AGREEMENT FOR PARK IMPROVEMENTS

THIS AGREEMENT FOR PARK IMPROVEMENTS (this "Agreement") is made and entered into as of June _____, 2017 (the "Effective Date"), by and among HT FLATIRON LP, a Delaware limited partnership ("HT Flatiron"), the TOWN OF ERIE, a Colorado municipal corporation (the "Town"), and FIDELITY TITLE INSURANCE COMPANY ("Escrow Agent").

BACKGROUND:

A. Reference is hereby made to that certain Second Amended and Restated Master Development Agreement dated September 8, 2015 recorded September 8, 2015 at Reception No. 03472486, Boulder County, Colorado (the "Master Development Agreement"). All capitalized terms used herein and not defined shall have the meanings assigned to such terms in the Master Development Agreement.

B. Section IX(F)(1)(b) of the Master Development Agreement provides the following; "*Prior to commencement of construction of the Neighborhood Park, and following notice by the Erie, the Owner shall pay for the following: water tap fees, sewer tap fees, and raw water dedication fees necessary for the construction, maintenance and upkeep of the park.*" The fees that HT Flatiron is to pay pursuant to such sentence are referred to herein as the "Fees".

C. Section IX(F)(1)(b) of the Master Development Agreement further provides the following: "*At the same time, the Owner shall also pay all costs associated with the following: final grading; soil preparation; the purchase and installation of grass; the purchase and installation a permanent irrigation system (including electrical facilities for said system); landscaping within all adjacent right-of-ways; and, landscape buffers.*" The costs that HT Flatiron is required to pay pursuant to such sentence are referred to herein as the "Costs"; and the work comprised of the grading, soil preparation, purchase and installation of grass, purchase and installation of a permanent irrigation system (including electrical facilities for said system), landscaping within all adjacent right-of-ways and landscape buffers required by such sentence is referred to herein as the "Work". The scope of the Work is set forth on the working drawings attached hereto as Exhibit B.

D. The parties desire to enter into this Agreement to set forth the terms and conditions upon which HT Flatiron shall pay the Fees and Costs in connection with the Town's performance of the Work.

NOW, THEREFORE, in consideration of good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, HT Flatiron, the Town, and Escrow Agent agree as follows:

AGREEMENT:

1. Cost Backup Evidence; Approval; Establishment of Escrow. Cost backup evidencing the contractor's bid of the Work, together with the proposed plans and specifications for the Work, are set forth in **Exhibit "A"**, attached hereto and incorporated herein by this reference. HT Flatiron's execution of this Agreement shall evidence its approval of the estimated cost for the Work. HT Flatiron shall deposit in escrow with Escrow Agent, within five (5) business days of Town's execution of this Agreement, the estimated cost of the Work plus ten percent (10%) (the "Contingency") as a contingency (together with the Contingency, the "Escrow Amount"). Based upon the estimated cost for the Work and the ten percent contingency required herein, the Escrow Amount is Three Hundred Ninety-four Thousand Three Hundred Ninety-four Dollars ($394,394.00). The Escrow Agent shall immediately deposit (and thereafter maintain

until distribution as contemplated herein) the Escrow Amount into a federally-insured, interest-bearing account reasonably acceptable to the Town and HT Flatiron, and all interest accruing thereon shall become a part of the Escrow Amount. Failure by HT Flatiron to deposit the Escrow Amount in escrow with Escrow Agent as required herein shall be deemed to be a default of this Agreement.

2. The Work.

(a) The Town shall perform and complete the Work substantially in accordance with all applicable laws and ordinances of the Town, and in accordance with the plans and specifications referenced in Section 1 above. The Work shall be completed on or before eighteen (18) months from the Effective Date (the "Completion Deadline"). The Work shall be deemed "completed" at such time as the Town delivers to HT Flatiron a certificate of substantial completion, or similar certificate, from the engineer or other primary design professional for the Work, stipulating that the Work has been substantially completed.

(b) Any material modification to the plans and specifications of the Work (including, without limitation, any modification which would affect the use of the Contingency) shall be subject to the prior approval of HT Flatiron, such approval shall not be unreasonably withheld, conditioned or delayed. Furthermore, HT Flatiron shall be deemed to approve any modification if HT Flatiron fails to object to same within ten (10) days after written receipt of a request for approval from the Town. Upon approval (or deemed approval) of any such modification, such modification shall be considered part of the Work. Any change in the Work, whether pursuant to this subsection (b) or otherwise, shall **not** require HT Flatiron to contribute any additional required funds to the Escrow Amount.

(c) No notice to or approval of HT Flatiron shall be required for any material modification to the plans and specifications of the Work which the Town makes and pays for entirely (i.e., Town pays entirely and not out of Contingency).

3. Cost Responsibility. The Town shall be responsible for all costs and expenses necessary for the completion of the Work, subject to the Town being entitled to the use of the Escrow Amount as contemplated herein, and subject to the terms of Section 2 above. Upon the earlier of completion of the Work or the Completion Deadline, any and all of the remaining Escrow Amount shall be promptly returned to HT Flatiron within 15 days after such date

4. Disbursements.

(a) From time to time as the Work progresses, but no more than twice in any calendar month, the Town shall prepare a request for distribution (each a "Request") and submit same to Escrow Agent and HT Flatiron. The respective Request shall: (a) specify, by separate line item for each of the contractors associated with the Request at issue, the portion of the Escrow Amount to be disbursed to pay the costs and expenses for the Work that are specified by such Request ("Requested Escrow Amount"); and (b) represent and warrant to HT Flatiron and Escrow Agent, as of the date of the Request, that to the Town's knowledge: (i) all amounts reflected by each previous Request have been disbursed to the contractors entitled to payment thereof; (ii) there exists no default by the Town under this Agreement, and (iii) other than the Requested Escrow Amount reflected by the Request at issue and other non-delinquent amounts incurred in furtherance of the Work that will thereafter be timely paid, there are no unpaid costs or expenses arising out of the Work that could give rise to any mechanic's or materialman's liens.

(b) Provided that the Request complies with the provisions of subsection (a)

immediately above and HT Flatiron has not provided an "Objection Notice" (herein so called) within seven (7) business days after HT Flatiron's receipt of the Request, Escrow Agent shall promptly disburse to the Town (or the applicable payee(s) designated by the Town) the Requested Escrow Amount as provided in the respective Request. To the extent that it is disbursed to the Town, the Town shall cause all such amounts to be delivered to the applicable contractor prior to delinquency. If Escrow Agent shall have received an Objection Notice to any Request within the time period herein prescribed, Escrow Agent shall refuse to comply with any requests or demands on Escrow Agent contained in the Request to which such Objection Notice relates and shall continue to hold that applicable Escrow Amount that is the subject of the Objection Notice until Escrow Agent receives either (i) a written notice signed by both HT Flatiron and the Town stating who is entitled to such portion of the Escrow Amount, or (ii) a final non-appealable order of a court of competent jurisdiction directing disbursement of the Escrow Amount in a specific manner, and in either case, Escrow Agent shall then disburse the Escrow Amount, or such portion thereof as is specified in such joint notice or order, in accordance with such joint notice or order. Any Objection Notice that relates to only a portion of the Request shall not result in the Escrow Agent being unable to fund the remainder. Failure to send an Objection Notice with regard to any particular Request shall in no way be deemed a waiver of such party's rights hereunder to give an Objection Notice with regard to any future Request.

5. Term. Notwithstanding anything contained herein to the contrary, in the event that any portion of the Escrow Amount has not been disbursed by the Completion Deadline, then without prejudice to any other rights or remedies available to the parties at such time, any portion of the Escrow Amount held by Escrow Agent on such date shall be disbursed to HT Flatiron. Upon such disbursement, Escrow Agent shall thereafter have no further rights or obligations under this Agreement.

6. Fees. With respect to HT Flatiron's obligation for payment of the Fees, any and all Fees paid shall be at the same rate the Town would have to pay if the Town was obligated to pay the same. The Town shall follow all of its ordinances and code with respect to the foregoing. It shall further provide all calculations and documentation substantiating such Fees. HT Flatiron shall pay the Fees as invoiced within ten (10) business days of receipt of the invoice from the Town. Payment of the Fees by HT Flatiron is in addition to, and separate from, the payment of the Escrow Amount.

7. Escrow Agent Provisions.

(a) Escrow Agent's sole obligation shall be to make disbursements in accordance with the provisions of this Agreement. Escrow Agent may rely upon and shall be protected in acting or refraining from acting upon any written instrument, instruction or request furnished to it hereunder and believed by it in good faith to be genuine and to have been signed or presented for delivery to Escrow Agent by HT Flatiron, the Town, or any third party to which this Agreement applies in the particular context. Escrow Agent may resign as escrow agent hereunder, for any reason or no reason, upon providing at least fifteen (15) days' prior written notice to the parties herein.

(b) Escrow Agent, as part of the consideration for the acceptance of this Agreement, shall not be liable for any acts or omissions done in good faith and believed by it to be authorized or within the rights or powers conferred upon it by this Agreement, and may consult with counsel of its own choice with respect to such rights and powers and shall not be liable for any acts taken or suffered by it hereunder in good faith and in accordance with the opinion of such counsel. Escrow Agent shall in no event be liable for any claims, demands or losses for any damages made or suffered by any party, except such as may arise through or be caused by its willful default or

negligence hereunder.

(c) In the event of any controversy regarding the possession or delivery of any of the funds held in escrow by Escrow Agent, Escrow Agent reserves the right for its protection only and not by way of any right reserved or to be exercised by or for the benefit of the HT Flatiron or the Town, to retain possession of all money and/or other property held by Escrow Agent pursuant to the terms of this Agreement and all papers executed in connection with or concerning this Agreement until a mutual agreement has been reached by all of the parties to such controversy or delivery is legally authorized and ordered by final non-appealable judgment or decree of a court of competent jurisdiction. Neither HT Flatiron, the Town, or any other party shall have any claim against Escrow Agent by reason of its retaining possession of funds delivered to it in accordance herewith and held in escrow by Escrow Agent, excepting claims that may arise through or be caused by Escrow Agent's willful default or negligence hereunder.

8. Miscellaneous.

(a) This Agreement shall be binding upon and inure to the benefit of the parties hereto and their respective heirs, executors, administrators, legal representatives, successors and permitted assigns; provided, however, neither the Town nor HT Flatiron shall assign this Agreement without the other's prior written consent.

(b) All notices, requests, approvals, and other communications required or permitted to be delivered under this Agreement must be in writing and are effective: (1) on the day sent, if: (A) sent on a business day by fax or email; and (B) on the date of sending (i) the sending fax generates a written confirmation of sending, or (ii) a copy of the sent email appears in the sending party's "sent" file or similar storage; or (2) on the date of deposit, if deposited with a nationally recognized, overnight courier service for delivery on or before the next business day; or (3) three (3) business days after being deposited, if deposited on a business day in the United States mail, certified, return receipt requested, postage prepaid; or (4) upon receipt by the intended recipient, if delivered by other means (including personal delivery).

In each instance, such communication must be addressed to HT Flatiron, the Town, or Escrow Agent, as the case may be, at the following addresses, or such updated address as the receiving party has previously designated by at least ten (10) days' prior notice to the other parties hereto:

the Town:

P.O. Box 750
Erie, Colorado 80516
Attention: Town Administrator
Facsimile: (303) ___-____
Email: ajkrieger@erieco.gov

with a copy (which shall not constitute notice) to:

P.O. Box 750
Erie, Colorado 80516
Attention: Parks and Recreation Director
Facsimile: (303) ___-____
Email: fbuller@erieco.gov

HT Flatiron:

c/o Hines Interests Limited Partnership
1515 Wynkoop, Suite 390
Denver, Colorado 80202
Attention: Chad Murphy & Dave Klebba
Facsimile: (303) 573-8808
Email: chad.murphy@hines.com & dave.klebba@hines.com

with a copy (which shall not constitute notice) to:

Thompson & Knight LLP
1722 Routh Street, Suite 1500
Dallas, Texas 75201
Attn: Rick Haan
Facsimile: (214) 999-9242
Email: rick.haan@tklaw.com

Escrow Agent:

8055 E Tufts Avenue, Suite 300
Denver, Colorado 80237
Attn: Peppy Newton
Facsimile: (303) 633-7626
Email: pnewton@fhf.com

(c) Any changes in the terms and conditions hereof may only be made in writing and shall be effective only if signed by the Town and HT Flatiron. Any such changes that affect Escrow Agent's duties and obligations herein must be signed by Escrow Agent, as well. This Agreement may be executed in any number of counterparts, each of which shall be deemed an original, and all of such counterparts shall constitute one and the same instrument. Facsimiles or "PDFs" of original signatures, whether transmitted by fax or by email or otherwise, are binding as originals

(d) In the event that any litigation arises in connection with this Agreement, it is hereby agreed that the prevailing party shall be entitled to recover its reasonable attorneys' fees and court costs. The mere failure or delay in exercising any remedy under this Agreement shall not constitute a waiver of the claims associated with same.

(e) The laws of the State of Colorado shall govern the interpretation, validity, performance and enforcement of this Agreement. For the resolution of any dispute arising hereunder, venue shall be in the Courts of the County of Weld, State of Colorado.

(f) In the event there is any fee charged by Escrow Agent for acting as the escrow agent hereunder, such fee shall be paid for by HT Flatiron.

[SIGNATURE PAGE FOLLOWS]

EXECUTED to be effective as of the Effective Date.

HT FLATIRON:

HT FLATIRON LP,
a Delaware limited partnership

By: Hines Flatiron Associates Limited Partnership,
a Texas limited partnership
its general partner

By: Hines Flatiron GP LLC,
a Delaware limited liability company,
its general partner

By: Hines Investment Management Holdings Limited Partnership,
a Texas limited partnership,
its sole member

By: HIMH GP LLC,
a Delaware limited liability company,
its general partner

By: Hines Real Estate Holdings Limited Partnership,
a Texas limited partnership,
its sole member

By: JCH Investments, Inc.,
a Texas corporation,
its general partner

By: _____
Robert W. Witte
Senior Managing Director

CM

THE TOWN:

TOWN OF ERIE,
a Colorado municipal corporation

By: _____
Tina Harris, Mayor

ATTEST:

By: _____
Nancy J. Parker, Town Clerk

ESCROW AGENT:

FIDELITY TITLE INSURANCE COMPANY

By:_____
Name:_____
Title:_____

EXHIBIT A

[see following 4 pages]

Bid Tabulation
March 22, 2017

Star Meadows Park Construction (PR-17-05)		Goodland Construction					Goodland Construction - REVISED				
NO.	DESCRIPTION	QTY	UNITS	UNIT PRICE	% OF AVERAGE	EXTENSION	QTY	UNITS	UNIT PRICE	% OF AVERAGE	EXTENSION
	START-UP										
	Traffic control	1	LS	$ 7,500.00	90%	$ 7,500.00	1	LS	$ 7,500.00	90%	$ 7,500.00
	Site staking/surveying	1	LS	$ 16,500.00	78%	$ 16,500.00	1	LS	$ 16,500.00	78%	$ 16,500.00
	Temporary construction fence	2485	LF	$ 5.50	133%	$ 13,667.50	2485	LF	$ 5.50	133%	$ 13,667.50
	Additional Items (List):										
	Mobilization	1	LS	$ 115,000.00	117%	$ 115,000.00	1	LS	$ 115,000.00	117%	$ 115,000.00
	Staging	1	LS	$ 6,500.00	100%	$ 6,500.00	1	LS	$ 6,500.00	100%	$ 6,500.00
	EROSION CONTROL										
	Silt fence	1325	LF	$ 3.50	148%	$ 4,637.50	1325	LF	$ 3.50	148%	$ 4,637.50
	Concrete washout	1	EA	$ 1,250.00	78%	$ 1,250.00	1	EA	$ 1,250.00	78%	$ 1,250.00
	Inlet protection	10	EA	$ 450.00	92%	$ 4,500.00	10	EA	$ 450.00	92%	$ 4,500.00
	Vehicle tracking control	1	EA	$ 2,850.00	100%	$ 2,850.00	1	EA	$ 2,850.00	100%	$ 2,850.00
	Sedimentation pond	1	EA	$ 3,500.00	53%	$ 3,500.00	1	EA	$ 3,500.00	53%	$ 3,500.00
	Seeding and mulching	4.8	AC	$ 500.00	26%	$ 2,400.00	4.8	AC	$ 500.00	26%	$ 2,400.00
	Fuel containment area	1	EA	$ 1,500.00	225%	$ 1,500.00	1	EA	$ 1,500.00	225%	$ 1,500.00
	Erosion control maintenance (months)	6	EA	$ 850.00	38%	$ 5,100.00	6	EA	$ 850.00	38%	$ 5,100.00
	Additional Items (List):										
	Sediment Control Log	1325	LF	$ 8.50	165%	$ 11,262.50	40	LF	$ 8.50	165%	$ 340.00
	Curb sock		EA		0%	$ -		EA		0%	$ -
	Stablized staging area				0%	$ -				0%	$ -
	Curb Rock Socks	20	EA	$ 125.00	180%	$ 2,500.00	20	EA	$ 125.00	180%	$ 2,500.00
	DEMOLITION										
	Demo exisitng curb and gutter	105	LF	$ 10.50	41%	$ 1,102.50	105	LF	$ 10.50	41%	$ 1,102.50
	Demo exisitng sidewalk	710	SF	$ 2.50	24%	$ 1,775.00	710	SF	$ 2.50	24%	$ 1,775.00
	Sawcut asphalt	300	LF	$ 4.25	67%	$ 1,275.00	300	LF	$ 4.25	67%	$ 1,275.00
	Demo existing asphalt	590	SF	$ 3.25	13%	$ 1,917.50	590	SF	$ 3.25	13%	$ 1,917.50
	Clear and grub vegetation	338500	SF	$ 0.025	100%	$ 8,462.50	338500	SF	$ 0.025	100%	$ 8,462.50
	Additional Items (List):										
	UTILITIES - STORM DRAINAGE SYSTEM										
	Storm line - 6" PVC SDR 35 (underdrain connections)	50	LF	$ 45.00	93%	$ 2,250.00	50	LF	$ 45.00	93%	$ 2,250.00
	Storm line - 15" RCP	480	LF	$ 75.00	84%	$ 36,000.00	480	LF	$ 75.00	84%	$ 36,000.00
	Cleanout - Underdrain, foundation drain or roof drain	3	EA	$ 650.00	120%	$ 1,950.00	3	EA	$ 650.00	120%	$ 1,950.00
	Inlet - Type 13 (3' depth)	3	EA	$ 5,850.00	123%	$ 17,550.00	3	EA	$ 5,850.00	123%	$ 17,550.00
	Inlet - 3' Combination (3' depth)	1	EA	$ 6,650.00	109%	$ 6,650.00	1	EA	$ 6,650.00	109%	$ 6,650.00
	Manhole - 4' (5' depth, w/ grated pedestrian rated lid)	3	EA	$ 4,100.00	80%	$ 12,300.00	3	EA	$ 4,100.00	80%	$ 12,300.00
	24" Sidewalk Chase	12	LF	$ 285.00	116%	$ 3,420.00	12	LF	$ 285.00	116%	$ 3,420.00
	Additional Items (List):										
	Storm Line - 15" PVC	380	LF	$ 65.00	118%	$ 24,700.00	380	LF	$ 65.00	118%	$ 24,700.00
	Storm Line - 4" PVC										
	3/4" IPEX Mister Waterline	395	LF	$ 42.50	100%	$ 16,787.50	395	LF	$ 42.50	100%	$ 16,787.50
	ELECTRICAL										
	Electrical Service:										
	New Excel Tranformer	0	LS	$ -	0%	$ -	0	LS	$ -	0%	$ -
	New Power Pedestal P1	1	LS	$ 12,555.00	91%	$ 12,555.00	1	LS	$ 12,555.00	91%	$ 12,555.00
	New Service Entrance feeder (#3)	1	LF	$ 5,725.00	148%	$ 5,725.00	1	LF	$ 5,725.00	148%	$ 5,725.00
	General Power and Lighting:										
	General Receptacle	5	EA	$ 420.00	109%	$ 2,100.00	5	EA	$ 420.00	109%	$ 2,100.00
	Recpt & Ltg Branch Circuit	600	LF	$ 14.00	105%	$ 8,400.00	600	LF	$ 14.00	105%	$ 8,400.00
	Fiber Optic	1	LS	$ 42,500.00	104%	$ 42,500.00	1	LS	$ 42,500.00	104%	$ 42,500.00
	Misting Pumps Power										
	Misting Pumps Power	1	LS	$ 5,335.00	95%	$ 5,335.00	1	LS	$ 5,335.00	95%	$ 5,335.00
	Additional Items (List):										
	SITE CONSTRUCTION										
	Stripping and stockpile topsoil	4.8	AC	$ 3,125.00	130%	$ 15,000.00	4.8	AC	$ 3,125.00	130%	$ 15,000.00
	Place stockpiled topsoil	3910	CY	$ 4.00	123%	$ 15,640.00	3910	CY	$ 4.00	123%	$ 15,640.00
	Pavement subgrade prep (36" depth)	5300	CY	$ 7.00	133%	$ 37,100.00	5300	CY	$ 7.00	133%	$ 37,100.00
	Cut, fill and compact onsite material	19100	CY	$ 5.80	80%	$ 110,780.00	19100	CY	$ 5.80	80%	$ 110,780.00
	Concrete flatwork	28165	SF	$ 7.50	116%	$ 211,237.50	28165	SF	$ 7.50	116%	$ 211,237.50
	Colored concrete at Plaza	1105	SF	$ 16.50	59%	$ 18,232.50	1105	SF	$ 16.50	59%	$ 18,232.50
	Crusher fines	6650	SF	$ 3.10	125%	$ 20,615.00	6650	SF	$ 3.10	125%	$ 20,615.00
	Sandblasting	1	LS	$ 11,150.00	47%	$ 11,150.00	1	LS	$ 11,150.00	47%	$ 11,150.00
	Colored concrete at Sundial	320	SF	$ 23.50	42%	$ 7,520.00	320	SF	$ 23.50	42%	$ 7,520.00
	Concrete at Sundial	240	SF	$ 12.50	38%	$ 3,000.00	240	SF	$ 12.50	38%	$ 3,000.00
	Concrete Phases of the Moon Table	35	LF	$ 410.00	96%	$ 14,350.00	35	LF	$ 410.00	96%	$ 14,350.00
	Colored concrete seat walls	75	LF	$ 310.00	61%	$ 23,250.00	75	LF	$ 310.00	61%	$ 23,250.00
	Additional Items (List):										
	Import		CY		0%	$ -		CY		0%	$ -
	Export	1440	CY	$ 16.50	96%	$ 23,760.00	1440	CY	$ 5.80	34%	$ 8,352.00
	Concrete pads for electrical										
	Backflow and enclosure										
	3/4" PEX pipe										
	PARKING LOT										
	Asphalt paving - 6.5"	380	tons	$ 115.00	85%	$ 43,700.00	380	tons	$ 115.00	85%	$ 43,700.00
	Concrete curb & gutter-6"vertical, 1' pan	660	LF	$ 27.50	111%	$ 18,150.00	660	LF	$ 27.50	111%	$ 18,150.00

Bid Tabulation
March 22, 2017

Star Meadows Park Construction (PR-17-05)			Goodland Construction					Goodland Construction - REVISED				
NO.	DESCRIPTION	QTY	UNITS	UNIT PRICE	% OF AVERAGE	EXTENSION	QTY	UNITS	UNIT PRICE	% OF AVERAGE	EXTENSION
	Concrete curb ramps (with detectable warning)	2	EA	$ 1,450.00	85%	$ 2,900.00	2	EA	$ 1,450.00	85%	$ 2,900.00
	Concrete 8' pan (8" thick reinforced)	35	LF	$ 76.00	97%	$ 2,660.00	35	LF	$ 76.00	97%	$ 2,660.00
	Striping(4" wide)	330	LF	$ 4.50	98%	$ 1,485.00	330	LF	$ 4.50	98%	$ 1,485.00
	Signage (small including post)	2	EA	$ 310.00	83%	$ 620.00	2	EA	$ 310.00	83%	$ 620.00
	Additional Items (List):										
	Recycled concrete base										
	SITE AMENITIES AND FURNISHINGS										
	Curbwall at play area	660	LF	$ 27.50	52%	$ 18,150.00	660	LF	$ 27.50	52%	$ 18,150.00
	Concrete mowband at Sundial	605	LF	$ 18.50	85%	$ 11,192.50	80	LF	$ 18.50	85%	$ 1,480.00
	Play Area EWF	8320	SF	$ 3.10	90%	$ 25,792.00	8320	SF	$ 3.10	90%	$ 25,792.00
	Playworld Playform 7	1	LS	$ 109,100.00	93%	$ 109,100.00	1	LS	$ 109,100.00	93%	$ 109,100.00
	Playworld Play Cube	2	EA	$ 4,100.00	72%	$ 8,200.00	2	EA	$ 4,100.00	72%	$ 8,200.00
	Landscape Structures Oodle Swing	1	EA	$ 14,675.00	114%	$ 14,675.00	1	EA	$ 14,675.00	114%	$ 14,675.00
	Landscape Structures 2 Bay Swing (3 Belt, 1 Bucket)	1	EA	$ 3,970.00	131%	$ 3,970.00	1	EA	$ 3,970.00	131%	$ 3,970.00
	Landscape Structures ADA Bucket Seat	1	EA	$ 1,680.00	147%	$ 1,680.00	1	EA	$ 1,680.00	147%	$ 1,680.00
	Dynamo Mini Apollo	1	EA	$ 22,815.00	100%	$ 22,815.00	1	EA	$ 22,815.00	100%	$ 22,815.00
	Kompan Supernova	1	LS	$ 12,135.00	91%	$ 12,135.00	1	LS	$ 12,135.00	91%	$ 12,135.00
	Goric Floating Rocks	1	LS	$ 20,735.00	94%	$ 20,735.00	1	LS	$ 20,735.00	94%	$ 20,735.00
	Concrete Steppers	15	EA	$ 875.00	110%	$ 13,125.00	15	EA	$ 875.00	110%	$ 13,125.00
	Half Moon Climbing Rock	1	LS	$ 21,200.00	93%	$ 21,200.00	1	LS	$ 21,200.00	93%	$ 21,200.00
	Sandstone Bridge Climber	1	EA	$ 9,500.00	165%	$ 9,500.00	1	EA	$ 9,500.00	165%	$ 9,500.00
	Concrete Access Ramps	2	EA	$ 1,650.00	75%	$ 3,300.00	2	EA	$ 1,650.00	75%	$ 3,300.00
	4" perforated pipe at play pits	160	LF	$ 12.50	50%	$ 2,000.00	160	LF	$ 12.50	50%	$ 2,000.00
	Landscape Forms Parc Vue Backless Benches	8	EA	$ 1,680.00	103%	$ 13,440.00	8	EA	$ 1,680.00	103%	$ 13,440.00
	Landscape Forms Parc Vue Backed Benches	7	EA	$ 2,010.00	101%	$ 14,070.00	7	EA	$ 2,010.00	101%	$ 14,070.00
	Landscape Forms Charlie Picnic Table	16	EA	$ 4,865.00	96%	$ 77,840.00	16	EA	$ 4,865.00	96%	$ 77,840.00
	Wausau Game Tables	2	EA	$ 2,810.00	104%	$ 5,620.00	2	EA	$ 2,810.00	104%	$ 5,620.00
	Landscape Forms Parc Vue Trash/Recyle Receptacles	8	EA	$ 1,200.00	110%	$ 9,600.00	8	EA	$ 1,200.00	110%	$ 9,600.00
	Landscape Forms Bike Racks	6	EA	$ 700.00	125%	$ 4,200.00	6	EA	$ 700.00	125%	$ 4,200.00
	BBQ Grills	3	EA	$ 1,615.00	104%	$ 4,845.00	3	EA	$ 1,615.00	104%	$ 4,845.00
	Shade Shelter (Large)	1	EA	$ 31,825.00	110%	$ 31,825.00	1	EA	$ 31,825.00	110%	$ 31,825.00
	Shade Shelter (Small)	2	EA	$ 23,450.00	104%	$ 46,900.00	2	EA	$ 23,450.00	104%	$ 46,900.00
	Arbor Shelters 7 1/2' x 20'	2	EA	$ 19,850.00	88%	$ 39,700.00	2	EA	$ 19,850.00	88%	$ 39,700.00
	Swing Benches	4	EA	$ 4,150.00	130%	$ 16,600.00	4	EA	$ 4,150.00	130%	$ 16,600.00
	Slack Line Posts	4	EA	$ 1,150.00	40%	$ 4,600.00	4	EA	$ 1,150.00	40%	$ 4,600.00
	Restroom Enclosure	1	EA	$ 18,100.00	101%	$ 18,100.00	1	EA	$ 18,100.00	101%	$ 18,100.00
	Stainless Steel Dome	1	EA	$ 5,455.00	88%	$ 5,455.00	1	EA	$ 5,455.00	88%	$ 5,455.00
	Rock Misters (Granite Landscape Boulders w/ parts,labor)	3	EA	$ 7,120.00	76%	$ 21,360.00	3	EA	$ 7,120.00	76%	$ 21,360.00
	Bollard (Misting activator)	1	EA	$ 8,830.00	122%	$ 8,830.00	1	EA	$ 8,830.00	122%	$ 8,830.00
	Additional Items (List):										
	SPORTS FIELDS/EQUIPMENT										
	Backstop	1	LS	$ 36,110.00	222%	$ 36,110.00	1	LS	$ 4,025.00	25%	$ 4,025.00
	Basketball court (post tension concrete)	1800	SF	$ 15.50	98%	$ 27,900.00	1800	SF	$ 15.50	98%	$ 27,900.00
	Basketball goals	2	EA	$ 3,555.00	105%	$ 7,110.00	2	EA	$ 3,555.00	105%	$ 7,110.00
	Basketball court striping	1	LS	$ 2,225.00	136%	$ 2,225.00	1	LS	$ 2,225.00	136%	$ 2,225.00
	Additional Items (List):										
	LANDSCAPE										
	Trees deciduous	66	EA	$ 525.00	105%	$ 34,650.00	66	EA	$ 525.00	105%	$ 34,650.00
	Trees ornamental	25	EA	$ 440.00	104%	$ 11,000.00	25	EA	$ 440.00	104%	$ 11,000.00
	Trees coniferous	17	EA	$ 525.00	86%	$ 8,925.00	17	EA	$ 525.00	86%	$ 8,925.00
	Buff sandstone landscape boulders	32	EA	$ 445.00	90%	$ 14,240.00	32	EA	$ 445.00	90%	$ 14,240.00
	Granite landscape boulders	44	EA	$ 495.00	86%	$ 21,780.00	44	EA	$ 495.00	86%	$ 21,780.00
	Buff step stones	40	EA	$ 140.00	114%	$ 5,600.00	40	EA	$ 140.00	114%	$ 5,600.00
	Shrubs	166	EA	$ 60.00	105%	$ 9,960.00	166	EA	$ 60.00	105%	$ 9,960.00
	Perennials and Grasses	508	EA	$ 21.00	118%	$ 10,668.00	508	EA	$ 21.00	118%	$ 10,668.00
	Rock mulch, planting beds	9500	SF	$ 1.25	88%	$ 11,875.00	9500	SF	$ 1.25	88%	$ 11,875.00
	Soil prep and seed mix	5150	SF	$ 0.35	75%	$ 1,802.50	5150	SF	$ 0.35	75%	$ 1,802.50
	Metal edge (planting beds, Solar Summit)	140	LF	$ 6.50	178%	$ 910.00	140	LF	$ 6.50	178%	$ 910.00
	Fine grading	269000	SF	$ 0.05	63%	$ 13,450.00	269000	SF	$ 0.05	63%	$ 13,450.00
	Soil prep and sod	269000	SF	$ 0.525	99%	$ 141,225.00	269000	SF	$ 0.525	99%	$ 141,225.00
	Irrigation	283000	SF	$ 0.55	116%	$ 155,650.00	283000	SF	$ 0.55	116%	$ 155,650.00
	Irrigation controller	1	LS	$ 3,780.00	86%	$ 3,780.00	1	LS	$ 3,780.00	86%	$ 3,780.00
	Irrigation pump	1	LS	$ 32,000.00	85%	$ 32,000.00	1	LS	$ 32,000.00	85%	$ 32,000.00
	Additional Items (List):										
	Pump Enclosure										
	ROW Landscaping - Deciduous Trees										
	ROW Landscaping - Ornamental Trees										
	Landscape Buffers (Shrubs at Parking Lot)										
	Back flow and enclosure										
	Tap Fees (contractors do not bid on this)										
	GRAND TOTAL					$ 2,163,987.50			Revised Bid		$ 2,095,859.50
				Bid total submitted		$ 2,163,987.50			Bid total submitted		$ 2,163,987.50
				Difference		$ -			Difference		$ 68,128.00

GoodLanD
Construction Inc.

DATE: April 17, 2017

TO: Shanen Weber
Design Concepts

FROM: Jim Pokorny
GoodLand Construction, Inc.

RE: Star Meadow Park

Dear Shanen:

Thank you for the opportunity to work with you on your exciting project. The following are the corrections to our bid proposal per our conversation:

Bid Items	Quantity	Unit Price	Total Cost
Original Bid			
Sediment Control Logs	1,325 LF	$ 8.50	$11,262.50
Export Soil	1,440 CY	$16.50	$23,760.00
Concrete Mow Band	605 LF	$18.50	$11,192.50
Backstop	1 LS	$36,110.00	$36,110.00
TOTAL			$82,325.00
Corrected Bid			
Sediment Control Logs	40 LF	$ 8.50	$ 340.00
Cut & Fill Soil	1,440 CY	$ 5.80	$ 8,352.00
Concrete Mow Band	80 LF	$18.50	$ 1,480.00
Backstop	1 LS	$4,025.00	$ 4,025.00
TOTAL			$14,197.00
TOTAL DIFFERENCE			$68,128.00

If you have any questions regarding the above please do not hesitate to call me. Thank you.

760 Nile Street Golden, CO 80401 (303) 278-8100 Fax #(303) 278-0231

Star Park Work Breakout		Cost
Fine Grading	$	13,450
Soil Preparation and sod	$	141,225
Permenant Irrigation System	$	155,650
Irrigation Controller	$	3,780
Irrigation Pump	$	32,000
Back flow preventer	$	3,500
ROW Landscaping and Landscape Buffers	$	8,935
Total Hard Cost	$	358,540
Contingency (10% of Goodland Bid)	$	35,854
	$	**394,394**

EXHIBIT B

[see following 42 pages]

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DESIGN CONCEPTS

Community • Landscape Architects

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ALTA/ACSM LAND TITLE SURVEY

TRACTS E, F, G & H, FLATIRON MEADOWS–FILING NO. 2, LOCATED IN THE SOUTH HALF OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M., TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

SHEET 1 OF 2

TOTAL AREA = 1,224,572 SQ FT, OR 28.11 ACRES, MORE OR LESS

Parcel Description

(PROVIDED BY EMPIRE TITLE NORTH, LLC)
PLAT RECORDED ON 05/21/2013 AT REC. NO. 03313537

TRACTS E, F, G AND H, FLATIRONS MEADOWS FILING NO. 2,
COUNTY OF BOULDER,
STATE OF COLORADO

Notes

1. EMPIRE TITLE NORTH, LLC BINDER NUMBER 00107307, DATED OCTOBER 13, 2015 AT 8:00 A.M., WAS ENTIRELY RELIED UPON FOR RECORDED INFORMATION REGARDING RIGHTS-OF-WAY, EASEMENTS AND ENCUMBRANCES IN THE PREPARATION OF THIS SURVEY. THE PROPERTY SHOWN AND DESCRIBED HEREON IS ALL OF THE PROPERTY DESCRIBED IN SAID TITLE BINDER.
2. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
3. THIS ALTA/ACSM LAND TITLE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF BOULDER VALLEY SCHOOL DISTRICT AND JVA, INC., NAMED IN THE STATEMENT HEREON. SAID STATEMENT DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT AN EXPRESS STATEMENT BY THE SURVEYOR NAMING SAID PERSON.
4. THIS SURVEY IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
5. BASIS OF BEARINGS: GPS DERIVED BEARINGS BASED ON A BEARING OF S15°01'34"W ALONG THE EASTERLY LINE OF TRACT E & F, BETWEEN A FOUND 1½" ORANGE PLASTIC CAP, MARKED "AZTEC, LS 38064" AT THE NORTHEAST CORNER OF TRACT E AND A FOUND NO. 5 REBAR W/1½" ALUMINUM CAP, MARKED "PLS 12405" AT AN EASTERLY CORNER OF TRACT F AS SHOWN HEREON. COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983 (NAD83). ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
6. SOURCE INFORMATION FROM PLANS AND MARKINGS HAVE BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES AND STRUCTURES. ALL UNDERGROUND UTILITIES MUST BE FIELD LOCATED BY THE APPROPRIATE AGENCY OR UTILITY COMPANY PRIOR TO ANY EXCAVATION, PURSUANT TO C.R.S. SEC. 9-1.5-103. (ALTA/ACSM LAND TITLE SURVEY TABLE A, OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, ITEM 11(b))
7. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT AND/OR BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE C.R.S. SEC 18-4-508. WHOEVER WILLFULLY DESTROYS, DEFACES, CHANGES, OR REMOVES TO ANOTHER PLACE ANY SECTION CORNER, QUARTER-SECTION CORNER, OR MEANDER POST, ON ANY GOVERNMENT LINE OF SURVEY, OR WILLFULLY CUTS DOWN ANY WITNESS TREE OR ANY TREE BLAZED TO MARK THE LINE OF A GOVERNMENT SURVEY, OR WILLFULLY DEFACES, CHANGES, OR REMOVES ANY MONUMENT OR BENCH MARK OF ANY GOVERNMENT SURVEY, SHALL BE FINED UNDER THIS TITLE OR IMPRISONED NOT MORE THAN SIX MONTHS, OR BOTH. 18 U.S.C. § 1858.
8. THE DISTANCE MEASUREMENTS SHOWN HEREON ARE U.S. SURVEY FOOT.
9. THE CONTOURS REPRESENTED HEREON WERE INTERPOLATED BY AUTOCAD CIVIL 3D (DIGITAL TERRAIN MODELING) SOFTWARE BETWEEN ACTUAL MEASURED SPOT ELEVATIONS. DEPENDING ON THE DISTANCE FROM A MEASURED SPOT ELEVATION AND LOCAL VARIATIONS IN TOPOGRAPHY, THE CONTOUR SHOWN MAY NOT BE AN EXACT REPRESENTATION OF THE SITE TOPOGRAPHY. THE PURPOSE OF THIS TOPOGRAPHIC MAP IS FOR SITE EVALUATION AND TO SHOW SURFACE DRAINAGE FEATURES. ADDITIONAL TOPOGRAPHIC OBSERVATIONS MAY BE NECESSARY IN SPECIFIC AREAS OF DESIGN. TOPOGRAPHY SHOWN HEREON COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.
10. BENCHMARK INFORMATION: A GPS DERIVED ELEVATION WAS ESTABLISHED AT AN ONSITE BENCHMARK AT THE NORTHEAST CORNER OF TRACT E, BEING A 1½" ORANGE PLASTIC CAP, MARKED "AZTEC, LS 38064" WITH AN ELEVATION OF 5168.51 FEET. A CHECK SHOT, 0.2'±, WAS TAKEN ON NGS POINT JR 60, BEING A BENCHMARK DISK MARKED "USGS, JR 60, ELEVATION 4950 FEET, 1948" IN CONCRETE LOCATED 9.6 MILES FROM SITE, WITH A PUBLISHED ELEVATION OF 4951.83 FEET (NAVD88). NO DIFFERENTIAL LEVELING WAS PERFORMED TO ESTABLISH THIS ELEVATION.
11. SUBSURFACE BUILDINGS, IMPROVEMENTS OR STRUCTURES ARE NOT NECESSARILY SHOWN. BUILDINGS AND OTHER IMPROVEMENTS OR STRUCTURES ON ADJACENT PROPERTIES THAT ARE MORE THAN FIVE (5) FEET FROM ANY OF THE PROPERTY LINES OF THE SUBJECT PROPERTY ARE NOT NECESSARILY SHOWN.
12. FLOOD INFORMATION: THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP: COMMUNITY-PANEL NO. 08120-0437 J, DATED DECEMBER 18, 2012. FLOOD INFORMATION IS SUBJECT TO CHANGE.
13. DATES OF FIELD WORK: OCTOBER 29 & 30, 2015 AND NOVEMBER 1 & 3, 2015
14. THE WORD "CERTIFY" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
15. THE TOTAL AREA OF THE SUBJECT PROPERTY IS 1,224,572 SQ. FT. OR 28.11 ACRES, MORE OR LESS. AREA AS SHOWN HEREON IS A RESULTANT FACTOR, NOT A DETERMINATIVE FACTOR, AND MAY CHANGE SIGNIFICANTLY WITH MINOR VARIATIONS IN FIELD MEASUREMENTS OR THE SOFTWARE USED TO PERFORM THE CALCULATIONS. FOR THIS REASON, THE AREA IS SHOWN AS A "MORE OR LESS" FIGURE, AND IS NOT TO BE RELIED UPON AS AN ACCURATE FACTOR FOR REAL ESTATE SALES PURPOSES (ALTA/ACSM LAND TITLE SURVEY TABLE A, OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, ITEM 4).
16. THERE ARE NO PAINTED PARKING STALLS ON THE SUBJECT PROPERTY (ALTA/ACSM LAND TITLE SURVEY TABLE A, OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, ITEM 9).
17. OWNERSHIP INFORMATION IS PER COUNTY OF BOULDER WEBSITE AS RESEARCHED ON NOVEMBER 11, 2015 AND IS SUBJECT TO CHANGE (ALTA/ACSM LAND TITLE SURVEY TABLE A, OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, ITEM 13).
18. THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF SURVEY (ALTA/ACSM LAND TITLE SURVEY TABLE A, OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, ITEM 16).
19. THERE WAS NO OBSERVABLE EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES OR STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT TIME OF SURVEY (ALTA/ACSM LAND TITLE SURVEY TABLE A, OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, ITEM 17).
20. WETLAND ZONE PEMC (PALUSTRINE EMERGENT SEASONALLY FLOODED) ARE LOCATED WITHIN TRACT G & H ON THE SUBJECT PROPERTY AS SHOWN HEREON PER U.S. FISH AND WILDLIFE SERVICE WEBSITE AS RESEARCHED ON NOVEMBER 10, 2015. WETLANDS LOCATIONS ARE SCALED FROM MAPS AND ARE APPROXIMATE. WETLANDS INFORMATION IS SUBJECT TO CHANGE. (ALTA/ACSM LAND TITLE SURVEY TABLE A, OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, ITEM 19). LOCATION OF THE PEMC LINE SHOWN HEREON ARE BASED ON CURRENTLY AVAILABLE AERIAL IMAGES FROM WETLAND MAPPER (WEBSITE LISTED ABOVE), DATED 11/12/15.
21. AT THE DATE OF THIS SURVEY, FLATIRONS, INC. CARRIES PROFESSIONAL LIABILITY INSURANCE OF NOT LESS THAN ONE MILLION ($1,000,000) DOLLARS (ALTA/ACSM LAND TITLE SURVEY TABLE A, OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, ITEM 21).
22. THE FOLLOWING DOCUMENTS ARE MENTIONED IN THE ABOVE REFERENCED TITLE BINDER AND APPEAR TO AFFECT THE SUBJECT PROPERTY BUT CANNOT BE SHOWN GRAPHICALLY. THE FOLLOWING LIST CONTAINS THE TITLE BINDER EXCEPTION NUMBER, DATE RECORDED, RECEPTION NUMBER AND/OR BOOK AND PAGE.

#8		PLAN FILE P-30 F-1 #25	ANNEXATION PLAT
#9			FLATIRONS MEADOWS PUD OVERLY MAP
#12	JUN. 18, 2012	REC. NO. 03229945	MASTER DECLARATIONS
	NOV. 26, 2012	REC. NO. 03269337	FIRST SUPPLEMENTAL TO THE ABOVE
	MAY 24, 2013	REC. NO. 03314682	SECOND SUPPLEMENTAL TO THE ABOVE
#13		BK. 250, PG. 504	PIPELINE AGREEMENT
#14	NOV. 28, 1978	REC. NO. 311444	OIL & GAS LEASE
	JAN. 24, 2007	REC. NO. 2831791	AMENDMENT TO THE ABOVE
	NOV. 28, 1978	REC. NO. 311443	RATIFICATION & RENTAL DIVISION ORDER
#15	SEP. 3, 1985	REC. NO. 710155	ORDER OF INCLUSION INTO THE LONGMONT FILE PROTECTION DISTRICT
	APR. 29, 1985	REC. NO. 685397	MODIFICATION TO THE ABOVE
#16	SEP. 3, 1993	REC. NO. 1333940	ORDINANCE NO. 442
	SEPT. 3, 1993	REC. NO. 1333941	AFFIDAVIT OF CONTIGUITY
#17	DEC. 22, 1993	REC. NO. 1375530	ORDER OF INCLUSION INTO THE ERIE WATER & SANITATION DISTRICT
#20	JAN. 21, 1997	REC. NO. 1671966	ORDER OF INCLUSION INTO THE NORTHERN COLORADO WATER CONSERVANCY DISTRICT
#24	OCT. 17, 1997	REC. NO. 1739983	TERMS, CONDITIONS, STIPULATIONS & OBLIGATIONS IN A STIPULATION
#26	JUL. 24, 2007	REC. NO. 2871224	ORDINANCE NO. 18-2007
	JUL. 24, 2007	REC. NO. 2871225	ORDINANCE NO. 19-2007
#27	AUG. 2, 2007	REC. NO. 2873129	SPECIAL WARRANTY DEED
#28	SEP. 4, 2007	REC. NO. 2880729	QUIT CLAIM DEED–MINERAL RIGHTS
#29	AUG. 17, 2007	REC. NO. 2877004	RESOLUTION FOR RE IMPOSITION OF DEVELOPMENT FEES
#30	MAR. 30, 2012	REC. NO. 3212843	FIRST AMENDMENT AND RESTATED MASTER DEVELOPMENT AGREEMENT
#31	JUN. 13, 2012	REC. NO. 3229233	BLANKET AVIGATION EASEMENT AGREEMENT
#33	JUN. 18, 2012	REC. NO. 3229890	AGREEMENT REGARDING SURFACE RIGHTS

23. THE FOLLOWING DOCUMENTS ARE MENTIONED IN THE ABOVE REFERENCED TITLE BINDER AND DO NOT APPEAR TO AFFECT THE SUBJECT PROPERTY. THE FOLLOWING LIST CONTAINS THE TITLE BINDER EXCEPTION NUMBER, DATE RECORDED, RECEPTION NUMBER AND/OR BOOK AND PAGE.

