

AGREEMENT FOR PARK IMPROVEMENTS

THIS AGREEMENT FOR PARK IMPROVEMENTS (this "Agreement") is made and entered into as of June ____, 2017 (the "Effective Date"), by and among HT FLATIRON LP, a Delaware limited partnership ("HT Flatiron"), the TOWN OF ERIE, a Colorado municipal corporation (the "Town"), and FIDELITY TITLE INSURANCE COMPANY ("Escrow Agent").

BACKGROUND:

A. Reference is hereby made to that certain Second Amended and Restated Master Development Agreement dated September 8, 2015 recorded September 8, 2015 at Reception No. 03472486, Boulder County, Colorado (the "Master Development Agreement"). All capitalized terms used herein and not defined shall have the meanings assigned to such terms in the Master Development Agreement.

B. Section IX(F)(1)(b) of the Master Development Agreement provides the following: *"Prior to commencement of construction of the Neighborhood Park, and following notice by the Erie, the Owner shall pay for the following: water tap fees, sewer tap fees, and raw water dedication fees necessary for the construction, maintenance and upkeep of the park."* The fees that HT Flatiron is to pay pursuant to such sentence are referred to herein as the "Fees".

C. Section IX(F)(1)(b) of the Master Development Agreement further provides the following: *"At the same time, the Owner shall also pay all costs associated with the following: final grading; soil preparation; the purchase and installation of grass; the purchase and installation a permanent irrigation system (including electrical facilities for said system); landscaping within all adjacent right-of-ways; and, landscape buffers."* The costs that HT Flatiron is required to pay pursuant to such sentence are referred to herein as the "Costs"; and the work comprised of the grading, soil preparation, purchase and installation of grass, purchase and installation of a permanent irrigation system (including electrical facilities for said system), landscaping within all adjacent right-of-ways and landscape buffers required by such sentence is referred to herein as the "Work". The scope of the Work is set forth on the working drawings attached hereto as Exhibit B.

D. The parties desire to enter into this Agreement to set forth the terms and conditions upon which HT Flatiron shall pay the Fees and Costs in connection with the Town's performance of the Work.

NOW, THEREFORE, in consideration of good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, HT Flatiron, the Town, and Escrow Agent agree as follows:

AGREEMENT:

1. Cost Backup Evidence; Approval; Establishment of Escrow. Cost backup evidencing the contractor's bid of the Work, together with the proposed plans and specifications for the Work, are set forth in Exhibit "A", attached hereto and incorporated herein by this reference. HT Flatiron's execution of this Agreement shall evidence its approval of the estimated cost for the Work. HT Flatiron shall deposit in escrow with Escrow Agent, within five (5) business days of Town's execution of this Agreement, the estimated cost of the Work plus ten percent (10%) (the "Contingency") as a contingency (together with the Contingency, the "Escrow Amount"). Based upon the estimated cost for the Work and the ten percent contingency required herein, the Escrow Amount is Three Hundred Ninety-four Thousand Three Hundred Ninety-four Dollars (\$394,394.00). The Escrow Agent shall immediately deposit (and thereafter maintain

until distribution as contemplated herein) the Escrow Amount into a federally-insured, interest-bearing account reasonably acceptable to the Town and HT Flatiron, and all interest accruing thereon shall become a part of the Escrow Amount. Failure by HT Flatiron to deposit the Escrow Amount in escrow with Escrow Agent as required herein shall be deemed to be a default of this Agreement.

2. The Work.

(a) The Town shall perform and complete the Work substantially in accordance with all applicable laws and ordinances of the Town, and in accordance with the plans and specifications referenced in Section 1 above. The Work shall be completed on or before eighteen (18) months from the Effective Date (the "Completion Deadline"). The Work shall be deemed "completed" at such time as the Town delivers to HT Flatiron a certificate of substantial completion, or similar certificate, from the engineer or other primary design professional for the Work, stipulating that the Work has been substantially completed.

(b) Any material modification to the plans and specifications of the Work (including, without limitation, any modification which would affect the use of the Contingency) shall be subject to the prior approval of HT Flatiron, such approval shall not be unreasonably withheld, conditioned or delayed. Furthermore, HT Flatiron shall be deemed to approve any modification if HT Flatiron fails to object to same within ten (10) days after written receipt of a request for approval from the Town. Upon approval (or deemed approval) of any such modification, such modification shall be considered part of the Work. Any change in the Work, whether pursuant to this subsection (b) or otherwise, shall **not** require HT Flatiron to contribute any additional required funds to the Escrow Amount.

(c) No notice to or approval of HT Flatiron shall be required for any material modification to the plans and specifications of the Work which the Town makes and pays for entirely (i.e., Town pays entirely and not out of Contingency).

3. Cost Responsibility. The Town shall be responsible for all costs and expenses necessary for the completion of the Work, subject to the Town being entitled to the use of the Escrow Amount as contemplated herein, and subject to the terms of Section 2 above. Upon the earlier of completion of the Work or the Completion Deadline, any and all of the remaining Escrow Amount shall be promptly returned to HT Flatiron within 15 days after such date

4. Disbursements.

(a) From time to time as the Work progresses, but no more than twice in any calendar month, the Town shall prepare a request for distribution (each a "Request") and submit same to Escrow Agent and HT Flatiron. The respective Request shall: (a) specify, by separate line item for each of the contractors associated with the Request at issue, the portion of the Escrow Amount to be disbursed to pay the costs and expenses for the Work that are specified by such Request ("Requested Escrow Amount"); and (b) represent and warrant to HT Flatiron and Escrow Agent, as of the date of the Request, that to the Town's knowledge: (i) all amounts reflected by each previous Request have been disbursed to the contractors entitled to payment thereof; (ii) there exists no default by the Town under this Agreement, and (iii) other than the Requested Escrow Amount reflected by the Request at issue and other non-delinquent amounts incurred in furtherance of the Work that will thereafter be timely paid, there are no unpaid costs or expenses arising out of the Work that could give rise to any mechanic's or materialman's liens.

(b) Provided that the Request complies with the provisions of subsection (a)

immediately above and HT Flatiron has not provided an "Objection Notice" (herein so called) within seven (7) business days after HT Flatiron's receipt of the Request, Escrow Agent shall promptly disburse to the Town (or the applicable payee(s) designated by the Town) the Requested Escrow Amount as provided in the respective Request. To the extent that it is disbursed to the Town, the Town shall cause all such amounts to be delivered to the applicable contractor prior to delinquency. If Escrow Agent shall have received an Objection Notice to any Request within the time period herein prescribed, Escrow Agent shall refuse to comply with any requests or demands on Escrow Agent contained in the Request to which such Objection Notice relates and shall continue to hold that applicable Escrow Amount that is the subject of the Objection Notice until Escrow Agent receives either (i) a written notice signed by both HT Flatiron and the Town stating who is entitled to such portion of the Escrow Amount, or (ii) a final non-appealable order of a court of competent jurisdiction directing disbursement of the Escrow Amount in a specific manner, and in either case, Escrow Agent shall then disburse the Escrow Amount, or such portion thereof as is specified in such joint notice or order, in accordance with such joint notice or order. Any Objection Notice that relates to only a portion of the Request shall not result in the Escrow Agent being unable to fund the remainder. Failure to send an Objection Notice with regard to any particular Request shall in no way be deemed a waiver of such party's rights hereunder to give an Objection Notice with regard to any future Request.

5. Term. Notwithstanding anything contained herein to the contrary, in the event that any portion of the Escrow Amount has not been disbursed by the Completion Deadline, then without prejudice to any other rights or remedies available to the parties at such time, any portion of the Escrow Amount held by Escrow Agent on such date shall be disbursed to HT Flatiron. Upon such disbursement, Escrow Agent shall thereafter have no further rights or obligations under this Agreement.

6. Fees. With respect to HT Flatiron's obligation for payment of the Fees, any and all Fees paid shall be at the same rate the Town would have to pay if the Town was obligated to pay the same. The Town shall follow all of its ordinances and code with respect to the foregoing. It shall further provide all calculations and documentation substantiating such Fees. HT Flatiron shall pay the Fees as invoiced within ten (10) business days of receipt of the invoice from the Town. Payment of the Fees by HT Flatiron is in addition to, and separate from, the payment of the Escrow Amount.

7. Escrow Agent Provisions.

(a) Escrow Agent's sole obligation shall be to make disbursements in accordance with the provisions of this Agreement. Escrow Agent may rely upon and shall be protected in acting or refraining from acting upon any written instrument, instruction or request furnished to it hereunder and believed by it in good faith to be genuine and to have been signed or presented for delivery to Escrow Agent by HT Flatiron, the Town, or any third party to which this Agreement applies in the particular context. Escrow Agent may resign as escrow agent hereunder, for any reason or no reason, upon providing at least fifteen (15) days' prior written notice to the parties herein.

(b) Escrow Agent, as part of the consideration for the acceptance of this Agreement, shall not be liable for any acts or omissions done in good faith and believed by it to be authorized or within the rights or powers conferred upon it by this Agreement, and may consult with counsel of its own choice with respect to such rights and powers and shall not be liable for any acts taken or suffered by it hereunder in good faith and in accordance with the opinion of such counsel. Escrow Agent shall in no event be liable for any claims, demands or losses for any damages made or suffered by any party, except such as may arise through or be caused by its willful default or

negligence hereunder.

(c) In the event of any controversy regarding the possession or delivery of any of the funds held in escrow by Escrow Agent, Escrow Agent reserves the right for its protection only and not by way of any right reserved or to be exercised by or for the benefit of the HT Flatiron or the Town, to retain possession of all money and/or other property held by Escrow Agent pursuant to the terms of this Agreement and all papers executed in connection with or concerning this Agreement until a mutual agreement has been reached by all of the parties to such controversy or delivery is legally authorized and ordered by final non-appealable judgment or decree of a court of competent jurisdiction. Neither HT Flatiron, the Town, or any other party shall have any claim against Escrow Agent by reason of its retaining possession of funds delivered to it in accordance herewith and held in escrow by Escrow Agent, excepting claims that may arise through or be caused by Escrow Agent's willful default or negligence hereunder.

8. Miscellaneous.

(a) This Agreement shall be binding upon and inure to the benefit of the parties hereto and their respective heirs, executors, administrators, legal representatives, successors and permitted assigns; provided, however, neither the Town nor HT Flatiron shall assign this Agreement without the other's prior written consent.

(b) All notices, requests, approvals, and other communications required or permitted to be delivered under this Agreement must be in writing and are effective: (1) on the day sent, if: (A) sent on a business day by fax or email; and (B) on the date of sending (i) the sending fax generates a written confirmation of sending, or (ii) a copy of the sent email appears in the sending party's "sent" file or similar storage; or (2) on the date of deposit, if deposited with a nationally recognized, overnight courier service for delivery on or before the next business day; or (3) three (3) business days after being deposited, if deposited on a business day in the United States mail, certified, return receipt requested, postage prepaid; or (4) upon receipt by the intended recipient, if delivered by other means (including personal delivery).

In each instance, such communication must be addressed to HT Flatiron, the Town, or Escrow Agent, as the case may be, at the following addresses, or such updated address as the receiving party has previously designated by at least ten (10) days' prior notice to the other parties hereto:

the Town:

P.O. Box 750
Erie, Colorado 80516
Attention: Town Administrator
Facsimile: (303) ____ - ____
Email: ajkrieger@erieco.gov

with a copy (which shall not constitute notice) to:

P.O. Box 750
Erie, Colorado 80516
Attention: Parks and Recreation Director
Facsimile: (303) ____ - ____
Email: fbuller@erieco.gov

HT Flatiron:

c/o Hines Interests Limited Partnership
1515 Wynkoop, Suite 390
Denver, Colorado 80202
Attention: Chad Murphy & Dave Klebba
Facsimile: (303) 573-8808
Email: chad.murphy@hines.com & dave.klebba@hines.com

with a copy (which shall not constitute notice) to:

Thompson & Knight LLP
1722 Routh Street, Suite 1500
Dallas, Texas 75201
Attn: Rick Haan
Facsimile: (214) 999-9242
Email: rick.haan@tklaw.com

Escrow Agent:

8055 E Tufts Avenue, Suite 300
Denver, Colorado 80237
Attn: Peppy Newton
Facsimile: (303) 633-7626
Email: pnewton@fnf.com

(c) Any changes in the terms and conditions hereof may only be made in writing and shall be effective only if signed by the Town and HT Flatiron. Any such changes that affect Escrow Agent's duties and obligations herein must be signed by Escrow Agent, as well. This Agreement may be executed in any number of counterparts, each of which shall be deemed an original, and all of such counterparts shall constitute one and the same instrument. Facsimiles or "PDFs" of original signatures, whether transmitted by fax or by email or otherwise, are binding as originals

(d) In the event that any litigation arises in connection with this Agreement, it is hereby agreed that the prevailing party shall be entitled to recover its reasonable attorneys' fees and court costs. The mere failure or delay in exercising any remedy under this Agreement shall not constitute a waiver of the claims associated with same.

(e) The laws of the State of Colorado shall govern the interpretation, validity, performance and enforcement of this Agreement. For the resolution of any dispute arising hereunder, venue shall be in the Courts of the County of Weld, State of Colorado.

(f) In the event there is any fee charged by Escrow Agent for acting as the escrow agent hereunder, such fee shall be paid for by HT Flatiron.

[SIGNATURE PAGE FOLLOWS]

EXECUTED to be effective as of the Effective Date.

HT FLATIRON:

HT FLATIRON LP,
a Delaware limited partnership

By: Hines Flatiron Associates Limited Partnership,
a Texas limited partnership
its general partner

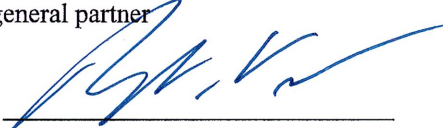
By: Hines Flatiron GP LLC,
a Delaware limited liability company,
its general partner

By: Hines Investment Management Holdings Limited Partnership,
a Texas limited partnership,
its sole member

By: HIMH GP LLC,
a Delaware limited liability company,
its general partner

By: Hines Real Estate Holdings Limited Partnership,
a Texas limited partnership,
its sole member

By: JCH Investments, Inc.,
a Texas corporation,
its general partner

By: 

 Robert W. Witte
Senior Managing Director

THE TOWN:

TOWN OF ERIE,
a Colorado municipal corporation

By: _____
Tina Harris, Mayor

ATTEST:

By: _____
Nancy J. Parker, Town Clerk

ESCROW AGENT:

FIDELITY TITLE INSURANCE COMPANY

By: _____

Name: _____

Title: _____

EXHIBIT A

[see following 4 pages]

Bid Tabulation

March 22, 2017

Star Meadows Park Construction (PR-17-05)

