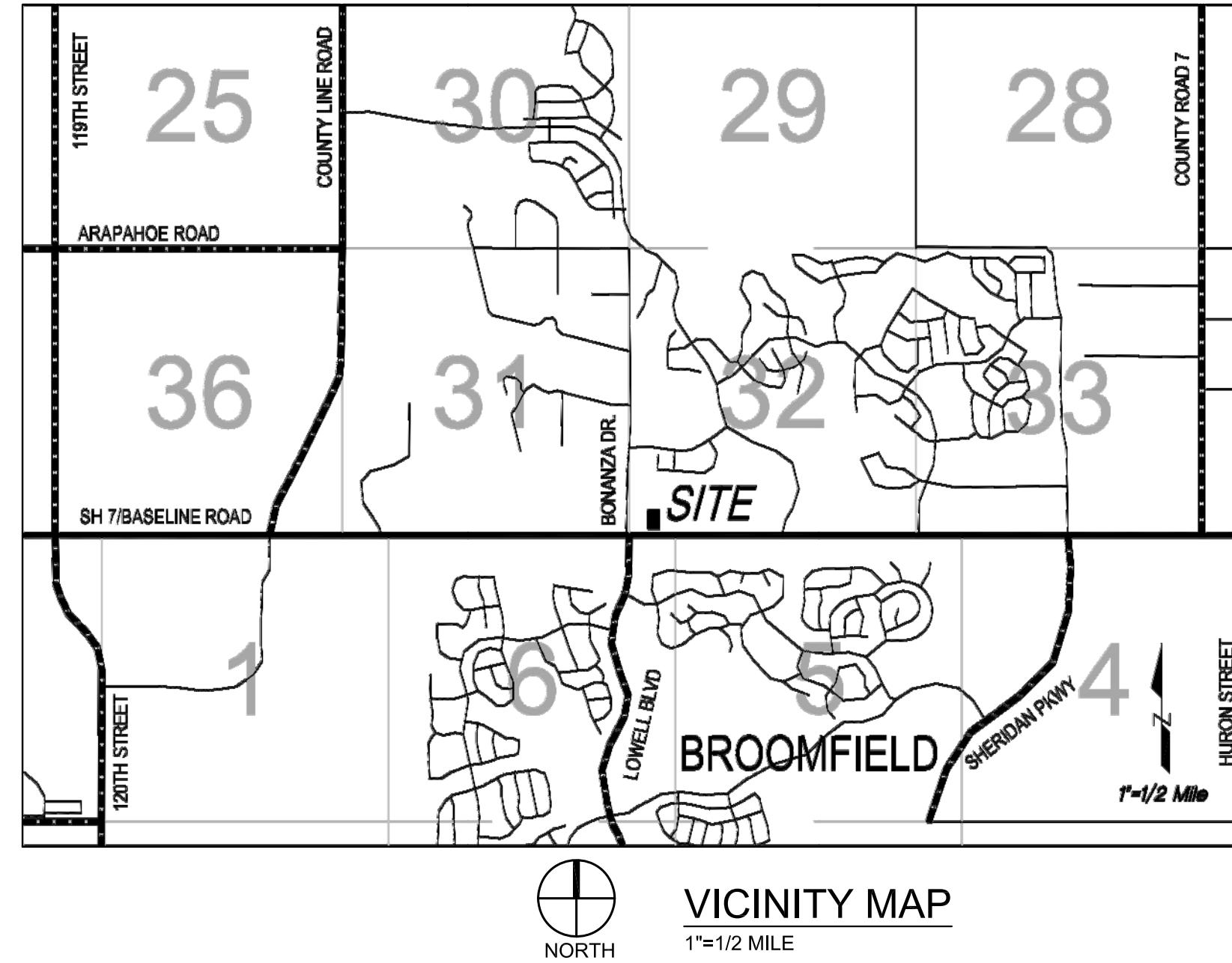


# VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN  
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO  
 SRU AREA - 0.83 ACRES - TOTAL AREA 0.83 ACRES  
 SITE PLAN - SP-001187-2020  
 (SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)



SHEET INDEX	
1	COVER SHEET
2	SITE PLAN
3	LANDSCAPE PLAN
4	LANDSCAPE DETAILS
5	UTILITY PLAN
6	GRADING AND DRAINAGE PLAN
7	PHOTOMETRIC PLAN
8	LIGHT FIXTURE CUT SHEETS
9	SITE DETAILS
10	EXTERIOR ELEVATIONS

