

Hannah Hippely

From: Fred Starr
Sent: Friday, January 24, 2020 12:27 PM
To: Hannah Hippely
Cc: Joe Smith; David Pasic
Subject: Sunset Engineering items

Hanna,

I just talked with Joe about the engineering related item for Sunset.

In summary, Merrick is just being asked to verify any effects of the Sunset water system design on the Town water model. Based on information provided by the applicant to date, the proposed water utility should not have a negative impact on the water model, but if it does a solution can be accommodated as part of the Final Plat submittal.

Fred



Fred Starr - AICP

Planning & Development Director | Town of Erie
645 Holbrook Street | P.O. Box 750 | Erie, CO 80516
Phone: 303-926-2773 | E-mail: fstarr@erieco.gov
www.erieco.gov | [Facebook](#) | [Twitter](#) | [LinkedIn](#)

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December 12, 2019

2480 W. 26th Avenue, Unit B225
Denver, Colorado 80211
Tel: +1 303-964-3333
Fax: +1 303-964-3355

Town of Erie, Engineering Division
P.O. Box 750
645 Holbrook Street
Erie, Colorado 80516

www.merrick.com

RE: REVIEW OF SUNSET DEVELOPMENT SUBMITTAL

Dear Engineering Division:

We have reviewed the Sunset Development resubmittal received on December 5, 2019. The resubmittal included a Phase II Drainage Report (dated July 2019) and a Preliminary Plat dated July 31, 2019 by Calibre Engineering, Inc. The resubmittal also included a response to previous comments dated September 2019. Below are our remaining comments from our previous review. They are relatively minor and can be addressed in the Phase III Drainage Report.

Phase II Drainage Report

1. At several locations within the site (OS-1, OS-4, A—15, C-2, etc.), flow outfalls from a storm sewer pipe to a natural area. Release of flow from a point source to natural area could erode the undisturbed areas even with riprap, thus the need for flow spreading. Per the responses to comments, we understand that low tailwater basins are planned to be utilized at all outfalls. The low tailwater basins will be required to be shaped to spread out the flows to reduce the velocity at these pipe outfalls.
2. Per the responses to comments, we understand that rational method calculations were updated for Basins A-13, A-14, A-15, and OS-2. The updated 100-year values appear to be correct, but the 2-year values appear to be low. Please recheck the 2-year calculations.
3. Per the responses to comments, we understand that the channel sizing calculations have been updated. For Channels C-1 and C-2, the calculations were not included and only the resulting performance curves were provided. Provide the cross section input and calculation information.
4. Per the responses to comments, we understand that a broad crested weir will be used for Pond B and an emergency overflow structure will be designed for Pond A. Provide emergency overflow calculations and sizing.

Sincerely,
Merrick & Company



Jeanne M. Boyle, PE, CFM



Ellie Montoya, EI, CFM



Internal Memo

To: Hannah Hippely, Senior Planner – Planning & Development

From: Darren Champion, Parks and Open Space Project Coordinator

Date: January 24, 2020

Subject: Sunset – Preliminary Plat

Cc: Patrick Hammer, Parks and Recreation Director

Luke Bolinger, Community Partnership and Special Projects Manager

Parks & Open Space Division staff have reviewed the subject plans and offer the following comments. These comments may be resolved at the Final Plat phase, however, the final plat will not be approved until the following comments have been addressed to staff satisfaction and a Final Landscape Plan is accepted.

General Comments:

- Due to site constraints and previous negotiations with the Town, staff recommend that the proposed open space - Tract G, should be accepted towards the open space dedication requirement, but owned and maintained by the metro district.
- Additionally, staff request an open space conservation easement to be provided for Tract G, ensuring the area remains open space in perpetuity. Per the UDC, the Town may consider a conservation easement as an alternative for owning open space lands.
- The proposed open space is surrounded on all sides by homes and has the topography of a drainage valley making maintenance challenging for Town staff. The provision of a conservation easement allows the open space area to be used by residents, but removes the maintenance burden from staff.
- Approval of a conservation easement shall be at the discretion of the Town Board of Trustees.
- Town staff have scheduled a meeting with the development team to review the design standards for the pump track feature.
- *Previous comment not addressed* - Provide grade elevations within the landscape plans.
- *Previous comment partially addressed* - The Town will maintain the spine trail and a mow strip either side. Provide 6 ft. shoulders at a 6:1 grade to allow for this area to be maintained. Staff request the applicant to confirm the specific shoulder width currently designed.
- *Previous comment partially addressed* - At each spine trail intersection, there shall be a flared end to assist maintenance vehicles, pedestrians and cyclists in navigating the turn. At ninety (90) degree intersections, flare shall be placed. For more information, refer to Detail P27 for required flare sizes. Please use the "Monolithic Trail Connection" design for the local trail connections that connect to the spine trail.

Landscape Comments:

Sheet 2 of 19

- *Previous comment partially addressed* - Local trail connections width is to equal the width of the spine trail to which it connects per 1084.02 of the Town of Erie Standards & Specifications. Correct all trail connections to reflect a width of 8 ft.
- Confirm that the Crusher fines are located on the uphill side of the spine trail per Detail P25.

Sheet 8 of 19

- *Previous comment not addressed* - Provide an appropriate 8 ft. curb ramp off Street B to allow for maintenance vehicles to access and/or maintain this trail segment. Realign trail or storm inlet to allow sufficient space for the curb ramp.

Sheet 9 of 19

- *Previous comment not addressed* - Remove the crusher fines trail that crosses south of the property line and runs adjacent to the detention pond.
- Staff request that the spine trail is extended within the limit of work to the south edge of the drainage easement/detention pond.



Internal Memo

To: Hannah Hippely, Senior Planner – Planning & Development
From: Darren Champion, Parks and Open Space Project Coordinator
Date: December 27, 2019
Subject: Sunset – Preliminary Plat
Cc: Patrick Hammer, Parks and Recreation Director
Mike McGill, Parks and Open Space Division Manager

Parks & Open Space Division staff have reviewed the subject plans and offer the following comments. These comments may be resolved at the Final Plat phase, however, the final plat will not be approved until the following comments have been addressed to staff satisfaction and a Final Landscape Plan is accepted.

General Comments:

- Town staff has scheduled a meeting with the developer for January 2, 2020 to review the plans for a bike pump track. Given the pump tracks proximity to the existing Erie Singletrack staff would like to discuss the following:
 - o Pump track design standards and construction
 - o Long term maintenance responsibilities
 - o Since the pump track is intended to replace the requirements of a pocket park, the value of the amenity must be consistent with previously approved pocket parks found in other developments
- *Previous comment not addressed* - Provide grade elevations within the landscape plans.
- *Previous comment partially addressed* - The Town will maintain the spine trail and a mow strip either side. Provide 6 ft. shoulders at a 6:1 grade to allow for this area to be maintained. Staff request the applicant to confirm the specific shoulder width currently designed.
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Sheet 9 of 19

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Town of Erie Open Space and Trails Advisory Board

From: Town of Erie Open Space and Trails Advisory Board (OSTAB)

To: Hannah Hippely, Senior Planner, Community Development

Date: December 3, 2019

Subject: Sunset Preliminary Plat

Date of Drawings:

1. Preliminary Plat – July 31, 2019;
2. Preliminary Landscape Plan – September 3, 2019.

Location: NW corner of WCR5 & WCR6

Open Space:

Discussion:

During reviews of multiple previous versions of this application, we have repeatedly expressed concerns that the dedicated open space was surrounded by house lots and roads, and therefore isolated from the Highlands open space to the northwest, and the Town's Sunset Open Space to the south. During our review of a prior application, we learned that the Town and the applicant had formally agreed, during an earlier transaction, to permit the applicant to have a specific number of dwelling units on the property. Neither the location nor the type of dwelling units was defined in that agreement. We then had a detailed discussion what changes would be reasonable to reduce the "isolation problem". We intentionally did NOT attempt to identify detailed changes. Thus, we voted upon the following motion: "we recommend the applicant should work with staff to expand and improve open space connectivity on the NW and/or SE portions of the development and preserve [existing] grading to the extent practicable." This motion was unanimously approved.

Our review of this application indicates there are no material changes to the lot or open space configurations. The applicant did include "Exhibit C" in their response to the Community Development Dept. That document contains the following dimensions:

1. In the southeast corner, the distance between the easternmost lot on Street G (Block 10, lot 34) and the southernmost lot on the west side of Street F (Block 1, lot 15) = 56'8";
2. In the northwest corner, the minimum distance between the lots on the SE side of Street B (Block 10, lot 1 and Block 11, lot 1) is 210 feet. However, that area is the detention pond, Tract F. The Grading Plan, (Sheet GR1, Preliminary Plat), indicates that there narrow steep slopes adjacent to the street and both lots, and the distances between the street/lots and the bottom of the detention pond is only about 50".

In our opinion, neither the southeast nor the northwest corners described above provides an adequate "natural corridor" between the dedicated open space in this application and the open space in either the Highlands development or the Town's Sunset Open Space.

The applicant has proposed a "pump park" in the SE corner on the south side of Street G. However, the very narrow undeveloped space on the north side of Street G (roughly 57 feet) is insufficient to permit fauna and flora to migrate into or out of the dedicated open space in this application. Thus, our

previous motion/recommendation has not changed.

Recommendation: The applicant should work with staff to expand and improve open space connectivity on the NW and/or SE portions of the development and preserve [existing] grading to the extent practicable.

Spine Trail:

Discussion: In our previous response, we recommended that the applicant ensure that the Spine Trail is ADA compliant. The applicant’s response: “The spine trail has been updated and meets all ADA requirements and spine trail design standards”.

Recommendation: None.

Neighborhood Trails and Sidewalks:

Discussion: The applicant had originally stated that no trails would be included in the dedicated open space, but “social trail entry points” would be provided. We are strongly opposed to social trails, and therefore previously recommended: “Design and construct one or two primitive trails in the large open space area in the center of the application area. Those trails should, in general, follow the existing topography, and connect to the planned narrow open space corridors”.

The applicant included Exhibit B with a proposed primitive trail in their response to OSTAB’s previous response. In our opinion, that proposal does NOT follow the existing topography, especially at the western end adjacent to the detention pond. As a result, that exhibit includes grading and steep slopes. The primitive/single tract trails that were constructed in the Town’s Sunset Open Space show that such trails can be constructed with very little grading or steep slopes. There has been virtually NO erosion on those trails since they were constructed. Therefore, the proposed trail in that exhibit must be redesigned. In our opinion, it will not be possible for this trail to connect to the road on the western side that meets our recommendations of very little grading and no steep slopes. A better termination location on the south side would be open space Tract M.

Recommendation: Design and construct a primitive trail in the large open space area in the center of the application area. That trail should follow the existing topography, not have steep slopes, and connect to a planned narrow open space corridor between lots and/or a park.

Please pass this referral letter to the applicant, and appropriate town departments, boards, and commissions. Thank you for your attention to these matters. OSTAB is available to discuss any of the above in more detail as needed.

Sincerely,

Open Space and Trails Advisory Board

- Bob Braudes
- Phil Brink
- Christine Felz
- Ken Martin (Chair)
- Tim Payne
- Joe Swanson
- Dave Tazik



Department of Planning & Development

Planning

The Town of Erie

645 Holbrook St.
P.O. Box 750
Erie, CO 80516
(303) 926-2774

Memo

To: Karen Henry and Yvonne Seaman
From: Hannah Hippely, AICP
Date: June 26, 2019
Re: PP-000838-2016: Sunset Preliminary Plat Application
cc: Deborah Bachelder, Fred Starr

Community Development has reviewed your resubmittal for Sunset Preliminary Plat application for conformance with Municipal Code, Title 10.

I. Preliminary Plat approval criteria:

- a. The subdivision is generally consistent with the Town's Comprehensive Master Plan.

The Town Comprehensive Plan consists of 15 distinct chapters. Chapters 4 through 14 address a variety of specific topics and each of these chapters included specific goals and policies and these are considered in the analysis of a land use application. A proposal may be consistent with some chapters and not others.

- i. *The proposal it is not consistent with the following polices in Chapter 8 Open Space.*

Comprehensive Plan Polices and goals related to Open Space include:

OS 1.3—CONTINUOUS, PERMANENT, SYSTEM OF OPEN SPACE The Town will use a variety of methods (both public and private) to facilitate the creation of a continuous, permanent, system of open space using natural features and manmade features such as preserved open space areas, drainages, streams, irrigation canals to the extent possible...The current width and shape and other features of a naturally occurring corridor (such as a drainageway) should be preserved, in order to maintain their environmental integrity and avoid creating an "engineered" appearance. Link natural areas and habitat in corridors of adequate width to protect sensitive species and that allow for genetic diversity through species movement. Avoid creating island habitats that are inaccessible by both people and wildlife.

Obstructed or Fragmented Open Space—Obstructed open space refers to areas that contain impediments to wildlife and pedestrian travel, or are inhibited or fragmented by man-made structures or constructs such as roads, fences or buildings. This type of open space may be dedicated to the Town if determined to have high preservation values as determined by the Town. The Town will place a priority on the preservation of lands identified as part of the Natural Areas Inventory when evaluating potential open space areas for dedication.

The open space proposed is obstructed and fragmented, in that the entire perimeter is surrounded by development including houses and roads and it is not connected to the larger open space system. The topographic feature is not preserved and the project will result in an "engineered" appearance including necessary engineered Stormwater drainage facilities throughout the area. There has been no determination made by Town staff that there is a rationale for accepting this obstructed and fragmented open space due to high preservation values as there is no significant habitat or wildlife within the area; the value of this area is it's landform.

- ii. *The proposal it is not consistent with the following polices in Chapter 6 Natural Resources and Environment.*

Comprehensive Plan policies and goals also speak to preservation of unique landforms:

NRE 2.1— MINIMIZE DISRUPTION TO NATURAL FEATURES New development should be planned to have the least amount of disturbance to landforms and natural areas (i.e., areas that support the continued existence of geological, ecological or other natural features). The Town will encourage setbacks and buffers between development and natural features.

NRE 2.2— MAINTAIN SIGNIFICANT VIEWS The Town will seek to preserve the visual character of the community through the protection of important viewsheds within the community. Viewsheds should be identified as part of the site planning process and development organized to preserve them to the extent feasible. Key areas to be considered include, but should not be limited to, those areas that contain the most varied topography, such as major landforms and hilltops visible from community gateways and corridors.

Within the Town of Erie, the landform found on this property is some of the most varied topography in Town. Erie generally consists of flat lands or rolling hills. The Coal Creek corridor and associated drainages provide variation within this otherwise rather consistent landscape. When examining the topographic map of the Town, this deeply incised drainage is an anomaly. This site is also unique in that the drainage itself is significant in size the landform occupies the majority of the parcel leaving only two flatter plateaus on north and south side of the main drainage. Secondary drainages have carved multiple fingers of land that extend from these flat areas creating a deeply undulating landscape across the parcel. The edges of the various drainage ways are steep and the drainage along these slopes has created an uneven and varied terrain along these edges.

The proposed earthwork (grading, berming, etc.) would impact 80.5% of the site in order to implement the development. These activities generally smooth and contour the site to create a development ready site. These activities would close off the main drainage at the west side in order to construct a berm for the loop road, fill and smooth out the fingers of land around the north plateau, the fingers extending from the south plateau, and the southern edge of the south plateau, and contour the perimeter of the main drainage.

Views from County Road 5 would be impacted as a row of homes is adjacent to the road and at the south end an eight foot retaining wall is proposed. Additionally, the bottom of the valley will no longer visually extend to the west as it will closed off to allow the road to be constructed. The perimeter of the central drainage will be contoured and engineered and the varied topography of this site will be contoured to eliminate the variation and thus the visual character of the site overall will be impacted.

- b. The subdivision is generally consistent with and implements the intent of the specific zoning district in which it is located.

The property is zoned Low Density Residential (LR). The purpose of this District as stated in the UDC is “to provide areas for residential uses of an urban character, at a gross density not to exceed 5 dwelling units per acre.” The density proposed by this development (231 Lots over 103.83 acres) is 2.33 du/acre. This density is most consistent with a Suburban Residential district where density may not exceed 3 du/acre however the LR District only indicates that density shall not exceed 5 du/acre and no minimum density is set so the proposal is generally consistent with the LR District. In this case, because only larger lot single family residential is proposed density could be increased by incorporating another denser housing type as is required by the UDC.

- c. The general layout of lots, streets, driveways, utilities, drainage facilities, and other services within the proposed subdivision is designed to meet the Town’s standards related to health and safety and in a way that minimizes the amount of land disturbance, maximizes the amount of open space in the development, preserves existing trees/vegetation and riparian areas, protects critical wildlife habitat, and otherwise accomplishes the purposes and intent of this UDC.

The general layout of the subdivision is designed to meet Town standards however, the general layout proposed is a large lot single family development spread out over the entire property which is not a layout which minimizes land disturbance.

- d. The subdivision complies with all applicable use, development, and design standards set forth in Chapters 3, 5 and 6 of this UDC that have not otherwise been modified or waived pursuant to this Chapter or this UDC. Applicants shall refer to the Development Standards in Chapter 5 of this UDC and shall consider them in the layout of the subdivision in order to avoid creating lots or patterns of lots in the subdivision that will make compliance with such development and design standards difficult or infeasible.

- i. Chapter 6 Section 6.2 Natural and Scenic Resource Protection

- A. General Site Design Requirements to Protect Natural and Scenic Features

- 1. Purpose

- The purpose of this Section is to:

- a. Protect and enhance the natural and man-made features that contribute significantly to the Town’s scenic quality and small-town character, including the: varying topography and hillsides, reservoirs, stream corridors, floodplains, irrigation ditches, wetlands, native and specimen trees and vegetation, wildlife habitat and corridors, dramatic view corridors to the mountains, historic or cultural sites, and other significant features; and
 - b. Preserve the topographic features of individual development sites.

- 3. Design Standards

- a. To the maximum extent reasonably practicable, where significant natural features or areas of historic or cultural value exist on a property or an adjacent property and have been identified on the required Existing Conditions Map, an applicant shall give priority to their preservation through required public open space dedication or as common private open space.
 - b. Priority for protection shall be given to the following features which are not listed in their order of significance:
 - i. Wetlands;
N/A
 - ii. Floodplains and natural drainage ways;
The natural drainage way is significantly impacted by the development.

- iii. Reservoirs, stream corridors, and other bodies of water;
N/A
- iv. Prominent valleys;
The valley created by the drainage way is significantly impacted by the development.
- v. Native and specimen trees and vegetation;
N/A
- vi. Slopes of greater than 20 percent;
53.1% of the area that has a slope of 20% or greater is impacted by the development.
- vii. Historically significant irrigation ditches or those ditches integrated with existing or planned trail systems;
N/A
- viii. Historic, cultural, or archeological sites, buildings, or areas recognized by the town or other government agency as significant;
N/A
- ix. Significant wildlife corridors and habitat;
N/A
- x. Sites with federally or state-recognized endangered species; and
N/A
- xi. Other significant and/or unique features.
No other features were identified.

- c. To the maximum extent reasonably practicable, developments shall be designed in a manner that preserves the natural topography of the site and minimizes the use of cut and fill.

The development design significantly impact the natural topography of the site and requires significant use of cut and fill. This is an extremely challenging site due to the topography, the WAPA power lines, and the oil and gas facility. Large lot single family that extends over the entirety of the parcel does not minimize site development impacts or preserve the site topography. A portion of the central valley is retained.

- ii. Chapter 5 Section 5.4.B Natural And Scenic Resource Protection requires compliance with Section 6.2.
So long as the proposal conflicts with Chapter 6 as previously described it also conflicts with Chapter 5.

- iii. Chapter 6 Open Space Section 6.3.C.4 Characteristics of Open Space to Be Dedicated

6.3.C.4.a.iii To the maximum extent reasonably feasible, a location that is contiguous with or connected to adjacent open space or parks;
The proposed open space is surrounded by the Sunset development enclosed within the loop road and the surrounding houses. It is not contiguous with or connected to any other adjacent open space or park.

6.3.C.4.a.v If the Town has not approved the open space dedication for agricultural purposes, then the property shall be covered with native vegetation and generally free of weeds and other noxious plants and trees. If land being dedicated is not in a native condition acceptable to the Town, then applicant shall be responsible for restoration of the property to native vegetation before the Town accepts it for maintenance.
The area is not appropriate for agricultural purposes. Given the steepness of the terrain establishing native vegetation acceptable to the Town is unlikely to be feasible. Long term maintenance to Town standards will also be difficult due to the topography and lack of access

into the site. Town staff does not recommend that the Town accept ownership or maintenance of the property.

6.3.C.4.d. Design Standards

i. Open Space shall not consist solely of undevelopable or “left-over” pieces of the site but, shall be designed as an integral part of the overall development plan, incorporating identified environmentally and historically significant components of the site.

The design of this site is driven by the fact that the developable land lies on the plateaus on either side of the central valley, the central open space is the left-over undevelopable portion of the property that remains once the remainder of the property is utilized for development.

ii. Open space shall be organized to create continuous, integrated systems that physically and visually connect with the following features dedicated or identified in the Town of Erie Parks, Recreation, Open Space and Trails Master Plan.

(A) Parks or greenways;

(B) School sites;

(C) Historic, cultural, or archeological sites and features; or

(D) Trail and open space systems.

This plan has not organized the open space to create a continuous and connected open space system; the proposed open space is not connected to the Town open space system.

iii. Open space shall be unobstructed by utility lines, built structures, or paved areas (other than trails).

The proposed open space is surrounded by development and it is largely blocked by the development's roads and houses.

iv. 10.6.5 Transportation and Access

D.2.c Connections to Vacant Land - Where new development is adjacent to land likely to be developed or redeveloped in the future, all streets, bicycle paths, and access ways in the development's proposed street system shall continue through to the boundary lines of the area to provide for the orderly subdivision of such adjacent land or the transportation and access needs of the community. In addition, all redevelopment and street improvement projects shall take advantage of opportunities for retrofitting existing streets to provide increased vehicular and pedestrian connectivity.

The requested connection into the salvage yard has not been provided.

D.2.i.ii Should topography or other constraints require the use of straight streets that extend more than 600 feet without being punctuated by cross streets, an oblong median, traffic calming device or similar feature to slow traffic and break up the “runway” appearance.

There are segments of streets over 600 feet in length not punctuated by a cross street, at final plat an appropriate treatment should be applied in these areas.

D.3.c. Maximum Block Lengths - In the Downtown and Old Town Residential Districts, the maximum block length between intersecting streets shall be 600 feet. In all other districts, the maximum length of blocks between intersecting streets shall be 1,500 feet. The average block face across each development site shall be a maximum of 600 feet. In cases where physical barriers or property ownership creates conditions where it is appropriate that these standards be varied, the length may be increased or decreased to meet the existing conditions having due regard for connecting streets, circulation of traffic, and public safety. Such increases or decreases are subject to the review and recommendation of the Town staff.

Please use the definition for block length “length between intersecting streets” found in the criteria in the block length analysis. Block face is the length of one side of the street between intersecting streets (so each length has two faces). Please use these definitions to update the analysis. The criteria allows flexibility to these lengths and once the areas where long blocks and block faces are clear staff can consider how these longer segments relate to the existing physical nature of the property and any mitigation measures that may have been proposed.

- F.3.b Trails shall be constructed in conformance with the Parks, Recreation, Trails and Open Space Master Plan, the Standards and Specifications for Design and Construction of Public Improvements and American with Disabilities Act (ADA) requirements. *As noted in the Parks and Open Space referral, the Spine Trail does not meet these requirements, as a condition of any final plat submittal shall be required to meet these requirements which may require adjustment or removal of adjacent lots.*

v.i 10.6.7 Residential Use Design Standards

- i. Mix of Housing Types – The UDC requires 3 housing types or 2 housing types and 1 housing type variation for developments of this size. *The proposal includes one housing type, single family detached. The plat proposes 9 lots larger than 10,000 sq. ft., these lots are a variation of single family detached. A second housing type is required.*
- a) *On Sheet T1, there is a section in the first column called Housing Diversity and under that it shows two lot sizes. These lot sizes do not reflect the single family detached variations found in the UDC. The single family detached variations that exist as are described in the UDC are Lot Sizes of 5,000 to 9,999 sq. ft. and Lot Sizes 10,000 to 39,999. Could you have this chart updated to reflect the UDC housing types and update all the columns to reflect this?*
- b) *The proposed Alternative Equivalent Compliance is not supportable as Accessory Dwelling Units are not a recognized housing type of variation and are only allowed if approved Special Review Use.*
- e. The subdivision complies with all applicable regulations, standards, requirements, or plans of the Federal or State governments and other relevant jurisdictions, including but not limited to wetlands, water quality, erosion control, and wastewater regulations. *The Town’s water master plan requires Zone 4 service in this area which has not been provided for, please review Engineering comments for additional details on this issue.*
- f. The subdivision will not result in significant adverse impacts on the natural environment, including air, water, noise, storm water management, wildlife, and vegetation, or such impacts will be substantially mitigated. *The most significant impact on the natural environment to result from this development would be the terraforming previously discussed. Beyond the site’s unique topography and visual character there are no known environmental resources or identified concerns.*
- g. The subdivision shall be integrated and connected, where appropriate, with adjacent development through street connections, sidewalks, trails, and similar features. *The proposal is lacking the required street connection into the Blake property to the north but trail connections and a road connection into Erie Highlands to the north are provided. Trail connections to the open space to the south have been provided.*
- h. The subdivision will not result in significant adverse impacts on adjacent properties, or such impacts will be substantially mitigated.

This development will require that the property to the west, the gun club, grant easements for a sewer line and stormwater flows, however these are impacts consistent with development of this type.

- i. Adequate and sufficient public safety, transportation, utility facilities and services, recreation facilities, parks, and schools are available to serve the subject property, while maintaining sufficient levels of service to existing development.

Issues raised by Engineering in regards to necessary water service, road improvements, etc. must be resolved prior to staff being able to determine that this criterion can be met.

- j. As applicable, the proposed phasing plan for development of the subdivision is rational in terms of available infrastructure capacity.

II. Preliminary Plat:

- a. Landscape Plan
 - 1. Pocket Park details shall receive final review at final plat.
- b. Sheet T1 – Title Sheet
 - 1. Update the Land Summary Chart to reflect the correct housing diversity information so that it reflects the types and variations per the UDC as defined in 10.6.7.
- c. Sheet OU1 - Off site Utility Plan
 - 1. Off-site easements for sewer and stormwater are necessary.
- d. Sheet OU2 and OU3 – Overall Utility Plan
 - 1. Rear yard drains shall be put in a tract owned and maintained by the HOA or Metro District.
 - 2. The Drainage Report has been updated and Merrick has provided comments dated May 5, 2019.
 - 3. Merrick notes that “flow outfalls from a storm sewer pipe to a natural area” in a number of areas which could cause erosion. This could result in off site impacts (on Town Open Space and private property) and impacts within the proposed open space.

Since review is a cumulative process and dependent on various criteria, we reserve the right to provide further comment(s) and request additional information upon receipt of this requested information.

REFERRAL AGENCIES

Referral agency packets were sent out and the referral responses that have been received by the Town are being forwarded to you.

- a. Parks & Recreation
- b. OSTAB
- c. Engineering
- d. Merrick and Company
- e. Felsburg Holt & Ullevig
- f. United Power
- g. Tetra Tech



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Legend

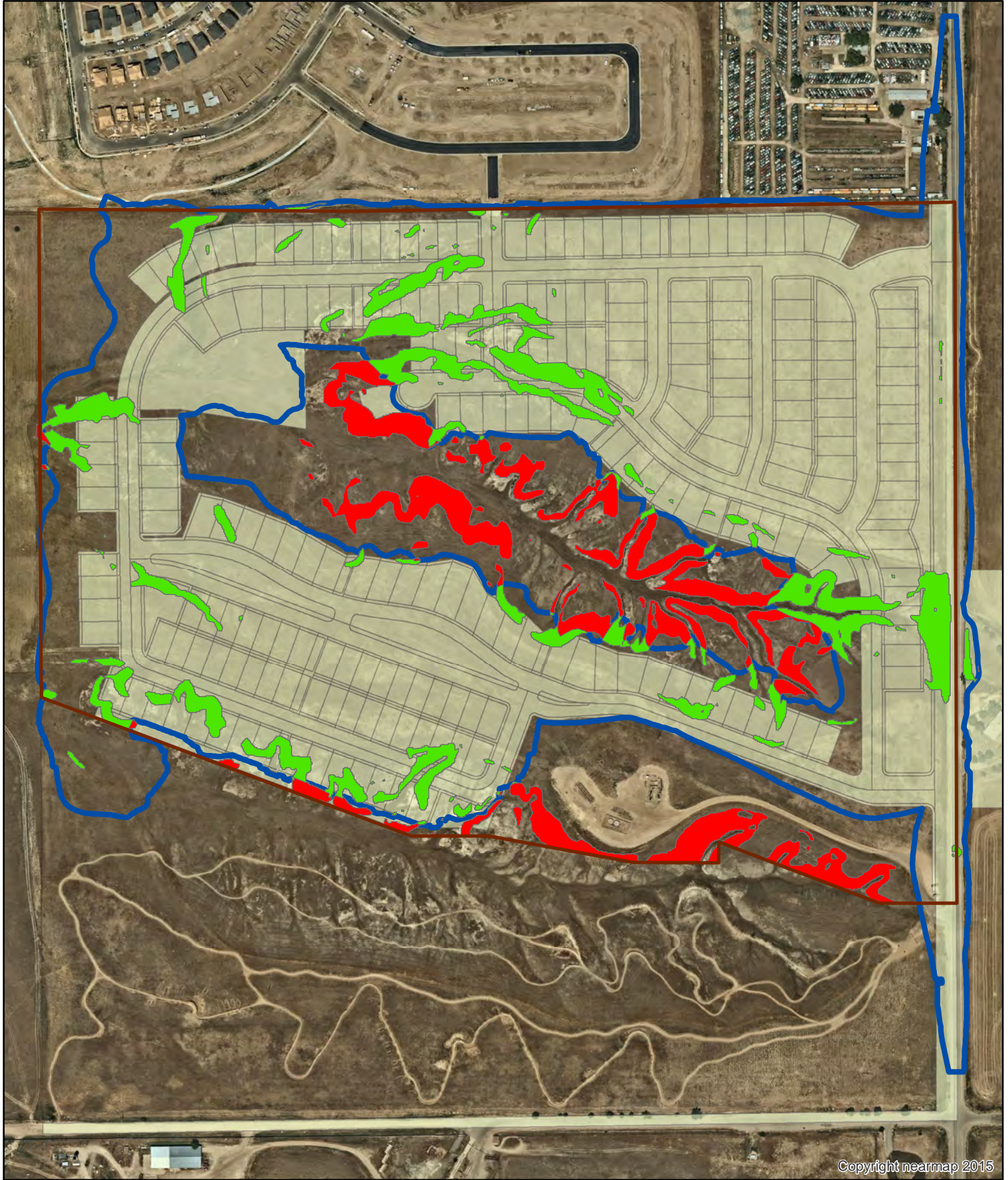
— Sunset Proposed Lots

Slopes

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


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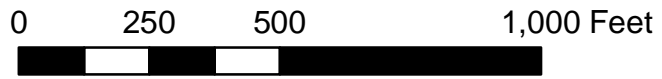


Copyright nearmap 2015

Legend

-  Sunwest project parcel
-  Proposed area of grading
-  Proposed lots
-  Slope over 20% within grading area
-  Slope over 20% within parcel

Parcel area = 4,648,723.2 Sq/ft
 Area of parcel that is over 20% = 569,180 Sq/ft (12.2% of parcel)
 Area of proposed grading = 3,744,890 Sq/ft (80.5% of parcel)
 Area with slope over 20% proposed for grading 302,287 Sq/ft
 (53.1% of area over 20% slope within the parcel)





Internal Memo

To: Hannah Hippely, Senior Planner – Planning & Development
From: Darren Champion, Parks and Open Space Project Coordinator
Date: June 10, 2019
Subject: Sunset – Preliminary Plat & Planned Unit Development
Cc: Farrell Buller, Deputy Town Administrator
Mike McGill, Parks and Open Space Division Manager

Parks & Open Space Division staff have reviewed the subject plans and offer the following comments:

General Comments:

- Staff finds that the open space does not meet the characteristics or design standards as laid out within the Municipal Code, Title 10, the Parks Recreation, Open Space, and Trails Master Plan, and the Town Comprehensive Plan.
 - o Should the BOT determine the open space meets Town standards and is acceptable to meet the dedication requirements, Staff recommends that the Town should not own or maintain this area, instead the Town would accept a conservation easement over the property. The conservation easement would need to be in a format and with terms acceptable to the Board of Trustees.
OR
 - o Should the BOT decide the area proposed as open space does not meet the Town standards but, the Board finds this appropriate the Town could accept fee in lieu for the open space that would be required for this development. The open space as shown would remain privately owned and be the responsibility of the HOA/Metro District to maintain.
- All spine trails must meet ADA standards and follow Town of Erie Standards and Specifications. Currently, it appears the grade exceeds ADA/Town standards. Providing acceptable grades could require the removal of lots and/or additional engineering in the adjacent vicinity of the spine trail. This issue may be resolved at the Final Plat phase however, the final plat will not be approved until the issue is resolved to staff satisfaction and a Final Landscape Plan is approved.

Should the BOT approve the preliminary plat the applicant shall address the following:

- Provide grade elevations within the landscape plans.
- The Town will maintain the spine trail and a mow strip either side. Provide 6 ft. shoulders at a 6:1 grade to allow for this area to be maintained.

- Minimum side clearance shall be 8 ft. from the edge of spine trail; ditches must remain out of this area.
- At each spine trail intersection, there shall be a flared end to assist maintenance vehicles, pedestrians and cyclists in navigating the turn. At ninety (90) degree intersections, flare shall be placed. For more information, refer to Detail P27 for required flare sizes. Please use the “Monolithic Trail Connection” design for the local trail connections that connect to the spine trail.

Landscape Comments:

Sheet 1 of 19

- Open space dedication chart indicates that Tract C is a minimum width of 300 ft., this is incorrect and needs to be corrected.

Sheet 2 of 19

- Local trail connections width is to equal the width of the spine trail to which it connects per 1084.02 of the Town of Erie Standards & Specifications. Correct all trail connections to reflect a width of 8 ft.
- Adjust grade adjacent to the spine trail that exceeds 4:1 in several areas. The grade adjacent to Street B appears to be very problematic.
- Crusher fines are located on the uphill side of the spine trail per Detail P25.
- Manholes cannot be located within 8 ft. of spine trail edges (as measured from outermost edge of concrete and/or crusher fine). Currently there is a storm drain manhole shown within the spine trail.
- The waysides include 6 ft. benches mounted on a concrete pad; number of seating elements to be based on projected trail use. The wayside should be independent of the trail head that is currently shown and immediately accessible (ADA) from the trail.
- It appears there may be steps proposed at the Trailhead; railings cannot be located within the clear zone of the spine trail.

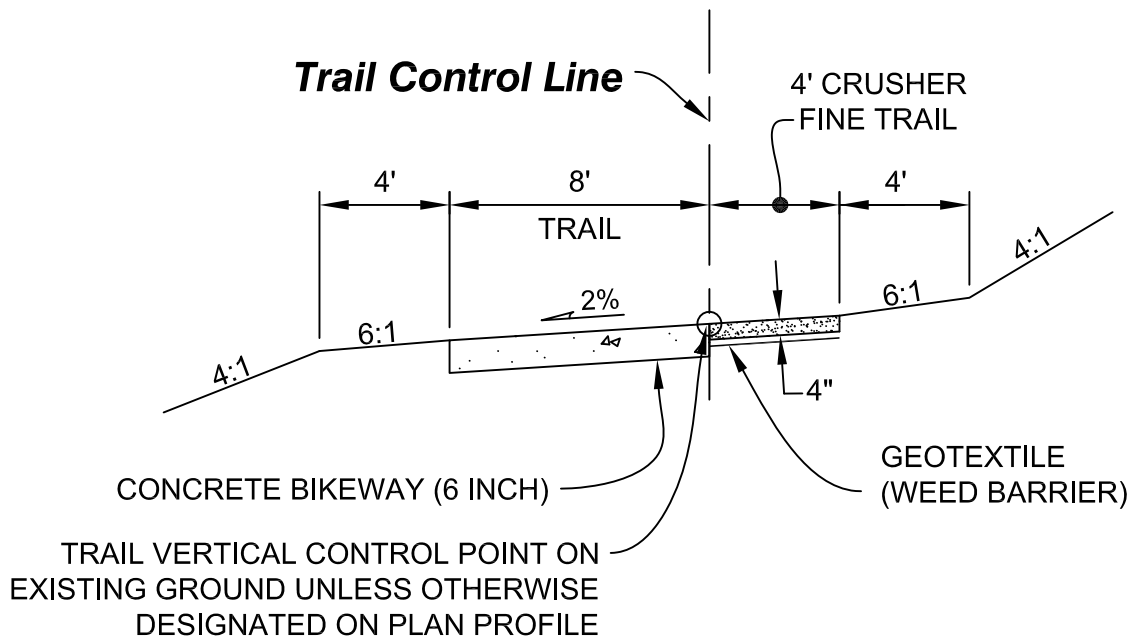
Sheet 8 of 19

- Provide an appropriate 8 ft. curb ramp off Street B to allow for maintenance vehicles to access and/or maintain this trail segment. Realign trail or storm inlet to allow sufficient space for the curb ramp.