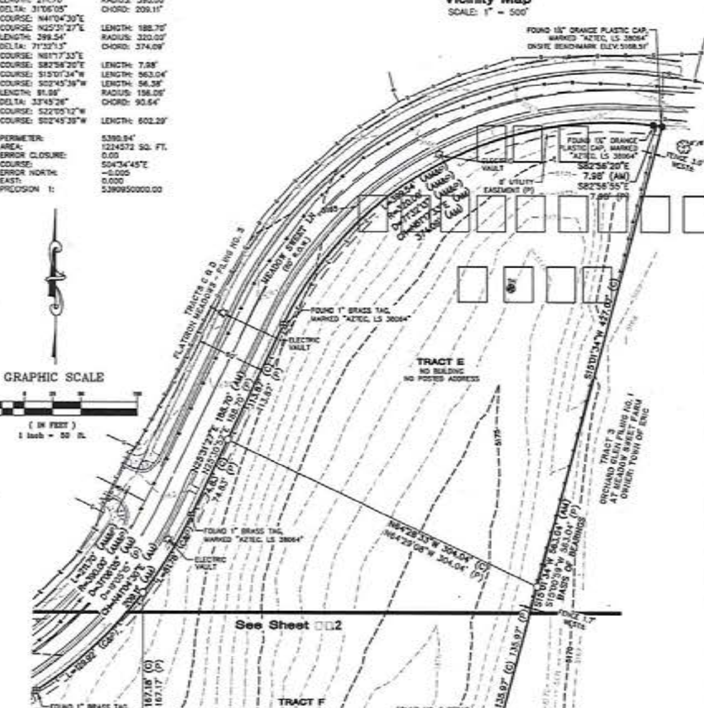
#13		BK. 250, PG. 504	PIPELINE AGREEMENT (LOCATED SOUTH OF FRONT RANGE ROAD)
#18	NOV. 2, 1994	REC. NO. 1475802	TERMS, CONDITIONS, STIPULATIONS & OBLIGATIONS IN A STIPULATION (LOCATED IN SECTION 26)
#19	SEP. 16, 1996	REC. NO. 1642602	TERMS, CONDITIONS, STIPULATIONS & OBLIGATIONS IN CORRECTIVE EASEMENT (LOCATED IN SECTION 26)
#21	APR. 18, 1997	REC. NO. 1691799	TERMS, CONDITIONS, STIPULATIONS & OBLIGATIONS IN GRANT OF EASEMENT (LOCATED WEST OF FLATIRON MEADOWS BLVD)
#22	APR. 18, 1997	REC. NO. 1691800	TERMS, CONDITIONS, STIPULATIONS & OBLIGATIONS IN GRANT OF EASEMENT (LOCATED IN SECTION 26)
#23	APR. 18, 1997	REC. NO. 1691801	TERMS, CONDITIONS, STIPULATIONS & OBLIGATIONS IN QUIT CLAIM DEED (LOCATED WEST OF FLATIRON MEADOWS BLVD)
#25	JAN. 27, 1006	REC. NO. 2753293	TERMS, CONDITIONS, STIPULATIONS & OBLIGATIONS IN GRANT OF EASEMENT (LOCATED IN SECTION 26)
#32	APR. 24, 2012	REC. NO. 3218336	TERMS, CONDITIONS, STIPULATIONS & OBLIGATIONS IN DRAINAGE EASEMENT (LOCATED WEST OF FLATIRON MEADOWS BLVD)

24. UNABLE TO OBTAIN STORM SEWER MANHOLE INVERTS ALONG MEADOW SWEET LANE AT THE TIME OF THE SURVEY.
25. VARIOUS UTILITY LINES ALONG FLATIRON MEADOWS BOULEVARD EXTEND OUTSIDE THE 8' UTILITY EASEMENT, AS SHOWN HEREON.
26. FENCES ARE NOT COINCIDENT WITH LOTS LINES AS SHOWN HEREON.

Boundary Closure Report

COURSE: S03°05'50"E	LENGTH: 101.52'
LENGTH: 87.41'	RADIUS: 58.00'
DELTA: 86°20'47"	CHORD: 79.37'
COURSE: N46°38'38"W	
COURSE: N89°49'01"W	LENGTH: 1292.00'
LENGTH: 31.42'	RADIUS: 20.00'
DELTA: 90°00'00"	CHORD: 28.28'
COURSE: N44°49'01"W	
COURSE: N00°10'59"E	LENGTH: 704.00'
COURSE: N00°10'59"E	LENGTH: 11.00'
LENGTH: 23.56'	RADIUS: 15.00'
DELTA: 90°00'00"	CHORD: 21.21'
COURSE: N45°10'59"E	
COURSE: S89°49'01"E	LENGTH: 754.89'
LENGTH: 263.56'	RADIUS: 450.00'
DELTA: 33°33'26"	CHORD: 259.81'
COURSE: N73°24'16"E	
LENGTH: 211.70'	RADIUS: 390.00'
DELTA: 31°06'05"	CHORD: 209.11'
COURSE: N41°04'30"E	
COURSE: N25°31'27"E	LENGTH: 188.70'
LENGTH: 399.54'	RADIUS: 320.00'
DELTA: 71°32'13"	CHORD: 374.09'
COURSE: N61°17'33"E	
COURSE: S82°58'20"E	LENGTH: 7.98'
COURSE: S15°01'34"W	LENGTH: 563.04'
COURSE: S02°45'39"W	LENGTH: 56.38'
LENGTH: 91.98'	RADIUS: 156.08'
DELTA: 33°45'26"	CHORD: 90.64'
COURSE: S22°05'12"W	
COURSE: S02°45'39"W	LENGTH: 602.29'
PERIMETER:	5390.94'
AREA:	1224572 SQ. FT.
ERROR CLOSURE:	0.00
COURSE:	S04°34'45"E
ERROR NORTH:	-0.005
EAST:	0.000
PRECISION 1:	539095000.00

Vicinity Map
SCALE: 1" = 500'



GRAPHIC SCALE
(IN FEET)
1 inch = 50 ft.

Legend

●	FOUND MONUMENT AS DESCRIBED
⊕	FOUND BRASS TAG AS DESCRIBED
●	SET 18" #5 REBAR WITH 1 1/2" ALUMINUM CAP "FLATIRONS SURV 16406"
○	CALCULATED POSITION (NOT FOUND OR SET)
(AM)	AS MEASURED AT TIME OF SURVEY
(C)	CALCULATED FROM RECORD AND AS MEASURED INFORMATION
(P)	AS PER THE PLAT OF FLATIRONS MEADOWS - FILING NO. 2
	CONCRETE
	EDGE OF ASPHALT
	FENCE
	SIGN
X"/X'	DECIDUOUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS)
X"/X'	CONIFEROUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS)
	WATER LINE
	WATER LINE SCALED FROM MAPS
	WATER MANHOLE
	WATER VALVE
	WATER METER
	FIRE HYDRANT
	SANITARY SEWER LINE
	SANITARY SEWER LINE SCALED FROM MAPS
	SANITARY SEWER MANHOLE
	CLEANOUT
	STORM SEWER LINE
	STORM SEWER LINE SCALED FROM MAPS
	STORM SEWER MANHOLE
	CURB INLET
	ELECTRIC LINE
	ELECTRICAL LINE SCALED FROM MAPS
	TRANSFORMER
	ELECTRIC METER
	ELECTRIC RISER
	LIGHT POLE
	FIBEROPTIC LINE
	TELEPHONE LINE
	TELEPHONE RISER
	TELEPHONE MANHOLE
	GAS LINE
	GAS LINE SCALED FROM MAPS
➡	INDICATION OF ACCESS
℄	CENTERLINE
	TEST HOLE
○	POST
ELEV	ELEVATION
INV	INVERT

Surveyor's Certificate

TO BOULDER VALLEY SCHOOL DISTRICT AND JVA, INC.:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 8, 9, 11(A), 11(B), 13, 16, 17, 19 AND 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON NOVEMBER 3, 2015.

PURSUANT TO COLORADO STATE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS RULE 6.2.2 THE UNDERSIGNED FURTHER CERTIFIES THAT THIS MAP OR PLAT WAS PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, IS ACCURATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

JOHN B. GUYTON COLORADO P.L.S. #16406
CHAIRMAN & CEO, FLATIRONS, INC.

Depositing Certificate

SUBMITTED TO BOULDER COUNTY LAND USE FOR RECORDING ON THIS ____ DAY OF ______________ 20__.

ALTA/ACSM LAND TITLE SURVEY
PREPARED FOR
BOULDER VALLEY SCHOOL DISTRICT
&
Others (See Note 3)

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REVISION	DATE
1	
2	
3	
4	
5	
6	
7	
8	
9	

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JOB NUMBER:
15-66,631
DATE:
11-4-2015
DRAWN BY:
E. DAVIS
CHECKED BY:
JK/JDG/TW/NV

SHEET 1 OF 2

DESIGN CONCEPTS
Community + Landscape Architects

TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

Project No.: 23625.00

Issued For:	Date:
100% CDs	11.04.16
50% CDs	12.13.16
90% CDs	01.24.17
BID SET	02.21.17

Drafted By: AJ & SM
Checked By: LL & SW

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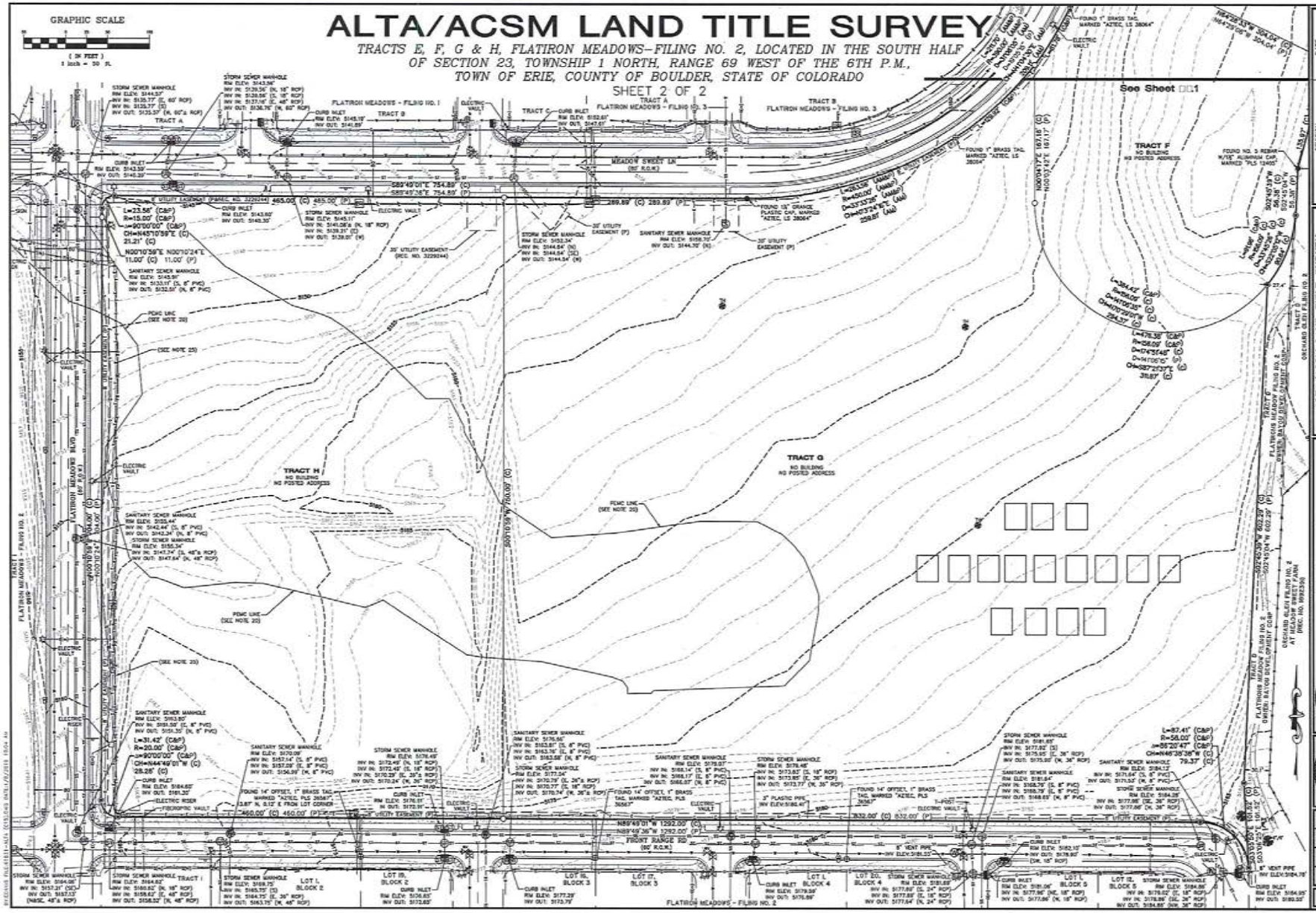
ALTA SURVEY

1

ALTA/ACSM LAND TITLE SURVEY

TRACTS E, F, G & H, FLATIRON MEADOWS–FILING NO. 2, LOCATED IN THE SOUTH HALF OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M., TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

SHEET 2 OF 2



DATE
REVISION

ALTA/ACSM LAND TITLE SURVEY
PREPARED FOR
BOULDER VALLEY SCHOOL DISTRICT
&
Others (See Note 3)

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JOB NUMBER: 15-66.631
DATE: 11-4-2015
DRAWN BY: E. DAVIS
CHECKED BY: JK/JZC/TW/NV

SHEET 2 OF 2

DESIGN CONCEPTS
Community • Landscape Architects
TOWN OF ERIE

STAR MEADOWS PARK
Erie, Colorado

SHAWN WEBER 503
04/13/2016
Original Date of Licensure
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

Project No.: 21623.00

Issued For:	Date:
30% DDs	11.04.16
50% CDs	12.13.16
50% CDs	01.24.17
BID SET	02.23.17

Drafted By: AJ & SM
Checked By: LL & SW

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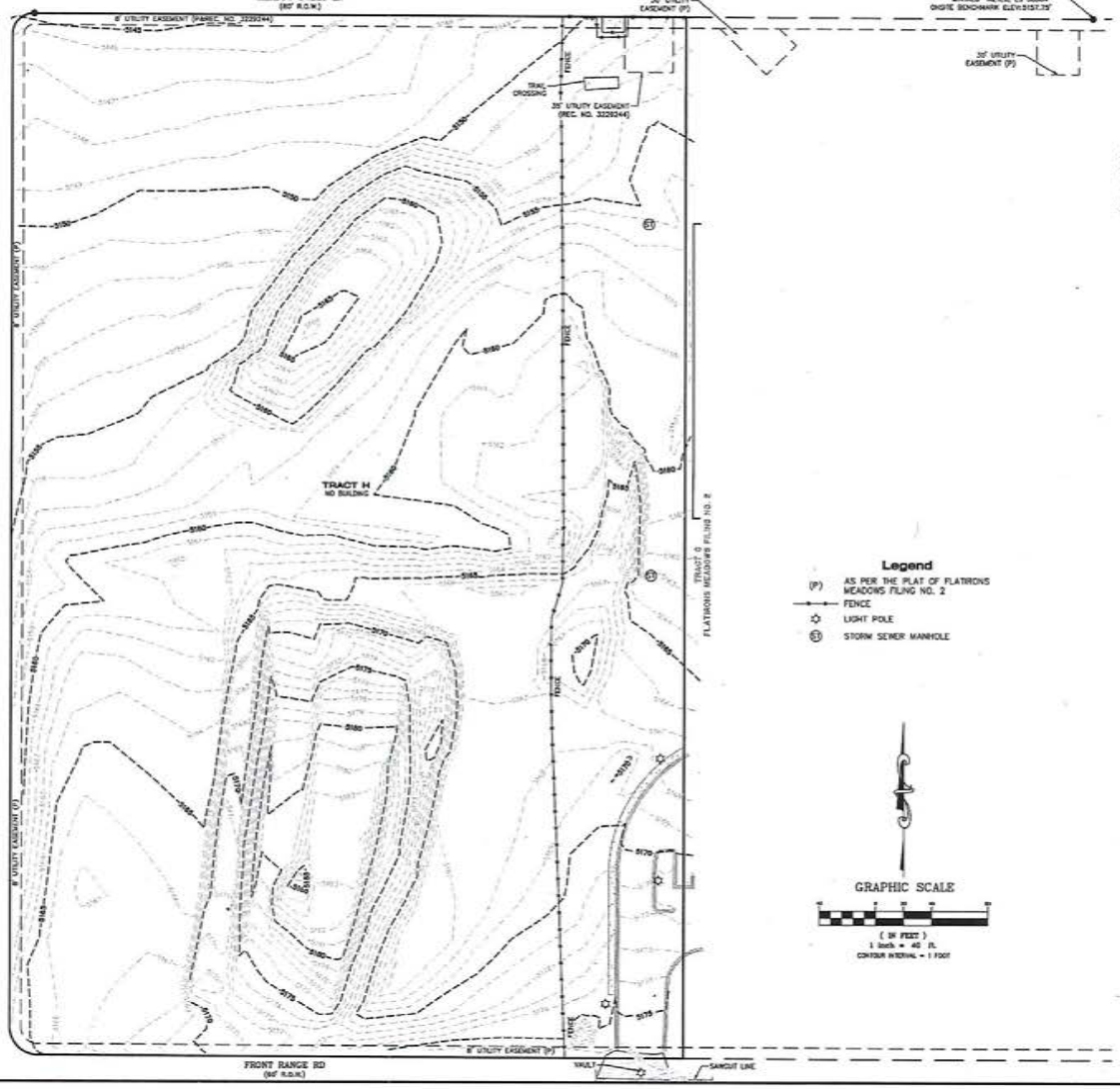
ALTA SURVEY

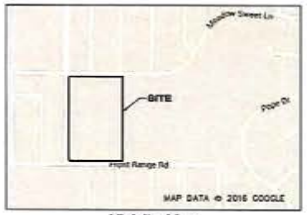
02

TOPOGRAPHIC EXHIBIT

TRACT H, FLATIRON MEADOWS–FILING NO. 2, LOCATED IN THE SOUTH HALF OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

SHEET 1 OF 1





Vicinity Map
SCALE: 1" = 500'

Parcel Description

(PROVIDED BY EMPIRE TITLE NORTH)
PLAT RECORDED ON 05/21/2013 AT REC. NO. 03313537

TRACT H, FLATIRONS MEADOWS FILING NO. 2,
COUNTY OF BOULDER,
STATE OF COLORADO

Notes

1. EMPIRE TITLE NORTH, LLC BINDER NUMBER 00107307, DATED OCTOBER 13, 2015 AT 8:00 A.M., WAS ENTIRELY RELIED UPON FOR RECORDED INFORMATION REGARDING RIGHTS-OF-WAY, EASEMENTS AND ENCUMBRANCES IN THE PREPARATION OF THIS SURVEY. THE PROPERTY SHOWN AND DESCRIBED HEREON IS ALL OF THE PROPERTY DESCRIBED IN SAID TITLE BINDER.
2. ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS EXHIBIT WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS EXHIBIT BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
3. THIS EXHIBIT WAS PREPARED FOR THE EXCLUSIVE USE OF JVA, INC. AND DESIGN CONCEPTS, NAMED IN THE STATEMENT HEREON. SAID STATEMENT DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT AN EXPRESS STATEMENT BY THE SURVEYOR NAMING SAID PERSON.
4. THIS EXHIBIT IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
5. SOURCE INFORMATION FROM PLANS AND MARKINGS HAVE BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES AND STRUCTURES. ALL UNDERGROUND UTILITIES MUST BE FIELD LOCATED BY THE APPROPRIATE AGENCY OR UTILITY COMPANY PRIOR TO ANY EXCAVATION, PURSUANT TO C.R.S. SEC. 9-1.5-103.
6. THE DISTANCE MEASUREMENTS SHOWN HEREON ARE U.S. SURVEY FOOT.
7. THE CONTOURS REPRESENTED HEREON WERE INTERPOLATED BY AUTOCAD CIVIL 3D (DIGITAL TERRAIN MODELING) SOFTWARE BETWEEN ACTUAL MEASURED SPOT ELEVATIONS. DEPENDING ON THE DISTANCE FROM A MEASURED SPOT ELEVATION AND LOCAL VARIATIONS IN TOPOGRAPHY, THE CONTOUR SHOWN MAY NOT BE AN EXACT REPRESENTATION OF THE SITE TOPOGRAPHY. THE PURPOSE OF THIS TOPOGRAPHIC MAP IS FOR SITE EVALUATION AND TO SHOW SURFACE DRAINAGE FEATURES. ADDITIONAL TOPOGRAPHIC OBSERVATIONS MAY BE NECESSARY IN SPECIFIC AREAS OF DESIGN. TOPOGRAPHY SHOWN HEREON COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.
8. BENCHMARK INFORMATION: A GPS DERIVED ELEVATION WAS ESTABLISHED AT AN ONSITE BENCHMARK EAST OF THE NORTHEAST CORNER OF TRACT H, BEING A 1-1/4" ORANGE PLASTIC CAP, MARKED "AZTEC, LS 38064" WITH AN ELEVATION OF 5157.75 FEET. A CHECK SHOT, 0.2'±, WAS TAKEN ON NGS POINT JR 60, BEING A BENCHMARK DISK MARKED "USGS, JR 60, ELEVATION 4950 FEET, 1948" IN CONCRETE LOCATED 5.6 MILES FROM SITE, WITH A PUBLISHED ELEVATION OF 4951.83 FEET (NAVD88). NO DIFFERENTIAL LEVELING WAS PERFORMED TO ESTABLISH THIS ELEVATION.
9. FLOOD INFORMATION: THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP: COMMUNITY-PANEL NO. 08120-0437 J, DATED DECEMBER 18, 2012. FLOOD INFORMATION IS SUBJECT TO CHANGE.
10. DATES OF FIELDWORK: DECEMBER 8 & 19, 2016 (CREW CHIEF: D. WILSON)
11. BOUNDARY DETERMINATION IS NOT A PART OF THIS EXHIBIT. THIS IS NOT A "LAND SURVEY PLAT" OR "IMPROVEMENT SURVEY PLAT" AND THIS EXHIBIT IS NOT INTENDED FOR PURPOSES OF TRANSFER OF TITLE OR SUBDIVISIONS OF LAND AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF A FENCE, BUILDING OR OTHER FUTURE IMPROVEMENT LINES.

Surveyor's Statement

I, JOHN B. GUYTON, A LAND SURVEYOR LICENSED IN THE STATE OF COLORADO, HEREBY STATE FOR AND ON BEHALF OF FLATIRONS, INC., TO JVA, INC. AND DESIGN CONCEPTS, THAT THIS TOPOGRAPHIC EXHIBIT WAS PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE; THAT SAID EXHIBIT AND THE RELATIVE ELEVATIONS SHOWN HEREON ARE ACCURATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

JOHN B. GUYTON COLORADO P.L.S. #16406
CHAIRMAN & CEO, FLATIRONS, INC.

DATE	REVISION

TOPOGRAPHIC EXHIBIT
PREPARED FOR
JVA, INC.
&
Others (See Note 3)

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JOB NUMBER: 16-68.538
DATE: 12-14-2016
DRAWN BY: E. DAVIS
CHECKED BY: JK/JZD/RW

SHEET 1 OF 1

DESIGN CONCEPTS
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TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

SHAWN WEBER 503
04/12/2016
Original Date of Licensure
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

Project No.: 21623.00

Issued For:	Date:
100% DDs	11.04.16
50% CDs	12.12.16
90% CDs	01.24.17
BID SET	02.23.17

Drafted By: AJ & SM
Checked By: LL & SW

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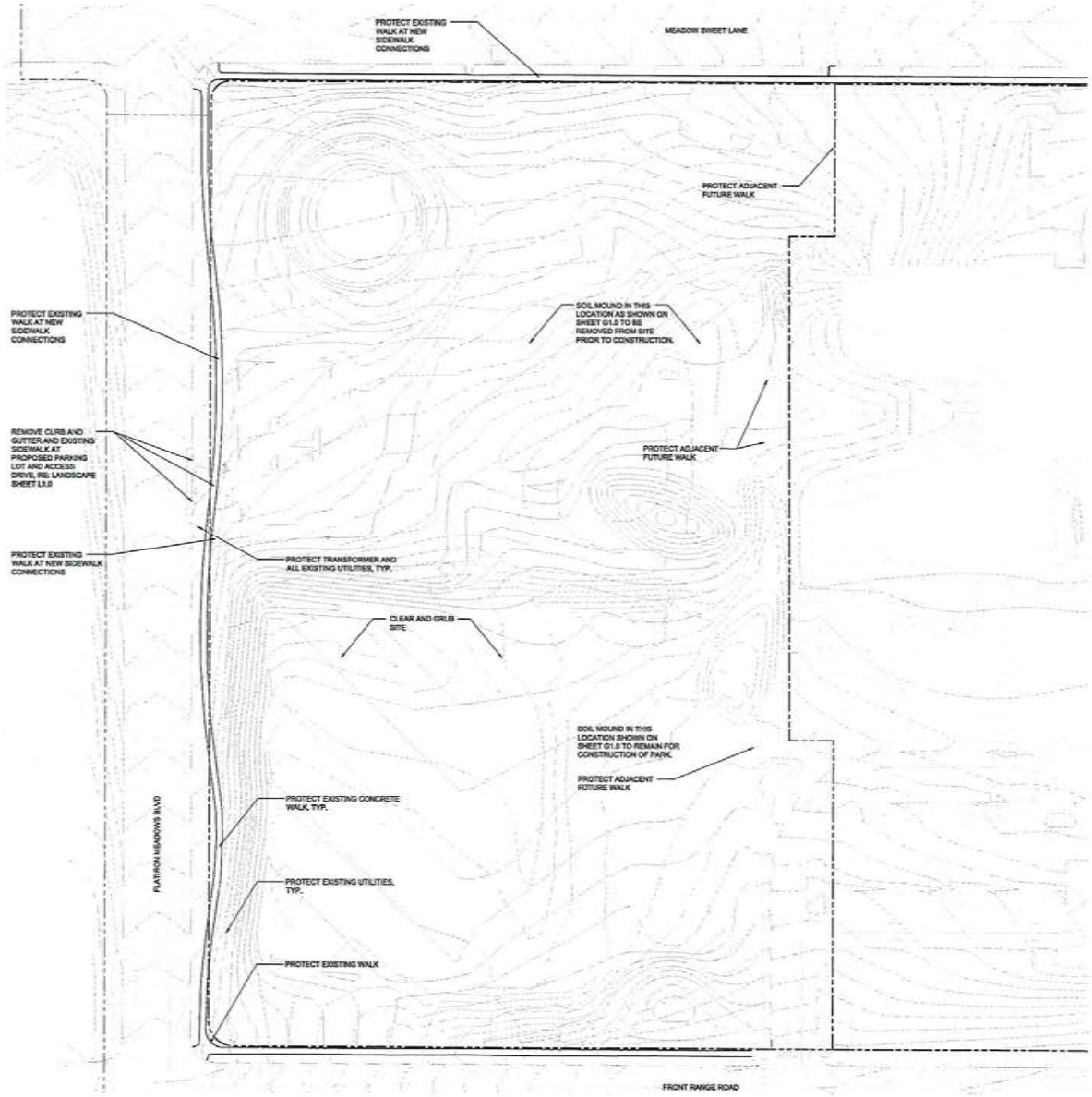
TOPOGRAPHIC SURVEY

□1.□

DEMOLITION NOTES

1. [illegible]
2. [illegible]
3. [illegible]
4. [illegible]
5. [illegible]
6. [illegible]
7. [illegible]
8. [illegible]
9. [illegible]



LEGEND

- PROPERTY LINE/R.O.W.
- STORM DRAIN
- SANITARY SEWER
- WATER
- UNDERDRAIN
- TELEPHONE
- ELECTRIC
- GAS
- FIBER OPTIC

1 D[illegible] P[illegible]
S[illegible]1" [illegible]4[illegible]

NORTH [illegible] 4[illegible] 8[illegible]

DESIGN CONCEPTS
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[illegible] North Public Road, Suite 200
Lafayette CO 80026
303.604.1207 www.dcla.net

TOWN OF ERIE 1872

STAR MEADOWS PARK

Erie, Colorado

SHAWN WEBER 503
04/17/2018
Original Date of Licensure
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

Project No.: 21623.00

Issued For:	Date:
100% DDs	11.04.16
50% CDs	12.19.16
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BID SET	02.21.17

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DEMOLITION PLAN

[illegible]2.[illegible]

STAR MEADOWS PARK

Erie, Colorado

DESIGN CONCEPTS
Community + Landscape Architects

TOWN OF ERIE 1874

ABBREVIATIONS

Abbreviation	Meaning
AASHTO	AMERICAN ASSOC. OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
ABAN	ABANDON
AC	ASPHALTIC CONCRETE PAVING
ADDL	ADDITIONAL
ADDM	ADDENDUM
ADJ	ADJUSTABLE
AL	ALUMINUM
ALT	ALTERNATE
AMT	AMOUNT
APPROX	APPROXIMATE
ARCH	ARCHITECT(URAL)
ARV	AIR RELIEF VALVE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
ASPH	ASPHALT
ASSY	ASSEMBLY
ASYM	ASYMMETRICAL
AUTO	AUTOMATIC
AVG	AVERAGE
AWWA	AMERICAN WATER WORKS ASSOC.
BC	BACK OF CURB
BFV	BUTTERFLY VALVE
BLDG	BUILDING
BLK	BLOCK
BM	BENCH MARK
BMP	BEST MANAGEMENT PRACTICE
BS	BACKSIGHT
BOT	BOTTOM
BSMT	BASEMENT
BVCE	BEGIN VERTICAL CURVE ELEVATION
BVCS	BEGIN VERTICAL CURVE STATION
BW	BOTTOM OF WALL
CB	CATCH BASIN
CCW	COUNTER CLOCKWISE
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION
CIP	CAST IRON PIPE
CJ	CONSTRUCTION JOINT
CL	CENTER LINE OR CHAIN LINK
CLR	CLEAR
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
CO	CLEANOUT
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS(ATION)
COR	CORNER
CR	CONCENTRIC REDUCER
CTR	CENTER
CY	CUBIC YARDS
DEMO	DEMOLITION
DIA	DIAMETER
DIAG	DIAGONAL
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
DN	DOWN
DR	DRAIN
DWG	DRAWING
DWL	DOWEL
E	EAST
EA	EACH
ECC	ECCENTRIC
EJ	EXPANSION JT
EL	ELEVATION
ELB	ELBOW
ELEC	ELECTRICAL
ENGR	ENGINEER
EOP	EDGE OF PAVEMENT
EQ	EQUAL
EQUIP	EQUIPMENT
EQUIV	EQUIVALENT
ESMT	EASEMENT
EST	ESTIMATE
EVCE	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
EW	EACH WAY
EXP JT	EXPANSION JOINT
EXIST	EXISTING
FND	FOUNDATION
FES	FLARED END SECTION
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FN	FENCE
FOC	FACE OF CONCRETE
FPM	FEET PER MINUTE
FPS	FEET PER SECOND
FT	FEET
FTG	FOOTING OR FITTING
G	GAS
GA	GAUGE
GAL	GALLON
GALV	GALVANIZED
GCO	GRADE CLEANOUT
GIP	GALVANIZED IRON PIPE
GND	GROUND
GPD	GALLONS PER DAY
GPM	GALLONS PER MINUTE
GRTG	GRATING
GSP	GALVANIZED STEEL PIPE
GV	GATE VALVE
H	HIGH
HB	HOSE BIB
HE	HORIZONTAL ELLIPTICAL
HDWL	HEADWALL
HNDRL	HAND RAIL
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
HVAC	HEATING, VENTILATION, AIR CONDITIONING
HWY	HIGHWAY
HWL	HIGH WATER LINE
HYD	HYDRANT
INCL	INCLUDED
ID	INSIDE DIAMETER
IN	INLET
INSUL	INSULATION
INV	INVERT
IRR	IRRIGATION
JTS	JOINTS
KB	KICKBLOCK
KO	KNOCKOUT
KPL	KICK PLATE
KWY	KEYWAY
L	LEFT OR LITER
LSCAPE	LANDSCAPE(ING)
LF	LINEAR FOOT
LP	LOW PRESSURE OR LIGHT POLE
LT	LIGHT
LWL	LOW WATER LEVEL
MAINT	MAINTENANCE
MAN	MANUAL
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MJ	MECHANICAL JOINT
N	NORTH
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NPT	NATIONAL PIPE THREAD
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OPP	OPPOSITE
OPT	OPTIONAL
PC	POINT OF CURVATURE
PCO	PRESSURE CLEAN OUT
PCR	POINT OF CURVE RETURN
PI	POINT OF INTERSECTION
PVI	POINT OF VERTICAL INTERSECTION
PL	PROPERTY LINE
PE	POLYETHYLENE
PREFAB	PREFABRICATED
PRELIM	PRELIMINARY
PREP	PREPARATION
PROP	PROPOSED
PRV	PRESSURE REDUCING VALVE OR PRESSURE RELIEF VALVE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	POINT OF TANGENCY
PV	PLUG VALVE
PVC	POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE
PVMT	PAVEMENT
QTY	QUANTITY
R	RIGHT
RAD	RADIUS
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
RE	REFERENCE
RECT	RECTANGULAR
REINF	REINFORCE (D) (ING) (MENT)
REQD	REQUIRED
ROW	RIGHT OF WAY
SAN	SANITARY
SD	STORM DRAIN
SECT	SECTION
SPD	STANDARD PROCTOR DENSITY
SPEC	SPECIFICATION
SQ	SQUARE
SQ IN	SQUARE INCH
SQ FT	SQUARE FOOT
SQ YD	SQUARE YARD
SS	SANITARY SEWER
SST	STAINLESS STEEL
STA	STATION
STD	STANDARD
STL	STEEL
STRUCT	STRUCTURAL
SWMP	STORMWATER MANAGEMENT PLAN
SYM	SYMMETRICAL
TB	THRUST BLOCK
TBC	TOP BACK OF CURB
TBM	TEMPORARY BENCH MARK
TEMP	TEMPORARY
THK	THICK
TOB	TOP OF BANK
TOC	TOP OF CONCRETE OR TOP OF CURB
TOT	TOTAL
TW	TOP OF WALL
TYP	TYPICAL
UBC	UNIFORM BUILDING CODE
UGE	UNDERGROUND ELECTRIC
UTIL	UTILITY
VERT	VERTICAL
VC	POINT OF VERTICAL CURVATURE
VCP	VITRIFIED CLAY PIPE
W	WIDE OR WIDTH
W/	WITH
W/O	WITHOUT
WQCE	WATER QUALITY CONTROL ELEVATION
WSE	WATER SURFACE ELEVATION
WW	WASTEWATER
X SECT	CROSS SECTION
YH	YARD HYDRANT

LEGEND

- SURVEY CONTROL POINT
- BENCHMARK
- PROPOSED MANHOLE
- EXISTING MANHOLE
- 18" AREA DRAIN
- 12" AREA DRAIN
- COMBINATION INLET
- TYPE R INLET
- TYPE 13 FIELD INLET
- FLARED END SECTION
- RIPRAP
- THRUST BLOCK
- TEE W/ THRUST BLOCK
- BEND W/ THRUST BLOCK
- END CAP W/ THRUST BLOCK
- GATE VALVE
- REDUCER/INCREASER
- WATER METER
- FIRE HYDRANT
- LIGHT POLE
- SIGN
- STRUCTURE IDENTIFICATION
- SIGN IDENTIFICATION
- STORM DRAIN
- ROOF DRAIN
- SANITARY SEWER
- WATER
- IRRIGATION
- UNDERDRAIN
- TRENCH DRAIN
- FRENCH DRAIN
- PERFORATED DRAIN
- TELEPHONE
- ELECTRIC
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- GAS
- CABLE TV
- FIBER OPTIC
- FLOW LINE
- FENCE
- ABANDON UTILITY
- DEMO SURFACE FEATURE
- DEMO SUBSURFACE FEATURE
- DEMO TREE
- LIMITS OF SAWCUT
- PROPERTY LINE / ROW
- EASEMENT LINE
- LIMITS OF WORK
- LIMITS OF OVEREXCAVATION
- MATCHLINE
- PROPOSED BUILDING
- EXIST BUILDING
- BLDG ACCESS
- CONCRETE PAVING
- HEAVY DUTY ASPHALT PAVING
- EARTH
- GRASS PAVERS
- CONCRETE SCORING
- CURB & GUTTER
- GUTTER PAN
- SPILL/CATCH CURB TRANSITION
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- EXIST INDEX CONTOUR
- EXIST INTERMEDIATE CONTOUR
- + 26.50 PROPOSED SPOT ELEVATION
- EXIST SPOT ELEVATION

GENERAL NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWN OF ERIE, COLORADO DEPARTMENT OF TRANSPORTATION, MOUNTAIN VIEW FIRE PROTECTION REQUIREMENTS, AND APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL HAVE IN POSSESSION AT THE JOB SITE AT ALL TIMES ONE (1) SIGNED COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE MOUNTAIN VIEW FIRE PROTECTION DISTRICT REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS. NOTIFY ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARD OR SPECIFICATION, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION SHALL APPLY.

2. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING, BUT NOT LIMITED TO A LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (CDPHE) STORMWATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE REQUIRED PARTY (OWNER, OWNER'S REPRESENTATIVE, MUNICIPAL/DISTRICT INSPECTOR, GEOTECHNICAL ENGINEER, ENGINEER AND/OR UTILITY OWNER) AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. PRIOR TO BACKFILLING, AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.

4. THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES MAY BE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT SIZE, LOCATION AND TYPE OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR RELOCATING ENCOUNTERED UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM TOWN OF ERIE, UTILITY OWNER AND ENGINEER BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER, INCLUDING NON-MUNICIPAL UTILITIES (TELEPHONE, GAS, CABLE, ETC., WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER). THE CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER UPON DISCOVERY OF A UTILITY DISCREPANCY OR CONFLICT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987, WWW.UNCC.ORG).

5. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR OWNER AND/OR TOWN APPROVAL AND PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," PART VI, FOR CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL. ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN NUMBERS.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ABUTTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS.

7. RIM AND GRATE ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL ADJUST RIMS AND OTHER IMPROVEMENTS TO MATCH FINAL PAVEMENT AND FINISHED GRADE ELEVATIONS.

8. THE EXISTING AND PROPOSED ELEVATIONS OF FLATWORK, SIDEWALKS, CURBS, PAVING, ETC. AS SHOWN HEREON ARE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA AND EXISTING CONDITIONS. AT CRITICAL AREAS AND SITE FEATURES, CONTRACTOR SHALL HAVE FORMWORK INSPECTED AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE, OR ENGINEER PRIOR TO PLACING CONCRETE. MINOR ADJUSTMENTS, AS APPROVED, TO PROPOSED GRADES, INVERTS, ETC. MAY BE REQUIRED TO PREVENT PONDING OR SLOPE NOT IN CONFORMANCE WITH MUNICIPAL STANDARDS. ALL FLATWORK MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DRIVES AND WALKS, ETC., TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEYANCES.

9. FINAL LIMITS OF REQUIRED ASPHALT SAWCUTTING AND PATCHING MAY VARY FROM LIMITS SHOWN ON PLANS. CONTRACTOR TO PROVIDE SAWCUT AND PATCH WORK TO ACHIEVE POSITIVE DRAINAGE AND A SMOOTH TRANSITION TO EXISTING ASPHALT WITHIN SLOPES ACCEPTABLE TO THE ENGINEER AND WITHIN MUNICIPAL STANDARDS. CONTRACTOR SHALL PROVIDE ADDITIONAL SAWCUTTING AND PATCHING AT UTILITY WORK, CONNECTION POINTS TO EXISTING PAVEMENT AND FEATURES, ETC. THAT MAY NOT BE DELINEATED ON PLANS.

10. ANY EXISTING MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC. TO BE PROTECTED AND TO REMAIN IN SERVICE. IF FEATURES EXIST, EXTEND OR LOWER TO FINAL SURFACE WITH LIKE KIND CAP WITH STANDARD CAST ACCESS LID WITH SAME MARKINGS. IN LANDSCAPED AREAS PROVIDE A CONCRETE COLLAR (18"x18"x8" THICK) AT ALL EXISTING AND PROPOSED MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC.

11. OWNER TO APPROVE ALL CONCRETE FINISHING, JOINT PATTERNS AND COLORING REQUIREMENTS PRIOR TO CONSTRUCTION. SUBMIT JOINT LAYOUT PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.

12. PIPE LENGTHS AND HORIZONTAL CONTROL POINTS SHOWN ARE FROM CENTER OF STRUCTURES, END OF FLARED END SECTIONS, ETC. SEE STRUCTURE DETAILS FOR EXACT HORIZONTAL CONTROL LOCATION. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ACTUAL PIPE LENGTHS TO ACCOUNT FOR STRUCTURES AND LENGTH OF FLARED END SECTIONS.

13. ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVED, AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE MUNICIPALITY OR OWNER'S REPRESENTATIVE.

14. THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE TOWN OF ERIE JURISDICTION, THE STATE OF COLORADO, URBAN DRAINAGE AND FLOOD CONTROL DISTRICT "URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3", THE M-STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED EROSION CONTROL PLAN. JURISDICTIONAL AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AT THE CONTRACTOR'S EXPENSE DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR PROHIBITING SILT AND DEBRIS LADEN RUNOFF FROM LEAVING THE SITE, AND FOR KEEPING ALL PUBLIC AREAS FREE OF MUD AND DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING FINAL GRADES AND FOR REMOVING ACCUMULATED SEDIMENTATION FROM ALL AREAS INCLUDING SWALES AND DETENTION/WATER QUALITY AREAS. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY.

15. ADA COMPLIANCE: THE CROSS-SLOPE OF ALL WALKS MUST BE 2.0% MAX. PERPENDICULAR TO DIRECTION OF TRAVEL. MAXIMUM GRADE OF HANDICAPPED ACCESSIBLE WALKS MUST BE 5.0% MAX. IN DIRECTION OF TRAVEL. MAXIMUM GRADE OF ALL HANDICAP RAMPS IS 8.3% OVER A MAXIMUM 6" RISE. MAXIMUM GRADE AT HANDICAP PARKING IS TYPICALLY 2.0% IN ALL DIRECTIONS. CONTRACTOR TO NOTIFY ENGINEER PRIOR TO PLACEMENT OF FLATWORK IF SITE CONDITIONS OR DISCREPANCIES WHICH PREVENT TYPICAL REQUIRED GRADES FROM BEING ACHIEVED. ALL RAMPS, STAIRS AND RAILING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA STANDARDS. HANDICAP RAMPS SHALL CONFORM TO CDOT M-STANDARDS (SEE DETAIL M-608-1, ETC.)

16. BENCHMARK INFORMATION: TOPOGRAPHIC INFORMATION WAS PROVIDED BY FLATIRONS SURVEYING, SEE ALTA/ACSM LAND TITLE SURVEY DATED NOVEMBER 04, 2015. BM = A GPS DERIVED ELEVATION WAS ESTABLISHED AT A ONSITE BENCHMARK AT THE NORTHEAST CORNER OF TRACT E, BEING A 1-1/4" ORANGE PLASTIC CAP, MARKED "AZTEC, LS 38064" WITH AN ELEVATION OF 5168.51 FEET. A CHECK SHOT, 0.2±, WAS TAKEN ON NGS POINT JR 60, BEING A BENCHMARK DISK MARKED "USGS JR 60, ELEVATION 4050 FEET, 1946" IN CONCRETE, LOCATED 9.6 MILES FROM SITE, WITH A PUBLISHED ELEVATION OF 4951.83 FEET (NAVD88). NO DIFFERENTIAL LEVELING WAS PERFORMED TO ESTABLISH THIS ELEVATION. COORDINATE AND VERIFY ALL VERTICAL AND HORIZONTAL DATA SHOWN IN SURVEY AND REPORT ANY IRREGULARITIES OR DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.

17. HORIZONTAL CONTROL INFORMATION: HORIZONTAL CONTROL COORDINATES ARE PROVIDED BY THE FOLLOWING POINT AS SHOWN ON THE PLANS:

BM
N1255504.17 E 3116733.21 EL: 5168.51
1-1/4" ORANGE PLASTIC CAP MARKED "AZTEC, LS 38064"
CONTROL POINT #1
N 1254705.51 E 3116270.90 EL: 5176.01
FOUND 1/4" OFFSET, 1" BRASS TAG, MARKED "AZTEC, PLS 36567"
CONTROL POINT #2
N 1254804.76 E 3116020.11 EL: 5166.64

BASIS OF BEARINGS: BASIS OF BEARINGS IS THE WEST LINE OF THE NORTHEAST 1/4 BEING S [illegible]E BETWEEN THE FOUND MONUMENTS REFERENCED ON THE SURVEY.

18. PROTECT ALL TREES AND VEGETATION. PLACE CONSTRUCTION FENCING AT DRIP LINE OF TREES AND PLANTS NEAR THE WORK ZONE. DEEP WATER TREES WEEKLY. HAND EXCAVATION REQUIRED AT ROOT ZONES WHERE PROPOSED PAVING OR UTILITY WORK IS WITHIN DRIPLINE OF TREES.

19. THE CONTRACTOR SHALL FURNISH THE ENGINEER OF RECORD A COMPLETE SET OF CONSTRUCTION RECORD DRAWINGS ("AS-BUILTS"), FOR THE CONSTRUCTED IMPROVEMENTS. THE PLANS SHALL SHOW SUFFICIENT DIMENSION TIES TO PERMANENT SURFACE FEATURES FOR ALL BURIED FACILITIES TO ALLOW FOR FUTURE LOCATING. THE PLANS SHALL SHOW FINAL PAVEMENT, FLOW LINE ELEVATIONS, CONTOURS AT POND/DRAINAGE FEATURES (AS SURVEYED AND CERTIFIED BY A COLORADO P.L.S.), MANHOLE, PIPE, AND INLET LOCATIONS, INVERTS, GRATE ELEVATIONS, SIZES OF ALL UTILITIES, AND ANY VARIATIONS FROM THE APPROVED PLAN. ENGINEER WILL PRODUCE FINAL RECORD DRAWINGS.

20. LOCATIONS OF CLEANOUTS, LIGHTS, SIGNAGE, JUNCTION BOXES, AND OTHER SIGNIFICANT SITE FEATURES TO BE STAKED FOR ENGINEER AND OR OWNER APPROVAL PRIOR TO WORK. CLEANOUTS, JUNCTION BOXES, AND ADJACENT GRADES TO BE RAISED ONE-HALF INCH AT ASPHALT/CONCRETE (OR 1" AT LANDSCAPING) TO PROVIDE POSITIVE DRAINAGE AWAY FROM FEATURES.

SYMBOLS

DETAIL TITLE
SCALE
- DETAIL NUMBER IDENTIFICATION
- SHEETS WHERE THE SECTION OR ELEVATION IS CUT OR CALLED OUT - INDICATES SAME DRAWING

DETAIL TITLE
- DETAIL NUMBER IDENTIFICATION
- SHEET WHERE THE DETAIL IS DRAWN - INDICATES SAME DRAWING

DETAIL MARKER
- REVISION CLOUD
- REVISION NUMBER

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General Notes, Legend, & Abbreviations

C0.1

GENERAL NOTES – CONSTRUCTION

1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST "STANDARDS AND SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS" BY THE TOWN OF ERIE. COPIES OF THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS MAY BE OBTAINED FROM THE TOWN OF ERIE WEB SITE. CONTRACTOR SHALL HAVE A SET ON SITE AT ALL TIMES.

2. THE OWNER SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF ERIE ENGINEERING STAFF PRIOR TO THE START OF CONSTRUCTION. THOSE IN ATTENDANCE SHALL INCLUDE THE OWNER, HIS ENGINEER, THE TOWN OF ERIE ENGINEERING STAFF, REPRESENTATIVES OF THE CONTRACTORS AND OTHER AFFECTED AGENCIES. PLANS SIGNED AND ACCEPTED BY THE TOWN OF ERIE WILL BE DISTRIBUTED AT THE PRE-CONSTRUCTION MEETING. CONTRACTOR SHALL HAVE (1) COPY OF THE SIGNED PLANS ON SITE AT ALL TIMES.

3. THE TOWN OF ERIE, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. THE OWNER AND DESIGN ENGINEER UNDERSTAND THAT THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT. REPORT ALL DISCREPANCIES TO THE DESIGN ENGINEER IMMEDIATELY.

4. PRIOR TO BEGINNING THE WORK, THE CONTRACTOR SHALL OBTAIN ANY/ALL WRITTEN AGREEMENTS FOR INGRESS AND EGRESS TO THE WORK SITE FROM ADJACENT PRIVATE PROPERTY OWNERS. A COPY OF ALL AGREEMENTS SHALL BE PROVIDED TO THE TOWN. ACCESS TO ANY ADJACENT PRIVATE PROPERTY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

5. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF ERIE ENGINEERING STAFF. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO TOWN STANDARDS AND SPECIFICATIONS. INSPECTIONS AND ONSITE VISITS ARE NOT TO BE CONSTRUED AS A GUARANTEE BY THE TOWN ENGINEERING STAFF OF THE CONTRACTORS' CONTRACTUAL COMMITMENT. REQUESTS FOR INSPECTION BY THE TOWN OF ERIE SHALL BE MADE BY THE CONTRACTOR A MINIMUM OF TWENTY-FOUR (24) HOURS IN ADVANCE.

6. CONSTRUCTION WATER IS AVAILABLE TO THE CONTRACTOR AS ESTABLISHED IN THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE TOWN OF ERIE REGARDING CURRENT REGULATIONS, FEES AND REQUIRED AGREEMENTS RELATED TO THE PROVISION OF CONSTRUCTION WATER.

7. THE CONTRACTOR SHALL COORDINATE HIS ACTIVITIES WITH THE AFFECTED UTILITY COMPANIES AND SHALL NOTIFY THE UTILITY NOTIFICATION CENTER, PHONE NUMBER 811, THREE (3) BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION.

