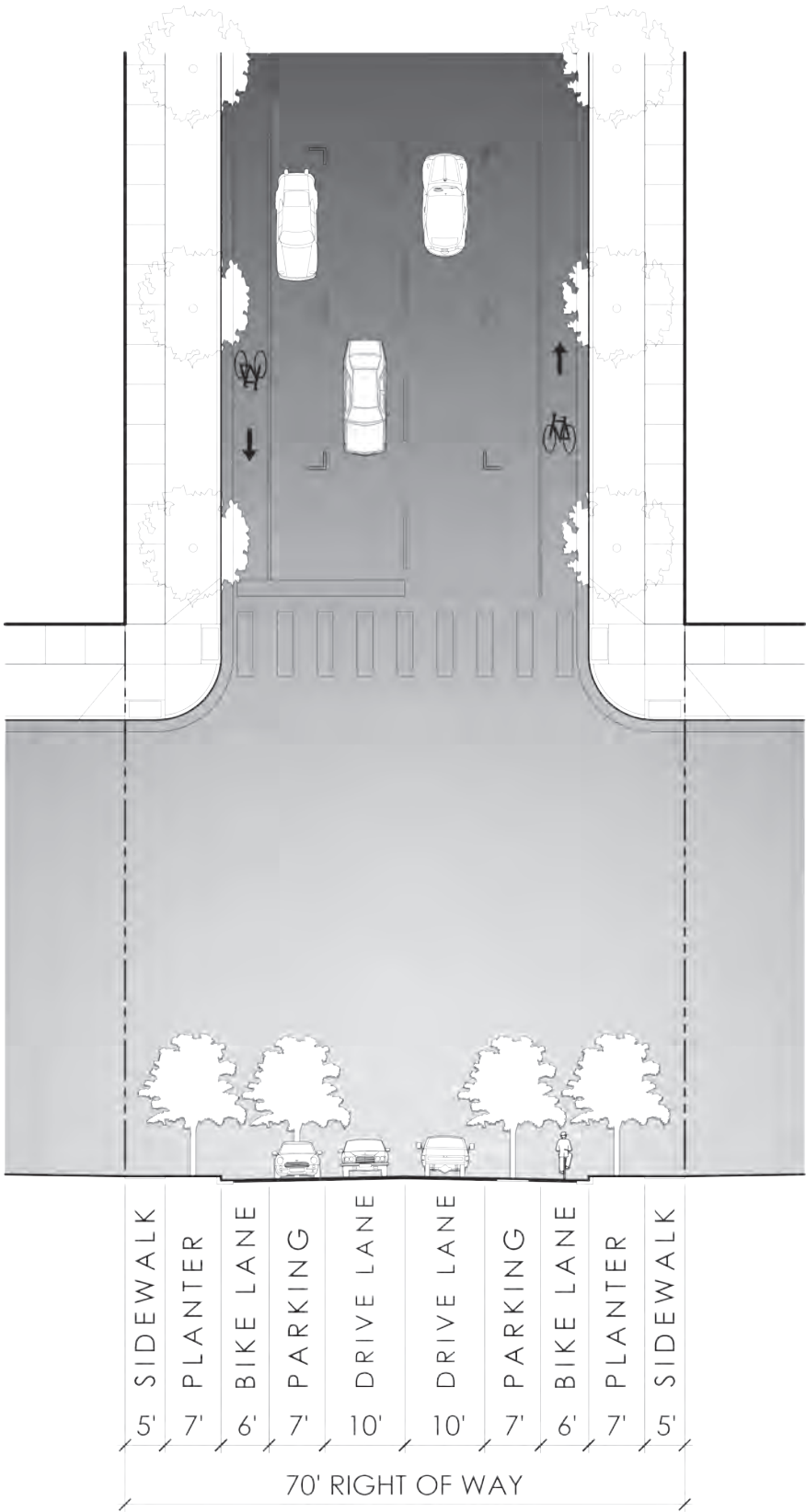
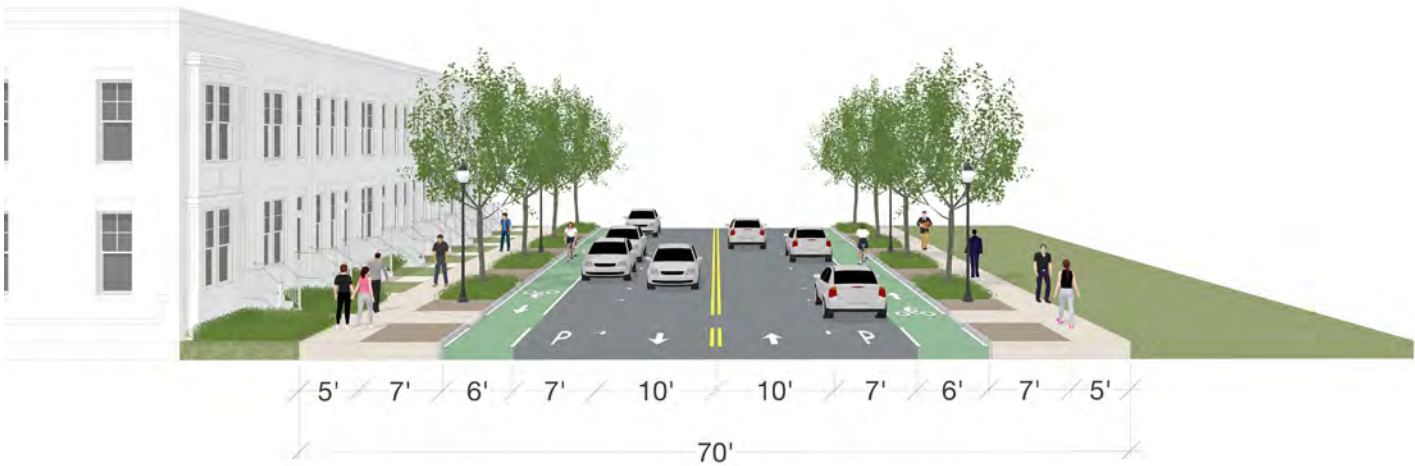