SITE DATA TABLE		
ZONE DISTRICT - PD COMMERCIAL		
SITE ADDRESS	530 COMMONS DRIVE	% OF GROSS SITE AREA
ITEM	SQUARE FOOTAGE	
GROSS SITE AREA	36,305	100
BUILDING FOOTPRINT	4,392	12.1
HARDSCAPE AREA	17,758	48.9
PLANTED AREA (EXCLUDING PLANTED INTERIOR PARKING ISLANDS)	14,155	39.0
EXISTING VEGETATION	0	0
LANDSCAPE TOTAL	14,155	39.0
OFF-STREET PARKING	REQUIRED	PROVIDED
STANDARD SPACES DOG WASH (ANIMAL CARE) - 1,600 S.F. EMPLOYEE TOTAL STANDARD SPACES	1 1 2	8
STACKING SPACES AUTOMATIC WASH BAYS - 6 SP./BAY SELF-SERVE WASH BAYS - 3 SP./BAY TOTAL STACKING SPACES	18 9 27	34
ACCESSIBLE PARKING SPACES	1	1

## PROJECT CONTACTS:

APPLICANT  
AUTOWASH LLC  
ATTN: SKYLAKE  
2033 CENTRAL PARK BLVD.  
DENVER, CO 80205  
PHONE: (303) 514-0905  
CONTACT: DENNIS DREESZEN  
dennisdreeszen@hotmail.com

OWNER  
BONANZA DRIVE DEVELOPMENT CORPORATION  
9750 VISTA RIDGE ST.  
LITTLETON, CO 80127  
(303) 820-3400  
jpehak@aurathority.com

ARCHITECT  
HOVER ARCHITECTURE  
8089 S. LINCOLN ST., SUITE 201  
LITTLETON, CO 80120  
(303) 820-3400  
jpehak@aurathority.com

CIVIL ENGINEER  
KELLY DEVELOPMENT SERVICES  
9301 SCRUB OAK LANE  
LONGMONT, CO 80501  
CONTACT: TOM KELLY  
PHONE: (720) 773-2801  
(303) 889-6338  
gmg@kellydev.com

LANDSCAPE ARCHITECT  
JUMP DESIGN  
1733 S. CLARKSON ST.  
LITTLETON, CO 80120  
CONTACT: TOM JUMP  
PHONE: (303) 282-0463  
tom@jmpdesign.com