8. UTILITIES IN THE AREA OF CONSTRUCTION ARE APPROXIMATE ONLY. THEY HAVE BEEN- LOCATED FROM FIELD INVESTIGATION AND THE BEST AVAILABLE UTILITY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD-LOCATED PRIOR TO CONSTRUCTION. IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE TOWN OF ERIE ENGINEERING STAFF AND DESIGN ENGINEER PRIOR TO PROCEEDING.

9. THE CONTRACTOR SHALL NOTIFY TOWN OF ERIE ENGINEERING STAFF OF ANY PROBLEM IMPACTING WATER AND WASTE WATER FACILITIES THAT WOULD POTENTIALLY REQUIRE A VARIANCE FROM THE APPROVED PLANS AND SPECIFICATIONS. ANY VARIANCE FROM THE APPROVED DOCUMENTS SHALL BE AT THE SOLE DISCRETION OF THE TOWN OF ERIE ENGINEERING STAFF.

10. CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE SPECIFICATIONS AND PERMITS NECESSARY TO PERFORM THE PROPOSED WORK.

11. AS-BUILT DRAWINGS AS REQUIRED IN THE SPECIFICATIONS, ARE TO BE SUBMITTED BY THE OWNER/DEVELOPER PRIOR TO SUBSTANTIAL COMPLETION/CONSTRUCTION ACCEPTANCE OF THE CONSTRUCTION.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ANY EXISTING SIGNS, STRUCTURES, FENCES, ETC., ENCOUNTERED ON THE JOB AND RESTORING THEM TO THEIR ORIGINAL CONDITION.

13. THE CONTRACTOR IS RESPONSIBLE FOR:

    A. NOTIFYING THE TOWN OF ERIE UTILITY CUSTOMERS OF POTENTIAL SERVICE OUTAGES, AND COORDINATE WITH THE TOWN OF ERIE FOR DETERMINATION OF MINIMUM TIME REQUIREMENT.

    B. NOTIFYING THE TOWN OF ERIE ENGINEERING STAFF IF WORK IS SUSPENDED FOR ANY PERIOD OF TIME AFTER INITIAL START-UP. THE CONTRACTOR SHALL NOTIFY THE TOWN OF ERIE FORTY-EIGHT (48) HOURS PRIOR TO RESTART.

    C. IN THE EVENT OF AN AFTER HOURS EMERGENCY, CALL 303-441-4444.

    D. NOTIFYING THE MOUNTAIN VIEW FIRE PROTECTION DISTRICT OF ALL STREET CLOSURES AND EXISTING FIRE HYDRANTS TAKEN OUT OF SERVICE A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.

14. PRIOR TO INSTALLATION OF UTILITY MAINS, ROAD CONSTRUCTION MUST HAVE COMPLETED THE OVER LOT GRADING STAGE.

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. A CONSTRUCTION DEWATERING PERMIT MUST BE OBTAINED FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE). GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS OR EROSION OF ABUTTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. THE USE OF ANY SANITARY SEWER TO DISPOSE OF TRENCH WATER WILL NOT BE PERMITTED. NO CONCRETE SHALL BE PLACED WHERE GROUNDWATER IS VISIBLE OR UNTIL THE GROUNDWATER TABLE HAS BEEN LOWERED BELOW THE PROPOSED IMPROVEMENTS. ANY UNSTABLE AREAS, AS A RESULT OF GROUNDWATER, ENCOUNTERED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE STABILIZED AS AGREED UPON BY THE CONTRACTOR, THE TOWN OF ERIE, AND THE DESIGN ENGINEER AT THE TIME OF THE OCCURRENCE.

16. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER TO RESOLVE CONSTRUCTION PROBLEMS WITH THE TOWN OF ERIE DUE TO CHANGED CONDITIONS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROPOSED WORK. IF, IN THE OPINION OF THE TOWN OF ERIE, PROPOSED ALTERATIONS TO THE SIGNED CONSTRUCTION PLANS INVOLVES SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK, OR TO THE FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR SUBMITTING REVISED PLANS TO THE TOWN OF ERIE FOR REVIEW, PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE WORK.

17. DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS. THE TOWN OF ERIE OR THE DESIGN ENGINEER EXERCISE NO CONTROLS OVER THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENTS, SCAFFOLDING, FORMS OR OTHER WORK AIDS USED IN OR ABOUT THE PROJECT, OR IN THE SUPERINTENDING OF THE SAME. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE DESIGN ENGINEER OR THE TOWN. THE TOWN OF ERIE ENGINEERING STAFF, OR ANY CONTRACTED ENGINEER, ARE NOT RESPONSIBLE FOR SAFETY IN, ON OR ABOUT THE PROJECT SITE, NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY OF ANY REGULATIONS RELATING THERETO.

18. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY SO AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.

19. REGULAR WORK HOURS ARE SEVEN (7) A.M. UNTIL SEVEN (7) P.M. OR DUSK (WHICHEVER OCCURS FIRST) OF THE SAME DAY, MONDAY THROUGH FRIDAY. THE CONTRACTOR WILL NOT PERMIT OVERTIME WORK OUTSIDE OF REGULAR WORKING HOURS OR THE PERFORMANCE OF WORK ON SATURDAY, SUNDAY OR ANY LEGAL HOLIDAY WITHOUT RECEIVING WRITTEN CONSENT FROM THE PUBLIC WORKS DIRECTOR. REQUESTS FOR WEEKEND WORK APPROVAL MUST BE SUBMITTED, IN WRITING TO THE TOWN OF ERIE NO LATER THAN WEDNESDAYS AT 3:30PM FOR SUBSEQUENT WEEKEND AND REQUESTS FOR HOLIDAY WORK APPROVAL MUST BE SUBMITTED, IN WRITING TO THE TOWN OF ERIE NO LATER THAN 7:00AM-2 BUSINESS DAYS PRIOR TO THE HOLIDAY. ALL EXPENSES INCURRED BY THE TOWN SHALL BE REIMBURSED AT A RATE TO BE DETERMINED BY DIRECTOR OF FINANCE.

20. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR OBTAINING A STORMWATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FOR ANY PROJECT DISTURBING OVER ONE ACRE FROM BOTH THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND THE TOWN OF ERIE.

21. EACH TYPE OF CONSTRUCTION SHALL BE COMPLETED BY A CONTRACTOR THAT HAS DEMONSTRATED ACCEPTABLE QUALIFICATIONS TO THE TOWN AND IS A LICENSED CONTRACTOR IN THE TOWN OF ERIE.

22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION. ALL TRAFFIC CONTROLS SHALL CONFORM TO THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) LATEST EDITIONS. A PLAN SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND ACCEPTANCE PRIOR TO CONSTRUCTION.

23. ALL BACKFILL SHALL CONFORM TO THE TRENCH DETAIL LOCATED IN THE TOWN OF ERIE STANDARDS & SPECIFICATIONS.

24. THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY CONSTRUCTION DEBRIS OR MUD TRACKED ONTO EXISTING ROADWAYS.

25. THE CONTRACTOR SHALL REPAIR ANY EXCAVATION OR PAVEMENT FAILURES CAUSED BY HIS CONSTRUCTION.

26. THE CONTRACTOR SHALL RENEW OR REPLACE ANY EXISTING TRAFFIC STRIPING AND/OR PAVEMENT MARKINGS, WHICH HAVE BEEN EITHER REMOVED OR THE EFFECTIVENESS OF WHICH HAS BEEN REDUCED DURING HIS OPERATION. RENEWAL OF PAVEMENT STRIPING AND MARKING SHALL BE DONE IN CONFORMANCE WITH THE TOWN OF ERIE STANDARD SPECIFICATIONS.

27. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO TAKE EVERY MEASURE NECESSARY TO COMPLY WITH ANY STATE, COUNTY OR TOWN DUST CONTROL ORDINANCE.

28. CONSTRUCTION VEHICLES SHALL USE TRUCK ROUTES DESIGNATED BY THE TOWN.

29. THE OWNER/DEVELOPER WILL BE HELD RESPONSIBLE FOR THE PROPER FUNCTIONING OF THE IMPROVEMENTS FOR A MINIMUM OF TWO (2) YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION/ CONSTRUCTION ACCEPTANCE OF THE IMPROVEMENTS BY THE TOWN OF ERIE. ANY FAILURE DURING THIS PERIOD OF GUARANTEE SHALL BE REMEDIED BY THE OWNER/CONTRACTOR TO THE SATISFACTION OF THE TOWN OF ERIE AT NO EXPENSE TO THE TOWN.

30. THE SOILS ENGINEER SHALL PERFORM SUFFICIENT INSPECTIONS DURING GRADING AND CONSTRUCTION SO THAT AN OPINION CAN BE RENDERED AND VERIFIED IN WRITING AS TO COMPLIANCE WITH THE PLANS AND CODES WITHIN THE SOILS ENGINEER'S PURVIEW.

GENERAL NOTES – GRADING

1. ALL CONSTRUCTION ACTIVITIES THAT DISTURBS ONE OR MORE ACRES OF LAND, AS WELL AS ACTIVITIES THAT DISTURB LESS THAN ONE ACRE OF LAND, BUT IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT, MUST COMPLY WITH BOTH LOCAL AND STATE REGULATIONS REGARDING STORMWATER DRAINAGE ON CONSTRUCTION SITES. OWNERS OR CONTRACTORS MUST OBTAIN A COLORADO STORMWATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) AND EITHER A PUBLIC IMPROVEMENT PERMIT OR A GRADING AND STORMWATER QUALITY PERMIT FROM THE TOWN OF ERIE. CONTRACTOR SHALL:

    A. MAINTAIN A COPY OF THE STORM WATER MANAGEMENT PLAN (SWMP) ONSITE AT ALL TIMES. THE SWMP MUST BE MAINTAINED AND MADE AVAILABLE TO TOWN OF ERIE INSPECTORS UPON REQUEST.

    B. INSTALL AND MAINTAIN EROSION, SEDIMENT, AND MATERIALS MANAGEMENT CONTROL BMPS AS SPECIFIED IN THE SWMP.

    C. INSPECT ALL BEST MANAGEMENT PRACTICES (BMPS) AT LEAST EVERY FOURTEEN (14) DAYS AND WITHIN TWENTY FOUR (24) HOURS AFTER ANY PRECIPITATION OR SNOWMELT EVENT THAT CAUSES SURFACE RUNOFF.

    D. MAINTAIN INSPECTION AND MAINTENANCE RECORDS OF BMPS ONSITE WITH THE SWMP. COPIES OF THESE REPORTS SHALL BE PROVIDED TO THE TOWN OF ERIE ENGINEERING STAFF.

    E. BASED ON INSPECTIONS PERFORMED BY THE PERMIT HOLDER OR BY TOWN PERSONNEL, MODIFICATIONS TO THE SWMP WILL BE NECESSARY IF AT ANY TIME THE SPECIFIED BMPS DO NOT MEET THE OBJECTIVES OF THE PERMIT. ALL MODIFICATIONS SHALL BE COMPLETED AS SOON AS PRACTICABLE AFTER THE REFERENCED INSPECTION, AND SHALL BE RECORDED ON THE OWNER'S COPY OF THE SWMP.

    F. THE OPERATOR SHALL AMEND THE SWMP WHENEVER THERE IS A SIGNIFICANT CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR DISCHARGE OF POLLUTANTS TO THE RECEIVING WATERS, OR IF THE SWMP PROVES TO BE INEFFECTIVE IN ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

    G. INSTALLATION AND MAINTENANCE OF BMPS SHALL BE SUPERVISED BY PERSONNEL CERTIFIED IN EROSION AND SEDIMENT CONTROL.

2. ALL SITE GRADING (EXCAVATION, EMBANKMENT, AND COMPACTION) SHALL CONFORM TO THE RECOMMENDATIONS OF THE LATEST SOILS INVESTIGATION FOR THIS PROPERTY AND SHALL FURTHER BE IN CONFORMANCE WITH THE TOWN OF ERIE "STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS", LATEST EDITION.

3. ALL GRADING AND FILLING OPERATIONS SHALL BE OBSERVED, INSPECTED AND TESTED BY A LICENSED SOILS ENGINEER. ALL TEST RESULTS SHALL BE SUBMITTED TO THE TOWN OF ERIE ENGINEERING STAFF.

4. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID ANY DAMAGE TO EXISTING FOLIAGE THAT LIES IN THE PROJECT AREA UNLESS DESIGNATED FOR REMOVAL AND SHALL BE LIABLE FOR SUCH DAMAGE AT HIS/HER EXPENSE.

5. TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE RE-VEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSIVE ELEMENTS.

6. TEMPORARY VEGETATION SHALL BE INSTALLED ON ALL DISTURBED AREAS WHERE PERMANENT SURFACE IMPROVEMENTS ARE NOT SCHEDULED FOR IMMEDIATE INSTALLATION. SEEDING WILL BE DONE ACROSS THE SLOPE FOLLOWING THE CONTOURS. VEGETATION SHALL CONFORM TO THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS. PROJECT SCHEDULING SHOULD TAKE ADVANTAGE OF SPRING OR FALL PLANTING SEASONS FOR NATURAL GERMINATION. SEEDED AREAS SHALL BE IRRIGATED IN ACCORDANCE WITH THE TOWN OF ERIE'S STANDARDS AND SPECIFICATIONS.

7. AT ALL TIMES, A WATER TRUCK SHALL BE ON-SITE AND THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN FUGITIVE DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR

DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE OWNER/DEVELOPER SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTY.

8. FILL SLOPES SHALL BE COMPACTED BY MEANS OF SHEEPSFOOT COMPACTOR OR OTHER SUITABLE EQUIPMENT. COMPACTING SHALL CONTINUE UNTIL SLOPES ARE STABLE AND THERE IS NOT AN APPRECIABLE AMOUNT OF LOOSE SOIL ON THE SLOPES.

9. TEMPORARY CUT/FILL SLOPES SHALL ABIDE BY THE SOILS REPORT. PERMANENT SLOPES SHALL BE AS SHOWN ON PLANS.

10. DEPTH OF MOISTURE-DENSITY CONTROL SHALL BE FULL DEPTH ON ALL EMBANKMENT AND SIX (6) INCHES ON THE BASE OF CUTS AND FILLS.

11. OUTLET SIDES OF ALL STORM PIPES SHALL BE GRADED TO DRAIN AND SHALL HAVE SUFFICIENT EROSION PROTECTION.

12. THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE SITE GEOTECHNICAL ENGINEER WHEN THE GRADING OPERATION IS READY FOR EACH OF THE FOLLOWING INSPECTIONS:

    A. INITIAL INSPECTION WHEN THE PERMITTEE IS READY TO BEGIN WORK, BUT NOT LESS THAN TWO (2) DAYS BEFORE ANY GRADING OR GRUBBING IS STARTED.

    B. AFTER THE NATURAL GROUND OR BEDROCK IS EXPOSED AND PREPARED TO RECEIVE FILL, BUT BEFORE FILL IS PLACED.

    C. EXCAVATION INSPECTION AFTER THE EXCAVATION IS STARTED BUT BEFORE THE VERTICAL DEPTH OF THE EXCAVATION EXCEEDS TEN (10) FEET.

    D. FILL INSPECTION AFTER THE FILL PLACEMENT IS STARTED, BUT BEFORE THE FILL EXCEEDS TEN (10) FEET.

DESIGN CONCEPTS

Community • Landscape Architecture

TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

Project No.: 21623.00

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Town of Erie General Notes

C0.2

GENERAL NOTES – STORM DRAIN

1. EXCEPT WHERE NOTED, ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE, CLASS III AND SHALL CONFORM TO REQUIREMENTS OF ASTM C76. ALL RCP SHALL HAVE RUBBER GASKETED JOINTS AND SHALL CONFORM TO RISQUIREMENTS OF ASTM C443, AND SHALL PROVIDE WATERTIGHT PERFORMANCE CHARACTERISTICS.
2. TONGUE AND GROOVE JOINTS SHALL NOT BE ALLOWED.
3. THE MINIMUM COVERAGE FOR ALL STORM DRAINAGE PIPES SHALL BE 1.5 FEET FOR CLASS III PIPE AND 1 FOOT FOR CLASS IV PIPE.
4. BEDDING MATERIAL SHALL CONFORM TO TOWN OF ERIE STANDARDS AND SPECIFICATIONS.
5. ALL MANHOLES SHALL BE CONCRETE AND CONFORM TO CDOT STANDARD M-604-20.
6. THE MINIMUM MANHOLE DIAMETER SHALL BE AS SPECIFIED BELOW:

PIPE DIAMETER	MANHOLE SIZE
15" TO 18"	4' DIAMETER
21" TO 42"	5' DIAMETER
48" TO 54"	6' DIAMETER
60" AND LARGER	BOX BASE MANHOLE

7. ALL STREET INLETS SHALL BE CURB OPENING TYPE R, CONFORMING TO CDOT STANDARD M-604-12, EXCEPT WHERE OTHERWISE NOTED.
8. ALL INLET ACCESS COVERS SHALL HAVE THE WORDS "NO DUMPING – DRAINS TO RIVERS" AND "STORM SEWER" CAST INTO THE COVER PER TOWN OF ERIE STANDARD DETAIL.
9. ALL END SECTIONS SHALL CONFORM TO CDOT STANDARD M-603-10.
10. WHERE RIPRAP IS CALLED FOR ON THE PLANS FOR EROSION CONTROL, IT SHALL CONFORM TO THE URBAN STORM DRAINAGE CRITERIA MANUAL SPECIFICATIONS (LATEST REVISION).

GENERAL NOTES – ROADWAY

1. ALL STATIONING IS BASED ON CENTERLINE OF ROADWAYS UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL PREPARE THE SUBGRADE BY SCARIFYING THE UPPER ONE (1) FOOT OF THE SUBGRADE IN CUT AREAS OR AREAS WITH LITTLE OR NO FILL, UNLESS SPECIFIED IN THE SOILS REPORT. THE WORK SHALL CONFORM TO THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
3. PAVEMENT SHALL NOT BE CONSTRUCTED UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN INSTALLED, TESTED AND ACCEPTED BY THE TOWN OF ERIE ENGINEERING STAFF.
4. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO SUPERVISE AND CERTIFY THAT PROPER COMPACTION HAS BEEN OBTAINED BY SUBCONTRACTORS AND AGENCIES CONCERNING UTILITY LINE BACKFILL INCLUDING, BUT NOT LIMITED TO, SEWER, WATER, ELECTRICAL, GAS AND LANDSCAPE IRRIGATION LINES AND ACCEPTED BY THE TOWN OF ERIE ENGINEERING STAFF AND THE SOILS ENGINEER.
5. STREET PAVING SHALL NOT START UNTIL:
   a. A SOILS REPORT AND PAVEMENT DESIGN IS ACCEPTED BY THE TOWN OF ERIE ENGINEERING STAFF.
   b. ALL STREETS ARE COMPACTED IN ACCORDANCE WITH THE SOILS REPORT AND THE TOWN OF ERIE SPECIFICATIONS.
   c. ALL COMPACTION TEST REPORTS HAVE BEEN SUBMITTED TO THE TOWN ENGINEERING STAFF PRIOR TO PROOF ROLLS.
   d. PROOF ROLLS ARE PERFORMED USING A LOADED SINGLE AXLE 2000 GALLON WATER TRUCK AND MONITORED BY THE TOWN OF ERIE ENGINEERING STAFF.
6. THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY MANHOLE COVERS AND ACCESS LIDS TO GRADE.
7. ALL CONCRETE SHALL BE A MINIMUM OF CLASS B, IN CONFORMANCE WITH CDOT STANDARDS.
8. ALL CONCRETE EDGES MUST BE ROUNDED TO A FOURTH (1/4) INCH RADIUS, EXCEPT WHERE SHOWN OTHERWISE ON DRAWINGS.

9. ONE HALF (1/2) INCH EXPANSION JOINTS SHALL BE INSTALLED AT ALL CURB RETURNS, CURB CUTS AND EXISTING STRUCTURES. CONTROL JOINTS SHALL BE INSTALLED PER THE TOWNS STANDARDS AND SPECIFICATIONS.
10. BEFORE PLACING OF ASPHALT THE SUBGRADE SHALL RECEIVE A GROUND STERILANT APPLIED AT A RATE IN ACCORDANCE TO MANUFACTURERS RECOMMENDATIONS.
11. TACK COAT SHALL BE USED PRIOR TO OVERLAY. (CSS-1H), 50:50 DILUTION, 0.10 GAL/SY. ALL EDGES ABUTTING NEW PAVEMENT SHALL BE TACKED.
12. WHEN IT IS REQUIRED TO MATCH EXISTING PAVEMENT, EXISTING PAVEMENT SHALL BE SAW CUT IN A MANNER TO AFFECT A SMOOTH, VERTICAL STRAIGHT CUT EDGE. T PATCH MILLING MUST BE DONE PER STANDARD DETAILS.
13. ALL SAWCUT EDGES OF EXISTING PAVEMENT SHALL BE CLEAN AND COATED WITH TACK COAT PRIOR TO PLACING NEW PAVEMENT ADJACENT TO THE EXISTING PAVEMENT.
14. ALL ASPHALT SHALL BE ONE FOURTH (1/4) INCH ABOVE CONCRETE EDGES, MANHOLE COVERS AND ACCESS LIDS.
15. SIGNAGE AND STRIPING SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE COLORADO DEPARTMENT OF TRANSPORTATION M&S STANDARDS, AND THE TOWN OF ERIE STANDARD DESIGN CRITERIA AND STANDARD CONSTRUCTION REQUIREMENTS.
16. THE PURCHASE AND INSTALLATION OF STREET NAME SIGNS SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR. THE OWNER/CONTRACTOR SHALL SECURE THE APPROVAL OF THE TOWN OF ERIE ENGINEERING STAFF FOR TYPE AND LOCATION OF THE STREET NAME SIGNS PRIOR TO INSTALLATION.
17. ALL NEW ROADWAY SECTIONS SHALL HAVE SUBGRADE PREPARATION AND INITIAL ASPHALT PAVEMENT PLACED WITH A 1% CROWN. FINAL OVERLAY IS TO BE PLACED WITH A 2% CROWN. SEE DETAIL ST7 IN THE "STANDARD DETAILS-STREET" FOR MORE INFORMATION.
18. DETERMINATION OF CROWN FOR CUL DE SAC PAVING SHALL BE EVALUATED ON A CASE BY CASE BASIS.

DESIGN CONCEPTS
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TOWN OF ERIE 1874

STAR MEADOWS PARK
Erie, Colorado

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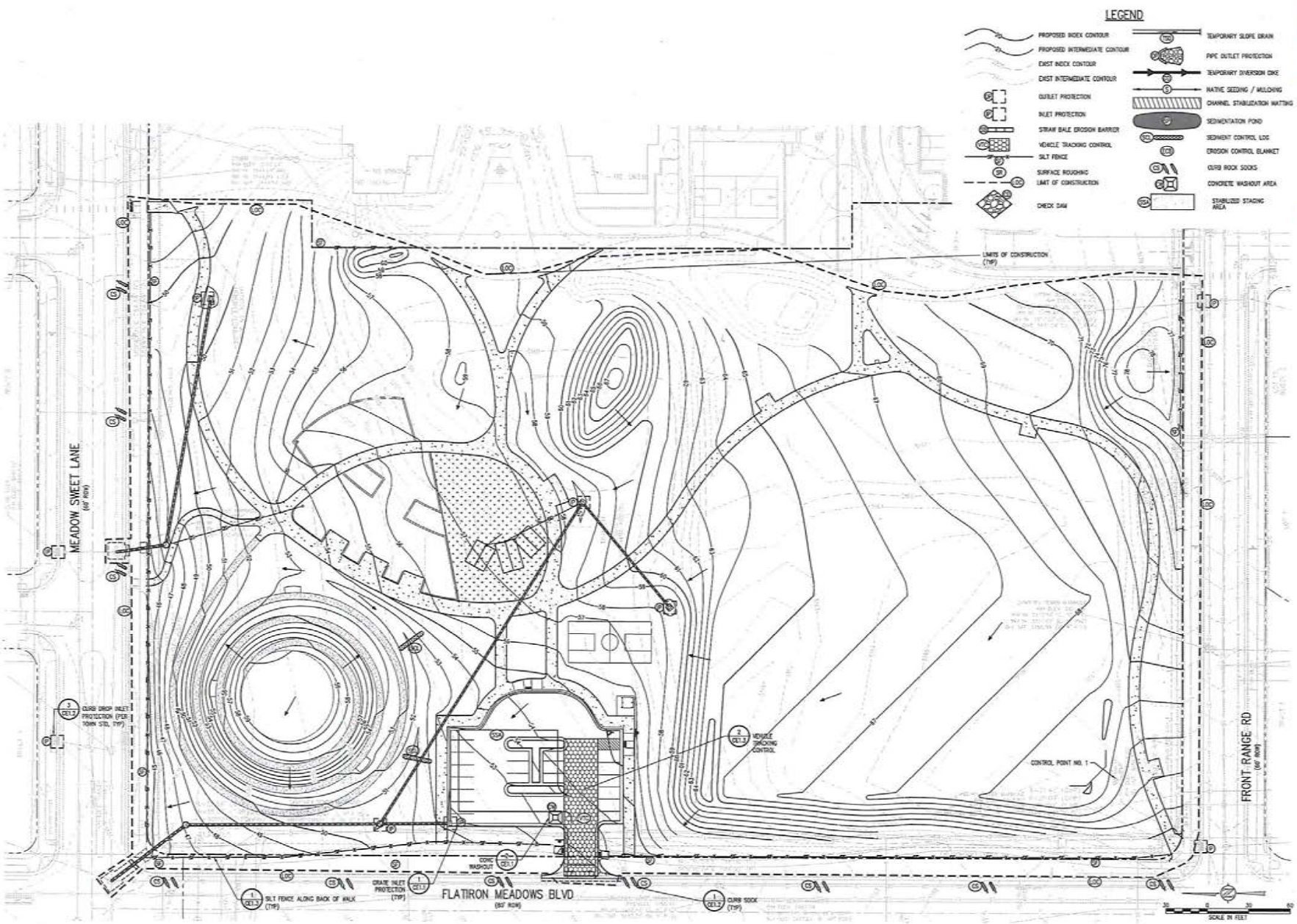
Town of Erie General Notes

C0.3



DESIGN CONCEPTS

Community • Landscape Architects

TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

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Erosion Control Plan

CE1.0

STORMWATER MANAGEMENT PLAN (SWMP)

THIS STORMWATER MANAGEMENT PLAN IS TO BE RETAINED AND MAINTAINED ONSITE INCLUDING FINAL LANDSCAPING PLANS AND ANY OTHER EROSION CONTROL DOCUMENTATION. A SWMP ADMINISTRATOR WILL BE DESIGNATED BY THE CONTRACTOR AND IS RESPONSIBLE FOR DEVELOPING, IMPLEMENTING, MAINTAINING, AND REVISING THIS SWMP. THE SWMP ADMINISTRATOR IS THE CONTACT FOR ALL SWMP-RELATED ISSUES AND IS RESPONSIBLE FOR ITS ACCURACY, COMPLETENESS, AND IMPLEMENTATION. THE FOLLOWING HAS BEEN DESIGNATED AS THE SWMP ADMINISTRATOR FOR THIS PROJECT:

NAME: _____

CONTACT INFO: _____

_____

THE SITE IS LOCATED AT ____ MEADOW SWEET LANE AND AT APPROXIMATELY 40°01'00" LATITUDE, 105°04'00" LONGITUDE. THE PROPOSED PROJECT CONSISTS OF EARTHWORK PREPARATION AND GRADING, PLAYGROUND FEATURES, SHADE STRUCTURES, ASPHALT AND CONCRETE PAVING, AND ASSOCIATED INFRASTRUCTURE. CONSTRUCTION IS IN THE COUNTY OF BOULDER, COLORADO. THE TOTAL SITE AREA IS APPROXIMATELY 28.1 ACRES WITH A TOTAL DISTURBANCE OF 7.95 ACRES. NO AREAS GREATER THAN 40 ACRES SHALL BE DISTURBED AT ANY GIVEN TIME. NO CONSTRUCTION ACTIVITIES SHALL OCCUR OFFSITE OR OUTSIDE OF THE CONSTRUCTION LIMITS SHOWN ON THE CONSTRUCTION DOCUMENTS. THE SEQUENCE OF CONSTRUCTION STARTS IS AS FOLLOWS:

PHASE	ESTIMATED	ACTUAL
CONSTRUCTION START	APRIL, 2017	_____
GRADING	MAY, 2017	_____
PAVING	JULY, 2017	_____
SITE RESTORATION	JULY, 2017	_____

THE EXISTING SITE CONSISTS OF UNDEVELOPED LAND AND IS APPROXIMATELY 100% COVERED WITH NATIVE GROUND COVER. THE ESTIMATED DEVELOPED RUNOFF COEFFICIENT IS 28.1%.

OFFSITE RUNOFF FLOWS ONTO THE PROPERTY FROM THE NORTHWEST ADJACENT PROPERTY. ONSITE FLOWS ARE GENERALLY TO THE NORTH AND WEST. ONSITE DETENTION IS NOT PROVIDED. STORMWATER IS DISCHARGED FROM THIS SITE TO AN EXISTING STORM SEWER ON THE NORTH SIDE OF THE SITE THAT ULTIMATELY OUTFALLS TO BULLHEAD GULTCH. THIS DEVELOPMENT HAS BEEN DESCRIBED IN THE FLATIRON MEADOWS PHASE 3 DRAINAGE REPORT.

OTHER POTENTIAL POLLUTION SOURCES SUCH AS VEHICLE FUELING, STORAGE OF FERTILIZER OR CHEMICALS, VEHICLE WASHING, WASTE INCINERATION, HAUL-ROADS, OR LOADING/ UNLOADING AREAS DO NOT EXIST AT THIS SITE. NON-STORMWATER COMPONENTS OF THE DISCHARGE, SUCH AS SPRINGS, AND LANDSCAPE IRRIGATION RETURN FLOW DO NOT EXIST AT THIS SITE.

THE MAJORITY OF THE SITE SOILS ARE SILTY CLAYEY SANDS WITH MODERATE ERODIBILITY POTENTIAL.

BEST MANAGEMENT PRACTICES FOR STORMWATER MANAGEMENT:
NON STRUCTURAL BMPS WILL BE IMPLEMENTED TO THE MAXIMUM EXTENT POSSIBLE. THE UTILIZATION OF NON STRUCTURAL BMPS WILL BE AN ONGOING PROCESS DIRECTED AT PREVENTING EROSION. THE NON STRUCTURAL BMPS WILL RECEIVE CONTINUOUS EMPHASIS THROUGHOUT CONSTRUCTION BECAUSE THEY AVERT PROBLEMS BEFORE THEY OCCUR AND REDUCE THE NEED FOR STRUCTURAL BMPS. NON STRUCTURAL BMPS WILL CONSIST PRIMARILY OF PRESERVATION OF EXISTING MATURE VEGETATION AND TREES, PLANNING AND SCHEDULING CONSTRUCTION ACTIVITIES AIMED AT ACHIEVING THE GOAL OF MINIMIZING EROSION. FURTHERMORE, CONSTRUCTION PERSONNEL WILL BE INSTRUCTED AND SUPERVISED IN CONSTRUCTION METHODS CONSISTENT WITH EROSION PREVENTION PRACTICES.

PLANNED STRUCTURAL BMPS FOR EROSION AND SEDIMENT CONTROL ARE SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN. IMPLEMENTING THESE MEASURES SHOULD MINIMIZE NUISANCE SILT AND SEDIMENTATION EXITING THE SITE AND PREVENT CLOGGING EXISTING STORM SEWERS AND STREET GUTTERS.

APPLICATION OF THESE BMPS FOR STORMWATER MANAGEMENT ARE FOR CONSTRUCTION PERIODS AND ARE CONSIDERED TEMPORARY. POST-DEVELOPMENT STORMWATER MANAGEMENT IS PROVIDED THROUGH VEGETATED LANDSCAPED AREAS, GRASSED SWALES AND STORM COLLECTION SYSTEM.

VEHICLE TRACKING CONTROL (VTC):
A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED AT THE EXISTING PARKING LOT. THE CONSTRUCTION ACCESS AND PARKING WILL BE GRADED AND COVERED WITH A CRUSHED STONE BASE COURSE DURING CONSTRUCTION. THE VEHICLE TRACKING CONTROL WILL BE RELOCATED WITH THE CONSTRUCTION ACCESS AS NECESSARY.

SILT FENCING (SF):
SILT FENCING SHALL BE INSTALLED WITH RESPECT TO PROPOSED DRAINAGE PATTERNS. SILT FENCE SHALL BE CONSTRUCTED ALONG ANY DRAINAGE AREAS SUBJECT TO EROSION. THE FENCE SHALL BE INSTALLED AT THE DOWNHILL SIDE OF THE EXISTING SLOPES ACROSS THE SITE AND AT ALL POINT DISCHARGE AREAS WHETHER SHOWN OR NOT. SILT FENCE SHALL BE MAINTAINED AS NEEDED THROUGHOUT THE CONSTRUCTION PROCESS. THE TEMPORARY SILT FENCE WILL REMAIN UNTIL THE STORM SEWER STRUCTURES ARE COMPLETED AND GROUND COVER IS EFFECTIVE.

INLET PROTECTION (IP):
THE INLET PROTECTION WILL BE INSTALLED AS THE STORM SEWER STRUCTURES ARE CONSTRUCTED. EACH INLET ON THE PROPOSED STORM SEWER SYSTEM WILL HAVE A TEMPORARY INLET SEDIMENT TRAP CONSTRUCTED AROUND IT. IN PAVED AND LANDSCAPED AREAS, THIS TRAP CONSISTS OF WIRE MESH SOCKS TO FILTER THE STORM RUNOFF AND ALLOW ANY SILT TO SETTLE OUT.

ROCK CHECK DAMS (RCD):
ROCK CHECK DAMS WILL BE INSTALLED AS SHOWN AND MAINTAINED AT LOCATIONS AROUND THE SITE WHERE FUTURE GRASS LINED SWALES WILL CARRY THE STORM RUNOFF. PRIOR TO LANDSCAPING OF THE SITE, THESE BARRIERS WILL REDUCE THE FLOW VELOCITIES IN THESE SWALES AND ALLOW THE DISTURBED SOIL TO SETTLE OUT. THE ROCK CHECK DAMS WILL BE LEFT IN PLACE AS PART OF THE PERMANENT STORMWATER MANAGEMENT PLAN.

OUTLET PROTECTION (OP):
THE STORM SEWER OUTLETS WILL BE PROTECTED WITH RIPRAP. PLACING RIPRAP AT PIPE OUTFALLS REDUCES EXIT VELOCITIES AND REDUCES SCOUR. THIS RIPRAP WILL BE LEFT IN PLACE AS PART OF THE PERMANENT STORMWATER MANAGEMENT PLAN.

OVERLOT GRADING:
ALL OPEN AREAS WILL BE TREATED WITHIN 14 DAYS OF COMPLETION OF THE OVERLOT GRADING. ALL OVERLOT GRADING IN THE NON-IRRIGATED AREAS WILL HAVE THE SURFACE ROUGHENED AND WILL BE PERMANENTLY LANDSCAPED OR TEMPORARILY SEEDED UNTIL THE PLANNED INSTALLATIONS ARE COMPLETED. AT THE COMPLETION OF THE MASS GRADING, ALL EXPOSED SOIL AREAS WILL HAVE THE SURFACE ROUGHENED AND PLANTED WITH A REVEGETATION SEED MIX. VEGETATION IS TO BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR UNTIL AREAS ARE PERMANENTLY LANDSCAPED. ALTERNATELY, ROUGH-CUT DRIVEWAYS OR PROPOSED PAVED AREAS CAN BE COVERED WITH A LAYER OF AGGREGATE, ROAD BASE OR ASPHALT PAVING.

DUST CONTROL MEASURES:
DISTURBED AREAS NOT YET READY TO BE SEEDED, LANDSCAPES, PAVED, OR OTHERWISE STABILIZED SHALL BE WATERED, OR RIPPED AS NECESSARY TO PRECLUDE VISIBLE DUST EMISSIONS.

ITEMS ARE SCHEDULED TO BE IMPLEMENTED ACCORDING TO THE CONSTRUCTION SCHEDULE. AS WORK PROCEEDS, IMPLEMENTATION OF INDIVIDUAL BMPS IS TO COINCIDE WITH THE CONSTRUCTION THEREBY MINIMIZING THE EXPOSURE OF UNPROTECTED AREAS. THE SILT FENCE, INLET PROTECTION (FOR EXISTING INLETS), AND GRAVELING OF THE CONSTRUCTION ENTRANCE WILL BE PERFORMED WHEN THE GRADING BEGINS. THE INLET PROTECTION WILL BE INSTALLED AS THE STORM SEWER STRUCTURES ARE CONSTRUCTED. THE RIPRAP PROTECTION WILL BE INSTALLED AS THE STORM SEWER OUTFALLS OR CULVERTS ARE CONSTRUCTED. THE STRUCTURAL BMPS THAT DO NOT BECOME PART OF THE PERMANENT STORMWATER MANAGEMENT PLAN ARE TO BE REMOVED, AS THE PAVING, LANDSCAPING, AND OTHER PERMANENT GROUNDCOVER INSTALLATIONS ARE COMPLETED. FUGITIVE DUST EMISSIONS RESULTING FROM GRADING ACTIVITIES AND/OR WIND SHALL BE CONTROLLED USING THE BEST AVAILABLE CONTROL TECHNOLOGY AS DEFINED BY THE COLORADO DEPARTMENT OF HEALTH AT THE TIME OF GRADING. THE GRAVELING IS TO BE MAINTAINED AND EXTENDED CONSTRUCTION PROGRESSES ESPECIALLY AROUND THE BUILDING SITE. THE STRUCTURAL BMPS ARE TO BE REMOVED, AS THE PERMANENT LANDSCAPING INSTALLATIONS ARE COMPLETED.

THE EROSION AND SEDIMENT CONTROL PLAN MAY BE MODIFIED BY THE OWNER'S ENGINEER OR ITS AUTHORIZED REPRESENTATIVE AS FIELD CONDITIONS WARRANT.

STORMWATER DETENTION AND WATER QUALITY:
STORMWATER DETENTION IS NOT PROVIDED ON THIS SITE. WATER QUALITY TREATMENT IS PROVIDED THROUGH GRASS BUFFER STRIPS AND SWALES.

TEMPORARY SEEDING AND MULCHING:
ALL SEEDS FURNISHED SHALL BE FREE FROM NOXIOUS SEEDS, SUCH AS RUSSIAN OR CANADIAN THISTLE, COURSE FESCUE, EUROPEAN BROMEGRASS, JOHNSON GRASS, KNAPWEED, AND LEAFY SPURGE. THE FORMULA USED FOR DETERMINING THE QUALITY OF PURE LIVE SEED (PLS) SHALL BE [POUNDS OF SEED] X [PURITY] X [GERMINATION] = POUNDS OF PURE LIVE SEED (PLS). SEEDING RECOMMENDATIONS ARE PROVIDED BELOW, BUT MAY BE MODIFIED WITH THE OWNER'S APPROVAL TO MAKE THE BEST USE OF EXISTING CLEARINGS AND GRUBBINGS:

SPECIES	COMMON NAME	VARIETY	LBS/ACRE
AGROPYRON SMITHI	WESTERN WHEATGRASS	ARRIBA	8.0
ARRHENATHERUM ELATES	TALL OATGRASS		3.0
LOLIUM PERENNE	PERENNIAL RYEGRASS	PERMFINE	2.0

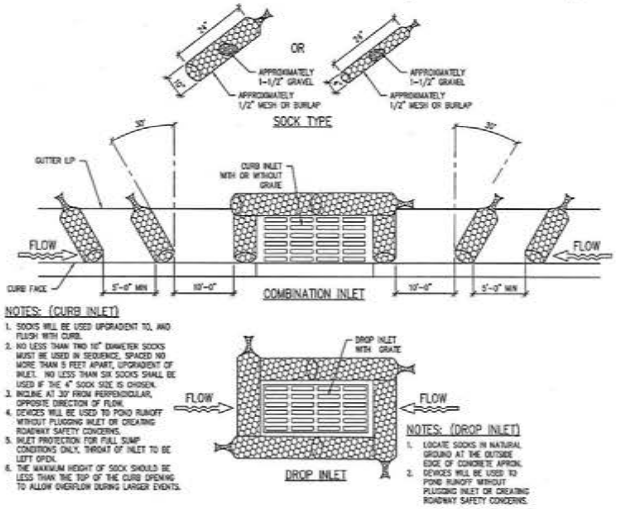
ALL SEEDS SHALL BE DRILLED NOT BROADCASTED. ALL DISTURBED AREAS SHALL BE SEEDED AND CRIMP MULCHED IF PERMANENT VEGETATION IS NOT IMMEDIATELY INSTALLED. AFTER SEEDING HAS BEEN COMPLETED, A RATE OF 4,000 LBS. OF STRAW PER ACRE SHALL BE APPLIED UNIFORMLY, CRIMPED IN WITH A CRIMPER OF OTHER APPROVED EQUIPMENT OR OTHERWISE ATTACHED. A TACKIFIER OR JUTE NETTING TO ATTACH MULCH MAY BE USED WITH THE OWNER'S APPROVAL. THE SEEDED AREA SHALL BE CRIMPED MULCHED AND THE MULCH ATTACHED WITHIN TWENTY-FOUR (24) HOURS AFTER SEEDING. AREAS NOT MULCHED AND ATTACHED WITHIN TWENTY-FOUR (24) HOURS AFTER SEEDING MUST BE RESEEDED WITH THE SPECIFIED MIX AT THE CONTRACTOR'S EXPENSE. PRIOR TO MULCHING AND ATTACHING, ON STEEP SLOPES OR OTHER SPECIFIED AREAS AS SHOWN ON THE PLANTING PLAN, WHICH ARE DIFFICULT TO MULCH AND ATTACH BY CONVENTIONAL METHOD, BURLAP OR OTHER BLANKETING MATERIALS PROPERLY ANCHORED AND SECURED MAY BE USED WHEN APPROVED BY THE ENGINEER.

PERMANENT STABILIZATION MEASURES:
PERMANENT LANDSCAPING WILL INCLUDE SODDING, SEEDING, TREES, SHRUBS, OR OTHER VEGETATIVE COVER TO OPEN AREAS. NATIVE PERENNIAL SEEDING WILL BE ESTABLISHED IN NON-IRRIGATED AREAS AND SOD OR OTHER VEGETATIVE COVER WILL BE ESTABLISHED IN IRRIGATED OPEN AREAS. ALL PERMANENT STABILIZATION MEASURES WILL BE SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER.

MATERIALS AND SPILL PREVENTION:
THE CONTRACTOR WILL STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN CONFINED AREAS ON SITE FROM WHICH RUNOFF WILL BE CONTAINED AND FILTERED. MATERIALS WILL BE STORED OFF THE GROUND AND PROTECTED FROM THE WEATHER BY A COVER OR STORED IN A CONTAINER SUCH AS A VAN OR TRAILER. AN EARTHEN DIKE WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE FUEL STORAGE AREA TO PREVENT MATERIALS FROM CONTACT WITH SURFACE RUNOFF. EQUIPMENT MAINTENANCE WILL BE PERFORMED IN A DESIGNATED AREA AND STANDARD MAINTENANCE PROCEDURES, SUCH AS THE USE OF DRIP PANS, WILL BE USED TO CONTAIN PETROLEUM PRODUCTS.

INSPECTION AND MAINTENANCE:
THE EROSION CONTROL MEASURES WILL BE INSPECTED DAILY DURING CONSTRUCTION BY THE CONTRACTOR AND AFTER EACH RAIN EVENT. ALL INSPECTIONS SHALL BE DOCUMENTED AND SHALL INCLUDE THE DATE OF INSPECTION, ANY INCIDENCE OF NON-COMPLIANCE, SIGNED CERTIFICATION THAT THE SITE IS IN COMPLIANCE, AND ANY NOTES, DRAWINGS, MAPS, ETC. PERTAINING TO REPAIRS. COPIES OF ALL DOCUMENTATION SHALL BE DISTRIBUTED TO MUNICIPALITIES AND OWNER ON A REGULAR BASIS AS SPECIFIED BY OWNER. SILT FENCE AND STRAW BALE BARRIERS WILL BE CHECKED FOR UNDERMINING AND BYPASS AND REPAIRED OR EXPANDED AS NEEDED. SEDIMENT SHOULD BE REMOVED FROM INLET FILTERS AND SILT FENCING BEFORE ONE HALF OF THE DESIGN DEPTH HAS BEEN FILLED. SEDIMENTS DEPOSITED IN THE PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY. THE TEMPORARY VEGETATION OF BARE SOILS WILL BE CHECKED REGULARLY AND AREAS WHERE IT IS LOST OR DAMAGED WILL BE RESEEDED. AT MINIMUM THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL BMPS EVERY 14 DAYS AND AFTER SIGNIFICANT PRECIPITATION OR SNOWMELT EVENTS. INSTALLATIONS AND MODIFICATIONS AS REQUIRED BY THE ENGINEER WILL BE IMPLEMENTED WITHIN 48 HOURS OF NOTIFICATION. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY.

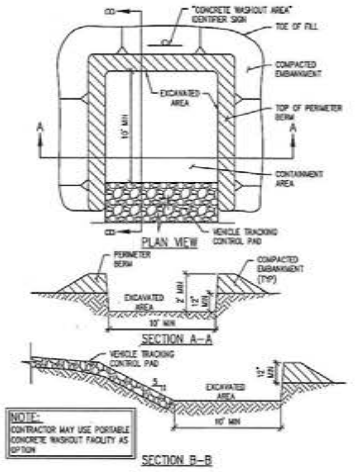
FINAL STABILIZATION AND LONG-TERM STORMWATER QUALITY:
FINAL STABILIZATION IS REACHED WHEN ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND UNIFORM VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OR PRE-DISTURBANCE LEVELS OR EQUIVALENT PERMANENT, PHYSICAL EROSION REDUCTION METHODS HAVE BEEN EMPLOYED. FINAL STABILIZATION WILL BE ACHIEVED USING SOD, NATIVE SEEDING, PERMANENT BMP'S, AND OTHER METHODS. CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL STABILIZATION REGARDLESS OF ACCEPTANCE BY OWNER OF THE CONTRACTOR ITEM.



NOTES: (CURB INLET)
1. SOCKS WILL BE USED UPGRADIENT TO, AND FLUSH WITH CURB.
2. NO LESS THAN TWO 18" DIAMETER SOCKS MUST BE USED IN SEQUENCE, SPACED NO MORE THAN 5 FEET APART, UPGRADIENT OF INLET. NO LESS THAN SIX SOCKS SHALL BE USED IF THE 4" SOCK SIZE IS CHOSEN.
3. INCLINE AT 30° FROM PERPENDICULAR, OPPOSITE DIRECTION OF FLOW.
4. DEVICES WILL BE USED TO POND RUNOFF WITHOUT PLUGGING INLET OR CREATING ROADWAY SAFETY CONCERNS.
5. INLET PROTECTION FOR FULL SUMP CONDITIONS ONLY. THROAT OF INLET TO BE LEFT OPEN.
6. THE MAXIMUM HEIGHT OF SOCK SHOULD BE LESS THAN THE TOP OF THE CURB OPENING TO ALLOW OVERFLOW DURING LARGER EVENTS.

NOTES: (DROP INLET)
1. LOCATE SOCKS IN NATURAL GROUND AT THE OUTSIDE EDGE OF CONCRETE APRON.
2. DEVICES WILL BE USED TO POND RUNOFF WITHOUT PLUGGING INLET OR CREATING ROADWAY SAFETY CONCERNS.