THOROUGHFARE TYPE	Roundabout
ROW WIDTH	35 feet
PAVEMENT WIDTH	23 feet
MOVEMENT	free movement
TRAFFIC LANES	2 lanes
BIKE LANES	one sides (6 feet, marked)
CURB RADIUS	45 feet central island, 7 feet on streets
WALKWAY TYPE	5 foot sidewalk
PLANTER TYPE	raised median
CURB TYPE	curb & gutter, vertical curb
LANDSCAPE TYPE	trees at 30 feet O.C

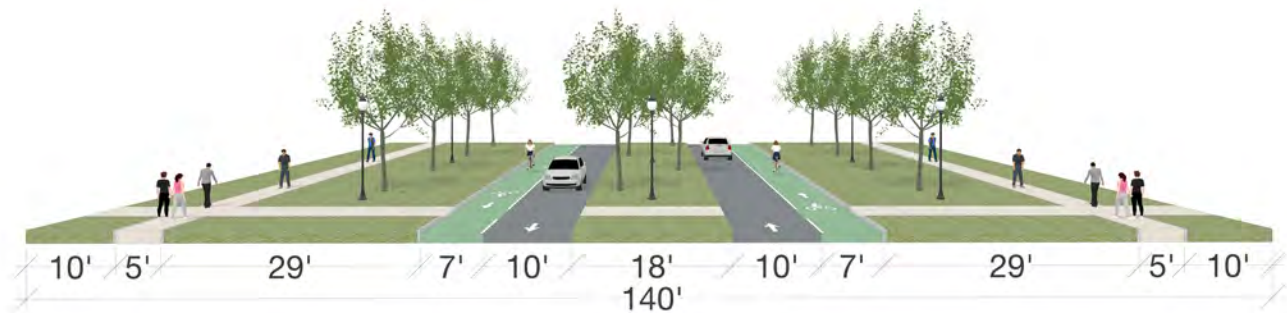
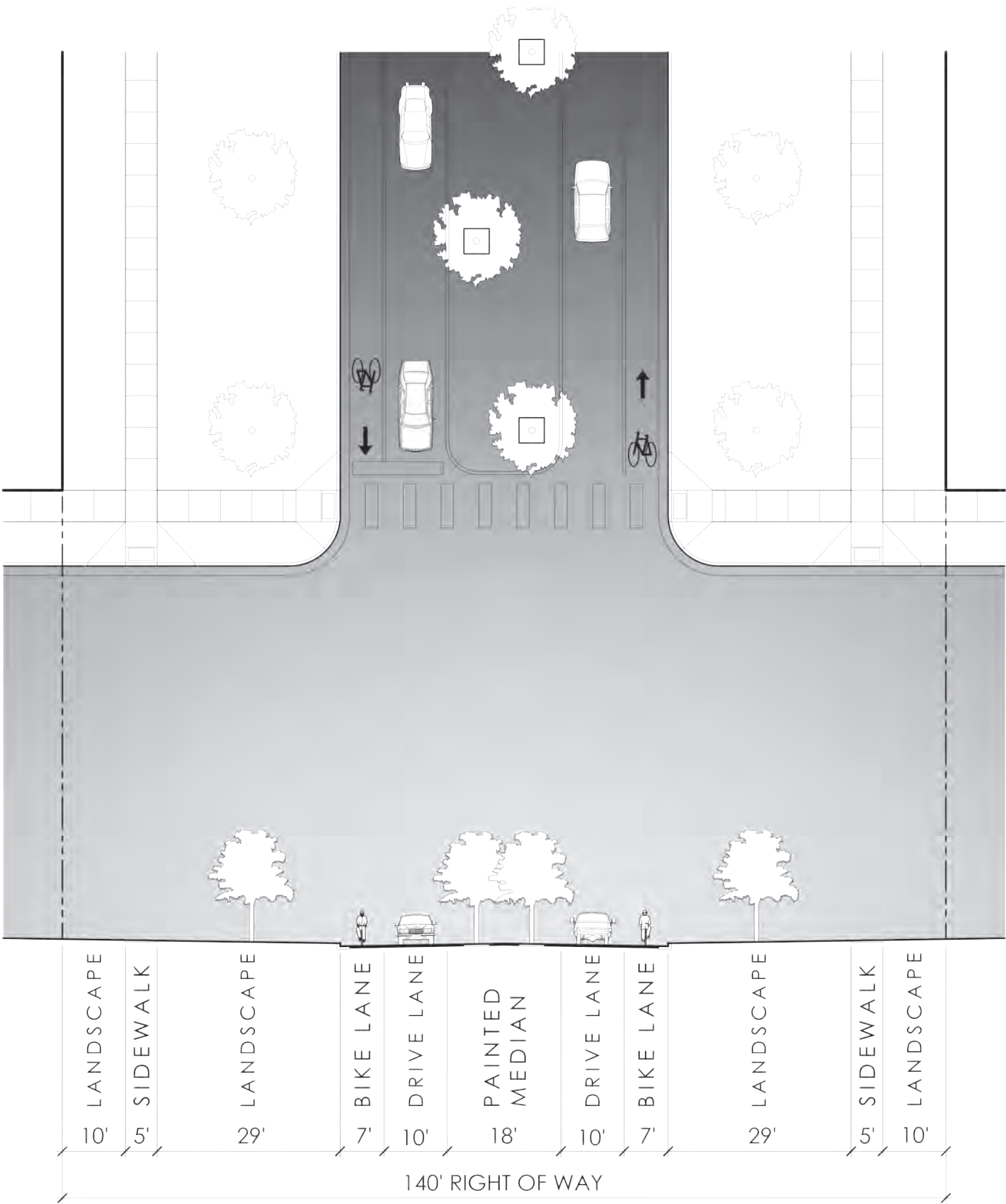
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Thoroughfare Types