Goodland Construction

Goodland Construction - REVISED

NO.	DESCRIPTION	QTY	UNITS	UNIT PRICE	% OF AVERAGE	EXTENSION	QTY	UNITS	UNIT PRICE	% OF AVERAGE	EXTENSION
START-UP											
	Traffic control	1	LS	\$ 7,500.00	90%	\$ 7,500.00	1	LS	\$ 7,500.00	90%	\$ 7,500.00
	Site staking/surveying	1	LS	\$ 16,500.00	78%	\$ 16,500.00	1	LS	\$ 16,500.00	78%	\$ 16,500.00
	Temporary construction fence	2485	LF	\$ 5.50	133%	\$ 13,667.50	2485	LF	\$ 5.50	133%	\$ 13,667.50
	Additional Items (List):										
	Mobilization	1	LS	\$ 115,000.00	117%	\$ 115,000.00	1	LS	\$ 115,000.00	117%	\$ 115,000.00
	Staging	1	LS	\$ 6,500.00	100%	\$ 6,500.00	1	LS	\$ 6,500.00	100%	\$ 6,500.00
EROSION CONTROL											
	Silt fence	1325	LF	\$ 3.50	148%	\$ 4,637.50	1325	LF	\$ 3.50	148%	\$ 4,637.50
	Concrete washout	1	EA	\$ 1,250.00	78%	\$ 1,250.00	1	EA	\$ 1,250.00	78%	\$ 1,250.00
	Inlet protection	10	EA	\$ 450.00	92%	\$ 4,500.00	10	EA	\$ 450.00	92%	\$ 4,500.00
	Vehicle tracking control	1	EA	\$ 2,850.00	100%	\$ 2,850.00	1	EA	\$ 2,850.00	100%	\$ 2,850.00
	Sedimentation pond	1	EA	\$ 3,500.00	53%	\$ 3,500.00	1	EA	\$ 3,500.00	53%	\$ 3,500.00
	Seeding and mulching	4.8	AC	\$ 500.00	26%	\$ 2,400.00	4.8	AC	\$ 500.00	26%	\$ 2,400.00
	Fuel containment area	1	EA	\$ 1,500.00	225%	\$ 1,500.00	1	EA	\$ 1,500.00	225%	\$ 1,500.00
	Erosion control maintenance (months)	6	EA	\$ 850.00	38%	\$ 5,100.00	6	EA	\$ 850.00	38%	\$ 5,100.00
	Additional Items (List):										
	Sediment Control Log	1325	LF	\$ 8.50	165%	\$ 11,262.50	40	LF	\$ 8.50	165%	\$ 340.00
	Curb sock		EA		0%	\$ -		EA		0%	\$ -
	Stablized staging area				0%	\$ -				0%	\$ -
	Curb Rock Socks	20	EA	\$ 125.00	180%	\$ 2,500.00	20	EA	\$ 125.00	180%	\$ 2,500.00
DEMOLITION											
	Demo existing curb and gutter	105	LF	\$ 10.50	41%	\$ 1,102.50	105	LF	\$ 10.50	41%	\$ 1,102.50
	Demo existng sidewalk	710	SF	\$ 2.50	24%	\$ 1,775.00	710	SF	\$ 2.50	24%	\$ 1,775.00
	Sawcut asphalt	300	LF	\$ 4.25	67%	\$ 1,275.00	300	LF	\$ 4.25	67%	\$ 1,275.00
	Demo existing asphalt	590	SF	\$ 3.25	13%	\$ 1,917.50	590	SF	\$ 3.25	13%	\$ 1,917.50
	Clear and grub vegetation	338500	SF	\$ 0.025	100%	\$ 8,462.50	338500	SF	\$ 0.025	100%	\$ 8,462.50
	Additional Items (List):										
UTILITIES - STORM DRAINAGE SYSTEM											
	Storm line - 6" PVC SDR 35 (underdrain connections)	50	LF	\$ 45.00	93%	\$ 2,250.00	50	LF	\$ 45.00	93%	\$ 2,250.00
	Storm line - 15" RCP	480	LF	\$ 75.00	84%	\$ 36,000.00	480	LF	\$ 75.00	84%	\$ 36,000.00
	Cleanout - Underdrain, foundation drain or roof drain	3	EA	\$ 650.00	120%	\$ 1,950.00	3	EA	\$ 650.00	120%	\$ 1,950.00
	Inlet - Type 13 (3' depth)	3	EA	\$ 5,850.00	123%	\$ 17,550.00	3	EA	\$ 5,850.00	123%	\$ 17,550.00
	Inlet - 3' Combination (3' depth)	1	EA	\$ 6,650.00	109%	\$ 6,650.00	1	EA	\$ 6,650.00	109%	\$ 6,650.00
	Manhole - 4' (5' depth, w/ grated pedestrian rated lid)	3	EA	\$ 4,100.00	80%	\$ 12,300.00	3	EA	\$ 4,100.00	80%	\$ 12,300.00
	24" Sidewalk Chase	12	LF	\$ 285.00	116%	\$ 3,420.00	12	LF	\$ 285.00	116%	\$ 3,420.00
	Additional Items (List):										
	Storm Line - 15" PVC	380	LF	\$ 65.00	118%	\$ 24,700.00	380	LF	\$ 65.00	118%	\$ 24,700.00
	Storm Line - 4" PVC										
	3/4" IPEX Mister Waterline	395	LF	\$ 42.50	100%	\$ 16,787.50	395	LF	\$ 42.50	100%	\$ 16,787.50
ELECTRICAL											
Electrical Service:											
	New Excel Tranformer	0	LS	\$ -	0%	\$ -	0	LS	\$ -	0%	\$ -
	New Power Pedestal P1	1	LS	\$ 12,555.00	91%	\$ 12,555.00	1	LS	\$ 12,555.00	91%	\$ 12,555.00
	New Service Entrance feeder (#3)	1	LF	\$ 5,725.00	148%	\$ 5,725.00	1	LF	\$ 5,725.00	148%	\$ 5,725.00
General Power and Lighting:											
	General Receptacle	5	EA	\$ 420.00	109%	\$ 2,100.00	5	EA	\$ 420.00	109%	\$ 2,100.00
	Recpt & Ltg Branch Circuit	600	LF	\$ 14.00	105%	\$ 8,400.00	600	LF	\$ 14.00	105%	\$ 8,400.00
	Fiber Optic	1	LS	\$ 42,500.00	104%	\$ 42,500.00	1	LS	\$ 42,500.00	104%	\$ 42,500.00
Misting Pumps Power											
	Misting Pumps Power	1	LS	\$ 5,335.00	95%	\$ 5,335.00	1	LS	\$ 5,335.00	95%	\$ 5,335.00
	Additional Items (List):										
SITE CONSTRUCTION											
	Stripping and stockpile topsoil	4.8	AC	\$ 3,125.00	130%	\$ 15,000.00	4.8	AC	\$ 3,125.00	130%	\$ 15,000.00
	Place stockpiled topsoil	3910	CY	\$ 4.00	123%	\$ 15,640.00	3910	CY	\$ 4.00	123%	\$ 15,640.00
	Pavement subgrade prep (36" depth)	5300	CY	\$ 7.00	133%	\$ 37,100.00	5300	CY	\$ 7.00	133%	\$ 37,100.00
	Cut, fill and compact onsite material	19100	CY	\$ 5.80	80%	\$ 110,780.00	19100	CY	\$ 5.80	80%	\$ 110,780.00
	Concrete flatwork	28165	SF	\$ 7.50	116%	\$ 211,237.50	28165	SF	\$ 7.50	116%	\$ 211,237.50
	Colored concrete at Plaza	1105	SF	\$ 16.50	59%	\$ 18,232.50	1105	SF	\$ 16.50	59%	\$ 18,232.50
	Crusher fines	6650	SF	\$ 3.10	125%	\$ 20,615.00	6650	SF	\$ 3.10	125%	\$ 20,615.00
	Sandblasting	1	LS	\$ 11,150.00	47%	\$ 11,150.00	1	LS	\$ 11,150.00	47%	\$ 11,150.00
	Colored concrete at Sundial	320	SF	\$ 23.50	42%	\$ 7,520.00	320	SF	\$ 23.50	42%	\$ 7,520.00
	Concrete at Sundial	240	SF	\$ 12.50	38%	\$ 3,000.00	240	SF	\$ 12.50	38%	\$ 3,000.00
	Concrete Phases of the Moon Table	35	LF	\$ 410.00	96%	\$ 14,350.00	35	LF	\$ 410.00	96%	\$ 14,350.00
	Colored concrete seat walls	75	LF	\$ 310.00	61%	\$ 23,250.00	75	LF	\$ 310.00	61%	\$ 23,250.00
	Additional Items (List):										
	Import		CY		0%	\$ -		CY		0%	\$ -
	Export	1440	CY	\$ 16.50	96%	\$ 23,760.00	1440	CY	\$ 5.80	34%	\$ 8,352.00
	Concrete pads for electrical										
	Backflow and enclosure										
	3/4" PEX pipe										
PARKING LOT											
	Asphalt paving - 6.5"	380	tons	\$ 115.00	85%	\$ 43,700.00	380	tons	\$ 115.00	85%	\$ 43,700.00
	Concrete curb & gutter-6"vertical, 1' pan	660	LF	\$ 27.50	111%	\$ 18,150.00	660	LF	\$ 27.50	111%	\$ 18,150.00



DATE: April 17, 2017

TO: Shanen Weber
Design Concepts

FROM: Jim Pokorny
GoodLand Construction, Inc.

RE: Star Meadow Park

Dear Shanen:

Thank you for the opportunity to work with you on your exciting project. The following are the corrections to our bid proposal per our conversation:

Bid Items	Quantity	Unit Price	Total Cost
<u>Original Bid</u>			
Sediment Control Logs	1,325 LF	\$ 8.50	\$11,262.50
Export Soil	1,440 CY	\$16.50	\$23,760.00
Concrete Mow Band	605 LF	\$18.50	\$11,192.50
Backstop	1 LS	\$36,110.00	<u>\$36,110.00</u>
TOTAL			\$82,325.00
<u>Corrected Bid</u>			
Sediment Control Logs	40 LF	\$ 8.50	\$ 340.00
Cut & Fill Soil	1,440 CY	\$ 5.80	\$ 8,352.00
Concrete Mow Band	80 LF	\$18.50	\$ 1,480.00
Backstop	1 LS	\$4,025.00	<u>\$ 4,025.00</u>
TOTAL			\$14,197.00
TOTAL DIFFERENCE			\$68,128.00

If you have any questions regarding the above please do not hesitate to call me. Thank you.

760 Nile Street Golden, CO 80401 (303) 278-8100 Fax #(303) 278-0231

Star Park Work Breakout	Cost
Fine Grading	\$ 13,450
Soil Preparation and sod	\$ 141,225
Permenant Irrigation System	\$ 155,650
Irrigation Controller	\$ 3,780
Irrigation Pump	\$ 32,000
Back flow preventer	\$ 3,500
ROW Landscaping and Landscape Buffers	\$ 8,935
Total Hard Cost	\$ 358,540
Contingency (10% of Goodland Bid)	\$ 35,854
	\$ 394,394

EXHIBIT B

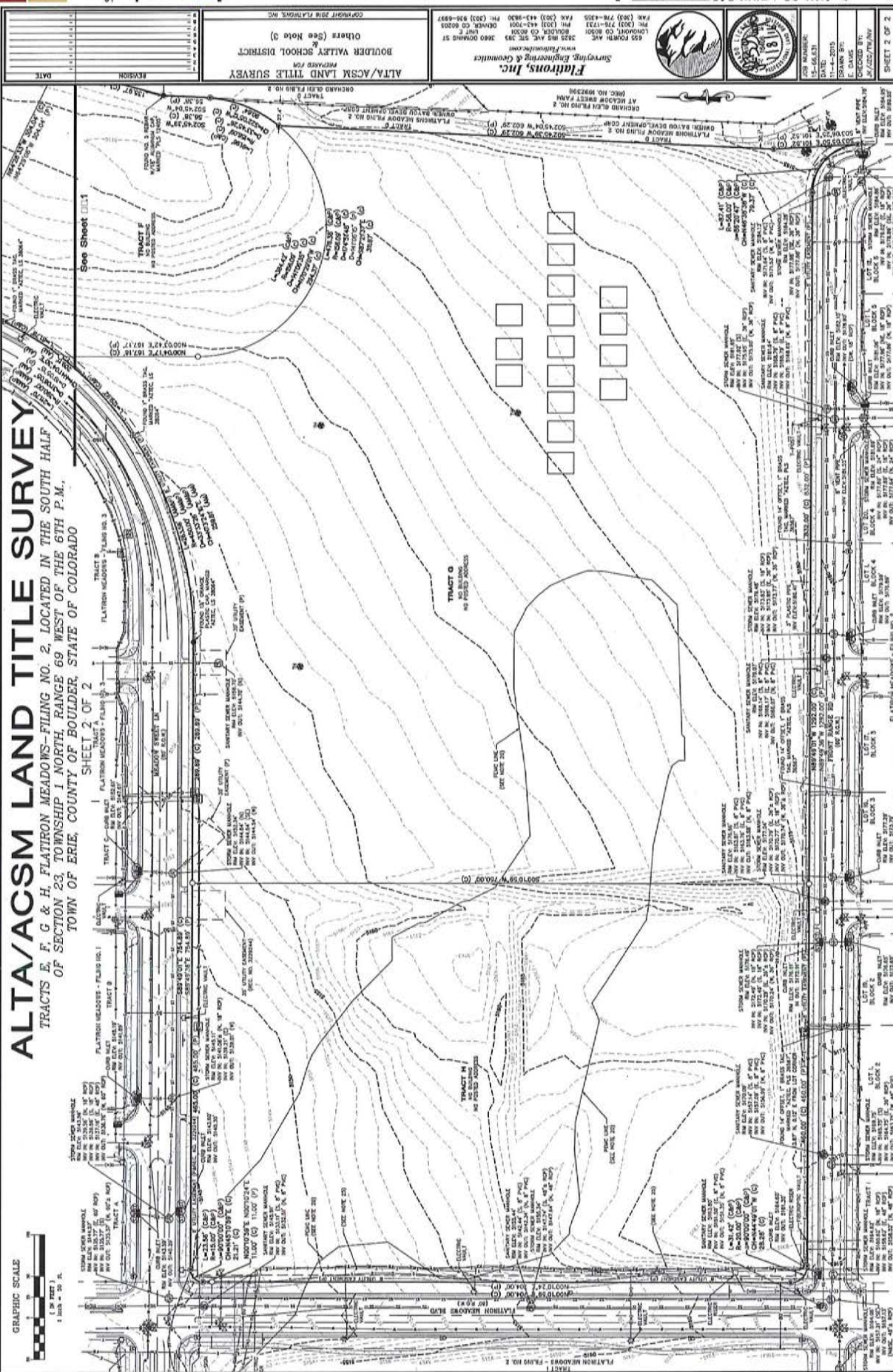
[see following 42 pages]



Project No.: 21523.00	Issued For:	Dates:
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	50% GCs	12.13.16
	50% GCs	01.14.17
	50.50	02.21.17

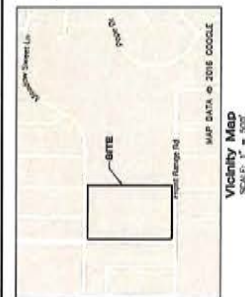
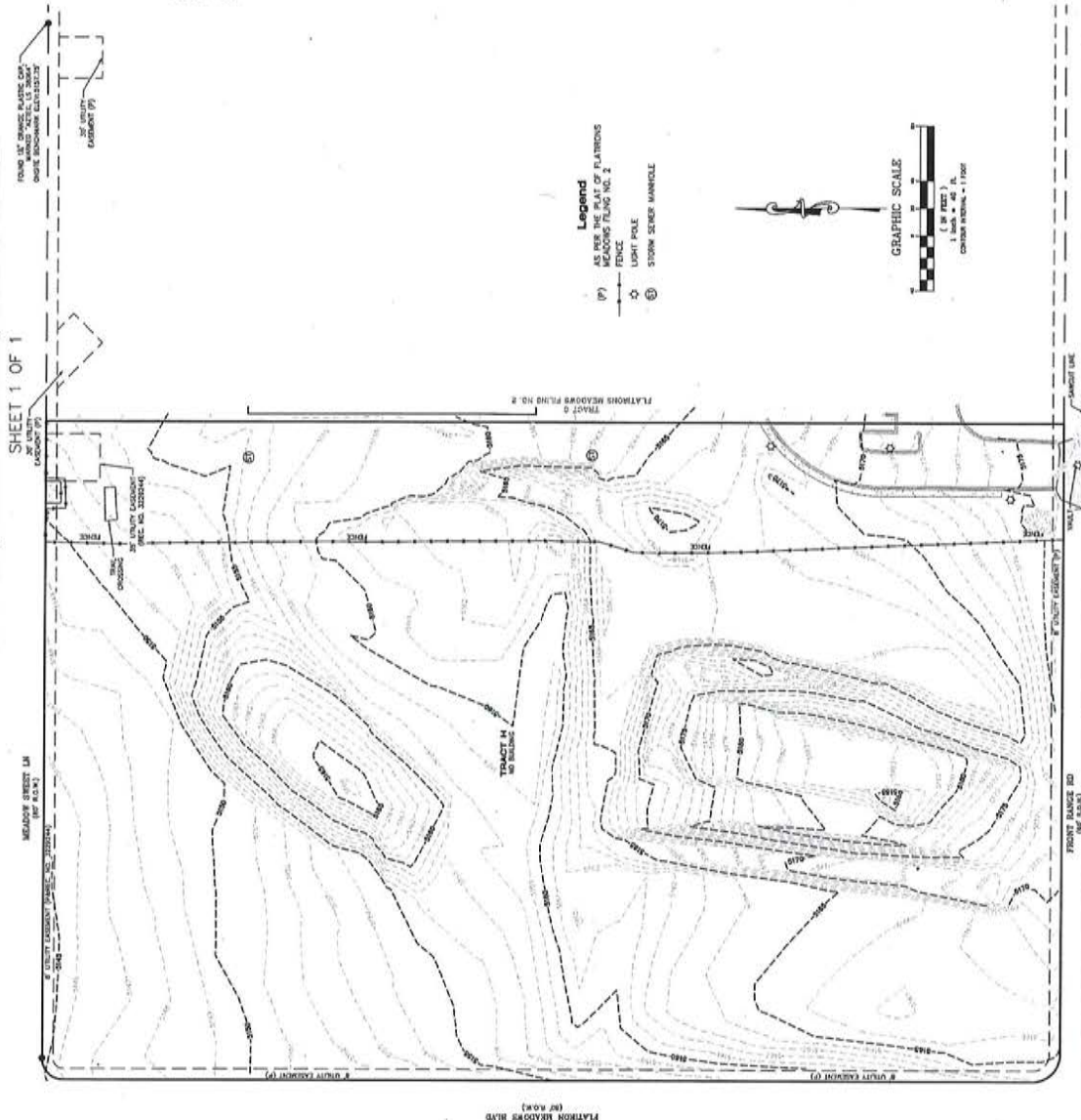
Drafted By: AJ & SM
 Checked By: LL & SW