IP COMBINATION AND GRATE INLET PROTECTION DETAIL 1 (CD.9) NTS



NOTE:
CONTRACTOR MAY USE PORTABLE CONCRETE WASHOUT FACILITY AS OPTION

CWA CONCRETE WASHOUT FACILITY DETAIL 2 (CD.9) NTS

DESIGN CONCEPTS
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TOWN OF ERIE 1874

STAR MEADOWS PARK
Erie, Colorado

Project No.: 21623.00

Issued For:	Date:
100% DDs	11.04.16
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100% CDs	02.21.17

Drafted By: SW & WTP
Checked By: HMM

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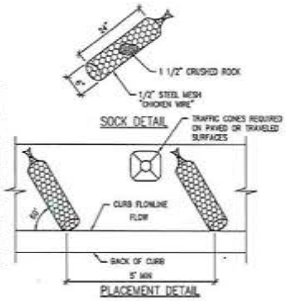
SWMP and Erosion Control Details

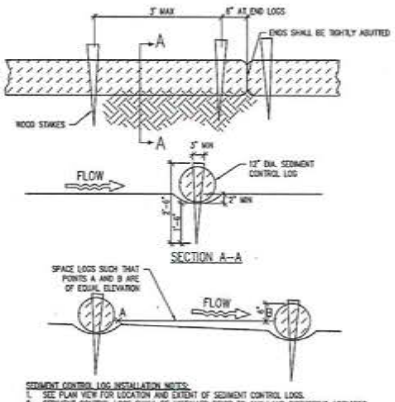
CE1.1

MAX SPACING ALONG STREET GRADE	
STREET SLOPE	CURB SOCK SPACING
0.50%	100
1.00%	100
2.00%	75
3.00%	50
4.00%	50
5.00%	25
6.00%	25
7.00%	25
8.00%	25



NOTES:
1. SOCKS WILL BE USED UPGRADIENT OF INLET ANGLED AS SHOWN AND FLUSH WITH CURB.
2. AT INLETS, NO LESS THAN THREE 6-INCH DIAMETER SOCKS MUST BE USED IN SEQUENCE, SPACE NO MORE THAN FIVE FEET APART.
3. INCLINE AT 30° FROM PERPENDICULAR, OPPOSITE DIRECTION OF FLOW.

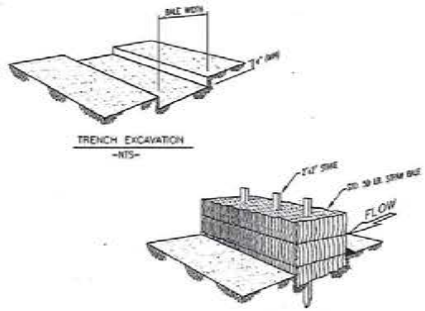
SC CURB SOCK DETAIL NTS (1 / CE1.0)



SEDIMENT CONTROL LOG INSTALLATION NOTES:
1. SEE PLAN VIEW FOR LOCATION AND EXTENT OF SEDIMENT CONTROL LOGS.
2. SEDIMENT CONTROL LOGS SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES AND AS REQUIRED DURING CONSTRUCTION.
3. SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELSIOR, OR COCONUT FIBER.
4. NOT FOR USE IN CONCENTRATED FLOW AREAS.
5. THE SEDIMENT CONTROL LOG SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 2".

SEDIMENT CONTROL LOG MAINTENANCE NOTES:
1. THE SEDIMENT CONTROL LOGS SHALL BE INSPECTED DAILY, DURING AND AFTER ANY STORM EVENT, AND REPAIRED OR HAVE ANY UPSTREAM SEDIMENT REMOVED.
2. SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOGS SHALL BE REMOVED WHEN THE UPSTREAM SEDIMENT DEPTH IS WITHIN 1/2 THE HEIGHT OF THE CREST OF LOG.
3. ALL SEDIMENT CONTROL LOGS SHALL BE REMOVED AT THE END OF CONSTRUCTION. IF ANY DISTURBED AREA EXISTS AFTER REMOVAL, IT SHALL BE DRILL SEEDED AND CRIMP MULCHED OR OTHERWISE ACCEPTABLY STABILIZED.

SCL SEDIMENT CONTROL LOG DETAIL NTS (2 / CE1.0)

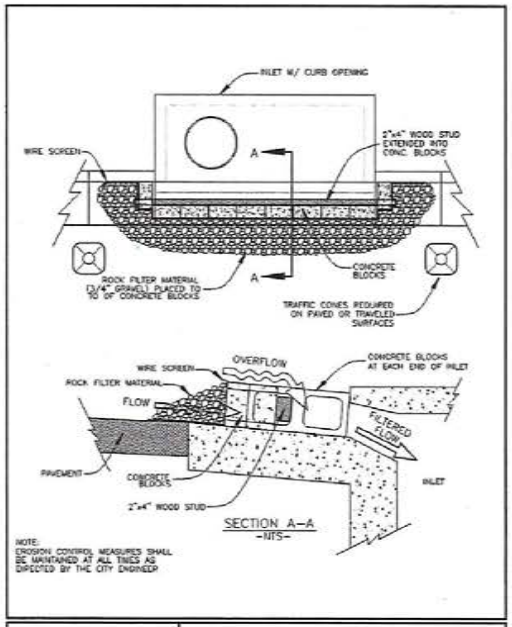


NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL LANDSCAPING IS COMPLETED.

The Town of ERIE COLORADO

DRAWING TITLE: STRAW BALE EROSION BARRIER
DRAWING NUMBER: STM5
DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004

STRAW BALE PROTECTION DETAIL NTS (3 / CE1.0)



NOTE:
EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AS DIRECTED BY THE CITY ENGINEER

The Town of ERIE COLORADO

DRAWING TITLE: CURB INLET GRAVEL FILTER
DRAWING NUMBER: STM3
DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004

INLET PROTECTION DETAIL NTS (4 / CE1.0)

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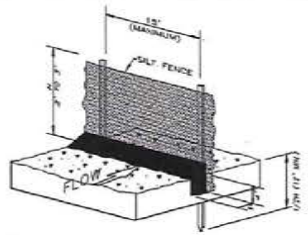
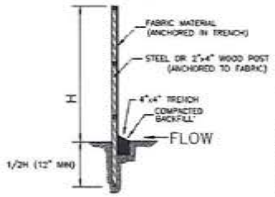
Erosion Control Details

CE1.2



SILT FENCE INSTALLATION
-NTS-



SECTION
-NTS-

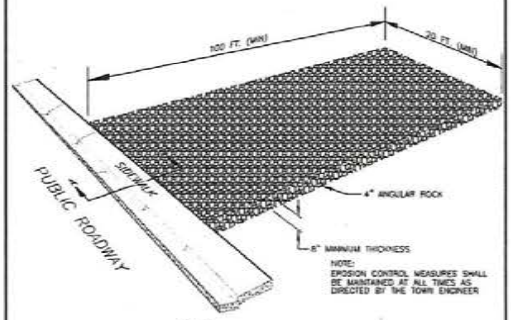
FOR SINGLE LOT EROSION CONTROL SEE SHEET STM8

NOTES:
1. INSTALL SILT FENCE PARALLEL TO THE CONTOUR OF THE LAND.
2. EXTEND ENDS UPSLOPE TO ALLOW WATER TO POND BEHIND FENCE.
3. EXCAVATE A TRENCH 4 INCHES WIDE AND 4 INCHES DEEP.
4. INSTALL FENCE WITH POSTS ON THE DOWNSLOPE SIDE.
5. PLACE 8 INCHES OF FABRIC IN THE TRENCH, EXTENDING THE BOTTOM 4 INCHES TOWARD THE UPSLOPE SIDE.
6. JOIN SILT FENCE SECTIONS BY USING A WRAP JOINT.
7. BACKFILL TRENCH WITH SOIL MATERIALS AND COMPACT.
8. INSPECT AT LEAST WEEKLY AND AFTER EACH STORM EVENT. REPAIRING AS NEEDED AND REMOVING SEDIMENT DEPOSITS WHEN THEY REACH ONE-HALF THE FENCE HEIGHT.

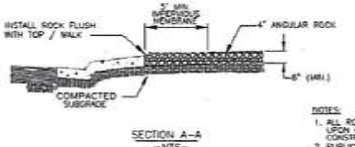
The Town of ERIE COLORADO

DRAWING TITLE: SILT FENCE EROSION BARRIER
DRAWING NUMBER: STM4
DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004

SILT FENCE DETAIL
NTS
1 / STM4



NOTE:
EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AS DIRECTED BY THE TOWN ENGINEER



SECTION A-A
-NTS-

NOTES:
1. ALL ROCK TO BE REMOVED UPON COMPLETION OF CONSTRUCTION
2. PUBLIC ROADWAY TO BE KEPT CLEAN AND FREE OF MUD, DIRT AND DEBRIS AT ALL TIMES

The Town of ERIE COLORADO

DRAWING TITLE: TRACKING CONTROL PAD-CRUSHED ROCK
DRAWING NUMBER: STM6A
DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 1/2013

VEHICLE TRACKING CONTROL DETAIL
NTS
2 / STM6

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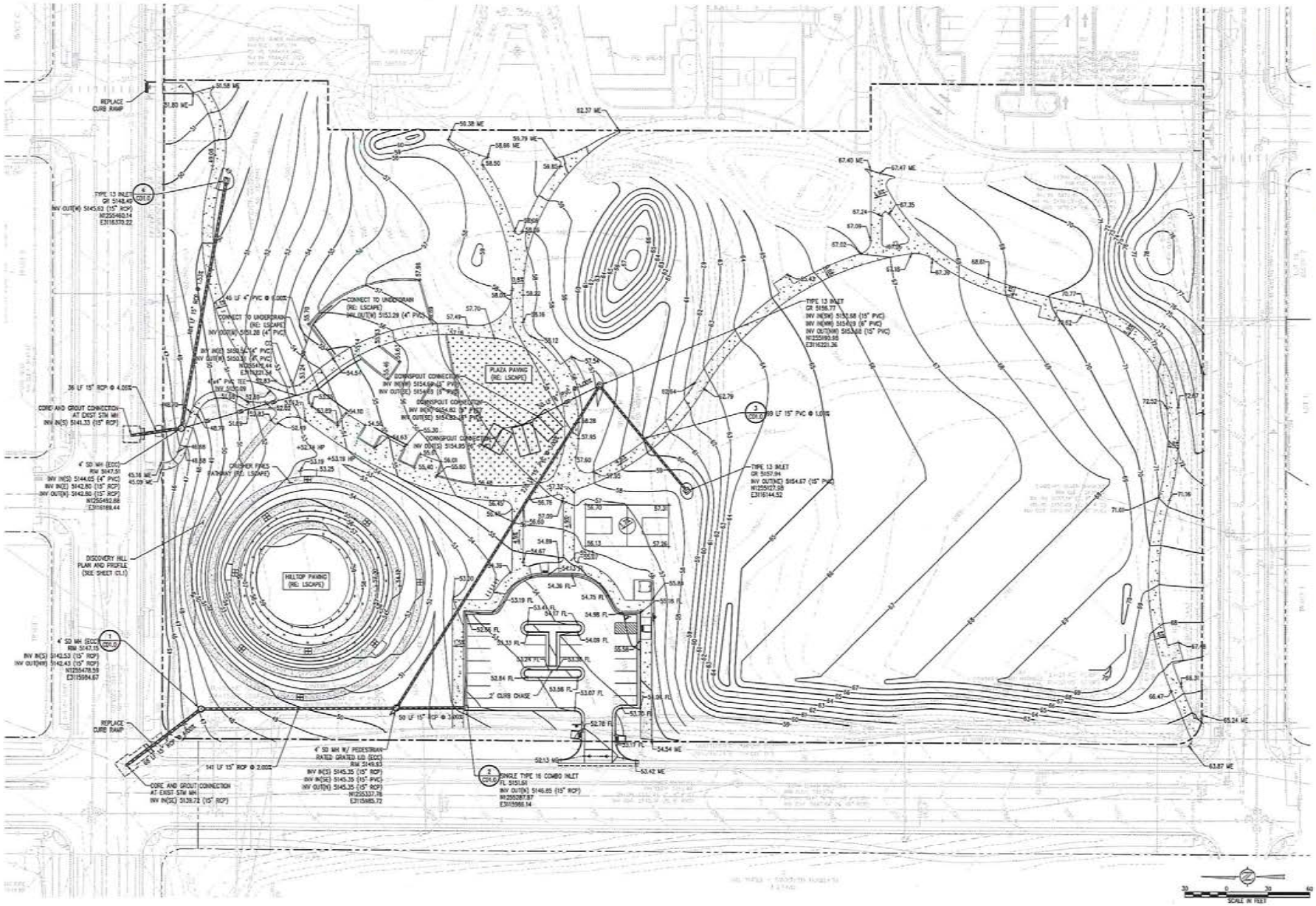
Erosion Control Details

CE1.3



DESIGN CONCEPTS

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TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

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Checked By: HMM

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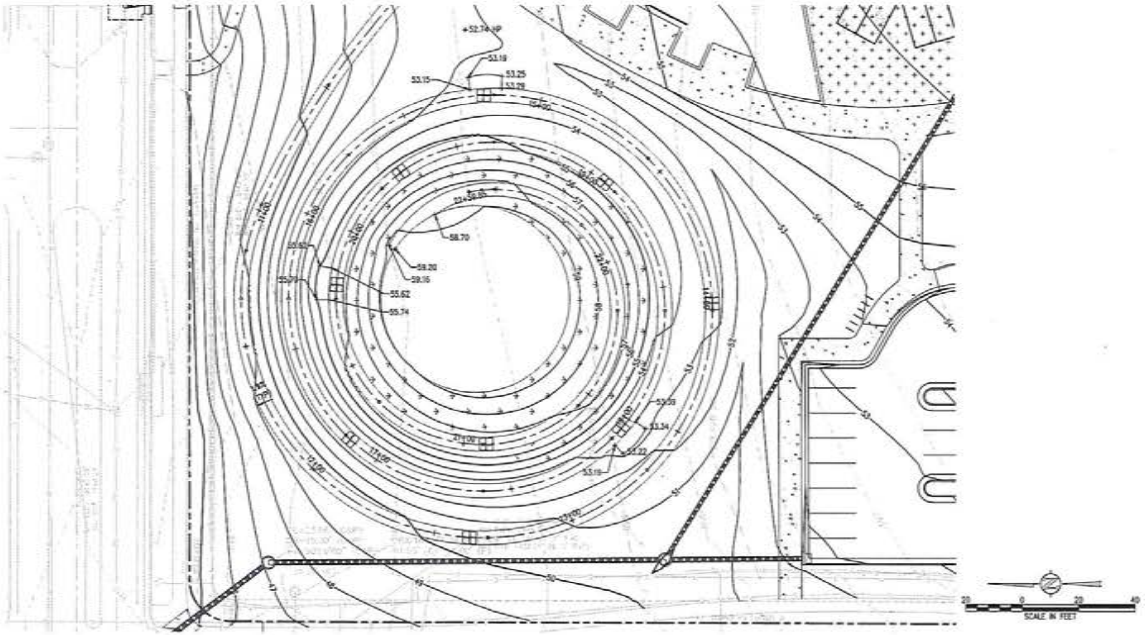
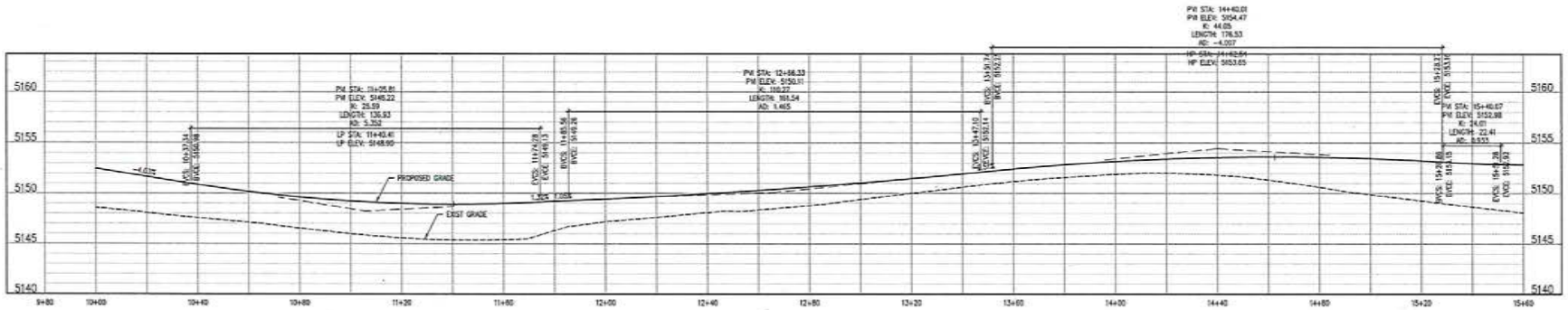
Grading and Drainage Plan

C1.0





Discovery Hill PROFILE

SCALE: 1"=20' HORIZ
1"=5' VERT

DESIGN CONCEPTS

Community + Landscape Architects

TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

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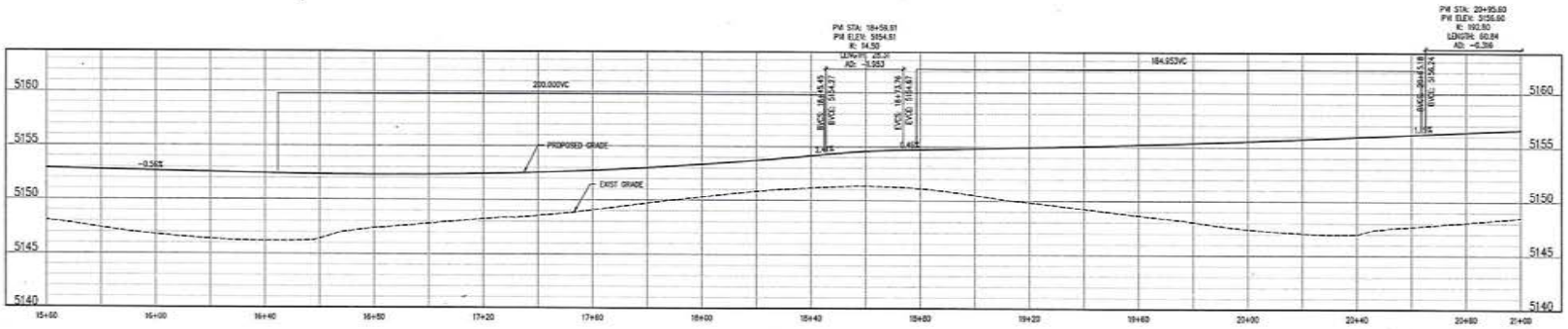
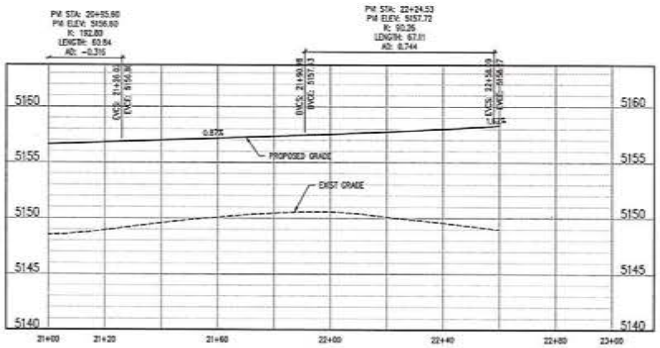
Discovery Hill Profile

C1.1



Discovery Hill PROFILE

SCALE: 1"=20' HORIZ
1"=5' VERT



Discovery Hill PROFILE

SCALE: 1"=20' HORIZ
1"=5' VERT

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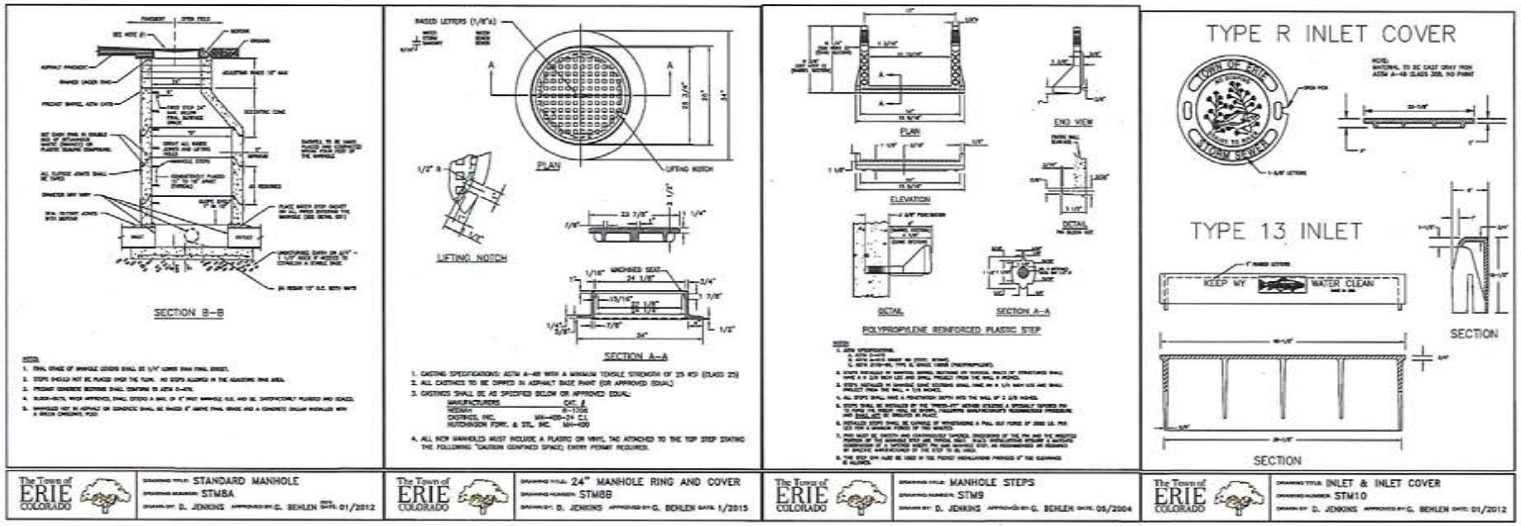
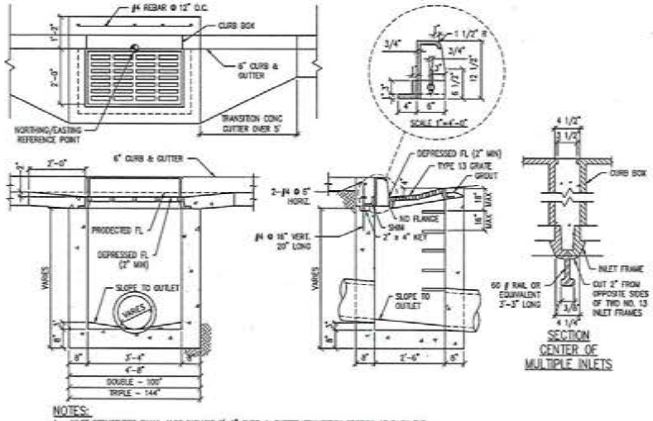
Discovery Hill Profile

C1.2

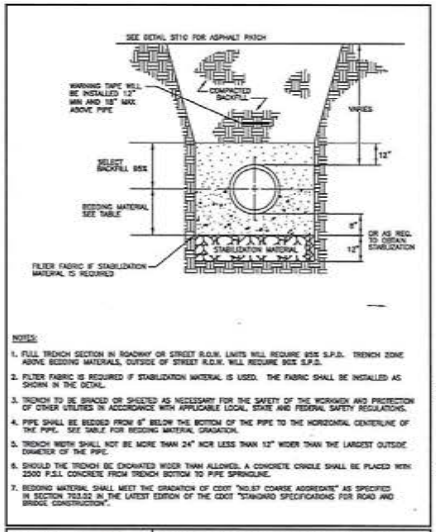


STORM MANHOLE DETAIL (1 / C1.0)
NTS



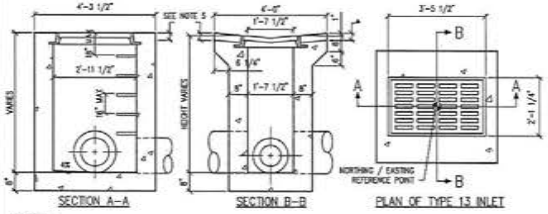
NOTES:
1. INLET STRUCTURES SHALL ALSO INCLUDE 2'-0" CURB & GUTTER TRANSITION SECTION AT EACH END OF INLET PLUS SIDEWALK SECTIONS WHERE REQ'D BEHIND INLET STRUCTURE AND TRANSITION SECTIONS
2. FLOOR SLOPE MAY BE POURED MONOLITHIC WITH BASE
3. OUTLET PIPE(S) TO BE SET FLUSH WITH INSIDE FACE OF INLET WALL
4. UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS OR OTHERWISE APPROVED, ALL No. 13 COMBINATION INLETS SHALL BE CONSTRUCTED WITH AN ADJUSTABLE O CURB BOX
5. STD INLET DEPTHS AND PIPE SIZE ARE NOTED ON THE FOLLOWING TABLE. DEVIATIONS FROM THESE MIN REQUIREMENTS SHALL BE SUBSTANTIATED WITH APPROPRIATE HYDRAULIC ANALYSIS
6. STEPS SHALL BE CONSTRUCTED AS PER PLASTIC STEP DETAIL
7. NORTHING/EASTING REFERENCE POINT TO BE AT FLOWLINE AT MIDPOINT OF INLET. FLOWLINE ELEVATIONS SHOWN ON PLANS REFER TO THE PROJECTED FLOWLINE. DEPRESS AND TRANSITION FLOWLINE AT OPENING AND ADJACENT TO CURB AND GUTTER AS SHOWN.

COMBINATION INLET DETAIL (2 / C1.0)
NTS



NOTES:
1. FULL TRENCH SECTION IN ROADWAY OR STREET R.O.W. LIMITS WILL REQUIRE SEE S.P.D. TRENCH ZONE ABOVE BEDDING MATERIAL OUTSIDE OF STREET R.O.W. WILL REQUIRE SEE S.P.D.
2. FILTER FABRIC IS REQUIRED IF STABILIZATION MATERIAL IS USED. THE FABRIC SHALL BE INSTALLED AS SHOWN IN THE DETAIL.
3. TRENCH TO BE BRACED OR SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND PROTECTION OF OTHER UTILITIES IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
4. PIPE SHALL BE BEDDED FROM 6" BELOW THE BOTTOM OF THE PIPE TO THE HORIZONTAL CENTERLINE OF THE PIPE. SEE TABLE FOR BEDDING MATERIAL GRADATION.
5. TRENCH WIDTH SHALL NOT BE MORE THAN 24" NOR LESS THAN 12" WIDER THAN THE LARGEST OUTSIDE DIAMETER OF THE PIPE.
6. SHOULD THE TRENCH BE EXCAVATED WIDER THAN ALLOWED, A CONCRETE CRADLE SHALL BE PLACED WITH 2500 P.S.I. CONCRETE FROM TRENCH BOTTOM TO PIPE SPRINGLINE.
7. BEDDING MATERIAL SHALL MEET THE GRADATION OF CDOT "NO.67 COARSE AGGREGATE" AS SPECIFIED IN SECTION 703.02 IN THE LATEST EDITION OF THE CDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".

STORM SEWER TRENCH DETAIL (3 / C1.0)
NTS



NOTES:
1. CONCRETE SHALL BE CDOT CLASS B. INLET SHALL BE CAST-IN-PLACE, AND CONFORMING TO ASTM C-478.
2. CAST-IN-PLACE CONCRETE WALLS EDGES SHALL BE CHAMFERED 3/4".
3. ALL WALLS AND BASE SHALL BE REINFORCED WITH #4'S @ 8" OC EACH WAY REINFORCING BARS SHALL BE DEFORMED AND SHALL HAVE A 2" MINIMUM CLEARANCE.
4. STEPS SHALL BE PROVIDED WHEN INLET HEIGHT EXCEEDS 3'-6" AND SHALL BE IN ACCORDANCE WITH AASHTO M 199.
5. ALL GRATES AND FRAMES SHALL BE GRAY OR DUCTILE CAST IRON CONFORMING TO CDOT 712.06. GRATES AND FRAMES SHALL BE DESIGNED TO WITHSTAND HS 20 LOADING.
6. SEE PLAN DETAILS FOR LOCATION AND SIZE OF PIPE.
7. WHEN BITUMINOUS MATERIAL IS TO EXTEND TO THE EDGE OF THE GRATING FRAME, CONCRETE MAY BE DEPRESSED.
8. STEPS SHALL BE CONSTRUCTED AS PER PLASTIC STEP DETAIL.

TYPE 13 INLET DETAIL (4 / C1.0)
NTS

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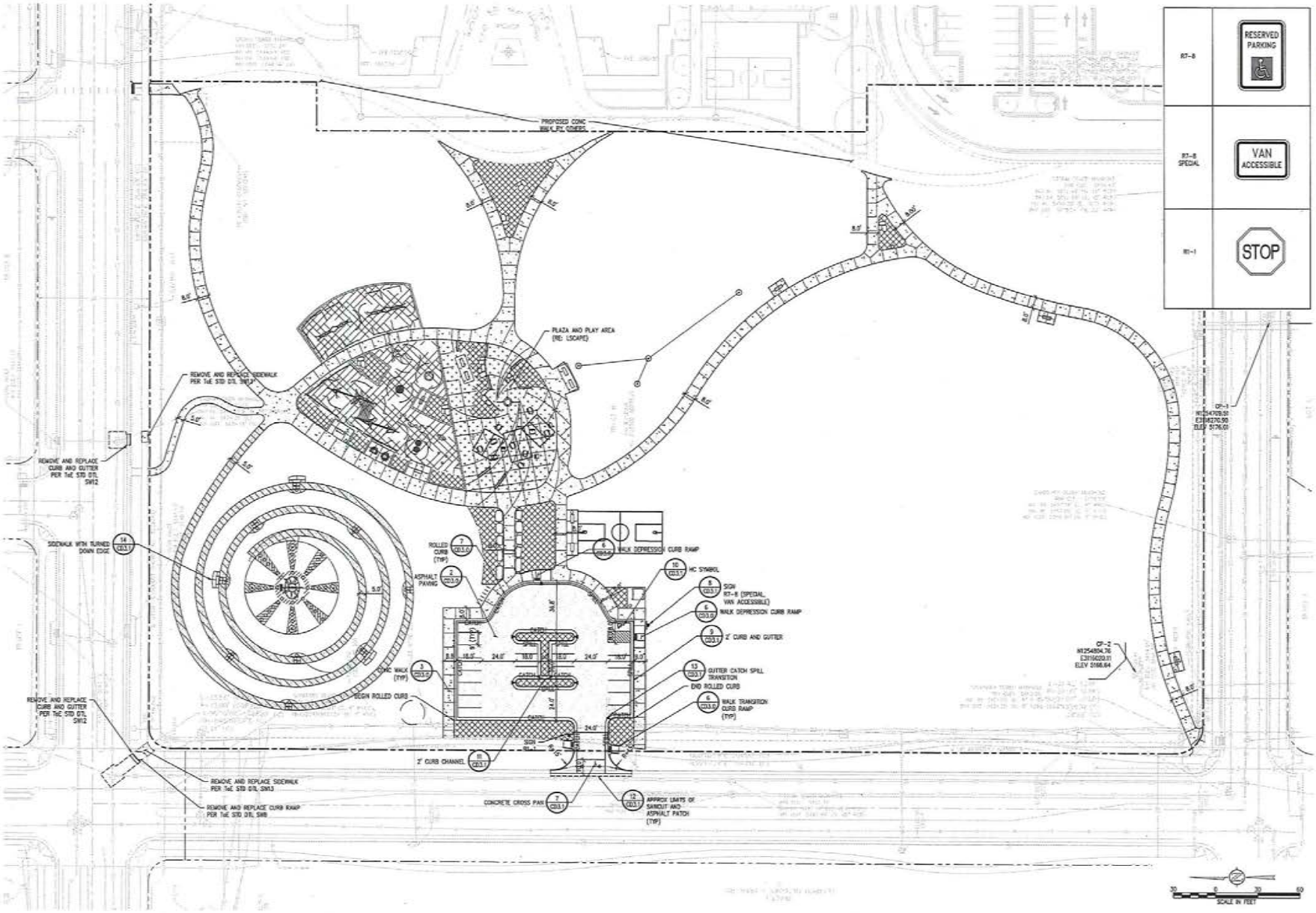
Drainage Details

CD1.0



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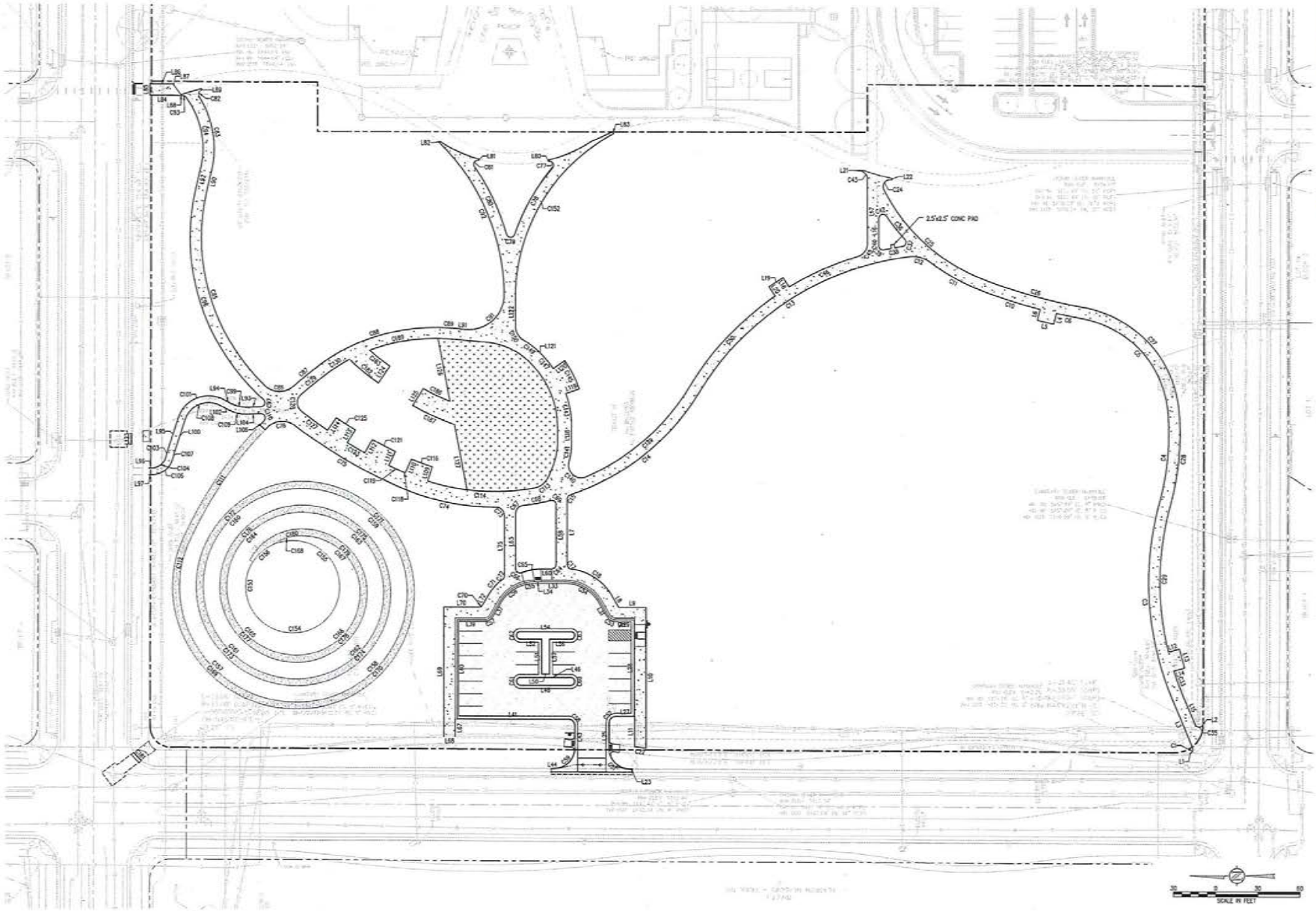
Horizontal Control and Paving Plan

C3.0



DESIGN CONCEPTS
Community • Landscape Architects
TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

Project No.: 21623.00

Issued For:	Date:
100% DDs	11.04.16
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Drafted By: SW & WTP
Checked By: HMM

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Horizontal Control Plan

C3.1

LINE TABLE			
LINE	LENGTH	DIRECTION	START (N, E)
L1	1.00	S74° 12' 22"W	(1254766.02, 3115960.47)
L2	1.00	S0° 15' 39"W	(1254756.53, 3115962.06)
L3	38.26	N67° 31' 45"E	(1254764.15, 3115964.48)
L4	8.00	N76° 17' 03"W	(1254860.84, 3116277.63)
L5	12.00	N13° 42' 57"E	(1254862.74, 3116289.26)
L6	8.00	S76° 17' 03"E	(1254874.39, 3116272.10)
L7	47.16	N89° 59' 35"W	(1255209.33, 3116142.75)
L8	9.74	S60° 00' 00"W	(1255177.72, 3116073.34)
L9	19.48	S0° 00' 00"E	(1255172.85, 3116064.90)
L10	101.40	N89° 59' 57"W	(1255153.37, 3116064.90)
L11	21.50	N90° 00' 00"E	(1255161.37, 3115964.41)
L12	8.00	S15° 42' 15"E	(1254781.26, 3116033.08)
L13	14.00	S74° 17' 45"W	(1254773.56, 3116035.25)
L14	8.00	N15° 42' 15"W	(1254783.77, 3116021.77)
L15	23.75	S67° 31' 45"W	(1254771.38, 3116002.89)
L16	17.94	N89° 50' 59"E	(1254987.33, 3116327.53)
L17	46.18	S85° 59' 59"W	(1254995.33, 3116373.70)
L18	8.00	N56° 40' 26"E	(1255051.17, 3116295.67)
L19	12.00	N33° 19' 34"W	(1255055.56, 3116302.36)
L20	8.00	S56° 40' 26"W	(1255065.58, 3116295.77)
L21	1.00	S70° 50' 03"E	(1254959.36, 3116379.37)
L22	1.00	S77° 07' 09"E	(1254978.09, 3116373.26)
L23	2.00	N0° 20' 55"E	(1255163.02, 3115948.11)
L25	18.25	S89° 50' 12"E	(1255179.93, 3115963.17)
L27	13.01	S0° 00' 00"E	(1255174.88, 3115986.40)
L28	69.17	N90° 00' 00"E	(1255161.87, 3115986.40)
L29	13.00	N0° 00' 00"E	(1255161.87, 3116055.57)
L31	11.76	N60° 00' 00"E	(1255179.82, 3116058.49)
L33	16.86	N0° 00' 10"W	(1255211.06, 3116063.25)
L34	4.98	N0° 03' 27"W	(1255227.93, 3116063.25)
L37	11.76	N60° 00' 00"W	(1255257.59, 3116058.57)
L39	19.36	N0° 00' 00"E	(1255268.52, 3116055.57)
L40	71.27	N90° 00' 00"W	(1255287.87, 3116055.57)
L41	78.99	S0° 00' 00"E	(1255287.87, 3115984.30)
L43	15.95	N89° 50' 25"W	(1255203.89, 3115979.28)
L44	2.00	S0° 09' 46"W	(1255220.97, 3115948.38)
L46	36.00	S0° 00' 00"E	(1255242.87, 3116014.30)
L48	36.00	N0° 00' 00"E	(1255206.87, 3116008.30)
L50	6.00	N0° 00' 00"E	(1255221.87, 3116016.30)
L51	25.00	N90° 00' 00"E	(1255227.87, 3116016.30)
L52	15.00	N0° 00' 00"E	(1255227.87, 3116041.30)
L54	36.00	S0° 00' 00"E	(1255242.87, 3116047.30)
L56	15.00	N0° 00' 00"E	(1255206.87, 3116041.30)
L57	25.00	N90° 00' 00"W	(1255221.87, 3116041.30)
L58	43.12	N89° 55' 54"W	(1255217.34, 3116138.71)
L60	6.99	N0° 00' 00"E	(1255220.34, 3116092.55)
L63	39.52	N90° 00' 00"E	(1255246.12, 3116092.45)
L67	12.19	N90° 00' 00"W	(1255289.21, 3115983.60)
L68	8.00	N1° 13' 43"W	(1255288.21, 3115971.60)
L69	93.47	N90° 00' 00"E	(1255297.21, 3115971.43)

NOTE:
LINE TABLE DATA IS TAKING FROM THE CURB FLOWLINE.

LINE TABLE			
LINE	LENGTH	DIRECTION	START (N, E)
L70	24.94	S0° 00' 00"E	(1255297.21, 3116064.90)
L72	8.00	S90° 00' 00"E	(1255269.67, 3116096.40)
L75	43.46	N90° 00' 00"E	(1255254.12, 3116087.36)
L80	1.00	N76° 46' 09"E	(1255222.50, 3116386.20)
L81	1.00	S74° 57' 23"E	(1255271.92, 3116386.86)
L82	1.00	S55° 52' 55"E	(1255300.34, 3116400.00)
L83	1.40	N61° 00' 09"E	(1255176.05, 3116406.63)
L84	17.58	N0° 00' 00"E	(1255488.55, 3116433.46)
L85	8.00	S89° 50' 26"E	(1255506.14, 3116433.46)
L86	16.68	S0° 00' 00"E	(1255506.12, 3116441.46)
L87	1.00	S71° 19' 51"W	(1255489.44, 3116441.46)
L88	1.00	N71° 30' 11"E	(1255483.82, 3116432.63)
L89	1.00	N76° 29' 40"E	(1255469.39, 3116437.04)
L90	15.52	N76° 49' 14"W	(1255462.27, 3116379.21)
L91	5.11	S5° 23' 34"W	(1255286.58, 3116265.35)
L92	15.52	N76° 49' 14"W	(1255470.06, 3116381.05)
L93	11.10	N1° 39' 48"W	(1255427.49, 3116208.72)
L94	7.81	N27° 52' 01"E	(1255447.27, 3116210.42)
L95	25.70	N72° 15' 27"W	(1255486.12, 3116201.04)
L96	1.86	N0° 00' 00"E	(1255505.30, 3116164.41)
L97	1.84	S0° 00' 00"E	(1255507.14, 3116159.41)
L100	25.70	S72° 15' 27"E	(1255489.19, 3116175.04)
L102	7.81	S27° 52' 01"W	(1255456.51, 3116209.66)
L104	10.98	S1° 39' 48"E	(1255438.44, 3116203.40)
L106	4.23	N46° 56' 52"W	(1255425.18, 3116198.58)
L109	11.00	S72° 32' 05"E	(1255308.74, 3116155.13)
L110	11.00	N86° 23' 51"W	(1255320.24, 3116171.17)
L111	11.00	S63° 57' 54"E	(1255336.45, 3116166.58)
L112	11.00	N60° 48' 55"W	(1255348.90, 3116185.08)
L113	11.00	S38° 26' 30"E	(1255365.65, 3116182.80)
L114	11.00	N55° 43' 33"W	(1255373.74, 3116200.94)
L118	11.83	N90° 00' 00"E	(1255206.27, 3116182.81)
L119	18.05	S19° 06' 59"E	(1255210.35, 3116218.87)
L120	9.90	N34° 31' 36"W	(1255211.15, 3116242.19)
L121	1.61	N45° 02' 25"E	(1255227.90, 3116246.93)
L122	20.47	N90° 00' 00"E	(1255246.12, 3116267.21)
L123	8.00	S89° 52' 23"E	(1255519.87, 3116188.34)
L124	14.57	S55° 44' 36"E	(1255343.76, 3116226.02)
L125	14.59	S58° 27' 32"E	(1255319.39, 3116209.77)
L126	46.00	N79° 20' 14"E	(1255292.76, 3116212.94)
L127	47.98	N79° 20' 14"E	(1255290.73, 3115945.03)

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD LEN	START (N, E)
C1	4.97	3.00	94°58'33"	S84°58'58"E	4.42	(1254766.02, 3115960.47)
C3	143.70	218.00	37°46'02"	N86°24'46"E	141.11	(1254778.77, 3115989.83)
C4	65.69	188.00	20°01'08"	S84°42'47"E	65.35	(1254787.60, 3116140.66)
C5	98.16	75.00	74°59'21"	N47°46'59"E	91.30	(1254781.58, 3116205.74)
C6	18.29	406.00	2°34'50"	N01°34'43"E	18.29	(1254842.93, 3116273.36)
C10	42.87	406.00	6°02'58"	N07°35'15"E	42.85	(1254872.50, 3116279.87)
C11	43.24	143.00	17°19'31"	N29°16'29"E	43.08	(1254913.34, 3116292.82)
C12	15.94	20.00	45°39'11"	N15°06'39"E	15.52	(1254950.92, 3116313.88)
C13	185.50	207.00	51°20'40"	N33°23'16"W	179.35	(1254965.90, 3116317.63)
C14	120.05	169.62	40°33'01"	N38°47'06"W	117.56	(1255115.65, 3116219.23)
C15	3.74	3.00	71°26'39"	N54°15'05"W	3.50	(1255207.29, 3116145.59)
C17	4.64	3.02	88°03'42"	S50°42'39"W	4.20	(1255209.34, 3116095.58)
C18	35.53	38.50	52°53'00"	S33°16'00"W	34.64	(1255206.68, 3116002.34)
C22	8.05	624.84	0°44'17"	N6°27'59"E	8.05	(1255153.37, 3115963.50)
C24	11.30	5.00	129°30'56"	N51°52'37"W	9.05	(1254978.09, 3116373.26)
C25	100.73	135.00	42°45'11"	S41°59'16"W	98.41	(1254983.67, 3116366.15)
C26	71.71	398.00	10°19'26"	S15°27'04"W	71.62	(1254910.53, 3116300.31)
C27	108.63	83.00	74°59'21"	S47°46'56"W	101.04	(1254841.50, 3116281.23)
C28	68.48	196.00	20°01'08"	N84°42'47"W	68.13	(1254773.60, 3116206.40)
C29	106.62	210.00	29°05'26"	N69°14'56"W	105.48	(1254779.88, 3116138.55)
C33	17.80	210.00	4°51'23"	S89°57'27"W	17.79	(1254777.47, 3116019.60)
C35	8.23	3.00	157°16'06"	S11°06'18"E	5.88	(1254762.30, 3115980.55)
C36	21.34	143.00	8°33'06"	S51°35'52"W	21.32	(1254981.84, 3116347.13)
C37	6.48	3.00	123°41'26"	N70°29'59"W	5.29	(1254968.69, 3116330.34)
C38	13.53	215.00	3°36'25"	N10°27'28"W	13.53	(1254970.45, 3116325.36)
C39	5.60	3.00	106°53'21"	N41°11'00"E	4.82	(1254983.77, 3116322.90)
C40	1.45	18.00	4°37'42"	S87°41'10"E	1.45	(1254987.28, 3116326.07)
C42	7.66	3.00	146°12'27"	S16°53'47"E	5.74	(1254987.33, 3116345.46)
C43	7.42	6.00	70°50'03"	S54°34'58"W	6.95	(1254993.36, 3116379.37)
C45	12.67	10.00	72°36'55"	N53°41'33"W	11.84	(1254995.33, 3116327.53)
C46	53.82	215.00	14°20'32"	N24°33'22"W	53.68	(1255002.35, 3116317.98)
C50	90.56	215.00	24°08'05"	N46°59'34"W	89.90	(1255061.26, 3116289.08)
C51	23.51	15.00	89°48'53"	N45°15'22"E	21.18	(1255165.02, 3115948.13)
C52	7.84	5.00	89°50'12"	S44°55'06"E	7.06	(1255179.88, 3115981.42)
C53	6.11	5.83	60°00'00"	N30°00'00"E	5.83	(1255174.87, 3116055.57)
C54	30.54	29.17	60°00'00"	N30°00'00"E	29.17	(1255185.80, 3116068.87)
C55	7.14	29.17	14°01'31"	N8°09'29"W	7.12	(1255232.91, 3116083.25)
C56	22.82	29.17	44°49'45"	N37°35'07"W	22.24	(1255231.06, 3116082.24)
C57	6.11	5.83	60°00'00"	N30°00'00"W	5.83	(1255263.47, 3116058.49)
C58	7.87	5.00	90°08'29"	S45°04'45"W	7.08	(1255208.89, 3115984.30)
C59	23.56	15.00	90°00'13"	S44°50'16"E	21.21	(1255218.97, 3115948.37)
C60	9.42	3.00	180°00'00"	N90°00'00"W	6.00	(1255206.87, 3116014.30)
C61	9.42	3.00	180°00'00"	N90°00'00"E	6.00	(1255242.87, 3116008.30)
C62	9.42	3.00	180°00'00"	N90°00'00"E	6.00	(1255242.87, 3116041.30)
C63	9.42	3.00	180°00'00"	N90°00'00"W	6.00	(1255206.87, 3116047.30)
C64	4.71	3.00	89°59'54"	N44°59'57"W	4.24	(1255217.34, 3116095.55)
C65	15.03	38.50	22°22'17"	N11°11'09"W	14.94	(1255227.33, 3116092.59)
C66	5.88	3.00	112°22'17"	N33°48'51"E	4.99	(1255241.98, 3116089.69)
C67	8.71	6.00	83°07'41"	S48°26'09"E	7.96	(1255246.12, 3116132.06)
C68	20.13	169.62	6°47'55"	S10°16'16"E	20.11	(1255240.84, 3116138.04)

NOTE:
CURV TABLE DATA IS TAKING FROM THE CURB FLOWLINE.

