



TOWN OF ERIE
Community Development Department – Planning Division
645 Holbrook Street – PO Box 750 – Erie, CO 80516
Tel: 303.926.2770 – Fax: 303.926.2706 – Web: www.erieco.gov

LAND USE APPLICATION

Please fill in this form completely. Incomplete applications will not be processed.

STAFF USE ONLY		
FILE NAME:	190 Briggs St.	
FILE NO:	SP11-000784-2011	DATE SUBMITTED: 6/15/11
		FEES PAID: \$200

PROJECT/BUSINESS NAME: 190 BRIGGS A.D.U
 PROJECT ADDRESS: 190 BRIGGS ST
 PROJECT DESCRIPTION: A D U PER GUIDELINES

LEGAL DESCRIPTION (attach legal description if Metes & Bounds)

Subdivision Name: ERI LOTS 12, 13 AND E2 14, BLK 17

Filing #:	Lot #:	Block #:	Section:	Township:	Range:

OWNER (attach separate sheets if multiple)

Name/Company: JOE WILSON, CAROLE DOUGLAS
 Contact Person: JOE WILSON
 Address: 1656 ALPINE DR.
 City/State/Zip: ERIE CO 80516
 Phone: (303) 358-4114 Fax: (310) 388-8414
 E-mail: WILSONJOE@ME.COM

AUTHORIZED REPRESENTATIVE

Company/Firm:
 Contact Person:
 Address:
 City/State/Zip:
 Phone: Fax:
 E-mail:

MINERAL RIGHTS OWNER (attach separate sheets if multiple)

Name/Company:
 Address:
 City/State/Zip: *NONE SHOWN PER ASSESSOR SITE

MINERAL LEASE HOLDER (attach separate sheets if multiple)

Name/Company:
 Address:
 City/State/Zip:

LAND-USE & SUMMARY INFORMATION

Present Zoning:
 Proposed Zoning: SAME
 Gross Acreage: 7322 SF / .17 AC

Gross Site Density (du/ac):
 # Lots/Units Proposed:
 Gross Floor Area:

SERVICE PROVIDERS

Electric: EXCEL
 Metro District:
 Water (if other than Town):

Gas: EXCEL
 Fire District: MTN VIEW
 Sewer (if other than Town):

PAGE TWO MUST BE SIGNED AND NOTARIZED

DEVELOPMENT REVIEW FEES			
ANNEXATION		SUBDIVISION	
<input type="checkbox"/> Major (10+ acres)	\$ 4000.00	<input type="checkbox"/> Sketch Plan	\$ 1000.00 + 10.00 per lot
<input type="checkbox"/> Minor (less than 10 acres)	\$ 2000.00	<input type="checkbox"/> Preliminary Plat	\$ 2000.00 + 40.00 per lot
<input type="checkbox"/> Deannexation	\$ 1000.00	<input type="checkbox"/> Final Plat	\$ 2000.00 + 20.00 per lot
COMPREHENSIVE PLAN AMENDMENT		<input type="checkbox"/> Minor Subdivision Plat	\$ 2000.00
<input type="checkbox"/> Major	\$ 3000.00	<input type="checkbox"/> Minor Amendment Plat	\$ 1000.00 + 10.00 per lot
<input type="checkbox"/> Minor	\$ 1200.00	<input type="checkbox"/> Road Vacation (constructed)	\$ 1000.00
ZONING/REZONING		<input type="checkbox"/> Road Vacation (paper)	\$ 100.00
<input type="checkbox"/> Rezoning	\$ 1700.00 + 10.00 per acre	SITE PLAN	
<input type="checkbox"/> PUD Rezoning	\$ 1700.00 + 10.00 per acre	<input type="checkbox"/> Residential	\$ 1400.00 + 10.00 per unit
<input type="checkbox"/> PUD Amendment	\$ 1700.00 + 10.00 per acre	<input type="checkbox"/> Non-Resi. (>10,000 sq. ft.)	\$ 2200.00
<input type="checkbox"/> Major PD Amendment	\$ 3700.00 + 10.00 per acre	<input type="checkbox"/> Non-Resi. (>2,000 sq. ft.)	\$ 1000.00
<input type="checkbox"/> Minor PD Amendment	\$ 500.00	<input type="checkbox"/> Non-Resi. (<2,000 sq. ft.)	\$ 200.00
SPECIAL REVIEW USE		<input type="checkbox"/> Amendment (major)	\$ 1100.00
<input type="checkbox"/> Major	\$ 1000.00	<input type="checkbox"/> Amendment (minor)	\$ 350.00
<input type="checkbox"/> Minor	\$ 400.00	VARIANCE	
<input type="checkbox"/> Oil & Gas	\$ 1200.00	SERVICE PLAN	
			\$ 10,000.00
All fees include both Town of Erie Planning & Engineering review. These fees do not include referral agency review fees, outside consultant review fees, or review fees incurred by consultants acting on behalf of staff. See Town of Erie Municipal Code, Title 2-10-5 for all COMMUNITY DEVELOPMENT FEES.			