ALTA SURVEY



TOPOGRAPHIC EXHIBIT

TRACT H, FLATIRON MEADOWS-FILING NO. 2, LOCATED IN THE SOUTH HALF OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO



Parcel Description

PREPARED BY: DPM, INC. (PROCESSED BY DPM, INC.)
 PLAT RECORDED ON 05/27/2013 AT REC. NO. 0313537
 TRACT H, FLATIRON MEADOWS-FILING NO. 2,
 CITY OF ERIE, COUNTY OF BOULDER,
 STATE OF COLORADO

Notes

1. DPM, INC. HAS BEEN ADVISED THAT THE PROPERTY SHOWN ON THIS EXHIBIT WAS ENTIRELY RELIED UPON FOR RECORDING INFORMATION REGARDING RIGHTS-OF-WAY, EASEMENTS, AND ENCUMBRANCES IN THE PROPERTY SHOWN AND DESCRIBED HEREON IS ALL OF THE PROPERTY DESCRIBED IN SAID TITLE ENDS.
2. ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY EASEMENT OR ENCUMBRANCE SHOWN ON THIS EXHIBIT WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY THIS DEFECT BE DISCOVERED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
3. THIS EXHIBIT WAS PREPARED FOR THE EXCLUSIVE USE OF JVA, INC. AND DESIGN CONCEPTS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT AN EXPRESS STATEMENT BY THE SURVEYOR NAMING SAID PERSON.
4. THIS EXHIBIT IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
5. SOURCE INFORMATION FROM PLANS AND MAPS HAVE BEEN COMPILED WITH ASSUMED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, THE EXISTENCE OF UTILITIES IS NOT GUARANTEED. ANY PERSONS WHOSE UTILITIES ARE NOT ACCURATELY COMPLETELY AND RELIABLY SHOWN, SHOULD CONDUCT AN ADDITIONAL SURVEY. INFORMATION IS REQUIRED. THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY TO VERIFY THE EXISTENCE OF UTILITIES. THE CLIENT IS ADVISED THAT THE EXISTENCE OF UTILITIES AND STRUCTURES, ALL UNDERGROUND UTILITIES MUST BE FIELD LOCATED BY THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY EXCAVATION, PURSUANT TO C.A.S. SEC. 9-1-103.
6. THE DISTANCE MEASUREMENTS SHOWN HEREON ARE U.S. SURVEY FEET.
7. THE CONTIGUOUS REPRESENTED HEREON WERE INTERPOLATED BY AIRCRAFT DATA TO (NORTH-TERRAIN MODELING) SOFTWARE BETWEEN ACTUAL MEASURED SPOT ELEVATIONS. EXTENDING ON THE CONTIGUOUS FROM A MEASURED SPOT ELEVATION TO A MEASURED SPOT ELEVATION, THE PURPOSE OF THIS TOPOGRAPHIC MAP IS FOR SITE EVALUATION AND TO SHOW SURFACE ELEVATIONS. THE TOPOGRAPHIC MAP IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE SPECIFIC AREAS OF DESIGN, TOPOGRAPHY SHOWN HEREON COMPLETES WITH NATIONAL MAP ACCURACY STANDARDS.
8. BENCHMARK INFORMATION: A GPS DERIVED ELEVATION WAS ESTABLISHED AT AN ON-SITE BENCHMARK, "LATEC, 15 30004" WITH AN ELEVATION OF 1017.75 FEET, A CHECK SHOT, 0.24 WAS TAKEN ON POINT 21, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
9. FLOOD INFORMATION: THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE FLOOD PRONE. THE FLOOD INFORMATION IS SUBJECT TO CHANGE.
10. DATES OF FLOODING: DECEMBER 8 & 19, 2012 (CHEN CHIEF: D. WILSON).
11. BOUNDARY DETERMINATION IS NOT A PART OF THIS EXHIBIT. THIS IS NOT A "LAND SURVEY" AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION SHOWN HEREON. THE ESTABLISHMENT OF A FENCE, BUILDING OR OTHER FUTURE IMPROVEMENT LINES, TRANSFER OF TITLE OR SUBDIVISIONS OF LAND AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF A FENCE, BUILDING OR OTHER FUTURE IMPROVEMENT LINES.

Surveyor's Statement

I, JOHN B. CATTION, SURVEYOR, LICENSED IN THE STATE OF COLORADO, HEREBY STATE FOR AND ON BEHALF OF FLATIRON, INC., TO JVA, INC. AND DESIGN CONCEPTS, INC. THAT THIS EXHIBIT WAS PREPARED FOR THE EXCLUSIVE USE OF JVA, INC. AND DESIGN CONCEPTS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT AN EXPRESS STATEMENT BY THE SURVEYOR NAMING SAID PERSON. I, JOHN B. CATTION, COLORADO P.L.S. #1608, CATTION & FEE, FLATIRON, INC.



STAR MEADOWS PARK

Erie, Colorado



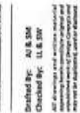
Project No.: 201203-00
 Date: 11/15/12
 Surveyor: J.B. Cattion
 Station: 11.15
 Section: 23
 Township: 1N
 Range: 69W
 State: CO

TOPOGRAPHIC
 SURVEY

1.



Erie, Colorado



2.

PROPERTY UNDERGIRDING

STORM DRAIN	_____
SANITARY SEWER	_____
WATER	_____
UNDERDRAIN	_____
TELEPHONE	_____
ELECTRIC	_____
RAIL	_____
ROADWAY	_____



1 D P
SECRET 04007

16. The following three statements are true. Which of the following is FALSE?
a. The number of people who are employed in the service sector is increasing.
b. The number of people who are employed in the manufacturing sector is decreasing.
c. The number of people who are employed in the agricultural sector is decreasing.
17. The following three statements are true. Which of the following is FALSE?
a. The number of people who are employed in the service sector is increasing.
b. The number of people who are employed in the manufacturing sector is decreasing.
c. The number of people who are employed in the agricultural sector is decreasing.
18. The following three statements are true. Which of the following is FALSE?
a. The number of people who are employed in the service sector is increasing.
b. The number of people who are employed in the manufacturing sector is decreasing.
c. The number of people who are employed in the agricultural sector is decreasing.
19. The following three statements are true. Which of the following is FALSE?
a. The number of people who are employed in the service sector is increasing.
b. The number of people who are employed in the manufacturing sector is decreasing.
c. The number of people who are employed in the agricultural sector is decreasing.
20. The following three statements are true. Which of the following is FALSE?
a. The number of people who are employed in the service sector is increasing.
b. The number of people who are employed in the manufacturing sector is decreasing.
c. The number of people who are employed in the agricultural sector is decreasing.

[illegible]



10. WHERE RIPRAP IS CALLED FOR ON THE PLANS FOR EROSION CONTROL, IT SHALL CONFORM TO THE URBAN STORM DRAINAGE CRITERIA MANUAL SPECIFICATIONS (LATEST REVISION).

the Colorado



bytes

C0.3

10. WHEN IT SH
MANU

STANDARDS AND T

R. ALL CONCRETE EDGES MUST BE ROUNDED TO A FOURTH (1/4) INCH RADIUS, EXCEPT WHERE SHOWN OTHERWISE ON DRAWINGS.

12217

III. DETERMINATION OF CROWN FOR CUL DE SAC PAYING SHALL BE EVALUATED ON A CASE BY CASE BASIS.

10/20/97



Erie, Colorado



Project No.:	21823.00
Issued For:	District
300% CD:	11.84.16
50% CD:	12.13.16
90% CD:	13.24.17
100% CD:	13.24.17

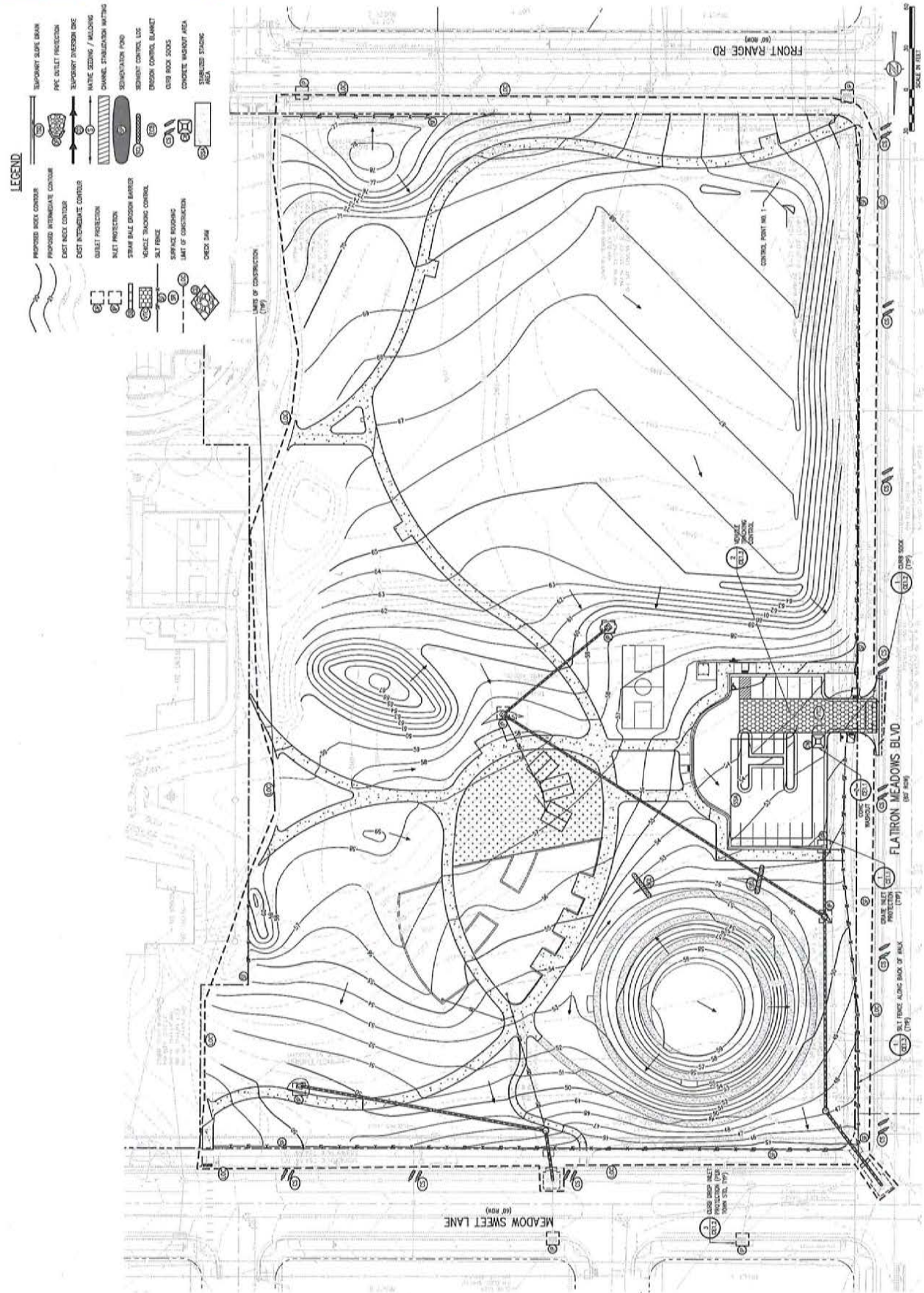
Drafted By: SW & WTP
 Checked By: Jinhai

All drawings and contents are the property of the District Engineer and shall not be distributed, used or altered without the written permission of the District Engineer.

Erosion Control Plan

Erosion Control Plan

CE1.0



STAR MEADOWS PARK

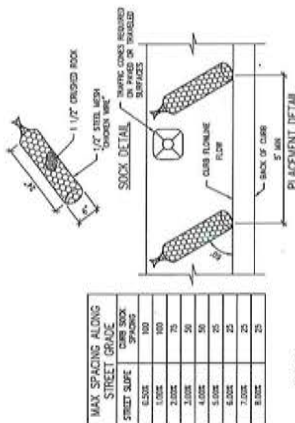
Erie, Colorado



Project No.: 21623.00	Issued For:	Date:
	200% COI	11.04.16
	20% COI	12.13.16
	20% COI	01.24.17
	20% COI	02.21.17

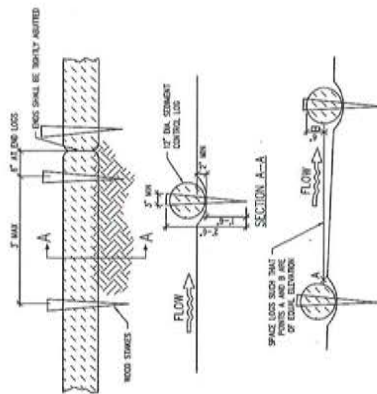
Authorized By: SW & WTP
Checked By: HMM

CE1.2



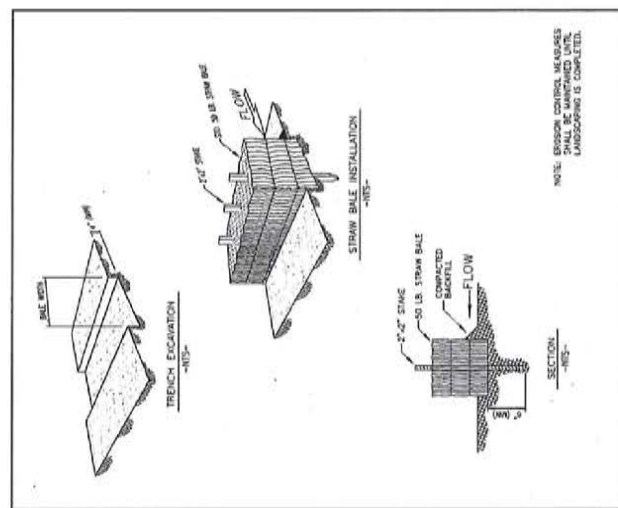
NOTES

1. SOCKS WILL BE USED UPGRADENT OF INLET ANGLED AS SHOWN AND FLUSH WITH CURB.
2. AT INLETS, NO LESS THAN THREE 6-INCH DIAMETER SOCKS MUST BE USED IN SEQUENCE, SPACE NO MORE THAN FIVE FEET APART.
3. INCLUDE AT 30' FROM SUBORDINATE, OPPOSITE DIRECTION OF FLOW.



ENVIRONMENT CONTROL LOG INSTALLATION NOTES

- [illegible]



NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL LANDSCAPING IS COMPLETED.



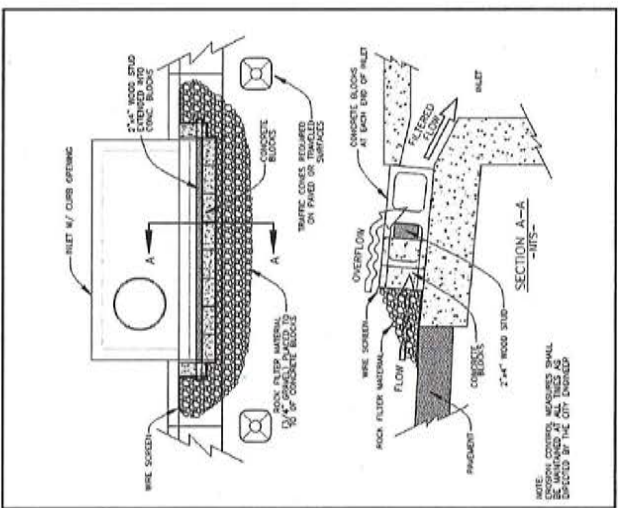
The Turn of 	DRAWING TITLE: STRAW BALE EROSION BARRIER
--	--

APPROVED BY: D. JENKINS APPROVED BY: BEHLEN DATE: 06/2004

DAVID D. JENKINS



STRAW BALE PROTECTION DETAIL 3



NOTE: REGION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AS SPECIFIED BY THE CITY ENGINEER.