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD LEN	START (N, E)
C69	5.43	3.00	103°40'20"	S38°09'56"W	4.72	(1255221.05, 3116141.62)
C70	3.14	3.00	60°00'00"	S30°00'00"E	3.00	(1255272.27, 3116064.90)
C71	15.66	38.50	23°18'38"	S48°20'41"E	15.56	(1255265.67, 3116073.34)
C72	2.79	3.00	53°18'38"	S63°20'41"E	2.59	(1255255.33, 3116084.98)
C73	9.45	6.00	90°19'50"	N44°50'05"E	8.51	(1255254.12, 3116130.82)
C74	72.47	169.62	24°28'43"	N11°54'31"E	71.92	(1255260.16, 3116136.82)
C75	84.76	360.42	13°28'28"	N30°53'07"E	84.56	(1255330.53, 3116151.56)
C76	21.96	15.00	83°51'53"	N4°18'36"W	20.05	(1255400.10, 3116195.07)
C77	6.34	2.72	133°38'21"	S48°23'30"W	5.00	(1255222.50, 3116386.20)
C78	56.43	157.88	20°28'41"	N60°43'07"W	56.13	(1255219.18, 3116382.46)
C79	7.63	3.00	145°36'29"	N1°23'20"E	5.73	(1255246.64, 3116333.50)
C80	53.98	165.00	18°44'19"	N64°51'05"E	53.72	(1255252.37, 3116333.64)
C81	7.33	3.00	140°02'22"	S54°29'53"E	5.64	(1255275.20, 3116382.27)
C82	5.69	3.00	108°44'41"	N67°52'41"W	4.88	(1255469.39, 3116437.04)
C83	55.50	70.00	45°25'48"	S80°27'52"W	54.06	(1255471.23, 3116432.52)
C85	152.59	148.00	59°04'19"	S73°38'37"W	145.92	(1255465.81, 3116364.10)
C86	22.36	15.00	85°23'44"	S1°24'35"W	20.34	(1255424.72, 3116224.08)
C87	24.12	303.00	4°33'42"	S39°00'26"E	24.12	(1255404.38, 3116223.58)
C88	90.51	138.00	37°34'37"	S17°56'16"E	88.89	(1255385.64, 3116238.76)
C89	14.51	183.00	4°32'32"	S3°07'18"W	14.50	(1255301.07, 3116266.14)
C91	42.12	25.00	96°33'27"	S42°52'36"E	37.31	(1255280.50, 3116264.87)
C92	122.11	157.00	44°33'52"	N67°10'31"E	119.06	(1255254.16, 3116290.26)
C93	3.78	3.00	72°12'37"	S17°36'30"W	3.54	(1255483.82, 3116432.93)
C94	53.53	62.00	49°27'58"	S78°26'47"W	51.88	(1255480.45, 3116431.86)
C96	167.27	155.96	61°26'35"	S72°27'48"W	159.37	(1255473.60, 3116365.92)
C97	7.15	3.00	136°35'23"	N69°57'29"W	5.57	(1255425.58, 3116213.96)
C98	9.02	17.50	29°31'49"	N13°06'07"E	8.92	(1255438.58, 3116208.40)
C101	39.32	22.50	100°07'28"	N22°11'43"W	34.50	(1255454.18, 3116214.08)
C103	4.20	52.50	4°34'56"	N74°32'55"W	4.20	(1255493.96, 3116176.56)
C104	14.08	10.50	76°50'23"	N38°25'11"W	13.05	(1255495.07, 3116172.52)
C106	20.79	15.50	76°50'23"	S38°25'11"E	19.26	(1255505.30, 3116159.41)
C107	3.80	47.50	4°34'56"	S74°32'55"E	3.80	(1255490.21, 3116171.38)
C108	30.58	17.50	100°07'28"	S22°11'43"E	26.84	(1255481.36, 3116199.52)
C109	11.60	22.50	29°31'49"	S13°06'07"W	11.47	(1255449.61, 3116206.00)
C110	7.05	3.00	134°42'58"	S85°41'40"W	5.54	(1255427.46, 3116203.72)
C111	98.73	300.00	18°51'21"	N56°02'54"W	98.28	(1255426.07, 3116195.59)
C112	35.95	84.00	24°31'26"	N77°44'17"W	35.68	(1255482.16, 3116114.06)
C113	12.56	13.50	53°17'35"	N36°53'01"W	12.11	(1255223.28, 3116157.61)
C114	76.69	158.62	27°42'06"	N3°36'51"E	75.95	(1255232.95, 3116150.34)
C116	15.81	147.62	6°08'15"	N20°32'02"E	15.81	(1255305.44, 3116165.62)
C118	1.51	158.62	0°32'44"	N13°52'31"E	1.51	(1255324.65, 3116161.09)
C119	11.51	349.42	1°53'13"	N25°05'29"E	11.51	(1255326.03, 3116161.70)
C121	18.60	338.42	3°08'56"	N27°36'35"E	18.60	(1255331.62, 3116176.46)
C123	14.47	349.42	2°22'25"	N30°22'17"E	14.47	(1255353.47, 3116175.48)
C125	16.14	338.42	2°43'57"	N32°55'28"E	16.14	(1255360.20, 3116192.17)
C127	23.04	349.42	3°46'41"	N36°10'48"E	23.04	(1255375.94, 3116191.86)
C128	14.06	8.00	100°42'05"	N88°25'10"E	12.32	(1255398.54, 3116205.45)
C129	23.19	295.00	4°30'12"	S38°58'41"E	23.18	(1255398.88, 3116217.77)
C130	19.52	130.00	8°36'09"	S32°25'31"E	19.50	(1255380.85, 3116232.35)
C139	99.37	161.62	35°13'42"	N41°26'45"W	97.81	(1255122.51, 3116223.34)

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD LEN	START (N, E)
C140	20.31	9.00	129°19'14"	N40°49'43"E	16.27	(1255195.63, 3116158.60)
C141	13.74	50.06	15°43'47"	S82°07'51"E	13.70	(1255208.14, 3116169.24)
C143	24.69	74.00	19°06'59"	N80°26'30"E	24.58	(1255206.27, 3116194.64)
C145	22.59	80.00	16°10'53"	N62°47'34"E	22.52	(1255200.85, 3116222.16)
C147	13.47	74.00	10°25'59"	N50°15'24"E	13.46	(1255219.30, 3116236.58)
C149	14.42	60.00	13°46'06"	N38°09'22"E	14.38	(1255225.04, 3116248.06)
C150	12.30	12.00	58°43'42"	N60°38'08"E	11.77	(1255240.35, 3116256.95)
C152	144.80	136.00	61°00'09"	S59°29'55"E	138.06	(1255246.12, 3116287.68)
C153	35.70	33.50	61°03'26"	N88°22'34"W	34.03	(1255433.29, 3116097.10)
C154	74.85	33.50	128°00'57"	S2°54'45"E	60.22	(1255434.25, 3116063.08)
C155	80.77	33.50	138°08'22"	N44°00'35"E	62.58	(1255374.11, 3116065.14)
C156	19.17	33.50	32°47'18"	N41°27'14"W	18.91	(1255419.11, 3116109.62)
C157	132.29	83.20	91°05'58"	S44°27'06"W	118.79	(1255485.54, 3116079.19)
C158	122.58	79.00	88°54'02"	S45°32'59"E	110.65	(1255400.74, 3115996.01)
C159	117.50	74.80	90°00'00"	N45°00'00"E	105.78	(1255323.25, 3116075.00)
C160	110.90	70.60	90°00'00"	N45°00'00"W	99.84	(1255398.05, 3116149.80)
C161	104.30	66.40	90°00'00"	S45°00'00"W	93.90	(1255468.65, 3116079.20)
C162	97.70	62.20	90°00'00"	S45°00'00"E	87.96	(1255402.25, 3116012.80)
C163	91.11	58.00	90°00'00"	N45°00'00"E	82.02	(1255340.05, 3116075.00)
C164	84.51	53.80	90°00'00"	N45°00'00"W	76.08	(1255398.05, 3116133.00)
C165	77.91	49.60	90°00'00"	S45°00'00"W	70.14	(1255451.85, 3116079.20)
C166	71.31	45.40	90°00'00"	S45°00'00"E	64.21	(1255402.25, 3116029.60)
C167	64.72	41.20	90°00'00"	N45°00'00"E	58.27	(1255356.85, 3116075.00)
C168	22.40	37.00	34°41'25"	N17°20'43"W	22.06	(1255398.05, 3116116.20)
C169	140.24	88.20	91°05'58"	S44°27'01"W	125.92	(1255490.54, 3116079.19)
C170	130.34	84.00	88°54'02"	S45°32'58"E	117.65	(1255400.64, 3115991.01)
C171	125.35	79.80	90°00'00"	N45°00'00"E	112.85	(1255318.25, 3116075.00)
C172	118.75	75.60	90°00'00"	N45°00'00"W	106.91	(1255398.05, 3116154.50)
C173	112.15	71.40	90°00'00"	S45°00'00"W	100.97	(1255473.65, 3116079.20)
C174	105.56	67.20	90°00'00"	S45°00'00"E	95.04	(1255402.25, 3116007.80)
C175	98.95	63.00	90°00'00"	N45°00'00"E	89.10	(1255335.05, 3116075.00)
C176	92.36	58.80	90°00'00"	N45°00'00"W	83.16	(1255398.05, 3116138.00)
C177	85.77	54.60	90°00'00"	S45°00'00"W	77.22	(1255456.85, 3116079.20)
C178	78.17	50.40	90°00'00"	S45°00'00"E	71.29	(1255402.25, 3116024.60)
C179	72.57	46.20	90°00'00"	N45°00'00"E	65.34	(1255351.65, 3116075.00)
C180	15.72	42.00	21°27'24"	N10°43'42"W	15.64	(1255398.05, 3116121.20)
C181	8.18	33.33	14°03'34"	S47°18'25"W	8.16	(1255516.36, 3115950.42)
C182	26.63	165.25	9°13'58"	S39°08'27"W	26.60	(1255364.39, 3116242.81)
C183	18.40	150.67	6°59'42"	N38°02'53"E	18.38	(1255335.56, 3116238.06)
C186	21.15	160.71	7°32'26"	S35°38'59"W	21.14	(1255311.76, 3116222.20)
C187	32.79	175.29	10°43'06"	N24°32'34"E	32.74	(1255289.60, 3116196.17)
C189	49.94	130.00	22°00'33"	S10°09'14"E	49.63	(1255350.04, 3116249.30)

DESIGN CONCEPTS
Community + Landscape Architecture

TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

Project No.: 25623.00

Issued For:	Date:
100% DDs	11.04.16
50% CDs	12.13.16
95% CDs	01.24.17
100% CDs	02.21.17

Drafted By: SW & WTP
Checked By: HMM

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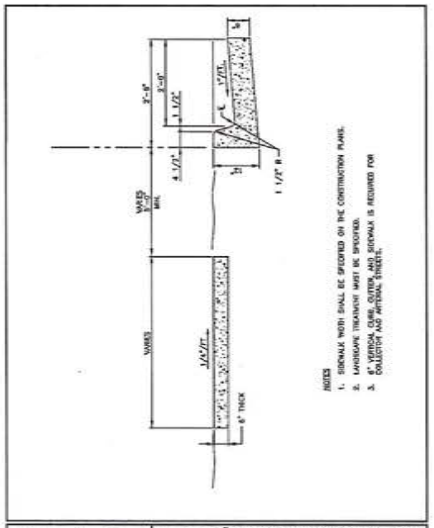
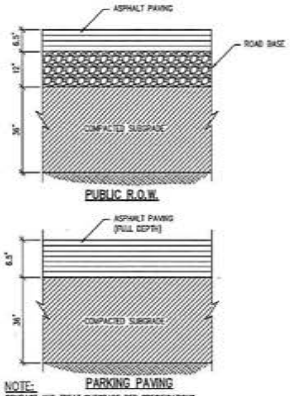
Line and Curve Tables

C3.2

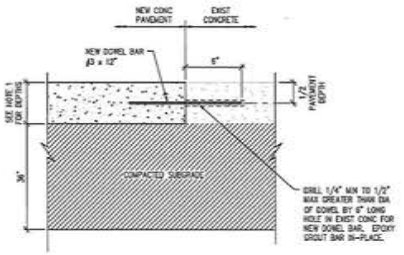


6" VERTICAL CURB, GUTTER AND DETACHED SIDEWALK (1 / CD.0)
NTS



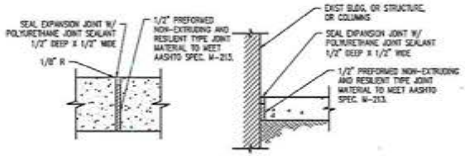
NOTE:
COMPACT AND TREAT SUBGRADE PER SPECIFICATIONS.

ASPHALT PAVING SECTION DETAIL (2 / CD.0)
NTS



NOTES:
1. CONCRETE THICKNESS:
   6" FOR WALKS
   8" FOR SERVICE DRIVES
2. EXCAVATE AND COMPACT SUBGRADE PER SPECIFICATIONS.
3. SEE CONTRACTION JOINT AND EXPANSION JOINT DETAILS.
4. DOWEL INTO EXIST CONCRETE WITH #3 REBAR AT 24" SPACING

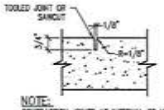
CONCRETE PAVING SECTION DETAIL (3 / CD.0)
NTS



FLATWORK — AGAINST STRUCTURE
NTS

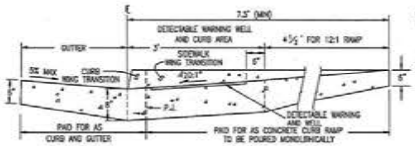
NOTES:
1. EXPANSION JOINTS EVERY 100' MAX AND WHEREVER SIDEWALK ABUTS EXISTING & PROPOSED CONCRETE STRUCTURES (TYP) – SEE PLAN
2. DO NOT INSTALL EXPANSION JOINT AGAINST ROUGH-FACED BLOCK WALLS.

EXPANSION JOINT DETAIL (4 / CD.0)
NTS



NOTE:
CONTRACTION JOINTS AT INTERVAL TO MATCH WIDTH OF SIDEWALK (TYP).

CONTRACTION JOINT DETAIL (5 / CD.0)
NTS



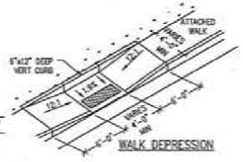
SIDE SECTION VIEW OF
DETECTABLE WARNING, WELL, CURB, AND GUTTER

P.J. = PERMISSIBLE JOINT WITH EPOXY-COATED DEFORMED NO. 4 BY 18 IN. BARS CONFORMING TO AASHTO M 284 AT 18 IN. SPACING.

DETECTABLE WARNING SHALL BE EAST JORDAN IRON WORKS 7005 SERIES DETECTABLE WARNING PLATES OR APPROVED EQUIVALENT

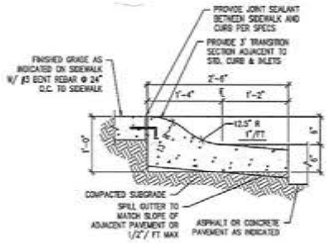
CONCRETE RAMP AND WING SURFACES SHALL BE TEXTURED WITH A COARSE BROOMED SURFACE ONLY.

GRASS OR GRAVEL AREA ADJACENT TO RAMP, WING OR WALK THAT IS NOT APPROPRIATE FOR WHEELCHAIR TRAFFIC.



NOTES:
1. THERE SHALL BE NO LIP WHERE THE RAMP MEETS THE GUTTER
2. CURB RAMPS SHALL BE PROVIDED AT ALL CORNERS OF STREET INTERSECTIONS AND AT "T" INTERSECTIONS WHERE THERE IS EXISTING OR PROPOSED SIDEWALK AND CURB
3. RAMP LOCATION SHALL BE SPECIFIED ON THE CONSTRUCTION PLANS USE CDOT STANDARDS CURB RAMP DETAIL WITHIN THE RIGHT-OF-WAY
4. SEE CDOT DRAWING M-608-1 FOR FULL NOTES, DETAILS AND DIMENSIONS

CURB RAMP DETAIL (6 / CD.0)
NTS



"ROLLED" CURB & GUTTER DETAIL (7 / CD.0)
NTS

DESIGN CONCEPTS
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Lafayette CO 80026
303 604 1241 www.dcla.net

TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

Project No.: 23623.00

Issued For:	Date:
100% DDs	11.04.16
50% CDs	12.13.16
90% CDs	01.24.17
100% CDs	02.21.17

Drafted By: SW & WTP
Checked By: HMM

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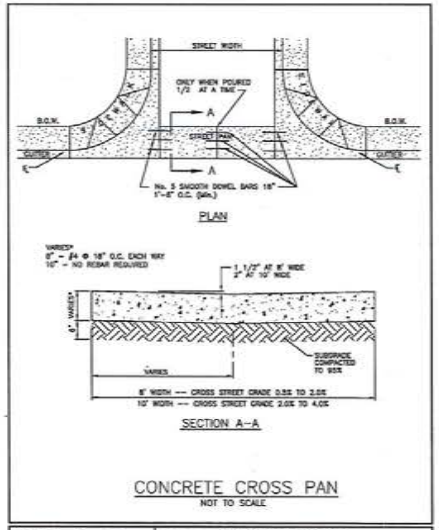
Site Details

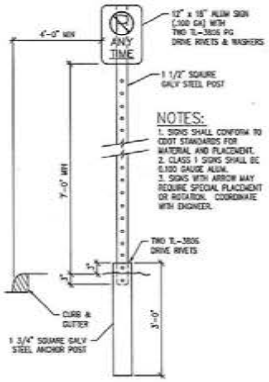
CD3.0



CONCRETE CROSS PAN
NOT TO SCALE

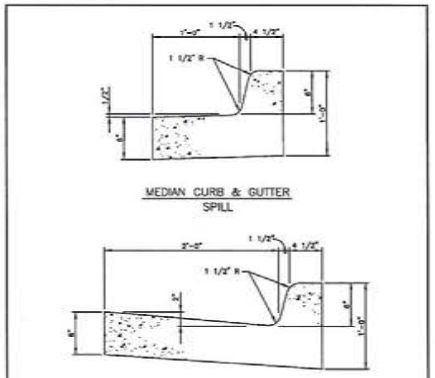
The Town of ERIE COLORADO | DRAWING TITLE: CONCRETE CROSS PAN | DRAWING NUMBER: SW3 | DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2010

CONCRETE CROSS PAN (7 / C3.0)
NTS



NOTES:
1. SIGNS SHALL CONFORM TO CDOT STANDARDS FOR MATERIAL AND PLACEMENT.
2. CLASS I SIGNS SHALL BE 0.100 GAUGE ALUM.
3. SIGNS WITH ARROW MAY REQUIRE SPECIAL PLACEMENT OR ROTATION. COORDINATE WITH ENGINEER.

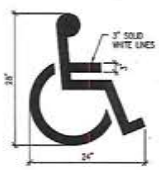
SIGN DETAIL (8 / C3.0)
NTS



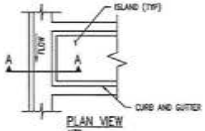
NOTES:
1. SUBGRADE TO BE COMPACTED TO 95% MODIFIED PROCTOR.

The Town of ERIE COLORADO | DRAWING TITLE: VERTICAL CURB SECTION | DRAWING NUMBER: SW12 | DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 01/2010

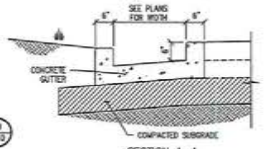
VERTICAL CURB SECTION (9 / C3.0)
NTS



ACCESSIBLE SYMBOL DETAIL (10 / C3.0)
NTS



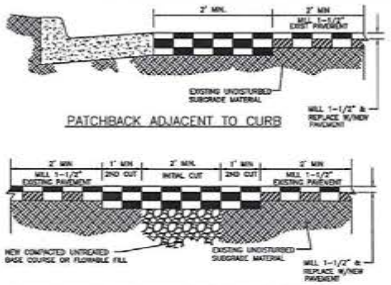
PLAN VIEW
NTS



SECTION A–A
NTS

NOTES:
1. SEE SHEET CD3.0 FOR CONTRACTION AND EXPANSION JOINT DETAILS.
2. COMPACT SUBGRADE PER SPECIFICATIONS.

CURB CHANNEL DETAIL (11 / C3.0)
NTS



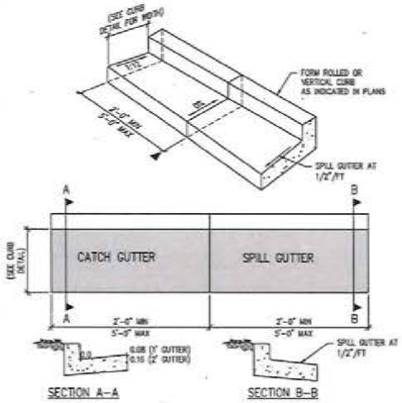
PATCHBACK ADJACENT TO CURB

PATCHBACK FOR UTILITY AND SERVICE TRENCHES

NOTE:
1. 6" ASPHALT PATCH THICKNESS IS NOT IDENTIFIED ON PLANS USE 6-1/2" MIN ASPHALT PATCH OR MATCH EXISTING, WHICH EVER THICKNESS IS GREATER.
2. MINIMUM DEPTH OF WEARING COURSE SHALL BE 1-1/2" AND SHALL BE GRADING SX ASPHALT.
3. MINIMUM DEPTH OF INTERMEDIATE COURSE SHALL BE 3" AND BE INSTALLED IN 2 LIFTS. INTERMEDIATE COURSE SHALL BE GRADING S OR G ASPHALT.
4. PATCH SHALL BE PLACED AND COMPACTED IN LIFTS A MAXIMUM OF 3" IN DEPTH.
5. APPLY SS-1 TACK COAT TO EXISTING ASPHALT AND/OR CONCRETE VERTICAL SURFACES.
6. TRENCHES LESS THAN 2' IN WIDTH MUST RECEIVE PRIOR APPROVAL FROM THE TOWN OF ERIE ENGINEERING DEPARTMENT AND SHALL BE FLOW-FILLED.
7. PROVIDE CR SAND TO PSI CONTROLLED LOW STRENGTH FLOWABLE FILL AS SPECIFIED. USE FILL THAT FLOWS EASILY AND VIBRATION IS NOT REQUIRED. COME TO INITIAL SET BEFORE PLACING NEW UNTREATED BASE COURSE OR NEW ASPHALT PAVEMENT. USE FLOWABLE FILL IN EXCAVATIONS THAT ARE TOO NARROW TO RECEIVE COMPACTION EQUIPMENT.
8. REMOVE ADDITIONAL PAVEMENT TO A PAINTED LANE STRIPE, A LIP OF GUTTER, A CURB, AN EXISTING PAVEMENT PATCH, OR AN EDGE OF THE PAVEMENT IF SUCH STREET FEATURE IS WITHIN TWO FEET OF THE SECOND SAW CUT.
9. PROVIDE UNTREATED BASE COURSE MATERIAL. DO NOT USE GRAVEL OR WASHED ROCK. PLACE NEW MATERIAL IN LIFTS NOT EXCEEDING 8" AFTER COMPACTION. COMPACT TO A MODIFIED PROCTOR DENSITY OF 95% OR GREATER.
10. STRAIGHT SAWCUT OR BLADECUT THE EXISTING ASPHALT PAVEMENT WHEN JOINING WITH NEW ASPHALT PAVEMENT.

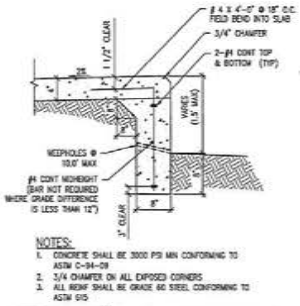
The Town of ERIE COLORADO | DRAWING TITLE: TRENCH AND CURB PATCH | DRAWING NUMBER: ST10 | DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 1/2014

TRENCH AND CURB PATCH (12 / C3.0)
NTS



SECTION A–A
SECTION B–B

GUTTER CATCH SPILL TRANSITION DETAIL (13 / C3.0)
NTS



NOTES:
1. CONCRETE SHALL BE 3000 PSI MIN CONFORMING TO ASTM C-94-09
2. 3/4 CHAMFER ON ALL EXPOSED CORNERS
3. ALL REINF SHALL BE GRADE 60 STEEL CONFORMING TO ASTM 615

SIDEWALK W/ TURNED DOWN EDGE (14 / C3.0)
NTS

DESIGN CONCEPTS
Community • Landscape Architecture
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303-444-5001 www.dcla.net

TOWN OF ERIE 1874

STAR MEADOWS PARK
Erie, Colorado

Project No.: 21623.00

Issued For:	Date:
100% DDs	11.04.16
50% CDs	12.13.16
90% CDs	03.24.17
100% CDs	04.21.17

Drafted By: SW & WTP
Checked By: HMM

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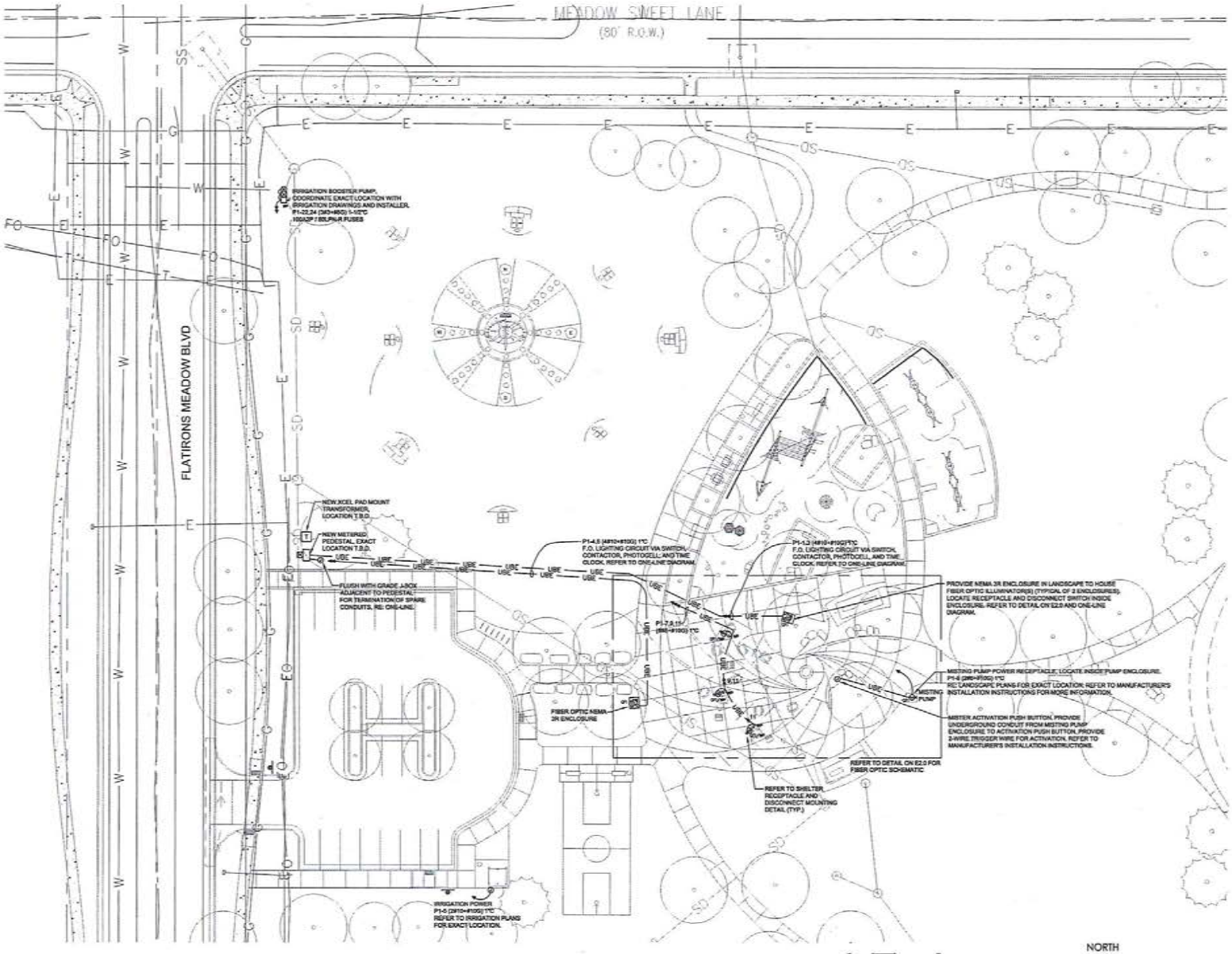
Site Details

CD3.1



Site Electrical Plan

Scale: 1" = 20'

LEGEND

- J-BOX
- METER
- DUPLEX RECEPTACLE
- FOUR-PLEX RECEPTACLE
- SPECIAL NEMA RECEPTACLE
- HEAVY DUTY DISCONNECT SWITCH
- MOTOR STARTER
- HEAVY DUTY STARTER-DISCONNECT
- THERMAL OVERLOAD SW
- BRANCH CIRCUIT PANEL
- SURFACE WALL LUMINAIRE
- SURFACE CEILING LUMINAIRE
- LUMINAIRE STRIP
- SURFACE LUMINAIRE
- RECESSED LUMINAIRE
- PARKING LOT POLE LIGHT
- PEDESTRIAN POLE LUMINAIRE
- FLOOD LUMINAIRE
- SWITCH
- PHOTOCELL
- TIME CLOCK
- FLAG NOTE
- BREAKLINE
- MATCHLINE
- WIREMOLD
- OVERHEAD PRIMARY ELECTRIC
- OVERHEAD SECONDARY ELECTRIC
- UNDERGROUND PRIMARY ELECTRIC
- UNDERGROUND SECONDARY ELECTRIC
- UNDERGROUND BRANCH ELECTRIC
- UNDERGROUND COMMUNICATION
- BOLD LINEWEIGHT AND/OR "N" INDICATES NEW DEVICE OR EQUIPMENT
- BOLD LINEWEIGHT AND/OR "R" INDICATES DEVICE OR EQUIPMENT TO BE REPLACED
- LIGHT LINEWEIGHT AND/OR "E" INDICATES EXISTING DEVICE TO REMAIN
- DASHED LINETYPE AND/OR "D" INDICATES DEVICE TO BE REMOVED / DEMOLISHED

SITE PLAN GENERAL NOTES

All wiring shall be in compliance with the NEC 2014 edition. All multi-wire branch circuits (120V or 277V single phase circuits) identified in the panel schedules originating from single pole breaker shall be installed with a dedicated neutral conductor for each phase conductor. The neutral conductor shall have a tracer stripe (the stripe color shall match the color of the phase conductor).

Refer to the electrical specifications for additional conductors, circuit depths, and specification requirements. All electrical work shall be installed in accordance to the most current local codes and the 2014 NEC.

All underground conduit shall be schedule 40 PVC with PVC coated GRC elbows and risers to 6 feet above grade and 1 inch minimum diameter, unless noted otherwise.

All Underground Communication, Electrical Feeder, and Branch Circuits shall be installed a minimum of 30 inches below grade with Buried Electrical Warning Tape installed directly above between 8 and 12 inches below grade. Contractor shall provide pull boxes as required to minimize the number of bends to meet code.

ALL Electrical Device locations shall be coordinated with the Landscape Drawings/architect prior to rough-in to determine typical installation requirements/locations in relation to the site landscape and civil elements.

Underground conduit is indicated by dashed lines, UBE, USE, UPE, or UC.

All new circuits shall have grounding conductors in all feeders and branch circuits.

For all weatherproof receptacle covers provide cast aluminum, while-in-use weatherproof type covers, Hubbell-MCEBXX series or equal.

All exterior receptacles shall be GFI protected devices and have weatherproof covers.

DESIGN CONCEPTS
Community + Landscape Architects
200 Nevada Pueblo Road, Suite 200
Lafayette CO 80026
303.544.1320 www.dcla.net

TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

COLORADO REGISTERED PROFESSIONAL ENGINEER
02/21/2017

Project No.: 15623.00

Issued For:	Date:
100% DDs	11.04.16
50% CDs	12.13.16
90% CDs	01.20.17
BID SET	02.21.17

Drafted By: HB
Checked By: AEI

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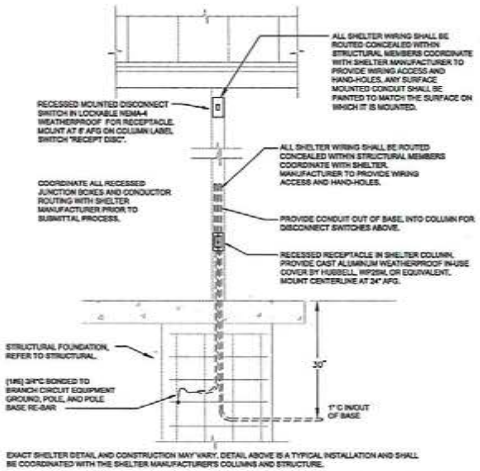
811 Know what's below. Call before you dig.

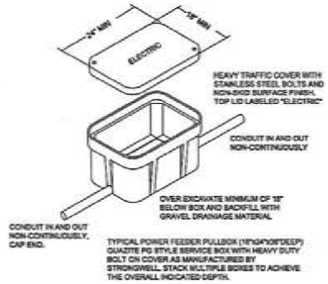
SITE ELECTRICAL PLAN

E1.0



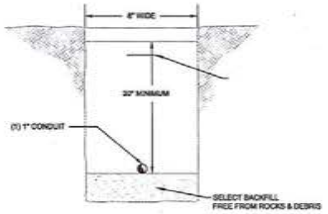
Shelter Recept Disconnect Mounting Detail

Scale: NA



Flush with Grade Pull Box Detail

Scale: NA



Typical Conduit Trench Detail

Scale: NTS

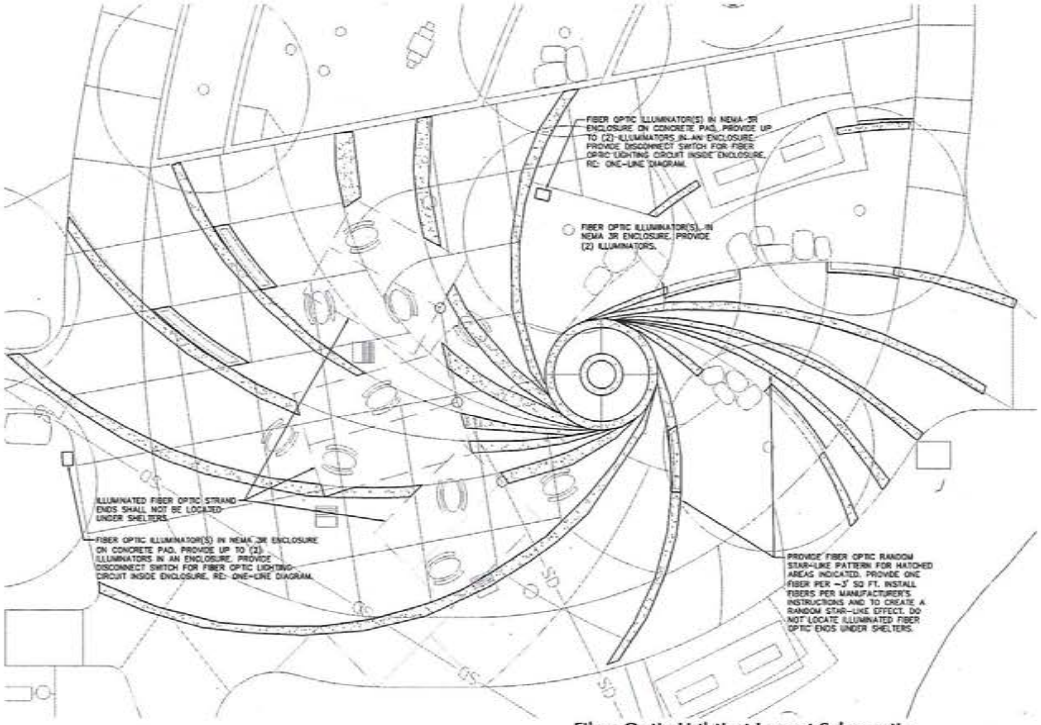
MANUFACTURER	SOLA HOTTAC
Input Voltage	100-240 VAC
Amps	1.5 Amps
Efficiency	85-90%
Power Supply	24 VDC Class 2
IP	IP66
Fiber Capacity	1000
Operating temperature	-40°C to 65°C
Weight	7 lbs
Outdoor rating	IP67
Housing	Aluminum

NEMA 3R ENCLOSURE: 18" x 10" x 40" H. MOUNT AND SECURE TO A CONCRETE HOUSEKEEPING PAD WITH DIMENSIONS EXTENDING A MIN 4" BEYOND ALL SIDES OF THE PEDESTAL FOOTPRINT AND MIN 4" THICK. INSTALL (4) 2" CONDUIT SLEEVES FROM BOTTOM OF PEDESTAL FOR FIBER OPTIC CABLING.
PROVIDE ENCLOSURE WITH PLYWOOD BACK BOARD FOR MOUNTING ILLUMINATORS VERTICALLY TO THE BACKBOARD. FIBER OPTIC CONNECTION SHALL BE ORIENTED IN THE DOWNWARD DIRECTION TO EXIT THE PEDESTAL THRU THE SLEEVES, UNDERGROUND TO FIBER OPTIC RUNS. PROVIDE POWER CONNECTION AS RECOMMENDED BY SYSTEM MANUFACTURER (HARD WIRED OR RECEPTACLE)

PROVIDE 4 FIBER OPTIC ILLUMINATORS IN TWO NEMA 3R ENCLOSURES (2 ILLUMINATORS PER ENCLOSURE). ILLUMINATORS SHALL PROVIDE WHITE LIGHT WITH A TWINKLE FEATURE. ILLUMINATI IMP-8000-PW-SPARKLE-XX SERIES. PROVIDE BUNDLES OF FIBER WITH 3 DIFFERENT DIAMETER STRANDS TO COVER THE AREAS INDICATED ON PLAN. FIBER OPTIC STARPAK-48 SERIES. REFER TO THE SPECIFICATIONS SECTION 283600 FOR MORE INFORMATION. PROVIDE BUNDLE LENGTHS UP TO A MAXIMUM OF 70'. (EXACT NUMBER OF ILLUMINATORS AND LENGTHS OF RUNS TO BE COORDINATED WITH FIBER OPTIC LIGHTING MANUFACTURER). FIBER SHALL BE INSTALLED AS RECOMMENDED BY FIBER OPTIC MANUFACTURER AND AS IS INDICATED IN SPECIFICATIONS. CONTACT WIEDAMARK, LLC IN DALLAS TX FOR MORE INFORMATION 972-855-1585. FIBER OPTIC MANUFACTURER SHALL PROVIDE SHOP DRAWINGS WITH INFORMATION ON INSTALLATION OF ILLUMINATORS, FIBER OPTICS, SPACING, LAYOUT, ETC. FOR SUBMITTAL REVIEW.

Fiber Optic Information

Scale: NA



Fiber Optic Lighting Layout Schematic

Scale: 1/8" = 1'-0"

DESIGN CONCEPTS

Community • Landscape Architects

TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

COLORADO REGISTERED PROFESSIONAL ENGINEER 02/21/2017

Project No.: 21623.00

Issued For:	Date:
100% DDs	11.04.16
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IND SET	02.21.17

Drafted By: HB
Checked By: AEI

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ELECTRICAL DETAILS

E2.0

Name	P1	Mnt. Method	Pedestal (NEMA 3R)
Volt	240/120	Bus Rating	100
Ph.	1	Main Breaker	100
Wire	3	AIC Rating	22,000

	Circ	Description	Load VA	Bkr	P	Ph A	Ph B	P	Bkr	Load VA	Description	Circ	
1	1	Fiber Optic Lip (LED)	200	20	1	*		1	20	180	Pedestal Receptl	2	3
3	2	FO Enclosure Receptl	180	20	1		*	1	20	200	Fiber Optic Lip (LED)	1	4
5	6	Irrigation Control panel	200	20	1	*		1	20	180	FO Enclosure Receptl	2	6
7	2	Rec Shelter	180	20	1		*	1	20	1500	Misting pump	5	8
9	2	Rec Shelter	180	20	1	*		1	20		Spare		10
11	2	Rec Shelter	180	20	1		*	1	20		Spare		12
13		Spare		-		*		1	20		Spare		14
15		Spare		-			*	1	20		Spare		16
17		Spare		-		*			-		Spare		18
19		Spare		-			*		-		Spare		20
21		Space		-		*		2	60	5640	Irrigation Booster Pump	3	22
23	6	Time Clock	200	20	1		*		/				24

Code	Description	Load VA	Dem
1	Lighting	400	125%
2	Rec up to 10,000	1080	100%
	Rec over 10,000		50%
3	Motor		100%
	Largest Motor	6440	125%
4	Heater		100%
5	Kitchen		100%
6	Miscellaneous	5640	100%
7	Sub-Panel		100%

Load Summary

Per Phase		
Ph-A	8288	VA
Ph-B	8528	VA

Connected	16816 VA
Code Demand	14240 VA
Code Demand	59.70 Amps

FEEDER SCHEDULE

ALL WIRE SHALL BE COPPER UNLESS NOTED OTHERWISE

Feeder Key	# of Runs	Wire Size	Ground	Conduit	Notes
20A,3G	1 Set	3#12	+1#12G	3/4"C	1
20A,4G	1 Set	4#12	+1#12G	3/4"C	1
30A,3G	1 Set	3#10	+1#10G	3/4"C	1
30A,4G	1 Set	4#10	+1#10G	3/4"C	1
40A,3G	1 Set	3#8	+1#8G	3/4"C	1
40A,4G	1 Set	4#8	+1#8G	3/4"C	1
50A,3G	1 Set	3#6	+1#8G	1"C	
50A,4G	1 Set	4#6	+1#8G	1"C	
60A,3G	1 Set	3#4	+1#8G	1 1/4"C	
60A,4G	1 Set	4#4	+1#8G	1 1/4"C	
70A,3G	1 Set	3#4	+1#8G	1 1/4"C	
70A,4G	1 Set	4#4	+1#8G	1 1/4"C	
80A,3G	1 Set	3#3	+1#8G	1 1/4"C	
80A,4G	1 Set	4#3	+1#8G	1 1/4"C	
100A,3G	1 Set	3#1	+1#8G	1 1/2"C	
100A,4G	1 Set	4#1	+1#8G	1 1/2"C	
125A,3G	1 Set	3#1	+1#6G	1 1/2"C	
125A,4G	1 Set	4#1	+1#6G	1 1/2"C	
150A,3G	1 Set	3#1/0	+1#6G	2"C	
150A,4G	1 Set	4#1/0	+1#6G	2"C	
175A,3G	1 Set	3#2/0	+1#6G	2"C	
175A,4G	1 Set	4#2/0	+1#6G	2"C	
200A,3G	1 Set	3#3/0	+1#6G	2 1/2"C	
200A,4G	1 Set	4#3/0	+1#6G	2 1/2"C	

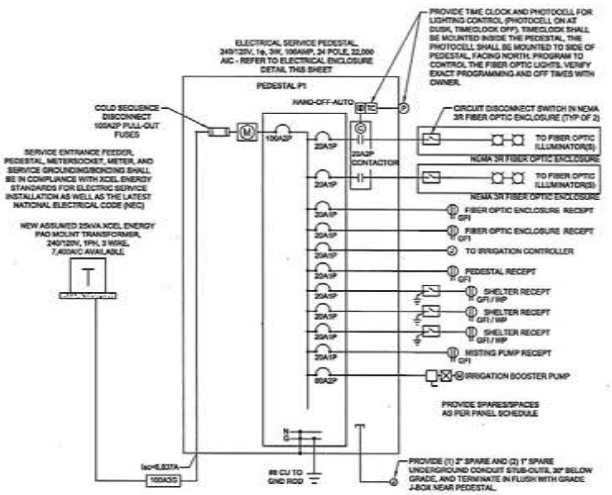
Notes:

1. For underground conduit, provide minimum 1"C

Short Circuit Summary

Point-to-Point * Feeder Summary

Description	Phase	Length	Isc Avail	# Runs	C	VL-L)	Isc @ Device
@ Utility Transformer			7400				7403
@ Pedestal P1	1	10	7400	1	7483	240	6827



Electrical One-Line Diagram Pedestal

Scale: NA

NOTES

THE ELECTRICAL SERVICE PEDESTAL SHALL BE U/L LISTED FOR ELECTRICAL SERVICE EQUIPMENT, NEMA-3R, AND SHALL BE A STAINLESS STEEL FREE STANDING COMMERCIAL PEDESTAL. INTERNAL CONSTRUCTION SHALL BE STAINLESS STEEL AND BARE ALUMINUM. HINGES SHALL BE STAINLESS STEEL AND OF THE CONTINUOUS PIANO HINGE TYPE. ALL COVERS PROTECTING LIVE ELECTRICAL PARTS SHALL HAVE A METAL LOCKABLE COVER. THE EXTERIOR DOORS SHALL HAVE PROVISIONS FOR PADLOCKING. THE PADLOCK HOLE SHALL BE A MINIMUM DIAMETER OF 5/16 INCHES. FASTENERS ON THE EXTERIOR OF THE ENCLOSURE SHALL BE VANDAL RESISTANT AND SHALL NOT BE REMOVABLE FROM THE EXTERIOR. ALL NUTS, BOLTS, SCREWS, WASHERS, AND HINGES SHALL BE STAINLESS STEEL.

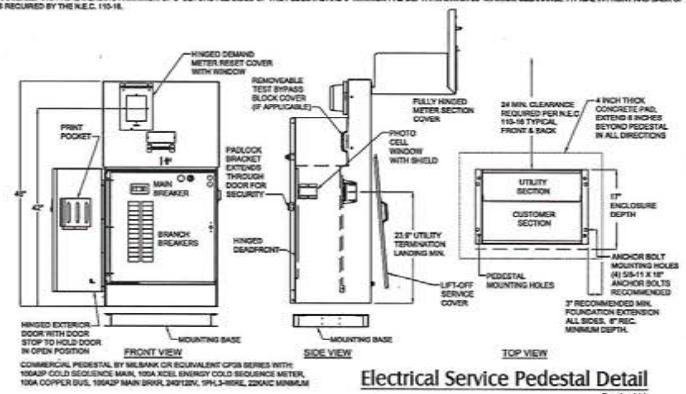
RATINGS OF THE PEDESTAL AND SERVICE EQUIPMENT SHALL CONFORM TO THE RATINGS INDICATED ON THE ONE-LINE DIAGRAM WITH A MAIN BREAKER RATED AS INDICATED ON THE ONE-LINE DIAGRAM.

SERVICE EQUIPMENT ENCLOSURE AND METERING EQUIPMENT SHALL MEET THE REQUIREMENTS OF XCEL ENERGY. THE METER AREA SHALL HAVE A SEALABLE, LOCKABLE, RAINTIGHT COVER THAT CAN BE REMOVED WITHOUT THE USE OF TOOLS.

ALL TERMINALS FOR THE INCOMING SERVICE CONDUCTORS SHALL BE RATED A MINIMUM OF 100A AND COMPATIBLE WITH EITHER COPPER OR ALUMINUM CONDUCTORS. LUGS SHALL BE SIZED APPROPRIATELY FOR CONDUCTORS IDENTIFIED ON THE PLAN. A SOLID NEUTRAL TERMINAL STRIP SHALL BE RATED 400A UNLESS OTHERWISE SPECIFIED AND FOR USE WITH COPPER OR ALUMINUM CONDUCTORS.