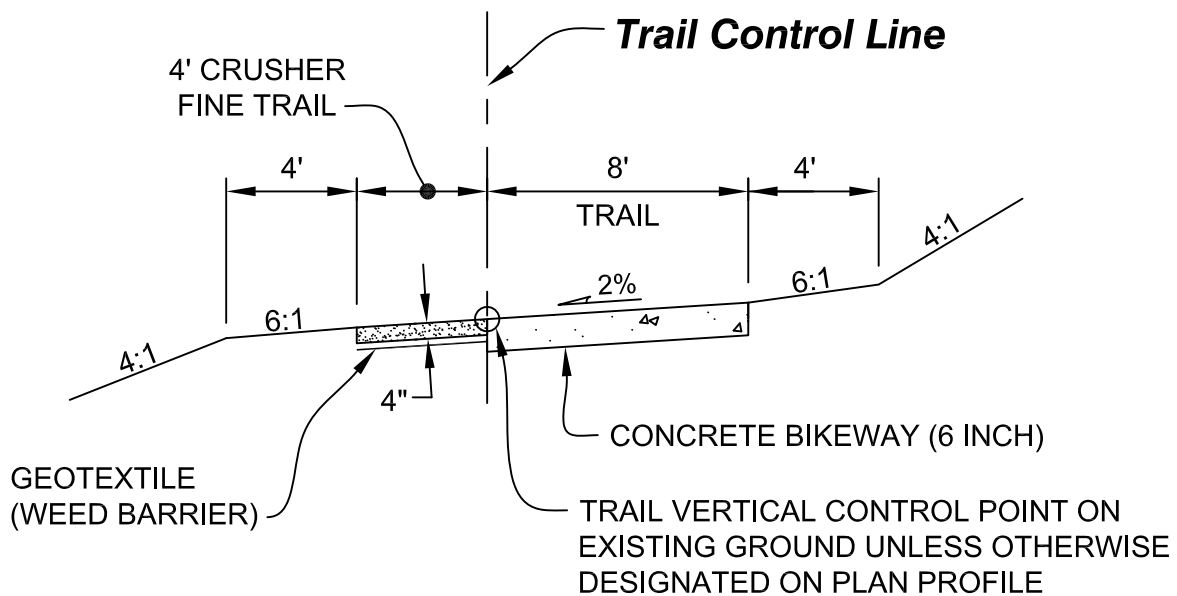
Sheet 9 of 19

- Remove the crusher fines trail that crosses south of the property line and runs adjacent to the detention pond.
- Extend the concrete portion of the spine trail up to the property line.

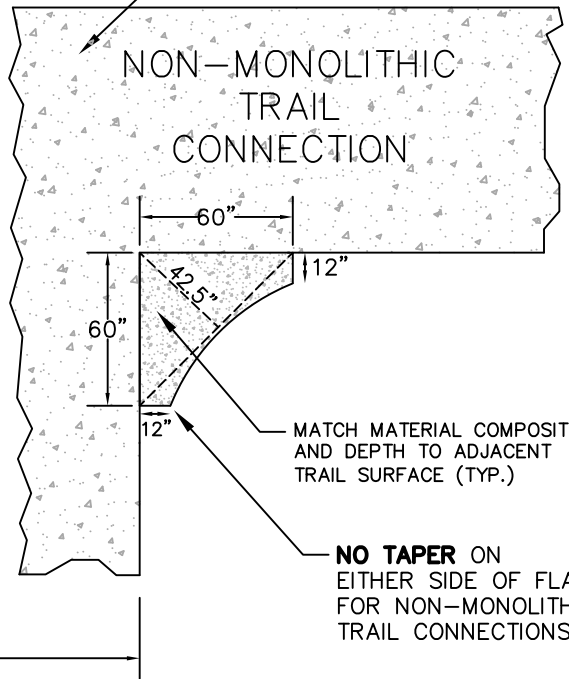
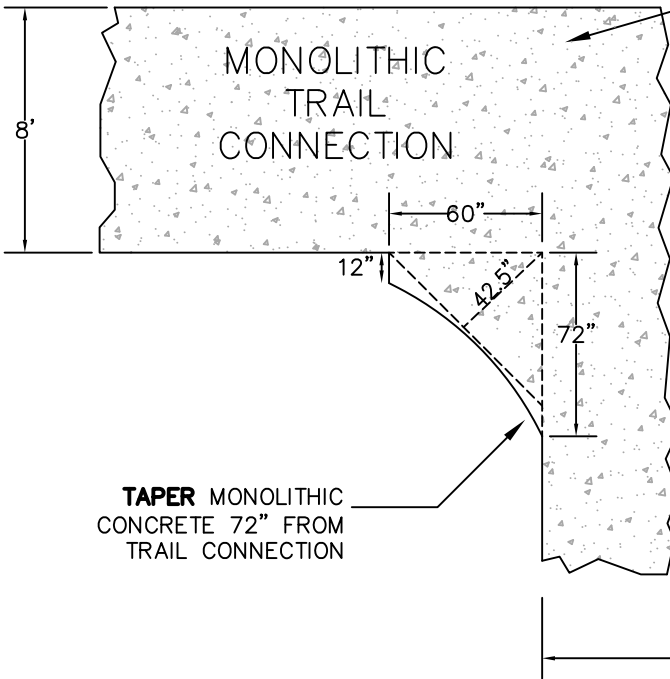
TYPICAL SECTION - CRUSHER FINES LOCATED ON UPHILL SIDE



TYPICAL SECTION - CRUSHER FINES LOCATED ON DOWNHILL SIDE



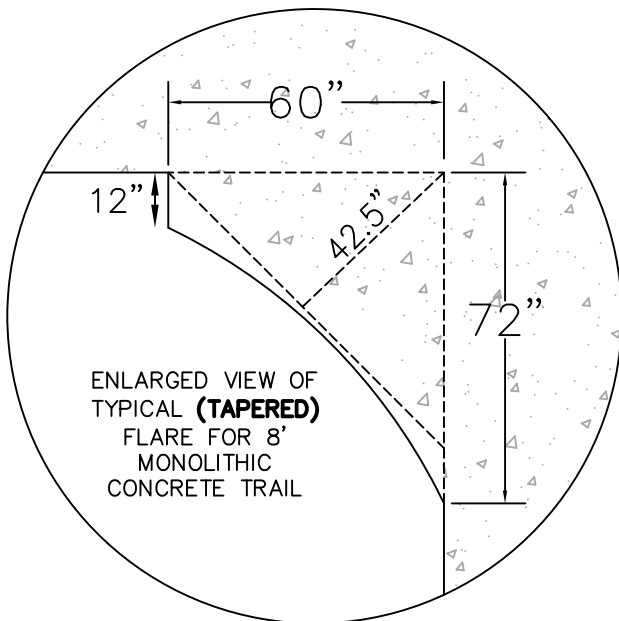
TYPICAL 8' CONCRETE TRAIL



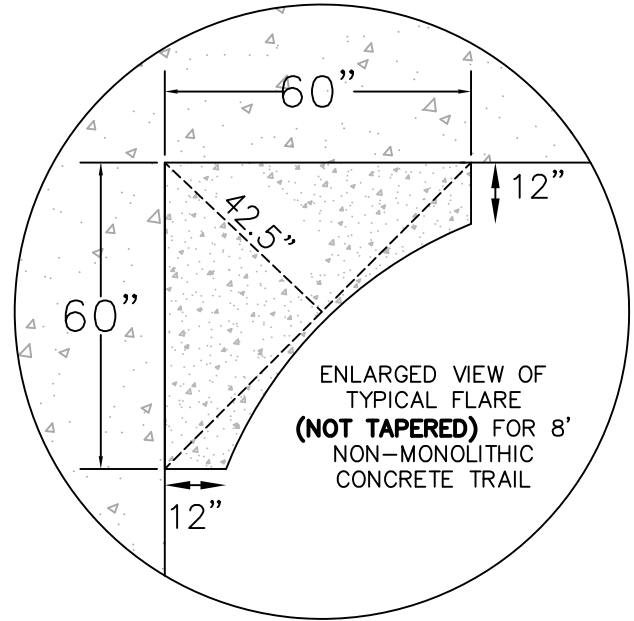
TAPER MONOLITHIC CONCRETE 72" FROM TRAIL CONNECTION

MATCH MATERIAL COMPOSITION AND DEPTH TO ADJACENT TRAIL SURFACE (TYP.)

NO TAPER ON EITHER SIDE OF FLARE FOR NON-MONOLITHIC TRAIL CONNECTIONS



ENLARGED VIEW OF TYPICAL (TAPERED) FLARE FOR 8' MONOLITHIC CONCRETE TRAIL



ENLARGED VIEW OF TYPICAL FLARE (NOT TAPERED) FOR 8' NON-MONOLITHIC CONCRETE TRAIL

NOTES:

1. TRAIL CONNECTIONS THAT DO NOT MEET AT A 90 DEGREE ANGLE WILL BE FITTED IN THE FIELD AND APPROVED BY THE PARKS MANAGER OR DESIGNEE.
2. TRAIL CONNECTIONS LESS THAN 8FT SHALL BE REQUIRED TO HAVE A 3FT FLARE PLACED AT EACH TRAIL INTERSECTION.
3. TRAIL CONNECTIONS 8FT OR MORE SHALL BE REQUIRED TO HAVE A 5FT FLARE PLACED AT EACH TRAIL INTERSECTION.





Town of Erie Open Space and Trails Advisory Board

From: Town of Erie Open Space and Trails Advisory Board (OSTAB)
To: Hannah Hippely, Senior Planner, Community Development
Date: April 25, 2019

Subject: Sunset Preliminary Plat

Date of Drawings:

1. Preliminary Plat – March 1, 2019;
2. Preliminary Landscape Plan – March 15, 2019

Location: NW corner of WCR5 & WCR6

Open Space:

Discussion:

During reviews of multiple previous versions of this application, we had repeatedly expressed concerns that the dedicated open space was surrounded by house lots and roads, and therefore isolated from the Highlands open space to the northwest, and the Town's Sunset Open Space to the south. It was also isolated from the Gun Club, a privately owned, primarily undeveloped, parcel to the west. During our most recent previous review, we learned that the Town and the applicant had formally agreed, during earlier transactions, to permit the applicant to have a specific number of dwelling units on the property. Neither the location nor the type of dwelling units was defined in that agreement. We then had a detailed discussion what changes would be reasonable to reduce the "isolation problem". We intentionally did NOT attempt to identify detailed changes. Thus, we voted upon the following motion: "we recommend the applicant should work with staff to expand and improve open space connectivity on the NW and/or SE portions of the development and preserve [existing] grading to the extent practicable." This motion was unanimously approved.

This application contains the following response by the applicant:

"Sunset set up a meeting with staff to discuss expanding and improving the open space connectivity. Sunset has made the following changes to address the connectivity of the open space.

Seven lots (7) have been removed on the west end of the open space corridor. Removing these lots reduces the grading of the open space substantially and allows for the preservation of the high point of the gully on the east end to be preserved at its natural grade. In addition, the natural contours of the gully's eastern end are preserved in that area. The removal of the lots also provides a view into the gully from WCR5, thus allowing the citizens of Erie visual access to the gully from WCR5.

Eight (8) lots in Block 11 were removed. The removal of these lots opens up 3.75 acres that connects directly to the Sunset Open Space. This area will provide direct access to Sunset Open Space and a children age Single Pump Track course. A single track trail will be provided across

to Sunset Single Pump Tract to allow direct access. A small parking area will be located in this area to allow direct access to the children single tract area.

The addition of this area to the open space in the Sunset Subdivision provides a direct link to the gully open space and the Sunset Open Space.”

After an extensive comparison of this application and the previous, we were unable to find any lots that has been eliminated on the west end of the open space. However, we then examined the eastern end of the application, based upon then applicant’s description of the benefits of this change. At that end, we determined that 5 lots (35-39) had been eliminated from the west side of Street F, and that 2 lots (20 and 21) had been eliminated from the east side of Street F. Additionally, the landscaped buffer south of those eliminated lots (Tract L) was slightly (roughly 0.2 acres) increased in size. Those changes have reduced the grading in the adjacent gully to the west, and provided better views to the west: the dedicated open space, and the Front Range mountains/Continental Divide on the horizon.

The second group of eliminated lots (1-8) were on the south side of Street G, just west of its intersection with WCR 5. However, we do not agree that these 2 changes have improved the connectivity to the Sunset Open Space. The reason: the applicant has ADDED 4 lots (31-34) on the northern side of Street G. The net impact of these multiple changes is there is NOT a material improvement in the undeveloped corridor between the dedicated open space in this application and the Town’s Sunset Open Space to the south. In our opinion, these 4 new lots on the north side of Street G must be removed to provide the necessary connectivity.

Recommendation: Removed the 4 new lots (31-34) on the north side of Street G in order to provide adequate connectivity between the dedicated opens pace in this application and the Town’s Sunset Open Space to the south.

Spine Trail:

Discussion: In our previous response, we did not request any changes to the Spine Trail location. We did notice that this application has made a minor change to the location at the north end. This revision is a more direct route to the Spine Trail in Highlands. Since it is more direct, and the topography slopes from south to north, this revision could result in a slope that is not ADA compliant. The applicant should ensure that the entire Spine Trail is ADA compliant.

Recommendation: Ensure that the entire Spine Trail is ADA compliant.

Neighborhood Trails and Sidewalks:

Discussion: In our previous response, we made 1 recommendation: “Design and construct one or two primitive trails in the large open space area in the center of the application area. Those trails should, in general, follow the existing topography, and connect to the planned narrow open space corridors”. The Landscape Plan (LP) does not have any primitive trails. Instead, it has several “social trail entry points”. An explanation of this concept is in the applicant’s PP Narrative:

“A social/primitive trail will be located within the open space. This trail will have access points at the spine trail wayside near the Sunset main road connecting to the end of the cul-de-sac. Social trail access points will be defined by a short segment of crusher fine path, but the social trail will be established by the residents over time. The Metro District will be responsible for the maintenance of the trail and required to install erosion control measures as warranted.

Allowing the future users access to the gully and letting them define the route will create natural experience not often obtained in a Town setting. The trail surface will be natural and similar

in design to the Sunset East Single-Track. Improvements for stabilization and erosion control will be implemented where needed by the Metro District while maintaining the natural contour of the land.

A secondary social/primitive trail will be located on the southern edge of the Sunset subdivision adjacent the Sunset Open Space. A connection to the Single-Track area will be provided and coordinated with the Town.”

We are very concerned that social trails will be established by residents. We have extensive experience with social trails. They invariably have multiple problems:

- Straight line connections from point A to point B, which don't follow natural contours;
- Very prone to erosion, particularly on land that has steep slopes;
- Too many trails, which negatively impact fauna and flora.

Therefore, we are AGAINST permitting residents to establish social trails. Instead we reiterate our previous recommendation: “Design and construct one or two primitive trails in the large open space area in the center of the application area. Those trails should, in general, follow the existing topography, and connect to the planned narrow open space corridors”.

Recommendation: Design and construct one or two primitive trails in the large open space area in the center of the application area. Those trails should, in general, follow the existing topography, and connect to the planned narrow open space corridors

Please pass this referral letter to the Applicant, and appropriate town departments, boards, and commissions. Thank you for your attention to these matters. OSTAB is available to discuss any of the above in more detail as needed.

Sincerely,

Open Space and Trails Advisory Board

Bob Braudes
Phil Brink
Christine Felz
Ken Martin (Chair)
Tim Payne
Joe Swanson



MEMO

To: Hannah Hippely
From: Chad Schroeder, P.E., CFM, Development Engineer
Date: June 10, 2019
Subject: **Sunset Preliminary Plat**
CC: Joe Smith
Wendi Palmer
David Pasic
Tyler Burhenn

Response Overall Comments:

1. Development conditions surrounding this site have changed substantially since the previous preliminary plat was approved and then expired including the continued buildout of Erie Highlands to the north and the preliminary design of Dearmin East on the east side of WCR 5. As such, the Town will be requiring the Sunset development to construct the west half of the Town's 4 Lane Arterial road cross-section for WCR 5.

Response1: The plans have been revised to show CR5.

The CR5 western half arterial improvements shall be built all the way to the northern property line of the Blake property along CR5. Show the improvements in front of the Blake property all the way to the tie-in with the Erie Highlands CR5 improvements. An additional 30 feet of ROW shall be obtained from the Blake Property along the WCR 5 frontage.

Response2: WCR 5 has been designed to the north property line. The street frontage on the Blake property is not the responsibility of the Sunset development. Sunset will build the WCR 5 as required on the property frontage.

The WCR 5 improvements along the Blake property frontage are required.

Per the Unified Development Code (UDC) Section 10.6.5 – Transportation and Access, C – Traffic Impact Mitigation:

1. Applicability of Traffic Impact Analysis Requirement:

The transportation system for new development shall be capable of supporting the proposed development in addition to the existing and future uses in the area. Evaluation of system capacity shall be undertaken through a Traffic Impact Analysis (TIA), which should consider the following factors without limitation: street capacity and level of service; vehicle access and loading; on-street parking impacts; the availability of transit service and connections to transit; impacts on adjacent neighborhoods; and traffic safety including pedestrian safety.

3. Traffic Mitigation Measures

*The applicant shall, as part of the TIA, recommend measures to minimize or mitigate the anticipated impacts and determine the adequacy of the development's planned access points. Mitigation measures shall be acceptable to the Community Development Director and may include, without limitation: an access management plan; transportation demand management measures; **street***

***improvements on or off the site;** placement of pedestrian, bicycle or transit facilities on or off the site; or other capital improvement projects such as traffic calming infrastructure or capacity improvements.*

D. Streets and On-Site Vehicular Circulation

1. Street Standards

All streets shall meet the standards and requirements set forth in Subsections 5.4.G and H, the Town Transportation Plan and the Town-adopted Construction Standards.

Response3: Sunset subdivision will not be providing street improvements in front of the Blake property. Sunset will provide all WCR5 improvements adjacent to the Sunset Subdivision as required by code.

Per the Town Code previously cited, the Town requires offsite improvements necessary for the respective development. For this particular issue, the Town requires the applicant to acquire the ROW needed in front of the Blake property to construct and install a complete deceleration lane per the traffic study with all appurtenances necessary for safe operations according to the Town Standards.

Response Comments for Drainage Study:

1. Please see the attached comments from the Town's Drainage Review Consultant.

Response1: The report was updated.

Please see the attached follow-on comments from the Town's Drainage Review Consultant.

Response2: See Drainages Report for reply to comments.

A number of the Merrick comments that were said to be addressed in the Drainage Report update were not. Update the drainage report addressing the Merrick comments.

Response3: The report has been updated.

See the attached Merrick comments dated May 2, 2019 and update plans accordingly.

Response Comments for Utility Study:

1. The Utility Study needs to be updated to reflect current development conditions (Erie Highlands constructed), current master plans (2013 Water Master Plan), and current Town Standard and Specifications (2017 Edition). In addition, the proposed utility layout is drastically different than what had been agreed upon in the previous preliminary plat, which needs to be used as the starting point for this current submittal.

Response1: The study has been updated.

- E. The existing 30-inch sanitary sewer line is incorrectly shown on Sheet OU1.

Response2E 1: The location of the 30" line will be verified during the construction design process.

The existing 30-inch sanitary sewer line that will be tapped into needs to be correctly shown in the Preliminary Plat plans as it is shown in the Utility Report.

Response2E 2: The sanitary sewer line has been shown correctly on the plans.

Staff notes for Final Plat design that a potential realignment of the sanitary sewer line should be consider near Coal Creek to reduce the creek crossings from three to one.

- I. Additional PRVs are needed and/or the PRVs shown are not in the correct locations. Correct as needed.

Reponse2I 1: One PRV is required on the line that connects to Erie Highlands.

1. The PRV in the Street C water line stub needs to be relocated to the water line in Street B on the eastern side of the Street C and Street B water line cross junction.

Response2I 2: The PRV has been relocated.

The PRV locations will be contingent upon the water layout plan. The plan needs to show a workable Zone 4 system for Town consideration. Applicant should consult with the proposed Westerly development to the east across WCR 5, which is also needing to provide Zone 4 water.

2. The PRV in the Street G water line needs to be relocated to the eastern side of the Street G and Street B water line tee junction.

Response2I 2: The PRV has been relocated.

The PRV locations will be contingent upon the water layout plan. The plan needs to show a workable Zone 4 system for Town consideration. Applicant should consult with the proposed Westerly development to the east across WCR 5, which is also needing to provide Zone 4 water.

Comments for Preliminary Plat:

1. Show all of the WCR 5 ROW improvements including the water line installation.

Response1: The improvements for WCR 5 are shown to the northern property line with tapers tying to the existing road. The waterline is shown on the OU sheets.

The WCR 5 improvements are not shown along the Blake property frontage.

Response2: WCR5 improvements are not required to be built by the Sunset Subdivision. Sunset will build all improvements adjacent to the Sunset Subdivision and provide transition improvements within the property for future improvements to the Blake property.

Per the Town Code previously cited, the Town requires offsite improvements necessary for the respective development. For this particular issue, the Town requires the applicant to acquire the ROW needed in front of the Blake property to construct and install a complete deceleration lane per the traffic study with all appurtenances necessary for safe operations according to the Town Standards.

2. Provide a stub road to the north into the Blake property for future access.

Response1: The Blake property has two entrances from WCR5. No connections will be made to the Sunset development.

Future development of the Blake property will require the removal of the two access points. Therefore, the access stub to the southern Blake property line shall be provided as it is being provided by Erie Highlands to the northern Blake property line.

Per the UDC Section 10.6.5 – Transportation and Access, D. Streets and On-Site Vehicular Circulation:

2. Street Connectivity

a. Purpose

Street and block patterns should include a clear hierarchy of well-connected streets that distribute traffic over multiple streets and avoids traffic congestion on principal routes. Within each residential development, the access and

*circulation system should accommodate the safe, efficient, and convenient movement of vehicles, bicycles, and pedestrians through the development, and **provide ample opportunities for linking adjacent neighborhoods, properties, and land uses.** Local neighborhood street systems are intended to provide multiple direct connections to and between local destinations such as parks, schools, and shopping. **These connections should knit separate developments together, rather than forming barriers between them.***

c. Connections to Vacant Land

*Where new development is **adjacent to land likely to be developed or redeveloped in the future, all streets, bicycle paths, and access ways in the development's proposed street system shall continue through to the boundary lines of the area to provide for the orderly subdivision of such adjacent land** or the transportation and access needs of the community. In addition, all redevelopment and street improvement projects shall take advantage of opportunities for retrofitting existing streets to provide increased vehicular and pedestrian connectivity.*

f. Neighborhood Circulation

***Street connections shall connect neighborhoods to each other** and to local destinations such as schools, parks, greenbelt trail systems, and shopping centers, while minimizing neighborhood cut-through vehicle traffic movements that are nonlocal in nature. Configuration of local and internal streets and traffic calming measures shall be used to discourage use of the local street system for cut-through collector or arterial vehicular traffic.*

Response2: An access is provided by Erie Highlands on the north side of the Blake property. A right in right out would be allowed along WCR5 per the Town standards. The access point from Sunset would need to be located at our Street E intersection which does not line up with the Erie Highlands access point. The Blake property is a about 10 acres. The Erie Comprehensive Plan shows the property as LR Low Density Residential which allows 2-6 DU per acre. Given 10 acres of land that would be a maximum of 60 units on the property with two entrances. Given the limited density of the site a full entrance from Erie Highlands and a right in right out is sufficient for access to the property.

Comment stills stands to require a road stub into the Blake property to the north.

3. The WAPA utility poles will need to be relocated which are currently shown in the south access southbound right turn acceleration lane.

Response 1: Sunset is working with WAPA to relocate the Pole. The pole will be relocated approximately 20 feet west of its current location.

WAPA will need to provide an approval letter for moving the poles prior to Final Plat approval.

Response 2: Comment noted, we are working with WAPA to obtain this letter.

Comment stands, but no further response needed at this time.

May 2, 2019

2480 W. 26th Avenue, Unit B225
Denver, Colorado 80211
Tel: +1 303-964-3333
Fax: +1 303-964-3355

Town of Erie, Engineering Division
P.O. Box 750
645 Holbrook Street
Erie, Colorado 80516

www.merrick.com

**RE: REVIEW OF SUNSET DEVELOPMENT PHASE II DRAINAGE REPORT
RESUBMITTAL**

Dear Engineering Division:

We have reviewed the Sunset Development resubmittal received on April 8, 2019. The resubmittal included the Phase II Drainage Report for the Sunset Development (revised April 2019), a proposed drainage exhibit, response letter to the previous review, and other documents by Calibre Engineering, Inc. We have the following comments to offer:

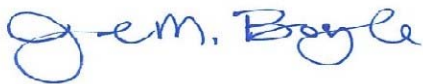
Phase II Drainage Report

1. At several locations within the site (OS-1, OS-4, A—15, C-2, etc.), flow outfalls from a storm sewer pipe to a natural area. Release of flow from a point source to natural area could erode the undisturbed areas even with riprap, thus the need for flow spreading. Provide flow spreading measures to reduce the velocity at the outfalls of these pipes.
2. In Appendix B, the 100-year flow at design point 17 is shown as 20.4 cfs basin on an analysis for the entire tributary area. However, this flow is less than the 100-year flow just from Basin OS-2 (30.2 cfs). Check the runoff analysis and size the downstream drainage system for the most conservative result.
3. Per Town criteria, channels shall have 1-foot of freeboard above the 100-year water surface elevation. Update channel designs to include 1-foot of freeboard, particularly channels in Basins A-13, A-14, A-15, C-2, and C-1.
4. Provide emergency overflow calculations and sizing for Ponds A and B. Emergency overflows shall be designed to convey twice maximum release rate for the 100-year storm event per Town criteria.
5. It appears that only the street runoff in Basin OS-4 will be collected in the proposed Type R inlet and be routed through the Town Open Space and to Pond B. If so, Basin OS-4 must be divided into two basins to accurately analyzed the runoff conditions.
6. It appears that the tributary area from Basin OS-4 was not included in the pond sizing calculations for Pond B. Per comment 5 above, adjust this area as needed and include in the sizing for Pond B.
7. In the responses for the previous submittal, it was noted that maintenance will be done by the metro district. The Urban Drainage and Flood Control District boundary does not extend to this area and even so, maintenance eligibility would only be given for regional facilities and they do not maintain storm sewer systems. The Town of Erie is also not responsible for

local maintenance unless an agreement is made. Clarify who will be responsible for maintenance for all inlets, storm sewer systems, and ponds. If a metro district is planned to be set up for this development, clarify this in the report text.

8. In Appendix E, update the references to be from the latest version of the Urban Storm Drainage Criteria Manual (USDCM). The references should match what was used in the calculations (i.e. use tables 6-3 and 6-5 from USDCM instead of Table RO-5 and Figure RO-5.)

Sincerely,
Merrick & Company



Jeanne M. Boyle, PE, CFM



Clare Steninger, PE



April 23, 2019

MEMORANDUM

TO: Hannah Hippely

FROM: Charles M. Buck, P.E., PTOE

SUBJECT: Review of Preliminary Plat and Planned Unit Development Application - Sunset
PP-000838-2016 and PUD-000849-2017
FHU # 95-190

We have reviewed the Preliminary Plat and Planned Unit Development materials provided for Sunset. We have examined these materials relative to traffic engineering and transportation planning but not general civil or utility engineering. We have reviewed previous submittals for this development. Per our most recent referral response, dated May 25, 2018, our previous concerns with traffic engineering aspects of Sunset have been adequately addressed.

We have no traffic or transportation related concerns with this development. This constitutes our review of the materials provided for Sunset. Please call if you have any questions or need additional information.

Hannah Hippely

From: Gina Lujan <glujan@unitedpower.com>
Sent: Friday, April 26, 2019 11:06 AM
To: Development Referral
Subject: Preliminary Plat & Planned Unit Development PP-000838-2016 FS Erie Estates

Good morning Hannah,

Thank you for inviting United Power, Inc. to comment and review Sunset Plat and Amendment to Tract A.

As always, we appreciate the planned and continuous utility easements.

We look forward to provided electric service to Sunset/Erie Estates.

Best regards,

Gina

Gina Lujan
Right of Way Specialist
Office: 303-637-1268
Hours: M – F 7:00-3:30

UNITEDPOWER
500 Cooperative Way
Brighton CO 80603
Fax: 303-637-1344

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To: Hannah Hippely, Senior Planner

From: Anne Best Johnson and Savannah Benedick-Welch

Date: May 16, 2019

Subject: Sunset Preliminary Plat Submittal and Technical Review

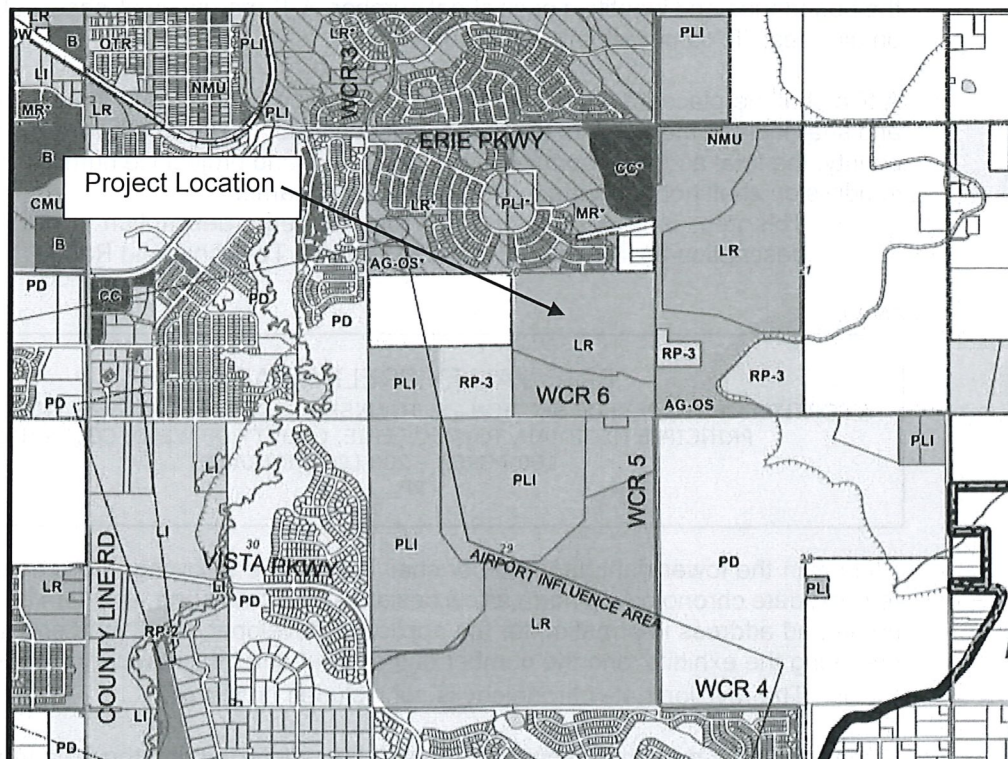
The Comprehensive Plan portion of the April 30, 2019 memo have been removed from this memo. This memo identifies issues to be addressed by the applicant prior to submitting the next phase of review. Tetra Tech's comments to the application are in blue font.

Project Narrative:

- Preliminary Plat for a residential subdivision containing 231 lots and 21 tracts.

Site Information:

- Location: Located west of County Road 5 between Erie Parkway and County Road 6 in part of the southeast quarter of Section 20, Township 1N, Range 68 West.
- Acreage: 103.83 +/- acres
- Property zoning is LR, Low – Density Residential, according to the following map inset from the February 5, 2019 Zoning Map.



The proposed Sunset Preliminary Plan illustrates 231 dwelling units on 103.83 acres for an overall density of 2.24 dwelling units/acre. This density is at the low end for the LDR projected land use and at the high end for the RR projected land use. While the Comprehensive Plan Map identifies the mix of uses to be RR and LDR, the Zoning Map identifies the property to be zoned LDR.

Technical Review – per Preliminary Plat User Guide:

The following information represents a review of the technical information contained within the Slope Map, the Preliminary Plat and the Preliminary Landscape Plan set.

Review Checklist:

1. Submittal package – is it complete?
 - ✓ Application fee
 - ✓ Written Narrative
 - ✓ Proof of ownership
 - ✓ Notarized letter of authorization
 - ✓ Special agreements
 - Development Agreement – Not applicable
 - ✓ Land Title Survey – previous submittals
 - ✓ Preliminary Plat
 - ✓ Development Reports and Plans: Traffic Study, Geotech report, Ecological Resources Survey, Preliminary Drainage Report, Grading Criteria, Environmental Assessment, Subsidence Report, Cultural Resources Inventory, Soils Report

2. Preliminary Plat elements:
 - ✓ The plat exhibits shall be prepared on 24" x 36" paper at a scale that best conveys the detailed survey, engineering and design of the subdivision, not to exceed 1"=100'. If a proposal requires multiple sheets, a composite, on 24" x 36" paper, shall be provided that delineates the boundaries and identifies each sheet number. A 1" margin on all sheets shall be left blank on all sides; Tt comment: this item is met.

 - ✓ A title shall be placed at the top/center of the sheet along the long dimension of each sheet and shall include the name of the proposed subdivision, general aliquot legal description with county, the total acreage, number of lots proposed, and project file number. The name of the subdivision shall not duplicate existing subdivision names;
 - i. This item is generally met, however the legal description is not an aliquot legal description as it does not show the Section, Township and Range.

EXAMPLE:

ERIE VALLEY PRELIMINARY PLAT
 A PORTION OF THE N ½ OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH
 PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, COLORADO
 100 ACRES – 200 LOTS/8 TRACTS
 PP__-__

A block in the lower right-hand corner shall include the following: the preparation date and revision date chronology; a north arrow designated as true north; a written and graphic scale; name and address information for the applicant, developer, registered engineer or surveyor preparing the exhibits; and the number of the sheet and total number of sheets;

- ii. The revision date chronology is not included on the plat
- ✓ A scaled vicinity map that depicts the area to be subdivided and the area that surrounds the proposal within a 1-mile radius;

- i. This item is generally met.

A written metes and bounds legal description of the subdivision boundary with a map showing all information as required by State Statutes. The names and locations of all abutting subdivisions, the location of all abutting unplatted parcels and public lands shall be depicted. All lines, names and descriptions on the plat which do not constitute a part of the subdivision shall be screened back or shown as dashed lines. Any area enclosed by the subdivision, but not part thereof shall be labeled "Not a Part of this Subdivision";

- ii. The plat documents do not show the metes and bounds description of the subdivision other than the basis of bearings description. The subdivision directly north of the subject property is not labeled on the vicinity map.

- ✓ Display ties to aliquot section corners and to the State grid which shows dimensions of all primary boundary survey control points with complete monument and location descriptions, all parcel lines showing dimensions with lengths, bearings, and curve data, including chord lengths and bearings, basis of bearings and relation to true meridian and similar data. Only circular curves shall be used. No spirals, parabolas, etc. shall be used. All dimensions are to be shown to the nearest 0.01' or in the cases of degrees, to the nearest second. An accuracy of 1:50,000 (second order) minimum for linear and angular (bearing) closure shall be required for the boundary. All internal lots, tracts and parcels shall have a closure accuracy of 0.01'; Tt comments: vicinity map shows section corners and plat sheets show applicable descriptions of monuments.

- i. This item is generally met.

- ✓ Depict all lots, blocks, tracts, and when appropriate, building envelopes, providing accurate dimensions with linear, bearing, and curve data. All lots and tracts shall be shown in their entirety on one sheet. Lots and blocks shall be numbered consecutively, tracts shall be lettered alphabetically. Include the acreage within each lot to the nearest 0.01 of an acre. In residential subdivisions, tracts shall be used exclusively for non- residential property and uses;

- i. This item is generally met. Suggestion: blocks should be labelled as blocks as well as the numeric value.

- ✓ Depict all road names, right-of-way widths at each leg of an intersection, at point of curve and point of tangent, at dead ends and at angle points; and right-of-way lines with accurate distance and bearings, central angles and radii of all curves. If any road in the subdivision is a continuation or approximately a continuation of an existing road, the conformity or the amount of conformity of the new road to the existing road shall be accurately shown;

- i. This item is generally met. Suggestion: streets should be named something other than alphabetic values.

Depict the purpose, width and location of all easements and abutting easements with fine dashed lines. The widths of all easements and sufficient data to definitely locate the same with respect to the subdivision and each lot must be shown. All easements must be clearly labeled and identified. If an easement shown on the plat is already of record, its recorded reference shall be given. If an easement is being dedicated by the plat, it shall be set out in the owner's certificate. A plat note may be necessary to provide complete information of the purpose of the easement;

- i. The plat illustrates 8' utility easements along all front and rear lot lines, as well as a 75' WAPA easement for overhead power lines, a 50' existing oil and gas easement to be vacated and a 30' oil and gas easement to be dedicated. The WAPA easement is to remain, with the WAPA structure moved 30' west. Gas lines are proposed to be moved to the newly dedicated 30' easement. Existing easements do not appear to be labelled with recording information, i.e. reception number.