DRAWING TITLE: CURB INLET GRAVEL FILTER

William D. Jenkins approved by: G. Behlen Date: 05/20/04

Submitted: D. JENKINS approved by: G. BEHLEN DATE: 06/2004

INLET PROTECTION DETAIL





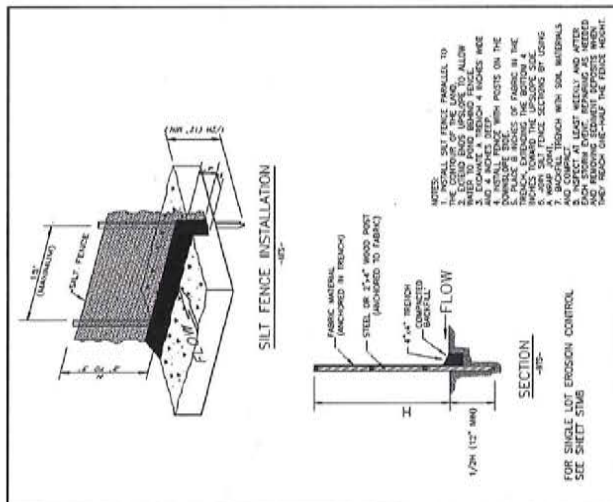
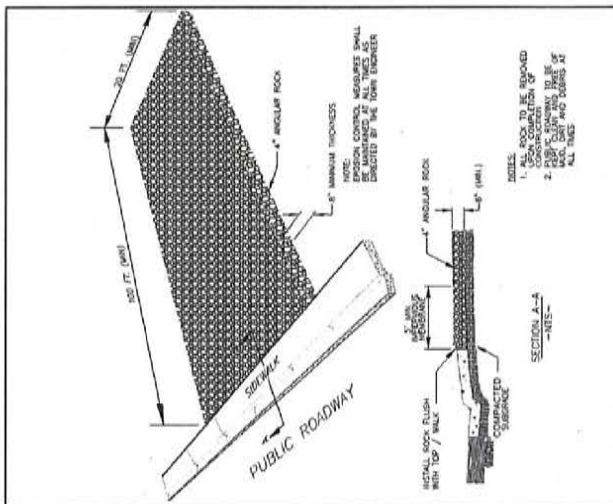
Erie, Colorado



Issued For:	Dates:
100% O/O	11.04.16
50% O/O	12.13.16
50% O/O	01.14.17
100% O/O	02.21.17

Drafted By: SW & WTP
 Checked By: HMM

CE1.3



The Town of
ERIE
COLORADO



ORDERED TITLE TRACKING CONTROL PAD—
CRUSHED ROCK

DRAWING NUMBER: STMSA
DESIGNED BY: D. JENKINS APPROVED BY: C. BEHLEN DATE: 1/2013

The Town of
ERIE
COLORADO



DRAWING TITLE: SILT FENCE EROSION BARRIER
DRAWING NUMBER: STM4
DRAWN BY: D. JENKINS APPROVED BY: BENJEN BARTO 06/2008

VEHICLE TRACKING CONTROL DETAIL

SILT FENCE DETAIL

STAR MEADOWS PARK

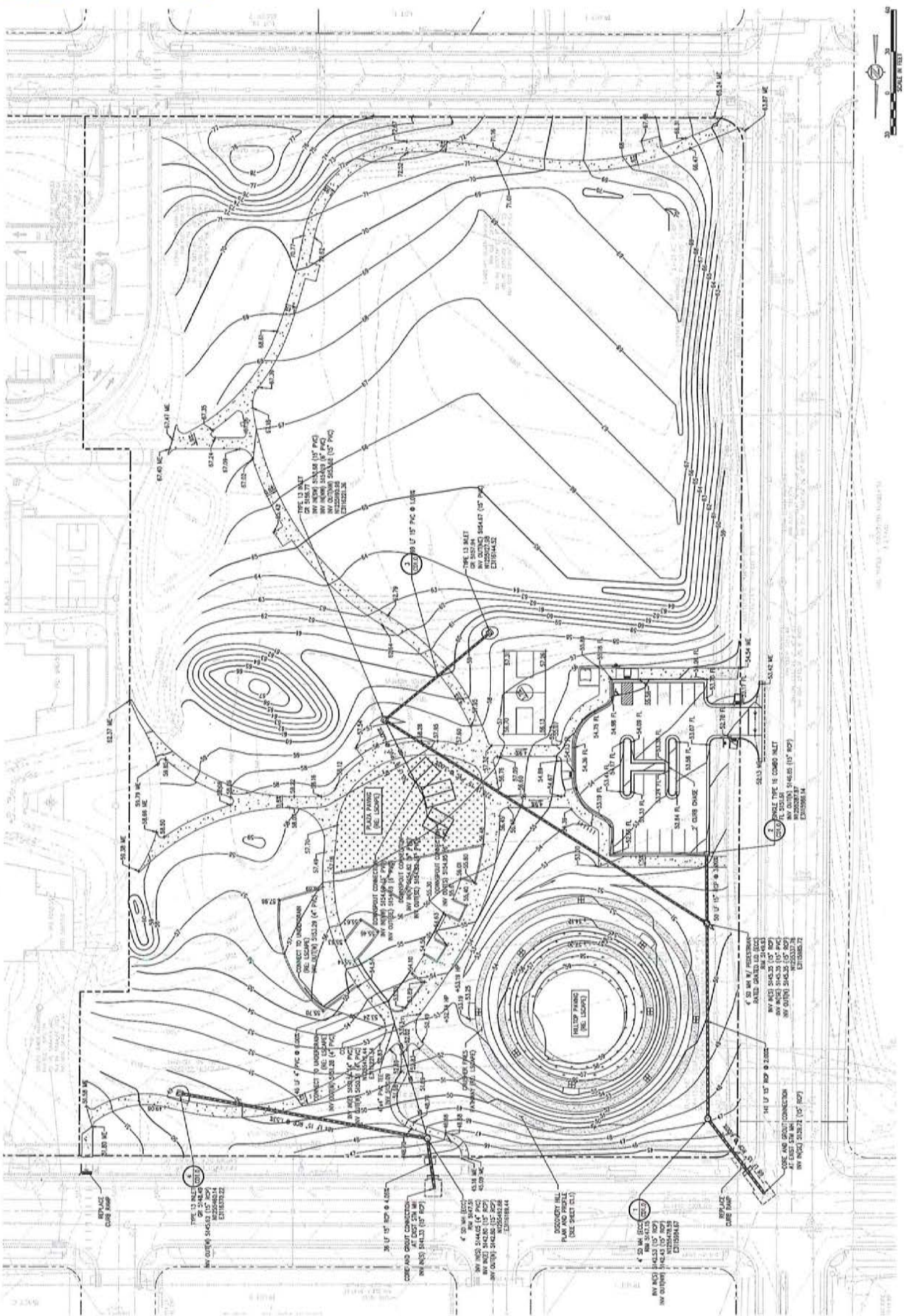
Eng. Colorado



Project No.: 21010-00
Date: 11/14/24
Issued For: 11/14/24
Scale: 1" = 20' (PLAN)
Scale: 1" = 40' (SECTION)
Scale: 1" = 80' (ELEVATION)
Drawn By: JPM & WTP
Checked By: JPM
Reviewed By: JPM
Noted By: JPM
This drawing is the property of Design Concepts and shall not be used for any other project without the written consent of Design Concepts.

Grading and Drainage
Plan

C1.0





Community + Landscape Architects
201 Fourth Public Road, Suite 200
Tulsa, Oklahoma 74103
Telephone: (918) 582-0226
Fax: (918) 582-0226



Erie, Colorado



C1.1



Product No.: 216273.00

Received From	Position
Project from University	

Issued For:	Date:
100% O2i	11.04.16

50% CD4	17.13.16
60% CD4	20.14.17

9055 CD4	91.24.17
9059 CD4	92.71.17

Crafted By: SW & WTP

Checked by: HMM

All drawings and written material submitted must be original and legible.

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may not be duplicated, used or otherwise

Discovery Hill Profile



DESIGN
CONCEPTS

Consulting Engineers, Architects
211 West 10th Street, Suite 200
Lawrence, KS 66044
781.842.1234



STAR MEADOWS PARK

Olathe, Colorado

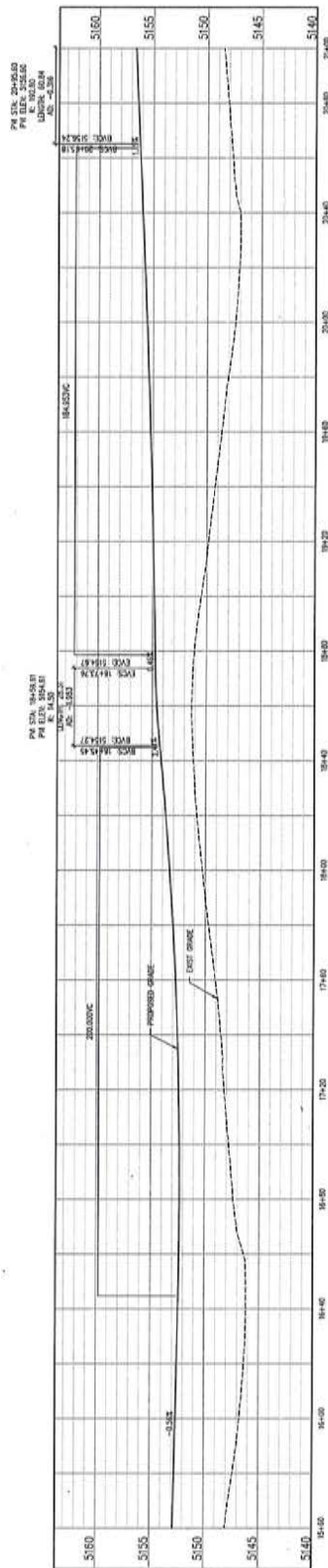


Project No.: 21053.00
Drawn By: J. L. Smith
Checked By: J. L. Smith
Issued For: J. L. Smith
2005.02.01
2005.02.01
2005.02.01
2005.02.01

Drawn By: J. L. Smith
Checked By: J. L. Smith
Issued For: J. L. Smith
2005.02.01
2005.02.01
2005.02.01
2005.02.01

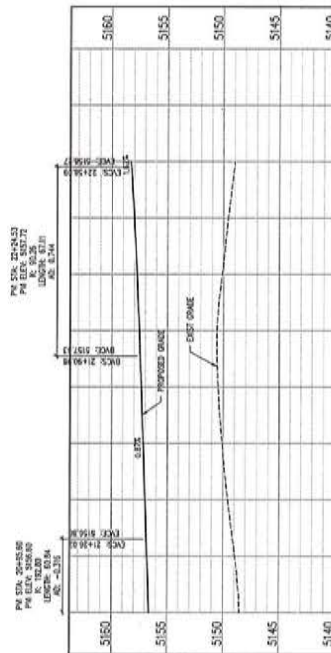
Discovery Hill Profile

C1.2



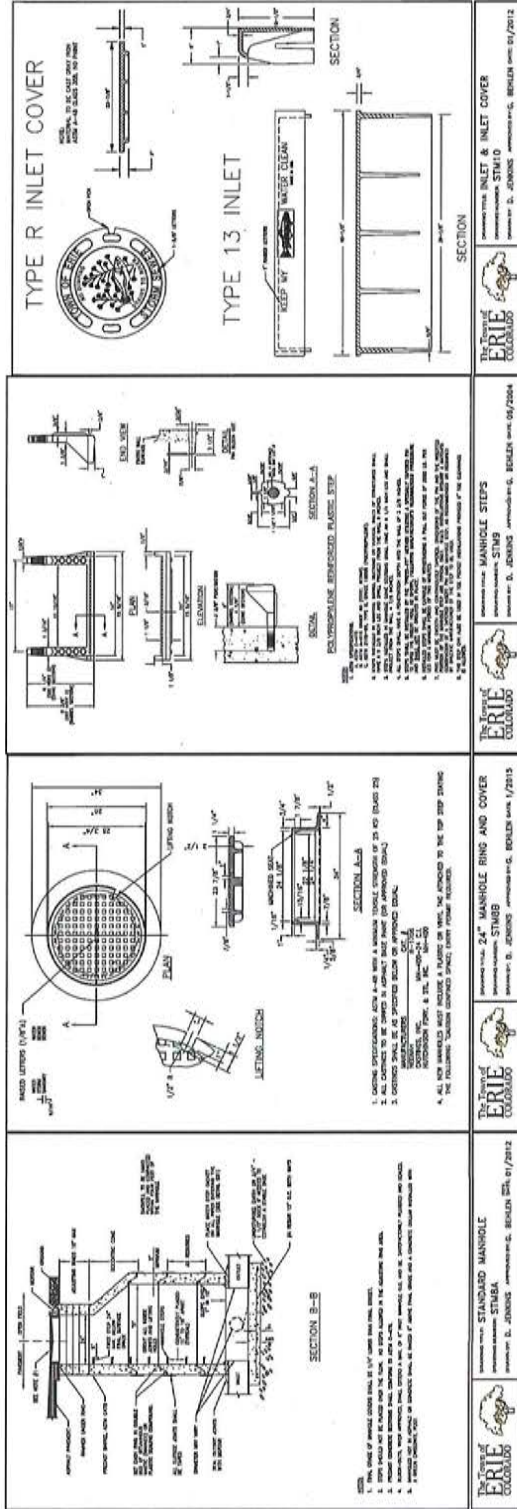
Discovery Hill Profile

Scale: 1"=20' HORIZ
1"=5' VERT

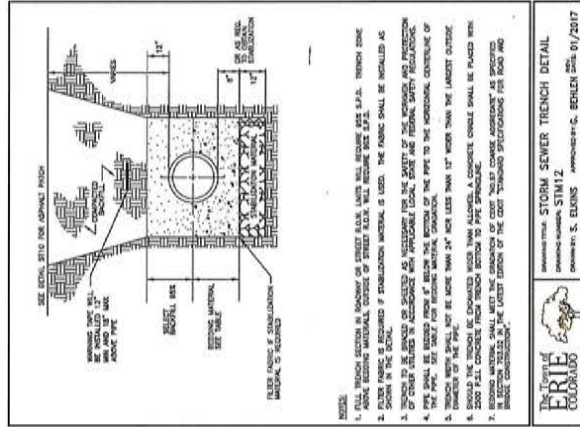


Discovery Hill Profile

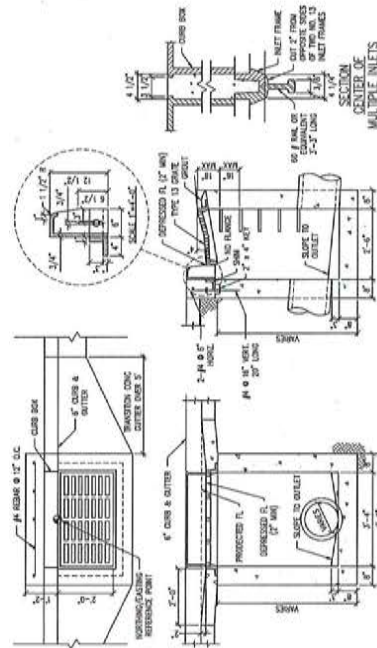
Scale: 1"=20' HORIZ
1"=5' VERT



STORM MANHOLE DETAIL



STORM SEWER TRENCH DETAIL



COMBINATION INLET DETAIL



Project No. 2100-01
Sheet No. 1574
Date: 01/2017
Drawn By: D. JOHNSON
Checked By: D. JOHNSON
Approved By: D. JOHNSON

DESIGN DETAILS
1. ALL SLOPE SHALL BE 1% MINIMUM CLEARANCE.
2. ALL SLOPE SHALL BE 1% MINIMUM CLEARANCE.
3. ALL SLOPE SHALL BE 1% MINIMUM CLEARANCE.
4. ALL SLOPE SHALL BE 1% MINIMUM CLEARANCE.
5. ALL SLOPE SHALL BE 1% MINIMUM CLEARANCE.