PROVIDE 100A, 240/120V, 1PH, 3W, DISTRIBUTION PANEL WITH COPPER BUSES, MAIN BREAKER AND ALL DISTRIBUTION BREAKERS AS INDICATED ON THE ONE-LINE DIAGRAM AND PANEL SCHEDULE. PLUG-IN CIRCUIT BREAKERS SHALL BE MOUNTED IN THE HORIZONTAL POSITION.

PROVIDE A HOUSEKEEPING PAD EXTENDING A MINIMUM OF 3" BEYOND ALL SIDES OF THE PEDESTAL AND 8" MINIMUM PAD DEPTH. MAINTAIN 36" MINIMUM CLEARANCE TYPICAL IN FRONT AND BACK OF THE PEDESTAL AS REQUIRED BY THE N.E.C. 110-16.



COMMERCIAL PEDESTAL BY MILBANK OR EQUIVALENT CP28 SERIES WITH: 100A2P COLD SEQUENCE MAIN, 100A XCEL ENERGY COLD SEQUENCE METER, 100A COPPER BUS, 100A2P MAIN BRKR, 240/120V, 1PH,3-WIRE, 22KAIC MINIMUM

Electrical Service Pedestal Detail

Scale: NA

DESIGN CONCEPTS

Community + Landscape Architects

TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

Project No.: 21623.00

Issued For:	Date:
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Drafted By: HR

Checked By: AB

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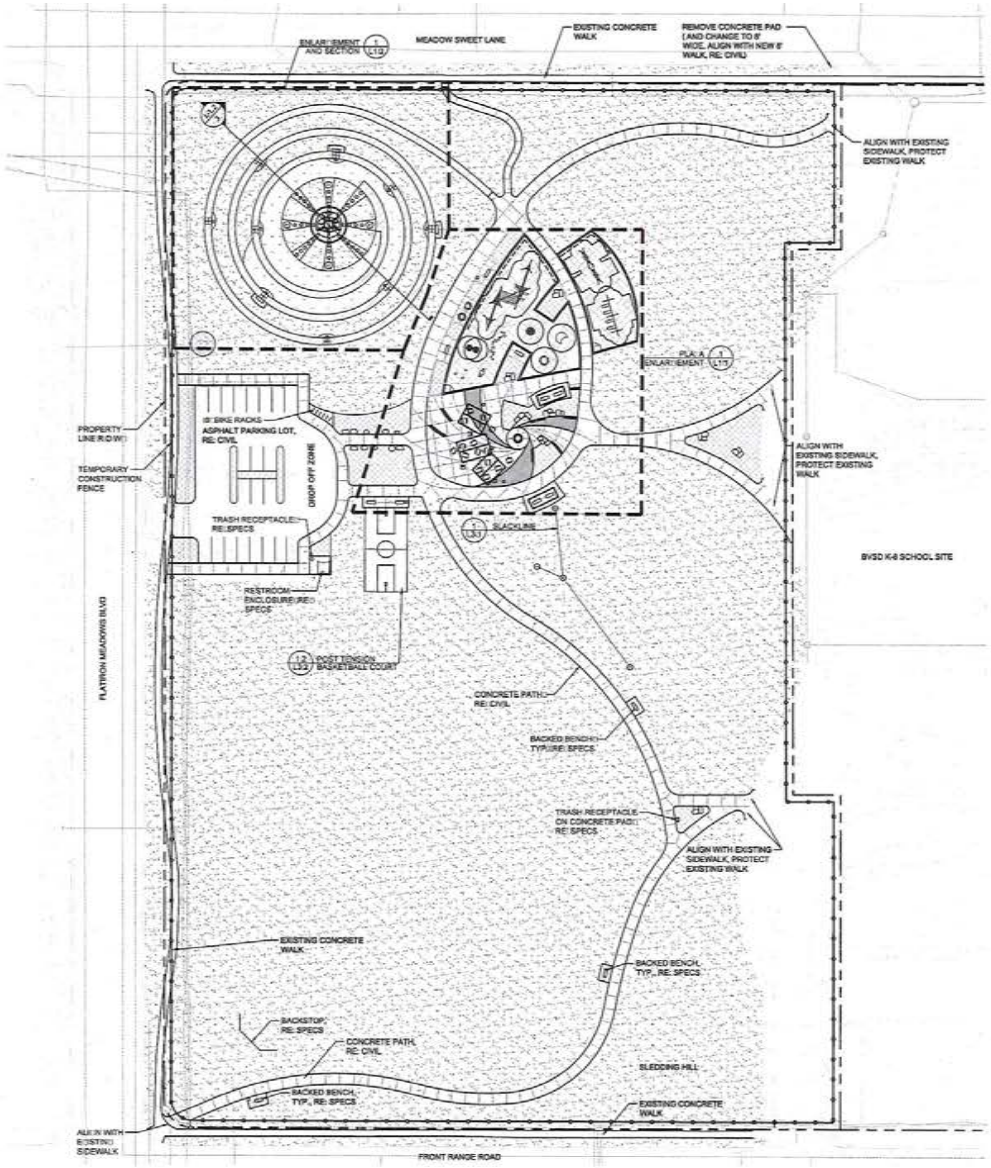
ELECTRICAL ONE-LINE DIAGRAM

E3.0

SITE NOTES

1. [illegible]
2. [illegible]
3. [illegible]
4. [illegible]
5. [illegible]
6. [illegible]



1 O□r□□S□□P□□

S□□□1" □4□□'

LE□END

- CONCRETE PAVING
- ENGINEERED WOOD FIBER: RE: SPECS
- CRUSHER FINES PAVING: RE: SPECS
- COLORED CONCRETE: SEE NOTES
- PLANTING BEDS
- SEED MIX
- SOD: RE: SPECS
- DECIDUOUS TREE: 2 1/2" CAL.
- EVERGREEN TREE: 8' AND 10' HT.
- ORNAMENTAL TREE: 2 1/2" CAL.
- SHRUBS □ PERENNIALS □ S
- SITE BENCH: RE: SPECS
- SITE TABLES: RE: SPECS
- SITE BOULDER
- TRASH RECEPTACLE: RE: SPECS
- BIKE RACK: RE: SPECS
- DRILL: RE: SPECS

NORTH 0 4□ 8□

DESIGN CONCEPTS

Community • Landscape Architecture

TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

SHAWN WEBER 503 04/11/2016 Original Date of Licensure STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT

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Checked By: LL & SW

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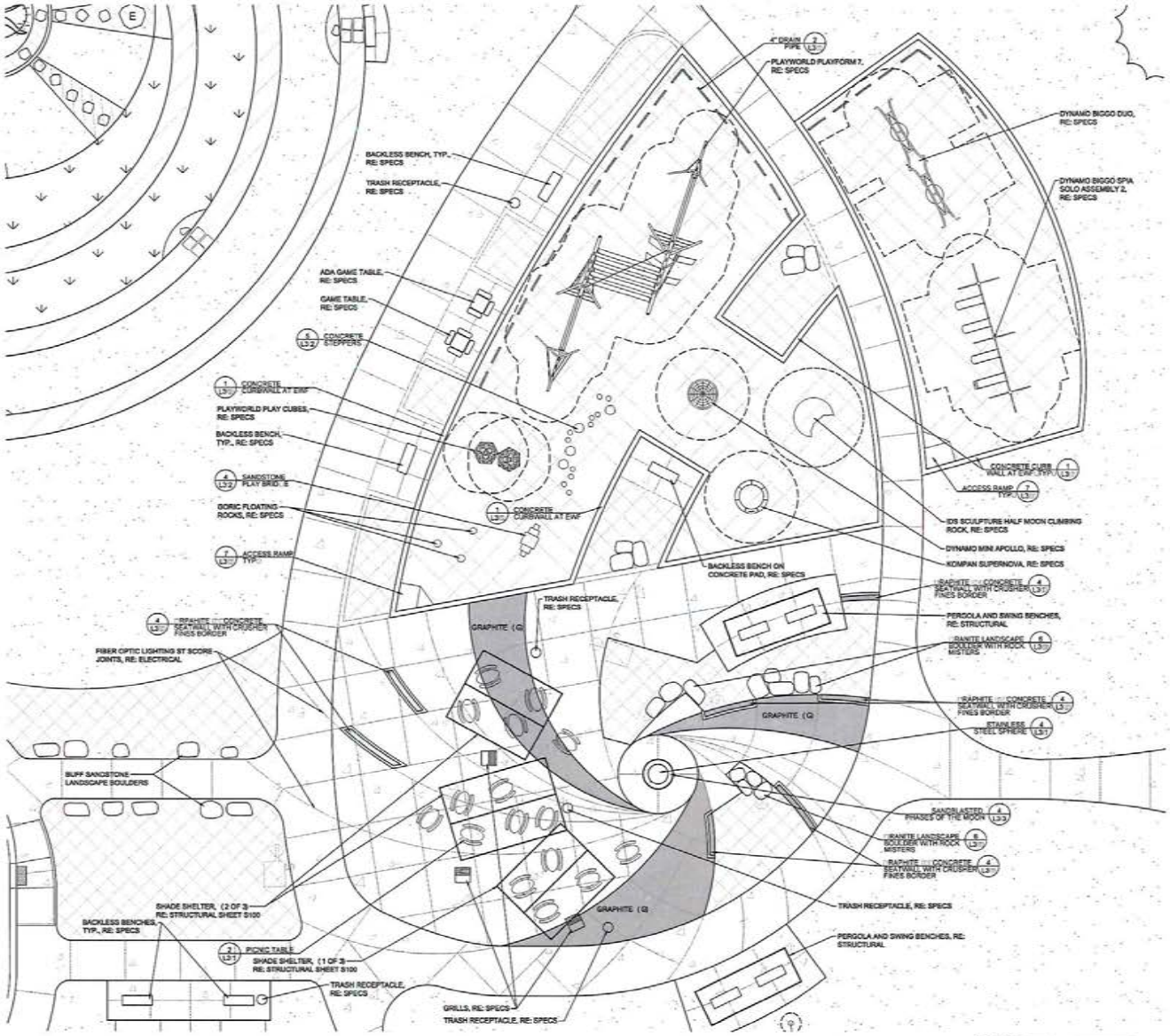
OVERALL SITE PLAN

□1.□



1 P[illegible] E[illegible]r[illegible]

S[illegible]1" [illegible]1[illegible]"

LEGEND

- CONCRETE PAVING
- ENGINEERED WOOD FIBER; RE: SPECS
- CRUSHER FINES PAVING; RE: SPECS
- COLORED CONCRETE; SEE NOTES
- PLANTING BEDS
- SEED MIX
- SOD; RE: SPECS
- DECIDUOUS TREE; 2 1/2" CAL.
- EVERGREEN TREE; 8' AND 12' HT.
- ORNAMENTAL TREE; 2 1/2" CAL.
- SHRUBS & PERENNIALS
- SITE BENCH; RE: SPECS
- SITE TABLES; RE: SPECS
- SITE BOULDER
- TRASH RECEPTACLE; RE: SPECS
- BIKE RACK; RE: SPECS
- GRILL; RE: SPECS

COLORED CONCRETE:

[illegible]

SANDBLASTING:

[illegible]

SCORING:

[illegible]

CONCRETE CONDITION AT FIBER OPTICS

[illegible]

DESIGN CONCEPTS

Community • Landscape Architecture

[illegible]

TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

SHAWN WEBER 502 04/17/2018 Original Date of Licensure STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT

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Drafted By: AJ & SM
Checked By: LL & SW

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PLAZA ENLARGEMENT

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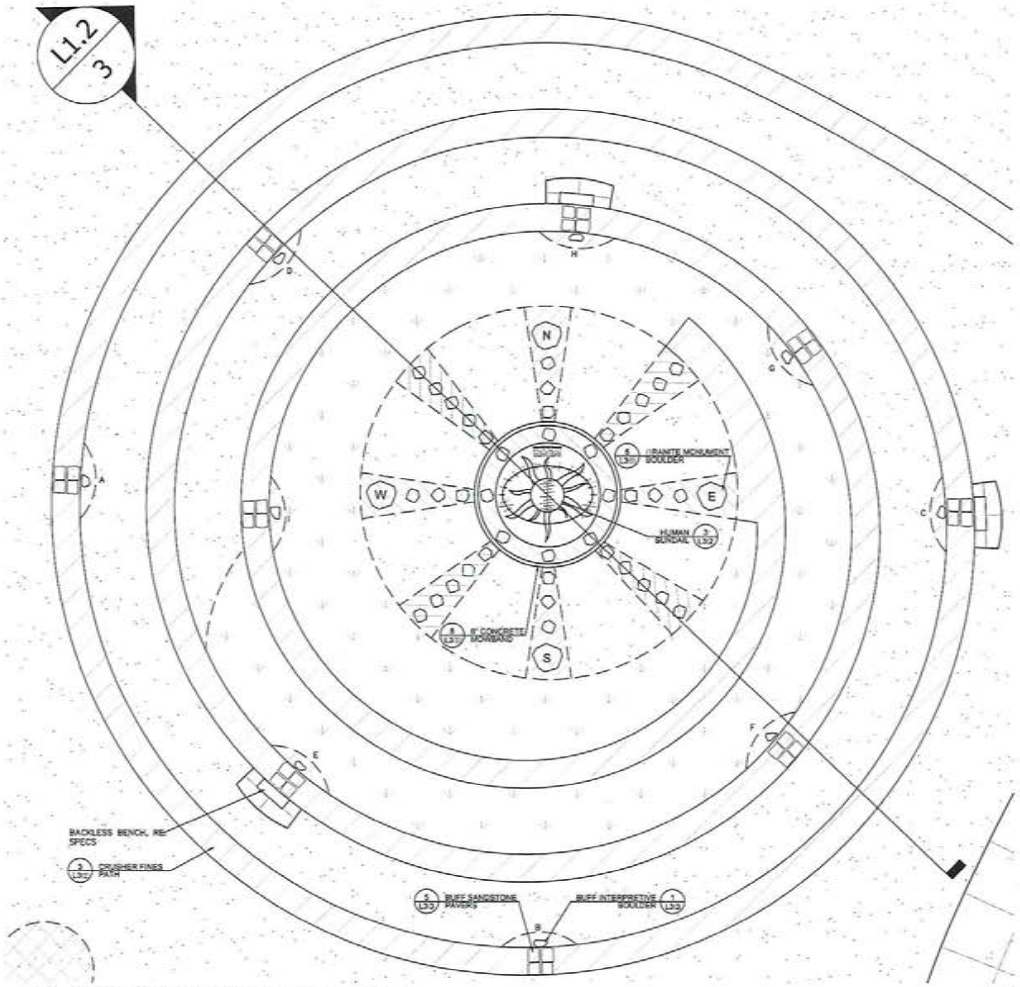

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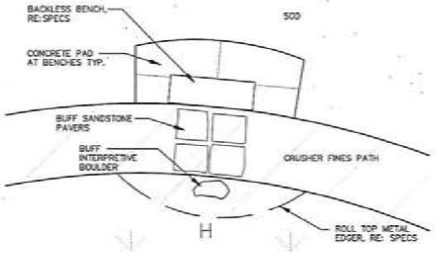
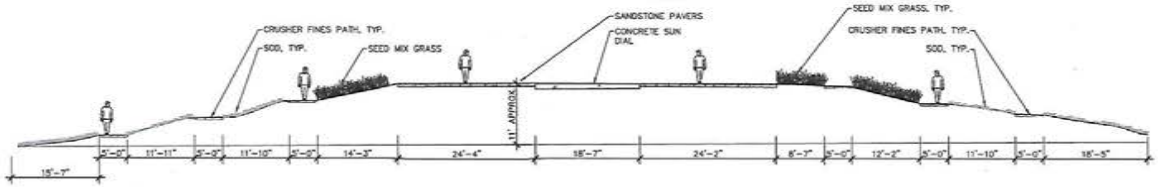


2 S□□d□□□□□ P□□□r□E□□r□□□ □□□P□□□

S□□□□5/4"□1□□"

NORTH

NORTH



3 S□□r S□□ □ □S□□□□□

S□□□□1" □1□□□"

LEGEND

- CONCRETE PAVING
- ENGINEERED WOOD FIBER: RE: SPECS
- CRUSHER FINES PAVING: RE: SPECS
- COLORED CONCRETE: SEE NOTES
- PLANTING BEDS
- SEED MIX
- SOD: RE: SPECS
- DECIDUOUS TREE: 2 1/2" CAL.
- EVERGREEN TREE: 8' AND 10' HT.
- ORNAMENTAL TREE: 2 1/2" CAL.
- SHRUBS / PERENNIALS / S
- SITE BENCH: RE: SPECS
- SITE TABLES: RE: SPECS
- SITE BOULDER
- TRASH RECEPTACLE: RE: SPECS
- BIKE RACK: RE: SPECS
- GRILL: RE: SPECS

DESIGN CONCEPTS

Community + Landscape Architects

TOWN OF ERIE 1909

STAR MEADOWS PARK

Erie, Colorado

SHAWN WEBER SOD 04/17/2018 Original Date of Licensure STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT

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Checked By: LL & SW

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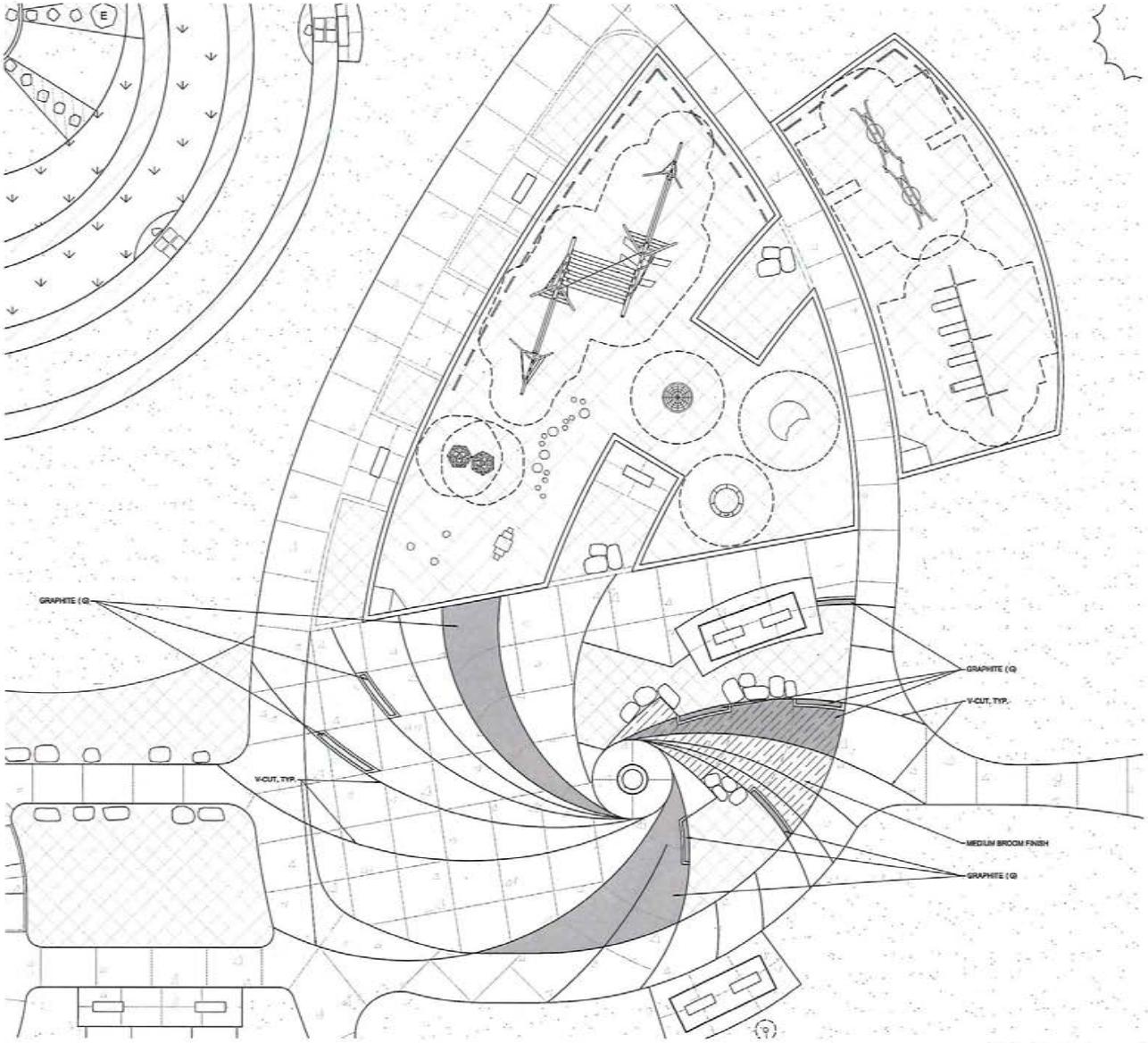
ENLARGEMENT AND SECTION

□1.2



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S[illegible]" [illegible]1[illegible]"

NORTH [illegible] 1[illegible] 2[illegible]

LE[illegible]END

- CONCRETE PAVIN[illegible]
- EN[illegible]INEERED WOOD FIBER [illegible]RE[illegible]SPECS
- CRUSHER FINES PAVIN[illegible]RE[illegible]SPECS
- COLORED CONCRETE[illegible]SEE NOTES
- PLANTIN[illegible] BEDS
- SEED MI[illegible]
- SCO[illegible]RE[illegible]SPECS
- DECIDUOUS TREE[illegible]2 1/2" CAL[illegible]
- EVER[illegible]REEN TREE[illegible]8[illegible]AND 1[illegible]HT[illegible]
- ORNAMENTAL TREE[illegible]2 1/2" CAL[illegible]
- SHRUBS [illegible] PERENNALS [illegible]
- SITE BENCH[illegible]RE[illegible]SPECS
- SITE TABLE[illegible]RE[illegible]SPECS
- SITE BOULDER
- TRASH RECEPTACLE[illegible]RE[illegible]SPECS
- BIKE RACK[illegible]RE[illegible]SPECS
- GRILL[illegible]RE[illegible]SPECS

COLORED CONCRETE[illegible]

1. [illegible] Add [illegible]

CONCRETE FLATWORK FINISHIN[illegible]

1. [illegible]

SANDBLASTIN[illegible]

1. [illegible]3/8" [illegible]

SCORIN[illegible]

1. [illegible]

CONCRETE CONDITION AT FIBER OPTICS

1. [illegible]

DESIGN CONCEPTS

Community • Landscape Architects

[illegible] North Public Road, Suite 200
Lafayette CO 80026
303-664-5201 www.dcla.net

TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

SHANEN WEBER 503 04/17/2018 Original Date of Licensure STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT

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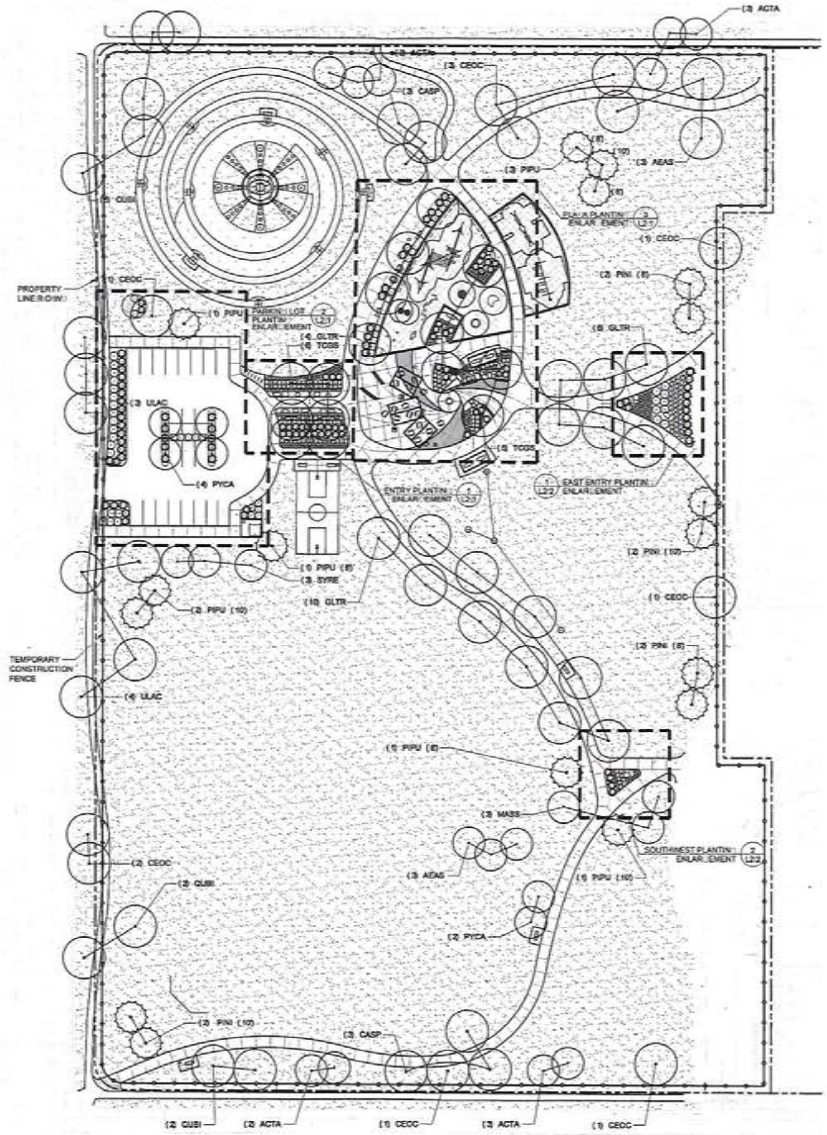
CONCRETE SCORING LAYOUT AT PLAZA

[illegible]1.[illegible]

LANDSCAPE NOTES

1. All plants are to be nursery grown stock from growers located in USDA hardiness zones 1, 2, 3 or 4.
2. New sod is to be bluegrass, per specifications. Lay sod 1 1/2" (from final grade) lower than adjacent paving grade or edger except in the center of a swale where drainage would be impeded.
3. Install mulch in all planting beds as indicated on plans and details. Sample of mulch to be approved by landscape architect prior to installation. For all single trees and shrubs not in a planting bed, provide shredded western red cedar mulch ring, 30" diameter, 4" depth.
4. Separate turf from shrub beds with roll top metal edge.
5. Contractor to install geotextile fabric for weed protection beneath all shrub beds.
6. Soil preparation shall consist of composted amendment applied at a rate of 5 cubic yards per 1000 SF and tilled at a depth of 6"-9".
7. The Contractor shall be solely responsible for safety in, on or about the project site. Any damage to adjacent property or utilities, not designated for removal, relocation or replacement, shall be repaired and/or replaced by the Contractor at the Contractor's expense.
8. The Contractor shall be responsible for obtaining any permits or licenses required for the performance of the work as applicable to the project.
9. The landscape architect and/or owner make no warranty as to the correctness and/or completeness of the existing utility locations shown or not shown on the plans. The Contractor shall be responsible for field verifying the horizontal and vertical location of all existing utilities including water, sewer, storm drains, gas transmission lines, and other utilities above and below the surface that may affect the project. Should any discrepancy or conflict be discovered the Contractor shall notify the landscape architect immediately, and shall not continue construction until said conflict can be resolved in writing.
10. The Contractor shall notify all utility companies at least 48 hours prior to beginning construction to verify depth and location of all utilities.
11. Contractor shall take appropriate measures to protect both on site and adjacent property, trees and vegetation. Areas outside the limits of work as shown on the plans and shall remain undisturbed. Any items not intended for demolition shall be protected. Any damage will be repaired at Contractor's expense.
12. All planting beds, sod, & trees to be irrigated with an underground irrigation system.
13. (8-10) Stockpile boulders on site to be used in landscape beds.



1 Landscape Plan

Scale: 1" = 40'

NORTH 0 40 80

LEGEND

- CONCRETE PAVING
- BIN MULCHED WOOD FIBER RE SPECS
- CRUSHER FINES PAVING RE SPECS
- COLORED CONCRETE SEE NOTES
- PLANTING BEDS
- SEED MIX
- SOD RE SPECS
- DECIDUOUS TREE 2 1/2" CAL
- EVERGREEN TREE 8 AND 1 HT
- ORNAMENTAL TREE 2 1/2" CAL
- SHRUBS PERENNIALS 15
- SITE BENCH RE SPECS
- SITE TABLES RE SPECS
- SITE BOULDER
- TRASH RECEPTACLE RE SPECS
- BIKE RACK RE SPECS
- FILL RE SPECS

PLANT SCHEDULE

CODE	DECIDUOUS TREES	COMMON NAME	CONT
AEAS	AESCULUS X ARNOLDIANA 'AUTUMN SPLENDOR'	Buckeye 'Autumn Splendor'	2" B&B
CASP	CATALPA SPECIOSA	Western Catalpa	2" B&B
CEOC	CELTIS OCCIDENTALIS	Western Hackberry	2" B&B
GLTR	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL'	Imperial Honeylocust	2" B&B
QUIM	QUERCUS BICOLOR	Swamp White Oak	2" B&B
QUMU	QUERCUS MUEHLENBERGII	Chinkapin Oak	2" B&B
TCGS	TILIA CORDATA 'GREENSPIRE'	Greenspire Linden	2" B&B
ULAC	ULMUS ACCOLADE	Accolade Elm	2" B&B
	ORNAMENTAL TREES	COMMON NAME	CONT
ACTA	ACER TATARIAN 'HOT WINGS'	Hot Wings Tatarian Maple	2" B&B
MASS	MALUS X 'SPRING SNOW'	Spring Snow Crab	1 1/2" B&B
PYCA	PYRUS CALLERIANA	Chanticleer Pear	1 1/2" B&B
SYRE	SYRINGA RETICULATA	Japanese Lilac	1 1/2" B&B
	EVERGREEN TREES	COMMON NAME	CONT
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PIPU	PICEA PUNGENS	Colorado Blue Spruce	8-10' B&B
	DECIDUOUS SHRUBS	COMMON NAME	CONT
PRBE	PRUNUS BESSEYI 'PAWNEE BUTTES'	Pawnee Buttes Sand Cherry	#5 cont.
RHGL	RHUS GLABRA 'LACINIATA'	Cutleaf Smooth Sumac	#5 cont.
SYPA	SYRINGA PATULA 'MISS KIM'	Miss Kim Lilac	#5 cont.
	EVERGREEN SHRUBS	COMMON NAME	CONT
GLSP	PICEA PUNGENS 'GLOBOSA'	Globe Blue Spruce	#5 cont.
JUHO	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	Blue Chip Juniper	#5 cont.
	PERENNIALS	COMMON NAME	CONT
AGRU	AGASTACHE RUPESTRIS	Sunset Hyssop	#1 cont.
GERO	GERANIUM ROZANNE	Rozanne Geranium	#1 cont.
PHVA	PHLOX PANICULATA 'DAVID'	Tall Garden Phlox	#1 cont.
	GRASSES	COMMON NAME	CONT
ACCA	CALAMAGROSTIS X ACUTIFLORA	Karl Foerster Feather Reed	#1 cont.

DESIGN CONCEPTS

Community + Landscape Architects

TOWN OF ERIE 1909

STAR MEADOWS PARK

Erie, Colorado

SHAWN WIEBER 503 04/12/2016 Digital Date of Licensure STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT

Project No.: 21623.00

Issued For:	Date:
100% DDs	11.04.16
50% CDs	12.13.16
90% CDs	02.24.17
BID SET	02.23.17

Drafted By: AJ & SM
Checked By: LL & SW

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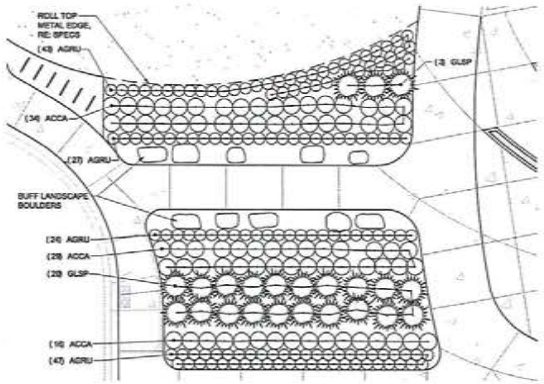
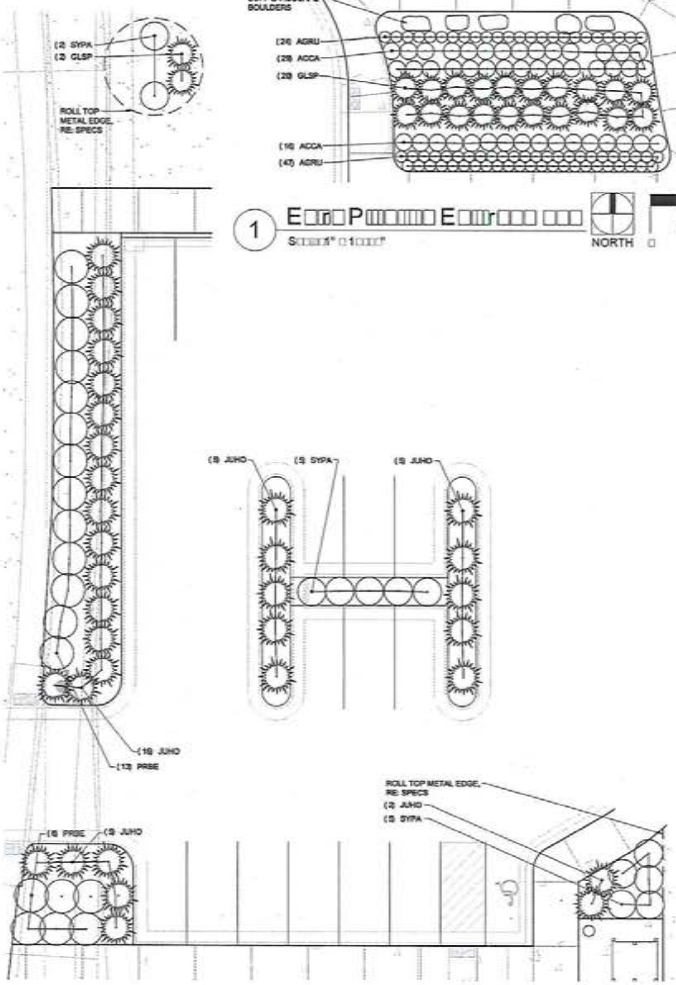
OVERALL LANDSCAPE PLAN

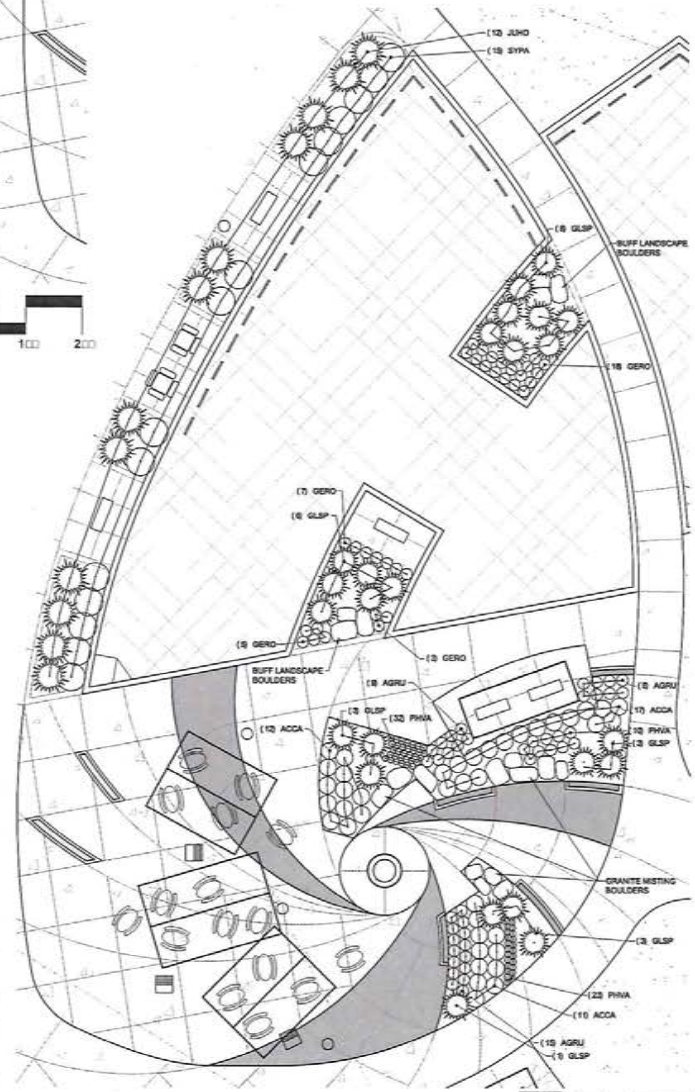
2.



1 E P E
S" 1"
NORTH 0 1 2



2 P L P E
S" 1"
NORTH 0 1 2



3 P P E
S" 1"
NORTH 0 1 2

LEGEND

- CONCRETE PAVING
- ENGINEERED WOOD FIBER: RE: SPECS
- CRUSHER FINES PAVING: RE: SPECS
- COLORED CONCRETE: SEE NOTES
- PLANTING BEDS
- SEED MIX
- SOD: RE: SPECS
- DECIDUOUS TREE: 2 1/2" CAL.
- EVERGREEN TREE: 8' AND 5' HT.
- ORNAMENTAL TREE: 2 1/2" CAL.
- SHRUBS / PERENNIALS: 1 5
- SITE BENCH: RE: SPECS
- SITE TABLES: RE: SPECS
- SITE BOULDER
- TRASH RECEPTACLE: RE: SPECS
- BIKE RACK: RE: SPECS
- PILL: RE: SPECS

PLANT SCHEDULE

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DESIGN CONCEPTS
Community + Landscape Architects
TOWN OF ERIE

STAR MEADOWS PARK

Erie, Colorado

SHANEN WEBER 503 04/17/2018 Original Seal of Licensure STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT

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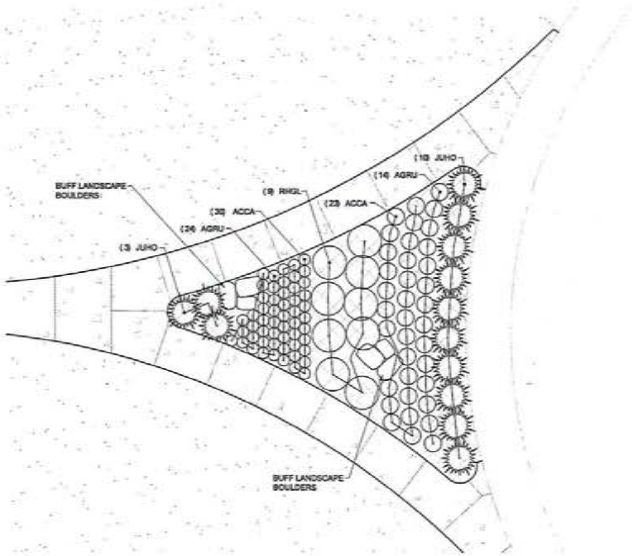
LANDSCAPE PLAN ENLARGEMENT

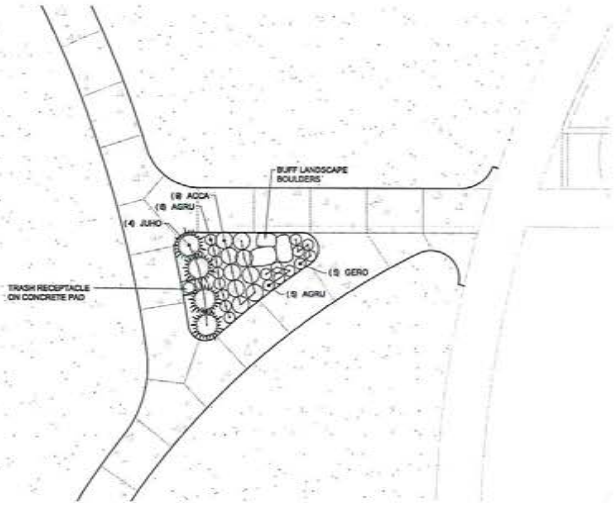
2.1



1 EAST ENTRY PLANTIN□

S□□□1" □1□□□"

NORTH 0 1□□ 2□□



2 SOUTHEAST PLANTIN□

S□□□1" □1□□□"

NORTH 0 1□□ 2□□

LE□END

- CONCRETE PAVIN□
- EN□INEERED WOOD FIBER: RE: SPECS
- CRUSHER FINES PAVIN□: RE: SPECS
- COLORED CONCRETE: SEE NOTES
- PLANTIN□: SEEDS
- SEED MI□
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- □RILL: RE: SPECS

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	GRASSES	COMMON NAME	CONT
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DESIGN CONCEPTS

Community • Landscape Architects

TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

SHAWN WEBER 503 04/17/2018 Original Date of Licensure STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT

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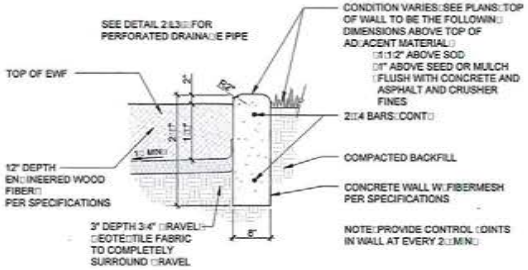
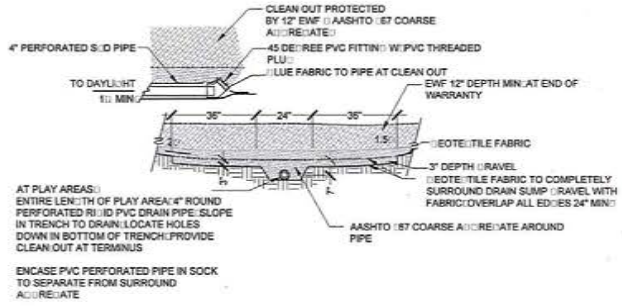
LANDSCAPE PLAN ENLARGEMENT

□2.2



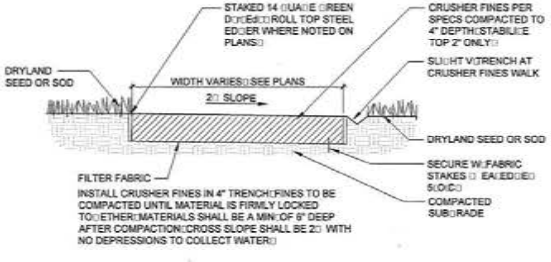
1 CONCRETE CURBWALL AT EWF

SCALE: 1" = 1'-0"



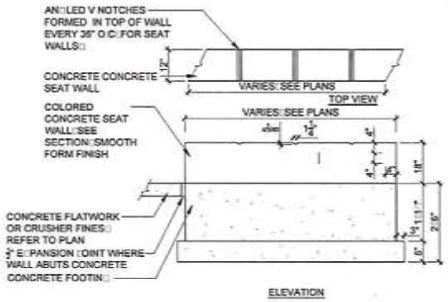
2 4" PERFORATED DRAIN PIPE

SCALE: 1/2" = 1'-0"

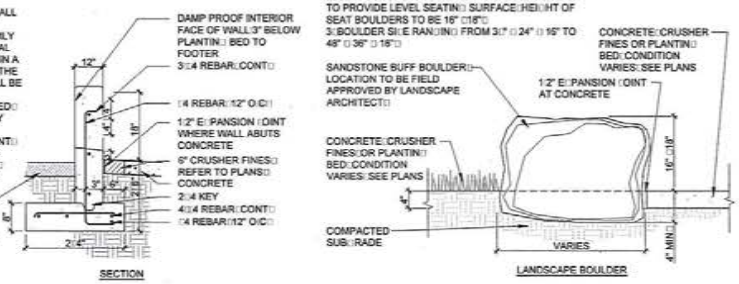


3 CRUSHER FINES PAVING

SCALE: 1" = 1'-0"



NOTES:
1. REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION
2. ALL EXPOSED FACES OF WALL SHALL RECEIVE SMOOTH FORM FINISH
3. ALL WIRE TIES SHALL BE UNIFORMLY SPACED ALONG LEVEL HORIZONTAL LINES AND PLUM VERTICAL LINES IN A GRID PATTERN AS INDICATED ON THE DRAWINGS. WIRE TIE PLUGS SHALL BE REMOVED AND CIRCLES SHALL REMAIN CLEANED AND UNPATCHED UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT
4. APPLY GRAFFITI FINISH TREATMENT APPLY AS PER MANUFACTURER'S RECOMMENDATIONS. SEE SPECS

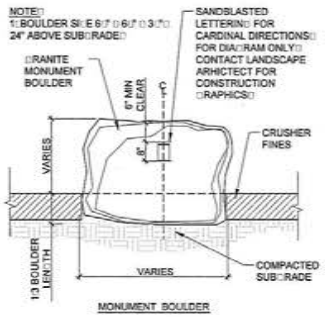


4 CONCRETE SEAT WALL

SCALE: 3/4" = 1'-0"

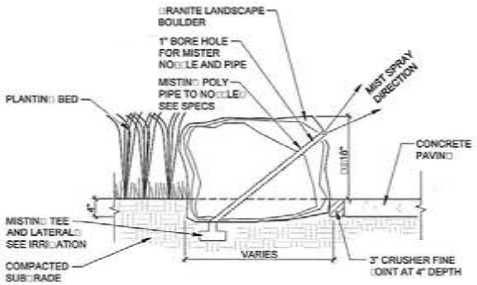
NOTES:
1. BOULDERS TO BE BURIED 1/3 BELOW SUBGRADE
2. SEAT BOULDERS TO BE SET WITH A FLAT SIDE UP TO PROVIDE LEVEL SEATING SURFACE HEIGHT OF SEAT BOULDERS TO BE 16" - 18"
3. BOULDER SIZE RANGING FROM 3' - 24" - 15" TO 48" - 36" - 18"

NOTE:
1. BOULDER SIZE 6' - 6' - 3' - 24" ABOVE SUBGRADE



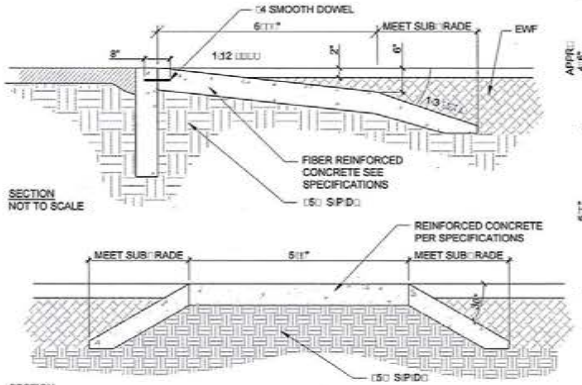
5 LANDSCAPE BOULDERS & MONUMENT BOULDERS

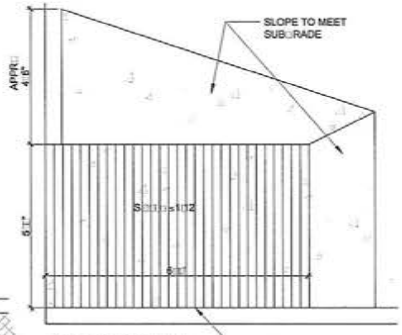
SCALE: 1" = 1'-0"

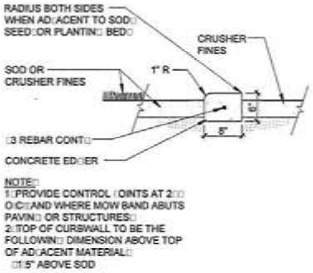


6 MISTING SYSTEM AT BOULDER

SCALE: 1" = 1'-0"







NOTE:
1. PROVIDE CONTROL JOINTS AT 20' O/C AND WHERE MOW BAND ABUTS PAVING OR STRUCTURES
2. TOP OF CURBWALL TO BE THE FOLLOWING DIMENSION ABOVE TOP OF ADJACENT MATERIAL
1'-5" ABOVE SOD

7 ACCESS RAMP AT PLAY AREAS

SCALE: NOT TO SCALE

8 8" CONCRETE MOW BAND

SCALE: 1" = 1'-0"

DESIGN CONCEPTS
Community • Landscape Architects
201 North Public Road, Suite 200
Lafayette CO 80026
303 604 2201 www.dcla.net

TOWN OF ERIE 1909

STAR MEADOWS PARK

Erie, Colorado

SHAWN WEBER 503
04/10/2018
Original Date of Licensure
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LICENSED LANDSCAPE ARCHITECT

