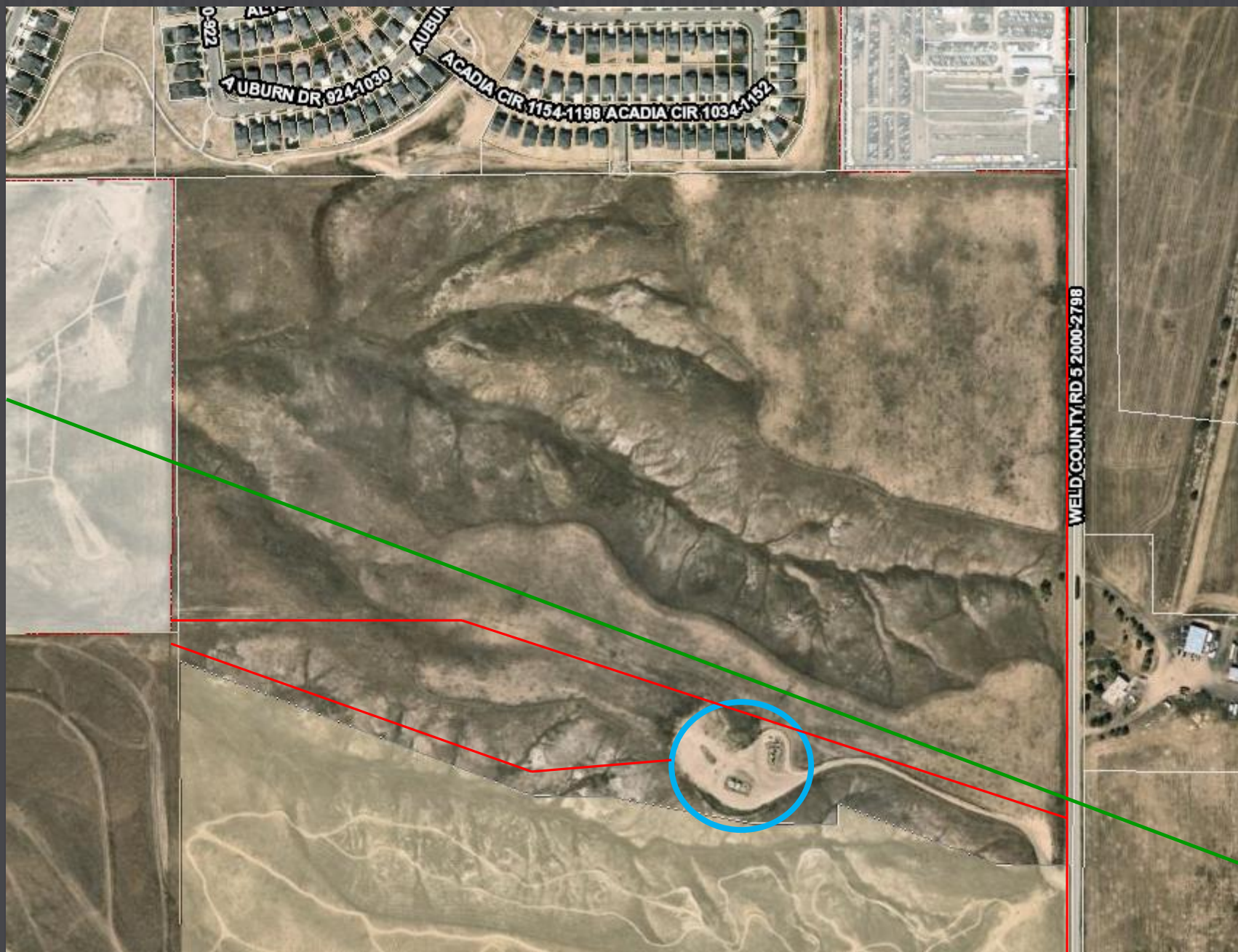


SUNSET PP-000838-2016

- PRELIMINARY PLAT

Board of Trustees – February 11, 2020





RY WATER CONNECTION
(PHASE 1)

TOWN OF ERIE
PARCEL NO. 146720231027

SECONDARY WATER CONNECTION
(PHASE 1)

DANIEL R. BLAKE
(COMMERCIAL)

OFFSITE WATER CONN
(PHASE 1)

PUMP STATION
(PHASE 1)

OUTFALL TO
INTERCEPTOR
(1)

SPORTSMANS CLUB
(CULTURAL)