Accurately locate 100-year floodplains, all existing/proposed watercourses, retention and detention areas, wetlands and riparian areas, streams, lakes, ditches and laterals on the effected property;

- ii. After review of the Weld County GIS website, this property is not located within a 100-year floodplain. Weld County layers do illustrate a natural drainageway on the subject property that should be labelled on the Existing Conditions Plan (Sheet EC1).

- ✓ Depict existing subdivision lot lines or metes and bounds property lines and rights-of-way within 100' of the proposal. Said information for adjacent properties shall be screened back;
 - i. This is met as shown on the vicinity map.

Identify the land use and zone district information of all adjacent property. When an adjacent property is not within the Town's boundary, the respective jurisdictions' land use and zone district information shall be identified;

- ii. Tt comment: this is shown to the east, west and south, but not to the north, Erie Highlands.

- ✓ Provide a "Land Summary Chart" that accounts for all of the land area within the subdivision as follows:

LAND SUMMARY CHART		
TYPE	AREA	% OF TOTAL AREA
Residential Lots		
Tracts		
Public ROW		
TOTAL		

- ✓ Include a "Tract Summary Chart" and plat notes that adequately explain information pertinent to the execution, ownership and maintenance of the tracts within the subdivision:

TRACT SUMMARY CHART				
TRACT	AREA	USE	OWNERSHIP	MAINTENANCE

The above tables are provided on the Preliminary Plat cover sheet.

Other comments:

It would be helpful to include the number of single-family and next-generation housing types on the Land Summary Chart

It would be helpful to include an exhibit illustrating the connectivity of the proposed development to adjacent trails and how the internal parks/open space features will be connected. This can be a new sheet inserted into the Landscaping package. This will enable a more complete review for concurrent with 10.6.4 of the Development Code.



Department of Planning & Development

The Town of Erie

645 Holbrook St.
 P.O. Box 750
 Erie, CO 80516
 (303) 926-2774

Planning

Memo

To: Yvonne Seaman
 From: Hannah Hippely, AICP
 Date: June 22, 2018
 Re: Community Development Review Comments from Development Review Team Meeting for:
 1. PP-000838-2016: Sunset Preliminary Plat Application
 cc: Steve Foley, Deborah Bachelder, Todd Bjerkaas

Community Development has reviewed your resubmittal for Sunset Preliminary Plat application for conformance with Municipal Code, Title 10. The application was reviewed at the June 14, 2018 Development Review Team (DRT) meeting.

A. This resubmittal did not address the conflicts with the preliminary plat approval criteria of the UDC which staff detailed in the memo dated January 12, 2018 nor has the resubmittal addressed the following deficiencies:

- a. 10.6.5 Transportation and Access – This design does not meet the UDC standards.
 - 1. Residential streets that extend more than 600 feet without being punctuated by cross streets shall use an oblong median, traffic calming devise or similar feature to slow traffic and break up the “runway” appearance.
 - 2. Block Standards
 - i. Maximum block length between intersecting streets allowed by the UDC is 1,500 ft. As shown on the Block Length Exhibit provided the following exceed this maximum: L and M, which are one continuous street, is 3, 041 ft., E is 2, 026 ft., A is 2,151 ft., B is 1,548 ft.
 - ii. Average block face within a development shall be a maximum of 600 ft., with the block face lengths given below, as extracted from the Block Length Exhibit, average block face is 940 ft.

Block Face	A	B	D	E	F	H	K	L&M	N	O	P	R	T	V	X	Y	Z	AA
Length (Feet)	2151	1548	130	2026	416	1100	992	3041	983	677	698	547	575	555	394	385	339	371

- b. Residential Use Design Standards
 - 1. Mix of Housing Types - This design does not meet the UDC standards.
 - i. The UDC requires 3 housing types or 2 housing types and 1 housing type variation for developments of this size. The proposal includes one housing type, single family detached. The plat proposes 9 lots larger than 10,000 sq. ft., this is 4% of the lots that would fall into a second variation. These larger lots are only marginally larger and do little to create diversity within the neighborhood. Nor is a larger lot sized used to influence or contribute to the neighborhood design in any way.

B. Should the preliminary plat be approved by the Board of Trustees, staff recommends the following as conditions of approval.

- a. Prior to approval of a final plat by the Town, the plans must be approved by WAPA and a fully executed and recorded license agreement documenting this approval shall be provided.
- b. Prior to approval of a final plat by the Town, a fully executed and recorded agreement regarding the relocation of the pipelines shall be provided.
- c. The development shall occur in two phases. Phase 1 shall include what is shown on Sheet SP1 as Phase 1 and Phase 2 phase so that the first phase as a development complete with appropriate amenities and connectivity is developed. Phase 2 shall be what is shown on Sheet SP1 as Phase 3.

- d. The timing of the construction of the Spine Trail and second portion of the east-west trail along the north property line shall be a specific timeframe specified in the development agreement for Phase 1 (first final plat).

C. Preliminary Plat:

- a. Landscape Plan
 - 1. Pocket Park requirements for plant materials shall be spelled out in a table on each detail sheet, the detail sheet shall show species and numbers in the detail and in the table.
- b. Sheet T1 – Title Sheet
 - 1. Update the Land Summary Chart to reflect the correct housing diversity information.
- c. Grading Plan
 - 1. A 9’ retaining wall is called out on GR 1 and 2 but, the location of this is not clear not is it clear if 9’ refers to height or length.
 - 2. There is a retaining wall in the pocket park Tract D, this should be on the grading plan.
- d. Sheet OU1 - Off site Utility Plan
 - 1. Please review the Engineering referral for comments related to utilities.
- e. Sheet OU2 and OU3 – Overall Utility Plan
 - 1. Storm drains outfall into the proposed open space (Tract F) in three locations. Stormwater is then conveyed through the drainage channel to the pond in Tract E. Per the referral response from Merrick dated 12/21/17, the Phase II Drainage Report needs updated to address a variety of comments. The referral states “the proposed drainage plan includes routing concentrated flows to natural drainage swales in the open space area.” Recommendations for channel stabilization and erosion protection at outlets are included. Response to these comments will impact the design of the drainage facilities within Tract F and result in additional infrastructure (rip rap for erosion control, drop structures, etc.) being necessary to manage the increased amount of flows and now concentrated flows.
 - 2. Drainage facilities installed within storm water channel will be privately maintained by the HOA. Access to these facilities will be necessary, but it does not appear that this has been provided for in the design of the subdivision.
 - 3. At this time, the impact of the storm water drainage facilities (construction and long term maintenance) on Tract F is unknown as the plans have not addressed this. The improvements needed to accommodate the additional flows resulting from development and the changed nature of these flows will certainly change the character of Tract F through the installation of man-made facilities, channelization, and erosion of the storm water channel. Storm water channels are not eligible to be counted toward the required open space dedication.
 - 4. The details of the drainage facilities and associated stabilization and erosion control requirements will impact the area proposed as Town-owned open space to an unknown degree, this should be more fully understood before proceeding to public hearings.

These comments have not been updated since the previous set of comments. A revised Drainage Report was not provided and the response comments do not match the plans. For example, a rear lot drainage system was proposed in the resubmittal comments but, was not provided for in the plans.

- f. Section 6.14 *Oil and Gas Wells and Production Facilities* identifies the town’s requirements for new, existing, and relocated oil and gas facilities.
 - 1. Facilities shown on Sheet SP6 have not been located and tied to the State grid.
 - 2. UDC setbacks must be shown and labeled on Sheet SP6. A number of buffers are shown but, they aren’t labeled, please label all identified buffers.

Since review is a cumulative process and dependent on various criteria, we reserve the right to provide further comment(s) and request additional information upon receipt of this requested information.

REFERRAL AGENCIES

Referral agency packets were sent out and the referral responses that have been received by the Town are being forwarded to you.

- a. Parks & Recreation: See attached comments.
- b. OSTAB: See attached comments.
- c. Engineering: Comments will be forwarded upon receipt.
- d. Merrick and Company: See attached comments.
- e. Kerr-McGee Gathering LLC (Anadarko): See attached comments.
- f. United Power: See attached comments.
- g. Felsburg Holt & Ullevig: See attached comments.

MEMO

To: Hannah Hippely
From: Chad Schroeder, P.E., CFM, Development Engineer
Date: July 27, 2018
Subject: **Sunset Preliminary Plat**
CC: Russell Pennington
Wendi Palmer
Mathew Wiederspahn

Response Overall Comments:

1. Development conditions surrounding this site have changed substantially since the previous preliminary plat was approved and then expired including the continued buildout of Erie Highlands to the north and the preliminary design of Dearmin East on the east side of WCR 5. As such, the Town will be requiring the Sunset development to construct the west half of the Town's 4 Lane Arterial road cross-section for WCR 5.

Response1: The plans have been revised to show CR5.

The CR5 western half arterial improvements shall be built all the way to the northern property line of the Blake property along CR5. Show the improvements in front of the Blake property all the way to the tie-in with the Erie Highlands CR5 improvements. An additional 30 feet of ROW shall be obtained from the Blake Property along the WCR 5 frontage.

Response2: WCR 5 has been designed to the north property line. The street frontage on the Blake property is not the responsibility of the Sunset development. Sunset will build the WCR 5 as required on the property frontage.

The WCR 5 improvements along the Blake property frontage are required.

Per the Unified Development Code (UDC) Section 10.6.5 – Transportation and Access, C – Traffic Impact Mitigation:

1. Applicability of Traffic Impact Analysis Requirement:

The transportation system for new development shall be capable of supporting the proposed development in addition to the existing and future uses in the area. Evaluation of system capacity shall be undertaken through a Traffic Impact Analysis (TIA), which should consider the following factors without limitation: street capacity and level of service; vehicle access and loading; on-street parking impacts; the availability of transit service and connections to transit; impacts on adjacent neighborhoods; and traffic safety including pedestrian safety.

3. Traffic Mitigation Measures

*The applicant shall, as part of the TIA, recommend measures to minimize or mitigate the anticipated impacts and determine the adequacy of the development's planned access points. Mitigation measures shall be acceptable to the Community Development Director and may include, without limitation: an access management plan; transportation demand management measures; **street improvements on or off the site**; placement of pedestrian, bicycle or transit facilities on*

or off the site; or other capital improvement projects such as traffic calming infrastructure or capacity improvements.

D. Streets and On-Site Vehicular Circulation

1. Street Standards

All streets shall meet the standards and requirements set forth in Subsections 5.4.G and H, the Town Transportation Plan and the Town-adopted Construction Standards.

Response Comments for Drainage Study:

1. Please see the attached comments from the Town's Drainage Review Consultant.

Response1: The report was updated.

Please see the attached follow-on comments from the Town's Drainage Review Consultant.

Response2: See Drainages Report for reply to comments.

A number of the Merrick comments that were said to be addressed in the Drainage Report update were not. Update the drainage report addressing the Merrick comments.

Response Comments for Utility Study:

1. The Utility Study needs to be updated to reflect current development conditions (Erie Highlands constructed), current master plans (2013 Water Master Plan), and current Town Standard and Specifications (2017 Edition). In addition, the proposed utility layout is drastically different than what had been agreed upon in the previous preliminary plat, which needs to be used as the starting point for this current submittal.

Response1: The study has been updated.

- A. Update the water plan and layout to the agreed upon changes from the previous preliminary plat review. Alternatively, provide a modified layout that provides equivalent capacity for staff's review and approval.

Response2A: The water layout has been updated to reflect the new line in WCR 5 and the connection to the line in Erie Highlands.

The following changes still need to be made to the water plan layout:

1. 12-inch stub is required to the northwest corner of the development.
2. The water line that runs through the western side of the property in Street B needs to be 16 inches instead of 8 inches.
3. The water line that runs through the eastern side of the property in Streets B & F needs to be 12 inches instead of 8 inches.

- E. The existing 30-inch sanitary sewer line is incorrectly shown on Sheet OU1.

Response2E: The location of the 30" line will be verified during the construction design process.

The existing 30-inch sanitary sewer line that will be tapped into needs to be correctly shown in the Preliminary Plat plans as it is shown in the Utility Report.

- F. The 2013 Water Master Plan is still not used for reference. Update the Utility Study accordingly.

Response2F: Completed

The 2006 Water Master Plan is still referenced and needs to be updated along with associated maps and exhibits.

- I. Additional PRVs are needed and/or the PRVs shown are not in the correct locations. Correct as needed.

Response2I: One PRV is required on the line that connects to Erie Highlands.

1. The PRV in the Street C water line stub needs to be relocated to the water line in Street B on the eastern side of the Street C and Street B water line cross junction.
2. The PRV in the Street G water line needs to be relocated to the eastern side of the Street G and Street B water line tee junction.

Response Comments for Preliminary Plat:

1. The adjacent tracts, lots, easements, and right-of-ways that have been platted to the north in Erie Highlands need to be shown.

aResponse1: Background information has been added.

- A. Update the Erie Highlands ownership of the northern bordering properties throughout the sheets accordingly.

Response2A: Owner information has been added.

The Erie Highlands subdivision is no longer owned by J. Dearmin West, LLC. Also, the Landfill is not owned by GFX Regional Land Fill Inc. Update accordingly.

- B. Show abutting easements along the Erie Highlands boundary.

Response2B: Easements provided by the Highlands engineer have been shown.

Show all easements, tracts, right-of-way and lots within 100 feet of the property. Erie Highlands Filing 11 and 12 are the abutting plats.

- C. Show the western neighboring property lines.

Response2C: Property lines have been added.

The abutting western property lines of Erie Highlands, Greenmill Sportmans Gun Club, and the land fill still need to be shown.

2. On Sheet SP6, the one way road south of Street H will be a private street and needs to be labelled as such.

Response1: Agreed, the road will be private and has been labeled as such on the typical section.

Label the typical section as Street H.

Response2: Private road typical section labeled as Street H.

Sheet H needs to be labeled Private, or brought up full Local Road Standards.

3. On Sheet TY1:

- b. All street cross-section must have a minimum 7 foot wide tree lawn per the Town's current standards.

Response1: Tree lawn widths have been revised.

1. The Entrance Modified Local Street needs to meet Residential Collector Standards including the 7-foot wide tree lawn.

Response2.1: All streets will meet the typical Street section as shown on Sheet TY1.

The Entrance Modified Local Street still does not show a 7-foot wide tree lawn. Adjust accordingly.

4. On Sheet GR1, grading slopes within areas to be dedicated as open space must be a maximum of 5:1. In addition, to receive open space credit for the detention pond, it must be a maximum of 5 feet deep.

Response1: The pond and areas not at 5:1 were not counted in the open space dedication. The credited open space area exceeds the requirement.

- B. Update the abutting grading along the northern boundary with the Erie Highlands Filing 12 grading plans.

Response2B: Sunset is coordinating with the Erie Highlands design Team. The grading will be verified during the final construction design phase.

Neighboring existing grading needs to be shown for Preliminary Plat approval. Erie Highlands has been graded in this area and can be accurately shown.

5. On Sheet GR2:

- b. The detention pond on the Town's open space property per the Purchase and Sale Agreement must meet open space requirements of no slopes greater than 5:1 and no deeper than 5 feet.

Response1: The pond has been revised. The footprint of the pond can be reduced if 4:1 slopes are used which is more common to the existing slopes.

An exception request to the Town's Open Space grading criteria has been submitted and pending a decision.

Response2: Sunset is withdrawing the exception request; Grading with the Sunset Open Space for the detention facility will meet the 5:1 slope criteria.

The pond grading in Open Space is still shown at 4:1. Adjust accordingly.

Comments for Preliminary Plat:

1. Show all of the WCR 5 ROW improvements including the water line installation.
Response: The improvements for WCR 5 are shown to the northern property line with tapers tying to the existing road. The waterline is shown on the OU sheets.

The WCR 5 improvements are not shown along the Blake property frontage.

2. Provide a stub road to the north into the Blake property for future access.

Response: The Blake property has two entrances from WCR5. No connections will be made to the Sunset development.

Future development of the Blake property will require the removal of the two access points. Therefore, the access stub to the southern Blake property line shall be provided as it is being provided by Erie Highlands to the northern Blake property line.

Per the UDC Section 10.6.5 – Transportation and Access, D. Streets and On-Site Vehicular Circulation:

2. Street Connectivity

a. Purpose

*Street and block patterns should include a clear hierarchy of well-connected streets that distribute traffic over multiple streets and avoids traffic congestion on principal routes. Within each residential development, the access and circulation system should accommodate the safe, efficient, and convenient movement of vehicles, bicycles, and pedestrians through the development, and **provide ample opportunities for linking adjacent neighborhoods, properties, and land uses.** Local neighborhood street systems are intended to provide multiple direct connections to and between local destinations such as parks, schools, and shopping. **These connections should knit separate developments together, rather than forming barriers between them.***

c. Connections to Vacant Land

*Where new development is **adjacent to land likely to be developed or redeveloped in the future, all streets, bicycle paths, and access ways in the development's proposed street system shall continue through to the boundary lines of the area to provide for the orderly subdivision of such adjacent land** or the transportation and access needs of the community. In addition, all redevelopment and street improvement projects shall take advantage of opportunities for retrofitting existing streets to provide increased vehicular and pedestrian connectivity.*

f. Neighborhood Circulation

***Street connections shall connect neighborhoods to each other** and to local destinations such as schools, parks, greenbelt trail systems, and shopping centers, while minimizing neighborhood cut-through vehicle traffic movements that are nonlocal in nature. Configuration of local and internal streets and traffic calming measures shall be used to discourage use of the local street system for cut-through collector or arterial vehicular traffic.*

3. The WAPA utility poles will need to be relocated which are currently shown in the south access southbound right turn acceleration lane.

Response: Sunset is working with WAPA to relocate the Pole. The pole will be relocated approximately 20 feet west of its current location.

WAPA will need to provide an approval letter for moving the poles prior to Final Plat approval.

5. On Sheet SP6, provide the curve radius for the Street G - Street F southeast intersection corner.

Response: Curve radii for the intersections have been added.

The respective curve radii has not been added. The curve is not labeled like all other curves with a C##.

Comments for Landscaping Plans:

1. A 10-foot minimum buffer is required between tree trunks and all Town utility lines, fire hydrants, and storm sewer structures. Adjust the following trees accordingly which do not meet these requirements on each sheet.

- a. Sheet 3 – 2 trees next to the storm sewer line at the end of the Street F cul-de-sac.

Response: Trees have been moved from the storm sewer line.

The storm sewer line is now not shown on the landscape plans.

Landscape plans need to show all utilities to verify spacing.

- d. Sheet 11 – 1 tree next to the storm sewer line near Lot 1.

The storm sewer line is now not shown on the landscape plans.

Landscape plans need to show all utilities to verify spacing.

Response: Tree has been moved from the storm sewer line.

The storm sewer line is now not shown on the landscape plans.

Landscape plans need to show all utilities to verify spacing.



Internal Memo

To: Hannah Hippely, Senior Planner – Planning & Development

From: Darren Champion, Parks and Open Space Project Coordinator

Date: June 8, 2018

Subject: Sunset – Preliminary Plat

Cc: Farrell Buller, Assistant to the Town Administrator – Community Services

Rob Crabb, Parks and Open Space Division Manager

Parks & Open Space Division staff has reviewed the revised subject plans and offers these comments:

- Tract F as Town-owned open space is not acceptable to the Town. Without appropriate open space this subdivision should not be approved.
 - o The open space does not meet the characteristics or design standards as laid out within the Municipal Code, Title 10, the Parks Recreation, Open Space, and Trails Master Plan, and the Town Comprehensive Plan.

Resubmittal has not addressed this issue. Staff would like to see increased open space along the western edge of Sunset that is also Town owned/Town maintained.

- Spine trail design shall follow section 1084.01 A-S of the Town of Erie Standards and Specifications that can be found at the following link:
<http://www.erieco.gov/DocumentCenter/View/10043>
 - o The current spine trail design is not acceptable as shown and does not take account of the trail specifications listed above.

Resubmittal has not fully addressed this issue. There remains issues with the radii of the spine trail towards the north end of Tract B1 along with grading concerns. It also appears that the 4ft 6:1 buffer that is required on both sides of the trail has not been met. In addition, there are concerns with regard to the proximity of the spine trail to the rear lots of Street B.

- Currently, Tract F-1 shows several drainage structures located on open space within this tract that are shown as maintained by the HOA. Please show how these structures are to be privately maintained based on the current plan, as vehicle traffic is not permitted within open space except as per Section 1000 of the Town of Erie Standards and Specifications as detailed below:
1035.02.04 Access:

“Vehicular traffic is not permitted on Open Space areas, except for approved maintenance vehicles on established trails and sidewalks. Mowing, re-seeding, and spray equipment are allowed off trails, but must avoid all access immediately following precipitation or irrigation events which may lead to rutting. All damage to irrigation installations must be repaired at the Contractor’s expense, according to the original specifications.”

Resubmittal has not addressed this issue.

- The first phase of the development shall include a pocket park amenity and the trail connection to Erie Highlands, this requires combining proposed phases 1 and 2.

Resubmittal has not addressed this issue.

Additional Comments:

- One wayside should be installed along the spine trail per 1084.06 of the Town of Erie Standards and Specifications. This will include 6' benches or tables mounted on a concrete pad, number of seating elements will be based on projected trail use.
- No irrigation plan was received as part of this submittal. Please provide irrigation plan prior to final plat.
- Please add the following general note to the landscape notes:
"TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE LANDSCAPE PLAN. ADDITIONAL LANDSCAPING AND ASSOCIATED IRRIGATION WILL BE REQUIRED BASED UPON FIELD CONDITIONS IN ORDER TO SCREEN ABOVE GROUND UTILITY FACILITIES. THE ADDITIONAL LANDSCAPING OF THE ABOVE GROUND UTILITY FACILITIES SHALL BE INSTALLED PRIOR TO INSPECTION BY THE LANDSCAPE ARCHITECT. THE COMPLIANCE STATEMENT SUBMITTED FOR INITIAL ACCEPTANCE OF THE LANDSCAPING SHALL INCLUDE A DECLARATION THAT THE UTILITY FACILITIES HAVE BEEN LANDSCAPED AS REQUIRED."



Town of Erie Open Space and Trails Advisory Board

From: Town of Erie Open Space and Trails Advisory Board (OSTAB)
To: Hannah Hippely, Senior Planner, Community Development
Date: June 12, 2018

Subject: Sunset Preliminary Plat

Date of Drawings:

1. Preliminary Plat – April 26, 2018;
2. Preliminary Landscape Plan – November 7, 2017

Location: NW corner of WCR5 & WCR6

Open Space:

Discussion:

In our response (12/15/17) to the previous version of this application, we concluded that there were material problems with the open space configuration, and recommended “redesign the open space so that it meets the criteria, purposes, and spirit of dedicated open space as defined in the UDC”. The applicant has made some changes, but 2 major problems remain:

1. There is contiguous Town open space on both the NW corner, and the entire southern border. However, connection to these Town parcels essentially does not exist; it is restricted to a narrow corridor (roughly 159') with the Spine Trail at the western end:
 - a. The NW corner touches the Highlands open space. There will be significant barriers to wildlife movement here: houses, the detention pond and the road, with traffic and steep slopes on each side;
 - b. Tract B1 in the SW corner touches the Sunset open space. That tract is roughly 150' wide. There are multiple rows of houses between that Tract and the proposed open space.
2. The UDC states that the development should be designed in a manner that preserves natural topography and minimizes the use of cut and fill. This filing has material grading and fill on the entire perimeter of the open space, particularly on the southern portion of the application.

We recently learned that the Town and the applicant had formally agreed, during earlier transactions, to permit the applicant to have a specific number of dwelling units on the property. Neither the location nor the type of dwelling units was defined in that agreement. We understand that the proposed 241 dwelling units is equal to, or less than, what is permitted in that agreement. That information materially impacted our very lengthy discussion at our meeting on June 11, 2018: what changes would be reasonable to reduce the primary problems stated above. In the end, we voted upon the following motion: “recommend applicant work with staff to expand and improve open space connectivity on the NW and/or SE portions of the development and preserve [existing] grading to the extent practicable.” This motion was unanimously approved.

Recommendation: The unanimously approved motion; The applicant should work with staff to expand and improve open space connectivity on the NW and/or SE portions of the development and preserve [existing] grading to the extent practicable.”

Spine Trail:

Discussion: In our previous response, we made 3 recommendations. Those recommendation and the applicant's responses:

1. Widen Tract B to reduce the significant grading and design the Spine Trail so that it more or less follows the natural land contours. Applicants response:
The spine trail has been redesigned to follow the natural contours to the extent possible. The design standards for the Spine Trail have been met with the new Spine Trail layout. A Spine Trail wayside with seating and amenities has been added to the design of the trail head. This location will be a great resting spot with an impressive view of the Front Range to the west and up the gully to the east, which has been preserved with its natural vegetation. The Trail Network Map – Exhibit C depicts the trail wayside areas with the view corridors. Exhibit D – Town of Erie Recreational Trail Map indicates how he trails connect to the greater system.
2. Ensure that the connector trail between Street B and the Spine Trail in the NW corner does not exceed the 5% maximum in the ADA. Applicants response:
This area has been modified to provide a Spine Trail Wayside area. The trail connection and trail amenities in that area will meet ADA requirements.
3. Add a connector to the Spine Trail in the SW corner that more or less follows the natural land contours. Applicants response:
At the southwest corner of Sunset, the Spine Trail will connect to the future Spine Trail through the Sunset Open Space which will be built by the Town Parks and Recreation Department. A trail connection to the Pocket Park G in the Southwest corner has also been added.

We agree with these changes and do not have new recommendations.

Recommendation: None

Neighborhood Trails and Sidewalks:

Discussion: In our previous response, we made 1 recommendation. That recommendation and the applicant's response:

1. Add a neighborhood trail at the rear of lots 11-24W on the south side of Street B.
A primitive trail is proposed to connect to the single-track trails. Sunset will work with the Town of Erie to define the trail location and construction of the trail. The trail will travel east from the spine Trail along the detention pond as shown on the Trail Network Map – Exhibit C. The ultimate layout of the trail and connections to Sunset Open Space will be defined in conjunction with Erie Town Staff.

The land south of the homes on that street slopes steeply toward the Town's Sunset Open Space, so it is likely that a retaining wall might be needed to create that trail. We are opposed to any retaining walls. We have seen comments that primitive trails in the open space should not be designed or constructed until future residents create "social trails". We oppose that idea, since social trails typically are a direct path from point A to point B, do not follow natural contours, and typically are subject to significant erosion.

Instead, we believe that there should be one or two designed primitive trails in the open space area in the middle of the property. The trail(s) should be in both the dedicated open space and the undedicated open space immediately to the east. Those trails should, in general, follow the existing topography. At least one primitive trail should connect the developed area on the south to the developed area on the north. Narrow open space corridors P, Q, R, S, and the western end of cul-de-sac on Street F should be used as connecting locations. If the topography is too steep in those locations to properly design the primitive trails, those corridors and adjacent lots should be reconfigured.

Recommendation: Design and construct one or two primitive trails in the large open space area in the center of the application area. Those trails should, in general, follow the existing topography, and connect to the planned narrow open space corridors.

Please pass this referral letter to the Applicant, and appropriate town departments, boards, and commissions. Thank you for your attention to these matters. OSTAB is available to discuss any of the above in more detail as needed.

Sincerely,

Open Space and Trails Advisory Board

Bob Braudes

Phil Brink

Christine Felz

Dawn Fraser

Nicole Littmann

Ken Martin (Chair)

Joe Swanson

June 12, 2018

2480 W. 26th Avenue, Unit B225
Denver, Colorado 80211
Tel: +1 303-964-3333
Fax: +1 303-964-3355

Town of Erie, Engineering Division
P.O. Box 750
645 Holbrook Street
Erie, Colorado 80516

www.merrick.com

**RE: REVIEW OF SUNSET
DEVELOPMENT PHASE II DRAINAGE REPORT RESUBMITTAL**

Dear Engineering Division:

We have reviewed the Sunset Development resubmittal received on May 21, 2018. The resubmittal included the Phase II Drainage Report for the Sunset Development (revised April 2018), a proposed drainage exhibit, response letter to the previous review, and other documents by Calibre Engineering, Inc.

In review of the drainage report and the responses to our previous review, the responses indicated that revisions had been made but they were not reflected in the revised report. Below we have included our previous comments that should be addressed and updated in the report.

Phase II Drainage Report

1. Use the most current version of the Urban Storm Drainage Criteria Manual (USDCM) and the Town of Erie Standards and Specifications. This includes correcting percent imperviousness values for land uses and runoff coefficient values based on the latest USDCM available on Urban Drainage and Flood Control District's website.
2. Use the updated percent imperviousness values and Rational Method coefficients from the current USDCM Tables 6-3 and 6-5. The maximum allowable release rates for detention facilities must be determined based on 90% of the 100-year unit discharge values found in Tables 12-6 through 12-8 in the current version of the USDCM to meet the full spectrum detention requirements.
3. Update the percent imperviousness for single-family residences land use using the current version of the USDCM.
4. It appears that there will be road improvements within Basin OS-4 that will increase the runoff to the County Road 5 and County Road 6 intersection. Clarify how the increased runoff will be addressed.
5. In the "C" Basins, it appears that the swale along the proposed trail will daylight and flow across the proposed trail or to offsite property in several locations. Culverts may be needed at trail crossings so runoff does not flow across the trail. At all locations where the swale daylights, erosion protection shall be provided to dissipate energy from the concentrated flows.
6. The boundary for offsite Basin OS-2 is drawn incorrectly. Revise the basin boundary based on the existing contours and the proposed Erie Highlands Subdivision plans. Existing runoff

from this basin must be accounted for in the design of channels, storm sewers, and Pond A. Verify that the 9.36 acres for Basin OS-2 shown on the drainage exhibit and used in the calculations includes all tributary areas from the offsite property.

7. Provide rational method calculations for all design points. Appendix B only provides routing for Design Points 1-18.
8. Update all inlet sizing calculations based on the updated runoff coefficients and imperviousness using the current version of the USDCM.
9. Provide calculations for all channels onsite, including for channel section A-A shown in Basin A-16.
10. The proposed drainage plan includes routing concentrated flows to natural drainage swales in the open space area (Basin A-16). Provide channel stabilization for all drainage swales located in Basin A-16 so headcutting does not occur. Verify that there is erosion protection at all pipe outlets .
11. For Full Spectrum design, use all tabs within the current version of the UD-Detention spreadsheet available on the Urban Drainage and Flood Control District website. These tabs include pond volume sizing, outlet structure, and release rate calculations. Complete the full spectrum sizing for Ponds A and B.
12. The tributary areas used in the pond sizing calculations for Ponds A and B do not match the tributary areas shown in the hydraulic calculations in Appendix B. Clarify the tributary area for each pond and update all calculations as necessary.
13. Clarify if Pond B is to be a regional detention pond similar to Pond 1102 from the Erie OSP (Love and Associates, 2007). Verify that the pond meets all requirements of a regional detention facility including but not limited to: forebays, trickle channels, sloping pond bottom, water quality storage, micropool, surcharge storage depth, outlet structure, and emergency overflow.
14. Provide evidence of agreement that the Town of Erie will allow the regional detention pond (Pond B) to be located within the Town of Erie Open Space property located south of the development.
15. Verify maintenance responsibilities for all inlets, storm sewer systems, and ponds.

Sincerely,
Merrick & Company



Jeanne M. Boyle, PE, CFM



Clare Steninger, PE



May 25, 2018

MEMORANDUM

TO: Hannah Hippely

FROM: Charles M. Buck, P.E., PTOE

SUBJECT: Review of Preliminary Plat and Planned Unit Development Application
PP-000838-2016 and PUD-000849-2017

PROJECT: Sunset
FHU # 95-190

We have reviewed the Preliminary Plat and Planned Unit Development materials provided for Sunset. We have examined these materials relative to traffic engineering and transportation planning but not general civil or utility engineering. We have reviewed previous submittals for this development. Per our most recent referral response, dated April 25, 2017, our previous concerns with traffic engineering aspects of Sunset have been adequately addressed. Relative to this current submittal, we note the following:

- The current dwelling unit count is 241 single family homes, which is a slight reduction from the previous proposal of 247 homes which was analyzed in the Traffic Update prepared by LSC Transportation Consultants, Inc., dated March 7, 2017. The expected traffic impacts would be slightly less; therefore, the project complies with the LSC study.
- We have previously expressed concurrence with LSC's recommendations for improvements to County Road 5. The Preliminary Plat documents indicate these improvements will be provided in the initial phase of development at Sunset. The auxiliary lane deceleration lengths and tapers are more than sufficient for the 45 MPH posted speed limit. The Right-of-Way shown for CR 5 is consistent with Town of Erie Standards for minor arterials.

We have no traffic related concerns with this development. This constitutes our review of the materials provided for Sunset. Please call if you have any questions or need additional information.



June 15, 2018

VIA E-MAIL

Town of Erie
Hannah Hippely, AICP
645 Holbrook
Erie, CO 80516
hhippely@erieco.gov

**NOTICE OF RIGHT-OF-WAY GRANTS OWNED BY KERR-McGEE GATHERING
LLC AND OBJECTION**

Re: PUD-000849-2017 & PP-000838-2016 (together the “Application”)
FS Erie Estates – Property Owner or “Applicant”
Township 1 North, Range 68 West, 6th P.M.
Section 20: Part of the SE/4 (“Application Property”)
Weld County, Colorado

Ms. Hippely:

This letter is being sent by Anadarko Petroleum Corporation on behalf of its subsidiary Kerr-McGee Gathering LLC (“KMGG”) to inform you KMGG is the owner of valid pipeline easements located in the SE/4 of Section 20, Township 1 North, Range 68 West on the Application Property.

KMGG objects to the Application filed by FS Erie Estates. The proposal encroaches on multiple existing natural gas and oil pipelines and would prevent KMGG from properly maintaining and operating these pipelines. KMGG is in contact with the applicant and is working toward a resolution. KMGG will continue to work with the applicant in good faith until both parties can reach a mutually agreeable plan.

Please contact me at 720-929-3296 if you have any questions or comments about this matter.

Sincerely,
KERR-McGEE GATHERING LLC

A handwritten signature in blue ink, appearing to read 'Brett Cavanagh', written over a horizontal line.

Brett Cavanagh
Landman

cc: Jeff Fiske, Lead Counsel
Ron Olsen
Emma Vannoy
Don Jobe
Russell Kerle

Hannah Hippely

From: Marisa Dale <mdale@UnitedPower.com>
Sent: Tuesday, May 22, 2018 1:38 PM
To: Development Referral
Subject: Preliminary Plat & Planned Unit Development PP-000838-2016 & PUD-000849-2017
Attachments: Sunset Preliminary Plat - 2018 04 26 with United Power UE needs.pdf

Hi Hannah,

Thank you for inviting United Power, Inc. to review and comment on this referral.

I've marked up the attached with additional utility easements I foresee needing. 5' wide UE mostly along side of tracts between lots and a couple 8' wide across tracts to connect rear lot UEs. The latter, is needed to avoid as many 90 degree turns as possible. These are shown in red.

We'd like to request that the planned 8' UE abutting roads be 10' wide within Tracts. The note indicates this is a Gas Easement but in some areas we might need to share an easement with gas as we install in a continuous manner. A minimum clearance of 4' must be met between gas and electric in joint UEs. These are shown in blue. Would appreciate the label stating Joint UE or an abutting 5' wide UE for electric.

If streetlights are planned and locations are known, please add a 5' wide UE along one side of lot closest to streetlight location.

Also depending on design and placement of oversized above ground equipment, we may require a couple additional 10'x15' pocket easements.

We invite the developer to submit an application as soon as possible so that we can work together and meet the needs of this development from design to right of way on the plat. The application must go to Monica Nuccio at mnuccio@unitedpower.com.

United Power, Inc. looks forward to safely and efficiently providing reliable electric power and outstanding service to future Sunset Subdivision and Town of Erie residents.