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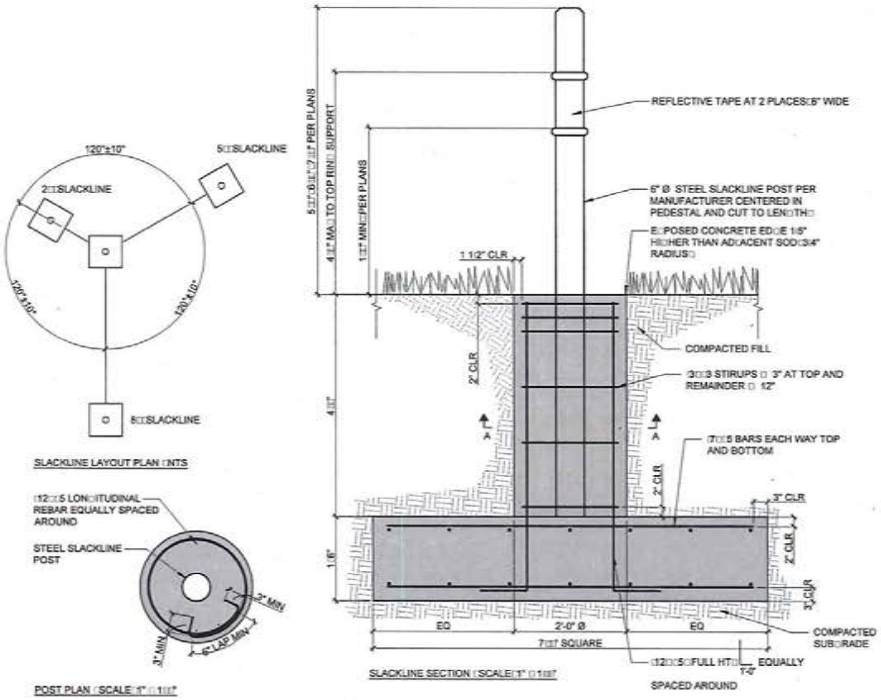
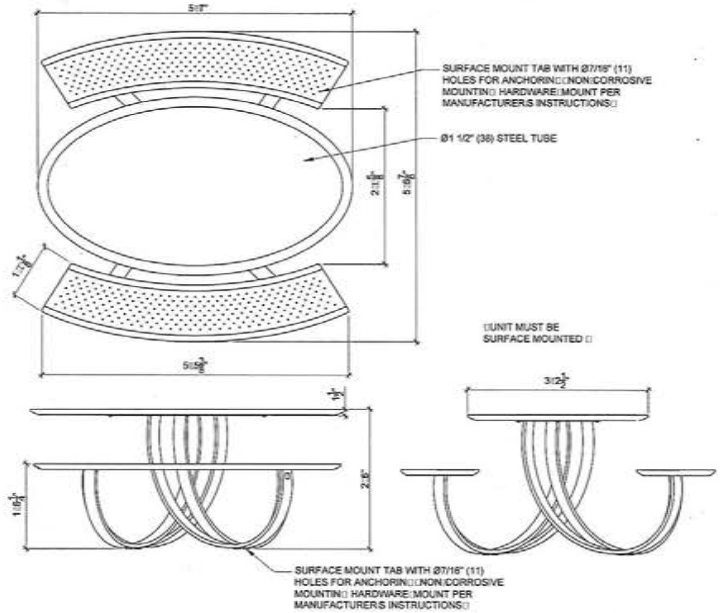
SITE DETAILS



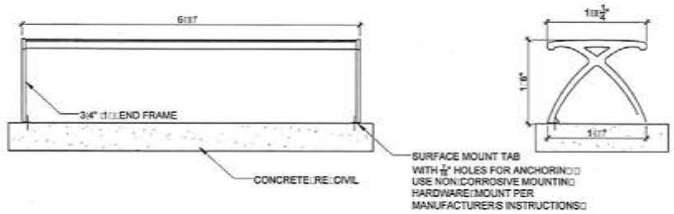
1 SLACKLINE FOOTIN□ AND LAYOUT

S□□□□AS INDICATED



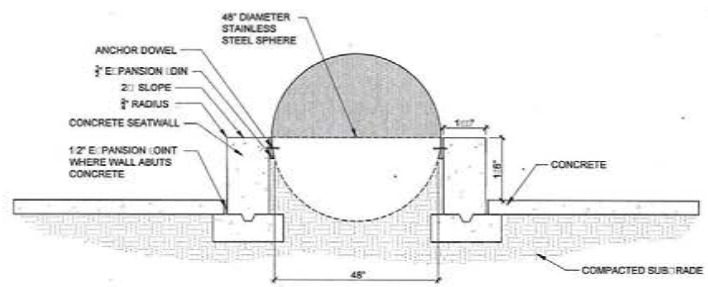
2 PICNIC TABLE

S□□□□1" □1□□□"



3 BACKLESS BENCH

S□□□□1" □1□□□"



4 STAINLESS STEEL SPHERE

S□□□□3/4" □1□□□"

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Community + Landscape Architects

TOWN OF ERIE

STAR MEADOWS PARK

Erie, Colorado

SHANEN WEBER 503 04/12/2013 Original Date of License STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT

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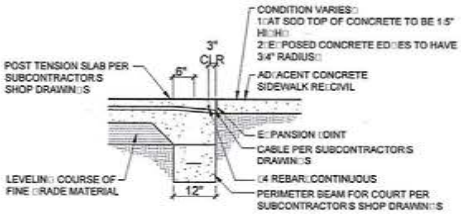
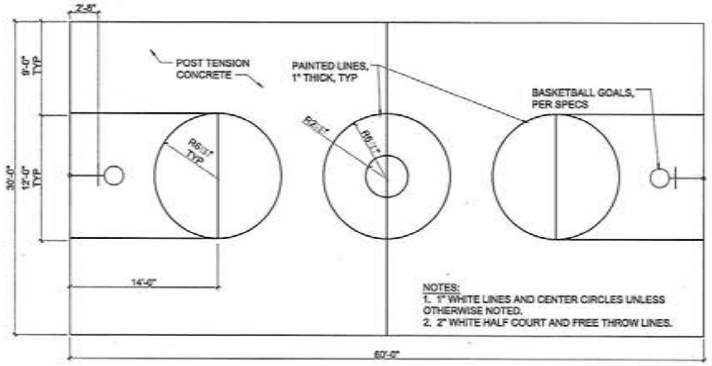


1 POST TENSION CONCRETE AT BASKETBALL COURT

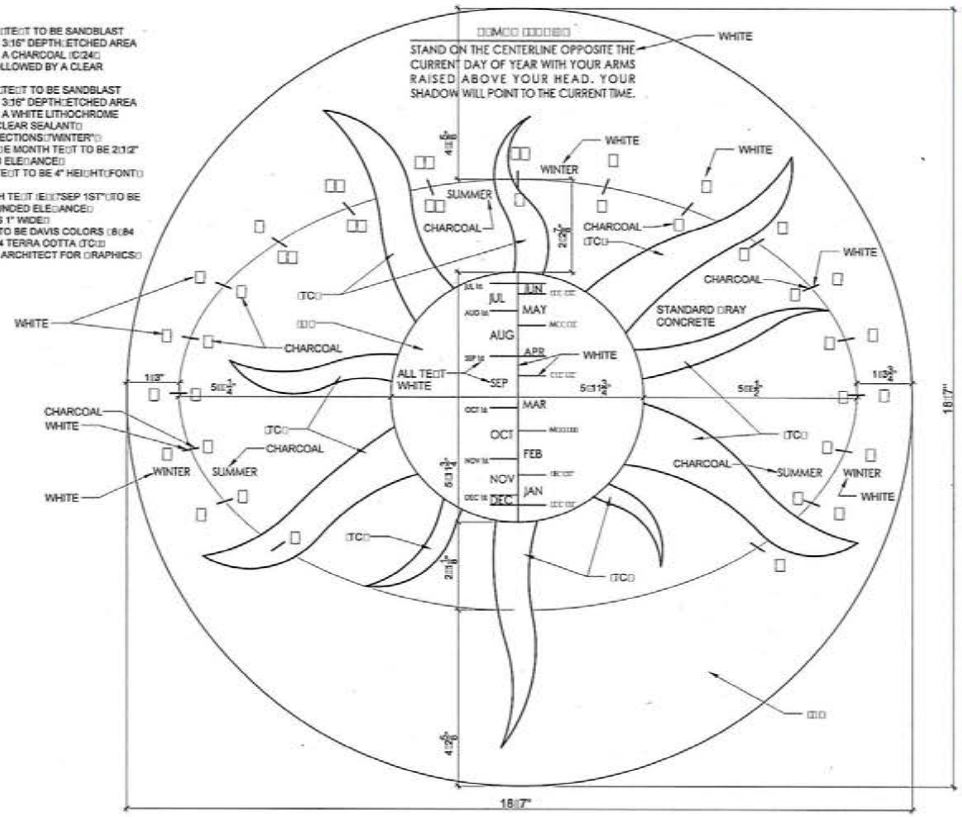
S□□□□3/4" □1□□□"



2 BASKETBALL COURT LAYOUT

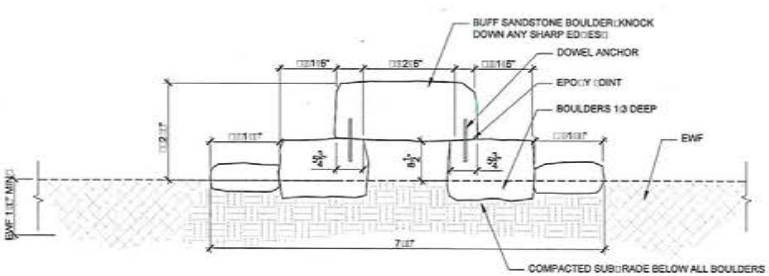
S□□□□3/16" □1□□□"

NOTES□
1:□STANDARD CONCRETE□TE□T TO BE SANDBLAST ETCHED TO A FLAT EVEN 3/16" DEPTH□ETCHED AREA TO BE SHADOWED□WITH A CHARCOAL □□24□ LITHOCHROME STAIN□FOLLOWED BY A CLEAR SEALANT□
2:□□RAPHITE CONCRETE□TE□T TO BE SANDBLAST ETCHED TO A FLAT EVEN 3/16" DEPTH□ETCHED AREA TO BE SHADOWED□WITH A WHITE LITHOCHROME STAIN□FOLLOWED BY A CLEAR SEALANT□
3:□HUMAN SUNDIAL"□DIRECTIONS□'WINTER"□ "SUMMER"□AND ALL LAR□E MONTH TE□T TO BE 2□1/2" HE□HT□FONT□ROUNDED ELE□ANCE□
4:□SUNDIAL NUMERICAL TE□T TO BE 4" HE□HT□FONT□ ROUNDED ELE□ANCE□
5:□SUNDIAL SMALL MONTH TE□T □E□□"SEP 1ST"□TO BE 1□1/2" HE□HT□FONT□ROUNDED ELE□ANCE□
6:□SUNDIAL LINE WIDTH IS 1" WIDE□
7:□COLORED CONCRETE TO BE DAVIS COLORS □8□84 □RAPHITE □□AND □5□134 TERRA COTTA □TC□□
8:□CONTACT LANDSCAPE ARCHITECT FOR □RAPHICS□



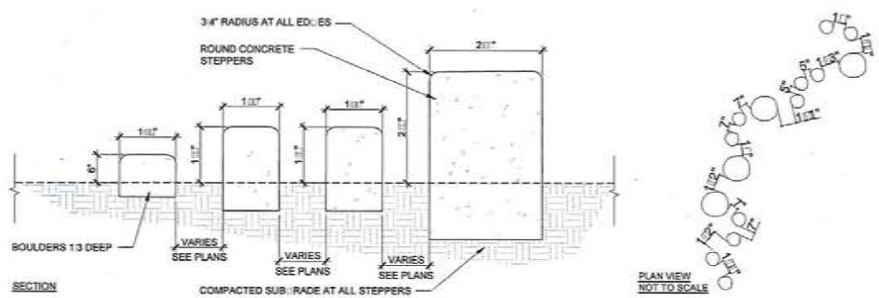
3 HUMAN SUNDIAL

S□□□□3/4" □1□□□"



4 SANDSTONE BRID□E

S□□□□1" □1□□□"



5 CONCRETE STEPPERS AT PLAY AREA

S□□□□1" □1□□□"

DESIGN CONCEPTS
Community + Landscape Architects
TOWN OF ERIE 1874

STAR MEADOWS PARK
Erie, Colorado

SHANEN WEBER 503
04/17/2018
Original Date of Licensure
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

Project No.: 21623.00

Issued For:	Date:
100% DDs	11.04.16
50% CDs	12.15.16
90% CDs	01.24.17
BID SET	02.21.17

Drafted By: AJ & SM
Checked By: LL & SW

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SITE DETAILS

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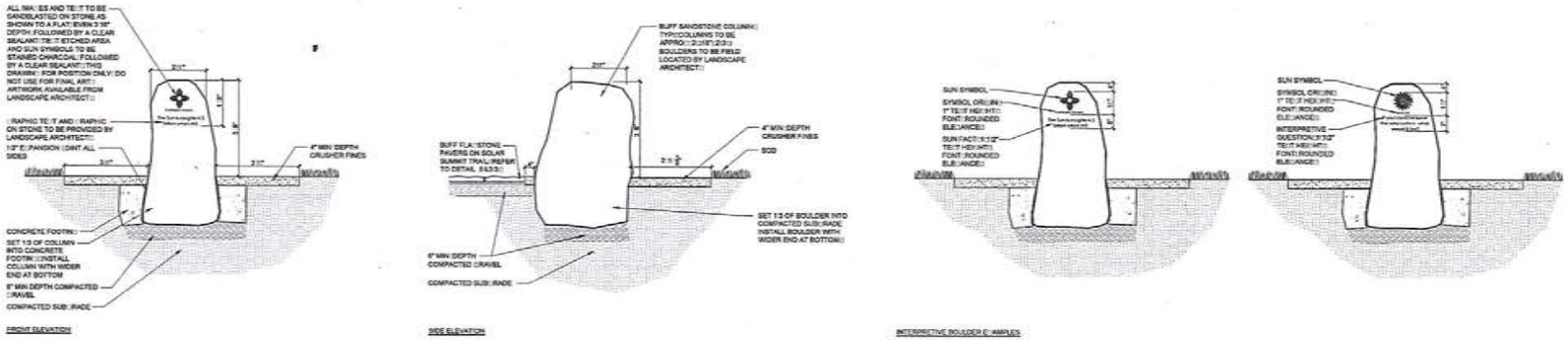


1 SOLAR SUMMIT INTERPRETIVE BOULDER

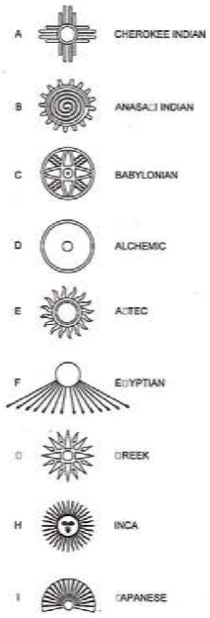
S□□□□1/2" □ 1□□□"

A. The Sun is roughly 4.5 billion years old.
B. If you could rename the solar system, what would it be?
C. The Sun is classified as a yellow dwarf star.
D. If you could take a vacation to any planet, which one would you choose?
E. The Sun is an almost perfectly round object.
F. Which planet do you consider to be Earth's best friend?
G. The Sun is all the colors mixed together.
H. If you were starting a colony on Mars and had to take three animals with you, what would you choose?
I. Do you think humans are alone as intellectual beings in the Universe?

NOTES□
1□SANDBLASTIN□ QUOTES ARE FOR REFERENCE ONLY□CONTACT LANDSCAPE ARCHITECT FOR □RAPHICS□
2□TE□T HEI□HT 2"□FONT□ROUNDED ELE□ANCE□

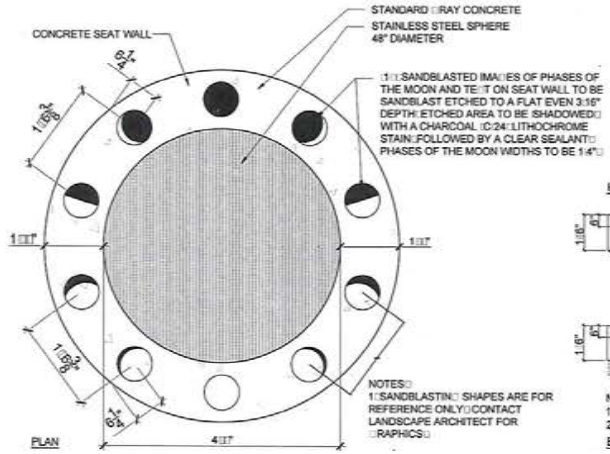
2 SOLAR SUMMIT SUN FACTS □ INTERPRETIVE QUESTIONS

S□□□□NTS



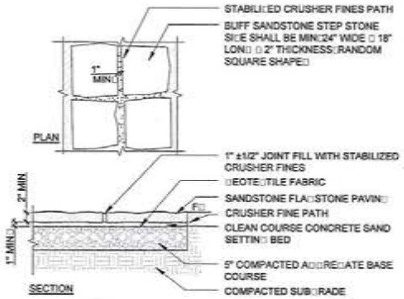
3 SOLAR SUMMIT SUN SYMBOLS

S□□□□NTS



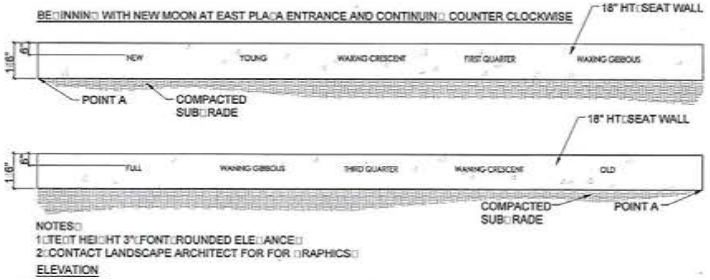
4 PHASES OF THE MOON AT SPHERE □ ON FACE OF SEATWALL

S□□□□NTS



5 STONE PAVERS AT CRUSHER FINES

S□□□□" □ 1□□□"



DESIGN CONCEPTS
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TOWN OF ERIE 1874

STAR MEADOWS PARK
Erie, Colorado

SHAWN WEBER 503
04/17/2018
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STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

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SITE DETAILS

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GENERAL

ALL WORK SHALL CONFORM TO TOWN OF ERIE STANDARDS AND SPECIFICATIONS AND WITH THE ACCEPTED PLANS. REFER TO THESE STANDARDS FOR ADDITIONAL INFORMATION AS NEEDED. A COPY OF THESE SPECIFICATIONS SHALL BE AVAILABLE ON THE WORK SITE AT ALL TIMES.

THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH PLANS DONE BY OTHERS SO THE PROPOSED GRADING, DRAINAGE WORK, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.

STORM WATER BEST MANAGEMENT PRACTICES SHALL CONFORM TO STATE OF COLORADO REQUIREMENTS. ALL STORM WATER REPORTS AND REQUIRED PAPERWORK SHALL ADHERE TO ALL STATE OF COLORADO REQUIREMENTS.

THE CONTRACTOR SHALL CERTIFY THAT THE GRADE IS WITHIN PLUS OR MINUS ONE-TENTH (1/10TH) OF THE FINAL GRADING PLAN PRIOR TO COMMENCEMENT OF ANY LANDSCAPE OR IRRIGATION WORK.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES ASSOCIATED WITH THE WORK AS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.

ANY REVISION TO THE LANDSCAPE PLAN SHALL BE REVIEWED AND APPROVED BY THE PARKS & RECREATION DIRECTOR OR DESIGNEE PRIOR TO IMPLEMENTATION.

THE CONTRACTOR SHALL HAVE AN ACCEPTED SET OF PLANS AND MUST HAVE HELD A PRE-CONSTRUCTION MEETING WITH THE TOWN OF ERIE PARKS DEPARTMENT PRIOR TO THE COMMENCEMENT OF ANY AND ALL WORK.

THE CONTRACTOR SHALL WARRANTY THE PLANT MATERIAL, WORKMANSHIP, AND IRRIGATION SYSTEM FOR A PERIOD OF TWO YEARS.

DO NOT DISTURB PAVING, LIGHTING, LANDSCAPE OR IRRIGATION THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLANS.

THE CONTRACTOR SHALL IDENTIFY, VERIFY AND PROTECT CONTROL POINT. CONTRACTOR SHALL VERIFY LOCATION OF CONTROL POINT WEEKLY AND THE ORIGINAL CONDITION OF CONTROL POINT PIN SHALL BE MAINTAINED THROUGH OUT ENTIRE PROJECT. LOCATION AND G.P.S. COORDINATES OF THE CONTROL POINT SHALL BE IDENTIFIED ON ALL PLANS AND AS-BUILTS.

GRAPHIC SYMBOLS SHALL PRESIDE OVER WRITTEN PLANT QUANTITIES.

ALL TREES SPECIES SHALL BE FROM THE TOWN OF ERIE APPROVED TREE LIST.

NATIVE PLANTS SHALL BE USED IN NATIVE SEED AREAS. REFER TO STANDARDS AND SPECIFICATIONS FOR COMPLETE SPECIES LIST.

ALL STREET TREE SPECIES AND THEIR LOCATIONS SHALL BE APPROVED BY PARKS & RECREATION DIRECTOR OR DESIGNEE FOR TREES PLANTED ADJACENT TO RESIDENTIAL HOMES WHETHER THEY ARE INSTALLED BY THE DEVLOPER, CONTRACTOR OR HOMEOWNER.

NO ASH TREES SHALL BE PLANTED UNDER ANY CIRCUMSTANCES

INSPECTIONS

FOR TOWN OF ERIE MAINTAINED TRACTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING AND COORDINATION OF ALL REQUIRED INSPECTIONS WITH THE TOWN OF ERIE. REFER TO TOWN OF ERIE STANDARDS AND SPECIFICATIONS FOR ALL REQUIRED INSPECTIONS.

FOR TOWN OF ERIE MAINTAINED TRACTS, THE CONTRACTOR SHALL GIVE THE TOWN FORTY-EIGHT (48) HOURS NOTICE TO VISIT THE SITE AND PERFORM ALL INSPECTIONS. THIS DOES NOT PRECLUDE THE RIGHT OF THE TOWN TO MAKE INFORMAL INSPECTIONS AT ANY TIME. THE CONTRACTOR SHALL NOTIFY THE TOWN FOR INSPECTIONS OF MATERIALS AND SOIL PREPARATION.

SOD SHALL BE INSTALLED FOR A MINIMUM OF THREE (3) WEEKS PRIOR TO CALLING FOR INSPECTIONS.

ALL HOA/DISTRICT MAINTAINED TRACTS SHALL BE INSPECTED BY A COLORADO LANDSCAPE ARCHITECT IN GOOD STANDING AND PAID FOR BY THE DEVELOPER. ALL TOWN OF ERIE LANDSCAPE ACCEPTANCE PROCEDURES SHALL BE FOLLOWED.

AS-BUILTS

APPROVED CONSTRUCTION DRAWINGS SHALL BE ON SITE DAILY AND UPDATED WEEKLY WITH AS-BUILT MARKUPS. CONTRACTOR SHALL MAKE AS-BUILTS AVAILABLE FOR REVIEW AND INSPECTION TO TOWN STAFF ON SITE AT ALL TIMES ON REQUEST. RECORD ALL CHANGES WHICH ARE MADE FROM THE CONTRACT DRAWINGS. RECORD ALL REQUIRED INFORMATION ON AS-BUILT DRAWINGS. DO NOT USE THESE PRINTS FOR ANY OTHER PURPOSE.

CONTRACTOR SHALL SUBMIT A RED LINED PAPER SET OF AS-BUILTS FOR REVIEW TO THE PARKS & RECREATION DIRECTOR OR DESIGNEE AND WILL NOT PROCEED WITH THE PRODUCTION OF FINAL MYLARS UNTIL ACCEPTANCE AND ANY REQUIRED CHANGES HAVE BEEN MADE.

CONTRACTOR SHALL SUBMIT REPRODUCIBLE MYLARS, FOUR (4) MIL THICKNESS, DOUBLE MATTED REVERSE FILM, (24" X 36") (SEPIA'S NOT ACCEPTABLE), AND A DISKETTE OF AS-BUILT PLAN DRAWINGS IN AUTOCAD AND PDF COMPATIBLE FORMAT PRIOR TO ENTERING THE WARRANTY PERIOD.

CONTRACTOR SHALL SUBMIT A FULL SET OF AS-BUILTS, WITH THE ACCURACY ATTESTED TO BY A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN COLORADO. ALL OF THE "AS-BUILT" DRAWINGS SHALL CONTAIN THE FOLLOWING STATEMENT:

THIS PLAN AND THE INFORMATION CONTAINED HEREON ACCURATELY REPRESENTS THE "AS BUILT" CONDITION OF THE IMPROVEMENTS AS SHOWN AS OF ________ (DATE)

BY: ____________________ P.E. NO. ______
JOHN DOE

FOR FURTHER INFORMATION SEE SECTION 200 OF THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS.

LANDSCAPE MATERIAL SPECIFICATIONS

SUBMITTALS

CONTRACTOR SHALL FURNISH MATERIAL SAMPLES ON REQUEST BY THE TOWN (MULCH, AMENDMENTS, EDGING, ETC.).

MULCH

WOOD CHIP MULCH SHALL BE OF A HIGH QUALITY FIBROUS NATURE, SUCH AS SHREDDED WOOD CHIPS OR SHAVINGS, WHICH ARE BETWEEN ONE (1) INCHES AND FOUR (4) INCHES IN LENGTH. MULCH SHALL BE CLEAN AND FREE OF SOIL OR MAN-MADE DEBRIS.

ROCK MULCH SHALL BE CLEAN, THREE-QUARTER (3/4) TO THREE (3) INCH ROUNDED, WASHED RIVER ROCK. ROCK COBBLE SHALL BE 3 - 4 INCH OR 3 - 6 INCH WASHED COBBLE. ROCK MULCH AND COBBLE SHALL BE CLEAN AND FREE OF SOIL OR MAN-MADE DEBRIS AND SHALL BE OF GOOD QUALITY. ALL ROCK MULCH OR COBBLE SAMPLES SHALL HAVE THE SIZE, PRODUCT NAME AND SUPPLIER LISTED WITH THE SAMPLE PROVIDED.

EDGING

EDGING SHALL BE THREE-SIXTEENTHS BY SIX (3/16 X 6) INCH GREEN PAINTED STEEL, ROLL TOP.

STAKING MATERIALS

STAKES: SIX (6) FOOT STEEL TEE POSTS FOR DECIDUOUS TREES. TWO (2) FOOT STEEL TEE POSTS FOR EVERGREEN TREES

WIRES: A DOUBLE STRAND OF NUMBER TWELVE (12) GAUGE GALVANIZED WIRE

NYLON STRAPS: ONE AND ONE-HALF INCH (1½) WIDE NYLON STRAP WITH EYELETS AT EACH END.

LANDSCAPE FABRIC

ALL LANDSCAPE FABRIC SHALL BE TYPAR 3401 OR MIRAFI MIRASCAPE GEO-TEXTILE POLYPROPYLENE FABRIC OR AN APPROVED EQUIVALENT.

ALL SEAMS IN THE FABRIC SHALL OVERLAP A MINIMUM OF TWELVE (12) INCHES. LANDSCAPE FABRIC PINS WILL BE USED A MINIMUM OF EVERY THREE (3) FEET ALONG THE EDGE OF THE FABRIC AS WELL AS A MINIMUM OF THREE (3) FEET ON CENTER THROUGHOUT THE FABRIC.

SOD

SOD SHALL CONSIST OF A BLEND OF AT LEAST THREE (3) VARIETIES OF BLUEGRASS. THIS BLEND IS TO BE APPROVED BY THE PARKS & RECREATION DIRECTOR OR DESIGNEE.

SOD SHALL BE STRONGLY ROOTED AND FREE OF NOXIOUS WEEDS, UNDESIRABLE PLANTS, ROOTS, STONES, AND OTHER FOREIGN MATERIALS THAT WILL BE DETRIMENTAL OR WILL HINDER THE PROPER DEVELOPMENT OF THE SOD. SEE SECTIONS 1023.00 AND 1043.00 WITHIN THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS FOR FURTHER INFORMATION.

EXECUTION

SOIL AMENDMENTS

PRIOR TO THE INSTALLATION OF PLANT MATERIAL, SOD, OR SEED, THE CONTRACTOR SHALL THOROUGHLY TILL EXISTING MATERIALS. THE CONTRACTOR SHALL THEN THOROUGHLY INCORPORATE ORGANIC AMENDMENTS AT A RATE OF FIVE (5) CU. YARDS PER THOUSAND (1000) FEET FOR ALL LANDSCAPED AREAS AND AT A RATE OF THREE (3) CU. YARDS PER THOUSAND (1000) FEET FOR ALL NATIVE AREAS.

THE FOLLOWING IS A LIST OF THE REQUIRED SOIL PREPARATION INSPECTIONS IN THEIR ORDER:

1. THE CONTRACTOR SHALL CERTIFY THAT THE GRADE IS WITHIN PLUS OR MINUS ONE-TENTH (1/10TH) OF THE FINAL GRADING PLAN PRIOR TO COMMENCEMENT OF ANY LANDSCAPE OR IRRIGATION WORK.
2. DURING OR AFTER FIRST CULTIVATION
3. AFTER APPLICATION OF SPECIFIED ORGANIC MATERIALS
4. DURING OR AFTER SECOND CULTIVATION
5. AFTER FINAL GRADE IS COMPLETED.

ANY WORKMANSHIP DEEMED BY THE TOWN TO BE FAULTY OR NOT IN ACCORDANCE WITH THE ACCEPTED PLANS AND THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS SHALL BE CORRECTED AT THIS TIME.

FOR TOWN OF ERIE MAINTAINED TRACTS, THE TOWN SHALL INSPECT ALL MANURE, ORGANIC MATERIALS, SEED AND SEED TAGS, MULCH, AND FERTILIZER UPON DELIVERY TO THE SITE. ANY UNSATISFACTORY MATERIALS SHALL BE REMOVED AND REPLACED WITH MATERIALS CONFORMING TO THE STANDARDS AND SPECIFICATIONS. WEIGHT TICKETS FOR ALL MATERIALS SHALL BE SUBMITTED TO THE TOWN AND CONFIRMATION IS REQUIRED BY TOWN INSPECTORS PRIOR TO SPREADING THE MATERIALS.

NATIVE SEEDING

DORMANT NATIVE SEEDING WITH STANDARD MIXTURES OF COOL SEASON AND WARM SEASON GRASSES (TABLES 1-7) MUST OCCUR BETWEEN OCTOBER 30TH AND APRIL 30TH. IN ORDER TO EXTEND THE SEEDING WINDOW AND MINIMIZE EROSION ON PROJECTS, SEEDING OF WARM-SEASON GRASSES ONLY WILL BE ALLOWED BETWEEN APRIL 1ST AND JUNE 15TH AND MIXTURES CONTAINING COOL-SEASON GRASSES ONLY WILL BE ALLOWED BETWEEN AUGUST 1ST AND OCTOBER 30TH. DORMANT SEEDING SHALL STILL BE REQUIRED BETWEEN OCTOBER 30TH AND APRIL 30TH AT PREVAILING RATES TO PROVIDE A FULL MIXTURE OF BOTH COOL AND WARM SEASON GRASSES. PERMISSION FOR EXCEPTIONS TO THIS SEEDING TIME MUST BE OBTAINED PRIOR TO SEEDING FROM THE PARKS & RECREATION DIRECTOR OR DESIGNEE. NO SEEDING SHALL BE DONE WHEN THE SOIL IS FROZEN, SNOW COVERED OR EXCESSIVELY WET.

ALL NATIVE SEES AREAS ADJACENT TO ALL TRAILS AND ROADS SHALL BE PLANTED WITH TOWN OF ERIE SPECIFIED SHORTGRASS PRAIRIE NATIVE SEED MIX WITHIN FIFTEEN (15) FEET OF EDGE OF TRAILS AND ROADS.

MOIST SWALE SEED MIX IS IN ADDITION TO MIXED GRASS PRAIRIE NATIVE AND SHORTGRASS PRAIRIE NATIVE SEED MIX IN AREAS REQUIRING, PER TOWN OF ERIE STANDARDS AND SPECIFICATIONS.

SEEDING, MOWING AND WEED CONTROL SHALL ALL BE CARRIED OUT AS DETAILED IN THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS.

CONTRACTOR SHALL APPLY BIOSOL AT A RATE OF EIGHT HUNDRED (800) POUNDS PER ACRE TO ALL NATIVE AREAS IMMEDIATELY FOLLOWING SEEDING AND PRIOR TO THE APPLICATION OF HYDRO-MULCH.

HYDRO-MULCH SHALL BE A WOOD CELLULOSE FIBER TYPE AND SHALL BE APPLIED AT THE MINIMUM RATE OF TWO THOUSAND FIVE HUNDRED (2,500) POUNDS PER ACRE WITH A MINIMUM RATE OF ONE HUNDRED AND FIFTY (150) POUNDS PER ACRE TACKIFIER AND SHALL BE APPLIED IMMEDIATELY AFTER SEED APPLICATION.

STRAW CONSISTING OF SEVENTY-FIVE (75) PERCENT STRAWS LONGER THAN TEN (10) INCHES MAY BE USED ON NATIVE SEEDING. IT SHALL BE APPLIED EVENLY OVER THE SEEDED SURFACE AT THE MINIMUM RATE OF TWO (2) TONS PER ACRE AND PARTIALLY EMBEDDED INTO THE SOIL USING A CRIMPER OR SIMILAR IMPLEMENT.

ALL HYDRO-MULCH FROM ALL PLANT MATERIALS, FENCES, CONCRETE AND OTHER AREAS EXCEPT FOR SEED BED SHALL BE REMOVED. OVERLY DENSE APPLICATIONS OF STRAW MULCH, OR WINDROWS OF LOOSE STRAW MULCH WHICH MAY SMOTHER SEEDLING GRASSES, MUST BE COLLECTED AND REMOVED. STRAW MULCH BLOWN ONTO ADJACENT RESIDENTIAL AREAS SHALL BE REMOVED BY THE LANDSCAPER RESPONSIBLE FOR THE PROJECT.

ALL NATIVE SEED SHALL RECEIVE TEMPORARY IRRIGATION UNTIL SEED IS ESTABLISHED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING BARRIERS AND SIGNS AS REQUIRED TO PROTECT SEEDED AREAS FROM PEDESTRIAN AND VEHICULAR DAMAGE.

THE CONTRACTOR SHALL WARRANTY ALL NATIVE SEEDED AREAS FOR CONSISTENCY AND COMPLETION OF COVERAGE. THE STANDARD OF ACCEPTABLE ESTABLISHMENT SHALL BE AT LEAST SIX (6) DESIRABLE SEEDED PLANT SEEDLINGS PER SQUARE FOOT. ALL BARE AREAS SHALL BE RE-SEEDED AND RE-MULCHED.

ANY REMAINING PEAT, SOIL, SAND, ROCK, OR SIMILAR MATERIAL WHICH HAS BEEN BROUGHT ONTO THE SITE BY WORK OPERATIONS OR OTHERWISE, SHALL BE REMOVED, AND ALL OTHER REMAINING DEBRIS WILL BE DISPOSED OF. ALL GROUND AREA DISTURBED SHALL BE RENOVATED TO ITS ORIGINAL CONDITION OR TO THE REQUIRED NEW CONDITION.

PLANT MATERIALS

ALL PLANT MATERIAL SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004.

PLANTS SHALL EXHIBIT GOOD ANNUAL GROWTH AND BUDS SHALL BE PLUMP AND WELL FITTED FOR THE SPECIES. FOLIAGE SHALL BE FULL AND DISPLAY A HEALTHY AND CONSISTENT COLOR WHEN IN LEAF. EVERGREEN FOLIAGE WILL BE GOOD INTENSE COLOR.

PLANT TAGS STATING THE CORRECT PLANT NAME AND SIZE SHALL BE SECURELY ATTACHED TO ALL PLANT MATERIALS. PLANTS SHALL BE TRUE TO THEIR NAME AS SPECIFIED. PLANT MATERIALS NOT MEETING THESE STANDARDS ARE SUBJECT TO REJECTION

ALL DECIDUOUS TREES SHALL BE TWO (2) INCH CALIPER OR LARGER. ALL ORNAMENTAL TREES SHALL BE ONE AND A HALF (1.5) INCH CALIPER OR LARGER. CALIPER MEASUREMENT SHALL BE TAKEN SIX (6) INCHES ABOVE THE ROOT FLARE IF FOUR (4) INCHES OR LESS AND TWELVE (12) INCHES ABOVE THE ROOT FLARE FOR LARGER TREE SIZES.

ALL EVERGREEN TREES SHALL BE A MINIMUM OF SIX (6) FEET TALL OR LARGER. HEIGHT DIMENSIONS REFER TO THE MAIN BODY OF THE TREE. FROM THE ROOT COLLAR AND ABOVE.

SHRUBS SHALL BE FIVE (5) GALLON CONTAINERS OR LARGER.

PERENNIALS AND GROUNDCOVERS SHALL BE ONE (1) GALLON CONTAINER OR LARGER.

ANY CHANGES IN SPECIES AND PLANT LOCATIONS SHALL BE SUBMITTED TO THE PARKS & RECREATION DIRECTOR OR DESIGNEE FOR REVIEW AND APPROVAL. OVERALL QUALITY AND DESIGN CONCEPT SHALL BE CONSISTENT WITH APPROVED LANDSCAPE PLAN.

ALL NEW AND REPLACEMENT PLANT MATERIALS REQUIRE INSPECTION AND SHALL BE TAGGED BY THE PARKS & RECREATION DIRECTOR OR DESIGNEE FOR ALL TOWN OF ERIE MAINTAINED AREAS PRIOR TO PLANTING. CONTACT APPROPRIATE TOWN OF ERIE STAFF TO ARRANGE FOR MATERIALS TO BE TAGGED.

PLANT MATERIALS SHALL BE LIVE, HEALTHY, VIGOROUS, STRUCTURALLY SOUND, AND FREE OF DISEASE AND INSECT INFESTATIONS. PLANT MATERIALS NOT MEETING THESE STANDARDS SHALL BE SUBJECT TO REJECTION AND SHALL BE REPLACED

REPLACEMENT OF PLANT MATERIALS SHALL OCCUR AT THE FOLLOWING RATE:

TYPE	1 YEAR	2 YEAR
DECIDUOUS TREE	INCREASE CALIPER BY ONE (1) INCH	INCREASE CALIPER BY ONE AND A HALF (1.5) INCH
EVERGREEN TREE	INCREASE HEIGHT BY ONE AND A HALF (1.5) FOOT	INCREASE HEIGHT BY TWO (2) FOOT

PLANTING PROCEDURES

OPTIMUM PLANTING PERIODS ARE FROM MARCH 15 TO JUNE 15 AND FROM SEPTEMBER 1 TO OCTOBER 31.

STORAGE

TREES SHALL BE PLANTED AS SOON AS POSSIBLE. IF NOT PLANTED ON THE DAY OF DELIVERY ALL PLANTS SHALL BE PLACED IN A TEMPORARY NURSERY, IRRIGATED DAILY, SHADED AND PROTECTED FROM SUN OR WIND. BALLED AND BURLAPPED TREES SHALL BE HEELED IN WITHIN 24 HOURS OF DELIVERY IN A COMPACT GROUP WITH A SUITABLE MULCH MATERIAL PLACED AROUND AND BETWEEN THE BALLS SO THEY ARE COMPLETELY COVERED. NO PLANT SHALL REMAIN ON THE JOB SITE IN TEMPORARY STORAGE FOR OVER A MONTH.

EXCAVATION

TREE PITS SHALL BE EXCAVATED A MINIMUM OF TWO (2) TIMES GREATER THAN THE DIAMETER OF THE ROOT BALL AND SHALL BE SAUCER SHAPED.

IF TREE PITS ARE DUG UTILIZING MECHANICAL EQUIPMENT, EDGES OF PLANTING HOLE SHALL BE FLARED DOWN TO CREATE A SAUCER SHAPED PLANTING PIT AND THE SIDES OF THE HOLE SHALL BE SCORED TO PREVENT GLAZING OR COMPACTION OF PLANTING HOLE.

THE DIAMETER OF ALL SHRUB PLANTING PITS SHALL BE TWELVE (12) INCHES GREATER IN DIAMETER THAN THE DIAMETER OF THE CONTAINER.

PLANTING DEPTH

THE ROOT FLARE SHALL BE IDENTIFIED ON ALL TREES PRIOR TO PLANTING TO ASSURE THAT THE HOLE HAS BEEN DUG TO THE PROPER DEPTH—AND NO MORE. THE PLANTING PIT SHALL BE DEEP ENOUGH TO ALLOW FOR THE ROOT FLARE TO REMAIN TWO (2) INCHES HIGHER THAN THE SURROUNDING FINISH GRADE.

SHRUB PITS SHALL BE EXCAVATED SO THAT THE TOP OF THE BALL SHALL BE ONE (1) INCH ABOVE FINISH GRADE AND AMENDED AS SHOWN ON THE PLANTING DETAIL.

PERENNIAL OR GROUNDCOVER PLANTS SHALL BE PLANTED ONE (1) INCH ABOVE FINISHED GRADE WITHIN THE AMENDED SOIL. THE CONTRACTOR SHALL INSTALL PERENNIAL OR GROUNDCOVER PLANTS TAKING NOTE OF REQUIRED ON-CENTER SPACING AND REQUIRED DISTANCES FROM EDGES.

PLANTING

THE ROOT BALL SHALL BE PLACED ON FIRM, UNDISTURBED SOIL IN THE PLANTING PIT TO PREVENT SETTLING. ALL PLANTS SHALL BE SET PLUMB AND STRAIGHT AND IN THE CENTER OF THE PITS AND FACED FOR BEST EFFECT.

ALL TWINE, ROPE, BURLAP, AND WIRE FROM ENTIRE ROOT BALL OF BALLED AND BURLAPPED STOCK SHALL BE REMOVED.

ALL CONTAINERS SHALL BE REMOVED PRIOR TO BACKFILLING. THIS INCLUDES ANY ORGANIC MANUFACTURED CONTAINERS. IF THE ROOT SYSTEM OF A CONTAINER GROWN PLANT HAS BECOME CONTAINER-BOUND, THE ROOTS SHALL BE CUT VERTICALLY ON A MINIMUM OF TWO SIDES OF THE ROOT MASS PRIOR TO PLANTING.

PLANTING PIT BACKFILL MIXTURE SHALL CONSIST OF TWO (2) PARTS OF EXCAVATED NATIVE SOIL AND ONE (1) PART ORGANIC SOIL AMENDMENT.

ALL PLANT TAGS, FLAGGING TAPE, LABELS, STRING, ETC. SHALL BE REMOVED FROM ALL PLANT MATERIALS.

MULCH

ALL DECIDUOUS TREES SHALL HAVE A SOD-FREE BASE AT LEAST FOUR (4) FEET IN DIAMETER AND EVERGREENS SHALL HAVE A SOD-FREE BASE EXTENDING TO THE DRIP LINE. MULCH SHALL BE THREE (3) INCHES DEEP AND SHALL BE PLACED TWO (2) INCHES FROM AND NOT MAKE CONTACT WITH TREE TRUNKS.

COBBLE AND WOOD MULCH SHALL BE SEPARATED BY THREE-SIXTEENTHS BY SIX (3/16 X 6) INCH GREEN STEEL EDGING.

MAINTENANCE

PRUNING

ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS AND SHALL BE ONLY PERFORMED BY AN I.S.A. CERTIFIED TREE WORKER OR ARBORIST. CONTRACTOR SHALL REMOVE AND REPLACE EXCESSIVELY PRUNED OR MALFORMED STOCK RESULTING FROM IMPROPER PRUNING.

WATERING

THE CONTRACTOR SHALL INSURE THAT ALL PLANT MATERIALS, SOD, AND SEEDED AREAS ARE WATERED AS NECESSARY UNTIL FINAL ACCEPTANCE HAS BEEN GRANTED

ALL PLANT MATERIALS SHALL BE GIVEN SUPPLEMENTAL WATER AS REQUIRED THROUGHOUT THE WINTER MONTHS

FERTILIZATION

TREES AND SHRUBS SHALL NOT BE FERTILIZED DURING INSTALLATION OR FOR THE FIRST TWELVE (12) MONTHS FOLLOWING INSTALLATION.

STALKING

ALL DECIDUOUS TREES SHALL BE STALKED FOR TWELVE (12) MONTHS AND EVERGREEN TREES FOR TWENTY-FOUR (24) MONTHS. CONTRACTOR IS RESPONSIBLE FOR PERIODICALLY RE-TENSIONING AND THE REMOVAL OF TREE STAKES THROUGHOUT THIS PERIOD.

WEEDING

ALL TREE WELLS; SHRUB AND PERENNIAL BEDS; SEEDED AND SODDED AREAS; AND AREAS WHERE GRAVEL, ROCK OR WOOD MULCH IS TO BE USED AS A GROUND COVER SHALL BE KEPT FREE OF GRASS AND WEEDS.

SOD

THE MAINTENANCE OF SODDED AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE HAS BEEN GRANTED. MAINTENANCE SHALL CONSIST OF REPAIR AND REPLACEMENT OF ERODED AREAS, WATERING, MOWING (WHEN THE SOD IS ESTABLISHED), WEEDING, FERTILIZING, AND RE-SODDING AS NECESSARY TO PROVIDE AN EVEN, CONSISTENT STAND OF GRASS. ALL REPLACEMENT SODDING DEEMED NECESSARY BY THE TOWN WILL BE DONE BY THE CONTRACTOR.

THE CONTRACTOR SHALL MAINTAIN A MOWING HEIGHT OF THREE INCHES (3"). FREQUENCY OF MOWING SHALL BE DETERMINED BY THE GROWTH RATE OF THE GRASS BUT AT NO TIME SHOULD THE CLIPPINGS EXCEED TWO INCHES (2") IN LENGTH.

LITTER REMOVAL

THE CONTRACTOR SHALL COLLECT AND REMOVE ALL LITTER OR TRASH FROM THE AREA WEEKLY AT HIS OWN EXPENSE.

DESIGN CONCEPTS
Community + Landscape Architects

TOWN OF ERIE

STAR MEADOWS PARK
Erie, Colorado

SHANEN WEBER 502
STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT

Project No.: 21623.00

Issued For:	Date:
100% CDs	11.04.16
50% CDs	12.13.16
95% CDs	01.24.17
BID SET	02.21.17

Drafted By: AI & SM
Checked By: LL & SW

PLANTING DETAILS

TABLE 1. MIXED GRASS PRAIRIE NATIVE SEED MIXTURE: FOR USE IN OPEN SPACE NATIVE SEEDING AT LEAST 15 FEED AWAY FROM ROAD AND TRAIL EDGES. THIS MIXTURE IS FOR GENERAL USAGE, IS DOMINATED BY SHORT TO MID-SIZED NATIVE PRAIRIE GRASSES (6-18 INCHES IN HEIGHT), BUT INCLUDES A FEW TALLER SPECIES (UP TO 36 INCHES). BEST FOR USE IN LARGER OPEN SPACE AREAS. BE SURE TO OVER SEED ANY SWALES OR MOIST AREAS WITHIN THIS SEEDING TYPE WITH THE MOIST SWALE SEED MIXTURE (TABLE 3). WHILE SEEDING IS PREFERRED BEGINNING IN LATE WINTER (AFTER FEBRUARY 1ST), THIS MIXTURE MAY BE USED BETWEEN OCTOBER 30TH AND APRIL 30TH ONLY WITHOUT SUPPLEMENTAL IRRIGATION. IF ADEQUATE SUPPLEMENTAL IRRIGATION IS IN PLACE, THIS MIXTURE MAY BE SEEDED THROUGH JUNE 15TH.