STAR MEADOWS PARK
 Erie, Colorado

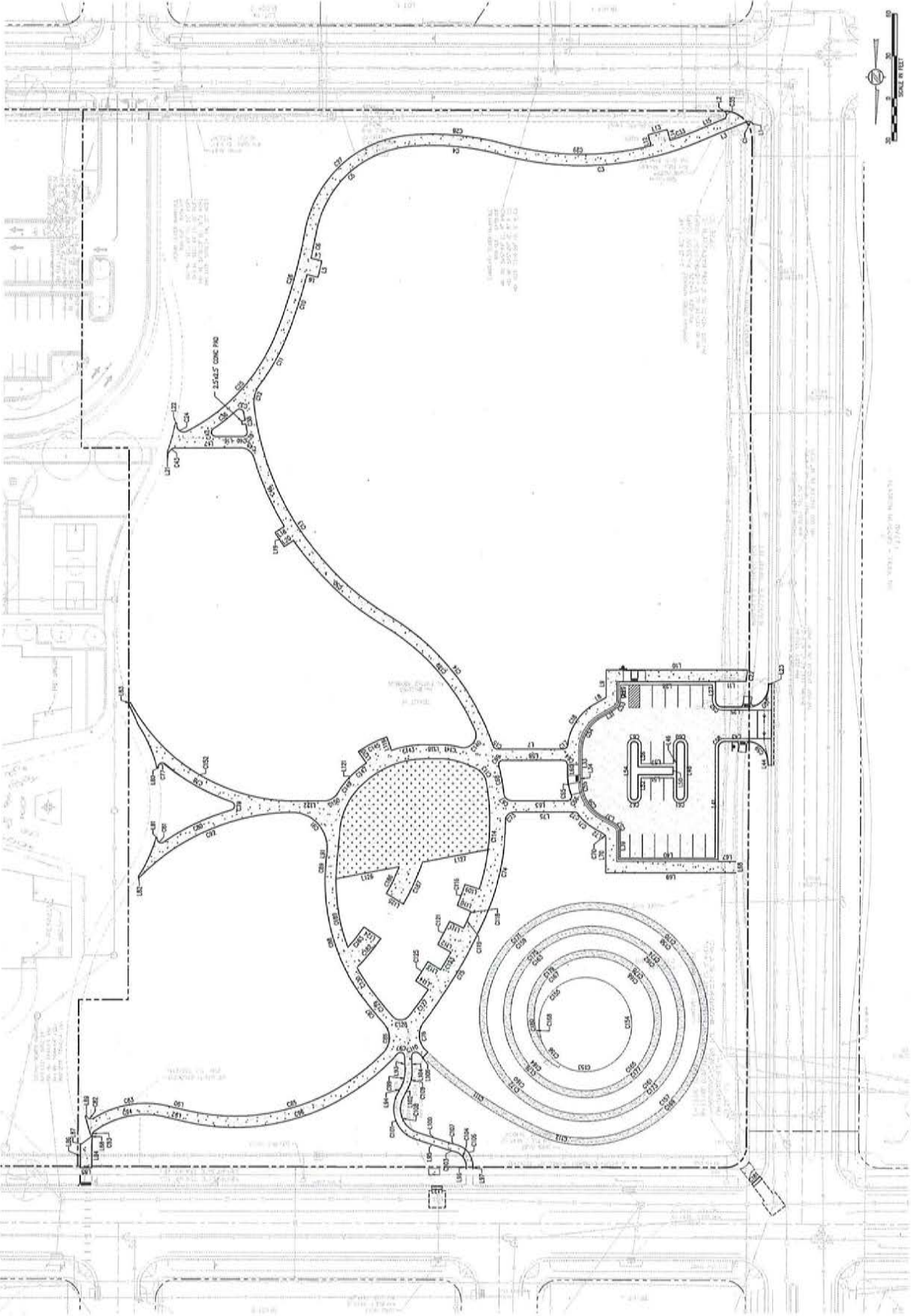


Project No.: 201201-00
 Date: 12/15/10
 Revised For: 12/15/10
 200% CO: 12/15/10
 50% CO: 12/15/10
 100% CO: 12/15/10

Designed By: JRM & WTP
 An American and British registered
 professional engineer and landscape
 architect firm, jointly responsible for
 the design and construction of
 this project.

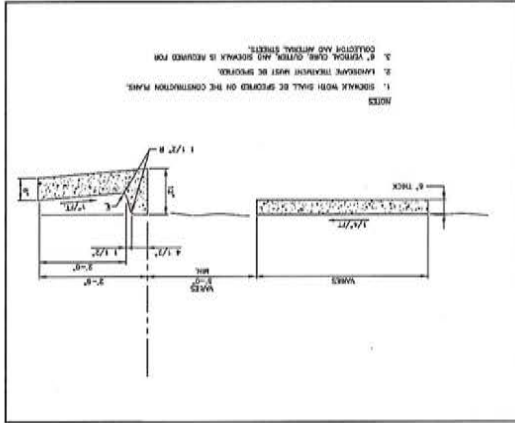
Horizontal Control Plan

C3.1



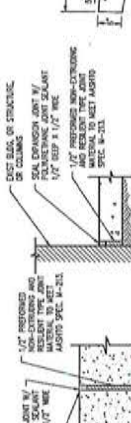
STAR MEADOWS PARK

Erie, Colorado

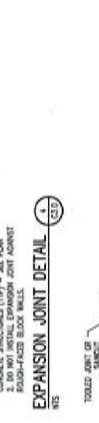


THE TOWN OF ERIE
COLORADO
DESIGNED BY: [Firm Name]
DATE: 01/2014
PROJECT NO: [Project Number]

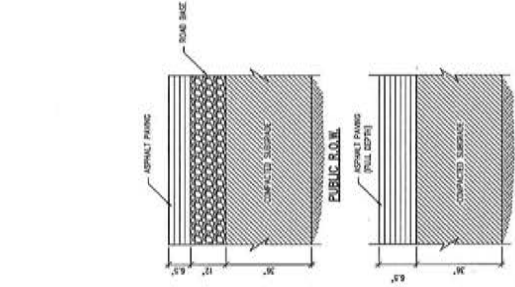
6" VERTICAL CURB, GUTTER AND DETACHED SIDEWALK



EXPANSION JOINT DETAIL



CONTRACTION JOINT DETAIL



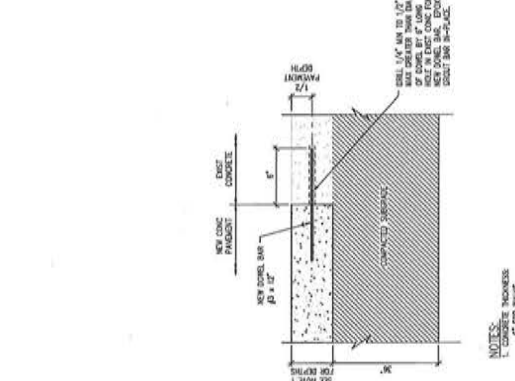
ASPHALT PAVING SECTION DETAIL



CONCRETE PAVING SECTION DETAIL



ROLLED CURB & GUTTER DETAIL



CONCRETE PAVING SECTION DETAIL



ROLLED CURB & GUTTER DETAIL



EXPANSION JOINT DETAIL

CONTRACTION JOINT DETAIL



Enne, Colorado



Drafted By: JHM
Checked By: ADJ

SITE
ELECTRICAL
PLAN

E1.0



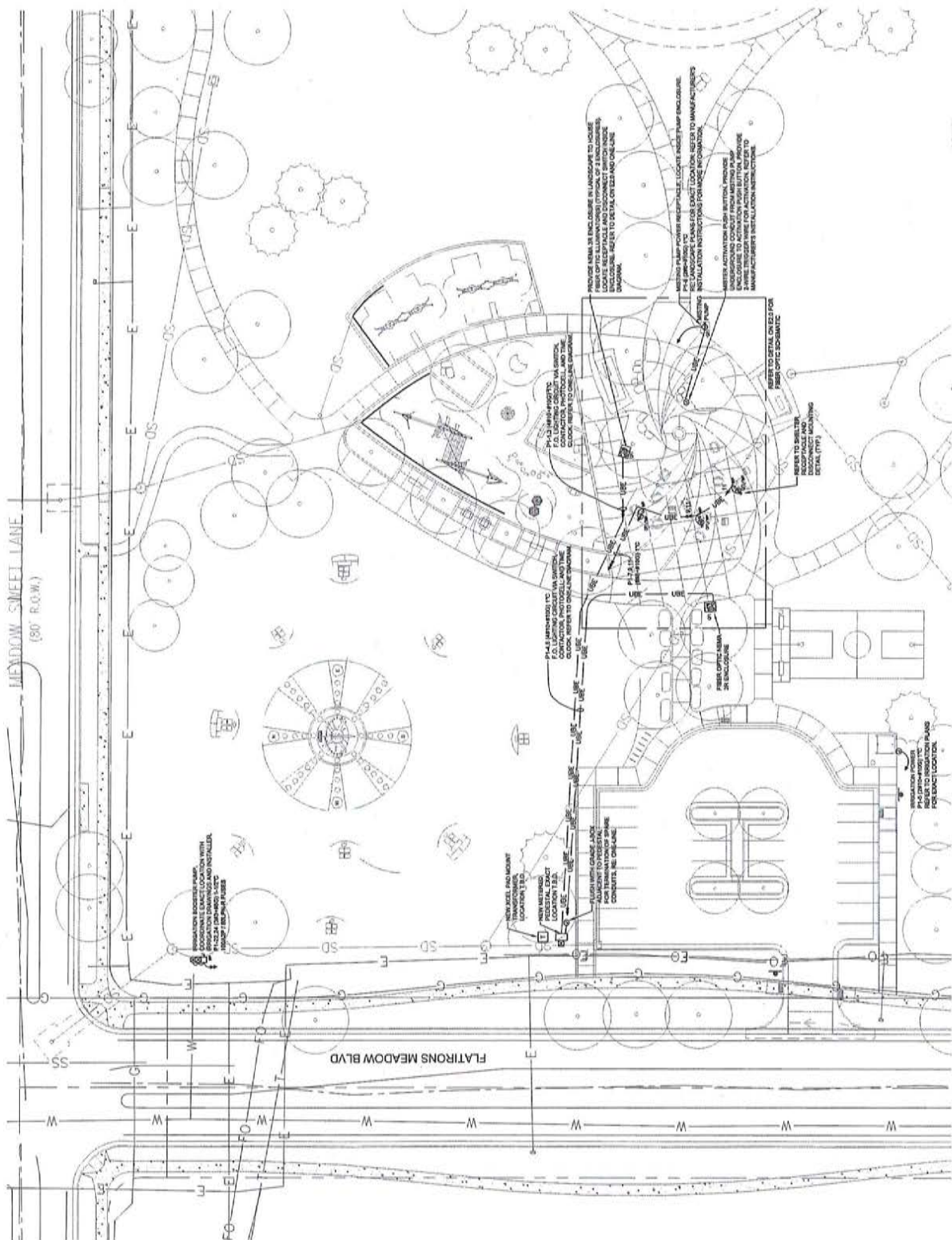
**Know what's below.
Call before you dig.**

LEGEND*

- [illegible]

SITE PLAN GENERAL NOTES

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Journal compilation © 2006 Blackwell Publishing Ltd



North

Map Plan

Scale: 1" = 20'





Product No.: 21633100	
Insured For:	Bales
100% 00%	11.04.16
50% 50%	12.13.16
50% 50%	01.20.17
80% 20%	02.27.17

Graded By: HB
 Checked By: AJJ

All drawings and written material
 representing the project shall be
 submitted to the Engineer for
 approval. The Engineer's approval
 shall be in writing. The Engineer
 may not be responsible for or
 liable for any damage or loss
 of any kind.

E2.0

[illegible]

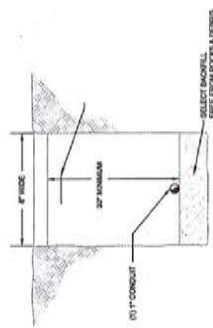
MEAN 3/8" ENCLOSURE, 18" x 18" x 47" H. MOUNT AND SECURE TO A CONCRETE FLOOR/CEILING AND WITH THE FANS EXTENDING A MIN. 4" FROM ALL SIDES OF THE ENCLOSURE. THE ENCLOSURE SHALL BE 2" CONCRETE SLEEVES FROM BOTTOM OF FEEDS/FLAT FOR FIBER OPTIC CABLES.

PROVIDE ILLUMINATION WITH PLYWOOD BACK BOARD FOR MOUNTING LUMINOUS TUBES VERTICALLY TO THE BACKBOARD. FIBER OPTIC CONNECTION SHALL BE ORIENTED IN THE DOWNWARD DIRECTION TO EXIT THE TUBES. TIE IN THE SLEEVES UNDERGROUND TO FIBER OPTIC CABLES. PROVIDE CONDUIT FOR CABLES RECOMMENDED BY SYSTEM MANUFACTURER (NOMED BASED ON RECEIPTABLE).

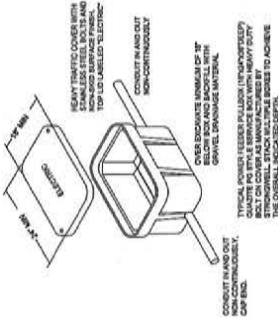
PROVIDE 4 SERIES OPTIC ILLUMINATORS IN TENSURA PVDF POLYMER DIE CAST ILLUMINATOR FRAME ENCLOSED. ILLUMINATORS SHALL PROVIDE BRIGHT LIGHT WITH A TWINKLE FEATURE. PROVIDE PM-8000-PVDF-SERIES ILLUMINATOR. PROVIDE BUNDLES OF FIBER WITH 2 DIFFERENT DIAMETER STRANDS TO COVER THE AREAS INDICATED ON PLAN. FIBER OPTIC STAMPING 48 SERIES. REFER TO SPECIFICATIONS SECTION 3960 FOR MORE INFORMATION. PROVIDE SINGLE LENGTHS UP TO 10' LONG. PROVIDE 10' LONG LENGTHS FOR EACH AREA INDICATED ON PLAN. FIBER OPTIC SHALL BE INSTALLED AS COORDINATED WITH FIBER OPTIC LIGHTING MANUFACTURER. FIBER SHALL BE INSTALLED AS RECOMMENDED BY FIBER OPTIC MANUFACTURER AND AS IS NOTED IN SPECIFICATIONS. CONTACT WINDMAKER, LLC IN DALLAS TX FOR MORE INFORMATION 972-658-0588. FIBER OPTIC MANUFACTURER SHALL PROVIDE SHOP DRAWINGS WITH INFORMATION ON INSTALLATION OF ILLUMINATOR. PLEASE OBTAIN QUOTE, LAYOUT ETC. FOR SUBMITTAL REVIEW.