The undersigned is fully aware of the request/proposal being made and the actions being initiated on the referenced property. The undersigned understand that the application must be found to be complete by the Town of Erie before the request can officially be accepted and the development review process initiated. The undersigned is aware that the applicant is fully responsible for all reasonable costs associated with the review of the application/request being made to the Town of Erie. Pursuant to Chapter 7 (Section 7.2.B.5) of the Unified Development Code (UDC) of the Town of Erie, applicants shall pay all costs billed by the Town for legal, engineering and planning costs incurred by staff, including consultants acting on behalf of staff, necessary for project review. By this acknowledgement, the undersigned hereby certify that the above information is true and correct.

Owner: [Signature]
 Owner: _____
 Applicant: _____

Date: 6/13/16
 Date: _____
 Date: _____

STATE OF COLORADO)
 County of Weld) ss.
 The foregoing instrument was acknowledged before me this 13th day of June, 2016, by Joe Wilson

HALLIE SAWYER
 NOTARY PUBLIC
 STATE OF COLORADO
 Notary ID 19954000146
 My Commission Expires 01/03/2019

My commission expires: 01-03-2019
 Witness my hand and official seal.

[Signature]
 Notary Public

From: **Joseph Wilson** wilsonjoe@icloud.com
Subject: ADU Application
Date: Today at 1:23 PM
To: mostholthoff@erieco.gov

Dear Mr. Ostolhoff,

We are proposing to build an accessory dwelling unit on block 17, lots 12 and 13 in old town Erie. The lot size is 7322 ft.², well over the minimum of 6000 ft.². The permitted accessory dwelling unit shall comply with all of the applicable site, building design, access and other standards. Water tap for this location is listed as 190 Briggs St.

The accessory dwelling unit does will comply with the minimum floor area of 500 ft., designed at 512 sf. With a 240 sf detached garage.

It will contain private sanitary facilities with hot and cold running water etc.

There is ample parking both on and off street.

With regard to the design standards, the additional unit will have similar exterior colors and materials

per guidelines.

The architectural style will be very similar 'frame on foundation' construction of the existing home and will be located on the west side of the existing home.

Additional unit and Garage will have access via concrete walkway.

The general project is to provide secondary small residence for family dwelling.

The proposed timeline is approximately 12 months after it is approved, (hopefully in the July – August timeframe).

The proposal does relate to the existing land use, as it is residential and there are two lots providing ample room for another small home on the 7000+ sf lot.

As described above, the proposal will comply with the towns comprehensive master plan and municipal code title X UDC.

Thank you for your consideration,

Joe Wilson and Carole Dougan



State Documentary Fee Date: March 14, 2016 \$ 27.50
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Warranty Deed
(Pursuant to 38-30-113 C.R.S.)

THIS DEED, made on **March 14, 2016** by **BRADLEY B. ROWE** Grantor(s), of the County of **LARIMER** and State of **COLORADO** for the consideration of **(\$275,000.00) *** Two Hundred Seventy Five Thousand and 00/100 ***** dollars in hand paid, hereby sells and conveys to **JOSEPH WILSON AND CAROLE DOUGAN** Grantee(s), as Joint Tenants, whose street address is **1656 ALPINE DR ERIE, CO 80516**, County of **WELD**, and State of **COLORADO**, the following real property in the County of **Weld**, and State of Colorado, to wit:

LOTS 12, 13 AND THE EAST HALF OF LOT 14, BLOCK 17, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO.

also known by street and number as: **190 BRIGGS STREET ERIE CO 80516**

with all its appurtenances and warrants the title to the same, subject to *general taxes for the year 2016 and those specific Exceptions described by reference to recorded documents as reflected in the Title Documents accepted by Grantee(s) in accordance with Record Title Matters (Section 8.2) of the Contract to Buy and Sell Real Estate relating to the above described real property; distribution utility easements, (including cable TV); those specifically described rights of third parties not shown by the public records of which Grantee(s) has actual knowledge and which were accepted by Grantee(s) in accordance with Off-Record Title Matters (Section 8.3) and Current Survey Review (Section 9) of the Contract to Buy and Sell Real Estate relating to the above described real property; inclusions of the Property within any special tax district; Any special assessment if the improvements were not installed as of the date of Buyer's signature on the Contract to Buy and Sell Real Estate, whether assessed prior to or after Closing; and other NONE*



BRADLEY B. ROWE

State of **COLORADO**)
) ss.
 County of **BOULDER**)

The foregoing instrument was acknowledged before me on this day of **March 14, 2016** by **BRADLEY B. ROWE**



 Notary Public
 My commission expires 7-19-19

CRYSTAL BEAVERS NOTARY PUBLIC STATE OF COLORADO NOTARY ID 20034022999 My Commission Expires July 19, 2019
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When Recorded Return to: **JOSEPH WILSON AND CAROLE DOUGAN**
1656 ALPINE DR ERIE, CO 80516