COMMON NAME	SCIENTIFIC NAME	VARIETY	OZ/ACRE	PLS LBS/ACRE
Buffalo grass	Buchloe dactyloides	Native, Bison or Texoka		3
Sideoats grama	Bouteloua curtipendula	Butte, Niner or El Reno		5
Prairie sandreed	Calamovilfa longifolia	Goshen or Bowman		1
Blue grama	Chondrosum gracile	Lovington, Alma,Native or Hachita		3
Western wheatgrass	Pascopyrum smithii	Arriba or Rosana		5
Little bluestem	Schizachyrium scoparium	Pastura, Cimarron, Aldous Camper		4
Alkali sacaton	Sporobolus airoides	Common		1
Sand dropseed	Sporobolus cryptandrs	Common		1
Switchgrass	Panicum virgatum	Blackwell		5
SEEDING RATE POUNDS PLS/ACRE				28
Optional Addition of Native Wildflowers				
Fringed sage	Artemisia frigida	Common	1	
Purple prairie clover	Dalea purpurea	Common	6	
Blanketflower	Gaillardia aristata	Common	6	
Gayfeather	Liatris punctata	Common	4	
Tansy aster	Machaeranthera tanacetafolia	Common	3	
Prairie coneflower	Ratibida columnifera	Common	3	
OUNCES			23	1.4375
SEEDING RATE POUNDS PLS/ACRE WITH NATIVE WILDFLOWERS OPTION				29.4375

TABLE 2. SHORTGRASS PRAIRE NATIVE SEED MIXTURE: FOR USE IN OPEN SPACE NATIVE SEEDING LESS THAN 15 FEET FROM ROAD AND TRAIL EDGES. THIS MIXTURE IS FOR SPECIFIC USAGE NEAR TRAILS OR WHERE SHORTER GRASSES ARE DESIRED (SUCH AS SMALLER PARK SITES). IT IS DOMINATED BY SHORT TO MID-SIZED NATIVE PRAIRIE GRASSES (6-18 INCHES IN HEIGHT). BEST FOR USE ALONG ROADS AND TRAILS AND IN SMALLER NATIVE SEEDED PARK AREAS. BE SURE TO OVER SEED ANY SWALES OR MOIST AREAS WITHIN THIS SEEDING TYPE WITH THE MOIST SWALE SEED MIXTURE (TABLE 3). WHILE SEEDING IS PREFERRED BEGINNING IN LATE WINER (AFTER FEBRUARY 1ST) THIS MIXTURE MAY BE USED BETWEEN OCTOBER 30TH AND APRIL 30TH ONLY WITHOUT SUPPLEMENTAL IRRIGATION. IF ADEQUATE SUPPLEMENTAL IRRIGATION IS IN PLACE, THIS MIXTURE MAY BE SEEDED THROUGH JUNE 15TH.

COMMON NAME	SCIENTIFIC NAME	VARIETY	OZ/ACRE	PLS LBS/ACRE
Buffalograss	Buchloe dactyloides	Native, Bison or Texoka		14
Blue grama	Chondrosum gracile	Lovington Alma,Native, or Hachita		12
Sand dropseed	Sporobolus cryptandrus	Common		4
SEEDING RATE POUNDS PLS/ACRE				39
Optional Addition of Native Wildflowers				
Fringed sage	Artemisia frigida	Common	1	
Purple prairie clover	Dalea purpurea	Common	4	
Gayfeather	Liatris punctata	Common	4	
Tansy aster	Machaeranthera tanacetafolia	Common	3	
OUNCES			12	0.75
SEEDING RATE POUNDS PLS/ACRE WITH NATIVE WILDFLOWERS OPTION				39.75

TABLE 3. MOIST SWALE SEED MIXTURE: THIS MIXTURE IS INTENDED TO BE SEEDED OVER THE TOP OF EITHER TABLE 1 OR TABLE 2 SEED MIXTURES IN LOCATIONS WHICH MAY BE MOIST AT LEAST SOMEOF THE YEAR (SUCH AS POND EDGES, SMALL OR LARGER SWALES OR DITCHES WITHIN THE OPEN SPACE AREAS OR ALONG ROADS, IN DETENTION OR RETENTION BASINS, OR ALONG THE INNER BANKS OF IRRIGATION DITCHES. BE SURE TO SEED ONE OF THE OTHER SEED MIXTURES FIRST AND THEN ADD THIS MIXTURE TO PROVIDE ADEQUATE SPECIES ADAPTED TO MOIST CONDITIONS. THIS MIXTURE MAY BE USED BETWEEN OCTOBER 30TH AND JUNE 15TH WITHOUT SUPPLEMENTAL IRRIGATION, AND FROM JUNE 16TH THROUGH JULY 31ST IF ADEQUATE SUPPLEMENTAL IRRIGATION IS PRESENT AND ACCEPTABLE TO THE PARKS & RECREATION DIRECTOR OR DESIGNEE.

COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS LBS/ACR
Woolly sedge	Carex lanuginosa	Native	0.5
Nebraska sedge	Carex nebrascensis	Native	0.1
Blue grama	Chondrosum gracile	Lovington, Alma,Native or Hachita	1.5
Buffalograss	Buchloe dactyloides	Native, Bison or Texoka	0.5
Inland saltgrass	Distichlis stricta	Native	0.5
Baltic rush	Juncus balticus	Native	0.1
Prairie cordgrass	Spartina pectinata	Native	1
Alkali sacaton	Sporobolus airoides	Native	3
Switchgrass	Panicum virgatum	Blackwell	3
Western wheatgrass	Pascopyrum smithii	Arriba or Rosana	5
SEEDING RATE POUNDS PLS/ACRE			15.2
Optional Addition of Native Wildflowers			
Aster	Aster laevis		0.05
Yarrow	Achillea millefolium	Western	0.05
Prairie coneflower	Ratibida columnifera		0.05
SEEDING RATE POUNDS PLS/ACRE WITH NATIVE WILDFLOWER OPTION			15.35

TABLE 4. ROADSIDE NATIVE SEED MIXTURE: THIS MIXTURE IS INTENDED FOR USE FOR SEEDING OF PUBLIC WORKS ROADSIDE RE-VEGETATION PROJECTS. IT IS AN ADAPTABLE MIX OF SHORT TO MID-SIZE NATIVE AND INTRODUCED WARM AND COOL SEASON GRASSES. USE FOR PUBLIC WORKS ROADSIDE AND RIGHT-OF-WAY SEEDING PROJECTS ONLY. THIS MIXTURE MAY BE USED BETWEEN OCTOBER 30TH AND APRIL 30TH ONLY.

COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS LBS/ACRE
Western wheatgrass	Pascopyrum smithii	Arriba or Rosana	8.0
Crested wheatgrass	Agropyron cristatum	Ephriam	5.0
Streambank wheatgrass	Elymus lanceolatus	Sodar	5.0
Sideoats grama	Bouteloua gracilis	Butte,Niner or El Reno	2.0
Blue grama	Bouteloua gracilis	Lovington, Alma, Native or Hachita	5.0
Buffalograss	Buchloe dactyloides	Native, Bison or Texoka	3.0
Sand dropseed	Sporobolus cryptandrus	Common	1.0
SEEDING RATE POUNDS PLS/ACRE			29.0

TABLE 5. WARM SEASON MIXED GRASS PRAIRIE NATIVE SEED MIXTURE: FOR USE IN OPEN SPACE NATIVE SEEDING AT LEAST 15 FEET AWAY FROM ROAD AND TRAIL EDGES. THIS MIXTURE IS FOR GENERAL USAGE, IS DOMINATED BY SHORT TO MID SIZED NATIVE PRAIRIE GRASSES (6-18 INCHES IN HEIGHT), BUT INCLUDES A FEW TALLER SPECIES (UP TO 36 INCHES). BEST USED IN LARGER OPEN SPACE AREAS. THIS MIXTURE IS TO BE USED BETWEEN APRIL 1ST AND JUNE 15TH ONLY UNLESS SUFFICIENT SUPPLEMENTAL IRRIGATION IS PRESENT. IRRIGATION MUST BE APPROVED BY THE PARKS & RECREATION DIRECTOR OR DESIGNEE. IF PRESENT, MIXTURE CAN BE SEEDED JUNE 16TH THROUGH JULY 31ST.

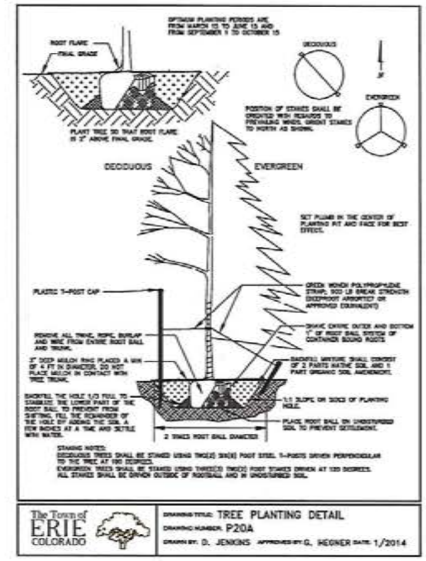
COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS POUNDS/ACRE
Side Oats Grama	Bouteloua curtipendula	Butte,Niner or El Reno	7
Blue Grama	Bouteloua gracilis	Lovington,Alma, Native or Hachita	4
Buffalograss	Buchloe dactyloides	Native,Bison or Texoka	4
Switchgrass	Panicum virgatum	Blackwell	7
Little Bluestem	Schizachyrium scoparium	Pastura,Aldous, Cimarron or Camper	6
Sand Dropseed	Sporobolus cryptandrus	Common	2
SEEDING RATE POUNDS PLS/ACRE			30.00

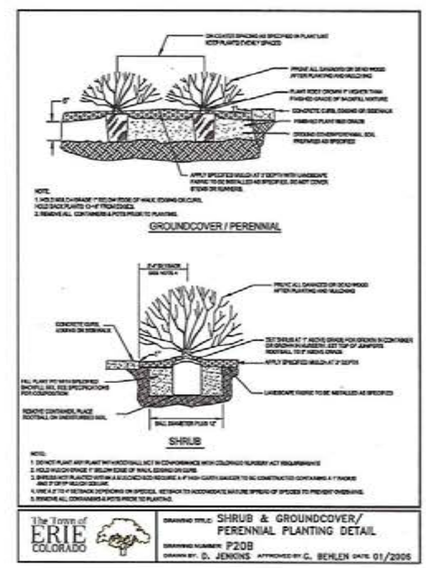
TABLE 6. WARM SEASON SHORTGRASS PRAIRIE AND ROADSIDE NATIVE SEED MIXTURE: THIS MIXTURE IS AN ADAPTABLE MIX OF SHORT TO MID-SIZE NATIVE WARM SEASON GRASSES WITH SPECIFIC USAGE NEAR TRAILS OR WHERE SHORTER GRASSES ARE DESIRED (SUCH AS SMALLER PARK SITES). IT IS DOMINATED BY SHORT TO MID SIZED NATIVE PRAIRIE GRASSES (6-18 INCHES IN HEIGHT). USE FOR AREAS WITHIN 15 FEET OF TRAILS, AS WELL AS FOR PUBLIC WORKS ROADSIDE AND RIGHT-OF-WAY SEEDING PROJECTS BETWEEN THE MONTHS OF APRIL 1ST AND JUNE 15TH ONLY UNLESS SUFFICIENT SUPPLEMENTAL IRRIGATION IS PRESENT. IF SUFFICIENT IRRIGATION IS PRESENT AS DETERMINED BY THE PARKS & RECREATION DIRECTOR OR DESIGNEE THIS MIXTURE CAN BE SEEDED JUNE 16TH THROUGH JULY 31ST.

COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS POUNDS/ACRE
Side Oats Grama	Bouteloua curtipendula	Butte,Niner or El Reno	7
Blue Grama	Bouteloua gracilis	Lovington, Alma,Native or Hachita	4
Buffalograss	Buchloe dactyloides	Native,Bison or Texoka	4
Switchgrass	Panicum virgatum	Blackwell	7
Little Bluestem	Schizachyrium scoparium	Pastura,Aldous, Cimarron or Camper	6
Sand Dropseed	Sporobolus cryptandrus	Common	2
SEEDING RATE POUNDS PLS/ACRE			30.00

TABLE 7: COOL SEASON GRASS NATIVE SEED MIXTURE: THIS MIXTURE SHALL BE USED FOR MIXED GRASS PRAIRIE, MOIST SWALE AND ROADSIDE LOCATIONS ONLY BETWEEN THE DATES OF AUGUST 1ST AND SEPTEMBER 15TH. AREAS ADJACENT TO TRAILS SHALL BE SEEDED WITH THE STANDARD SHORTGRASS PRAIRIE NATIVE SEED MIXTURE BETWEEN THE MONTHS OF OCTOBER 30TH AND APRIL 30TH ONLY.

COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS POUNDS/ACRE
Western Wheatgrass	Pascopyrum smithii	Arriba or Rosana	12
Crested Wheatgrass	Agropyron cristatum	Ephriam	9
Streambank Wheatgrass	Elymus lanceolatus	Sodar	9
SEEDING RATE POUNDS PLS/ACRE			30.00





DESIGN CONCEPTS
Community + Landscape Architecture

TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

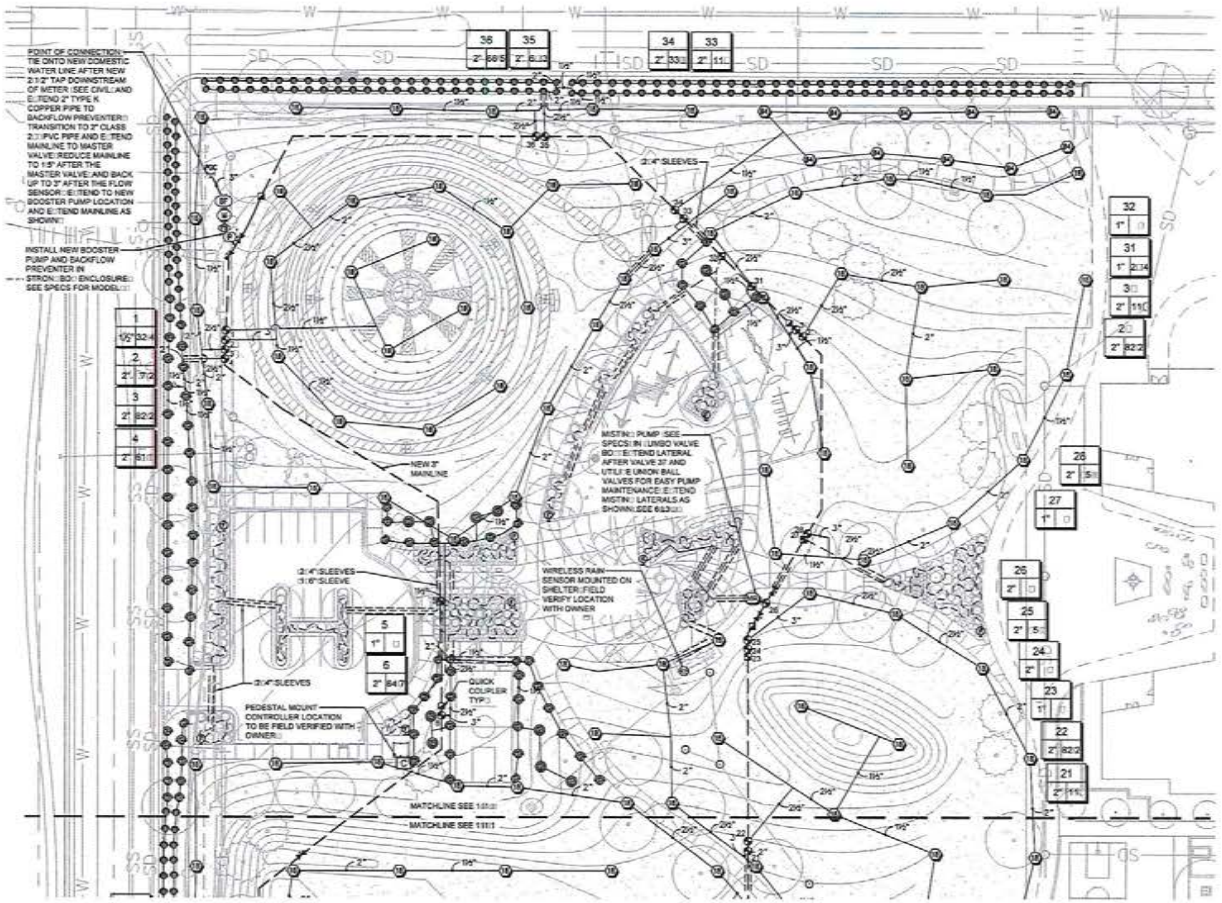
SHANEN WEBER 503 — STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT

Project No.: 21623.00

Issued For:	Date:
100% DDs	11.04.16
50% CDs	12.13.16
90% CDs	01.24.17
BID SET	02.21.17

Drafted By: AJ & SM
Checked By: LL & SW

PLANTING DETAILS



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IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
C H F	Rain Bird 1806-SAM-PRS-5 Series MPR Turf Spray 6.0' Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	30
S T H F	Rain Bird 1806-SAM-PRS-6 Series MPR Turf Spray 6.0' Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	30
S T N F	Rain Bird 1806-SAM-PRS-10 Series MPR Turf Spray 6.0' Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	30
S T N E F	Rain Bird 1806-SAM-PRS-12 Series MPR Turf Spray 6.0' Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	30
S T N E F	Rain Bird 1806-SAM-PRS-15 Series MPR Turf Spray 6.0' Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI	GPM	RADIUS
(M)	Rain Bird T4-PC, TC-SS Turf Rotor, 4.0" Pop-Up, Stainless Steel Riser, Adjustable and Full Circle, With Removable Seal-A-Matic Check Valve, 1" Female Threaded Inlet.	40	3.30	41'
(L)	Rain Bird T4-PC, TC-SS Turf Rotor, 4.0" Pop-Up, Stainless Steel Riser, Adjustable and Full Circle, With Removable Seal-A-Matic Check Valve, 1" Female Threaded Inlet.	40	8.10	51'
(XL)	Rain Bird T4-PC, TC-SS Turf Rotor, 4.0" Pop-Up, Stainless Steel Riser, Adjustable and Full Circle, With Removable Seal-A-Matic Check Valve, 1" Female Threaded Inlet.	40	13.7	59'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Rain Bird XC2-100-PRF Medium Flow Drip Control Kit, 1" DV valve, 1" pressure regulating filter, 40psi pressure regulator. 3gpm - 15gpm.
(F)	Flush Valve 3/4" PVC ball valve in 10" valve box.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability. Globe Configuration.
	Rain Bird 44-LRC 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body.
	Mueco-Nenco 10RT 2" to 8" cast iron gate isolation valve. Ring-Tite Gasket Ends. Resilient wedge with epoxy coating and optional nut. For IPS pipe. Same size as mainline pipe.
(W)	Master Valve Bermad 410
(BF)	Febco 825YA 2" Reduced Pressure Backflow Preventer
(C)	Rain Bird ESP-LXD-LXMMSS-LXMMSSPED 50 station 2-wire, exterior stainless steel pedestal. Flow sensing.
(FS)	Hunter HFS-200 Flow Sensor for use with ACC controller. 2" Schedule 40 Sensor Body. 24 VAC, 2 amp.
(P)	Booster Pump Rain Bird End Suction Pump: See Specs For Model #
(MP)	Misting Pump High-Pressure Misting Pump and equipment. See Specs.
POC 2"	Point of Connection 2-1/2"
	Irrigation Lateral Line: PVC Class 200 SDR 21 PVC Class 200 irrigation pipe. Only lateral transition pipe sizes 1 1/4" and above are indicated on the plan, with all others being 1" in size.
	Irrigation Mainline: PVC Class 200 SDR 21
	Pipe Sleeve: PVC Class 200 SDR 21 (1) 4" sleeve, unless otherwise noted. Pipe sleeve size shall be minimum 2 pipe sizes larger than the pipe passing through it. Extend sleeves 1.5' beyond edges of paving or construction, and mark both ends with a 2" "V" in pavement.

Valve Callout

- Valve Number
- Valve Flow
- Valve Size

IRRIGATION NOTES:

The irrigation system is designed for a static pressure of 90 PSI after the Booster Pump. Contractor to verify pressure prior to any installation and notify Landscape Architect of any discrepancies immediately.

1. No irrigation work to begin until final grade has been approved.
2. Locate all heads 6" min. from any wall, walk, or curb, and 12" min. from any curb adjacent to parking stalls.
3. Bury all mainlines 24" underground from top of pipe. Bury all laterals 18" underground from top of pipe.
4. Do not stack pipes in trenches. Pipes in shared trenches to be 4" minimum apart.
5. Brand all appropriate box lids with 1" minimum letters with the following abbreviations:
   - QC Quick Coupler
   - A# Controller Number and corresponding Station Number
   - DF Drip Flush Point
   - WS Wire Splice
   - ISO Isolation Gate Valve
   - CV Check Valve
   - GR Grounding
   - DV Manual Drain Valve
6. All pipe under pavement to be sleeved in 4" minimum PVC class 200, extend 12" beyond each edge of pavement, sloped to drain. Sleeves to be minimum 2 times the pipe size running through them. Install prior to paving. Sleeve wires separately in 2" min. pipe.
7. Heads are diagrammatic. Contractor to select and install correct arcs as needed for part circle heads. Adjust radii and arc as necessary for no overspray/backwash onto adjacent buildings, walks, or fences.
8. Plan has been prepared using limited on-site observation. Plan is diagrammatic and does not reflect all equipment, etc., that could be encountered during construction. All locations of existing equipment are approximate. Contractor to field verify locations of existing equipment prior to installation.
9. Water settle all trenches for proper compaction.
10. Point location of the mainline and laterals, and flag location of all heads & valves for approval by Landscape Architect prior to any trenching.
11. Hand dig all trenches within dripline of existing trees.
12. Mulch cover over drip lateral pipe in planting beds to be 4" minimum.
13. Repair all trenches in existing sod with full width sod rolls.
14. Provide Owner with a permanent controller program. The permanent program shall utilize separate programs for varying plant material. Configure the controller to communicate with the weather sensor so run times are automatically adjusted for local ET on a on-going basis.

DESIGN CONCEPTS
Community • Landscape Architects
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TOWN OF ERIE

STAR MEADOWS PARK

Erie, Colorado

SHAWN WEBER 503 04110068 Original Date of Licensure STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT

Project No.: 25623.00

Issued For:	Date:
100% CDs	11.04.16
50% CDs	12.13.16
90% CDs	01.24.17
BID SET	02.21.17

Drafted By: AJ & SM
Checked By: LL & SW

All drawings and written material appearing herein constitute original and unpublished work of Design Concepts and may not be duplicated, used or disclosed.

IRRIGATION PLAN

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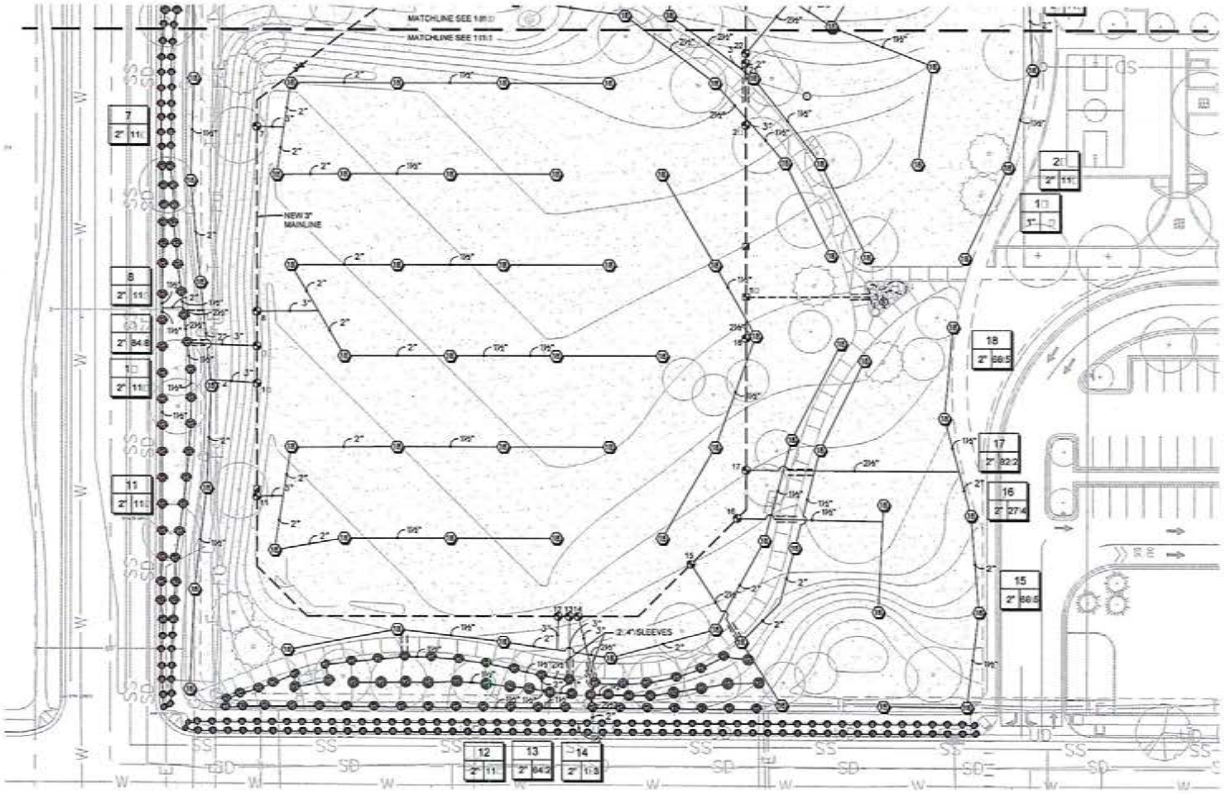

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IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
C T N P	Rain Bird 1806-SAM-PRS 5 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	30
C T N P	Rain Bird 1806-SAM-PRS 8 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	30
C T N P	Rain Bird 1806-SAM-PRS 10 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	30
C T N P	Rain Bird 1806-SAM-PRS 12 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	30
C T N P	Rain Bird 1806-SAM-PRS 15 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI	GPM	RADIUS
	Rain Bird P4-PC, TC-SS Turf Rotor, 4.0" Pop-Up, Stainless Steel Riser, Adjustable and Full Circle. With Removable Seal-A-Matic Check Valve, 1" Female Threaded Inlet.	40	3.30	41'
	Rain Bird P4-PC, TC-SS Turf Rotor, 4.0" Pop-Up, Stainless Steel Riser, Adjustable and Full Circle. With Removable Seal-A-Matic Check Valve, 1" Female Threaded Inlet.	40	6.10	51'
	Rain Bird P4-PC, TC-SS Turf Rotor, 4.0" Pop-Up, Stainless Steel Riser, Adjustable and Full Circle. With Removable Seal-A-Matic Check Valve, 1" Female Threaded Inlet.	40	13.7	59'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Rain Bird XCZ-100-PRF Medium Flow Drip Control Kit, 1" DV valve, 1" pressure regulating filter, 40psi pressure regulator. 3gpm - 15gpm.
	Flush Valve 3/4" PVC ball valve in 10" valve box.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.
	Rain Bird 44-LRC 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body.
	Mueco-Nosco 10RT 2" to 8" cast iron gate isolation valve. Ring-Tite Gasket Ends. Resilient wedge with epoxy coating and optional nut. For IPS pipe. Same size as mainline pipe.
	Master Valve Bermad 410
BF	Febco 825YA 2" Reduced Pressure Backflow Preventer
C	Rain Bird ESP-LXD-LXMMSS-LXMMSSPED 50 station 2-wire, exterior stainless steel pedestal. Flow sensing.
FS	Hunter HFS-200 Flow Sensor for use with ACC controller, 2" Schedule 40 Sensor Body, 24 VAC, 2 amp.
P	Booster Pump Rain Bird End Suction Pump: See Specs For Model #
MP	Misting Pump High-Pressure Misting Pump and equipment, See Specs
POC 2"	Point of Connection 2-1/2"

Irrigation Lateral Line: PVC Class 200 SDR 21
PVC Class 200 irrigation pipe. Only lateral transition pipe sizes 1 1/4" and above are indicated on the plan, with all others being 1" in size.

Irrigation Mainline: PVC Class 200 SDR 21

Pipe Sleeves: PVC Class 200 SDR 21
(1) 4" sleeve, unless otherwise noted. Pipe sleeve size shall be minimum 2" pipe sizes larger than the pipe passing through it. Extend sleeves 1.5' beyond edges of paving or construction, and mark both ends with a 3" "V" in pavement.

Valve Callout

- Valve Number
- Valve Flow
- Valve Size

DESIGN CONCEPTS
Community + Landscape Architects
[illegible] North Public Road, Suite 200
Lafayette CO 80026
303.464.0301 www.dcla.net

TOWN OF ERIE 1872

STAR MEADOWS PARK

Erie, Colorado

SHANEN WEBER 503
04/12/2018
Original Data at Licensure
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

Project No.: 21623.00

Issued For:	Date:
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Drafted By: AJ & SM
Checked By: LL & SW

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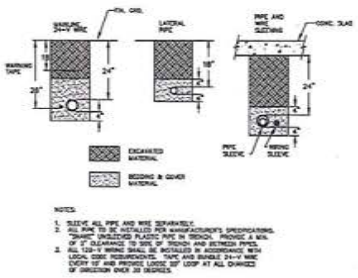
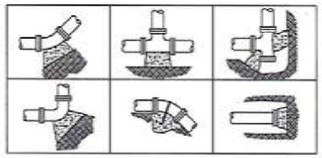
IRRIGATION PLAN

I1.1



NOTES:
1. SLEEVE ALL PIPE AND WIRE SEPARATELY.
2. ALL PIPE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. "SNAKE" UNSLEEVED PLASTIC PIPE IN TRENCH. PROVIDE A MIN. OF 3" CLEARANCE TO SIDE OF TRENCH AND BETWEEN PIPES.
3. ALL 120-V WIRING SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS. TAPE AND BUNDLE 24-V WIRE EVERY 10' AND PROVIDE LOOSE 30" LOOP AT ALL CHANGES OF DIRECTION OVER 30 DEGREES.

1 TRENCHIN□ AND WIRES
NOT TO SCALE

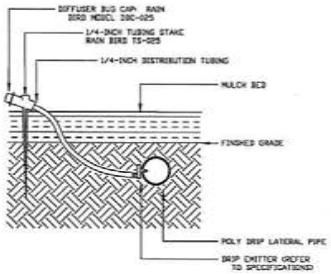


THRUST BLOCK SURFACE AREA AGAINST UNDISTURBED SOIL (SF)

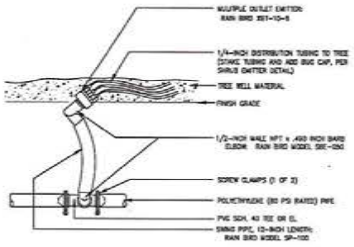
PIPE SIZE	BENDS			TEE OR DEAD END
	22-1/2°	45°	90°	
3"	0.3	0.6	1.1	0.8
4"	0.5	1.1	1.9	1.4
6"	1.1	2.3	4.0	2.8
8"	1.8	3.6	6.5	4.7

NOTES: *BASED ON 2,000 PSF BEARING CAPACITY
1. USE NO. 4 REBAR WITH MASTIC COATING WHERE PIPE MUST BE ANCHORED TO THRUST BLOCK.
2. INSTALL THRUST BLOCK SO THE HORIZONTAL AND VERTICAL DIMENSIONS OF THE THRUST BLOCK ARE APPROXIMATELY EQUAL.
3. PLASTIC COVERING NOT SHOWN FOR CLARITY OF DETAIL.

2 THRUST BLOCK
NOT TO SCALE

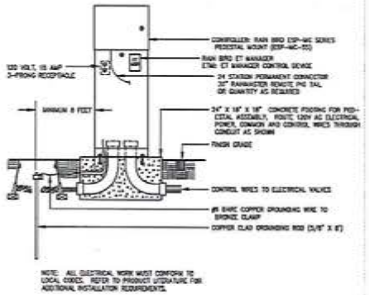


3 DRIP EMITTERS
NOT TO SCALE



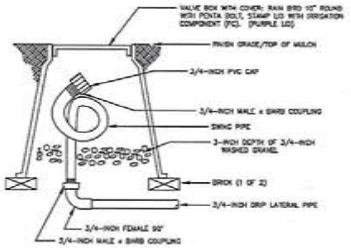
NOTE:
1. IF PVC PIPE IS UTILIZED, SOLVENT WELD TEE OR ELBOW SHALL BE USED.

4 DRIP TO TREES
NOT TO SCALE



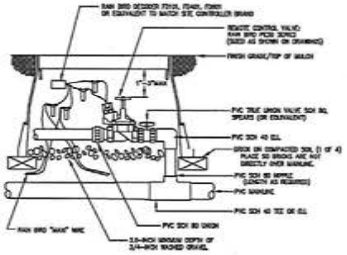
NOTE: ALL ELECTRICAL WORK MUST CONFORM TO LOCAL CODES. REFER TO PRODUCT LITERATURE FOR ADDITIONAL INSTALLATION REQUIREMENTS.

5 CONTROLLER
NOT TO SCALE

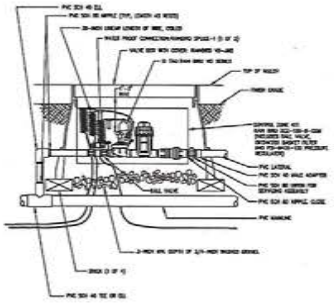


NOTE:
1. LOOP IRRIGATION DRIP TUBING INSIDE VALVE BOX FOR EXTENSION OUTSIDE OF BOX DURING BLOWOUT.

6 FLUSH POINT
NOT TO SCALE



7 ELECTRONIC SECTION VALVE
NOT TO SCALE



8 DRIP VALVE
NOT TO SCALE

DESIGN CONCEPTS
Community + Landscape Architects
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TOWN OF ERIE 1874

STAR MEADOWS PARK
Erie, Colorado

SHANEN WEBER 503
06/13/2016
Original Date of Licensure
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

Project No.: 216023.00

Issued For:	Date:
100% CDs	11.04.16
50% CDs	12.13.16
90% CDs	01.24.17
BID SET	02.21.17

Drafted By: AJ & SM
Checked By: LL & SW

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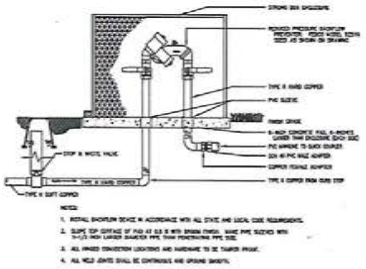
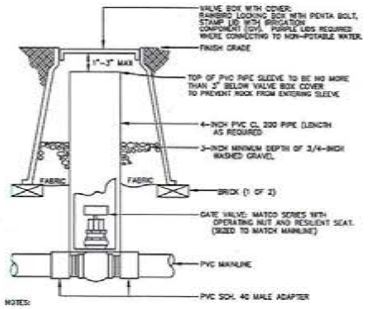
IRRIGATION DETAILS

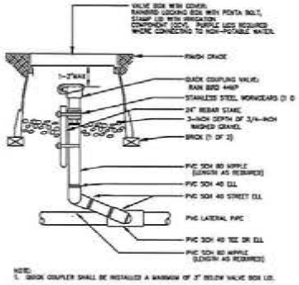
I2.□



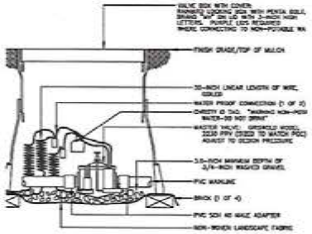
1 BACKFLOW PREVENTER
NOT TO SCALE



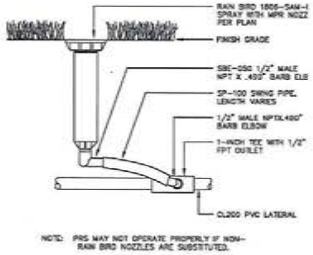
2 ISOLATION VALVE
NOT TO SCALE



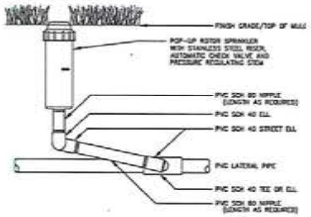
3 QUICK COUPLER
NOT TO SCALE



4 MASTER VALVE
NOT TO SCALE

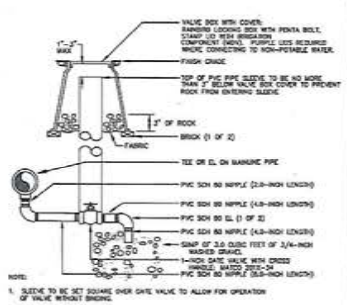


5 SPRAY HEAD
NOT TO SCALE

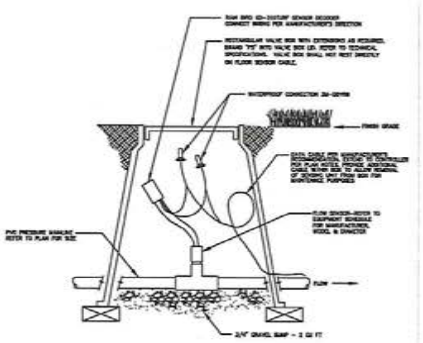


PRESSURE REGULATING STEM

6 ROTOR HEAD
NOT TO SCALE



7 DRAIN VALVE
NOT TO SCALE



8 FLOW SENSOR
NOT TO SCALE

DESIGN CONCEPTS
Community + Landscape Architects
TOWN OF ERIE 1874

STAR MEADOWS PARK
Erie, Colorado

SHANEN WEBER 503
04/10/2009
Original Date of Licensure
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

Project No.: 21623.00

Issued For:	Date:
100% DDs	11.04.16
50% CDs	12.19.16
90% CDs	01.24.17
BID SET	02.21.17

Drafted By: AJ & SM
Checked By: LL & SW

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IRRIGATION DETAILS

I2.1

STRUCTURAL GENERAL NOTES

DESIGN LOADS: 2006 International Building Code (IBC)with all Town of Erie amendments.

Occupancy Category	Importance Factor		
II	Snow	Wind	Seismic
	1.0	1.00	1.00

Roofs:

Roof Dead Load		12 psf
Ground Snow Load	Pg	30 psf
Flat Roof Snow Load	Pf	30 psf
Snow Exposure Factor	Ce	1.0 ASCE 7-05 Table 7-2
Thermal Factor	Ct	1.0 ASCE 7-05 Table 7-3

Wind:

Basic Wind Speed (3-second gust)	100 mph
Building Enclosure Classification	Internal Pressure Coefficient
Open	GCpi=0.0
Wind Exposure	C

Seismic:

Spectral Response	Acceleration		Coefficient
Short Period	Ss	0.145g	Sds 0.207g
One Second	S1	0.058g	Sd1 0.094g
Soils site Class	D		

FOUNDATION DESIGN:
Foundation design is based on an allowable soil bearing capacity of 1500 psf. Geotechnical Engineer shall verify soil conditions and types during excavation and prior to placement of formwork or concrete.

REINFORCED CONCRETE:
Design is based on ACI 318 "Building code requirements for Reinforced Concrete."
Concrete work shall conform to ACI 301 "Standard Specifications for Structural Concrete."

Structural concrete shall have the following properties:

	f'c, psi 28 day	Max w/c Ratio	maximum Aggregate	Slump, inches (+/- 1")	Entrained air, percent (+/- 1.5%)	Cement Type	Admixtures, comments
Intended use							
Drilled Piers	3,000	0.55	3/4" Stone	5	3	I/II	
Pier Caps	3,000	0.52	3/4" Stone	5	3	I/II	

Detailing, fabrication, and placement of reinforcing steel shall be in accordance with ACI 315 "Details and Detailing of Concrete Reinforcement."
Reinforcing bars shall conform to ASTM A615, Grade 60, except ties or bars shown to be Field-bent, which shall be Grade 40.
Except as noted on the drawings, concrete protection for reinforcement in cast-in-place concrete shall be as follows:

Cast against and permanently exposed to earth:	3"
Exposed to earth or weather:	
#6 through #18 bars	2"
#5 Bar, #4 or #3 wire, and smaller	1-1/2"

Anchor bolts and rods for beam and column-bearing plates shall be placed with setting templates.

STRUCTURAL STEEL:
Structural steel shall be detailed, fabricated, and erected in accordance with the "Specification for Structural Steel Buildings" (AISC 360) and the "Code of Standard Practice for Steel Buildings and Bridges" (AISC 303) by the American Institute of Steel Construction (AISC).
Hollow structural sections (HSS) rectangular shapes shall conform to ASTM A500, Grade B, 46 ksi yield.
HSS round shapes shall conform to ASTM A500, Grade B, 42 ksi yield.
Anchor rods shall conform to ASTM F1554, Grade 105 with weldability supplement S1.
Welding shall be done by a certified welder in accordance with the AISC documents listed above, the American Welding Society (AWS) D1.1: Structural Welding Code, and the recommendations for use of weld E70 electrodes. Where not specifically noted, minimum weld shall be 3/16" fillet by length of contact edge.
Grout beneath column base and beam bearing plates shall have a minimum 28-day, compressive strength of 7,500 psi and shall be non-shrink, non-metallic, and tested in accordance with ASTM C1107.

STEEL DECKING:
Steel roof deck shall be manufactured and erected in accordance with the standard deck specifications and the "Manual of Construction with Steel Deck" (SDI Mo. MOC1) as prepared by the Steel Deck Institute (SDI).
Roof deck shall be connected to supporting members and interconnected as noted on the structural drawings.
Welding patterns, screw patterns, and details shall be indicated on the deck supplier's shop drawings.

SPECIAL INSPECTIONS:
The following Special Inspections and testing shall be performed by a qualified Special Inspector retained by the Owner, in accordance with the following sections of IBC Chapter 17:

Section 1704 Special Inspections and the following sub-sections:
1704.3 Steel Construction including 1704.3.1 welding, 1704.3.2 details
1704.4 Concrete Construction
1704.7 Soils
1704.9 Pier Foundations

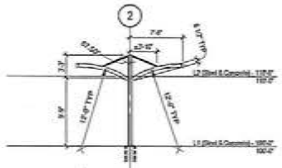
The Special Inspector shall be a qualified person who shall demonstrate competence, to the satisfaction of the building official, for inspection of the particular type of construction or operation requiring special inspection.

Duties and responsibilities of the Special Inspector shall be to inspect and/or test the work outlined above and within the statement of Special Inspections in accordance with Chapter 17 of the IBC for conformance with the approved construction documents. All discrepancies shall be brought to the immediate attention of the contractor for correction.

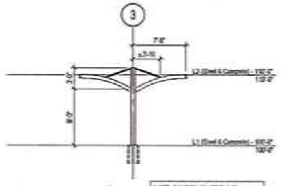
Per Section 1704.1.2 the Special Inspector shall furnish regular reports to the building official and the Structural Engineer. Progress reports for continuous inspections shall be furnished weekly. Individual reports of periodic inspections shall be furnished within one week of inspection dates. The reports shall note uncorrected deficiencies, correction of previously reported deficiencies, and changes to the approved construction documents authorized by the Structural Engineer of Record.

The Special Inspector shall submit a final signed report within 10 days of the final special inspection stating whether the work requiring special inspection was, to the best of the inspector's knowledge, in conformance with the approved construction documents and the applicable workmanship provisions of the IBC. Work not in compliance shall be noted in the report.

Except as noted, the special inspections outlined above are in addition to, and beyond the scope of, periodic Structural Observations as defined in section 1702. Structural observations are included in the structural engineering design and construction administration services provided by the Structural Engineer.

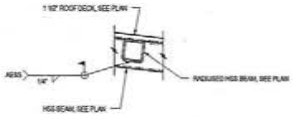


1 S100 ELEVATION 1/8" = 1'-0"

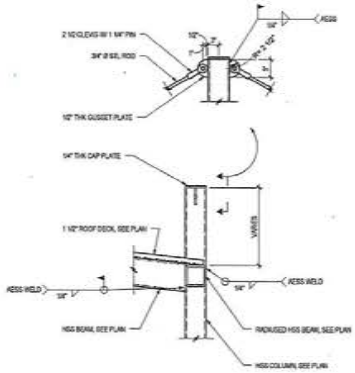


NOTE: CANOPY ON GRID 1 IS IDENTICAL TO THE ONE ON GRID 3

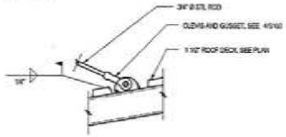
2 S100 ELEVATION 1/8" = 1'-0"



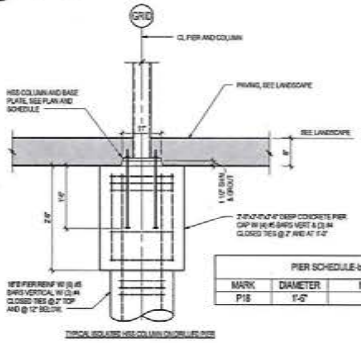
3 S100 SECTION 3/4" = 1'-0"



4 S100 COLUMN TO BEAM CONNECTION 3/4" = 1'-0"



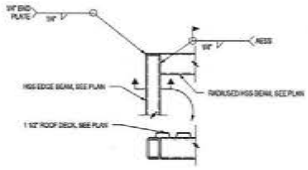
5 S100 SECTION 1" = 1'-0"



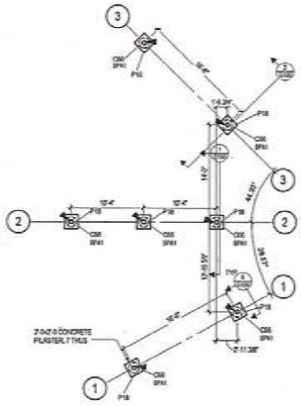
PIER SCHEDULE-by type name

MARK	DIAMETER	MINIMUM PIER LENGTH
P18	1'-0"	10'-0"

6 S100 SECTION 3/4" = 1'-0"

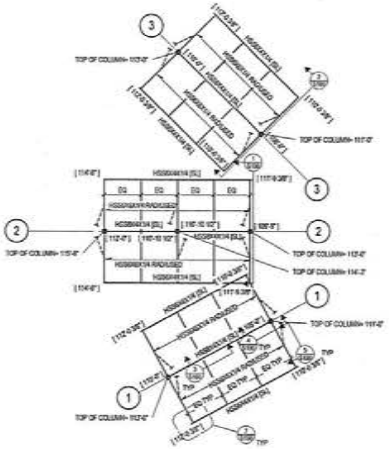


7 S100 PLAN DETAIL 3/4" = 1'-0"



FOUNDATION PLAN
1/8" = 1'-0"
NORTH

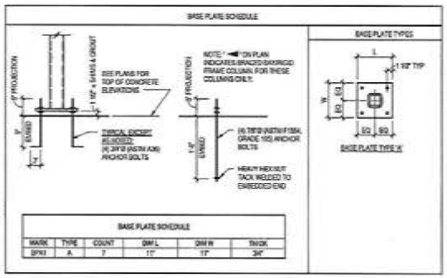
FOUNDATION NOTES:
1) 2'-0"x2'-0" REINFORCED CONCRETE PIERS AS NOTED ON PLAN. SEE 6/S100 FOR REINFORCING. PIER LENGTH AND BEDROCK PENETRATION INFO. TOP OF PIER ELEVATION TO BE 6" BELOW PROPOSED TOP OF NEW PAVING, SEE LANDSCAPE



ROOF FRAMING PLAN
1/8" = 1'-0"
NORTH

TYPICAL ROOF DECK:
1 1/2" DEEP x 20 GAGE WIDE RIB STEEL DECK (MALDRAFT TYPE 1.5B) WITH 5/8" PUDDLE WELDS @ 12" (OVER AT INTERMEDIATE SUPPORTS & EDGES) AND #10 SELF SCREWS @ 12" AT SIDELAP CONNECTIONS. STEEL DECK SHALL BE CONTINUOUS OVER THREE OR MORE SUPPORTS.

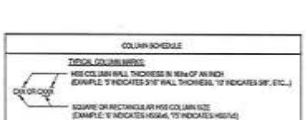
BASE PLATE SCHEDULE



BASE PLATE SCHEDULE

MARK	TYPE	COUNT	DIM L	DIM W	THICK
BPM1	A	7	11"	11"	3/4"

COLUMN SCHEDULE



STEEL COLUMN SCHEDULE-By column type mark

MARK	SIZE
C36	HSS8X8X5/16

DESIGN CONCEPTS

TOWN OF ERIE 1874

STAR MEADOWS PARK

Erie, Colorado

Project No.: 215023.00

Issued For:	Date:
100% DD:	11.04.15
50% CDs:	12.13.15
80% CD	01.24.16
100% CD	02.21.16

Drafted By: TSL
Checked By: TSS

SHADE STRUCTURE PLAN AND DETAILS

S100