Sincerely,
Marisa

Marisa Dale, RWA | [System Design - Right of Way](#)
500 Cooperative Way, Brighton, CO 80603 | O 303.637.1387
Schedule: Monday-Thursday 7:00-5:30

Powering Lives, Powering Change, Powering the Future – The Cooperative Way



SUNSET PRELIMINARY PLAT

AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION

TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO

103.83 ACRES - 241 LOTS - 24 TRACTS

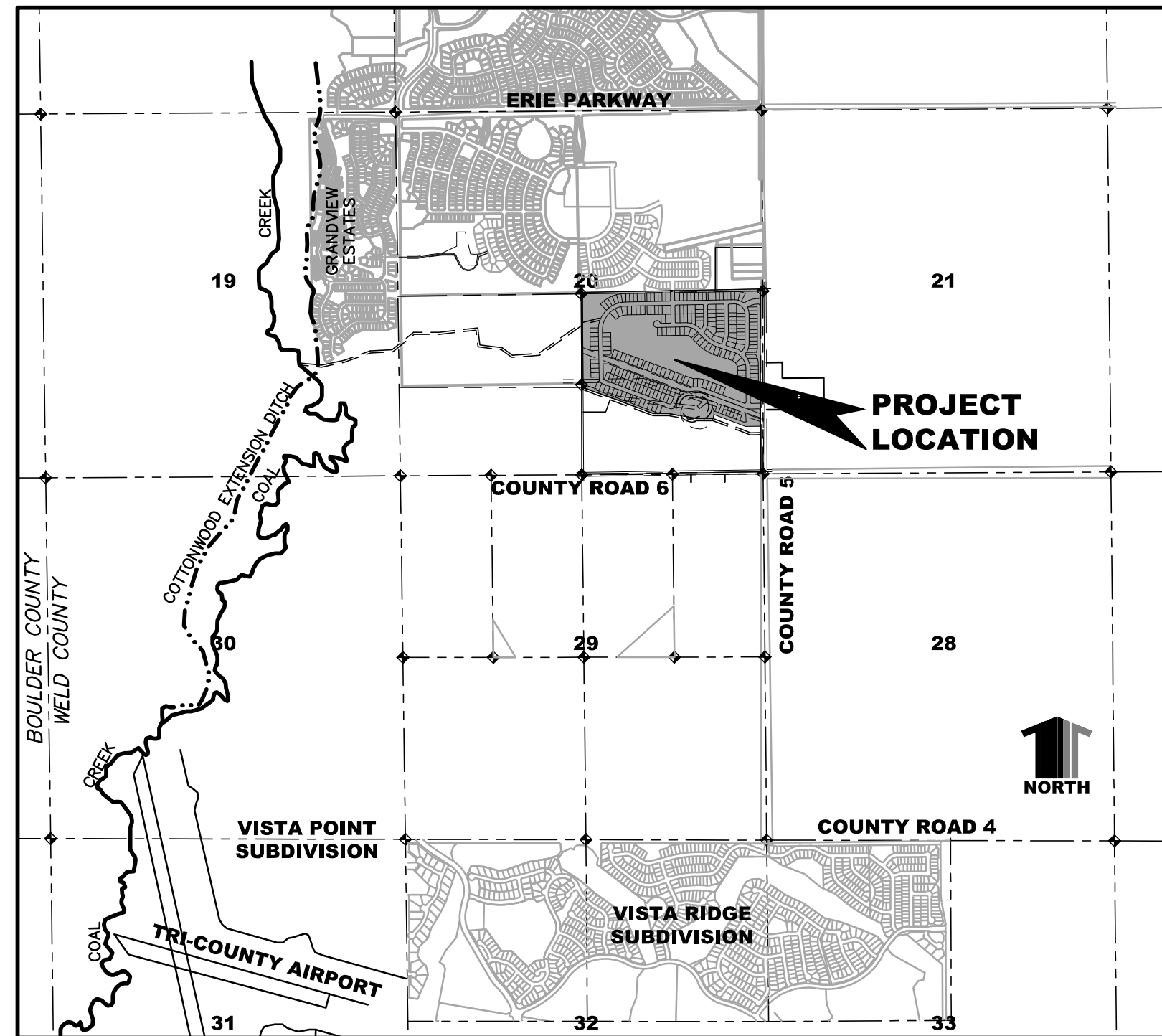
PP-000838-2016

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO.
 A REPLAT OF TRACT A AS DEFINED BY THE SUNSET-MINOR SUBDIVISION PLAT RECEPTION NUMBER 3916652.
 CONTAINING 4,522,901 SQUARE FEET OR 103.832 ACRES MORE OR LESS.

LAND SUMMARY CHART			
LAND USES	DWELLING UNITS	AREA/ACRES	% OF TOTAL AREA
RESIDENTIAL:			
6,600 +/- SF LOTS	154	25.27	24.34
7,800 +/- SF LOTS	87	16.28	15.68
SUBTOTAL	241	41.55	40.02
PARK LAND:			
	REQUIRED	PROVIDED	
POCKET PARKS	0.34	0.69	0.67
NEIGHBORHOOD PARKS	2.06	FEE*	
COMMUNITY PARKS	3.43	BUILDING PERMIT FEE	
LANDSCAPE AREA	0.00	13.97	13.45
SUBTOTAL	5.83	14.66	14.12
OPEN SPACE:			
	REQUIRED	PROVIDED	
CREDITED (TRACT F1)	11.68	11.68	11.32
UNCREDITED (TRACT F)		9.70	9.27
OIL/GAS (TRACT T)		4.79	4.61
DRAINAGE (TRACT E)		2.70	2.60
PUBLIC ACCESS		1.46	1.41
SUBTOTAL		30.33	29.21
STREETS			
LOCAL ROW		16.52	15.91
PRIVATE (TRACT I)		0.77	0.74
SUBTOTAL		17.29	16.65
TOTAL	241 DU's	103.83	100.00

*NEIGHBORHOOD PARK LAND AND DEVELOPMENT CONSTRUCTION COST FEE.



VICINITY MAP

SCALE: 1"=2000'

BENCHMARK:

BENCHMARK JR 53 5026: USGS BRASS DISK IN TOP OF A SQUARE CONCRETE MONUMENT LOCATED 42 FEET NORTH FROM THE CENTERLINE OF WELD COUNTY ROAD 8, 33 FEET EAST-NORTHEAST FROM THE EAST RAIL, 11 FEET NORTH FROM A FENCE CORNER AND 2.5 FEET SOUTH FROM A WITNESS POST. NAVD 1988 DATUM. ELEVATION=5028.04.

BASIS OF BEARINGS:

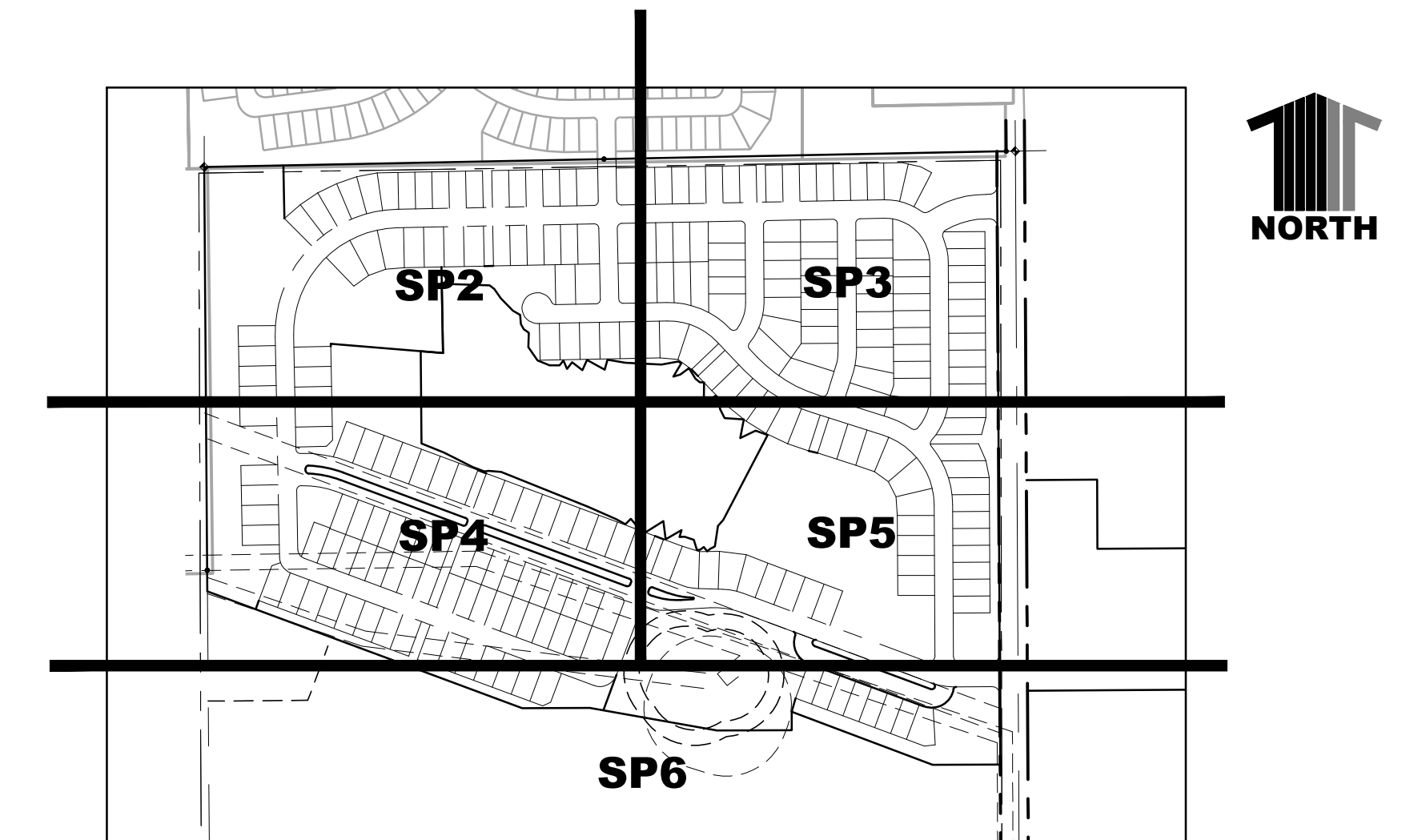
BASIS OF BEARINGS IS THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 20, BEING S89°22'52"W, AND MONUMENTED AS SHOWN.

NOTES:

- TRACTS A-N SHALL HAVE PUBLIC ACCESS EASEMENTS.
- AN AVIGATION EASEMENTS COVERS THE ENTIRE PROPERTY PER EASEMENT RECORDED ON 11/26/07, RECEPTION NO. 3519430.

SHEET INDEX

T1	1	TITLE SHEET
SP1	2	SITE PLAN/PHASING
SP2-SP7	3-8	SITE PLAN
TY1	9	TYPICAL SECTIONS
EC1	10	EXISTING CONDITIONS
GR1-GR3	11-13	GRADING PLANS
OU1	14	OFF-SITE UTILITY PLAN
OU2-OU3	15-16	OVERALL UTILITY PLAN
16 TOTAL SHEETS		



KEYMAP

TRACT SUMMARY CHART				
TRACT	AREA (AC.)	USE	OWNERSHIP	MAINTENANCE
TRACT A1	1.146	LANDSCAPE BUFFER	METRO DISTRICT	METRO DISTRICT
TRACT A2	1.644	LANDSCAPE BUFFER	METRO DISTRICT	METRO DISTRICT
TRACT B1	6.238	LANDSCAPE BUFFER/DRAINAGE/TRAIL	METRO DISTRICT	METRO DISTRICT
TRACT B2	1.120	LANDSCAPE BUFFER/TRAIL/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT B3	1.706	LANDSCAPE BUFFER/TRAIL/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT C	0.271	LANDSCAPE BUFFER/TRAIL/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT D	0.251	POCKET PARK	METRO DISTRICT	METRO DISTRICT
TRACT E	2.698	DRAINAGE	METRO DISTRICT	METRO DISTRICT
TRACT F	9.701	UNCREDITED OPEN SPACE	TOWN OF ERIE	METRO DISTRICT
TRACT F1	11.679	CREDITED OPEN SPACE	TOWN OF ERIE	METRO DISTRICT
TRACT G	0.439	POCKET PARK	METRO DISTRICT	METRO DISTRICT
TRACT H	0.165	PUBLIC ACCESS ESMT/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT I	0.765	PUBLIC ACCESS ESMT	METRO DISTRICT	METRO DISTRICT
TRACT J	0.193	PUBLIC ACCESS ESMT	METRO DISTRICT	METRO DISTRICT
TRACT K	1.845	LANDSCAPE BUFFER	METRO DISTRICT	METRO DISTRICT
TRACT L	0.329	PUBLIC ACCESS ESMT	METRO DISTRICT	METRO DISTRICT
TRACT M	0.306	PUBLIC ACCESS ESMT	METRO DISTRICT	METRO DISTRICT
TRACT N	0.058	PUBLIC ACCESS ESMT	METRO DISTRICT	METRO DISTRICT
TRACT O	0.090	PUBLIC ACCESS ESMT/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT P	0.083	PUBLIC ACCESS ESMT/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT Q	0.083	PUBLIC ACCESS ESMT/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT R	0.083	PUBLIC ACCESS ESMT/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT S	0.084	PUBLIC ACCESS ESMT/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT T	4.786	OIL/GAS OPERATIONS	METRO DISTRICT	METRO DISTRICT
TOTAL	45.763			

KEY CONTACTS:

OWNER/APPLICANT:
 FS ERIE ESTATES, LLC.
 9754 SUNSET HILL DRIVE
 LONE TREE CO 80124
 PHONE: (303) 591-1321

CIVIL ENGINEERING:
 CALIBRE ENGINEERING INC.
 9090 S. RIDGELINE BLVD., SUITE 105
 HIGHLANDS RANCE, CO 80129
 PHONE: (303) 730-0434
 FAX: (303) 730-1139

PLANNER/LANDSCAPING ARCHITECT
 THE HENRY DESIGN GROUP
 1501 WAZEE STREET, SUITE 1-C
 DENVER, CO. 80202
 PHONE: (303) 446-2368
 FAX: (303) 446-0958

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Job Number FSLAND SUNSET		Designer BKM	Drafter BRR
Prepared For FS ERIE ESTATES, LLC	Checked TAJ		

Calibre

Calibre Engineering, Inc.
 9090 South Ridgeline Boulevard, Suite 105
 Highlands Ranch, CO 80129 (303) 730-0434
 www.calibre-engineering.com
 Construction Management Civil Engineering Surveying

SUNSET PRELIMINARY PLAT TITLE SHEET

SUNSET PRELIMINARY PLAT

AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION

TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO

103.83 ACRES - 241 LOTS - 24 TRACTS

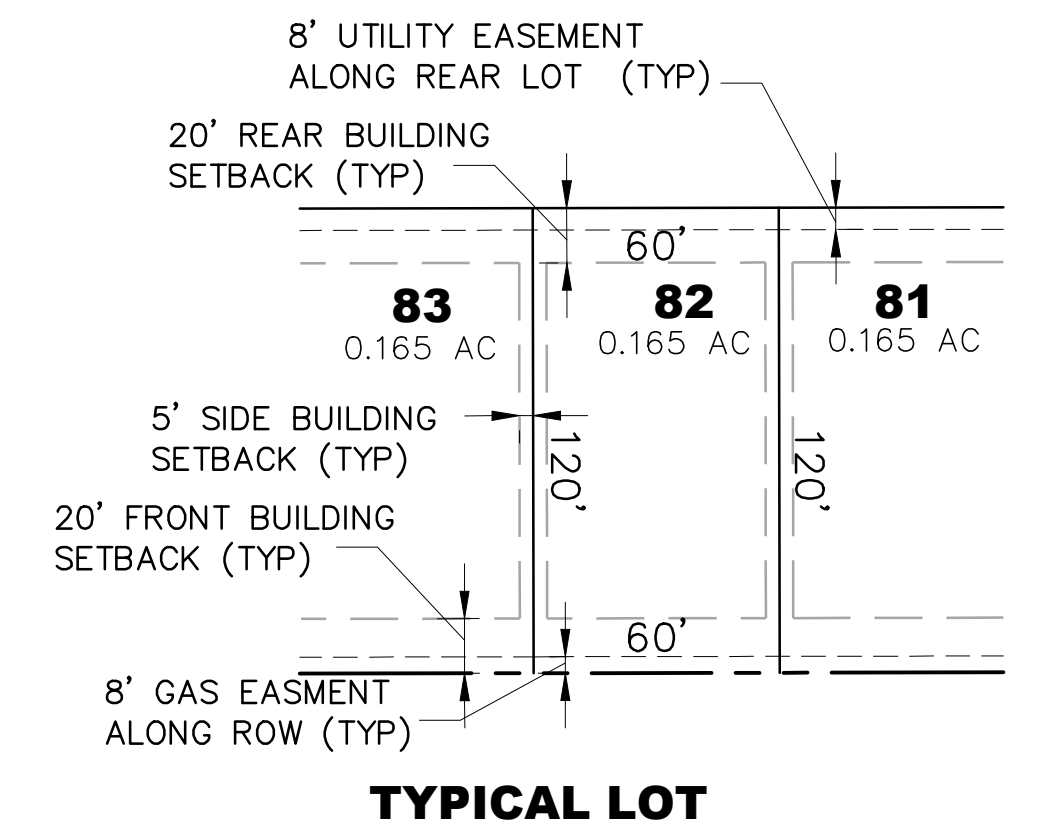
PP-000838-2016

J. DEARMIN, L.L.C.
REC. NO. 2836447, MARCH 21, 2001
(RP-3)

DANIEL R. BLAKE
(COMMERCIAL)

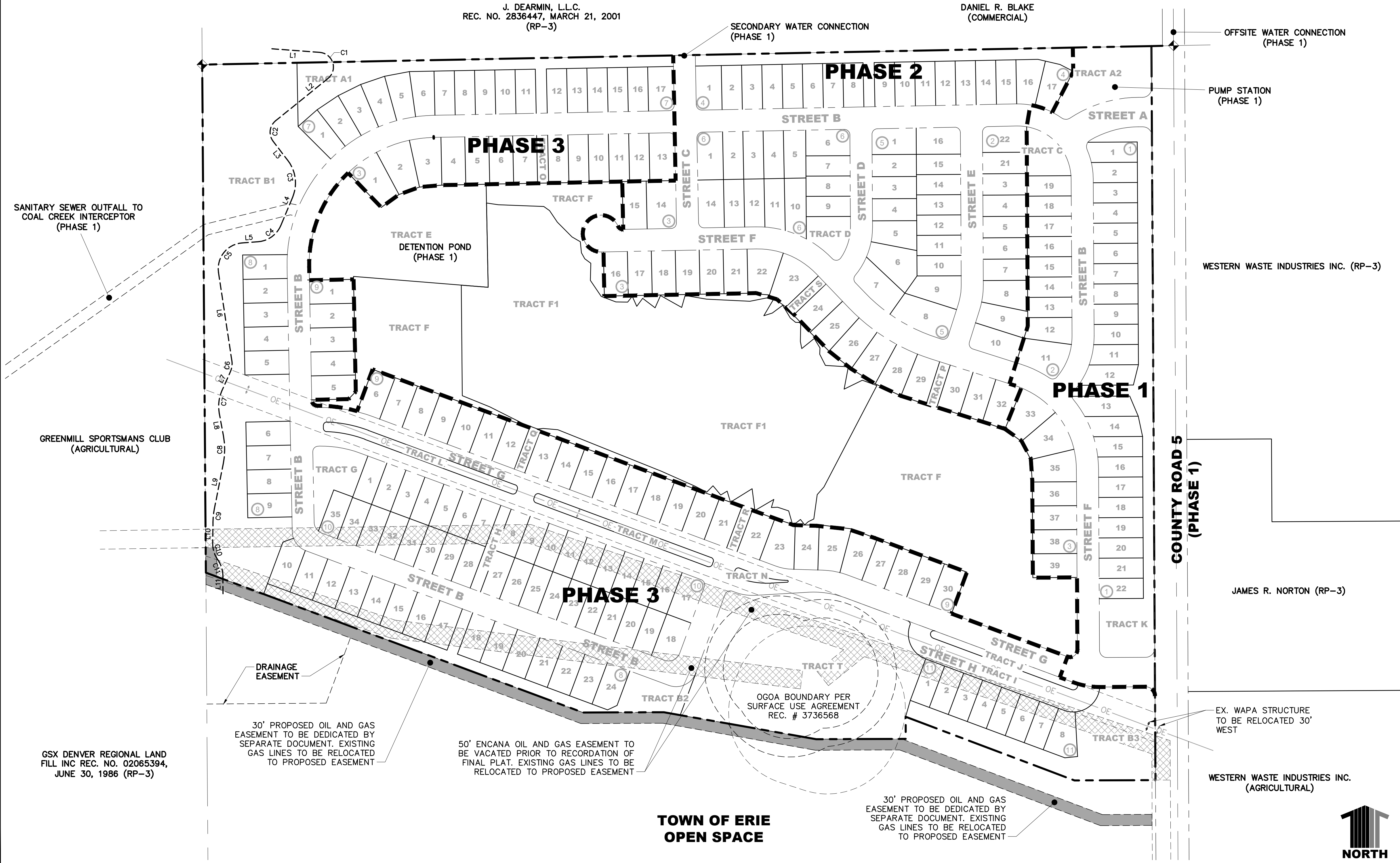
LEGEND:

--- PHASE LINE



WAPA TRANSMISSION LINE NOTES:

1. THE UNITED STATES ELECTRIC TRANSMISSION LINE EASEMENTS ARE RESTRICTED AREAS AND ALL CONSTRUCTION ACTIVITIES WITHIN SAID EASEMENTS SHOULD BE COORDINATED WITH WESTERN AREA POWER ADMINISTRATION, P.O. BOX 3700, LOVELAND, COLORADO 80539-3003 (970-461-7200).
2. NO TREES AND NO VEGETATION THAT EXCEEDS 10 FEET IN HEIGHT AT MATURITY IS ALLOWED WITHIN THE EASEMENT.
3. NO BUILDINGS OR OTHER STRUCTURES ARE ALLOWED WITHIN THE TRANSMISSION LINE EASEMENT AREAS.
4. A MINIMUM OVERHEAD CLEARANCE OF 16 FEET FROM THE TRANSMISSION LINE CONDUCTORS MUST BE MAINTAINED AT ALL TIMES.
5. INDUCED VOLTAGES AND CURRENTS MAY OCCUR ON THE FACILITY CONSTRUCTED OR PLACED UNDER OR NEAR HIGH VOLTAGE TRANSMISSION LINES. THE OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF PERSONNEL AND EQUIPMENT IN THEIR DESIGN, CONSTRUCTION, OPERATION AND MAINTENANCE OF THE FACILITY.
6. ANY CHANGES IN EXISTING TOPOGRAPHY MUST BE COORDINATED AND APPROVED BY WESTERN. EXCAVATION IS NOT PERMITTED WITHIN 20 FEET OF ANY TRANSMISSION LINE STRUCTURE.
7. OWNER SHALL NOT ERECT OR INSTALL FENCES ON OR ACROSS THE EASEMENT AREA WITHOUT COORDINATION AND APPROVAL BY WESTERN.



GSX DENVER REGIONAL LAND
FILL INC REC. NO. 02065394,
JUNE 30, 1986 (RP-3)

30' PROPOSED OIL AND GAS
EASEMENT TO BE DEDICATED BY
SEPARATE DOCUMENT. EXISTING
GAS LINES TO BE RELOCATED
TO PROPOSED EASEMENT

50' ENCANVA OIL AND GAS EASEMENT TO
BE VACATED PRIOR TO RECORDATION OF
FINAL PLAT. EXISTING GAS LINES TO BE
RELOCATED TO PROPOSED EASEMENT

OGOA BOUNDARY PER
SURFACE USE AGREEMENT
REC. # 3736568

30' PROPOSED OIL AND GAS
EASEMENT TO BE DEDICATED BY
SEPARATE DOCUMENT. EXISTING
GAS LINES TO BE RELOCATED
TO PROPOSED EASEMENT

**TOWN OF ERIE
OPEN SPACE**



PATH: P:\ESLAND\SUNSET\CADD\CIVIL\21-PP-000838-2016\21SP1.DWG
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DATE	REVISION	DESCRIPTION
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Drawing Name 21SP1.dwg		Job Number FSLAND SUNSET		Prepared For FS ERIE ESTATES, LLC	
Designer BKM	Drafter BRR	Checked TAJ	Scale 1 inch = 150 ft. Horizontal		

Calibre
 Calibre Engineering, Inc.
 9090 South Ridgeline Boulevard, Suite 105
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 www.calibre-engineering.com
 Construction Management Civil Engineering Surveying

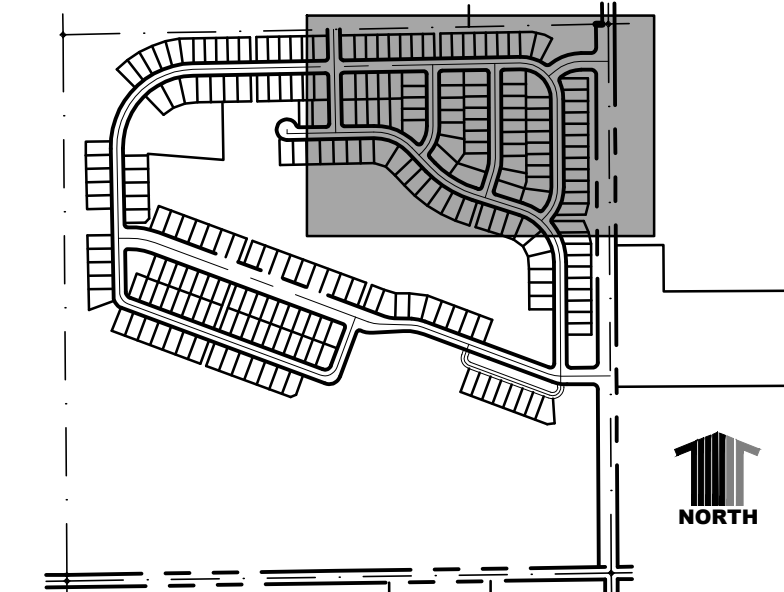
**SUNSET
PRELIMINARY PLAT
SITE PLAN/PHASING PLAN**

SUNSET PRELIMINARY PLAT

AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO

103.83 ACRES - 241 LOTS - 24 TRACTS

PP-000838-2016



KEYMAP

LEGEND:

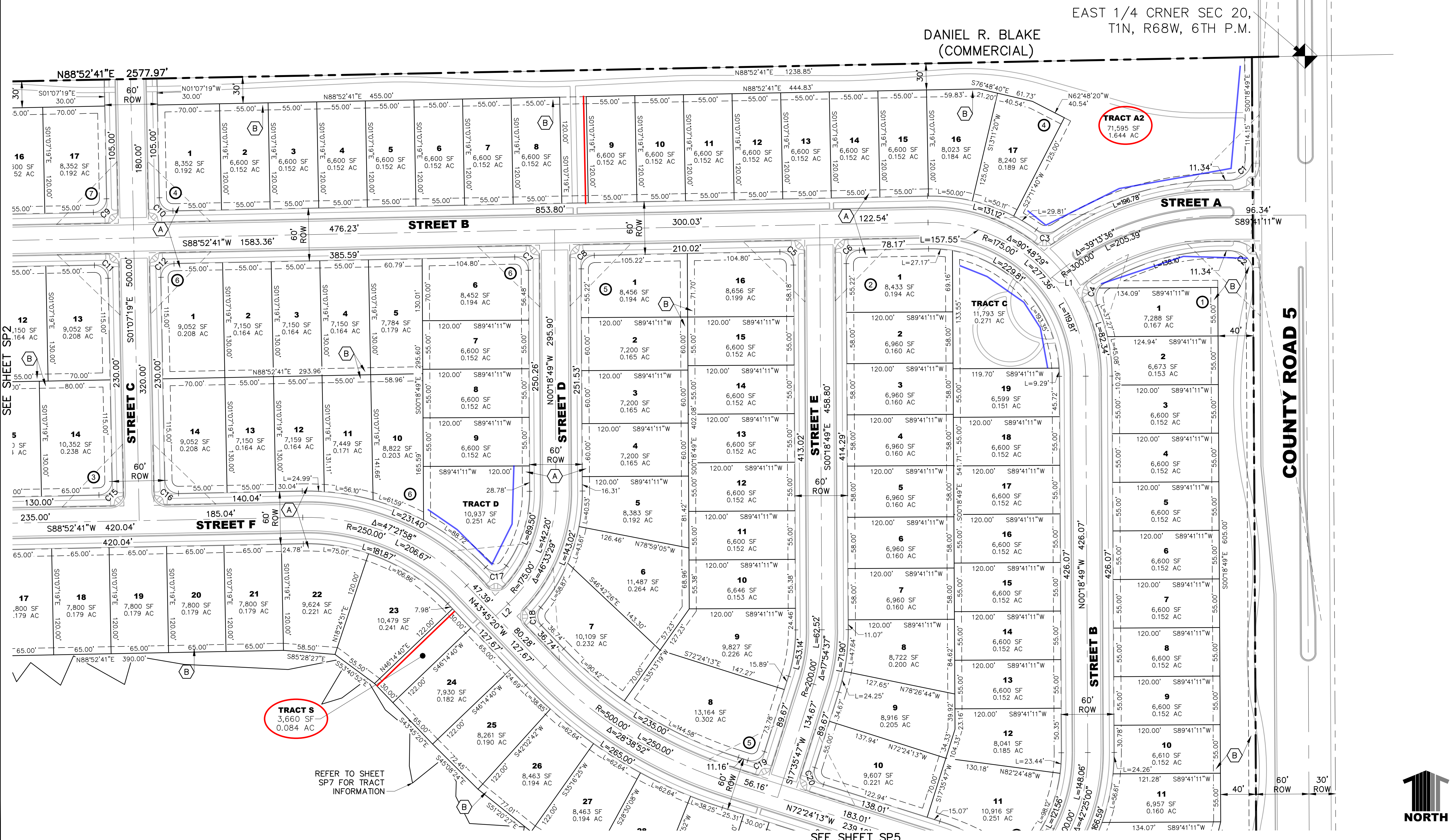
- (A) 8' UTILITY EASEMENT ADJACENT TO ALL RIGHT-OF-WAY
- (B) 8' UTILITY EASEMENT ADJACENT TO ALL REAR PROPERTY LINES

LINE TABLE

TAG	LENGTH	DIRECTION
L1	4.36'	S50°27'34"W
L2	19.77'	N46°14'40"E

CURVE TABLE

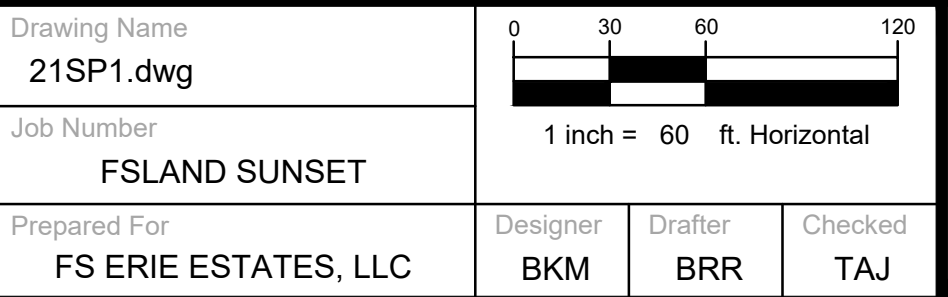
CURVE NO.	LENGTH	RADIUS	DELTA
C1	39.27'	25.00'	90°00'00"
C2	39.27'	25.00'	90°00'00"
C3	24.09'	20.00'	69°00'00"
C4	28.83'	20.00'	82°34'54"
C5	23.77'	15.00'	90°48'29"
C6	23.35'	15.00'	89°11'31"
C7	23.77'	15.00'	90°48'29"
C8	23.35'	15.00'	89°11'31"
C9	23.56'	15.00'	90°00'00"
C10	23.56'	15.00'	90°00'00"
C11	23.56'	15.00'	90°00'00"
C12	23.56'	15.00'	90°00'00"
C13	215.88'	50.00'	247°22'48"
C14	17.64'	15.00'	67°22'48"
C15	23.56'	15.00'	90°00'00"
C16	23.56'	15.00'	90°00'00"
C17	26.49'	15.00'	101°11'32"
C18	21.84'	15.00'	83°24'50"
C19	23.56'	15.00'	90°00'00"
C20	23.56'	15.00'	90°00'00"
C21	21.79'	15.00'	83°13'23"
C22	21.17'	15.00'	80°52'32"
C23	23.56'	15.00'	90°00'00"
C24	23.56'	15.00'	90°00'00"
C25	69.35'	58.00'	68°30'44"
C26	38.26'	32.00'	68°30'44"
C27	50.27'	32.00'	90°00'00"
C28	91.11'	58.00'	90°00'00"
C29	23.56'	15.00'	90°00'00"
C30	23.56'	15.00'	90°00'00"
C31	47.20'	145.00'	18°38'58"
C32	38.63'	20.00'	110°40'47"
C33	31.42'	20.00'	90°00'00"
C34	73.99'	205.00'	20°40'47"
C35	39.27'	25.00'	90°00'00"
C36	39.27'	25.00'	90°00'00"
C37	56.96'	175.00'	18°38'58"
C38	56.96'	175.00'	18°38'58"



PATH: P:\FSLAND SUNSET\CADD\CIVIL\21-PPRE\21SP1.DWG
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Drawing Name	21SP1.dwg
Job Number	FSLAND SUNSET
Prepared For	FS ERIE ESTATES, LLC
Designer	BKM
Drafter	BRR
Checked	TAJ



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**SUNSET
PRELIMINARY PLAT
SITE PLAN**

Sheet	4
SP3	of 16
Date	APRIL 26, 2018

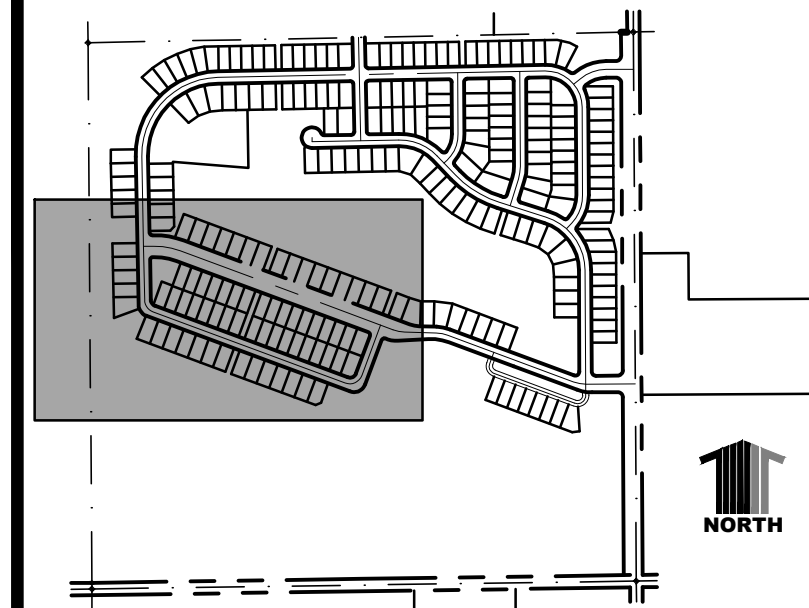
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AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION

TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO

103.83 ACRES - 241 LOTS - 24 TRACTS

PP-000838-2016



KEYMAP

LEGEND:

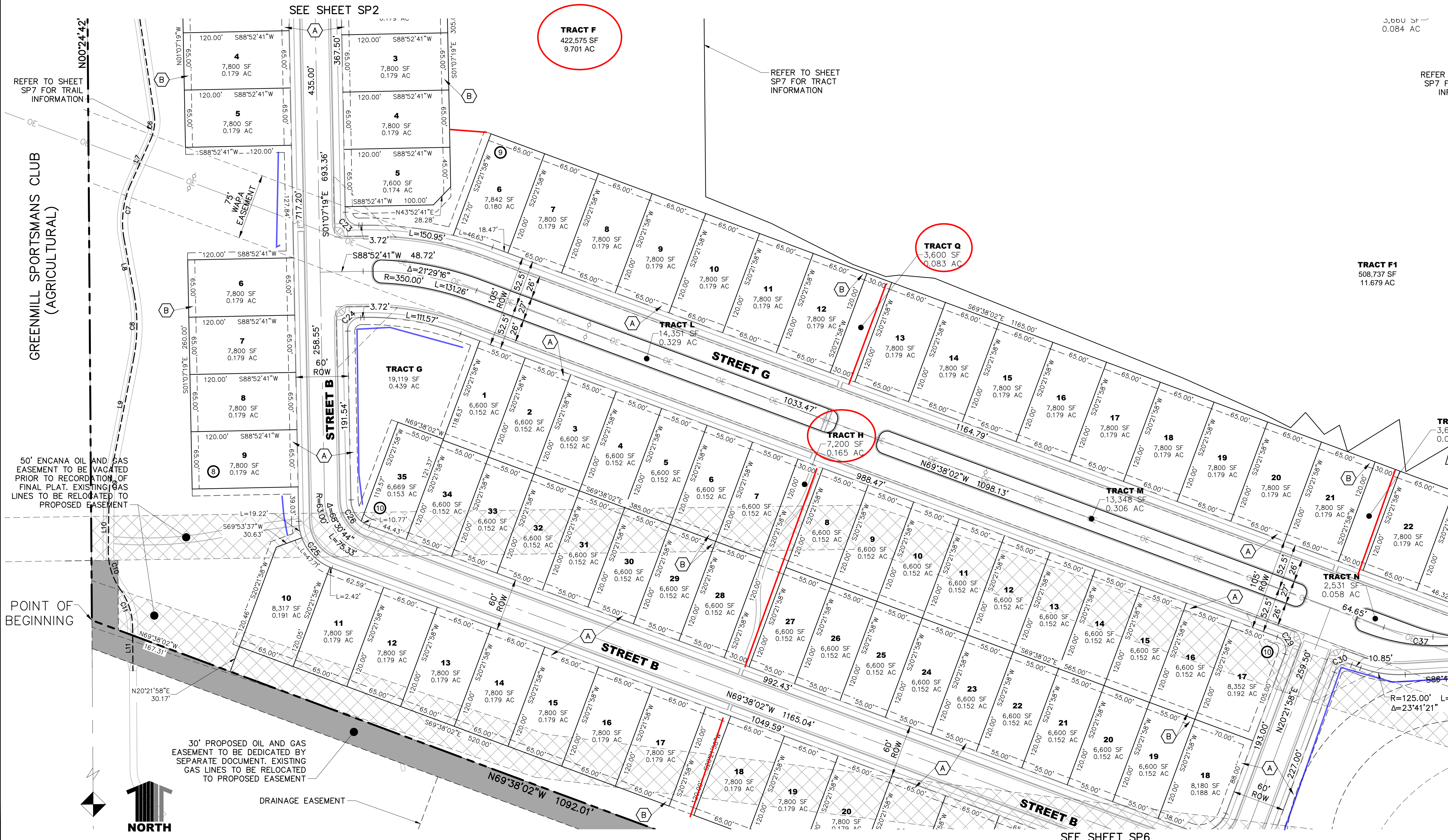
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REFER TO SHEET SP7 FOR TRAIL INFORMATION