ST-70-46



THOROUGHFARE TYPE	Residential with parking-protected bike lanes
ROW WIDTH	70 feet
PAVEMENT WIDTH	46 feet
MOVEMENT	free movement
TRAFFIC LANES	2 lanes
BIKE LANES	both lanes (7 feet, marked)
CURB RADIUS	8 feet
WALKWAY TYPE	5 foot sidewalk
PLANTER TYPE	4 ft x 4 ft tree well
CURB TYPE	curb & gutter
LANDSCAPE TYPE	trees at 30 feet O.C

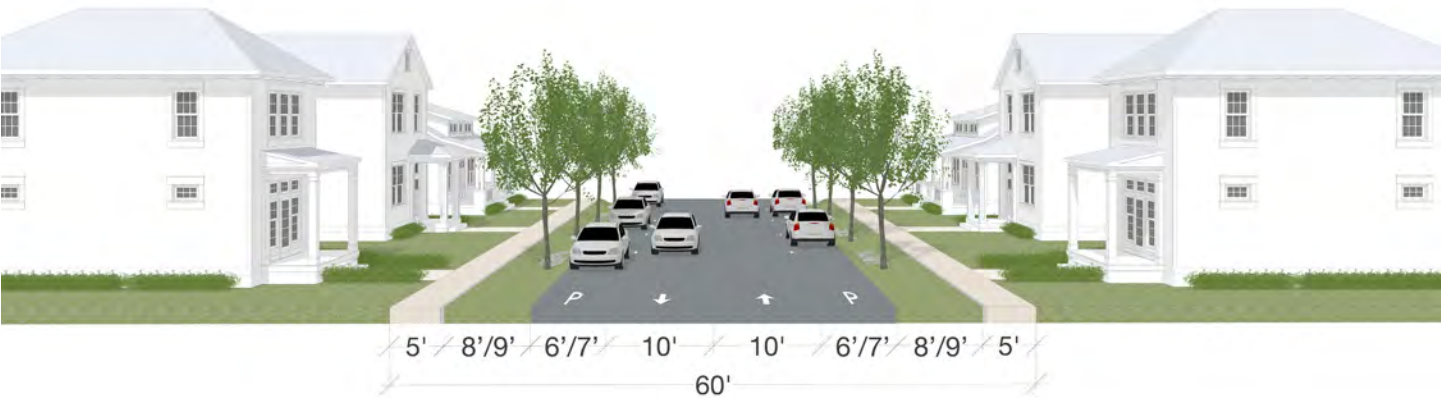


THOROUGHFARE TYPE	Residential / Commercial
ROW WIDTH	140 feet