ERIE LAND COMPANY

JAMES R. NORTON

EX. WAPA STRUCTURE
TO BE RELOCATED 30'
WEST

ERIE LAND C

RL NORTH INC
(R#-3)

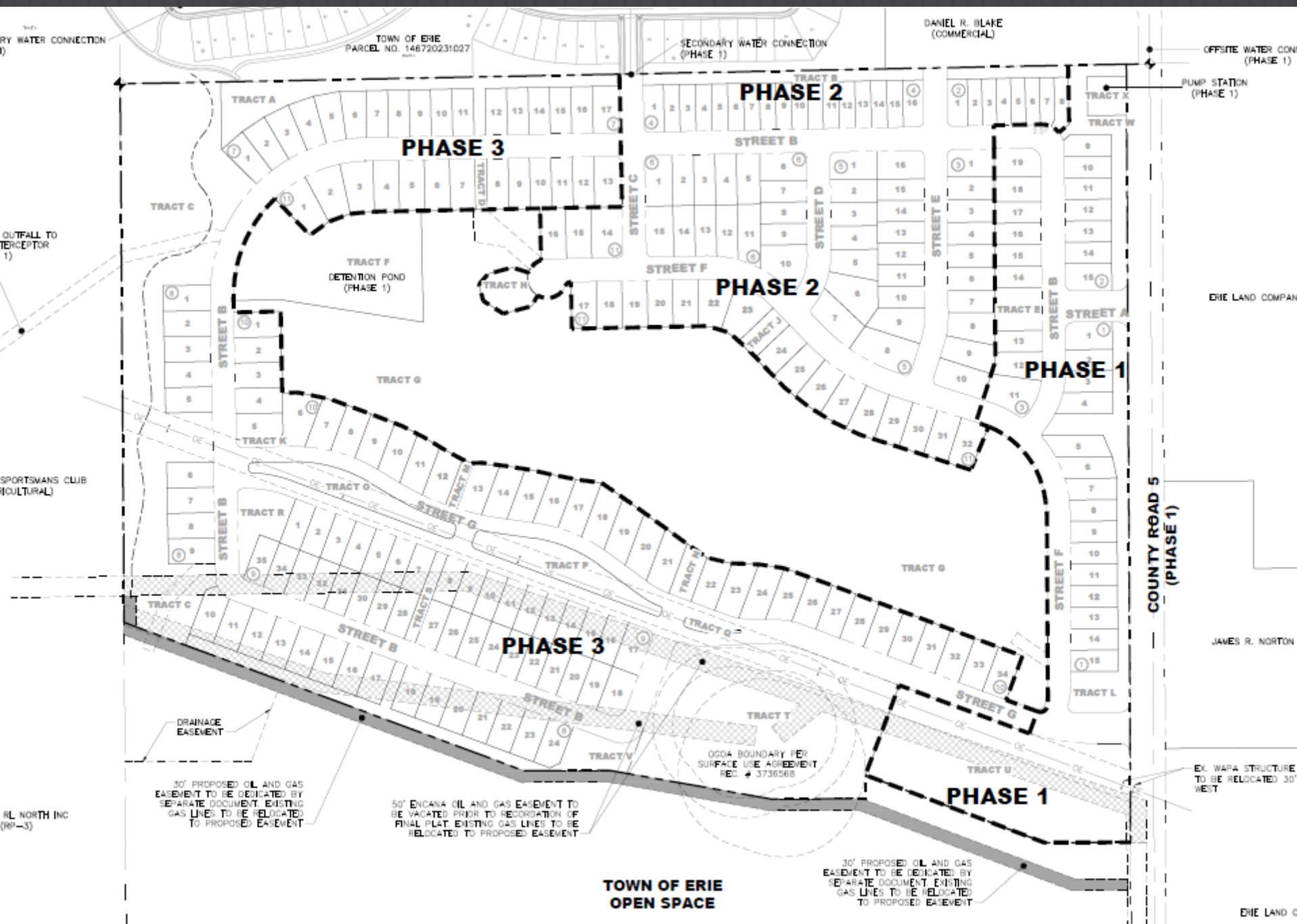
30' PROPOSED OIL AND GAS
EASEMENT TO BE DEDICATED BY
SEPARATE DOCUMENT. EXISTING
GAS LINES TO BE RELOCATED
TO PROPOSED EASEMENT