GREENMILL SPORTSMANS CLUB (AGRICULTURAL)

50' ENCANVA OIL AND GAS EASEMENT TO BE VACATED PRIOR TO RECORDATION OF FINAL PLAT. EXISTING GAS LINES TO BE RELOCATED TO PROPOSED EASEMENT

POINT OF BEGINNING

30' PROPOSED OIL AND GAS EASEMENT TO BE DEDICATED BY SEPARATE DOCUMENT. EXISTING GAS LINES TO BE RELOCATED TO PROPOSED EASEMENT

DRAINAGE EASEMENT

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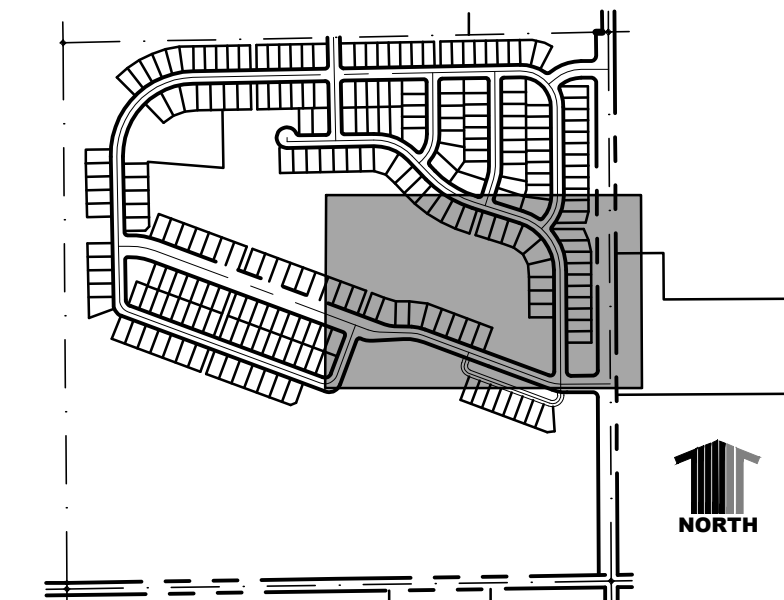
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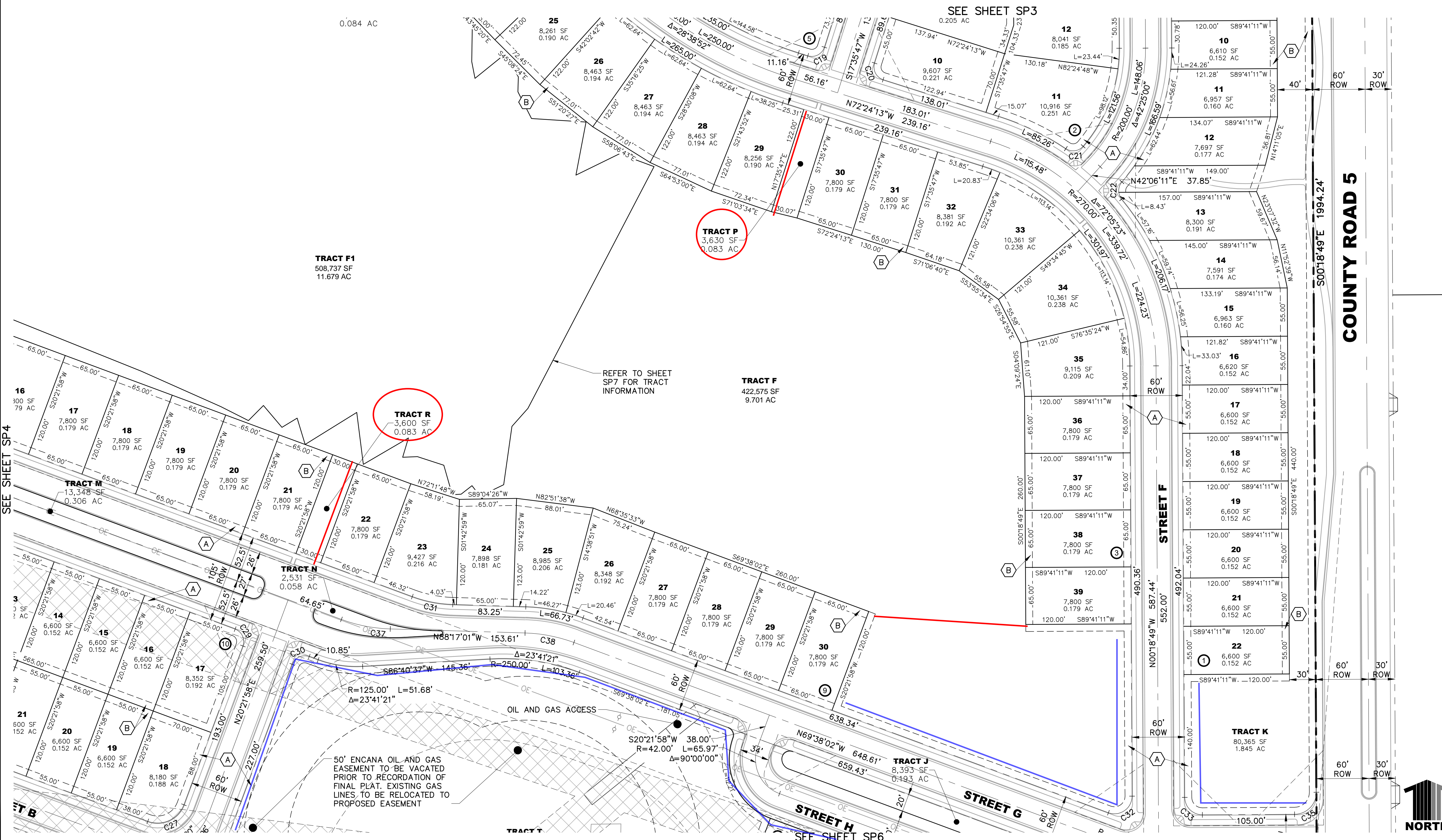
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TRACT F1
508,737 SF
11.679 AC

TRACT P
3,630 SF
0.083 AC

TRACT R
3,600 SF
0.083 AC

TRACT F
422,575 SF
9.701 AC

TRACT M
13,348 SF
0.306 AC

TRACT N
2,531 SF
0.058 AC

TRACT J
8,393 SF
0.193 AC

TRACT K
80,365 SF
1.845 AC

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Scale: 1 inch = 60 ft. Horizontal

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**SUNSET
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Sheet
SP5
of
16
Date
APRIL 26, 2018

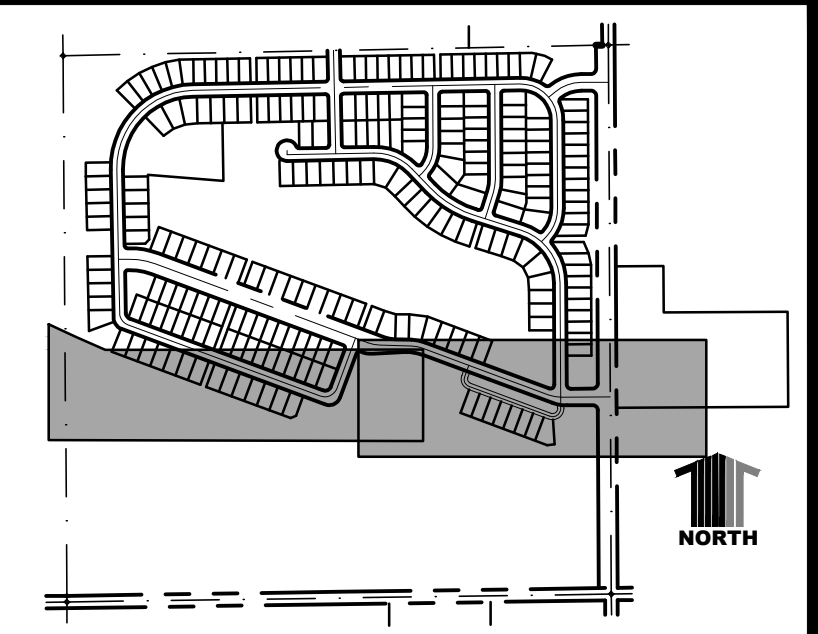
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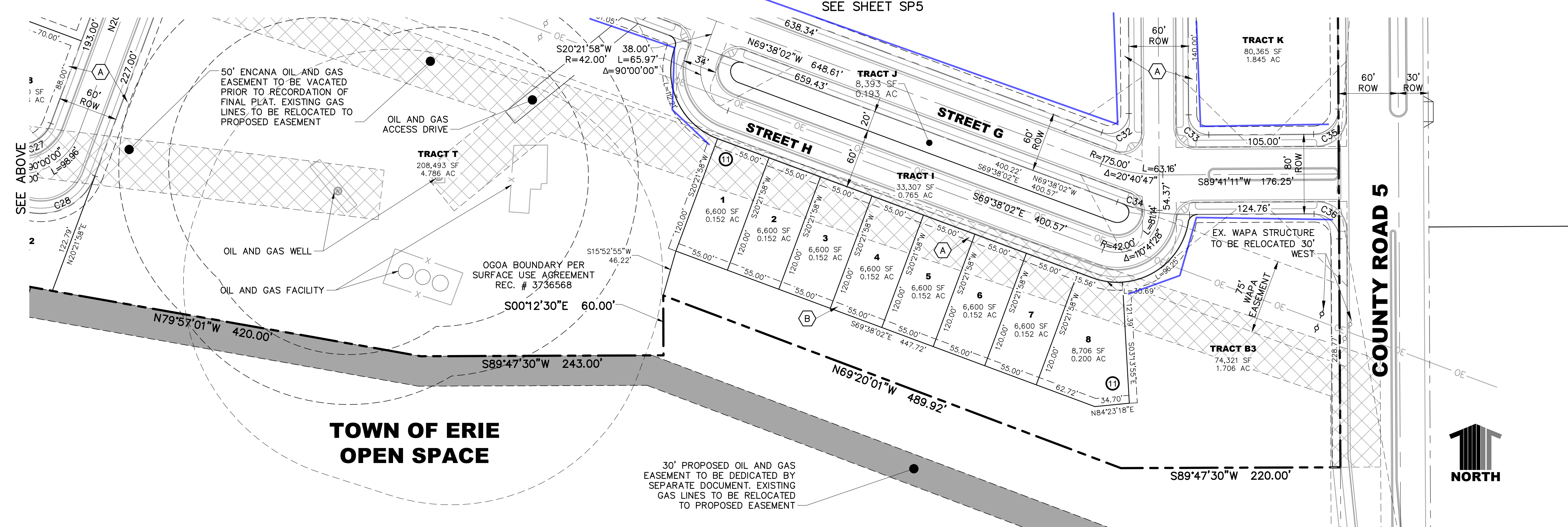
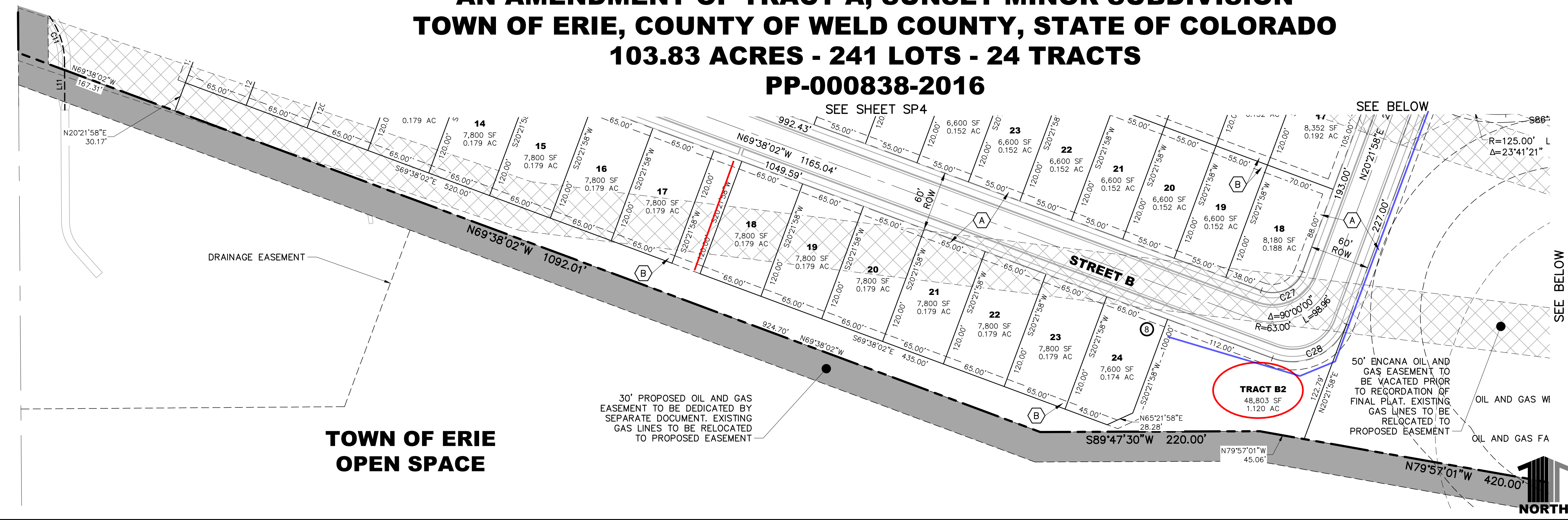
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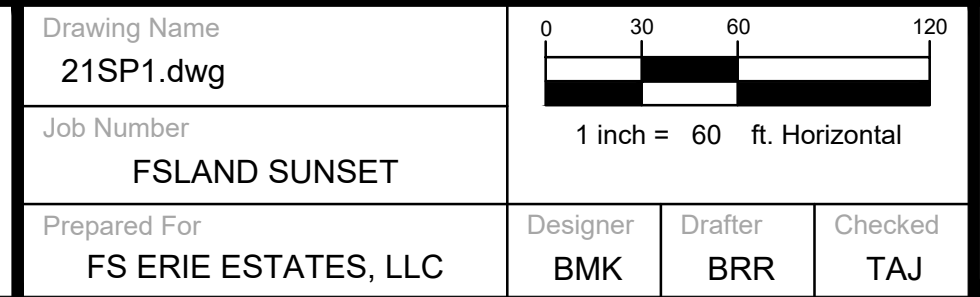
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**SUNSET
PRELIMINARY PLAT
SITE PLAN**



Department of Planning & Development

Planning

The Town of Erie

645 Holbrook St.
P.O. Box 750
Erie, CO 80516
(303) 926-2774

Memo

To: Yvonne Seaman
From: Hannah Hippely, AICP
Date: January 12, 2018
Re: Community Development Review Comments from Development Review Team Meeting for:
1. PP-000838-2016: Sunset Preliminary Plat Application
cc: Steve Foley, Deborah Bachelder, Todd Bjerkaas

Community Development has reviewed your resubmittal for Sunset Preliminary Plat application for conformance with Municipal Code, Title 10. The application was reviewed at the December 21, 2017 Development Review Team (DRT) meeting. As proposed this subdivision design conflicts with approval criteria of the UDC and thus is not supported by staff. The various sections of the UDC which this design fails to meet and which form the basis for a staff recommendation of the denial of this preliminary plat are listed below. Staff would like to sit down in person to discuss this project.

A. UDC

1. Conflicts with Chapters 5 and 6 (Preliminary Plat Approval Criterion d)
 - i. Section 6.2 of the UDC speaks to the protection of natural and scenic resources. The purpose of this section is to “protect and enhance the natural and man-made features that contribute significantly to the Town’s scenic quality and small-town character” and to “preserve the topographic features of individual development sites”. This property includes a unique land form feature discussed in the Town Natural Areas Inventory. Design standards of this section require that “to the maximum extent reasonably practicable, developments shall be designed in a manner that preserves the natural topography of the site and minimizes the use of cut and fill.” The area includes two large drainage valleys separated by a finger of land; this undulating topography is unique within the Town. The development site includes the north edge of the southern valley, the finger of land, and the northern valley. The proposed development requires extensive terraforming of the entire site, excepting only the steep bottom portion of the northern valley. The existing topography is not preserved by this design. Design standards also state “priority for protection shall be given to the following features which are not listed in their order of significance: prominent valleys, slopes of greater than 20%, significant and/or unique features”. These features are not protected by this design.
 - ii. UDC Section 5.4.B Natural And Scenic Resource Protection also requires compliance with Section 6.2 and this proposal thus conflicts with Section 5.4.B.
 - iii. Open Space Section 6.3.C.4.a-g The proposed open space is surrounded by development, it is inaccessible and isolated, and as proposed the open space would function as a private amenity. The proposed open space is the undevelopable area of the property. This plan has not organized the open space to create a continuous and connected open space system. The valley will continue to act as a storm water channel (for this development and areas to the east) except flows into it will be of a different nature as development in the area increases and concentrates storm flows into single point discharges; storm water channels are not eligible to be counted towards the required open space. Significant concerns related to the open space proposal have also again been raised by OSTAB, please review their memo in detail.
2. Conflicts with Town’s Comprehensive Plan (Preliminary Plat Approval Criterion a)
 - i. Comprehensive Plan Policies and goals related to Open Space include:

OS 1.3—CONTINUOUS, PERMANENT, SYSTEM OF OPEN SPACE The Town will use a variety of methods (both public and private) to facilitate the creation of a continuous, permanent, system of open space using natural features and manmade features such as preserved open space areas, drainages, streams, irrigation canals to the extent possible... The current width and shape and other features of a naturally occurring corridor (such as a drainageway) should be preserved, in order to maintain their environmental integrity and avoid creating an “engineered” appearance. Link natural areas and habitat in corridors of adequate width to protect sensitive species and that allow for genetic diversity through species movement. Avoid creating island habitats that are inaccessible by both people and wildlife.

OS 1.6 – Types of Open Space

Unobstructed, Continuous Open Space—Open space areas meeting the minimum acreage or requirements listed below where view corridors/scenic views, wildlife corridors and patches of land are not encumbered or are minimally obstructed by overhead utility lines, built structures or paved surfaces (other than trails). This type of open space is the most desirable, given highest priority, and viewed as the most favorable condition if it adjoins or is contiguous with other unobstructed open space and parks, and formulated on existing natural or potentially restorative natural features, including landforms containing native prairie, range land, riparian, wetland and aquatic habitat, and significant geologic features. The dedication of this open space by the development community or for acquisition by the Town will be of the highest priority and be more strongly encouraged than open space dedications that do not meet these parameters, open space requirements, minimum acreages, or are obstructed.

Obstructed or Fragmented Open Space—Obstructed open space refers to areas that contain impediments to wildlife and pedestrian travel, or are inhibited or fragmented by man-made structures or constructs such as roads, fences or buildings. This type of open space may be dedicated to the Town if determined to have high preservation values as determined by the Town. The Town will place a priority on the preservation of lands identified as part of the Natural Areas Inventory when evaluating potential open space areas for dedication.

The open space proposed is obstructed and fragmented and not in conformance with these policies. An open space proposal that creates a continuous link between the open space at Erie Highlands and Sunset Open Space is the direction provided in the Comprehensive Plan. The current width and shape of the topographic feature is not preserved and the project will result in an “engineered” appearance. There has been no determination made by Town staff that there is a rationale for accepting this obstructed and fragmented open space should be accepted due to high preservation values. Town staff does not find this to be an acceptable open space.

- ii. Comprehensive Plan policies and goals also speak to preservation of unique landforms:

NRE 2.1— MINIMIZE DISRUPTION TO NATURAL FEATURES New development should be planned to have the least amount of disturbance to landforms and natural areas (i.e., areas that support the continued existence of geological, ecological or other natural features). The Town will encourage setbacks and buffers between development and natural features.

NRE 2.2— MAINTAIN SIGNIFICANT VIEWS The Town will seek to preserve the visual character of the community through the protection of important viewsheds within the community. Viewsheds should be identified as part of the site planning process and development organized to preserve them to the extent feasible. Key areas to be considered include, but should not be limited to, those areas that contain the most varied topography, such as major landforms and hilltops visible from community gateways and corridors.

This proposal does not preserve the unique topography of this area nor minimize disruption to the natural feature. No buffer from the sides of the valleys are proposed and the entire site, except for the bottom of the northern valley, will be graded and formed to meet the needs of the proposed development.

B. Detailed Materials Review

1. Preliminary Plat:

a. General Comments:

i. All lots and tracts shall be shown in their entirety on one sheet with accurate dimensions with linear, bearing, and curve data. Many of the tracts are not shown in the entirety on one sheet. *1.12.18 The response provided did not address the comment. All tracts are to be shown in their entirety on one sheet with all survey data. It may be necessary to place tracts on their own sheet in order to accomplish this.*

ii. WAPA

1. Please add the transmission line structures to the SP sheets.

1.12.18 Sheet SP6 shows the structures within the right of way for County Road 5 and one of the poles is located within the road itself.

2. Notes on the plat indicate that “excavation is not permitted within 20 feet of any transmission line structure” and the CGS referral indicates that streets will need to be overexcavated to a depth of 5 feet. There appear to be transmission structures within 20 feet of areas that would need to be overexcavated, how is this conflict to be resolved?

3. Street trees along the lines encroach into the 75’ foot setback, the note on Sheet SP1 indicates that no vegetation within the easement can exceed 10 feet. This conflict was noted by WAPA in previous reviews and remains unaddressed.

4. Street lights are likely to impact the easement, which may conflict with elements of the WAPA notes (#s 3, 4, 5) how is this conflict to be resolved?

5. WAPA also previously noted that the plan does not provide a sufficient buffer between the proposed fence/landscaping and Western’s power line structure along the County Road 5 ROW.

1.12.18 No referral response has been received from WAPA which would allow staff to confirm that the issues previously outlined have been resolved and to ensure that no new concerns have arisen from the revised plans. Staff is particularly concerned with the fact that WAPA power poles are depicted in the right of way for County Road 5.

iii. Anadarko has objected to the relocation of their facilities and proposed amendments to the plan which staff has not seen. Given the impact the failure to relocate these gas lines would have on the project, this issue will need resolution prior to proceeding with any public hearings on this project.

1.12.18 The response provided indicates that this issue is not proposed to be resolved until “before a third final plat”. It is not clear what the third final plat for this development might be, please clarify. Although documentation has been provided which indicates that progress on this issue has been

made the latest correspondence from Anadarko is an objection to this project dated December 7, 2017. The purchase and sale agreement indicates that the Town would grant an easement for the underground relocation of the gas lines and that the “easement shall be located immediately contiguous to the northern and eastern boundaries of the property”. The application proposes a 30 foot easement along the northern property line per this agreement however, given the topography of the area and the need for long term access to these gas lines staff has concerns regarding the feasibility of this location. The agreement indicates that the disturbed areas are to be reclaimed. Alternative locations for the relocation of these gas lines should be considered as there may be better options.

iv. Crestone Well Site:

1. Crestone has noted a conflict with the access road, please address this concern.

v. Phasing Plan

1. Phases 1 and 2 should be combined into one phase so that a development with appropriate amenities and connectivity is developed.
2. The timing of the construction of the Spine Trail and second portion of the east-west trail along the north property line shall be a specific timeframe specified in the development agreement.

vi. Parks, Open Space, and Trails are discussed in Section 10.6.3.

1. Parks

- a. Tract D and Tract G are proposed as pocket parks. Each of these parks will be required to meet the Pocket Park Design Standards and as currently designed they do not.
- b. Page 16 of the Landscape Plan shows parks F-1 and F-2, these areas should be separated out as tracts owned and maintained by the HOA.

2. Trails

- a. OSTAB and Parks and Recreation provided comments related to the Spine Trail. Please review their memos in detail.

vii. 10.6.5 Transportation and Access

1. The development includes multiple very long blocks, maximum block length allowed by the UDC is 1,500 ft. and average block length within a development is to be 600 ft. This approach result in long monotonous stretches throughout the development and along CR 5. Please break up the block lengths and provide a block length analysis which shows how this requirement is being met. Also, where straight streets extending more than 600 ft. in length without being punctuated by a cross street are used, a median, traffic calming device, or other feature shall be used to slow traffic and break up the runway appearance. Please add these features to blocks as required, for example Street I which is almost 1,300 ft. long.

1.12.18 A block length analysis was not provided as requested. The design of Streets G and B have not changed.

2. Through block connections are required through any block 900 ft. or more in length, the corridors must be at least 30 feet in width (Tract C is too narrow) and have trails located within them to form a pedestrian network.

1.12.18 While 30 foot wide spaces are provided between lots, these do not contribute towards creating connectivity within the neighborhood since trails are not included. These tracts should be separate from Tract F. Please create them as distinct tracts owned and maintained by the HOA.

viii. An alternative equivalence compliance from the requirements of the housing diversity requirements has been requested, the Board of Trustees would need to approve this request.

Please update the Land Summary chart on Sheet T1 under residential uses to reflect the two lot sizes that are proposed: lot size 5,000 to 9, 999 sq. ft. and lot size 10,000 to 39, 999 sq. ft.

1.12.18 While an alternative equivalence compliance from the housing diversity requirements may be requested, it may only be granted on the basis found in the UDC. The request submitted does not address these criteria. It is unclear why architectural standards should be considered an alternative equivalence to housing diversity. Lastly, the details regarding the lot sizes are not accurate. The plat proposes only 10 lots larger than 10,000 sq. ft., this is 4% of the lots that would fall into a second variation. These larger lots are only marginally larger and do little to create diversity within the neighborhood. Nor is a larger lot sized used to influence or contribute to the neighborhood design in any way. Please revise this alternative equivalence compliance to address the UDC criteria found in Section 10.6.1.C.5 and accurately reflect the application. Please update the Land Summary chart on Sheet T1 under residential uses to reflect the two lot sizes that are proposed: lot size 5,000 to 9, 999 sq. ft. and lot size 10,000 to 39, 999 sq. ft. rather than the 6,600 sq. ft.+/- and 7,800 sq. ft.+/- currently listed.

ix. Landscape and Fencing

1. Sheet 1

- a. Replace 'Fee in Lieu' with the appropriate fee as was done on sheet T1.
- b. Update to reflect all previous comments and changes made.
- c. Street I is included in the parks and open space summary, it should be counted as right of way and included in the street tree requirement table.
- d. What are the various hatch symbols shown in the map related to? A key is not provided. Do the colors provided in the Parks and Open Space Summary chart have any meaning? This map and chart should be updated so it is based on the plat and the tracts of the plat.

2. Please provide a table for each pocket park detailing how the element requirements are met.
1.12.18 Please review the Pocket Park Design Standards. As shown Park D and G do not meet all of the requirements. Also, all landscaping must be detailed in a table which shows how each requirement is being met and the species used to meet the requirement.

3. Retaining walls are shown in the legend of the Landscape Plan but, staff does not see any on the plans or they are not discernable due to the symbols used. Please identify if there are retaining walls proposed and clarify where they are.

1.12.18 Retaining walls are indicated to be within "the parks" and along County Line Road, please add these retaining walls to the grading plans Sheets GR 1 and 2. Retaining walls at the rear of lots are proposed, but the locations of these are unknown. Please add these to the grading plans Sheets GR 1 and 2. No retaining walls will be allowed on any Town owned property. Additionally, where retaining walls are constructed, sufficient area for long term access to and maintenance of these walls shall be provided within privately owned or HOA owned property.

4. Please identify which area within the open space will remain undisturbed by development.
1.12.18 The untitled exhibit provided as part of the response to OSTAB, identifies the boundaries of the revised contours as the limits of disturbance however impacts outside of this boundary will occur as the project is constructed. Also, Merrick in their referral dated December 21, 2017 notes that "the proposed drainage plan includes routing concentrated flows to natural drainage swales in the open space area." Recommendations for channel stabilization and erosion protection at outlets are made. The impacts of the drainage facilities and associated stabilization and erosion control requirements are not considered in the delineation of the impacts of development on the proposed open space. Staff does not find the provided exhibit to be an accurate depiction of the area within the open space that will remain undisturbed by development.

5. The area shown as F-2 on Sheet 1 of the Landscape Plan is extensively landscaped and includes a shelter within an area intended to be a view corridor. This landscaping proposal impedes the visibility intended to be created by not developing this area.

6. Any final plat submittal shall include a fencing plan as a separate and distinct sheet including elevation details for each type of fence.
2. Sheet T1 – Title Sheet
 - a. Update the Land Summary Chart to reflect the correct housing diversity information.
 - b. Update the Tract Summary Chart to reflect all previous comments. Add trail in the use column for Tracts H and B.
 3. Sheet SP1- Site Plan/Phasing Plan
 - a. Update to reflect all previous comments.
 - b. Phases 1 and 2 should be combined into one phase so that a development with appropriate amenities and connectivity is developed. The timing of the construction of the Spine Trail and second portion of the east-west trail along the north property line shall be a specific timeframe specified in the development agreement.
 4. Sheet SP2 – Site Plan
 - a. Update as necessary to reflect all previous comments.
 - b. The 30 foot wide tract located between Lots 7 and 8 should not be part of Tract F, this should be a separate tract owned and maintained by the HOA.
 - c. The landscaped area shown as F3 on the Landscape Plan Sheet 1 should not be part of Tract F this should be a separate tract owned and maintained by the HOA.
 5. Sheet SP3 – Site Plan
 - a. Update as necessary to reflect all previous comments.
 6. Sheet SP4 – Site Plan
 - a. The 30 foot wide tracts located between Lots 21 and 22 and Lots 12 and 13 should not be part of Tract F, these should be a separate tract owned and maintained by the HOA.
 - b. Show side yard easements for all lots adjacent to tracts or the rear yards of adjacent lots, for example Lots 21 and 22 and Lots 12 and 13. Please review all sheets and add these as necessary.
 7. Sheet SP5 – Site Plan
 - a. The 30 foot wide tract located between Lots 30 and 31 should not be part of Tract F, this should be a separate tract owned and maintained by the HOA.
 8. Sheet SP6 – Site Plan
 - a. Street H is required to have both a tree lawn and sidewalk; private drives shall meet Town standards.
 9. Grading Plan
 - a. Show the locations of all retaining walls on the plans.
 - b. The use of Town property to the south is permitted for limited purposed under the Purchase and Sale Agreement which allows for a 30 foot temporary construction easement “for the construction and grading required for road construction” and per the agreement the temporary easement is intended to be reclaimed. The agreement does not include the permanent use of Town open space for the development however, the plan proposes permanent impacts to Town open space in order to facilitate the proposed development. All grading south of the property line must be pulled back off of Town open space as utilization of Town open space to facilitate development is not a permissible function of Town open space.
 10. Sheet OU1 - Off site Utility Plan
 - a. Please review the Engineering referral for comments related to utilities.
 11. Sheet OU2 and OU3 – Overall Utility Plan
 - a. Storm drains outfall into the proposed open space (Tract F) in three locations. Stormwater is then conveyed through the drainage channel to the pond in Tract E. Per the referral response from Merrick dated 12/21/17, the Phase II Drainage Report needs updated to address a variety of comments. The referral states “the proposed drainage plan includes routing concentrated

flows to natural drainage swales in the open space area.” Recommendations for channel stabilization and erosion protection at outlets are included. Response to these comments will impact the design of the drainage facilities within Tract F and result in additional infrastructure (rip rap for erosion control, drop structures, etc.) being necessary to manage the increased amount of flows and now concentrated flows.

- b. Drainage facilities installed within storm water channel will be privately maintained by the HOA. Access to these facilities will be necessary, but it does not appear that this has been provided for in the design of the subdivision.
 - c. At this time, the impact of the storm water drainage facilities (construction and long term maintenance) on Tract F is unknown as the plans have not addressed this. The improvements needed to accommodate the additional flows resulting from development and the changed nature of these flows will certainly change the character of Tract F through the installation of man-made facilities, channelization, and erosion of the storm water channel. Storm water channels are not eligible to be counted toward the required open space dedication.
 - d. The details of the drainage facilities and associated stabilization and erosion control requirements will impact the area proposed Town-owned open space to an unknown degree, this should be more fully understood before proceeding to public hearings.
12. Section 6.14 *Oil and Gas Wells and Production Facilities* identifies the town’s requirements for new, existing, and relocated oil and gas facilities. Please review the referral comments from the Environmental Planner.

Since review is a cumulative process and dependent on various criteria, we reserve the right to provide further comment(s) and request additional information upon receipt of this requested information.

REFERRAL AGENCIES

Referral agency packets were sent out and the referral responses that have been received by the Town are being forwarded to you. Comments were made by several Town Departments and referral agencies that need to be addressed prior to proceeding to public hearings. Please make the appropriate revisions to the application materials and provide a written response to address each of the written comments from staff and referral agencies.

Response And/Or Corrections To Materials And/Or Plans And Re-Referral Required:

- a. Planning: See comments above.
- b. Environmental Planner: See attached comments.
- c. Parks & Recreation: See attached comments.
- d. OSTAB: See attached comments.
- e. Engineering: See attached comments.
- f. Merrick and Company: See attached comments.
- g. Mountain View Fire Protection District: See attached comments.
- h. Crestone Peak Resources: See attached comments.
- i. Kerr-McGee Gathering LLC (Anadarko): See attached comments.

The Resubmittal To The Town Should Contain:

Paper Copies:

- 5 hardcopy sets of all revised information/materials including all of the required responses to referral comments for Planning, Engineering, OSTAB, Parks and Recreation, Environmental Planner, (include 3 hole punched 11x17 plans for notebooks and 24x36 plans) and;
- 1 hardcopy of all revised information/materials including all of the required responses to referral comments and 3 hole punched 11x17 plans for the for the public notebook and;

Digital Copies:

A PDF format of the complete submittal materials on 4 USB flash drives with file names consistent with the Town's Users Guide. Please include a hyperlinked copy of the title work. The Town will provide the mailing envelope, address labels and postage for delivery of the flash drives. The flash drives will be distributed to the follow referral agencies:

1. Town of Erie (File) - (insert staff that will review: Planning, Engineering, Parks, Environmental Planner)
2. OSTAB
3. Crestone Peak Resources: See attached comments.
4. Kerr-McGee Gathering LLC (Anadarko): See attached comments.

Additional referrals may be necessary based on the scope of the revisions.



Internal Memo

To: Hannah Hippely, Senior Planner – Planning & Development

From: Darren Champion, Parks and Open Space Project Coordinator

Date: January 12, 2018

Subject: Sunset – Preliminary Plat

Cc: Farrell Buller, Assistant to the Town Administrator – Community Services

Rob Crabb, Parks and Open Space Division Manager

Parks & Open Space Division staff has reviewed the revised subject plans and offers these comments:

- Tract F as Town-owned open space is not acceptable to the Town. Without appropriate open space this subdivision should not be approved.
 - o The open space does not meet the characteristics or design standards as laid out within the Municipal Code, Title 10, the Parks Recreation, Open Space, and Trails Master Plan, and the Town Comprehensive Plan.
- The applicant has supplied comments that they are discussing grading alternatives with Parks with regard to the placement of walls within lots/open space; staff is unaware of these discussions.
- Parks does not support the request for retaining walls to be built within Open Space, this is not an allowed use of open space
- Spine trail design shall follow section 1084.01 A-S of the Town of Erie Standards and Specifications that can be found at the following link:
<http://www.erieco.gov/DocumentCenter/View/10043>
 - o The current spine trail design is not acceptable as shown and does not take account of the trail specifications listed above.
- The applicant has requested a “grading criteria exception” to an area “approximately 200-300 feet along the Sunset south property line where the gully starts as shown on the Variance Exhibit.” Staff does not support this request, grading shall be removed from the open space.
 - o The Purchase and Sale Agreement defines limited uses of the adjacent Town open space which cannot be expanded.
- Currently, Tract F-1 shows several drainage structures located on open space within this tract that are shown as maintained by the HOA. Please show how these structures are to be privately maintained based on the current plan, as vehicle traffic is not permitted within open space except as per Section 1000 of the Town of Erie Standards and Specifications as detailed below:
1035.02.04 Access:
“Vehicular traffic is not permitted on Open Space areas, except for approved maintenance vehicles on established trails and sidewalks. Mowing, re-seeding, and spray equipment are

allowed off trails, but must avoid all access immediately following precipitation or irrigation events which may lead to rutting. All damage to irrigation installations must be repaired at the Contractor's expense, according to the original specifications."

- The first phase of the development shall include a pocket park amenity and the trail connection to Erie Highlands, this requires combining proposed phases 1 and 2.
- The timing of the construction of the spine trail shall be defined within the development agreement so that is it constructed within an acceptable and clearly understood timeframe.