Scores: NA

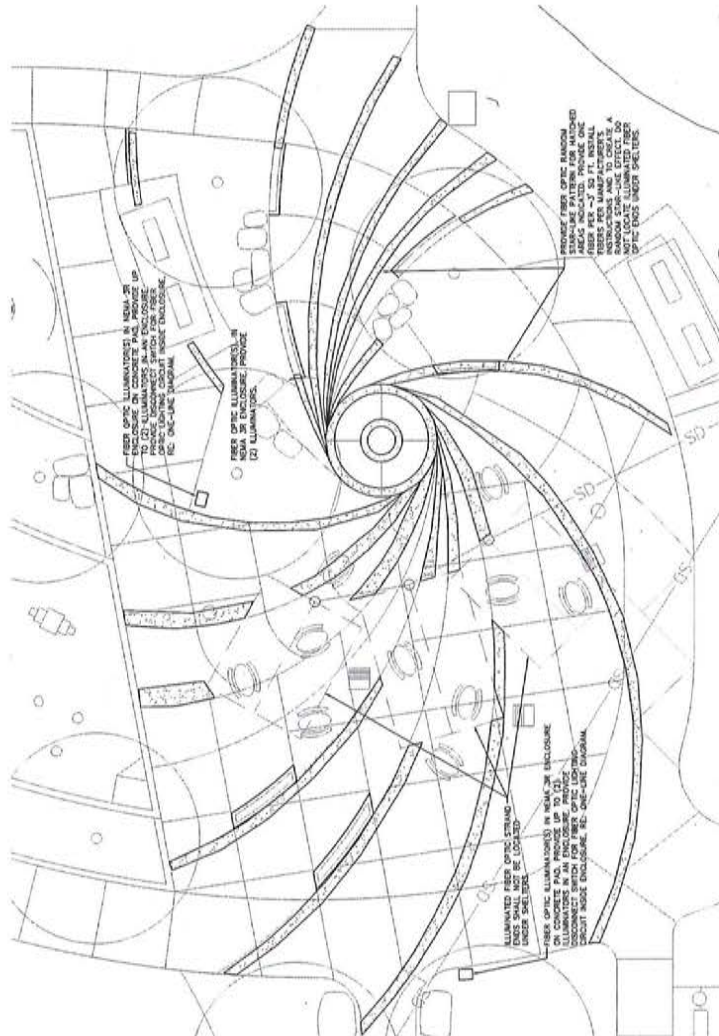
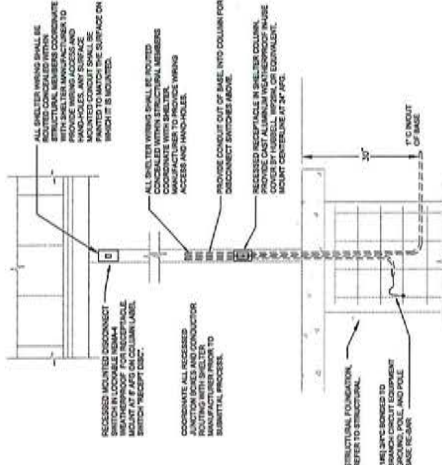
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Color: N/A



color: N/A



Scale: 1/8" = 1'-0"



erie, Colorado

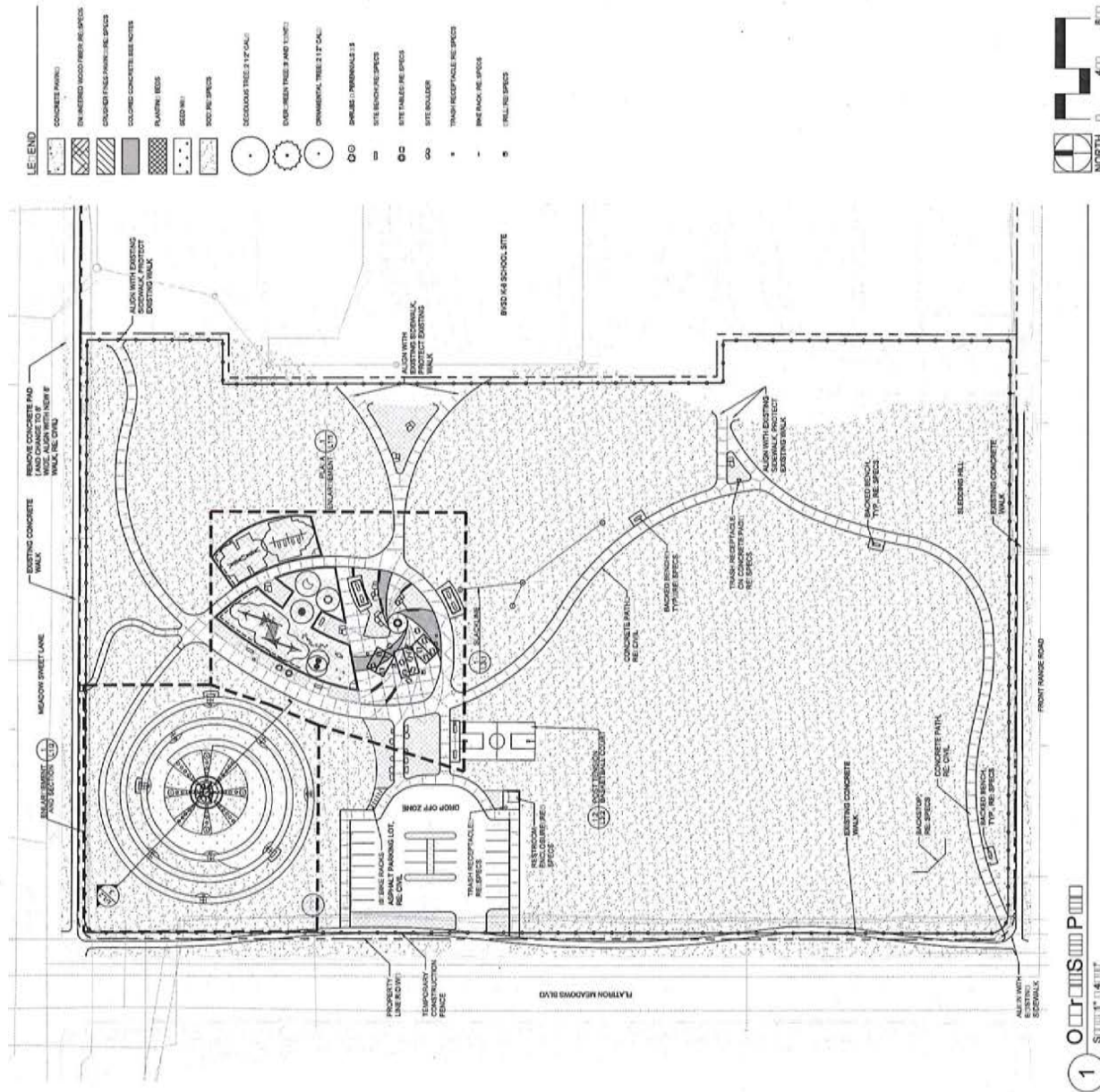


Project No.:	21623.00
Issued For:	Dates:
100% DO	11.04.16
50% COX	12.13.16
50% COX	05.24.17
50% SET	02.21.17

Drafted By: AJ & SM
Checked By: LL & SW

OVERALL SITE
PLAN

01.0



Some Notes

- [illegible]

1 O r S P



Erie, Colorado

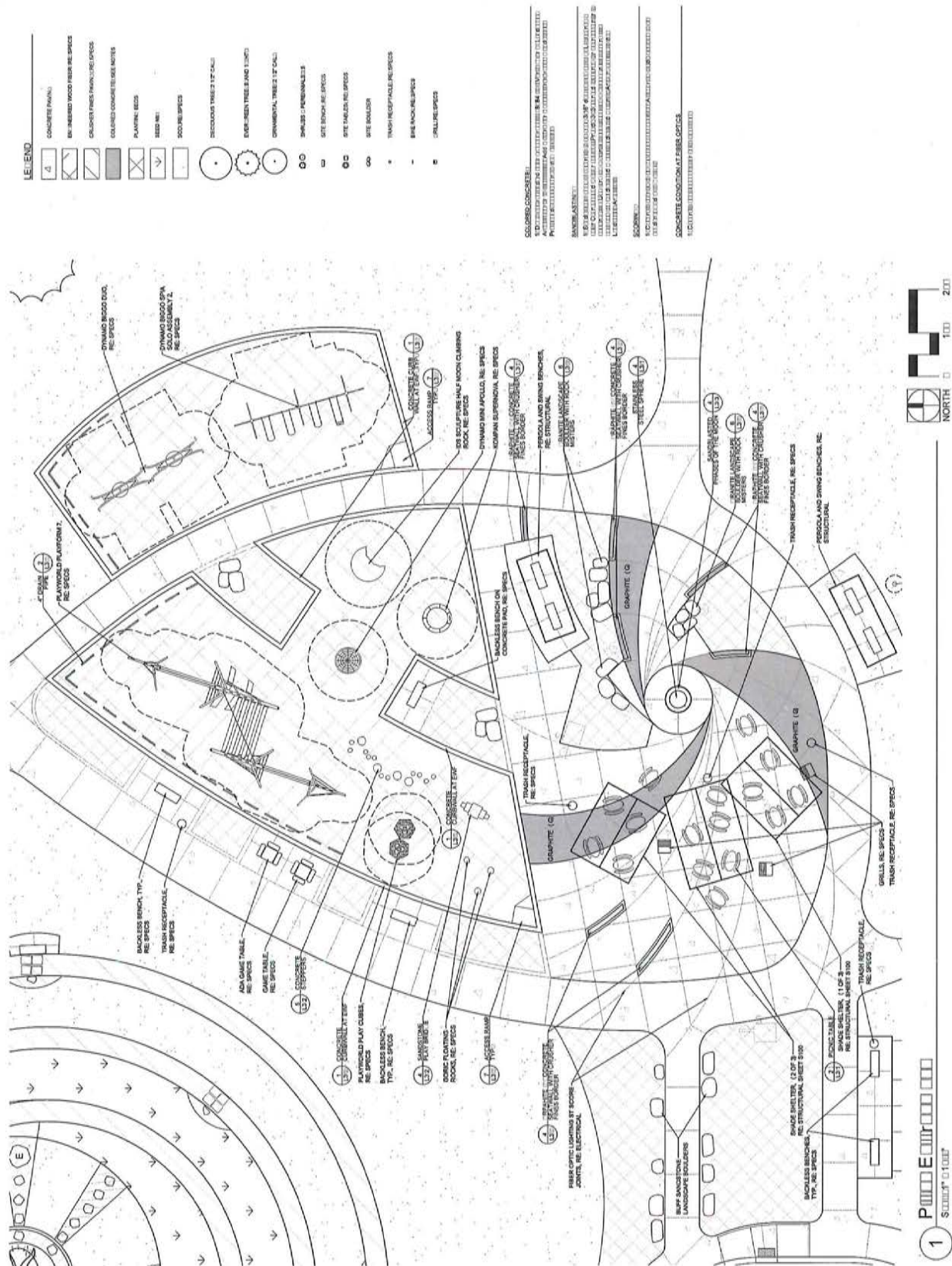


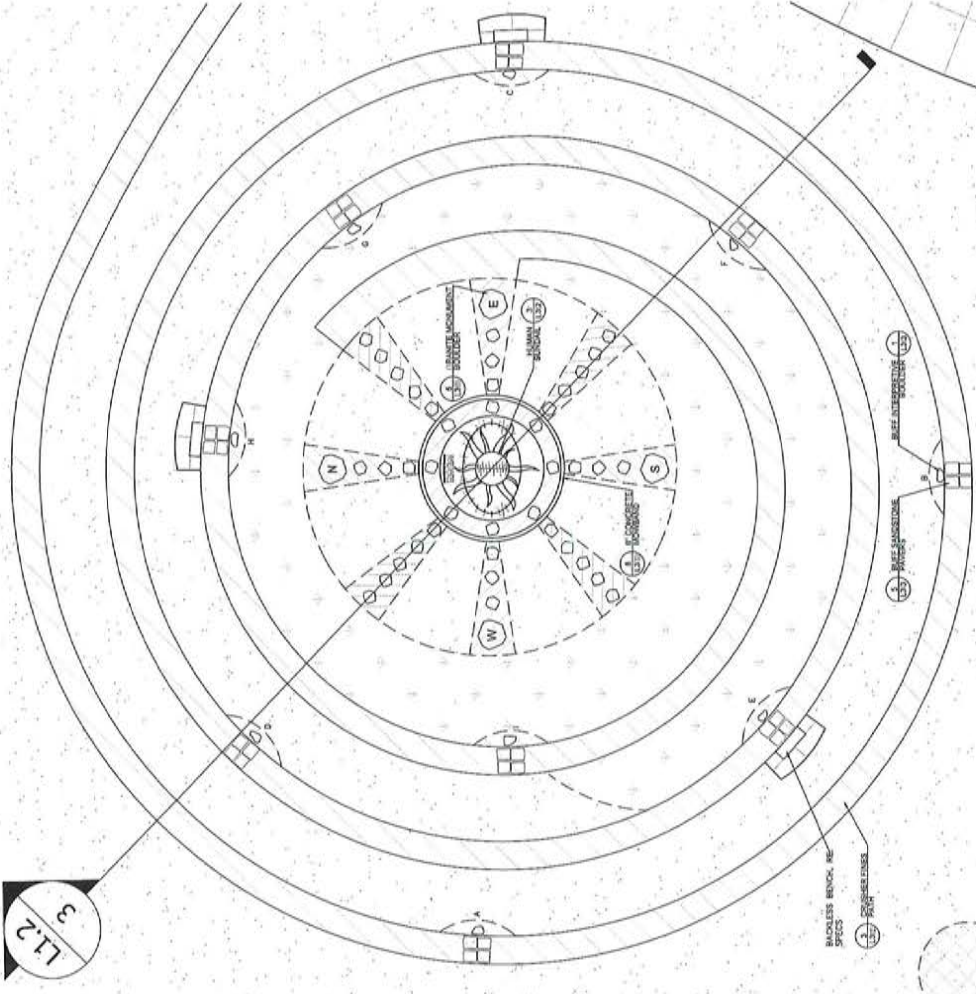
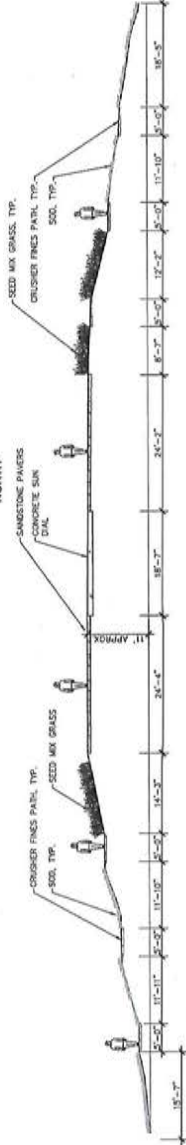
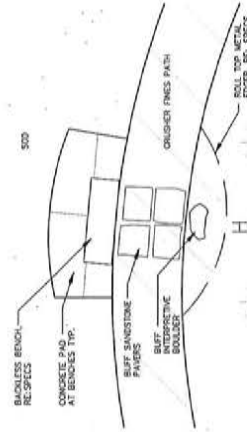
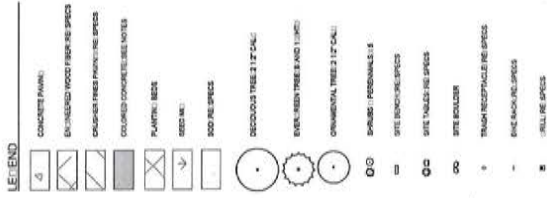
Drafted By: AJ & SM
Ordered By: LL & SW

Washing is an important part of any laundry routine. It helps to remove dirt and stains from your clothes, and it also helps to keep your clothes looking like new. There are many different ways to wash your clothes, and it's important to choose the right method for the fabric you're washing. In this article, we'll discuss some of the best ways to wash your clothes, and we'll provide some tips to help you get the most out of your laundry routine.