50' ENCANVA OIL AND GAS EASEMENT TO
BE VACATED PRIOR TO RECORDATION OF
FINAL PLAT. EXISTING GAS LINES TO BE
RELOCATED TO PROPOSED EASEMENT

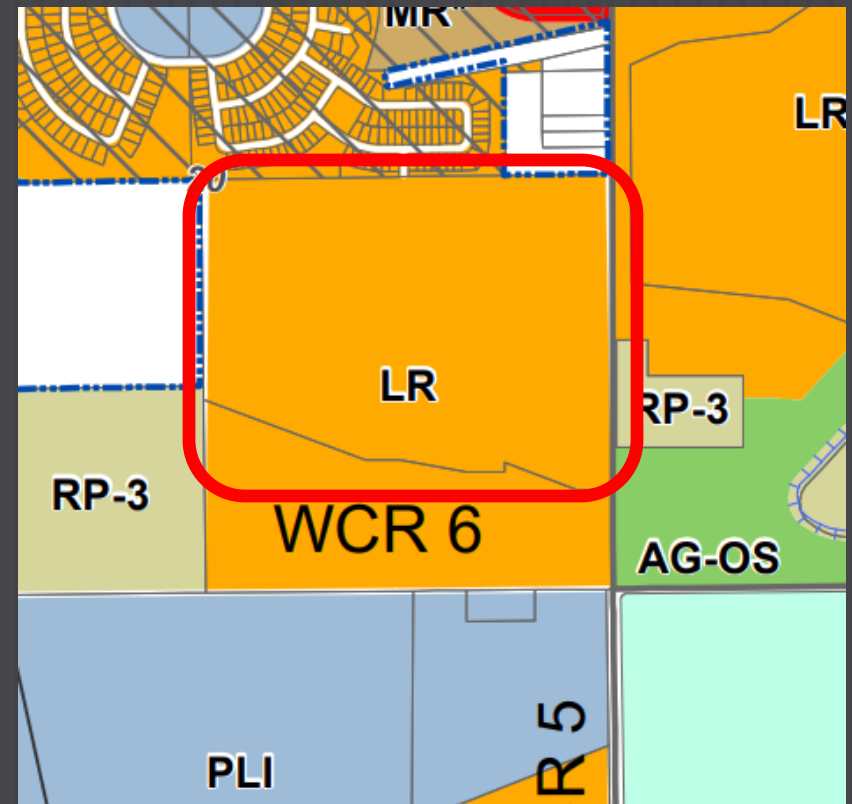
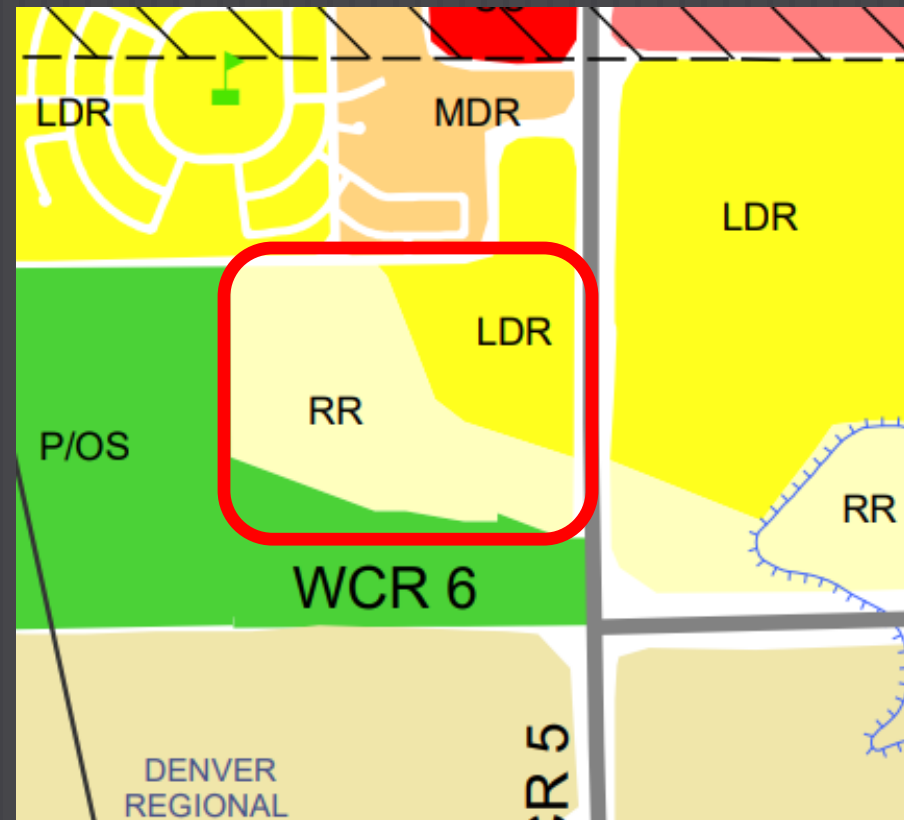
OCDA BOUNDARY PER
SURFACE USE AGREEMENT
REC. # 3736568