## AMENDMENTS

DATE OF ISSUE: 04-23-21  
 SCALE: N.A.  
 DRAWN BY: AT  
 CHECKED BY: AT

SHEET

1 OF 10

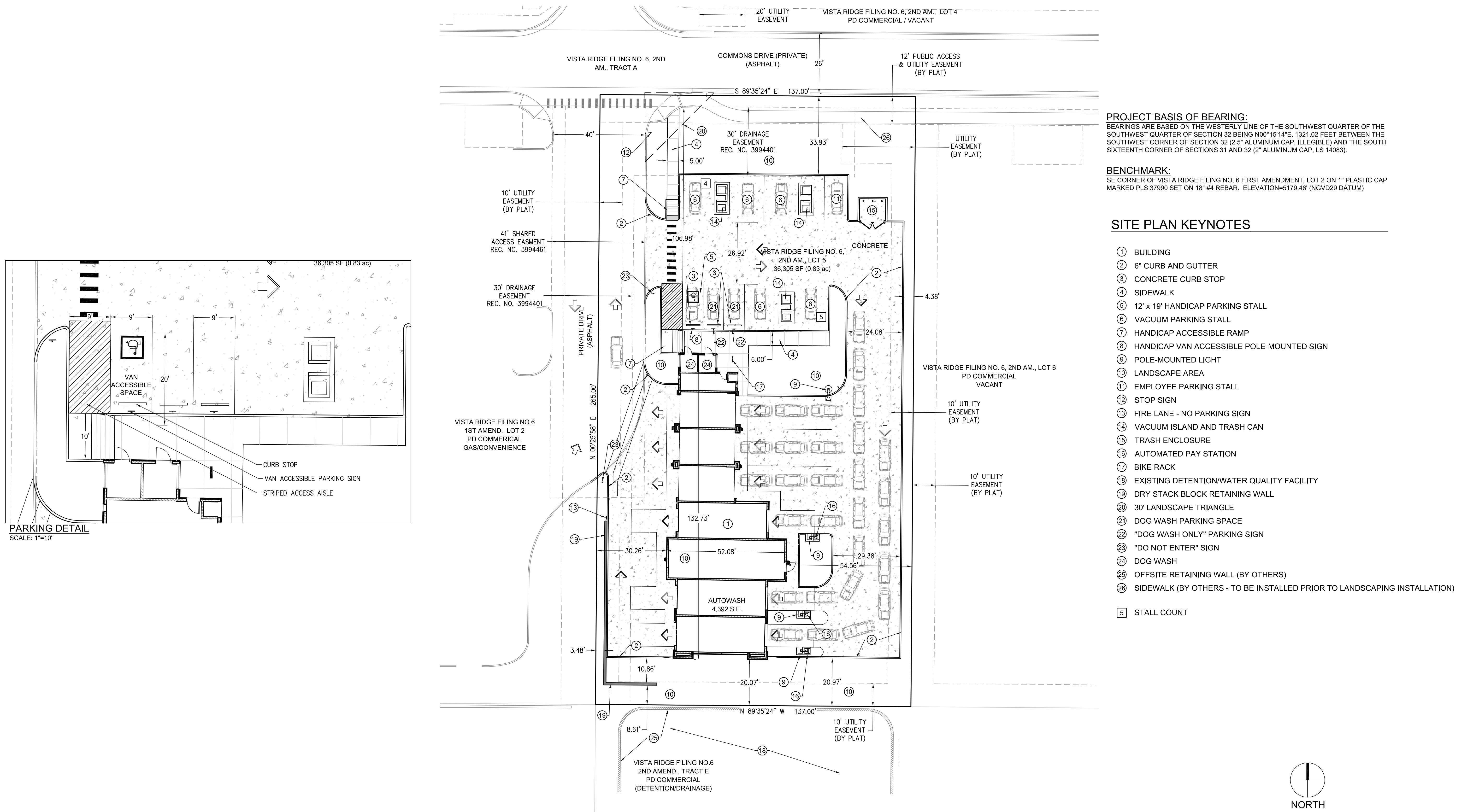
COVER SHEET

HOVER  
ARCHITECTURE  
8089 S. LINCOLN STREET  
SUITE 201  
LITTLETON, CO 80122  
(720) 773-2801

# VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN

## AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO  
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SITE PLAN - SP-001187-2020  
(SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)



DATE OF ISSUE: 04-23-21

SCALE: 1"=20'

DRAWN BY: AT

CHECKED BY: AT

A horizontal bar consisting of a dashed line above a solid line, with a solid black bar on the left side.

The logo for Hoover Architecture. It features the word "HOVER" in a large, bold, grey sans-serif font. The letter "O" is replaced by a solid black square. Below "HOVER" is the word "ARCHITECTURE" in a slightly smaller, bold, grey sans-serif font.