PAVEMENT WIDTH	52 feet
MOVEMENT	free movement
TRAFFIC LANES	2 lanes
BIKE LANES	both lanes (7 feet, marked)
CURB RADIUS	8 feet
WALKWAY TYPE	5 foot sidewalk
PLANTER TYPE	both sides (29 feet)
CURB TYPE	curb & gutter
LANDSCAPE TYPE	trees pocket in median at 30 feet O.C (staggered)

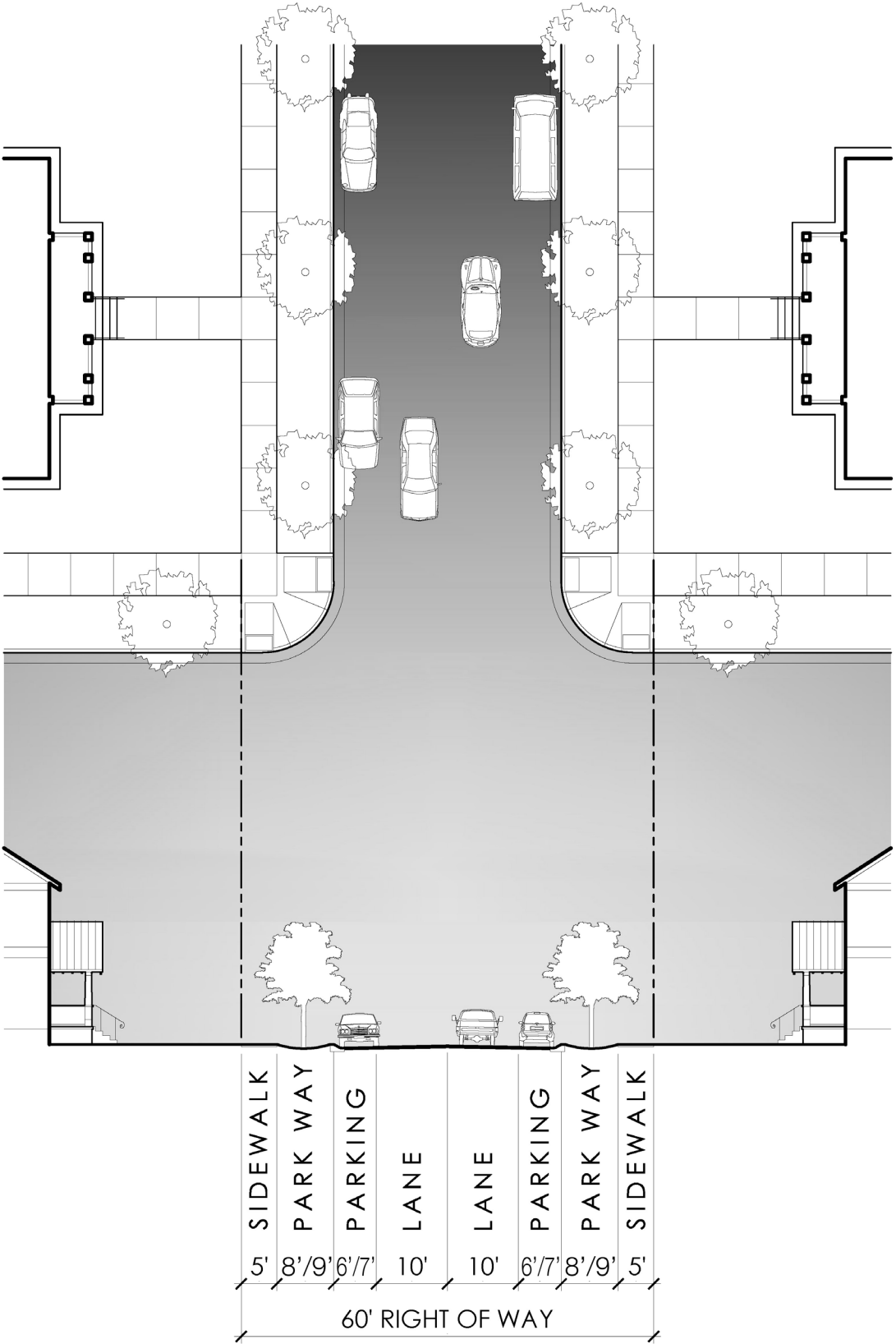
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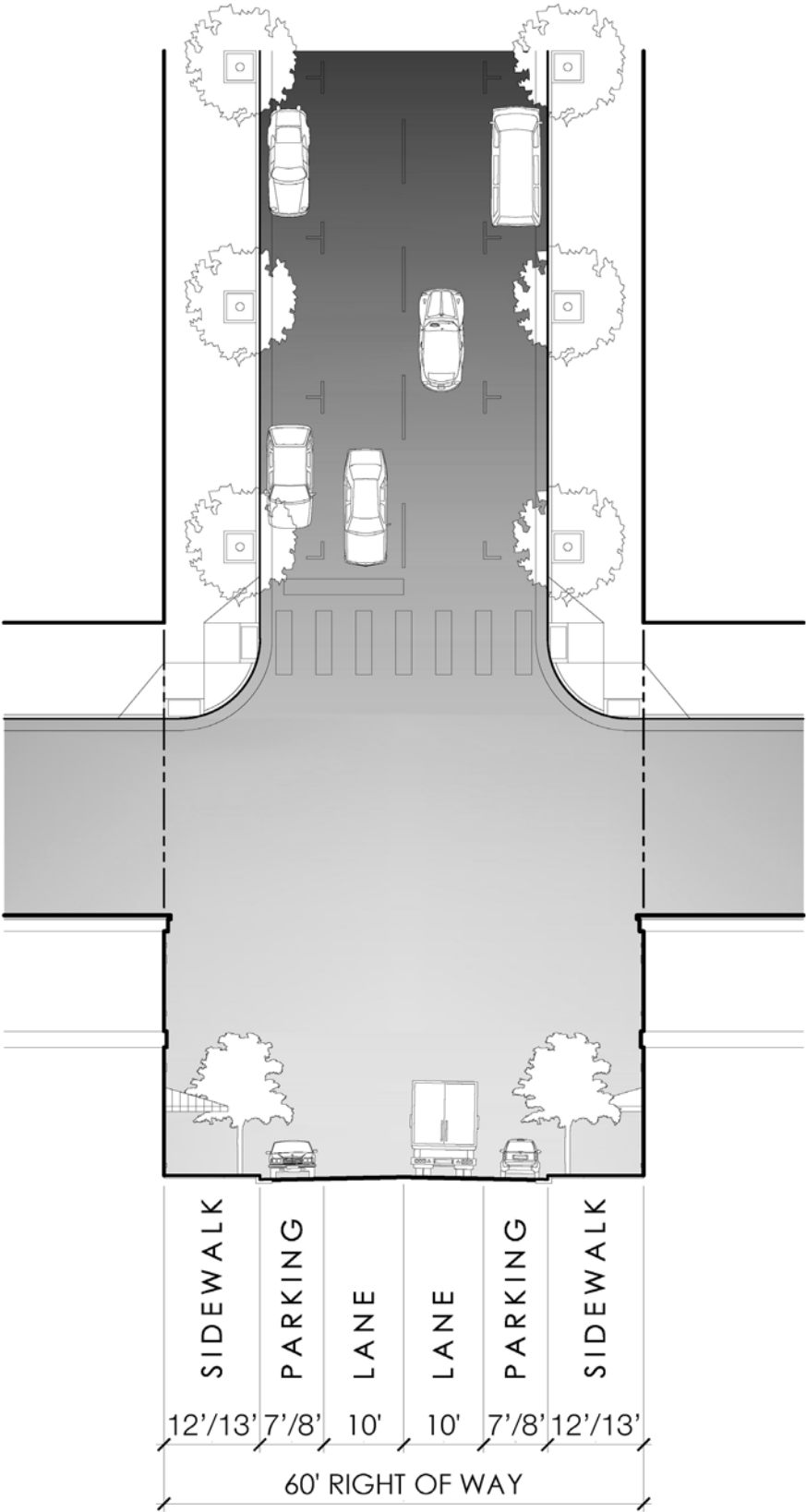
Thoroughfare Types