Town of Erie Open Space and Trails Advisory Board

From: Town of Erie Open Space and Trails Advisory Board (OSTAB)

To: Hannah Hippely, Senior Planner, Community Development

Date: December 15, 2017

Subject: Sunset Preliminary Plat

Date of Drawings:

1. Site Plan – November 8, 2017;
2. Preliminary Landscape Plan – November 9, 2017

Location: NW corner of WCR5 & WCR6

OSTAB has reviewed the referral materials, compared them to Town planning documents, and prepared the following comments, questions, and recommendations for the Town's consideration in evaluating this application.

We primarily use the following Town documents as we evaluate the proposed open space and trails in all development application reviews:

1. Natural Area Inventory (NAI) - In 2008, the Town engaged Walsh Environmental Scientists and Engineers of Boulder, Colorado, to identify and evaluate the natural areas within the Town's planning area. Over 125 areas were evaluated. Based upon a variety of characteristics, a numerical "summary rating" was calculated, and the habitat quality of each site was categorized as high, medium, or low;
2. Unified Development Code (UDC), Chapter 6 – Development and Design Standards:
 - a. Section 10.6.2 – Natural and Scenic Resource Protection;
 - b. Section 10.6.3 – Parks, Open Space, and Trails.
3. Parks, Recreation, Open Space, and Trails (PROST) Master Plan.

Open Space:

Discussion:

This filing area is within NAI Site #75, "Big Draw". That site is 177 acres; it includes this entire filing area, as well as areas that are south and west of this filing. The site was classified as "low habit quality". We believe that rating is a mistake, since the consultants were denied access to this area. Other such sites were unrated, and identified as "inaccessible". We also noted that topography was not an attribute that was included in the evaluation process.

This filing has 16.83 acres of qualified dedicated open space; 11.68 acres are required. There multiple tracts are various sizes that total 44.74 acres of unqualified open space. The filing area is located between 2 existing Town open spaces: Sunset Open Space along the entire southern border, and Highlands Open Space at the northwest. Along the western border is the Greenmill

Sportmans Club (aka Gun Club), which is private land that is not developed in the eastern portion adjacent to this filing. The filing area includes topography that is relatively unique to Erie.

The proposed dedicated open is almost entirely surrounded by houses. The only exceptions are:

- Tracts B and B1 in the NW corner;
- Pocket Park F3 in the NW;
- Pocket Park F2 in the SE corner;
- Five 30' wide open space corridors.

In order to properly evaluate this unusual configuration, we decided to very carefully compare the filing to the multiple components of open space in the UDC in Sections 10.6.2 and 10.6.3; portions of those 2 sections are at the end of this document. We marked those sections as follows:

- UDC open space components that we determined are not met by this filing are italicized and have blue text;
- UDC open space components that we believe are probably not met by this filing (e.g. are there slopes in excess of 20% that have not been protected) are italicized and have green text;

We have concluded that there are material problems with the open space configuration:

1. Scenic views of the proposed open space and the Continental Divide to the west are restricted to the limited locations listed above;
2. Connection to contiguous Town open space land essentially does not exist; it is restricted to a narrow corridor at the western end:
 - a. The NW corner touches the Highlands open space. There will be significant barriers to wildlife movement here: the detention pond and the road, with traffic and steep slopes on each side;
 - b. Tract B in the SW corner touches the Sunset open space. That tract is less than 125' wide. There are multiple rows of houses between Tract B and the proposed open space.
3. Wildlife migration and travel corridors between the filing area and contiguous Town open space have been destroyed. The impact will be to greatly reduce biodiversity within the proposed open space area;
4. There are no opportunities for passive recreation or education, since all terrain that would be suitable for these activities is devoted to houses and/or roads;
5. It appears that the open space is limited to lands that were not economically developable;
6. The UDC states that the development should be designed in a manner that preserves natural topography and minimizes the use of cut and fill. This filing has material grading and fill on the entire perimeter of the open space. We counted 61 lots on the perimeter of the open space; only about 5 of those lots will NOT have grading in the open space behind them. Grading is extreme (greater than 25') behind the following lots and tracts:
 - a. 1G, 2-11B, 15A on the south side Street B in the NW;
 - b. 34-39W on the west side of Street F in the East;
 - c. 24-30W on the north side of Street G in the SE;
 - d. Pocket Park F3 in the NW;
 - e. Pocket Park F2 in the SE corner.

7. The impacts of this very significant grading is to alter the natural water drainage, to degrade the open space for fauna and flora, and to impair the experience of the public;
8. The inevitable pesticide runoff from the landscaping of multitude lots bordering the open space will deteriorate the open space, and possibly Coal Creek to the west.

The southern border of this Filing is adjacent to the Town's Sunset Open Space. There are 22 lots; only a few will not have grading behind them, to either the property boundary or into the Sunset Open Space. Grading is extreme behind the following lots:

- As much as 35' behind lots 1-8W on the south side of Street G;
- As much as 15' behind lots 17W, 18W, 20-24W on the south side of Street B

As described above, we identified a multitude of problems with the dedicated open space in this filing. We then decided that we must determine whether or not this filing meets the requirement for dedicated open space in the UDC. The evaluation was NOT done on a quantitative basis i.e. there were "x" components in the UDC that were not satisfied vs. "y" components that were satisfied. We made a qualitative evaluation. After extensive discussion, this board decided that, in our opinion, the proposed open space does NOT meet the criteria and purposes of dedicated open space in the UDC.

Recommendation: Redesign the open space so that it meets the criteria, purposes, and spirit of dedicated open space as defined in the UDC.

Spine Trail:

Discussion: LS Sheets 2, 8, and 9 contain a Spine Trail (8' concrete trail, adjacent 4' crusher fine trail, and a mowed buffer at least 2' wide on either side) on the west side of this filing in Tract B. There is a Spine Trail being constructed in Erie Highlands to the north that will connect to the Spine Trail in this filing at the NW corner. The PROST trail plan for the Sunset Open Space contains a Spine Trail that will connect to the Spine Trail in this filing at the SW corner. The combination of the relatively narrow width of Tract B (roughly 115') and the existing topography has resulted extensive grading of that entire tract in order to meet the maximum trail grade of 5% as permitted by the ADA. We believe that tract should be widened so that the Spine Trail more or less follows the natural land contours.

There are 2 connections to the Spine Trail in the NW corner, as shown in LS 2:

- On the west side of Street B, oppose the detention pond. It appears the grade of that connector may exceed the 5% maximum in the ADA;
- At the western end of the neighborhood trail that run along the northern border of this filing.

There are no other connections to the Spine Trail (see LS 8 and 9). We believe there should be another connection at or near the SW corner. There is a gap between lots 10W and 11W on Street B in that location. However, the topography slopes steeply downward from the road to the trail. It appears that the topography on lots 9W and/or 10W would provide a trail that more or less follows the natural terrain.

Recommendations:

1. Widen Tract B to reduce the significant grading, and design the Spine Trail so that it more or less follows the natural land contours;
2. Ensure that the connector trail between Street B and the Spine Trail in the NW corner does not exceed the 5% maximum in the ADA;
3. Add a connector to the Spine Trail in the SW corner that more or less follows the natural land contours.

Neighborhood Trails and Sidewalks:

Discussion: We are pleased that there is now a trail along the entire northern border between WCR 5 and the new Spine Trail. There is a meandering 8' sidewalk in a landscaped border on the west side of WCR 5 along the entire eastern portion. There are no trails on the southern portion. It does not appear to be practical to have a trail between WCR 5 and the western edge of the O&G area and required buffers. However, the grading at the rear of lots 11-24W on the south side of Street B appear support a trail in that location

Recommendation: Add a neighborhood trail at the rear of lots 11-24W on the south side of Street B.

Please pass this referral letter to the Applicant, and appropriate town departments, boards, and commissions. Thank you for your attention to these matters. OSTAB is available to discuss any of the above in more detail as needed.

Sincerely,

Open Space and Trails Advisory Board

- Bob Braudes
- Phil Brink
- Dawn Fraser
- Monica Kash
- Nicole Littmann
- Ken Martin (Chair)
- Joe Martinez

UDC Section 10.6.2: Natural and Scenic Resource Protection

A. General Site Design Requirements to Protect Natural and Scenic Features

1. Purpose

The purpose of this Section is to:

- a. *Protect and enhance the natural and man-made features that contribute significantly to the Town's scenic quality and small-town character, including the: varying topography and hillsides, reservoirs, stream corridors, floodplains, irrigation ditches, wetlands, native and specimen trees and vegetation, wildlife habitat and corridors, **dramatic view corridors to the mountains, historic or cultural sites, and other significant features**; and*
- b. *Preserve the topographic features of individual development sites.*

2. Applicability

This Subsection shall apply to all new development in the Town.

3. Design Standards

- a. *To the maximum extent reasonably practicable, where significant natural features or areas of historic or cultural value exist on a property or an adjacent property and have been identified on the required Existing Conditions Map, an applicant shall give priority to their preservation through required public open space dedication or as common private open space.*
- b. Priority for protection shall be given to the following features which are not listed in their order of significance:
 - i. Wetlands;
 - ii. *Floodplains and natural drainage ways;*
 - iii. Reservoirs, stream corridors, and other bodies of water;
 - iv. *Prominent valleys;*
 - v. Native and specimen trees and vegetation;
 - vi. *Slopes of greater than 20 percent;*
 - vii. Historically significant irrigation ditches or those ditches integrated with existing or planned trail systems;
 - viii. Historic, cultural, or archeological sites, buildings, or areas recognized by the town or other government agency as significant;
 - ix. *Significant wildlife corridors and habitat;*
 - x. Sites with federally or state-recognized endangered species; and
 - xi. Other significant and/or unique features.
- c. *To the maximum extent reasonably practicable, developments shall be designed in a manner that preserves the natural topography of the site and minimizes the use of cut and fill.*
- d. Earth grading or other land disturbance prior to the issuance of a grading permit is prohibited.

UDC Section 10.6.3 – Parks, Open Space, and Trails

c. Open Space and Trail Dedications and Fees In-lieu

1. Intent

Broad views and rolling agricultural lands are abundant and contribute significantly to the Town's character; however, many of these lands are planned for future development in the Town's Comprehensive Master Plan. In addition to providing land for trails, open space can help direct growth, maintain rural character, *protect sensitive environmental areas, scenic views and historic resources, and provide opportunities for education, wildlife protection and observation, hiking, and other passive and active recreation activities for existing and future the Town residents.*

2. Applicability

Any person filing a Preliminary or Final Plat for development of any area zoned and to be used for single-family, duplex, or multi-family residential purposes in the Town shall be required to dedicate: (1) a portion of land toward a community goal of 17 acres of open space per 1,000 residents; or (2) pay an in-lieu fee pursuant to Subsection 6.3.C.6.

3. Amount of Open Space to be Dedicated

- a. The amount of open space to be dedicated shall not be less than 17 acres of open space land per 1,000 ultimate residents of the development unless the Board of Trustees makes an individualized finding that supports an alternate dedication requirement. Any such alternate dedication requirement shall be reasonably related to the impacts upon the Town's parks and recreation system that will be generated by the residents and users of the subject development. The following formula shall be used for determining the amount of land to be dedicated:

$$\underline{17 \text{ acres} \times (\text{number of dwelling units}) \times (\text{persons per dwelling unit}) = \text{area to be dedicated } 1,000}$$

- b. The Community Development Director shall determine the number of persons per dwelling unit based upon data compiled by the Town from time-to-time in the update of its comprehensive master plans, which shall be reviewed and adjusted by the Board of Trustees as necessary to reflect current figures.
- c. The developer shall submit with each subdivision plat for multi-family residential development information concerning the number of dwelling units. Should the developer fail to do so, the Community Development Department shall assume the highest density permitted in such multi-family residential district.

4. Characteristics of Open Space to be Dedicated

a. Standard Criteria for Open Space

Open space is characterized as undeveloped land that is permanently maintained in a natural or agricultural state. Open space land shall have the following characteristics:

- i. A minimum of 10 contiguous acres;
- ii. A parcel that is no less than 300 feet at the narrowest width, unless the Town approves a lesser amount for a trail;
- iii. *To the maximum extent reasonably feasible, a location that is contiguous with or connected to adjacent open space or parks;*
- iv. Is, generally, unencumbered by utility lines, built structures, and paved surfaces;
- v. If the Town has not approved the open space dedication for agricultural purposes, then the property shall be covered with native vegetation and generally free of weeds and other noxious plants and trees. If land being dedicated is not in a native condition

acceptable to the Town, then applicant shall be responsible for restoration of the property to native vegetation before the Town accepts it for maintenance; and

- vi. Typically, open space shall be owned and maintained by the Town. The Town may consider a conservation easement as an alternative. Approval of a conservation easement shall be at the discretion of the Town approving body.

b. Permissible Functions/Use

Open space shall serve 1 or more of the following functions:

- i. Preserving rural/agricultural land;
- ii. Producing crops for revenue;
- iii. Protecting significant archeological, historic and cultural resources;
- iv. Providing aquatic, wetland and riparian habitat and buffers;
- v. *Providing hedgerows, feeding, cover, breeding, foraging and nesting habitat;*
- vi. *Preserving native wildlife habitat and their migration and travel corridors;*
- vii. *Creating and preserving pastoral-scenic views to mountains, plains, and agricultural lands;*
- viii. *Providing corridors and natural area destinations;*
- ix. *Providing passive recreational experiences and trails;*
- x. *Providing environmental education opportunities;*
- xi. *Shaping growth; protecting landmark topographic features; and*
- xii. Protecting the public from natural and geologic hazards; providing visual and physical linkages between community resources.

Clearing of underbrush and debris and the provision of walks, fountains, fences, and other similar features are permitted within open space.

c. Resource Preservation

To the maximum extent reasonably feasible, where significant natural and scenic resource assets exist on a property, the subdivider, developer, or owner shall give priority to their preservation as open space. In reviewing the proposed location of open space areas, the Community Development Director shall use all applicable plans, maps, and reports to determine whether significant resources exist on a proposed site that should be protected, with priority being given to the following areas (which are not listed in a particular order):

- i. Flood hazard areas;
- ii. Lakes, rivers, creeks, wetlands, stream/riparian corridors, and similar features;
- iii. *Wildlife habitat and migration corridors; and*
- iv. Native and specimen trees and plants.

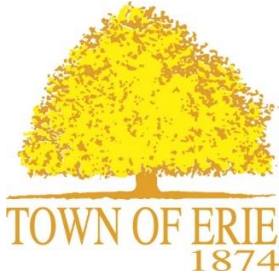
d. Design Standards

- i. *Open space shall not consist solely of undevelopable or "left-over" pieces of the site, but shall be designed as an integral part of the overall development plan, incorporating identified environmentally and historically significant components of the site.*

- ii. *Open space shall be organized to create continuous, integrated systems that physically and visually connect with the following features dedicated or identified in the Town of Erie Parks, Recreation, Open Space and Trails Master Plan.*
 - A. Parks or greenways;
 - B. School sites;
 - C. Historic, cultural, or archeological sites and features; or
 - D. Trail and open space systems.
- iii. Open space shall be unobstructed by utility lines, built structures, or paved areas (other than trails).
- iv. To maintain strong visual and physical linkages, to the maximum extent reasonably feasible open space shall not be less than 30 feet in width at the point of connection to adjacent lands or uses as described above. Where topography or other site features would prevent the above standard from being met, the point of connection may be reduced to less than 30 feet for short distances at the discretion of the Town.

Trail corridors outside of open space areas shall have a minimum corridor width of 30 feet.

PLANNING & DEVELOPMENT
Planning



Town of Erie
645 Holbrook Street
P.O. Box 750
Erie, Colorado
80516
(303) 926-2770

Memo

Date: January 8, 2018

To: Hannah Hippely, Senior Planner

From: Chad Taylor, Environmental Planner

RE: Sunset - PP-07-003

CC: Deborah Bachelder, Todd Bjerkaas

Comments: In regards to the environmental concerns present on the Sunset preliminary plat, comments are as follows:

1. Oil and Gas:
 - a. The existing oil and gas operation area located in Tract F needs to be updated with the accurate grid tied well and facility depiction. This should then be drawn and accurately represented on all relevant submission documents. This depiction shall include the representation of all Town of Erie required setbacks prescribed by the Town's UDC. This is in addition to any further setbacks / buffers stipulated by the SUA.
 - b. The oil and gas operations area should be updated and drawn with a complete well access representation before the submittal of the final plat. These updates are to be clearly shown on any relevant document pertaining to the submittal materials. Any oil and gas access should be designed to the detailed specification set forth by the Town's UDC. Please reference UDC 10.6.14.A.3 for the required level of detail.

2. Subsidence & geotechnical hazards:
 - a. The applicant should carefully read, acknowledge, and apply each of the recommendations given by the Colorado Geological Survey referral response in relation to the geotechnical concerns presented within the Sunset preliminary plat area.

PLANNING & DEVELOPMENT

Planning

3. Easements

- a. All easements that are currently labeled on the submission documents as “to be vacated” will need to be vacated and shown as such on all relevant documents by the time of the final plat submission. If the easements are not yet vacated by the time of the final plat submission, then the label “to be vacated” will need to be removed from all relevant documents.
- b. A 30 foot wide location for the relocation of gas lines was identified on the property to the south. Has the feasibility of the construction and long term maintenance needs to occur within this constrained area been evaluated? Given the preexisting topographical challenges presented in this general 30 foot wide area, how will access for routine work such as leak detection or more significant maintenance needs be provided?

MEMO

To: Hannah Hippely
From: Chad Schroeder, P.E., CFM, Development Engineer
Date: January 5, 2018
Subject: **Sunset Preliminary Plat**
CC: Russell Pennington
Wendi Palmer
Mathew Wiederspahn

Response Overall Comments:

1. Development conditions surrounding this site have changed substantially since the previous preliminary plat was approved and then expired including the continued buildout of Erie Highlands to the north and the preliminary design of Dearmin East on the east side of WCR 5. As such, the Town will be requiring the Sunset development to construct the west half of the Town's 4 Lane Arterial road cross-section for WCR 5.

Response: The plans have been revised to show CR5.

The CR5 western half arterial improvements shall be built all the way to the northern property line of the Blake property along CR5. Show the improvements in front of the Blake property all the way to the tie-in with the Erie Highlands CR5 improvements. An additional 30 feet of ROW shall be obtained from the Blake Property along the WCR 5 frontage.

Response Comments for Drainage Study:

1. Please see the attached comments from the Town's Drainage Review Consultant.

Response: The report was updated.

Please see the attached follow-on comments from the Town's Drainage Review Consultant.

Response Comments for Utility Study:

1. The Utility Study needs to be updated to reflect current development conditions (Erie Highlands constructed), current master plans (2013 Water Master Plan), and current Town Standard and Specifications (2017 Edition). In addition, the proposed utility layout is drastically different than what had been agreed upon in the previous preliminary plat, which needs to be used as the starting point for this current submittal.

Response: The study has been updated.

- A. Update the water plan and layout to the agreed upon changes from the previous preliminary plat review. Alternatively, provide a modified layout that provides equivalent capacity for staff's review and approval.
- B. On Page i in the Utility Study, include the Town Engineer's signature block under the design engineer's signature block.
- C. On Page i, cite the 2018 Town of Erie Standards and Specifications.
- D. On Page 1 in the Utility Study, note that the project is bordered the Erie Highlands development to the north.
- E. The existing 30-inch sanitary sewer line is incorrectly shown on Sheet OU1.

- F. The 2013 Water Master Plan is still not used for reference. Update the Utility Study accordingly.
- G. The applicant needs to coordinate with the Erie Highlands development which also needs the 16-inch water line installed in WCR 5. The Town will reimburse the difference between a 16-inch and 12-inch waterline installation and materials costs.
- H. On Page 4 in the Utility Study, the 12" water line connection is to Erie Highlands, not Erie Commons.
- I. Additional PRVs are needed and/or the PRVs shown are not in the correct locations. Correct as needed.

Response Comments for Preliminary Plat:

- 1. The adjacent tracts, lots, easements, and right-of-ways that have been platted to the north in Erie Highlands need to be shown.

Response: Background information has been added.

- A. Update the Erie Highlands ownership of the northern bordering properties throughout the sheets accordingly.
- B. Show abutting easements along the Erie Highlands boundary.
- C. Show the western neighboring property lines.

- 2. On Sheet SP6, the one way road south of Street H will be a private street and needs to be labelled as such.

Response: Agreed, the road will be private and has been labeled as such on the typical section.

Label the typical section as Street H.

- 3. On Sheet TY1:

- b. All street cross-section must have a minimum 7 foot wide tree lawn per the Town's current standards.

Response: Tree lawn widths have been revised.

- 1. The Entrance Modified Local Street needs to meet Residential Collector Standards including the 7-foot wide tree lawn.
- 2. The Private Drive does not have a 7-foot wide tree lawn.

- c. A cross-section is needed for Street H where it has the additional one-way street.

Response: Typical sections have been added.

The roadway and curbs meet Local Road standards, but curb lawns are not provided.

- 4. On Sheet GR1, grading slopes within areas to be dedicated as open space must be a maximum of 5:1. In addition, to receive open space credit for the detention pond, it must be a maximum of 5 feet deep.

Response: The pond and areas not at 5:1 were not counted in the open space dedication. The credited open space area exceeds the requirement.

- A. Provide an open space dedication map and calculations that comply with open space requirements including a minimum 300-foot corridor width.
- B. Update the abutting grading along the northern boundary with the Erie Highlands Filing 12 grading plans.

5. On Sheet GR2:

- a. There is grading along the south property that encroaches onto the Town's open space property with slopes of 3:1 and in some areas further than 40 feet. Per the Purchase and Sale Agreement, grading is allowed on the Town property only for road improvements, not for lots, cannot encroach further than 30 feet, and must meet our open space grading requirements of no slopes over 5:1.

Response: We have been discussing the grading alternatives with Parks and will continue to work for a reasonable solution.

An exception request to the Town's Open Space grading criteria has been submitted and pending a decision.

- b. The detention pond on the Town's open space property per the Purchase and Sale Agreement must meet open space requirements of no slopes greater than 5:1 and no deeper than 5 feet.

Response: The pond has been revised. The footprint of the pond can be reduced if 4:1 slopes are used which is more common to the existing slopes.

An exception request to the Town's Open Space grading criteria has been submitted and pending a decision.

- c. Note 3 states that "The developer will build the retaining walls in the Open Space." The Town will not allow any retaining walls to be built in Open Space nor does the Purchase and Sale agreement allow for them.

Response: Walls may be built on the lots. This is one of the grading alternatives being discussed with Parks.

An agreement with the Parks Department and applicable easements will be needed to allow for retaining walls in open space. This includes retaining walls from lots that extend into open space. The agreement would also need to address construction access in open space necessary to build retaining walls on the lots. These situations are shown in the lot cross section which includes a residence in Sheet GR3.

6. Corner radii are needed for the right-of-way at the two intersections with County Road 5.

Response: The radii have been added to the ROW.

Update the radii to 30 feet for a Minor Arterial intersection with a Collector.

Comments for Preliminary Plat:

1. Show all of the WCR 5 ROW improvements including the water line installation.
2. Provide a stub road to the north into the Blake property for future access.
3. The WAPA utility poles will need to be relocated which are currently shown in the south access southbound right turn acceleration lane.
4. On Sheet SP3, adjust the Street A radius to a minimum curve radius of 300 feet for a Residential Collector.
5. On Sheet SP6, provide the curve radius for the Street G - Street F southeast intersection corner.

6. On Sheet GR2, fully decommission the existing oil and gas access road. Consult with the Parks Department and engineering staff on providing an access point to the Town open space beyond the south access.

Comments for Landscaping Plans:

1. A 10-foot minimum buffer is required between tree trunks and all Town utility lines, fire hydrants, and storm sewer structures. Adjust the following trees accordingly which do not meet these requirements on each sheet.
 - a. Sheet 3 – 2 trees next to the storm sewer line at the end of the Street F cul-de-sac.
 - b. Sheet 5 – 1 tree next to the fire hydrant on Street F in front of Lots 19 and 20.
 - c. Sheet 7 – 2 trees in the median next to the fire hydrant water line.
 - d. Sheet 11 – 1 tree next to the storm sewer line near Lot 1.

December 21, 2017

2480 W. 26th Avenue, Unit B225
Denver, Colorado 80211
Tel: +1 303-964-3333
Fax: +1 303-964-3355

Town of Erie, Engineering Division
P.O. Box 750
645 Holbrook Street
Erie, Colorado 80516

www.merrick.com

**RE: REVIEW OF SUNSET
DEVELOPMENT PHASE II DRAINAGE REPORT RESUBMITTAL**

Dear Engineering Division:

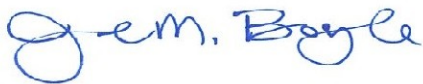
We have reviewed the Sunset Development resubmittal received on December 13, 2017. The resubmittal included the Phase II Drainage Report for the Sunset Development (revised October 2017) and a proposed drainage exhibit, by Calibre Engineering, Inc. We have the following comments to offer:

Phase II Drainage Report

1. Use the most current version of the Urban Storm Drainage Criteria Manual (USDCM) and the Town of Erie Standards and Specifications.
2. Use the updated percent imperviousness values and Rational Method coefficients from the current USDCM Tables 6-3 and 6-5. The maximum allowable release rates for detention facilities must be determined based on 90% of the 100-year unit discharge values found in Tables 12-6 through 12-8 in the current version of the USDCM to meet the full spectrum detention requirements.
3. Update the percent imperviousness for single-family residences land use using the current version of the USDCM.
4. It appears that there will be road improvements within Basin OS-4 that will increase the runoff to the County Road 5 and County Road 6 intersection. Clarify how the increased runoff will be addressed.
5. In the "C" Basins, it appears that the swale along the proposed trail will daylight and flow across the proposed trail or to offsite property in several locations. Culverts may be needed at trail crossings so runoff does not flow across the trail. At all locations where the swale daylights, erosion protection shall be provided to dissipate energy from the concentrated flows.
6. The boundary for offsite Basin OS-2 is drawn incorrectly. Revise the basin boundary based on the existing contours and the proposed Erie Highlands Subdivision plans. Existing runoff from this basin must be accounted for in the design of channels, storm sewers, and Pond A. Verify that the 9.36 acres for Basin OS-2 shown on the drainage exhibit and used in the calculations includes all tributary areas from the offsite property.
7. Provide rational method calculations for all design points. Appendix B only provides routing for Design Points 1-18.

8. Update all inlet sizing calculations based on the updated runoff coefficients and imperviousness using the current version of the USDCM.
9. Provide calculations for all channels onsite, including for channel section A-A shown in Basin A-16.
10. The proposed drainage plan includes routing concentrated flows to natural drainage swales in the open space area (Basin A-16). Provide channel stabilization for all drainage swales located in Basin A-16 so headcutting does not occur. Verify that there is erosion protection at all pipe outlets .
11. For Full Spectrum design, use all tabs within the current version of the UD-Detention spreadsheet available on the Urban Drainage and Flood Control District website. These tabs include pond volume sizing, outlet structure, and release rate calculations. Complete the full spectrum sizing for Ponds A and B.
12. The tributary areas used in the pond sizing calculations for Ponds A and B do not match the tributary areas shown in the hydraulic calculations in Appendix B. Clarify the tributary area for each pond and update all calculations as necessary.
13. Clarify if Pond B is to be a regional detention pond similar to Pond 1102 from the Erie OSP (Love and Associates, 2007). Verify that the pond meets all requirements of a regional detention facility including but not limited to: forebays, trickle channels, sloping pond bottom, water quality storage, micropool, surcharge storage depth, outlet structure, and emergency overflow.
14. Provide evidence of agreement that the Town of Erie will allow the regional detention pond (Pond B) to be located within the Town of Erie Open Space property located south of the development.
15. Verify maintenance responsibilities for all inlets, storm sewer systems, and ponds.

Sincerely,
Merrick & Company



Jeanne M. Boyle, PE, CFM



Clare Steninger, PE

Hannah Hippely

From: Bob Bresnahan <bob.bresnahan@CRESTONEPR.COM>
Sent: Tuesday, December 05, 2017 12:10 PM
To: Development Referral; Hannah Hippely
Cc: Yvonne Seaman
Subject: Re: FS Erie Estates Development Referral : Crestone Peak Resources response

Hi Hannah,

We received the FS Erie Estate PUD & PP from November 2017. Crestone Peak Resources has concerns with the access road into the Oil and Gas facilities and well area. The proposed turning radius off of and on to Street G (to/from Tract B with our facilities) will not accommodate the oil and water hauling transport trucks without causing a hazard. The access will most likely need to be widened substantially to accommodate the oil and gas traffic. Some of the landscaping at the access point with Street G will most likely need to be removed also. I have briefly discussed this with the developer (I copied Yvonne on this email) and Crestone will work with the developer to revise the access to accommodate our needs.

Please feel free to contact me with any questions.

Thank you,

Bob Bresnahan
Land Negotiator, *RPL*
Crestone Peak Resources
Direct: (303) 774-3982
Cell: (720) 369-0432



Please note that Crestone Peak Resources office will be closed every 1st and 3rd Friday of the month.



December 7, 2017

VIA E-MAIL

Town of Erie
Hannah Hippely, AICP
645 Holbrook
Erie, CO 80516
hhippely@erieco.gov

**NOTICE OF RIGHT-OF-WAY GRANTS OWNED BY KERR-McGEE GATHERING
LLC AND OBJECTION**

Re: PUD-000849-2017 & PP-000838-2017 (together the "Application")
FS Erie Estates – Property Owner or "Applicant"
Township 1 North, Range 68 West, 6th P.M.
Section 20: Part of the SE/4 ("Application Property")
Weld County, Colorado

Ms. Hippely:

This letter is being sent by Anadarko Petroleum Corporation on behalf of its subsidiary Kerr-McGee Gathering LLC ("KMGG") to inform you KMGG is the owner of valid pipeline easements located in the SE/4 of Section 20, Township 1 North, Range 68 West on the Application Property.

KMGG objects to the Application filed by FS Erie Estates. The proposal encroaches on multiple existing natural gas and oil pipelines and would prevent KMGG from properly maintaining and operating these pipelines. KMGG is in contact with the applicant and is working toward a resolution. KMGG will continue to work with the applicant in good faith until both parties can reach a mutually agreeable plan.

Please contact me at 720-929-3321 if you have any questions or comments about this matter.

Sincerely,
KERR-McGEE GATHERING LLC

A handwritten signature in black ink, appearing to read 'E Vannoy'.

on behalf of
Emma Vannoy
Landman

cc: Jeff Fiske, Lead Counsel
Ron Olsen
Justin Shoulders
Paul Ratliff
Don Jobe
Russell Kerle



MOUNTAIN VIEW FIRE RESCUE

9119 E County Line Road • Longmont, CO 80501

(303) 772-0710 • FAX (303) 651-7702

November 29, 2017

Ms. Hannah Hippley
Town of Erie
P.O. Box 750
Erie, CO 80516

Dear Ms. Hippley:

I have reviewed the submitted material pertaining to the preliminary plat for the Sunset development located northwest of Weld County Roads 5 and 6. The Fire District does not object to the proposed plan and subsequent development, provided the development is able to meet the requirements of the Fire District. All applicable codes must be met as they pertain to water supply, fire hydrant locations and street designs.

It appears that fire apparatus access and fire hydrant locations meet the requirements of the Fire District as shown on submitted plans.

Nothing in this review is intended to authorize or approve of any aspect of this project that does not comply with all applicable codes and standards. We appreciate being involved in the planning process, should you have any questions please contact me at 303-772-0710 x1121.

Sincerely,

A handwritten signature in blue ink, appearing to read "LuAnn Penfold". The signature is written in a cursive, flowing style. The first name "LuAnn" is written in a larger, more prominent script, and "Penfold" follows in a similar but slightly smaller script. The signature is positioned above the printed name and title of the sender.

LuAnn Penfold
Fire Prevention Specialist

cc: project file

lp11.23.17

From: Clinebell, Kevin (CONTR) [<mailto:Clinebell@WAPA.GOV>]
Sent: Thursday, February 01, 2018 9:03 AM
To: Hannah Hippely <hhippely@erieco.gov>
Cc: Groendyk, Jason <Groendyk@WAPA.GOV>
Subject: RE: [EXTERNAL] Sunset - Town of Erie PP-000838-2016

Hannah,

I got the following back from the engineer on the project with me:

I took a look through the Preliminary Plat and Preliminary Landscape plan and had the following comments:

Landscape – Sheet 7, 8, 11 and 12

Note for “Trees not to exceed 10’ in WAPA easement” Also, trees planted on edge of easement along the curb line are likely to encroach into the easement/roadway. These trees should be columnar in nature to avoid the horizontal encroachment.

Landscape – Sheet 12

Trees planted along both curb lines (CR5 and inside the development) prohibiting access to the WAPA easement. Also it looks like there may be some proposed improvements to CR5 which puts our structure inside the roadway. I don’t recall seeing this before so this changes things drastically. We would need to enter into an agreement for the developer to pay us to relocate this structure.

Preliminary Plat – GR1

Note for max grade of 5% added for access to power poles. This is good. Mountable curb won’t be seen yet at this level of detail. We need to look for that when they create improvement plans

If there are any further questions please let me know.

I was holding off starting the license agreement for this until the comments from engineering came back to me.

Thanks,
Kevin

Kevin Clinebell | Realty Specialist

Wyandotte Services on contract to

Western Area Power Administration | Rocky Mountain Region | Loveland, CO

(O) 970.461.7220 | [Clinebell\[at\]wapa.gov](mailto:Clinebell[at]wapa.gov)

[Join us on Twitter](#)





Department of Community Development

Planning and Building

The Town of Erie

645 Holbrook St.
P.O. Box 750
Erie, CO 80516
(303) 926-2774
FAX (303) 926-2706

Memo

To: Yvonne Seaman

From: Hannah Hippely, AICP

Date: May 17, 2017

Re: Community Development Review Comments from Development Review Team Meeting for:

1. PUD-000849-2017: Sunset Planned Unit Development (PUD) Application
2. PP-000838-2016: Sunset Preliminary Plat Application

cc: Marty Ostholthoff

Community Development has reviewed your resubmittal for Sunset PUD and Preliminary Plat application for conformance with Municipal Code, Title 10. The application was reviewed at the May 11, 2017 Development Review Team (DRT) meeting.

1. ALTA

- a. Staff is unsure of the purpose of Sheet 2 since the additional information found here, the WAPA line information and 30" storm outlet, is incomplete. This information along with the survey data including easement references should be added to Sheet 1 and Sheet 2 can then be removed. Please update the Preliminary Plat and PUD Zoning Map with updated and complete survey information for these items.
- b. Western has a 75 foot wide easement pursuant to the Declaration of Taking filed with the U.S. District Court of Colorado, Civil Case No. 3036, dated January 23, 1950 and recorded in Bk. 862 at pg. 161 and Bk. 1261 at pg. 365, in Boulder County.

2. PUD Zoning Map:

a. Sheet 1

- i. The title on all sheets should be updated to read:

SUNSET PUD ZONING MAP

A PORTION OF THE SE 1/4 OF SECTION 20, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN,
TOWN OF ERIE, COUNTY OF WELD, COLORADO

103.832 ACRES
PUD-000849-2017

- ii. The vertical title should read "SUNSET PUD ZONING MAP".
- iii. Update the legal description to reflect the new legal description resulting from the platting of Sunset Minor Subdivision; Tract A Sunset Minor Subdivision.
- iv. Remove the paragraph regarding subdivision from the legal description.
- v. Remove the words "Vista Point Subdivision" from the vicinity map.
- vi. Move the Vicinity Map title so that it is located above the vicinity map so there is consistency regarding label placement and it doesn't look like the list below the label is erroneously labeled.
- vii. The certificates should refer to a "PUD Zoning Map" rather than an overlay, please update this language in all of the certificates.
- viii. Remove the words "Town of Erie" after the word Chairperson in the Planning Commission Certificate.
- ix. The architectural standards listed on the PUD Zoning Map and included in the PUD narrative do not match what is discussed in the Preliminary Plat narrative on page 7. Staff is unclear as to what is being proposed in regards to architecture, please clarify the proposal and update all materials so they are consistent.