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Ede, Colorado



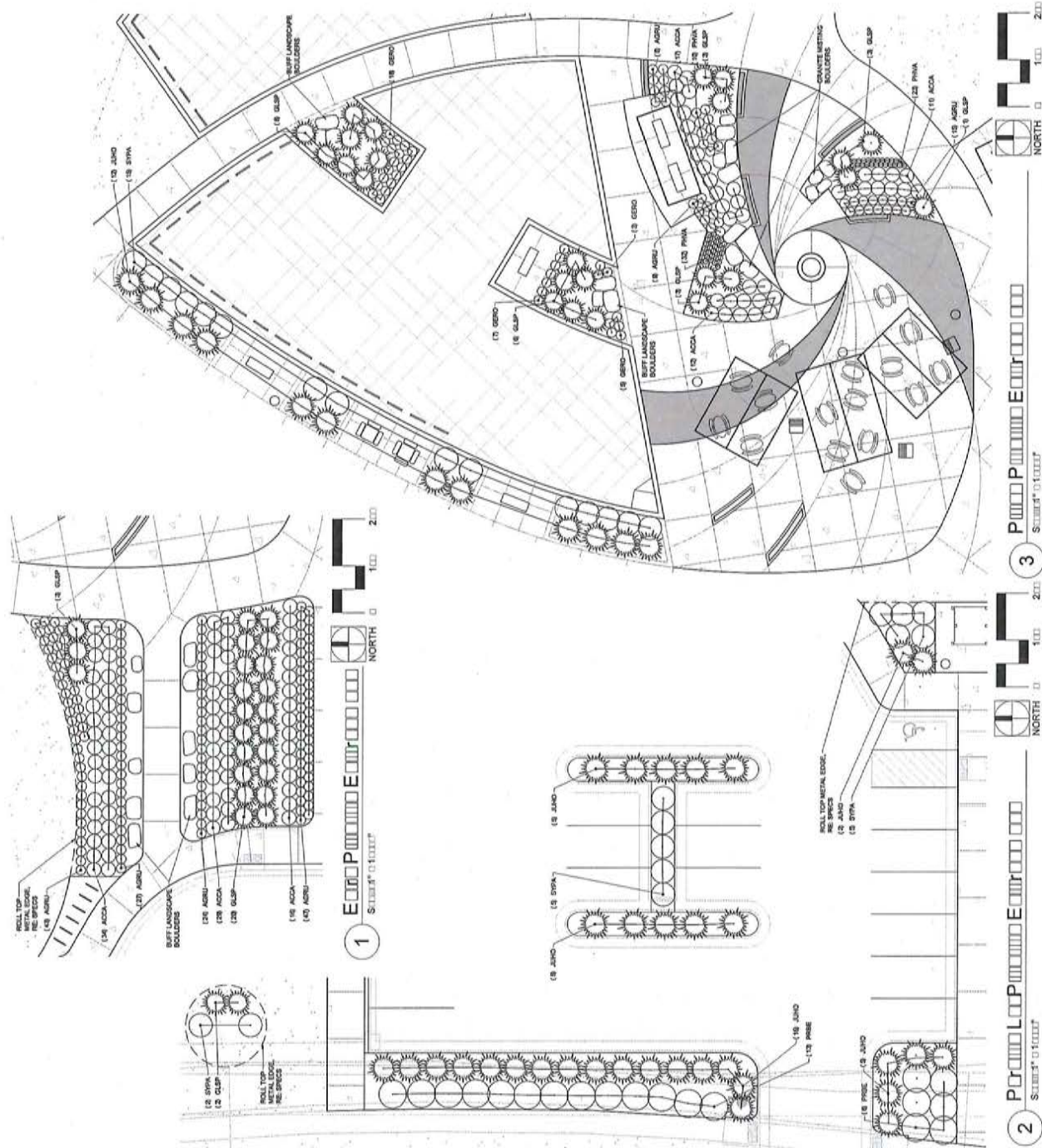
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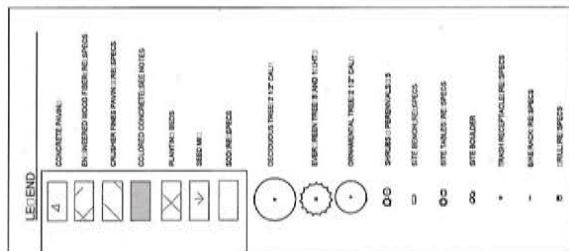
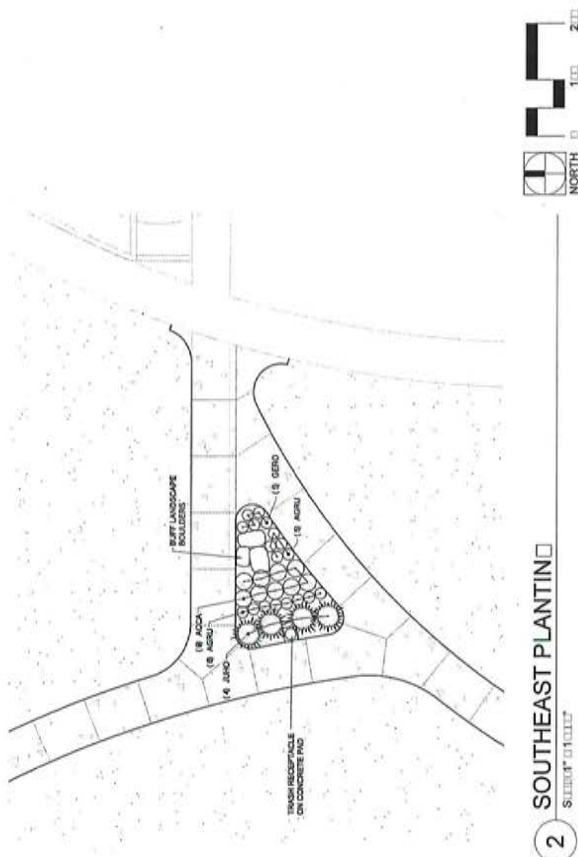
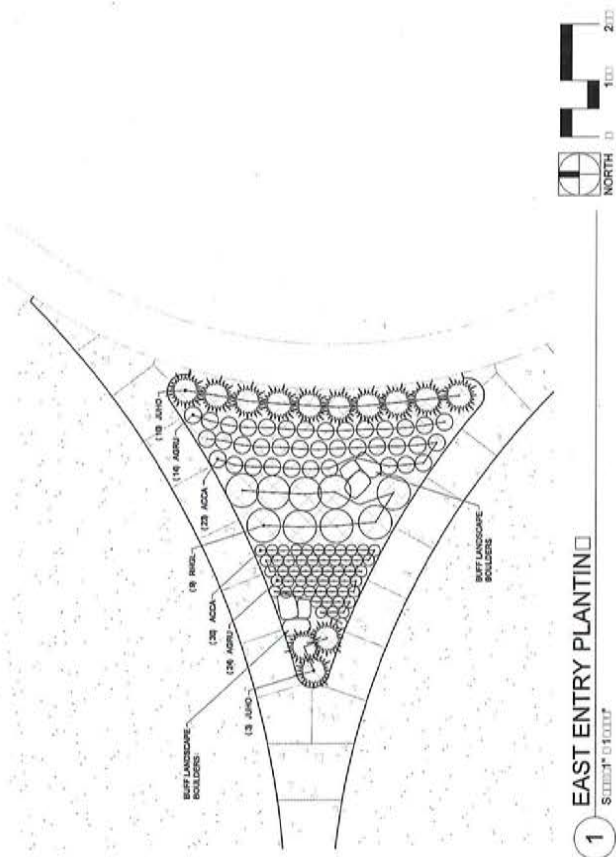
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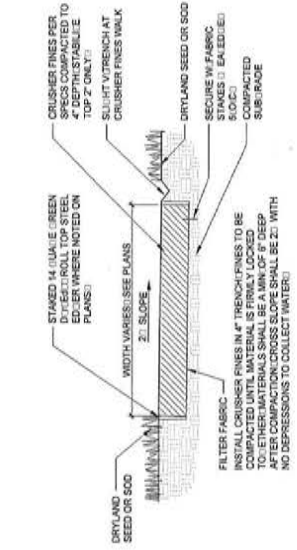


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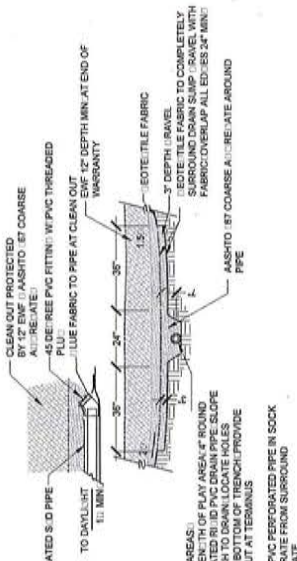
PLANT SCHEDULE

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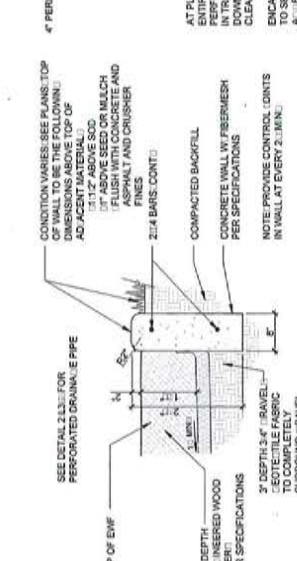
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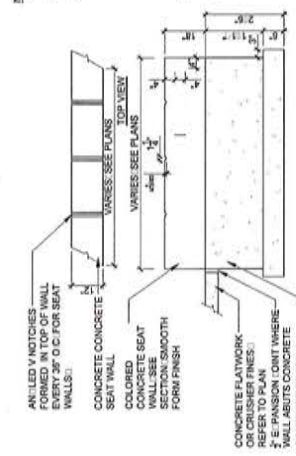
1 CONCRETE CURB WALL AT EWF
SCALE: 1/2" = 1'-0"



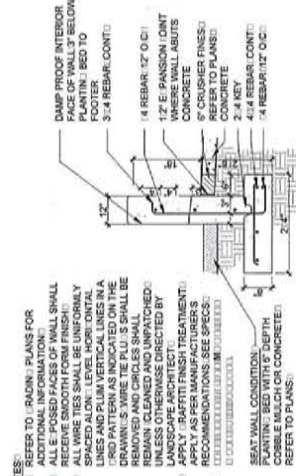
2 4" PERFORATED DRAIN PIPE
SCALE: 1/2" = 1'-0"



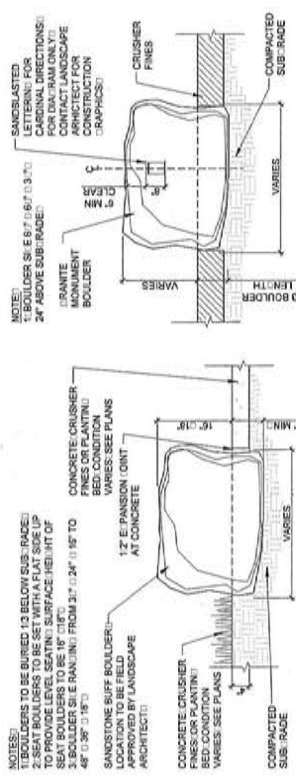
3 CRUSHER FINES PAVIN
SCALE: 1/2" = 1'-0"



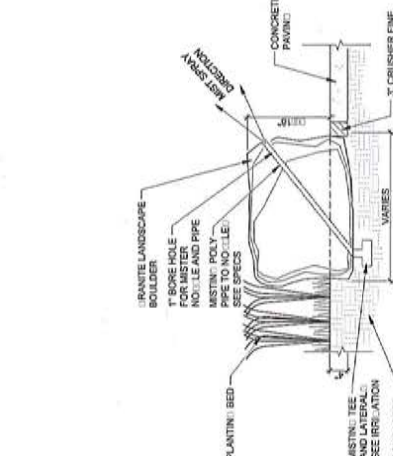
4 CONCRETE SEAT WALL
SCALE: 1/2" = 1'-0"



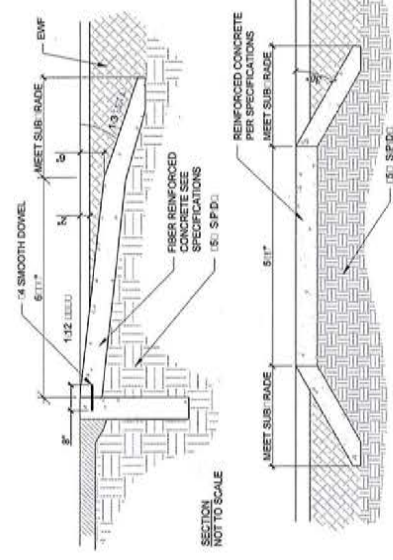
5 LANDSCAPE BOULDERS MONUMENT BOULDERS
SCALE: 1/2" = 1'-0"



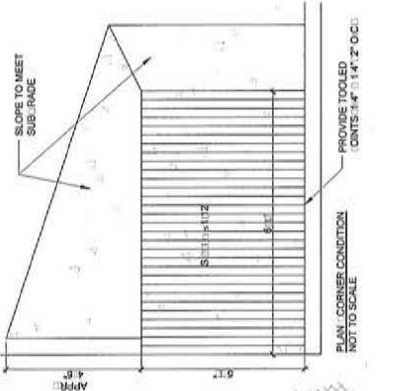
6 MISTINO SYSTEM AT BOULDER
SCALE: 1/2" = 1'-0"



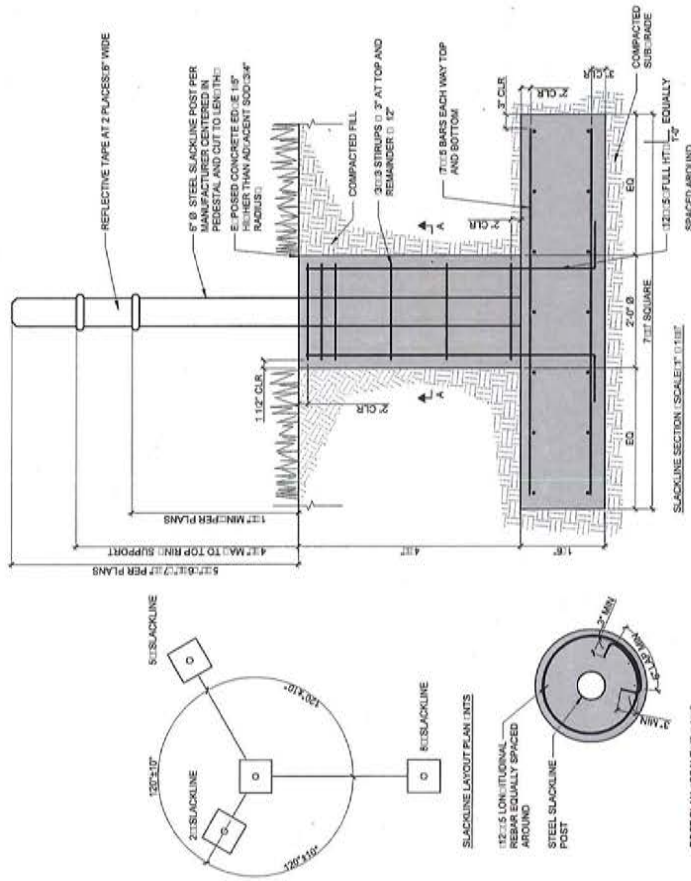
7 ACCESS RAMP AT PLAY AREAS
SCALE: NOT TO SCALE



8 8" CONCRETE MOW BAND
SCALE: 1/2" = 1'-0"

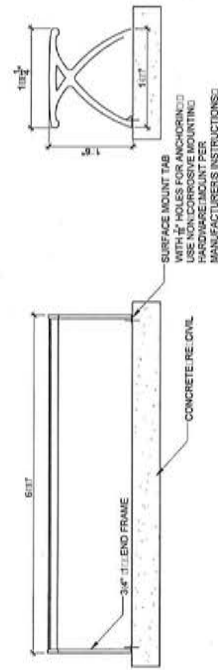


9 8" CONCRETE MOW BAND
SCALE: 1/2" = 1'-0"



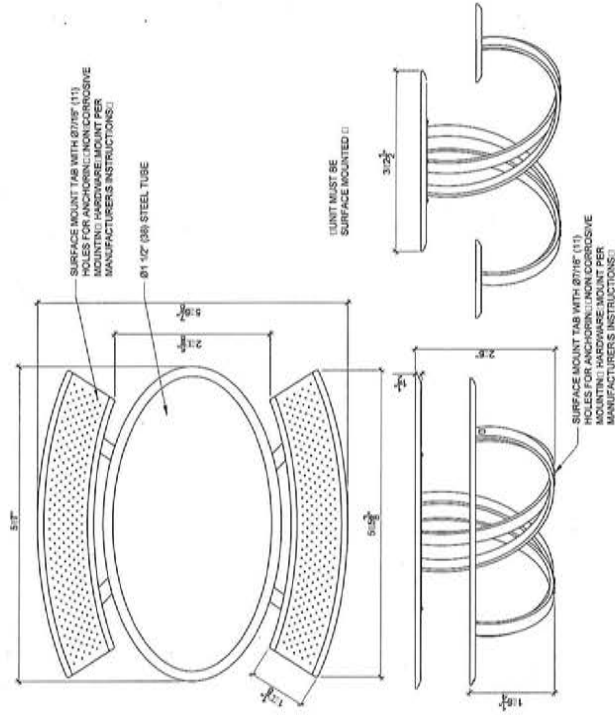
POST PLAN SCALE: 1" = 10'0"

(1)



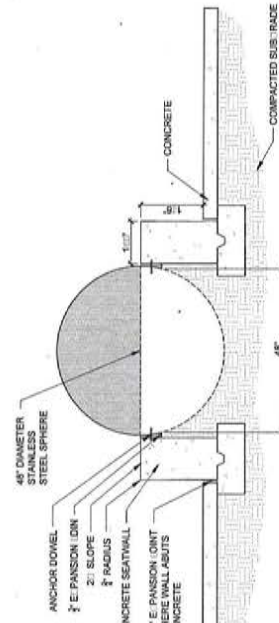
BACKLESS BENCH

Scheel® 2100L®



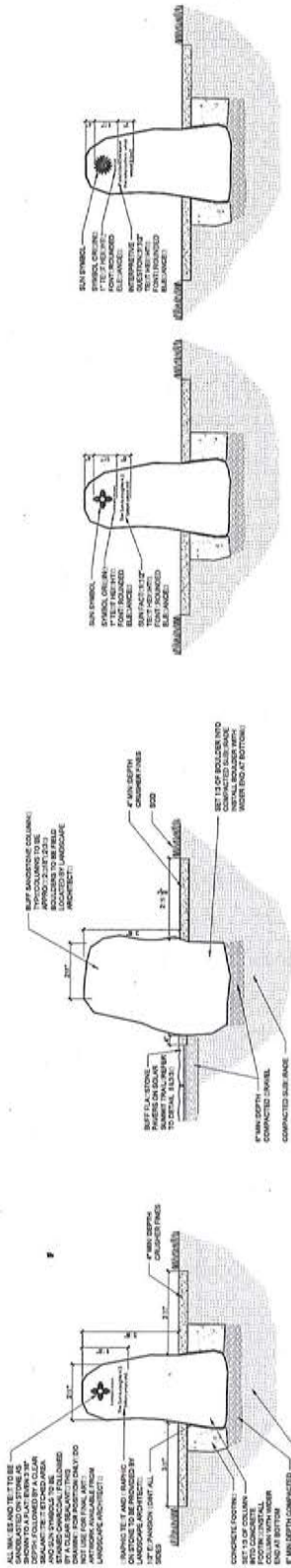
PICNIC TABLE

S0001-0100



STAINLESS STEEL SPHERE

S 34-0100



INTERPRETIVE BOULDER - PLAN

SECTION

DETAIL

1 SOLAR SUMMIT INTERPRETIVE BOULDER

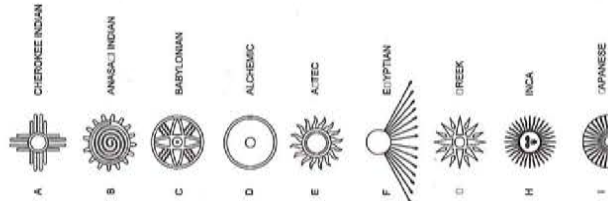
1 STUDENT

- The Sun is roughly 4.5 billion years old.
- It is composed of 75% hydrogen and 25% helium.
- The Sun is classified as a yellow dwarf star.
- If you could take a vacation to any planet, which one would you choose?
- What is the most interesting fact you know about the Sun?
- What planet do you consider to be the most beautiful?
- The Sun is all the gases mixed together.
- If you were taking a cabin on board and had to take three objects with you, what would you choose?
- How many planets are there in our solar system?