ST-60-32/34



THOROUGHFARE TYPE	Residential
ROW WIDTH	60 feet
PAVEMENT WIDTH	32/34 feet
MOVEMENT	slow movement
TRAFFIC LANES	2 lanes
BIKE LANES	shared lane
CURB RADIUS	8 feet
WALKWAY TYPE	5 foot sidewalk
PLANTER TYPE	landscaped park way
CURB TYPE	curb & gutter
LANDSCAPE TYPE	trees at 30 feet O.C



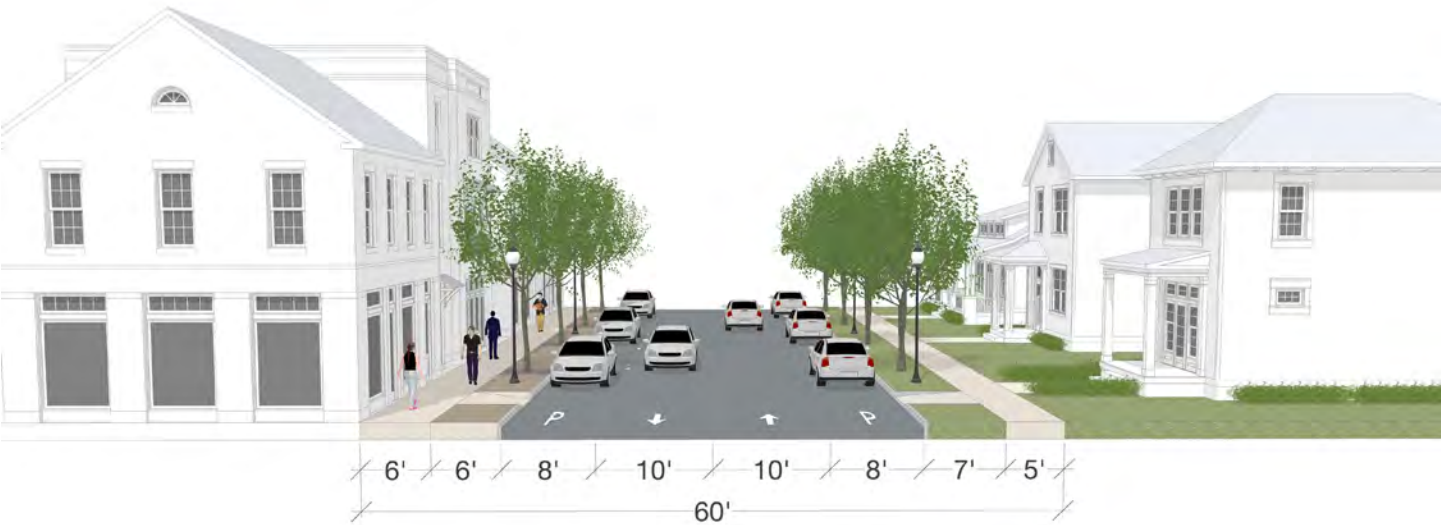


THOROUGHFARE TYPE	Commercial
ROW WIDTH	60 feet
PAVEMENT WIDTH	34/36 feet
MOVEMENT	free movement
TRAFFIC LANES	2 lanes
BIKE LANES	shared lane
CURB RADIUS	6 feet
WALKWAY TYPE	12/13 foot sidewalk
PLANTER TYPE	4ft x 4ft tree well
CURB TYPE	curb & gutter
LANDSCAPE TYPE	trees at 30 feet O.C