- b. Sheet 2
 - i. Adjacent property owner information needs updated as ownerships to the north and east have changed.
 - ii. The zoning designation of adjacent property needs to be provided, this is missing for the unincorporated Weld County properties.
 - iii. Please locate and dimension all existing easements on and adjacent to the site, their use, and the titleholder or right holder of each easement; the WAPA powerlines are not shown on the map. Page 2 of the ALTA shows these facilities but, that sheet if the ALTA provides none of the survey information typically found in an ALTA. The ALTA should be updated to specifically locate these facilities and this should be shown on the PUD Zoning Map.
 - iv. The details found in the SUA with Encana need to be shown on the PUD Zoning Map.
 - v. Please show how the proposed trails connect to the trail systems on adjacent property.
 - vi. Please remove the lot layout and topography from the zoning map but, show the road, street and pedestrian networks proposed.
 - vii. The entire subject property is zoned Low Density Residential and all planning areas should be identified as LR. Currently planning areas are identified on the map as open space or single family residential, these labels should be removed and replaced with "LR".
 - viii. Planning Area 3 which is a pocket park should be merged with Planning Area 1, pocket parks are not individual planning areas.
 - ix. Planning Areas 2 and 6 should be combined to show the perimeter buffer and for the purposes of better designating the Land Uses of the Planning Areas, the Oil and Gas facility and associated area should be located within its own Planning Area.
 - x. The difference between the public and private open space in Planning Area 4 should be shown (reflecting Tract C and Tract K from the Preliminary Plat) and the detention facility should be located on the map.
 - xi. Remove the words "Zone District (LR) (Low Density Residential) located within PA-4.
 - xii. Fence Design Criteria
 - 1. Items 1-4 of this list do not appear to conflict with current requirements of the UDC and thus do not need to be addressed by the PUD Zoning Map and can be removed. If elements of the UDC are proposed to be modified, please make this explicit in the narrative.
 - 2. Lots 1-7 are provided a 30 foot buffer from the adjacent salvage yard and the lots are level with or slightly below the salvage yard. Additional landscaping that will grow to a height of 10 to 20 feet in this area is likely to more successfully buffer the view than the solid 5 foot fence. Staff anticipated future redevelopment of the salvage yard and recommends enhanced landscaping in this area rather than modification of the fence standard.
 - 3. The narrative includes a different fence proposal than the PUD zoning map and landscape plan, please review the submittal and ensure all elements are coordinated.
 - xiii. Dimensional Standards
 - 1. Items 1 and 2 do not appear to conflict with current encroachment allowances of the UDC and thus do not need to be addressed by the PUD Zoning Map and can be removed; please review section 10.4.2.A.1.b of the UDC. If elements of the UDC are proposed to be modified, please make this explicit in the narrative.
 - 2. Staff understands a patio to be an at grade element, is this the intent? Also, what is meant by unenclosed?
 - 3. Staff needs some clarification regarding the reduction of the setback for a side loaded garage. Does the encroachment permitted apply only to the side loaded garage which encroaches or is the entire residence allowed a 15 foot setback when a side loaded garage is utilized? Is this encroachment allowance intended to apply to Front and Street setback? Perhaps the language should read "A side loaded garage may encroach 5 feet into the Front setback."
 - xiv. Dimensional Standards Summary Chart

1. The District column should list PA 1 and PA 5 rather than the zone district LR as the dimensional standard chart is to show what standards apply to what planning areas.
2. The only modification to the UDC standard proposed is the reduction of the Street Side setback to 10 ft., this is not discussed or justified in the narrative.

xv. Land Summary Chart

1. The "Land Uses" column should be relabeled "Planning Area" and a separate Land Use column should be added. Each Planning Area should be listed in its own row.
2. For Planning Area 4 the information should be separated into two additional rows so that dedicated open space is differentiated from the private open space and drainage uses. Alternatively Planning Area 4 could be separated into two planning areas.
3. Oil and gas activities need to be called out as a use for Planning Area 6.
4. The listed perimeter open space uses should include drainage, private buffer, and trail.

3. PUD Narrative

a. User's Guide Section 6

- i. b. It appears that the PUD is being requested to allow a solid fence adjacent to the salvage yard, permit encroachments into the setback for patio covers and side loaded garages, reduce the street side setback by 50%, and replace the UDC architectural variety and character with a different standard. As required in the user guide, the narrative should provide a detailed description of proposed variation(s) of the underlying zone district standards and requirements and the District Specific Standards and the justification for such variations, this was not provided.
- ii. c. A more detailed statement specifying the public benefit(s) provided by the PUD is required; this should not include items which are minimum requirements of the UDC.
- iii. e. A proposed development time-line should be provided. Additional detail beyond the 5 year build out time given should be provided. Will the current owner be the builder or is the timeframe and phasing contingent upon finding a builder. The PUD may need to be amended if the approved PUD does not work for the future builder.
- iv. g. A discussion of how the proposal relates to the existing land-use of the subject property and the zoning and land-use of adjacent properties, including statements describing areas of compatibility and conflict and the mitigation measures utilized is required. This project has some adjacent uses with the potential for conflict including the gun club to the west, the landfills to the south, the Town bike park to the south, and the salvage yard to the north yet none of these uses are listed or discussed in the narrative.
- v. Section h requires a discussion of how the proposal complies with the Town's Comprehensive Plan and approval criteria of the Municipal Code, Title 10, Unified Development Code; the approval criteria for a PUD can be found in the previously provided User's Guide and the Town Comprehensive Plan can be found on line.
- vi. Section i requires a description regarding the location, function and ownership/maintenance of public and private open space, parks, trails, and common areas. Please provide a more detailed description of each of these components and include the distinction between lands that will be dedicated to the Town as Open Space and those that will be retained by the HOA or other entity set up for that purpose.
- vii. Section j
 1. The Encana Oil and Gas operations is discussed but, the SUA is not mentioned and the details of the SUA are not located on the map.
 2. Is there a draft copy of a license agreement with WAPA that can be provided?

4. Preliminary Plat:

a. General Comments:

- i. Section 10.5.4.D requires that subdivision design be coordinated with adjoining subdivisions.
 1. The open space plan for this development does not coordinate or connect with the open space areas of Erie Highlands to the north and west. The development in the northeast

- corner, including the Road H, Street F and the adjacent lots, are a barrier to any connection between open spaces.
2. The location of trails on adjacent properties should be shown on all of the plans to ensure that the trails proposed within the development align with adjacent development.
 3. All lots and tracts shall be shown in their entirety on one sheet with accurate dimensions with linear, bearing, and curve data. Many of the tracts are not shown in the entirety on one sheet.
- ii. WAPA
1. Please add the transmission line structures to the SP sheets.
 2. Notes on the plat indicate that “excavation is not permitted within 20 feet of any transmission line structure” and the CGS referral indicates that streets will need to be overexcavated to a depth of 5 feet. There appear to be transmission structures within 20 feet of areas that would need to be overexcavated, how is this conflict to be resolved?
 3. Street trees along the lines encroach into the 75’ foot setback, the note on Sheet SP1 indicates that no vegetation within the easement can exceed 10 feet. This conflict was noted by WAPA in previous reviews and remains unaddressed.
 4. Street lights are likely to impact the easement, which may conflict with elements of the WAPA notes (#s 3, 4, 5) how is this conflict to be resolved?
 5. WAPA also previously noted that the site plan does not provide a sufficient buffer between the proposed fence/landscaping and Western’s power line structure along the County Road 5 ROW.
 6. Given these conflicts additional buffer between the power lines and development may be necessary and appropriate.
- iii. Anadarko has objected to the relocation of their facilities and proposed amendments to the plan which staff has not seen. Given the impact the failure to relocate these gas lines would have on the project, this issue will need resolution prior to proceeding with any public hearings on this project.
- iv. Crestone Well Site:
1. The plat should show the details of the various areas defined in the SUA, not a typical.
 2. The recordation information of the SUA should be included on the plat.
 3. No component of the areas covered by the SUA, can overlay platted lots. There is a conflict with Lots 181-185.
 4. Crestone has noted a conflict with the grading in the oil and gas area, please address this concern.
- v. A one sentence phasing plan and phasing map was provided with the preliminary plat. What portions of the infrastructure are proposed to be built with each phase and how does the phasing map reflect this improvement plan?
- vi. The medians in Street H need to be tracts owned and maintained by the HOA, please update the plans and Tract Summary Chart on Sheet 1.
- vii. Section 10.6.2 of the UDC speaks to the protection of natural and scenic resources. This property includes a unique land form feature discussed in the Town Natural Areas Inventory. Design standards of this section require that “to the maximum extent reasonably practicable, developments shall be designed in a manner that preserves the natural topography of the site and minimizes the use of cut and fill.” The proposed development relies heavily on the grading and fill of the existing drainage edges significantly narrowing it in some areas and closing it off at completely at the west side. This approach is contrary to the requirements of the UDC.
- viii. Parks, Open Space, and Trails are discussed in Section 10.6.3.
1. Parks
 - a. The current person per dwelling unit is 2.85, please recalculate the parks requirements and update all instances in the materials and various sheets of the plans as necessary.

- b. The pocket park in Tract I has limited visibility from local streets as Lots 245, 246, 247 block the park from Street B. Revise configuration of tract/lots to provide better public access and visibility (6.3.B.4.a.i).
 - c. The pocket Park in Tract J which serves the neighborhood on the south side of the drainage is not centrally located, nor is it visible or easily accessible being located within a cul-de-sac on the western edge.
 - d. It appears that lots in the southeast corner of the development may not have a pocket park within ¼ mile (1,320 ft.), moving the park from Trac J to a more central location would likely resolve this.
 - e. As determined by the Neighborhood Park Land and Development Construction Cost Fee structure, the Neighborhood Park contribution will be collected at time of final plat since a park is not required to be dedicated. On Sheet T1 “Fee in lieu” should be replaced by “Neighborhood Park Land and Development Construction Cost Fee.”
 - f. Community Park fees, when a park is not required to be dedicated, are collected at the time of building permit application. On Sheet T1 “Fee in lieu” should be replaced by “Building Permit Fee.”
2. Open Space
- a. Significant concerns related to the open space proposal have been raised by OSTAB, please review their memo in detail.
 - b. Staff also had concerns regarding the proposed open space and the design standards for open space found in Section 10.6.3.C.4.d. The proposed open space is surrounded by development, it is unconnected to the open space network in Erie Highlands to the northwest, and it is inaccessible and isolated. The edges of the open space have in many instances will be modified to allow the perimeter development diminishing the ‘natural’ element of the drainage way and proposed open space. The eastern corner of Track K is less than 300 feet wide.
3. Trails
- a. OSTAB provided comments related to trails please review their memo in detail.
 - b. While the PROST plan shows a general trail alignment for the spine trail, it should not be used literally to locate a specific trail. In this instance, the PROST contemplates a trail connection south and east from Erie Highlands at the northwest to the intersection of CR 5 and 6. The routing of this trail as shown on the PROST creates the potential for a high degree of conflict with users of the single track facility and its route should be reconsidered. A path along and through the central drainage way to CR 5 then south along CR 5 to the intersection would avoid this conflict as well as provide access and utility to the proposed open space for the larger community.
- ix. 10.6.5 Transportation and Access
- 1. The development includes multiple very long blocks, maximum block length allowed by the UDC is 1,500 ft. and average block length within a development is to be 600 ft. This approach result in long monotonous stretches throughout the development and along CR 5. Please break up the block lengths and provide a block length analysis which shows how this requirement is being met. Also, where straight streets extending more than 600 ft. in length without being punctuated by a cross street are used, a median, traffic calming device, or other feature shall be used to slow traffic and break up the runway appearance. Please add these features to blocks as required, for example Street I which is almost 1,300 ft. long.
 - 2. Through block connections are required through any block 900 ft. or more in length, the corridors must be at least 30 feet in width (Tract C is too narrow) and have trails located within them to form a pedestrian network.
- x. An alternative equivalence compliance from the requirements of the housing diversity requirements has been requested, the Board of Trustees would need to approve this request.

Please update the Land Summary chart on Sheet T1 under residential uses to reflect the two lot sizes that are proposed: lot size 5,000 to 9, 999 sq. ft. and lot size 10,000 to 39, 999 sq. ft.

- xi. Landscape and Fencing
 - 1. Note that landscape plans or any portion thereof are not approved with the Preliminary Plat. Landscape Plans are a required submittal during Final Plat.
 - 2. Update Sheet 1 to reflect all previous comments and changes made.
 - 3. Show all proposed trail alignments and trail connections within and outside development on the Landscape Plan, including the path along CR 5. The trail shown in Tract E does not connect to anything.
 - 4. Please provide a table for each pocket park detailing how the element requirements are met.
 - 5. The plans show the three rail fence between Lot 1 and Tract A but a perimeter fence between Lot 214 and Tract E. Is having two different fence types at this entrance intentional?
 - 6. Sheet 13 of the Landscape Plan has a perimeter fence detail and notes that this is provided adjacent to the salvage yard and at interior lot lines. However the plans show this perimeter fence adjacent to CR 5. Perimeter fencing along CR 5 must meet the Perimeter Fence standards found in Section 10.6.4.H.9.
 - 7. Retaining walls are shown in the legend of the Landscape Plan but, staff does not see any on the plans or they are not discernable due to the symbols used. Please identify if there are retaining walls proposed and clarify where they are.
 - 8. Please identify which area within the open space will remain undisturbed by development.
- 5. Sheet SP2 – Site Plan
 - a. The specific drainage facilities in Tract C should be located in an easement but, it may be appropriate for all of Tract C to be covered by a blanket drainage easement. Please confer with Town Engineering staff and provide the appropriate easement on Tract C.
- 6. Sheet SP4 – Site Plan
 - a. Align tracts and trails between Town of Erie open space on the south to Tract C of the Sunset gully to the north.
 - b. A 30 foot width is required of tracts located between lots (i.e. Tract G, parts of Tract F that touch street ROW, etc.).
 - c. Show the off-site detention pond easement on Town open space to the south, has this easement been defined yet?
 - d. Show side yard easements for all lots adjacent to tracts or the rear yards of adjacent lots, for example Lots 129 and 130 should have side yard easement adjacent to the tract that separates them. Please review all sheets and add these as necessary.
- 7. Sheet TYI – Typical Sections
 - a. Show where these street sections are located.
 - b. An 8 ft. tree lawn is standard, the typicals do not comply with the standard.
 - c. MVFPD requires a minimum 20' width of clear street for emergency vehicles. See MVFPD's comment letter.
- 8. Sheet GR1 – Grading Plan
 - a. Grading in gully (behind Lot 59) is substantially narrowing the bottom width of the gully and creating a choke point. Staff has concerns about the potential of erosion at this point from surface drainage of the watershed above.
 - b. Show probable locations of retaining walls on the plans. Will these walls be HOA or privately owned and maintained? Ownership will affect location of the walls on the lot and may affect types/locations of easements for access to these walls.
 - c. There is off site grading on the property adjacent to the north, has this been coordinated with that property owner?
- 9. Sheet GR2 – Grading Plan
 - a. The applicant is showing an off-site detention pond on the Town of Erie Open Space. Per the

Sales and Purchase Agreement, the pond is allowed on the property “provided such detention pond meets all of the criteria and requirements of both the Town of Erie Unified Development Code for detention ponds on open space dedicated property and Town of Erie Standards and Specifications for the Construction of Public Improvements.” Verify during final design and construction plans that the pond meets these requirements.

- b. There is off site grading on the Town property to the south, has this been coordinated with the Town?
10. Sheet GR3 – Grading Plan
 - a. The lot templates do not show retaining walls but, it seems that these may be typical.
 - b. The typical wall section shows two walls but, the image below does not match the typical, is this accurate? Will these walls within the private properties be HOA or privately owned and maintained? Ownership will affect location of the walls on the lot and may affect types/locations of easements for access to these walls.
 - c. There is not a typical provided for a Transitional Lot.
11. Sheet OU1 – Off site Utility Plan
 - a. The plan shows both a water line and a sanitary line on the gun club property, a 12” water sanitary line transitioning to an 8” sanitary line, is this accurate?
12. Sheet OU2 – Overall Utility Plan
 - a. Is there a storm drain manhole in the middle of the trail between Lots 28 and 29?
13. Sheet OU3 – Overall Utility Plan
 - a. Plans show storm pipe from the off-site detention pond in Erie Open Space into the Denver Regional Landfill property. An agreement and easement is required from Denver Regional Landfill.
 - b. Section 6.14 *Oil and Gas Wells and Production Facilities* identifies the town’s requirements for new, existing, and relocated oil and gas facilities. Please review this section and revise plans accordingly. Specifically, some parts of the facility have not yet been fenced and/or painted, and the submitted plans do not show the facility access plan with curb cut, hard surface drive, and crushed surface locations.

Since review is a cumulative process and dependent on various criteria, we reserve the right to provide further comment(s) and request additional information upon receipt of this requested information.

REFERRAL AGENCIES

Referral agency packets were sent out and the referral responses that have been received by the Town are being forwarded to you. Comments were made by several Town Departments and referral agencies that need to be addressed prior to proceeding to public hearings. Please make the appropriate revisions to the application materials and provide a written response to address each of the written comments from staff and referral agencies.

Response And/Or Corrections To Materials And/Or Plans And Re-Referral Required:

- a. Community Development: See comments above.
- b. Parks & Recreation: See attached comments.
- c. OSTAB: See attached comments.
- d. Mountain View Fire Protection District: See attached Comments.
- e. Crestone Peak Resources: See attached comments.
- f. Kerr-McGee Gathering LLC: See attached comments.
- g. Colorado Geological Survey: See attached comments.
- h. The Town did not yet receive referral comments from Town of Erie Public Works or WAPA but, a response is anticipated from both agencies and it will be forwarded to you upon receipt. A response to these comments and a re-referral packet for these agencies is required.

Response And Revisions Required But No Re-Referral Required At This Time:

- a. Boulder Valley Conservation District: See attached comments.
- b. St. Vrain Valley School District: See attached comments.
- c. United Power: See attached comments.
- d. Xcel Energy: See attached comments.
- e. Comcast: See attached comments.
- f. NCWCD and Sub-district: See attached comments.
- g. Felsburg, Holt & Ullevig: See attached comments.
- h. Town Building Department: See attached comments.

No Response Was Received From The Following Agencies:

- a. Colorado Division of Wildlife
- b. Green Mill Sportsman's Club
- c. City of Lafayette
- d. HS Gathering, LLC & Panhandle Eastern Pipeline Company
- e. City & County of Broomfield
- f. Weld County Planning
- g. High Plains Library District
- h. Vranesh & Raisch, LLC

The Resubmittal To The Town Should Contain:

- a PDF of all revised information/materials including the required responses to referral comments;
- 4 hardcopy sets of all revised information/materials including all of the required responses to referral comments for Community Development, Public Works, OSTAB, Parks and Recreation (include 3 hole punched 11x17 plans for notebooks and 24x36 plans) and;
- 1 hardcopy of all revised information/materials including all of the required responses to referral comments and 3 hole punched 11x17 plans for the for the public notebook and;
- A copy of all revised information/materials including the required response to the agency referral comments, for each referral agency listed below, shall be submitted in unsealed, Tyvek envelopes of appropriate size for the materials, addressed to the appropriate agency, with all materials folded and compiled in the envelope. Please do not seal the envelopes; do not put postage on the envelopes; and, do not put a return addresses on the envelopes. Provide 11x17 plan sets only for most referral agencies, with the exception of Mountain View Fire Protection District which requires 24x26 inch size plans.
 - Mountain View Fire Protection District
 - Crestone Peak Resources
 - Kerr-McGee Gathering LLC
 - Colorado Geological Survey
 - WAPA

Hannah Hippely

From: Marisa Dale <mdale@UnitedPower.com>
Sent: Tuesday, May 02, 2017 1:09 PM
To: Hannah Hippely
Subject: Sunset PP-000838-2016 and PUD 000849-2017

Hi Hannah,

Thank you for allowing United Power, Inc. the opportunity to review and comment on this referral.

United Power, Inc. appreciates the planned utility easements and would like to request the additional:

- 5' wide side lot easements along lot that is nearest to a streetlight.
- 15'x15' pocket easements for above ground equipment not within lots, in open areas

Developer must contact Monica Hansen, Senior Project Coordinator, at 303-637-1336 and submit an application for new service.

Depending on electric design, additional utility easements may be necessary and acquired via separate document.

We look forward to providing service to this new development.

Thank you,
Marisa

Marisa Dale, RWA | [Engineering & Rates ROW](#)
500 Cooperative Way, Brighton, CO 80603 | O 303.637.1387 | C 720.334.5282

Schedule: M-Th 7:00-4:30, F 7:00-3:30
Out of the office: May 5 & 19, June 2, 16 & 30



May 12, 2017

Matt Wiederspahn Town of Erie
P.O. Box 750
645 Holbrook Street
Erie, Colorado 80516

**RE: REVIEW OF SUNSET DEVELOPMENT
PHASE II DRAINAGE REPORT**

Dear Matt:

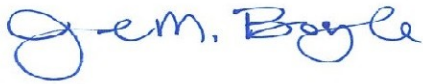
We have reviewed the Sunset Development submittal received on April 28, 2017. The submittal included the Phase II Drainage Report for the Sunset Development (revised December, 2016), proposed drainage exhibit, and Preliminary Plat for Sunset (revised January 5, 2017), by Calibre Engineering, Inc. We have the following comments to offer:

Phase II Drainage Report

1. Use the most current version of the Urban Storm Drainage Criteria Manual (USDCM) and the Town of Erie Standards and Specifications.
2. Use the updated percent impervious values and Rational Method coefficients from the current USDCM Tables 6-3 and 6-5. The maximum allowable release rates must be determined based on 90% of the 100-year unit discharge values found in Tables 12-6 through 12-8 in the current USDCM to meet the full spectrum detention requirements.
3. Provide channel stabilization in the natural drainage area. Verify that there is erosion protection at the outlets of pipes that are routed to the natural drainage area in Basin A-12.
4. For the drainage swale in Basin C-2, provide capacity for all areas tributary to DP 23 (Basins OS-1, C-1 and C-2).
5. Provide the calculations for channel section A-A shown in Basin A-12.
6. Clarify that the "C" Basins drain undetained offsite do not increase the percent impervious values between the existing and proposed conditions.
7. The boundary for offsite Basin OS-4 is drawn incorrectly. Revise the basin boundary based on the existing contours. Existing runoff from this basin must be accounted for in the design.
8. Pond B does not match the volume or release rate of the regional detention pond 1102 as described in the Erie OSP. Document the differences in tributary area, volume, and release rates between the OSP Pond 1102 and the proposed Pond B.
9. Clarify the area of Basin OS-3. In the Rational Method calculations the area is 42.66 acres, while it is 44.62 on the Drainage Exhibit.

10. For Full Spectrum design, utilize the current version of the UD-Detention spreadsheet available on the Urban Drainage and Flood Control District website.
11. Provide evidence of agreement that the Town of Erie will allow the regional detention pond (Pond B) to be located within the Town of Erie Open Space south of the development.

Sincerely,
Merrick & Company

Handwritten signature of Jeanne M. Boyle in blue ink.

Jeanne M. Boyle, PE, CFM

Handwritten signature of Clare Steninger in blue ink.

Clare Steninger, EIT



STONE
LANDSCAPE
ARCHITECTS

TO: TOWN OF ERIE
Rob Crabb, Parks & Open Space

FROM: Stone Landscape Architects, LLC
Terry Stone

DATE: May 3, 2017

RE: **SUNSET – Preliminary Plat Review**

Below are the Parks-related review comments for this project.

Preliminary Landscape Plan:

1. General: It appears that proposed linework and grading do not match on Landscape and Plat sheets. Ensure the same information is shown throughout.
2. General: Confirm that trails and walks will have 5% maximum slope, and max slopes in landscaped areas is 4:1 – including those with seed or sod.
3. General: Minimum width for trail corridors is 30'. This affects Tract G and elsewhere.
4. General: The evergreen trees specified should have minimum spacing of 15' o.c., 20' recommended.
5. General: Pocket Parks shall be centrally located within the neighborhood, accessible via walks and trails, and have good visual surveillance from the street. Consider modifying/relocating the Tract I park and/or expanding the Tract J park.
6. General: Dedicated Open Space shall physically connect the neighborhood via trail systems. Add trails to Tract K that connect to Tracts C, G & E, pocket parks, other trails, etc.
7. General: A 3' minimum flare/radius is required at each trail intersection.
8. General: Striped crosswalks are recommended where trails cross streets mid-block.
9. Sheet 1: Land Summary Chart and Parks & Open Space Chart should match the information on Preliminary Plat, or be removed from this cover sheet. Numbers in Public Land Dedication should match the chart also.
10. Sheet 1: Tract K 'Open Space' should show ownership/maintenance by Town of Erie, unless TOE approved a Conservation Easement in lieu at its discretion.
11. Sheet 1: Add fencing note explaining that fence layout on plans is diagrammatic, and fence construction shall have a post/column at all corners and terminations.
12. Sheet 2: Consider adding trail to connect Tract B around the lots in NW corner, and connecting across street H to new trail in Tract C.
13. Sheet 4 – Tract I Pocket Park:
 - a. Soccer field is hidden from the street and better surveillance is needed.
 - b. Quantities are short for infrastructure shrubs, perennials and ornamental grasses.
 - c. Shade is recommended at benches. Consider relocating and/or using larger canopy trees.
 - d. Park identification sign should be closer to street. Also ensure it includes a contact number for maintenance.

- e. Bike racks would be better used closer to park entry; consider relocating.
 - f. Ensure at least one picnic table is wheelchair accessible and coordinated with shelter columns.
 - g. Refer to 'General' comment #4 above.
14. Sheet 5: Fix linework to show curb & gutter for County Rd 5.
 15. Sheet 5: The street section (sht 13) shows an 8' wide path but the plan does not; these should match, or be explained via note. Walk and trail connections from neighborhood should be shown, or explained via note.
 16. Sheet 5: 'Entry Planting' labels should refer to the correct sheet.
 17. Sheet 5: Consider more variety for the living fence planting, which is currently a monoculture. The detail on sht. 12 does show variety.
 18. Sheet 6: Refer to 'General' comment #5 above.
 19. Sheet 7: Trail connecting Tracts C and G should have separation from lot fence and be more sinuous in nature. Minimum side clearance is 8'.
 20. Sheet 7: Curb ramps and trails should align where Street H is crossed.
 21. Sheet 8: Shade is recommended at benches. Consider relocating or adding shade trees at Tract J park.
 22. Sheet 8: Recommend connecting trail in Tract B to/near street intersection.
 23. Sheet 11 – Tract F:
 - a. If well production facilities remain they must be fenced off. Clarify what is remaining and how access is provided.
 - b. Well access from the street should be paved. Ensure weight load requirements are met at the crossed sidewalk.
 - c. Tract is called a 'Landscape Buffer' but a buffer is not shown. Facilities should also be screened from the street. Add low trees or large shrubs for screening that comply with OE height restrictions.
 24. Sheet 12: For plan see all comments related to Sheet 5.
 25. Sheet 13: On fence details note that the finished side of fence shall face street, trail or open space.
 26. Sheet 15: Note 4 should state a minimum of 5 CY per 1000 SF.

Preliminary Plat:

27. Sheet T1: Refer to comment #8 re. Tract K 'Open Space'.
28. Sheet EC1: A note states "Drill windows consolidated to Tract P" but no Tract P exists. Clarify and show any drill windows on the Site Plan.

END OF COMMENTS

MEMO

To: Todd Bjerkaas
From: Matt Wiederspahn, P.E., CFM, Development Engineer
Date: May 25, 2017
Subject: **Sunset Preliminary Plat**
CC: Russell Pennington
Wendi Palmer

Overall Comments:

1. Development conditions surrounding this site have changed substantially since the previous preliminary plat was approved and then expired including the continued buildout of Erie Highlands to the north and the preliminary design of Dearmin East on the east side of WCR 5. As such, the Town will be requiring the Sunset development to construct the west half of the Town's 4 Lane Arterial road cross-section for WCR 5.

Comments for Drainage Study:

1. Please see the attached comments from the Town's Drainage Review Consultant.

Comments for Utility Study:

1. The Utility Study needs to be updated to reflect current development conditions (Erie Highlands constructed), current master plans (2013 Water Master Plan), and current Town Standard and Specifications (2017 Edition). In addition, the proposed utility layout is drastically different than what had been agreed upon in the previous preliminary plat, which needs to be used as the starting point for this current submittal.

Comments for Preliminary Plat:

1. The adjacent tracts, lots, easements, and right-of-ways that have been platted to the north in Erie Highlands need to be shown.
2. On sheet SP6, the one way road south of Street H will be a private street and needs to be labelled as such.
3. On sheet TY1:
 - a. The cross-section for the 60 foot ROW Local Street needs to be updated to our current standards.
 - b. All street cross-section must have a minimum 7 foot wide tree lawn per the Town's current standards.
 - c. A cross-section is needed for Street H where it has the additional one-way street.
4. On sheet GR1, grading slopes within areas to be dedicated as open space must be a maximum of 5:1. In addition, to receive open space credit for the detention pond, it must be a maximum of 5 feet deep.
5. On sheet GR2:
 - a. There is grading along the south property that encroaches onto the Town's open space property with slopes of 3:1 and in some areas further than 40 feet. Per the Purchase and Sale Agreement, grading is allowed

on the Town property only for road improvements, not for lots, cannot encroach further than 30 feet, and must meet our open space grading requirements of no slopes over 5:1.

- b. The detention pond on the Town's open space property per the Purchase and Sale Agreement must meet open space requirements of no slopes greater than 5:1 and no deeper than 5 feet.
 - c. Note 3 states that "The developer will build the retaining walls in the Open Space." The Town will not allow any retaining walls to be built in Open Space nor does the Purchase and Sale agreement allow for them.
6. Corner radii are needed for the right-of-way at the two intersections with County Road 5.

Enclosure (1): Merrick Drainage Review Comments



Town of Erie, Colorado Development Referral

- | | |
|---|---|
| <input type="checkbox"/> Town of Erie Engineering | <input type="checkbox"/> Town of Erie Parks & Recreation |
| <input type="checkbox"/> Town of Erie Building Department | <input type="checkbox"/> Town of Erie OSTAB |
| <input type="checkbox"/> Mountain View Fire Protection District | <input type="checkbox"/> NRCS |
| <input type="checkbox"/> Colorado Division of Wildlife | <input type="checkbox"/> Colorado Geologic Survey |
| <input type="checkbox"/> St. Vrain Valley School District | <input type="checkbox"/> Felsburg Holt & Ullevig |
| <input type="checkbox"/> Century Link Communications | <input type="checkbox"/> Comcast Commercial & Residential |
| <input type="checkbox"/> United Power Company | <input type="checkbox"/> XCEL Energy |
| <input type="checkbox"/> USDOE Western Area Power Administration | <input type="checkbox"/> Vranesh & Raisch, LLC |
| <input type="checkbox"/> NCWCD & Subdistrict | <input type="checkbox"/> High Plains Library District |
| <input type="checkbox"/> Green Mill Sportsman's Club | <input type="checkbox"/> Weld County Planning |
| <input type="checkbox"/> City of Lafayette | <input type="checkbox"/> City & County of Broomfield |
| <input type="checkbox"/> Crestone Peak Resources (EnCana) | <input type="checkbox"/> Kerr-McGee Gathering LLC |
| <input type="checkbox"/> HS Gathering, LLC & Panhandle Eastern Pipeline Company | |

Planner: Hannah Hippely, AICP

Date: 4/14/2017

Project: Sunset

Applicant: FS Erie Estates

Description: PP-000838-2016 Sunset Preliminary Plat and PUD-000849-2017 Sunset PUD Rezoning

Location: NW Corner of WCR5 & WCR 6

Legal Description: See Attached Materials

This application is submitted to you for review and comment. Please reply by **Wednesday May 3, 2017**, so that we may give full consideration to your comments. Any response not received by this date may be deemed to be a positive response to the Town of Erie. Email responses can be sent to hhippely@erieco.gov. If you have any questions about this application, please call 303-926-2774.

We have reviewed this application and find no conflicts with our interests

We have reviewed this application and find conflicts with our interests.

See comments below or attached letter.

Comments: BUILDER TO CONTRACT
GRETCHEN MEYERETT FOR LAND DEVELOPMENT AGREEMENT
GRETCHEN.MEYERETT@CENTURYLINK.COM 720-578-3723

Signature: Sam Banulis **Date:** 4-27-17

Name (Please Print): SAM BANULIS
970-305-1390



Town of Erie Open Space and Trails Advisory Board

From: Town of Erie Open Space and Trails Advisory Board (OSTAB)

To: Hannah Hippely, Senior Planner, Community Development

Date: May 14, 2017

Subject: Sunset Preliminary Plat

Date of Drawings: 12/7/2016 and 1/5/2017.

Location: NW corner of WCR5 & WCR6

OSTAB has reviewed the referral materials, compared them to Town planning documents, and prepared the following comments, questions, and recommendations for the Town's consideration in evaluating this application.

Open Space and The Natural Areas Inventory (NAI):

Discussion: In 2008, the Town engaged Walsh Environmental Scientists and Engineers of Boulder, Colorado, to identify and evaluate the natural areas within the Town's planning area. Over 125 areas were evaluated. Based upon a variety of characteristics, a numerical "summary rating" was calculated, and the habitat quality of each site was categorized as high, medium, or low. Most of this site is within NAI Site #75, "Big Draw". That site is 177 acres; it includes areas that are south and west of this application. This site was classified as "low habit quality". We believe that rating is a mistake, since the consultants were denied access to this site. Other such sites were identified as "inaccessible". We also noted that topography was not an attribute that was included in the evaluation process.

The Site Plan Narrative states that "20.52 acres is being preserved as open space along the gully on the site." However, the Tract Summary Chart only has 11.94 acres of dedicated open space - Tract K, which is the eastern portion of that gully. The western portion, Tract C (8.56 acres), is "landscape buffer". We believe that qualified portions of both tracts should be dedicated open space.

We have concluded that there are material problems with the open space configuration:

1. The entire open space is almost completely surrounded by houses;
2. The only connection to any undeveloped land is a narrow corridor at the western end. There will be significant barriers to wildlife movement here: the detention pond and the road, with traffic and steep slopes on each side. This barrier will undoubtedly greatly reduce biodiversity within the proposed open space area;
3. Two cul-de-sacs, Streets D and G, jut into the open space, reducing the width by more than 50%. They will reduce the variety of wildlife species that are capable of living in, or traversing, that narrow portion;
4. There are very few locations where the public can view this open space: the western end of Street H, tiny openings at the end of Street D (LS 3 {Landscape Sheet}, between Lots 83 and 84 (LS12), and the short trail between a pocket park (Tract J), and the narrow opening between Lots 106 and 107 (LS 7 & 8);
5. There is virtually no public access; it is limited to the above described short trail;

6. There will be material grading and fill within this natural area, as shown in the Grading Plan (Sheets GR1 and GR2): behind lots 51-65 on Street D, Lots 34-50 on the northern portion of Street H, Lots 114-121 on the western portion of Streets G & H, Lots 108, 107, 95-86 on the southern portion of Street H, and Lots 83-76 on the eastern portion of Street H. The impacts of this very significant grading is to alter the natural water drainage, to degrade the open space for fauna and flora, and to impair the experience of the public;
7. The inevitable pesticide runoff from the landscape of multitude lots bordering the open space will deteriorate the open space, and possibly Coal Creek to the west.

Recommendations:

1. Include the qualified portions of Tracts C and K as dedicated open space;
2. Provide connectivity to adjacent Town open space. Connectivity must include a wide natural corridor that does NOT cross a road; a bridge over the corridor would be acceptable. Options:
 - a. Sunset Open Space to the south;
 - b. Highlands Open Space to the northwest:
 - i. Eliminate the loop portion and associate lots at the western end of Street H by changing it to a cul-de-sac on both the north and south portions;
 - ii. Eliminate the cul-de-sac Street F and associated lots;
3. Eliminate cul-de-sac Streets D and G and associated lots. They constrict the open space, and require extensive grading to create those lots.
4. Add multiple new viewpoints into the open space, especially to the west;
5. Provide more public access to the open space;
6. Eliminate some of the lots that are adjacent to the open space, particularly those that require substantial fill. See item 6 in the discussion above.

Trails and Sidewalks:

Discussion: There is (or shortly will be) a Spine Trail stub from Highlands that would connect to this application near the NW corner. The trail plan for the Sunset Open Space contains a Spine Trail connection near the SW corner of this application. LS Sheets 2, 8, and 9 contain a "10' regional trail", which is roughly aligned with those adjacent trails. We do not have the means to determine whether or not the proposed alignment in this application matches those to the north and south. Most Spine Trails in Town have an 8' concrete trail, an adjacent 4' crusher fine trail, and a mowed buffer at least 2' wide on either side. That configuration should be in this application.

The proposed Spine Trail has a gap: it ends at the intersection of Streets H and F, restarts in Tract B north of lot 122; see LS 2 for details. Users would be forced to cross Street F, and use the narrow sidewalk (5 feet?) on the west side of Street H. We believe that configuration is unnecessary and inadequate. Alternatives include routing the trail behind lots 29-33, or eliminating those lots and Street F, which would create a natural corridor to the adjacent open space in Highlands.

There are very few proposed neighborhood trails. There are walkways in both pocket parks, in a narrow area between lots 106 & 107, and in narrow Tract G (between lots 171 & 172, 154 & 155). The only "trail" is in the open space north of Lots 107-111. We estimate the length to be roughly 300'. This trail is not adequate. Recommended additional trails:

1. On the perimeter of the open space, where topography permits. There are many lots with steep slopes behind them, frequently as a result of substantial grading. See the Open Space section above for a recommendation to eliminate those lots;
2. Along a portion of northern border (see LS 2, 3 & 4), where the trail would not be close to either houses in Highlands or the recycle yard;
3. Along southern border (see LS 9 & 10), west of the O&G site.

There are no sidewalks along WCR5 (see LS 5). That is a primary road. There should be a meandering 8' sidewalk in a 50' landscaped buffer.