30' PROPOSED OIL AND GAS
EASEMENT TO BE DEDICATED BY
SEPARATE DOCUMENT. EXISTING
GAS LINES TO BE RELOCATED
TO PROPOSED EASEMENT

TOWN OF ERIE
OPEN SPACE



Comprehensive Plan and Zoning





Preliminary Plat: Approval Criteria

- a. The subdivision is generally consistent with the Town's Comprehensive Master Plan.
- b. The subdivision is generally consistent with and implements the intent of the specific zoning district in which it is located.
- c. The general layout of lots, streets, driveways, utilities, drainage facilities, and other services within the proposed subdivision is designed to meet the Town's standards related to health and safety and in a way that minimizes the amount of land disturbance, maximizes the amount of open space in the development, preserves existing trees/vegetation and riparian areas, protects critical wildlife habitat, and otherwise accomplishes the purposes and intent of this UDC.
- d. The subdivision complies with all applicable use, development, and design standards set forth in Chapters 3, 5 and 6 of this UDC that have not otherwise been modified or waived pursuant to this Chapter or this UDC. Applicants shall refer to the Development Standards in Chapter 5 of this UDC and shall consider them in the layout of the subdivision in order to avoid creating lots or patterns of lots in the subdivision that will make compliance with such development and design standards difficult or infeasible.

Preliminary Plat: Approval Criteria

- e. The subdivision complies with all applicable regulations, standards, requirements, or plans of the Federal or State governments and other relevant jurisdictions, including but not limited to wetlands, water quality, erosion control, and wastewater regulations.
- f. The subdivision will not result in significant adverse impacts on the natural environment, including air, water, noise, storm water management, wildlife, and vegetation, or such impacts will be substantially mitigated.
- g. The subdivision shall be integrated and connected, where appropriate, with adjacent development through street connections, sidewalks, trails, and similar features.
- h. The subdivision will not result in significant adverse impacts on adjacent properties, or such impacts will be substantially mitigated.
- i. Adequate and sufficient public safety, transportation, utility facilities and services, recreation facilities, parks, and schools are available to serve the subject property, while maintaining sufficient levels of service to existing development.
- j. As applicable, the proposed phasing plan for development of the subdivision is rational in terms of available infrastructure capacity.

- a. Prior to approval of the Final Plat, Applicant shall executed a detailed Development Agreement;
- b. Prior to approval of the Final Plat, Applicant shall submit for Town approval Final Landscape and Irrigation Plans;
- c. Prior to approval of the Final Plat, Applicant shall address all outstanding comments from Town Parks and Recreation;
- d. The Spine Trail construction shall be included in the first phase of development of the Property;
- e. Each phase of development of the Property shall include a pocket park meeting the size and design requirements for a pocket park, and the Final Plat shall demonstrate that the final layout of all pocket parks in the development will meet the ¼ mile distance requirement;
- f. Prior to approval of the Final Plat, existing underground petroleum pipelines shall be moved or removed and the associated easements vacated;
- g. Prior to approval of the Final Plat, Applicant shall submit for Town approval Final Construction Documents addressing outstanding comments from Town Engineering and WAPA;

- h. Prior to approval of the Final Plat, Applicant shall acquire all off-site easements necessary for the development of the Property.
- i. to approval of the Final Plat, Applicant shall grant to the Town a conservation easement over Tract G in a form approved by the Town Attorney;
- j. Applicant shall comply with the recommendations in the GCS referral dated May 4, 2017 in the development of the Property; and
- k. Prior to approval of the Final Plat, Applicant shall acquire all off-site easements necessary for the development of the Property.

RECOMMENDATION

Staff recommends the conditional approval of the Sunset preliminary plat as detailed in the staff memo and resolution.

Planning Commission Held a public hearing on 2/5/2020 where they approved Resolution P20-02 conditionally approving the Sunset Preliminary Plat.

Board of Trustees – February 11, 2020