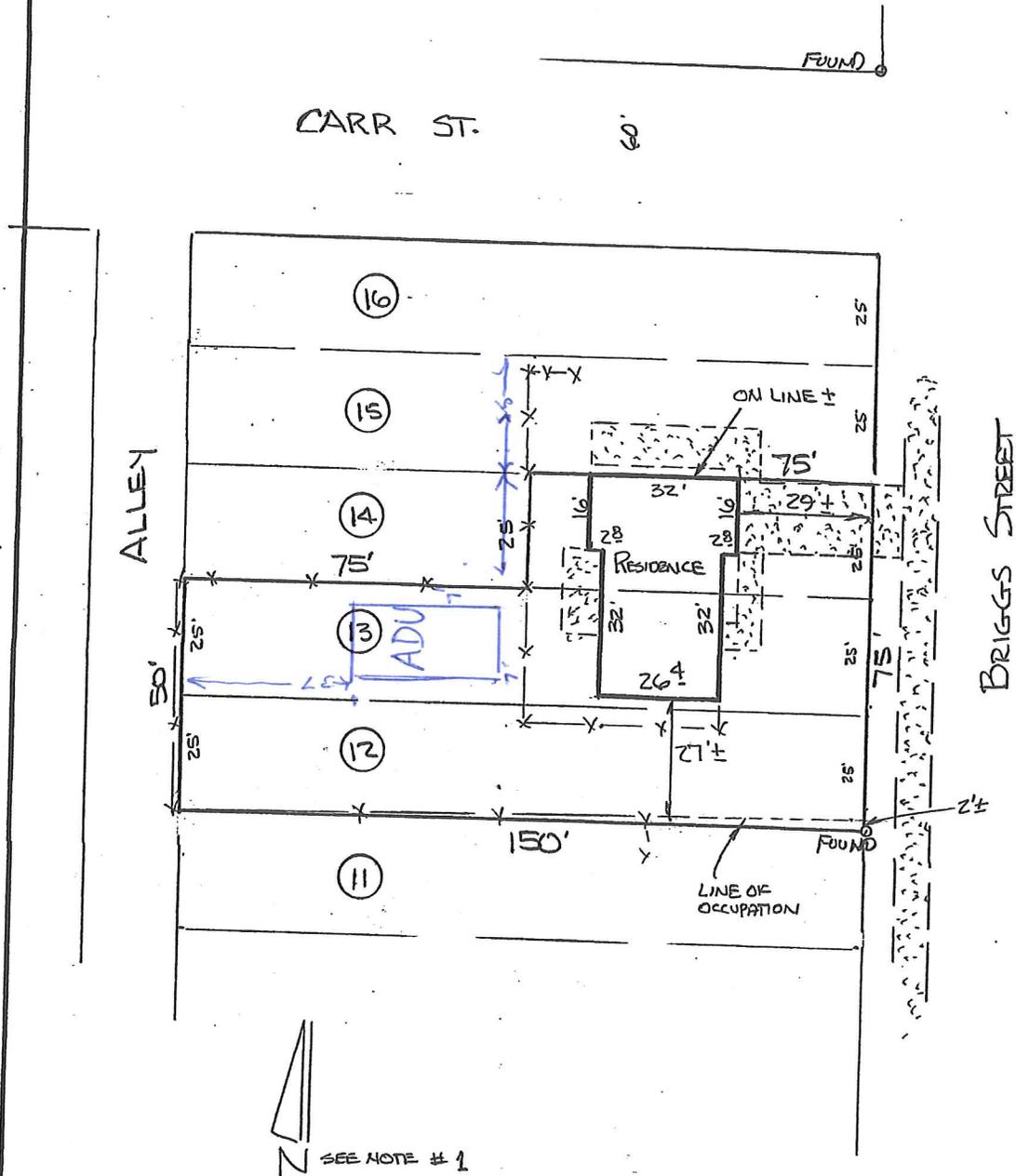


IMPROVEMENT LOCATION CERTIFICATE

Legal Description

LOTS 12, 13 AND THE EAST HALF OF LOT 14, BLOCK 17, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

Source: WARRANTY DEED



Notes:

- 1) The exact location of property lines, fence lines and utilities can only be determined by a monumented boundary survey. The fence locations shown on this sketch are approximate. Ownership of fences cannot be determined by an Improvement Location Certificate.
- 2) Unless otherwise noted, all easements shown hereon are obtained from recorded Plat.
- 2) Buyer should be aware that underground utilities may exist that are not recorded with the County.
- 3) Improvement Location Certificates are prepared in accordance with Section 6.6 of the Colorado Code of Regulations 4 CCR 730-1.

OWNER: WILSON

LENDER: N/A

ADDRESS: 190 BRIGGS STREET, ERIE

TITLE CO: N/A

CERTIFICATE: I hereby certify that this improvement location certificate was prepared for JOSEPH WILSON, that it is not a land survey plat or improvement survey plat, and that it is not to be relied upon for the establishment of fence, building, or other future improvement lines. This certificate is valid only for use by JOSEPH WILSON and describes the parcel's appearance on 6-7-16. I further certify that the improvements on the above described parcel on this date, 6-7-16 except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.

SCALE: 1" = 30'

DRAWN: [Signature]

FILE NO.: C4471

REVISED:



David M. Poeschl LS # 17662