Recommendations:

1. Confirm that the proposed locations of the Spine Trail at the NW and SW corners are aligned with the Spine Trail in the adjacent properties;
2. Construct the Spine Trail in accordance with the PROST Master Plan - an 8' concrete trail, an adjacent 4' crusher fine trail, and a mowed buffer at least 2' wide on either side.;
3. Eliminate the gap in the Spine Trail in the NW corner. See discussion above for details and alternatives;
4. Add neighborhood trails in the Open Space, and along both the northern and southern borders, as described above;
5. Add a meandering 8' concrete sidewalk in a 50' landscaped buffer along WCR5.

Conclusion:

The characteristics of open space to be dedicated are contained in Section 10.6.3.C.4 of the UDC:

Paragraph a (Standard Criteria for Open Space): Open space is characterized as undeveloped land that is permanently maintained in a natural or agricultural state. Open space land shall have the following characteristics:

- i. A minimum of 10 contiguous acres;
- ii. A parcel that is no less than 300 feet at the narrowest width, unless the Town approves a lesser amount for a trail;
- iii. To the maximum extent reasonably feasible, a location that is contiguous with or connected to adjacent open space or parks;
- iv. Is, generally, unencumbered by utility lines, built structures, and paved surfaces;
- v. If the Town has not approved the open space dedication for agricultural purposes, then the property shall be covered with native vegetation and generally free of weeds and other noxious plants and trees. If land being dedicated is not in a native condition acceptable to the Town, then applicant shall be responsible for restoration of the property to native vegetation before the Town accepts it for maintenance; and
- vi. Typically, open space shall be owned and maintained by the Town. The Town may consider a conservation easement as an alternative. Approval of a conservation easement shall be at the discretion of the Town approving body.

Paragraph b (Permissible Functions/Use): Open shall serve 1 or more of the following functions:

- i. Preserving rural/agricultural land;
- ii. Producing crops for revenue;
- iii. Protecting significant archeological, historic and cultural resources;
- iv. Providing aquatic, wetland and riparian habitat and buffers;
- v. Providing hedgerows, feeding, cover, breeding, foraging and nesting habitat;
- vi. Preserving native wildlife habitat and their migration and travel corridors;
- vii. Creating and preserving pastoral-scenic views to mountains, plains, and agricultural lands;
- viii. Providing corridors and natural area destinations;
- ix. Providing passive recreational experiences and trails;
- x. Providing environmental education opportunities;
- xi. Shaping growth; protecting landmark topographic features; and
- xii. Protecting the public from natural and geologic hazards; providing visual and physical linkages between community resources.

We have described a multiple of problems with the open space in this application. In our opinion, the proposed open space does NOT meet the criteria and functions in the UDC. We have also identified many problems with the proposed trail system. We therefore conclude that this application, as currently designed, should be denied.

Please pass this referral letter to the Applicant, and appropriate town departments, boards, and commissions. Thank you for your attention to these matters. OSTAB is available to discuss any of the above in more detail as needed.

Sincerely,

Open Space and Trails Advisory Board

Bob Braudes

Phil Brink

Dawn Fraser

Monica Kash

Nicole Littmann

Ken Martin (Chair)

Joe Martinez



Town of Erie, Colorado Development Referral

- | | |
|---|---|
| <input type="checkbox"/> Town of Erie Engineering | <input type="checkbox"/> Town of Erie Parks & Recreation |
| <input type="checkbox"/> Town of Erie Building Department | <input type="checkbox"/> Town of Erie OSTAB |
| <input type="checkbox"/> Mountain View Fire Protection District | <input type="checkbox"/> NRCS |
| <input type="checkbox"/> Colorado Division of Wildlife | <input type="checkbox"/> Colorado Geologic Survey |
| <input type="checkbox"/> St. Vrain Valley School District | <input type="checkbox"/> Felsburg Holt & Ullevig |
| <input type="checkbox"/> Century Link Communications | <input type="checkbox"/> Comcast Commercial & Residential |
| <input type="checkbox"/> United Power Company | <input type="checkbox"/> XCEL Energy |
| <input type="checkbox"/> USDOE Western Area Power Administration | <input type="checkbox"/> Vranesh & Raisch, LLC |
| <input type="checkbox"/> NCWCD & Subdistrict | <input type="checkbox"/> High Plains Library District |
| <input type="checkbox"/> Green Mill Sportsman's Club | <input type="checkbox"/> Weld County Planning |
| <input type="checkbox"/> City of Lafayette | <input type="checkbox"/> City & County of Broomfield |
| <input type="checkbox"/> Crestone Peak Resources (EnCana) | <input type="checkbox"/> Kerr-McGee Gathering LLC |
| <input type="checkbox"/> HS Gathering, LLC & Panhandle Eastern Pipeline Company | |

Planner: Hannah Hippely, AICP

Date: 4/14/2017

Project: Sunset

Applicant: FS Erie Estates

Description: PP-000838-2016 Sunset Preliminary Plat and PUD-000849-2017 Sunset PUD Rezoning

Location: NW Corner of WCR5 & WCR 6

Legal Description: See Attached Materials

This application is submitted to you for review and comment. Please reply by **Wednesday May 3, 2017**, so that we may give full consideration to your comments. Any response not received by this date may be deemed to be a positive response to the Town of Erie. Email responses can be sent to hhippely@erieco.gov. If you have any questions about this application, please call 303-926-2774.

We have reviewed this application and find no conflicts with our interests

We have reviewed this application and find conflicts with our interests.

See comments below or attached letter.

Comments: _____

Signature: *Darren L. Champion* **Date:** May 15th 2017
Name (Please Print) DARREN L. CHAMPION



Internal Memo

To: Hannah Hippely, Community Development Senior Planner
From: Darren Champion, Parks and Open Space Project Coordinator
Date: May 16, 2017
Subject: Sunset - Preliminary Plat & PUD Rezoning
Cc: Farrell Buller, Director of Parks and Recreation
Rob Crabb, Parks and Open Space Division Manager

Parks & Open Space Division staff has reviewed the subject plans and offers these comments:

- Staff has concerns with the current spine trail location and design and do not find it acceptable as shown. Please review the current proposed spine trail map, and provide trail connection to the west and south of the development as shown.
- Page 2 of 15 – Please show the connection to the existing spine trail located north in Erie Highlands.
- Page 2/8/9 of 15 – 10ft regional trail is shown. Spine trails in this location are required to be 8ft with a 4ft crusher fines attached soft trail.
- Page 5/12 of 15 – Please ensure that all landscaping along County Road 5 is irrigated with an automatic irrigation system.
- Please remove “TOWN OF ERIE TO MAINTAIN 30’ ADJACENT CORRIDOR”. While the Town requires a public access easement, the Towns maintenance only includes weed control, mowing trail edges, refreshing crusher fines, snow removal, sweeping, concrete repairs as needed, and safety inspections.
- Page 15 of 15 – Please update seed mixtures to reflect the current mixes shown within Town of Erie Specifications, pages 1000-22/1000-23 at the following link.
<http://www.erieco.gov/DocumentCenter/View/7415>
- All seeded areas are shown as Shortgrass Prairie Seed. Please distinguish between shortgrass and tall-grass seed types next to roads and trails. Shortgrass seed is required to be used within 15ft of trails and roads.
- Please identify any existing native areas which are to be undisturbed and not to be seeded.
- All plants within the WAPA 75’ easement must be less than 10’ at mature height. Please verify. Please add the following notes:
 - “ALL HOA/DISTRICT MAINTAINED LANDSCAPING TO BE INSPECTED BY A COLORADO LANDSCAPE ARCHITECT IN GOOD STANDING AND PAID FOR BY THE DEVELOPER.”
 - “ALL TOWN OF ERIE LANDSCAPE ACCEPTANCE PROCEDURES FOR HOA/DISTRICT MAINTAINED TRACTS SHALL BE FOLLOWED.”

- "UPON COMPLETION OF THE PROJECT, DEVELOPER / LANDSCAPE ARCHITECT TO PROVIDE TOWN OF ERIE A FULL SET OF AS-BUILT DRAWINGS OF ALL LANDSCAPE AND IRRIGATION, ON A CD SET INCLUDING LATEST VERSION OF PDF AND AUTO-CAD."

Hannah Hippely

From: Farrell Buller
Sent: Friday, May 26, 2017 2:34 PM
To: seamanyvonne@gmail.com
Cc: Hannah Hippely; Rob Crabb; Darren Champion
Subject: RE: Sunset Preliminary Plat

Hello -

This email is to notice an addendum to the recent preliminary plat proposed for the Sunset subdivision within the Town of Erie.

After further review, it appears that the grading proposed is not acceptable.

Per the limits in the purchase agreement, the scope of allowable grading you have proposed is in excess of limits acceptable.

This is specific to areas at the Town of Erie's Open Space, at the South boarder of your property.

We will look for this adjustment and amended expectation in the future plans.

Thank you -



Farrell Buller | Director

Town of Erie | Parks & Recreation Department
645 Holbrook Street | P.O. Box 750 | Erie, CO 80516
Phone: 303-926-2792 | Fax: 303-926-2705

www.erieco.gov/parksandrec | [Facebook](#) | [Twitter](#) | [LinkedIn](#)

Erie, Colorado - the BEST place to raise a family!

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COLORADO GEOLOGICAL SURVEY

1801 19th Street
Golden, Colorado 80401



Karen Berry
State Geologist

May 4, 2017

Hannah Hippely, AICP
Community Development Services
Town of Erie
P.O. Box 750
Erie, CO 80516

Location:
SE¼ Section 20,
T1N, R68W of the 6th P.M.
40.0342, -105.0228

**Subject: Sunset – PUD Rezoning (PUD-000849-2017) and Preliminary Plat (PP-000838-2016)
Town of Erie, Weld County, CO; CGS Unique No. WE-14-0003_2**

Dear Hannah:

Colorado Geological Survey has reviewed the Sunset PUD rezoning and preliminary plat referral. I understand the applicant proposes 247 single-family lots on approximately 103.8 acres located northwest of Weld County Road 5 and WCR 6, south of Erie Highlands, north and northeast of several landfills. With this referral, CGS received:

- Development Referral requesting CGS's review (April 14, 2017)
- Copies of Land Use Applications (signed December 12, 2016 and February 2, 2017)
- Preliminary Plat Narrative (unsigned, undated)
- set of 15 preliminary plat drawings (Calibre Engineering, January 5, 2017)
- Sunset PUD narrative (unsigned, undated)
- Sunset PUD Overlay Map (Henry Design Group, revised February 2017)
- Geologic and Preliminary Geotechnical Investigation, 103-Acre (±) Sunset Development (CTL|Thompson, April 3, 2017)
- Mine Subsidence Investigation, Erie Estates Subdivision (Western Environment and Ecology, May 16, 2008) (previously reviewed by CGS; an updated version of this report, dated May 29, 2008, is on file with CGS and was also reviewed)
- Western Environment and Ecology letter response to CGS comments (June 29, 2009)
- Phase I Environmental Site Assessment (Western Environment and Ecology, December 2, 2016)
- Phase II Drainage Report (Calibre Engineering, revised December 2016).

CGS reviewed a previous Sunset preliminary plat referral on August 21, 2013. The currently proposed plat is very similar to the plat we reviewed in 2013.

Columbine Mine. Preliminary plat drawing EC1 shows the proposed lot layout relative to mapped Columbine Mine workings. CGS agrees with Western Environment's interpretation of the subsidence hazard on this site. The mine workings beneath the property are relatively deep, and Western Environment's strain analysis assumes multi-level mining at all undermined locations. This is a conservative approach, since it appears that two mining levels are present beneath only the west-central portion of the site. The strain analysis results in a **maximum allowable foundation length of 115 feet**; this maximum foundation length, which is not an onerous limitation on the developer, should be applied

to all lots within the proposed Sunset subdivision. Utilities should be designed and constructed to withstand up to 0.17% strain.

Unmapped shafts. The Columbine Mine maps indicate that the shafts for this mine are located south of the subject property. However, it is possible that unmapped shafts or other mining-related features exist within proposed development areas. **All grading activities should be carefully observed** to identify any unmapped shafts or other mining features. The developer, engineer, builder, earthmoving contractors and field inspection staff should be made aware that most of the Sunset property is undermined, unmapped shafts may be present, and there is a potential risk, however small, of sinkholes and other subsidence-related features developing. If subsidence feature(s) or shaft(s) are observed, mitigation/stabilization and/or possible development reconfiguration would be required.

Steep slopes and drainages. The site contains areas of steep slopes above the two large gulches/ravines and tributary drainages that traverse the property from southeast to northwest. CTL's benched fill placement and grading recommendations are valid and must be strictly adhered to. Where fill sections in natural drainages exceed 12 feet in height, fill sub-drains or drainage blankets should be considered.

Very highly expansive and compressible soils and bedrock, and note regarding drilled piers and lignite. CTL's preliminary subgrade preparation, foundation and floor system recommendations are appropriate. CGS agrees that very long, heavily reinforced drilled pier foundations and structurally supported basement floors, or overexcavation to a depth of at least 12 feet below bottom of foundations or 20 feet below planned grades, whichever is deeper, and at least five feet below streets, will be required to mitigate the very highly expansive soils and bedrock on this site. CTL does not discuss lignite. Lignite is a relatively soft, low-strength material present as discontinuous lenses within the Laramie formation bedrock in this area. As noted in a previous Sunset geotechnical report (Terracon, January 4, 2006), "Where these materials are encountered during drilling, they should be discounted for end bearing and/or skin friction resistance. Accordingly, longer pier lengths than anticipated may be needed."

Groundwater/perched water. Groundwater was not observed in any of CTL's borings. CTL provides underdrain details as Figures 6 through 8, but does not discuss the need for an underdrain system. **If overexcavation is performed, the need for an underdrain system or subexcavation fill sub-drains should be evaluated.** This would help prevent the development of a shallow, perched water condition in the "bathtub" created by the overexcavation. Perched water can accumulate in the overexcavated and replaced soils as a result of disruption of historic groundwater flow through permeable zones in the upper bedrock and/or infiltration from the surface, potentially causing wetting and softening of foundation bearing soils, and excessive swell or settlement. The hydraulic conductivity of the upper bedrock zones beneath and surrounding the site (a function of the presence or absence of fractures, discontinuities, and permeable sandstone lenses and layers) should be a factor in determining whether an underdrain system is needed.

Regardless of whether an underdrain system and/or fill sub-drains are constructed, individual foundation drains are needed to prevent infiltration of perched water (on lots where basements are planned and are determined to be feasible), reduce the risk of wet or moist conditions in the soils immediately surrounding basement walls and foundations, and help control wetting of potentially expansive and collapsible soils in the immediate vicinity of foundation elements and floor slabs. It is critical that the individual foundation drains are sloped to discharge to either the underdrain

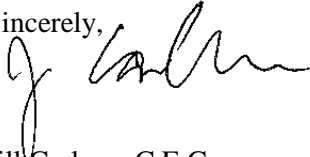
Hannah Hippely, AICP
May 4, 2017
Page 3 of 3

system (if constructed) or an interior pumped sump pit or gravity outlet that discharges water as far as possible away from all structures.

Environmental Site Assessment. Western Environment and Ecology's December 2, 2016 report concludes that there is no evidence of recognized environmental conditions affecting the subject property.

Thank you for the opportunity to review and comment on this project. If you have questions or require further review, please call me at 303-384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read "Jill Carlson". The signature is written in a cursive style with a large initial "J".

Jill Carlson, C.E.G.
Engineering Geologist



May 3, 2017

VIA E-MAIL

Town of Erie
Hannah Hippely, AICP
645 Holbrook
Erie, CO 80516
hhippely@erieco.gov

**NOTICE OF RIGHT-OF-WAY GRANTS OWNED BY KERR-McGEE GATHERING
LLC AND OBJECTION**

Re: Sunset Minor Subdivision
FS Erie Estates – Property Owner or “Applicant”
Township 1 North, Range 68 West, 6th P.M.
Section 20: Part of the SE/4 (“Application Property”)
Weld County, Colorado

Ms. Hippely:

This letter is being sent by Anadarko Petroleum Corporation on behalf of its subsidiary Kerr-McGee Gathering LLC (“KMGG”) to inform you KMGG is the owner of valid pipeline easements located in the SE/4 of Section 20, Township 1 North, Range 68 West on the application property.

KMGG objects to the Site Plan Application for Sunset Minor Subdivision filed by FS Erie Estates. The proposed site plan encroaches on multiple existing natural gas and oil pipelines and would prevent KMGG from properly maintaining and operating these pipelines. KMGG is in contact with the applicant and made suggestions to revise the site plan. KMGG will continue to work with the applicant in good faith until both parties can reach a mutually agreeable plan.

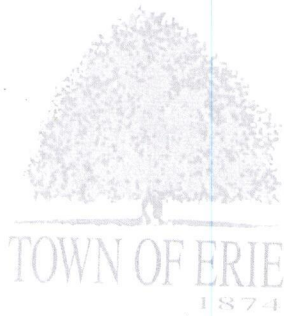
Please contact me at 970-515-1515 if you have any questions or comments about this matter.

Sincerely,
KERR-McGEE GATHERING LLC

A handwritten signature in black ink that reads 'Clint Hebert'. Below the signature, the text 'on behalf of' is written in a smaller font.

Clint Hebert
Landman

cc: Jeff Fiske, Lead Counsel
Ron Olsen
Clint Hebert
Jake Billadeau
Justin Shoulders
Paul Ratliff



Town of Erie, Colorado Development Referral

- Town of Erie Engineering
- Town of Erie Building Department
- Mountain View Fire Protection District
- Colorado Division of Wildlife
- St. Vrain Valley School District
- Century Link Communications
- United Power Company
- USDOE Western Area Power Administration
- NCWCD & Subdistrict
- Green Mill Sportsman's Club
- City of Lafayette
- Crestone Peak Resources (EnCana)
- HS Gathering, LLC & Panhandle Eastern Pipeline Company
- Town of Erie Parks & Recreation
- Town of Erie OSTAB
- NRCS
- Colorado Geologic Survey
- Felsburg Holt & Ullevig
- Comcast Commercial & Residential
- XCEL Energy
- Vranesh & Raisch, LLC
- High Plains Library District
- Weld County Planning
- City & County of Broomfield
- Kerr-McGee Gathering LLC

Planner: Hannah Hippely, AICP

Date: 4/14/2017

Project: Sunset

Applicant: FS Erie Estates

Description: PP-000838-2016 Sunset Preliminary Plat and PUD-000849-2017 Sunset PUD Rezoning

Location: NW Corner of WCR5 & WCR 6

Legal Description: See Attached Materials


This application is submitted to you for review and comment. Please reply by **Wednesday May 3, 2017**, so that we may give full consideration to your comments. Any response not received by this date may be deemed to be a positive response to the Town of Erie. Email responses can be sent to hhippely@erieco.gov. If you have any questions about this application, please call 303-926-2774.

We have reviewed this application and find no conflicts with our interests

We have reviewed this application and find conflicts with our interests.

See comments below or attached letter.

Comments: Preliminary Plat complies with existing Surface Use Agreement.

Signature:  **Date:** 4/18/2017

Name (Please Print) Robert Bresnahan

Hannah Hippely

From: Bob Bresnahan <bob.bresnahan@CRESTONEPR.COM>
Sent: Tuesday, May 16, 2017 2:02 PM
To: Hannah Hippely
Subject: Sunset FS Erie Estates Supplemental Comments for consideration
Attachments: Costigan signed CDSUA.pdf

Crestone Peak Resources would like to supplement their original response sent on 4/18/2017 concerning the Sunset project by FS Erie Estates.

We are going to object to the grading/fill that is located within the Western portion of the Oil & Gas Operations Area and the No Build area.

Pursuant to the Compatible Development and Surface Use Agreement section 1)c. "...no temporary or permanent building or other structure or improvement shall be located within the Oil and Gas Operations Area...The Oil and Gas Operations Area shall be for the exclusive use of oil gas operations and production...". WE certainly see the grading and any necessary erosion control methods as "improvements" and this grading is not related to Oil and Gas operations.

We are happy to discuss these matters and see if other options can be agreed upon between Crestone Peak Resources and the Developer.

Thank you for your attention to this matter.

Respectfully,

Bob Bresnahan
Land Negotiator, *RPL*
Crestone Peak Resources
Direct: (303) 774-3982
Cell: (720) 369-0432



Please note that Crestone Peak Resources office will be closed every 1st and 3rd Friday of the month.



April 20, 2017

Hannah Hippely, AICP
Town of Erie
645 Holbrook
Erie CO 80516

RE: Sunset Preliminary Plat

Dear Hannah,

Thank you for sending the Sunset Preliminary Plat referral to the District for review. The District has reviewed the proposal in terms of (1) available school capacity, (2) required land dedications and/or cash-in-lieu fees. After reviewing the above proposal, **the School District supports this proposed development.** The reasons for this position and other relevant information are as follows:

- The residents of the SVVSD approved a bond in November 2016 that will build a new K8 school within the Erie HS feeder. The bond also contains an addition to Erie HS. These projects should provide enough capacity to accommodate this project and future growth.
- The chart on the following page reflects current conditions (capacities).

Detailed information on the specific capacity issues, the land dedication requirements and transportation impacts for this proposal follow in Attachment A. A land dedication is required with this project and there are comments on pedestrian access included in the attachment. The recommendation of the District noted above applies to the attendance boundaries current as of the date of this letter. These attendance boundaries may change in the future as new facilities are constructed and opened. If you have any further questions or concerns regarding this referral, please feel free to contact me via e-mail at kragerud_ryan@svvsd.org or at the number below.

Sincerely,

Ryan Kragerud, AICP
Planning/GIS

Enc.: Attachment A – Specific Project Analysis
Cash-in-lieu chart

ATTACHMENT A - Specific Project Analysis

PROJECT: Sunset Preliminary Plat

(1) SCHOOL CAPACITY

The Board of Education has established a District-wide policy of reviewing new development projects in terms of the impact on existing and approved school facilities within the applicable feeder system. Any residential project within the applicable feeder that causes the 125% school benchmark capacity to be exceeded within 5 years would not be supported. This determination includes both existing facilities and planned facilities from a voter-approved bond. The building capacity, including existing and new facilities, along with the impact of this proposal and all other approved development projects for this feeder is noted in the chart below.

BLACK ROCK ELEMENTARY													
CAPACITY INFORMATION				CAPACITY BENCHMARK*									
				<small>(includes projected students, plus development's student impact)</small>									
School	Building	Stdts.	Std.	2016-17		2017-18		2018-19		2019-20		2020-21	
Level	Capacity	Oct-15	Impact	Stdts	Cap.	Stdts	Cap.	Stdts	Cap.	Stdts	Cap.	Stdts	Cap.
Elementary	637	716	55	756	119%	784	123%	824	129%	855	134%	897	141%
Middle (EMS)	720	929	25	999	139%	1025	142%	1045	145%	1070	149%	1110	154%
High (EHS)	896	938	27	1041	116%	1081	121%	1103	123%	1127	126%	1164	130%
Total	2496		107	2796		2890		2972		3052		3171	

Specific comments concerning this proposal regarding School Capacity are as follows:

- *Specific Impact* - This application will add 249 single family units and a potential impact of 107 additional students in the **Red Hawk Elementary, Erie Middle and Erie High School Feeder**.
- *Benchmark Determination* – Following the opening of the new K8 and addition to Erie High School, none of the schools in this feeder, elementary, middle school or high school are expected to exceed 125% of their capacities.
- *Mitigation Options* - NA
- *Phasing Plan* – The District would appreciate a phasing plan from the applicant at the time of final plat to more accurately calculate the impacts of this development.

(2) LAND DEDICATIONS AND CASH IN-LIEU FEES

The implementation of the Intergovernmental Agreement (IGA) Concerning Fair Contributions for Public School Sites by the town of Erie requires that the applicant either dedicate land directly to the School District along with provision of the adjacent infrastructure and/or pay cash-in-lieu (CIL) fees based on the student yield of the development. CIL fees provide funds for land acquisition and water rights acquisition, which is only a small component of providing additional school capacity for a feeder. Specific comments regarding land dedications and CIL fees for this referral are as follows:

- *Dedication and/or Cash-in-lieu Requirements* – a land dedication is not required for this development therefore, CIL fees will be required.
- *Number of Units covered by dedication/cash-in-lieu* – n/a
- *Dedication/Cash-in-lieu Procedures* – *Receipts for dwelling unit credits may be obtained at the time of building permit in the St. Vrain Valley School District Business Office – 395 S. Pratt Parkway, Longmont, CO.*

3) TRANSPORTATION/ACCESS

Transportation considerations for a project deal with bussing and pedestrian access to and from the subdivision. Pedestrian access, in particular, is an important goal of the School District in order to facilitate community connection to schools and to minimize transportation costs. Specific comments for this application are as follows:

- *Provision of Busing* - Busing for this project, under the current boundaries, would most likely be provided at all three levels.
- *Pedestrian/Access Issues* – n/a

School Planning Standards And Calculation of In Lieu Fees

Single Family							
<u>School Planning Standards</u>							
	Number Of Units	Projected Student Yield	Student Facility Standard	Site Size Standard Acres	Acres of Land Contribution	Developed Land Value	Cash-in-lieu Contribution
Elementary	249	0.22 54.78	525	10	1.04	\$80,117	
Middle Level	249	0.1 24.9	750	25	0.83	\$80,117	
High School	249	0.11 27.39	1200	50	1.14	\$80,117	
Total		107.07			3.01	\$80,117	\$241,527
Single Family Student Yield is		0.43					\$970 Per Unit

School Planning Standards And Calculation of In Lieu Fees

Duplex/Triplex							
		School Planning Standards					
	Number Of Units	Projected Student Yield	Student Facility Standard	Site Size Standard Acres	Acres of Land Contribution	Developed Land Value	Cash-in-lieu Contribution
Elementary	0	0.2 0	525	10	0.00	\$80,117	
Middle Level	0	0.09 0	750	25	0.00	\$80,117	
High School	0	0.09 0	1200	50	0.00	\$80,117	
Total		0			0.00	\$80,117	\$0
Duplex/Triplex Student Yield is		0.38					#DIV/0! Per Unit

School Planning Standards And Calculation of In Lieu Fees

Multi-Family							
	School Planning Standards						
	Number Of Units	Projected Student Yield	Student Facility Standard	Site Size Standard Acres	Acres of Land Contribution	Developed Land Value	Cash-in-lieu Contribution
Elementary	0	0.15 0	525	10	0.00	\$80,117	
Middle Level	0	0.06 0	750	25	0.00	\$80,117	
High School	0	0.06 0	1200	50	0.00	\$80,117	
Total		0			0.00	\$80,117	\$0
							#DIV/0! Per Unit
Multi-Family Student Yield is		0.27					

School Planning Standards And Calculation of In Lieu Fees

Condo/Townhouse							
<u>School Planning Standards</u>							
	Number Of Units	Projected Student Yield	Student Facility Standard	Site Size Standard Acres	Acres of Land Contribution	Developed Land Value	Cash-in-lieu Contribution
Elementary	0	0.07 0	525	10	0.00	\$80,117	
Middle Level	0	0.04 0	750	25	0.00	\$80,117	
High School	0	0.04 0	1200	50	0.00	\$80,117	
Total		0			0.00	\$80,117	\$0
Condo/Townhouse Student Yield is							#DIV/0! Per Unit
		0.15					

School Planning Standards And Calculation of In Lieu Fees

Mobile Home							
School Planning Standards							
	Number Of Units	Projected Student Yield	Student Facility Standard	Site Size Standard Acres	Acres of Land Contribution	Developed Land Value	Cash-in-lieu Contribution
Elementary	0	0.16 0	525	10	0.00	\$80,117	
Middle Level	0	0.09 0	750	25	0.00	\$80,117	
High School	0	0.09 0	1200	50	0.00	\$80,117	
Total		0			0.00	\$80,117	\$0
Mobile Home Student Yield is		0.34					#DIV/0! Per Unit

Hannah Hippely

From: Marisa Dale <mdale@UnitedPower.com>
Sent: Tuesday, May 02, 2017 1:09 PM
To: Hannah Hippely
Subject: Sunset PP-000838-2016 and PUD 000849-2017

Hi Hannah,

Thank you for allowing United Power, Inc. the opportunity to review and comment on this referral.

United Power, Inc. appreciates the planned utility easements and would like to request the additional:

- 5' wide side lot easements along lot that is nearest to a streetlight.
- 15'x15' pocket easements for above ground equipment not within lots, in open areas

Developer must contact Monica Hansen, Senior Project Coordinator, at 303-637-1336 and submit an application for new service.

Depending on electric design, additional utility easements may be necessary and acquired via separate document.

We look forward to providing service to this new development.

Thank you,
Marisa

Marisa Dale, RWA | [Engineering & Rates ROW](#)
500 Cooperative Way, Brighton, CO 80603 | O 303.637.1387 | C 720.334.5282

Schedule: M-Th 7:00-4:30, F 7:00-3:30
Out of the office: May 5 & 19, June 2, 16 & 30





Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

April 27, 2017

Town of Erie Community Development Services
645 Holbrook / PO Box 750
Erie, CO 80516

Attn: Hannah Hippely

Re: Sunset

Public Service Company of Colorado's (PSCo) Right of Way and Permits Referral Desk has reviewed the documentation for **Sunset** and acknowledges the platted front-lot utility easements. For continuity throughout the development, PSCo requests that these easements be continued through Tract C between Lots 58/59, and along the Street G and Street H rights-of-way within Tract J.

In addition, 31-23-214 (3), C.R.S., requires the subdivider, at the time of subdivision platting, to provide for major utility facilities such as electric substation sites, gas or electric transmission line easements and gas regulator/meter station sites as deemed necessary by PSCo. While this provision will not be required on every plat, when necessary, PSCo will work with the subdivider to identify appropriate locations. This statute also requires the subdivider to submit a letter of agreement to the municipal/county commission that adequate provision of electrical and/or gas service has been provided to the subdivisions.

Public Service Company has no objection to this proposed rezone, contingent upon PSCo's ability to maintain all existing rights and this amendment should not hinder our ability for future expansion, including all present and any future accommodations for natural gas transmission and electric transmission related facilities.

The property owner/developer/contractor must contact the **Builder's Call Line** at 1-800-628-2121 or <https://xcelenergy.force.com/FastApp> (*register* so you can track your application) and complete the application process for any new gas service. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1 800-922-1987 for utility locates prior to construction.

If you have any questions about this referral response, please contact me at (303) 571-3306.

Donna George
Contract Right-of-Way Referral Processor
Public Service Company of Colorado



Town of Erie, Colorado Development Referral

- | | |
|---|---|
| <input type="checkbox"/> Town of Erie Engineering | <input type="checkbox"/> Town of Erie Parks & Recreation |
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| <input type="checkbox"/> HS Gathering, LLC & Panhandle Eastern Pipeline Company | |

Planner: Hannah Hippely, AICP

Date: 4/14/2017

Project: Sunset

Applicant: FS Erie Estates

Description: PP-000838-2016 Sunset Preliminary Plat and PUD-000849-2017 Sunset PUD Rezoning

Location: NW Corner of WCR5 & WCR 6

Legal Description: See Attached Materials

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We have reviewed this application and find no conflicts with our interests

We have reviewed this application and find conflicts with our interests.

See comments below or attached letter.

Comments: BUILDER TO CONTRACT
GRETCHEN MEYERETT FOR LAND DEVELOPMENT AGREEMENT
GRETCHEN.MEYERETT@CENTURYLINK.COM 720-578-3723

Signature: Sam Banulis **Date:** 4-27-17

Name (Please Print): SAM BANULIS
970-305-1390



Town of Erie, Colorado Development Referral

- | | |
|---|---|
| <input type="checkbox"/> Town of Erie Engineering | <input type="checkbox"/> Town of Erie Parks & Recreation |
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Planner: Hannah Hippely, AICP **Date:** 4/14/2017
Project: Sunset
Applicant: FS Erie Estates
Description: PP-000838-2016 Sunset Preliminary Plat and PUD-000849-2017 Sunset PUD Rezoning
Location: NW Corner of WCR5 & WCR 6

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We have reviewed this application and find no conflicts with our interests

We have reviewed this application and find conflicts with our interests.

See comments below or attached letter.

Comments: _____

Signature: *Lillian Parfob* **Date:** 5/2/17
Name (Please Print) Lillian Parfob



MOUNTAIN VIEW FIRE RESCUE

9119 E County Line Road • Longmont, CO 80501

(303) 772-0710 • FAX (303) 651-7702

May 2, 2017

Ms. Hannah Hippley
Town of Erie
P.O. Box 750
Erie, CO 80516

Dear Ms. Hipply

I have reviewed the submitted material pertaining to the preliminary Plat for the Sunset development located northwest of Weld County Roads 5 and 6. The Fire District does not object to the proposed plan and subsequent development, provided the development is able to meet the requirements of the Fire District. All applicable codes must be met as they pertain to water supply, fire hydrant locations and street designs. Based on my review, I have the following comments:

- Overall fire access appears to be satisfactory as indicated on the plans submitted, however I am concerned that landscaping on the islands could narrow the streets to less than 20 feet wide. Clearance of 20 feet wide needs to be maintained to a height of 13 feet, 6 inches. Temporary turnarounds will also need to be provided for any dead end road in excess of 150 feet in length during phasing.
- All apparatus access roads must be designed and maintained to support the imposed loads of fire apparatus (75,000 pounds). The developer needs to be made aware that all access roads must be approved before building permits may be issued and construction may begin.
- A minimum fire flow of 1,000 gallons per minute, measured at a residual pressure of 20 pounds per square inch, is required for one- and two-family dwellings not exceeding 3,600 gross square feet. All other buildings (including larger one- and two-family dwellings) require a minimum fire flow of 1,750 gallons per minute and may require more depending on the building size and type of construction as per Appendix B of the International Fire Code.
- Fire hydrants locations appear satisfactory as shown on the utility plans.

Nothing in this review is intended to authorize or approve of any aspect of this project that does not comply with all applicable codes and standards. We appreciate being involved in the planning process, should you have any questions please contact me at 303-772-0710 x1121.

Sincerely,



LuAnn Penfold
Fire Marshal

cc: project file

lp05.02.17



Town of Erie, Colorado Development Referral

- | | |
|---|---|
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4-17-17

Planner: Hannah Hippely, AICP

Date: 4/14/2017

Project: Sunset

Applicant: FS Erie Estates

Description: PP-000838-2016 Sunset Preliminary Plat and PUD-000849-2017 Sunset PUD Rezoning

Location: NW Corner of WCR5 & WCR 6

Legal Description: See Attached Materials

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We have reviewed this application and find no conflicts with our interests

We have reviewed this application and find conflicts with our interests.

See comments below or attached letter.

Comments: _____

Signature: *Daniel J. Hisco* **Date:** 5/8/17

Name (Please Print) Daniel J. Hisco



Boulder Valley Conservation District

9595 Nelson Road, Box D – Longmont, Colorado 80501 – Phone (720) 378-5533

Site Review Memo

To: Boulder Valley CD Board

From: Nancy McIntyre

Subject: (List site name, location, Permit#, Purpose, etc.)

FS Erie Estates, NW Corner of County Road 5 & County Road 6, Town of Erie. The 2016 Sunset Preliminary Plat and the 2017 Sunset Rezoning. 247 Lots In 11 tracts on 103.83 acres.

Prime Farmland:

The majority of the site is not prime farmland.

Water Quality:

N/A

Noxious Weed Control:

Continue to monitor property for weeds and remove

Soils Limitations:

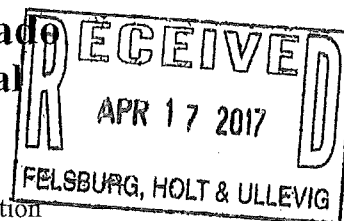
Most of the soils are shrink swell

Other concerns:

Summary comments:



**Town of Erie, Colorado
Development Referral**



- Town of Erie Engineering
- Town of Erie Parks & Recreation
- Town of Erie Building Department
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Planner: Hannah Hippely, AICP **Date:** 4/14/2017
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- We have reviewed this application and find no conflicts with our interests
- We have reviewed this application and find conflicts with our interests.
- See comments below or attached letter.

Comments: *The current concept is consistent with previous submittals. Prior concerns have been adequately addressed.*

Signature: *Charles M. Buck* **Date:** *04/25/2017*

Name (Please Print) CHARLES M. BUCK



Town of Erie, Colorado Development Referral

- Town of Erie Engineering
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We have reviewed this application and find no conflicts with our interests

We have reviewed this application and find conflicts with our interests.

See comments below or attached letter.

Comments: _____

Signature: Ed Kotlinski **Date:** 4.26.17

Name (Please Print): ED KOTLINSKI



Town of Erie, Colorado Development Referral

- | | |
|---|---|
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We have reviewed this application and find no conflicts with our interests

We have reviewed this application and find conflicts with our interests.

See comments below or attached letter.

Comments: NO design or regulation comments
Please keep Economic Development in the loop in regards to unit numbers + timing of project in order to properly reflect project in the Residential Development Conditions map.

Signature: Paula Mehle **Date:** 4/24/17

Name (Please Print) Paula Mehle



Town of Erie, Colorado Development Referral

- | | |
|---|---|
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We have reviewed this application and find no conflicts with our interests

We have reviewed this application and find conflicts with our interests.

See comments below or attached letter.

Comments: This parcel is within both the Northern Colorado Water Conservancy District and the Municipal Subdistrict, Northern Colorado Water Conservancy District boundaries.

Signature: Marilyn Conley **Date:** April 18, 2017

Name (Please Print) Marilyn Conley