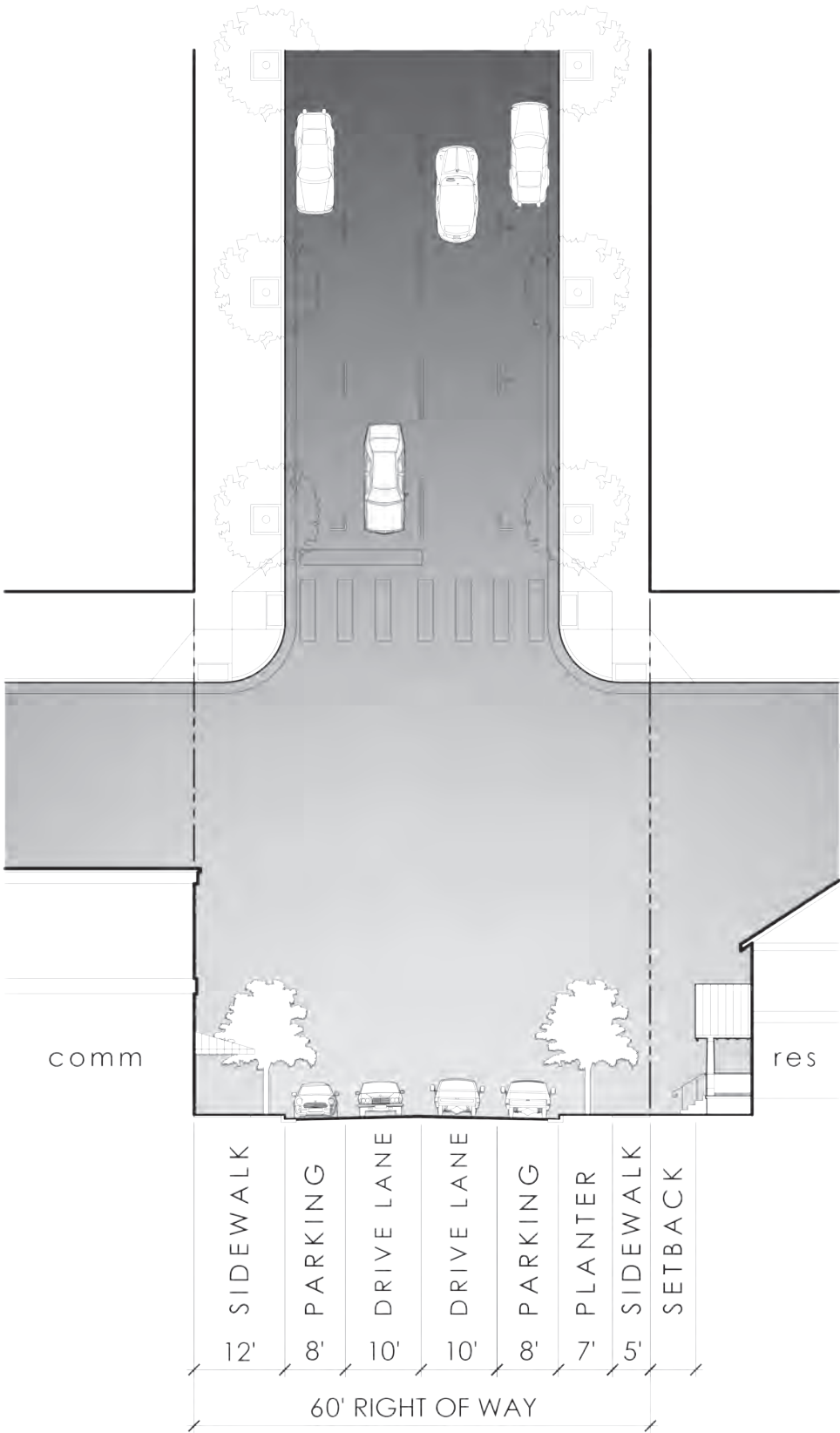
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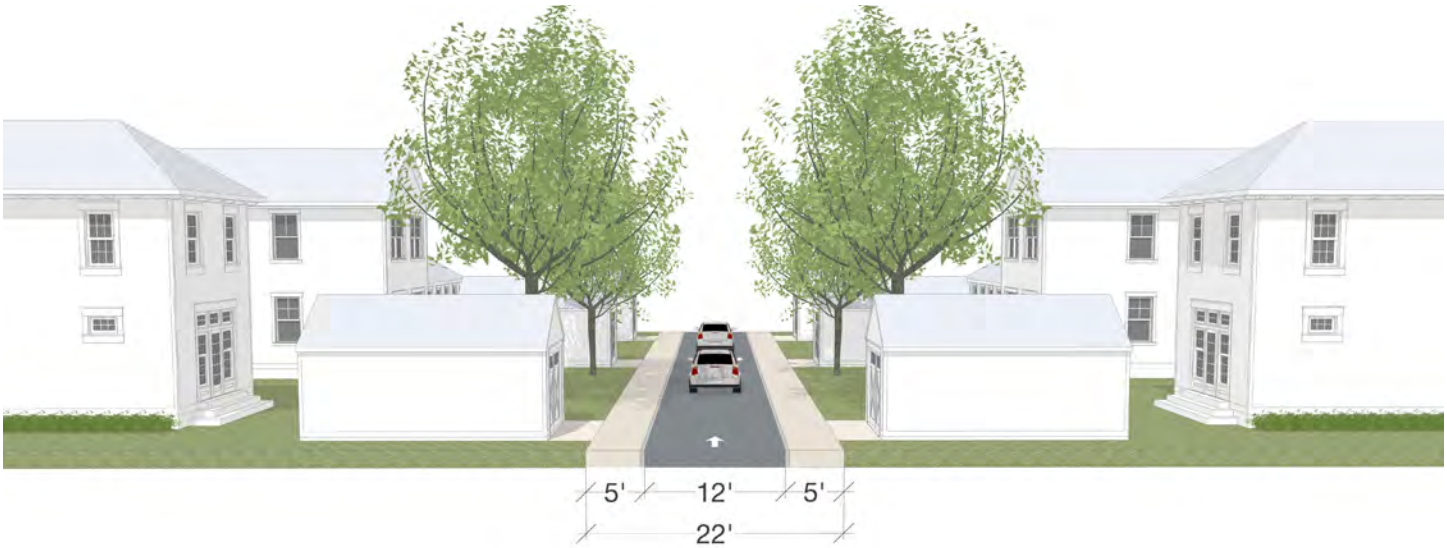
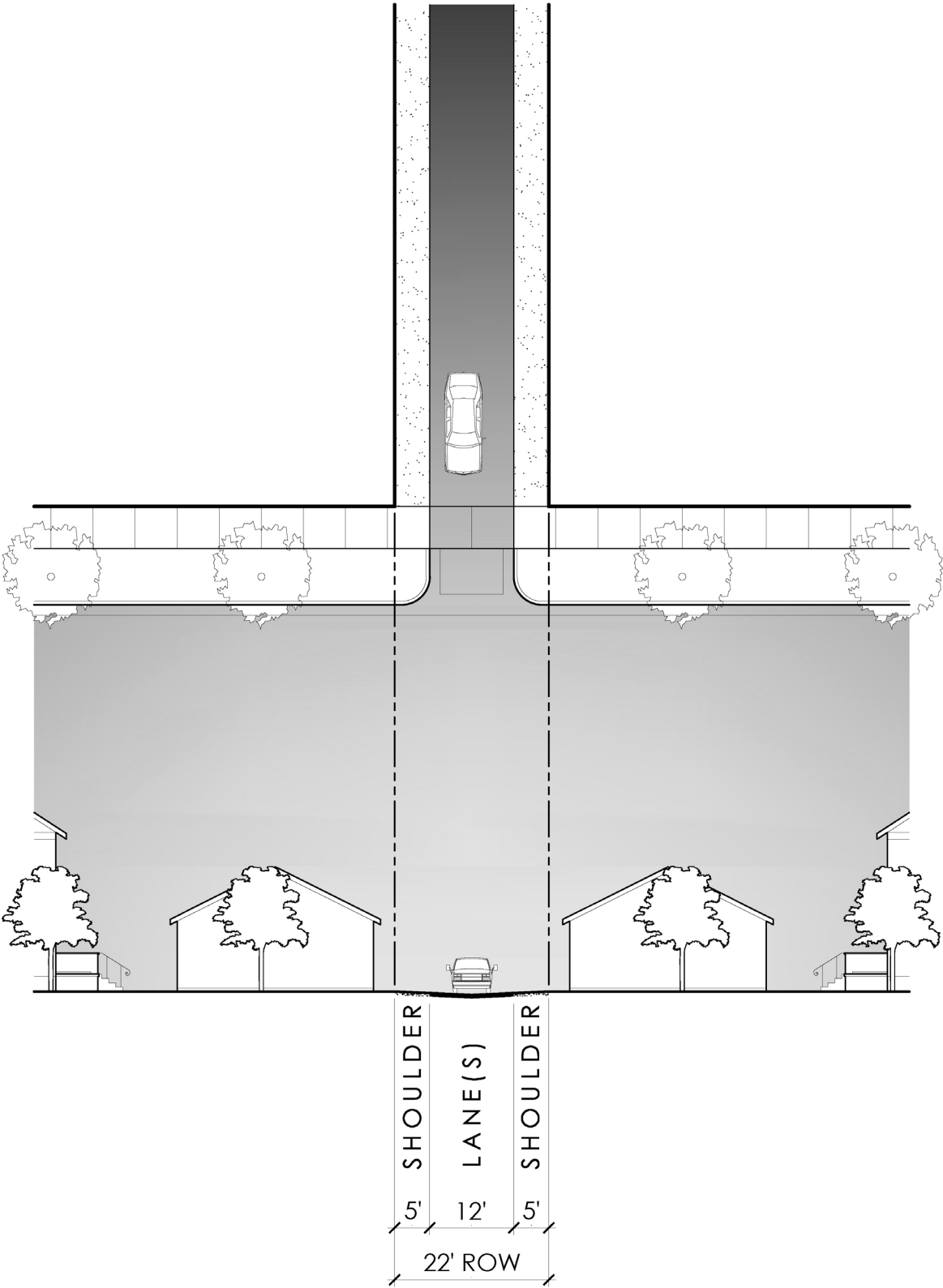
Thoroughfare Types

CS/ST-60-36



THOROUGHFARE TYPE	Commercial/ Residential
ROW WIDTH	60 feet
PAVEMENT WIDTH	36 feet
MOVEMENT	free movement
TRAFFIC LANES	2 lanes
BIKE LANES	shared lane
CURB RADIUS	6 feet
WALKWAY TYPE	12 ft & 5 ft sidewalk
PLANTER TYPE	4 ft x 4 ft tree well, 7ft bioswale
CURB TYPE	curb & gutter
LANDSCAPE TYPE	trees at 30 feet O.C





THOROUGHFARE TYPE	Alley
ROW WIDTH	22 feet
PAVEMENT WIDTH	12 feet
MOVEMENT	yield
TRAFFIC LANES	1 lane
PARKING LANES	none
CURB RADIUS	4 feet (curb cut)
SHOULDER TYPE	5 feet, dirt, gravel, AC or PCC
WALKWAY TYPE	none
PLANTER TYPE	none
CURB TYPE	none
LANDSCAPE TYPE.....	none