NOTES:
1. SANDBLASTING: QUOTES ARE FOR REFERENCE ONLY. CONTACT LANDSCAPE ARCHITECT FOR GRAPHICS.
2. CONTACT LANDSCAPE ARCHITECT FOR GRAPHICS.

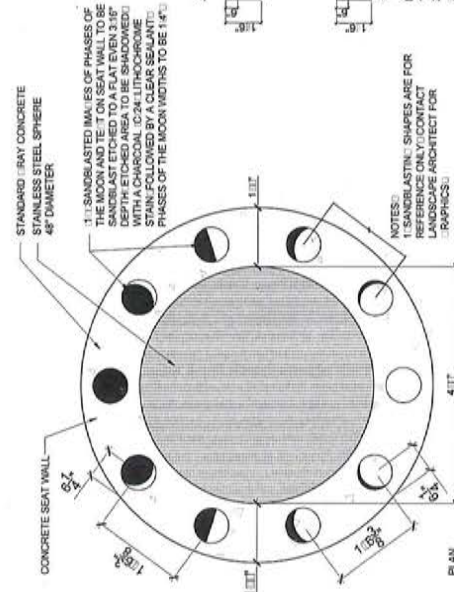
2 SOLAR SUMMIT SUN FACTS INTERPRETIVE QUESTIONS

2 STUDENTS



3 SOLAR SUMMIT SUN SYMBOLS

3 STUDENTS

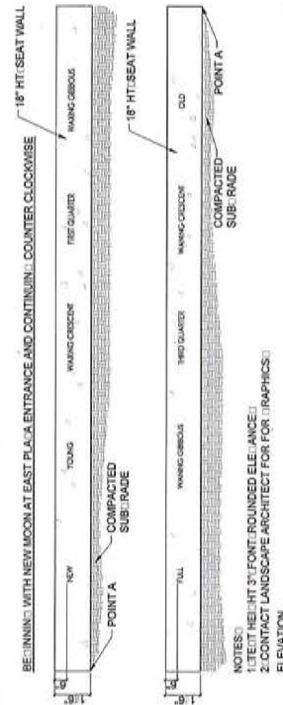
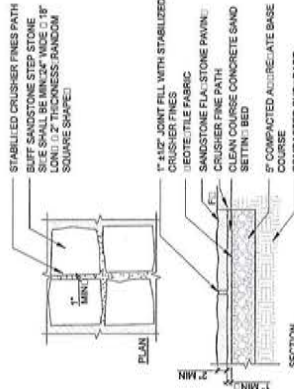


4 PHASES OF THE MOON AT SPHERE ON FACE OF SEATWALL

4 STUDENTS

5 STONE PAVERS AT CRUSHER FINES

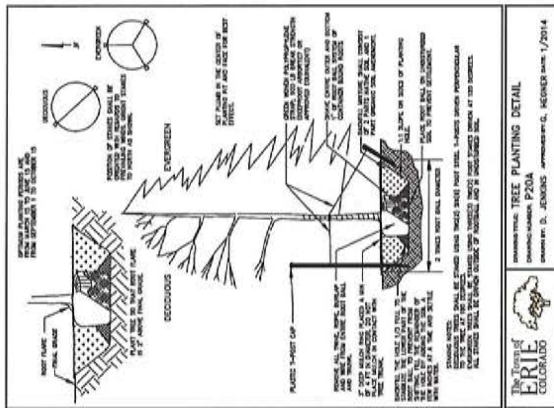
5 STUDENT



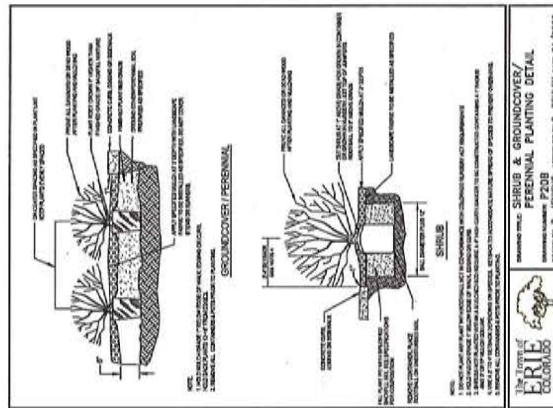
NOTES:
1. SEATWALL: SHAPES ARE FOR REFERENCE ONLY. CONTACT LANDSCAPE ARCHITECT FOR GRAPHICS.
2. CONTACT LANDSCAPE ARCHITECT FOR GRAPHICS.

STAR MEADOWS PARK

Erie, Colorado



DESIGNED BY: DESIGN CONCEPTS
 PREPARED FOR: TOWN OF ERIE
 DATE: 1/2014



DESIGNED BY: DESIGN CONCEPTS
 PREPARED FOR: TOWN OF ERIE
 DATE: 1/2014

TABLE 1. MIXED GRASS PRAIRIE NATIVE SEED MIXTURE. FOR USE IN OPEN SPACE NATIVE SEEDING AT LEAST 15 FEET FROM ROAD AND TRAIL EDGES. THIS MIXTURE IS FOR GENERAL USAGE, IS DOMINATED BY SHORT TO MID-SIZED NATIVE PRAIRIE GRASSES (6-18 INCHES IN HEIGHT), BUT INCLUDES A FEW TALLER SPECIES (UP TO 36 INCHES). BEST USED IN LARGER OPEN SPACE AREAS. THIS MIXTURE IS TO BE USED IN LARGER OPEN SPACE AREAS BE SURE TO OVER SEED ANY SWALES OR MOST AREAS WITHIN THIS SEEDING TYPE WITH THE MOST SWALE SEED MIXTURE (TABLE 2). WHILE SEEDING IS PREFERRED BEGINNING IN LATE WINTER (AFTER FEBRUARY 1ST), THIS MIXTURE MAY BE USED BETWEEN BEGINNING IN LATE WINTER (AFTER FEBRUARY 1ST) THROUGH SUPPLEMENTAL IRRIGATION. IF ADEQUATE SUPPLEMENTAL IRRIGATION IS IN PLACE, THIS MIXTURE MAY BE SEED THROUGH JUNE 15TH.

COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS LEBSACRE
Buffalograss	<i>Bouteloua curtipendula</i>	Native	3
Blue grama	<i>Bouteloua gracilis</i>	Native	5
Prairie smoke	<i>Chamaecrista fasciculata</i>	Common	1
Blue grama	<i>Bouteloua gracilis</i>	Native	3
Western wheatgrass	<i>Panicum virginicum</i>	Native	5
Little bluestem	<i>Schizanthus pinnatifidus</i>	Native	4
Seed dropseed	<i>Sporobolus vaginifolius</i>	Native	2
SEEDING RATE POUNDS PLS/ACRE			28.00

TABLE 2. COOL SEASON GRASS NATIVE SEED MIXTURE. THIS MIXTURE SHALL BE USED FOR MIXED GRASS PRAIRIE, MOST SWALE AND ROADSIDE LOCATIONS ONLY BETWEEN THE DATES OF AUGUST 1ST AND SEPTEMBER 1ST. THIS MIXTURE IS FOR GENERAL USAGE, IS DOMINATED BY SHORT TO MID-SIZED NATIVE PRAIRIE GRASSES (6-18 INCHES IN HEIGHT), BUT INCLUDES A FEW TALLER SPECIES (UP TO 36 INCHES). BEST USED IN LARGER OPEN SPACE AREAS. THIS MIXTURE IS TO BE USED IN LARGER OPEN SPACE AREAS BE SURE TO OVER SEED ANY SWALES OR MOST AREAS WITHIN THIS SEEDING TYPE WITH THE MOST SWALE SEED MIXTURE (TABLE 1). WHILE SEEDING IS PREFERRED BEGINNING IN LATE WINTER (AFTER FEBRUARY 1ST) THROUGH SUPPLEMENTAL IRRIGATION. IF ADEQUATE SUPPLEMENTAL IRRIGATION IS IN PLACE, THIS MIXTURE MAY BE SEED THROUGH JUNE 15TH.

COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS LEBSACRE
Western wheatgrass	<i>Panicum virginicum</i>	Native	5
Crested wheatgrass	<i>Agropyron cristatum</i>	Native	5
Seed dropseed	<i>Sporobolus vaginifolius</i>	Native	2
SEEDING RATE POUNDS PLS/ACRE			28.00

TABLE 3. SHORTGRASS PRAIRIE NATIVE SEED MIXTURE. FOR USE IN OPEN SPACE NATIVE SEEDING AT LEAST 15 FEET FROM ROAD AND TRAIL EDGES. THIS MIXTURE IS FOR SPECIFIC USAGE NEAR TRAILS OR WHERE SHORTER GRASSES ARE DESIRED (SUCH AS SMALLER PARK SITES). IT IS DOMINATED BY SHORT TO MID-SIZED NATIVE PRAIRIE GRASSES (6-18 INCHES IN HEIGHT), BUT INCLUDES A FEW TALLER SPECIES (UP TO 36 INCHES). BEST USED IN LARGER OPEN SPACE AREAS. THIS MIXTURE IS TO BE USED IN LARGER OPEN SPACE AREAS BE SURE TO OVER SEED ANY SWALES OR MOST AREAS WITHIN THIS SEEDING TYPE WITH THE MOST SWALE SEED MIXTURE (TABLE 2). WHILE SEEDING IS PREFERRED BEGINNING IN LATE WINTER (AFTER FEBRUARY 1ST) THROUGH SUPPLEMENTAL IRRIGATION. IF ADEQUATE SUPPLEMENTAL IRRIGATION IS IN PLACE, THIS MIXTURE MAY BE SEED THROUGH JUNE 15TH.

COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS LEBSACRE
Western wheatgrass	<i>Panicum virginicum</i>	Native	5
Crested wheatgrass	<i>Agropyron cristatum</i>	Native	5
Seed dropseed	<i>Sporobolus vaginifolius</i>	Native	2
SEEDING RATE POUNDS PLS/ACRE			28.00

TABLE 4. ROADSIDE NATIVE SEED MIXTURE. THIS MIXTURE IS INTENDED FOR USE FOR SEEDING OF PUBLIC WORKS ROADSIDE RE-VEGETATION PROJECTS. THIS MIXTURE IS FOR GENERAL USAGE, IS DOMINATED BY SHORT TO MID-SIZED NATIVE PRAIRIE GRASSES (6-18 INCHES IN HEIGHT), BUT INCLUDES A FEW TALLER SPECIES (UP TO 36 INCHES). BEST USED IN LARGER OPEN SPACE AREAS. THIS MIXTURE IS TO BE USED IN LARGER OPEN SPACE AREAS BE SURE TO OVER SEED ANY SWALES OR MOST AREAS WITHIN THIS SEEDING TYPE WITH THE MOST SWALE SEED MIXTURE (TABLE 2). WHILE SEEDING IS PREFERRED BEGINNING IN LATE WINTER (AFTER FEBRUARY 1ST) THROUGH SUPPLEMENTAL IRRIGATION. IF ADEQUATE SUPPLEMENTAL IRRIGATION IS IN PLACE, THIS MIXTURE MAY BE SEED THROUGH JUNE 15TH.

COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS LEBSACRE
Western wheatgrass	<i>Panicum virginicum</i>	Native	5
Crested wheatgrass	<i>Agropyron cristatum</i>	Native	5
Seed dropseed	<i>Sporobolus vaginifolius</i>	Native	2
SEEDING RATE POUNDS PLS/ACRE			28.00

TABLE 5. WARM SEASON SHORTGRASS PRAIRIE AND ROADSIDE NATIVE SEED MIXTURE. THIS MIXTURE IS AN ADAPTABLE MIX OF SHORT TO MID-SIZED NATIVE WARM SEASON GRASSES WITH SPECIFIC USAGE NEAR TRAILS OR TRAIL EDGES. THIS MIXTURE IS FOR GENERAL USAGE, IS DOMINATED BY SHORT TO MID-SIZED NATIVE PRAIRIE GRASSES (6-18 INCHES IN HEIGHT), BUT INCLUDES A FEW TALLER SPECIES (UP TO 36 INCHES). BEST USED IN LARGER OPEN SPACE AREAS. THIS MIXTURE IS TO BE USED IN LARGER OPEN SPACE AREAS BE SURE TO OVER SEED ANY SWALES OR MOST AREAS WITHIN THIS SEEDING TYPE WITH THE MOST SWALE SEED MIXTURE (TABLE 2). WHILE SEEDING IS PREFERRED BEGINNING IN LATE WINTER (AFTER FEBRUARY 1ST), THIS MIXTURE MAY BE USED BETWEEN BEGINNING IN LATE WINTER (AFTER FEBRUARY 1ST) THROUGH SUPPLEMENTAL IRRIGATION. IF ADEQUATE SUPPLEMENTAL IRRIGATION IS IN PLACE, THIS MIXTURE MAY BE SEED THROUGH JUNE 15TH.

COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS LEBSACRE
Buffalograss	<i>Bouteloua curtipendula</i>	Native	3
Blue grama	<i>Bouteloua gracilis</i>	Native	5
Prairie smoke	<i>Chamaecrista fasciculata</i>	Common	1
Blue grama	<i>Bouteloua gracilis</i>	Native	3
Western wheatgrass	<i>Panicum virginicum</i>	Native	5
Little bluestem	<i>Schizanthus pinnatifidus</i>	Native	4
Seed dropseed	<i>Sporobolus vaginifolius</i>	Native	2
SEEDING RATE POUNDS PLS/ACRE			28.00

TABLE 6. WARM SEASON MIXED GRASS PRAIRIE NATIVE SEED MIXTURE. FOR USE IN OPEN SPACE NATIVE SEEDING AT LEAST 15 FEET AWAY FROM TRAIL EDGES. THIS MIXTURE IS FOR GENERAL USAGE, IS DOMINATED BY SHORT TO MID-SIZED NATIVE PRAIRIE GRASSES (6-18 INCHES IN HEIGHT), BUT INCLUDES A FEW TALLER SPECIES (UP TO 36 INCHES). BEST USED IN LARGER OPEN SPACE AREAS. THIS MIXTURE IS TO BE USED IN LARGER OPEN SPACE AREAS BE SURE TO OVER SEED ANY SWALES OR MOST AREAS WITHIN THIS SEEDING TYPE WITH THE MOST SWALE SEED MIXTURE (TABLE 2). WHILE SEEDING IS PREFERRED BEGINNING IN LATE WINTER (AFTER FEBRUARY 1ST) THROUGH SUPPLEMENTAL IRRIGATION. IF ADEQUATE SUPPLEMENTAL IRRIGATION IS IN PLACE, THIS MIXTURE MAY BE SEED THROUGH JUNE 15TH.

COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS LEBSACRE
Buffalograss	<i>Bouteloua curtipendula</i>	Native	3
Blue grama	<i>Bouteloua gracilis</i>	Native	5
Prairie smoke	<i>Chamaecrista fasciculata</i>	Common	1
Blue grama	<i>Bouteloua gracilis</i>	Native	3
Western wheatgrass	<i>Panicum virginicum</i>	Native	5
Little bluestem	<i>Schizanthus pinnatifidus</i>	Native	4
Seed dropseed	<i>Sporobolus vaginifolius</i>	Native	2
SEEDING RATE POUNDS PLS/ACRE			28.00

PLANTING DETAILS