SHEET

2 OF 10

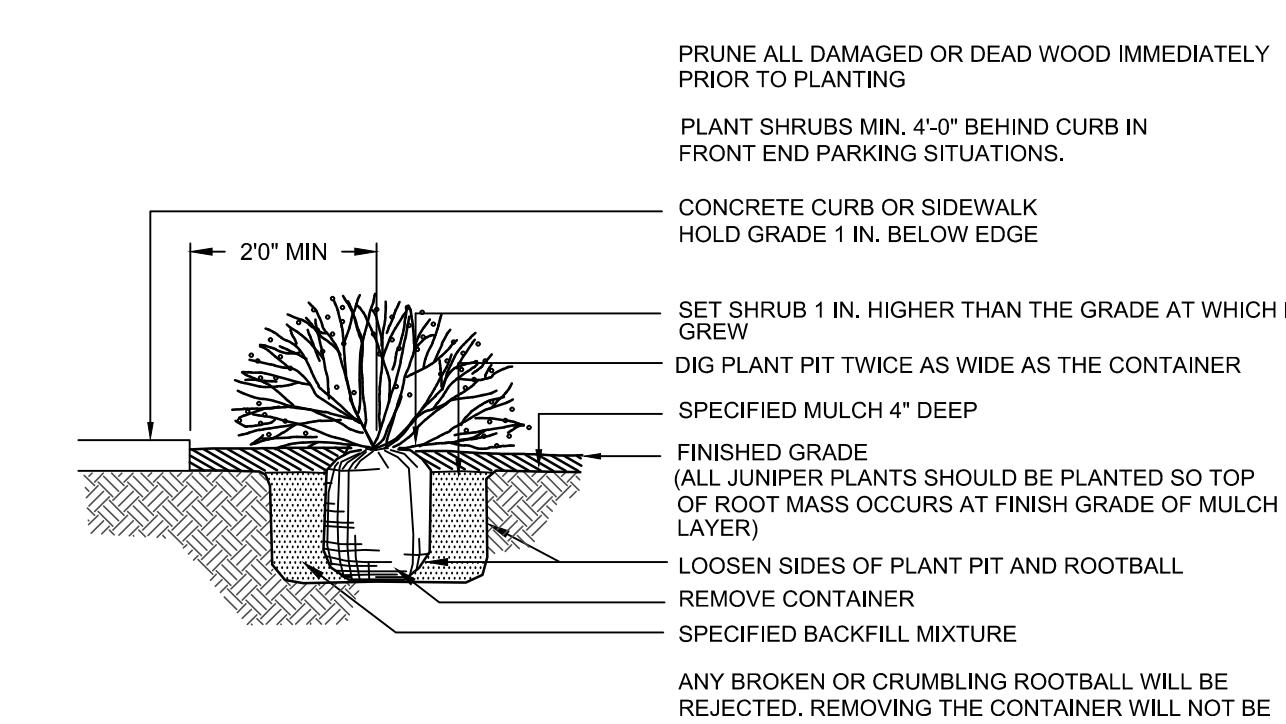
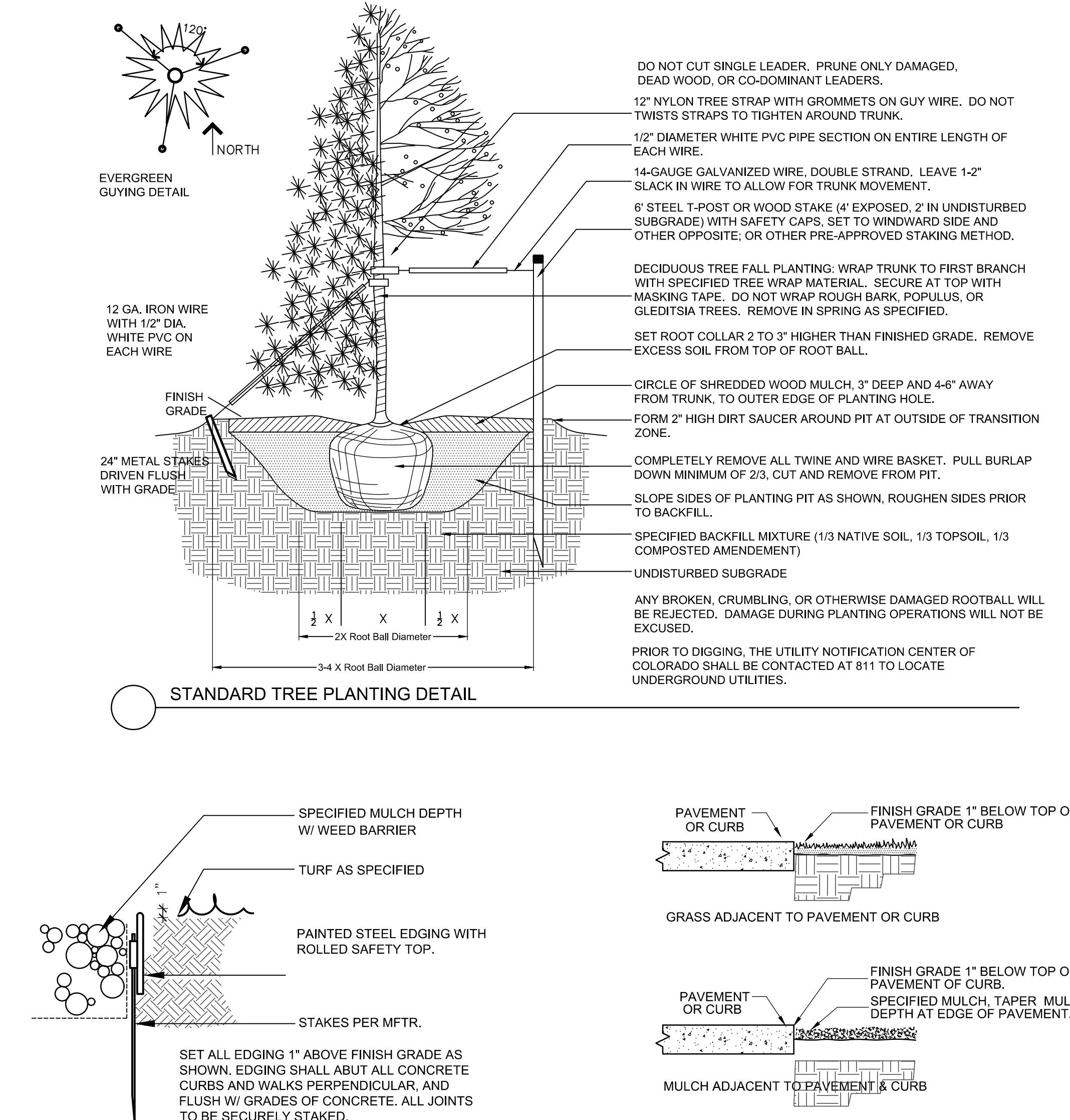
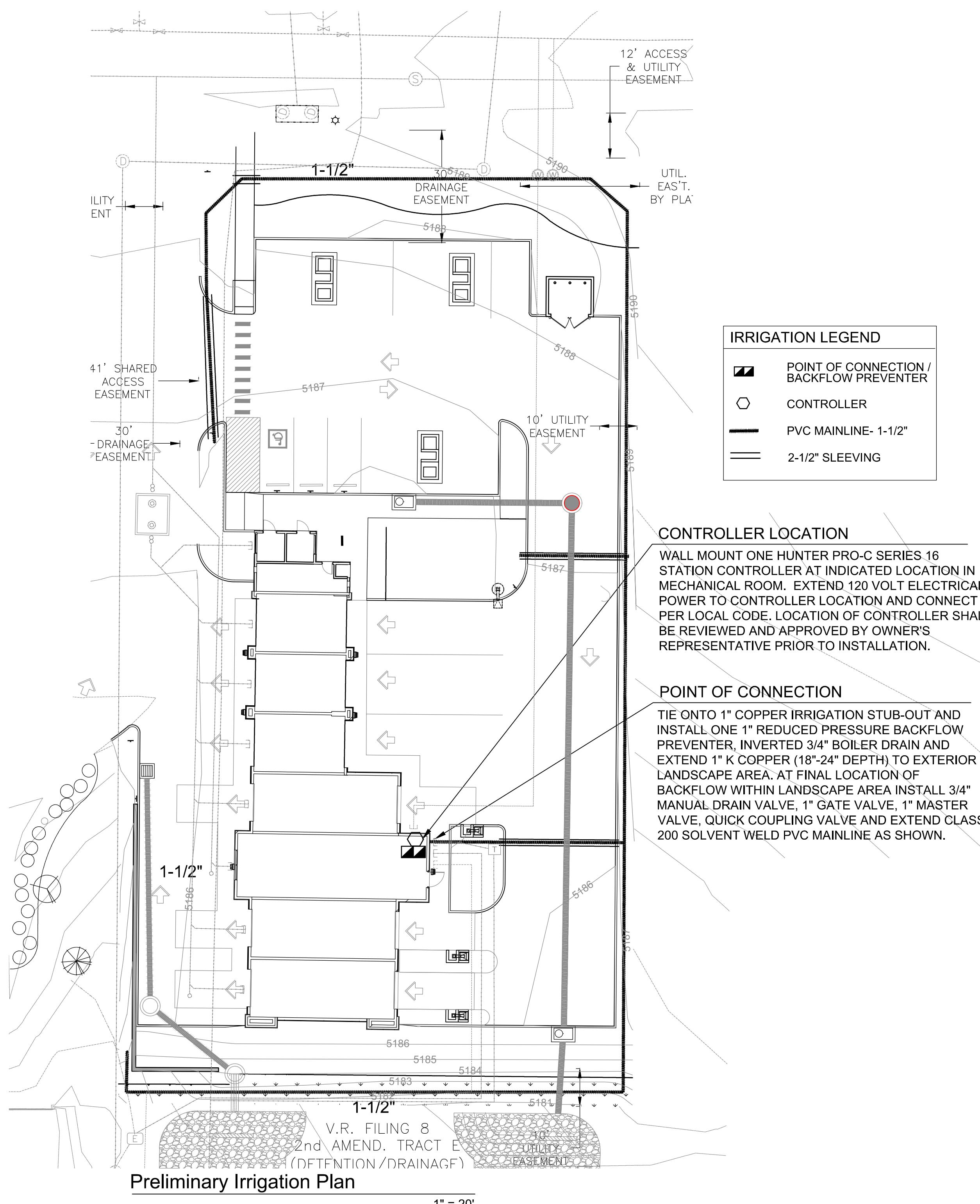
## SITE PLAN



# VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN

## AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN  
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO  
 SRU AREA - .83 ACRES - TOTAL AREA .83 ACRES  
 SITE PLAN - SP-001187-2020  
 (SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)



**Shrub Planting Detail**  
 NOT TO SCALE

DATE OF ISSUE: 02.22.21  
 SCALE:  
 DRAWN BY: JDC  
 CHECKED BY: TJ

**HOVER**  
 ARCHITECTURE  
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 LITTLETON, CO 80122  
 (720) 773-2800

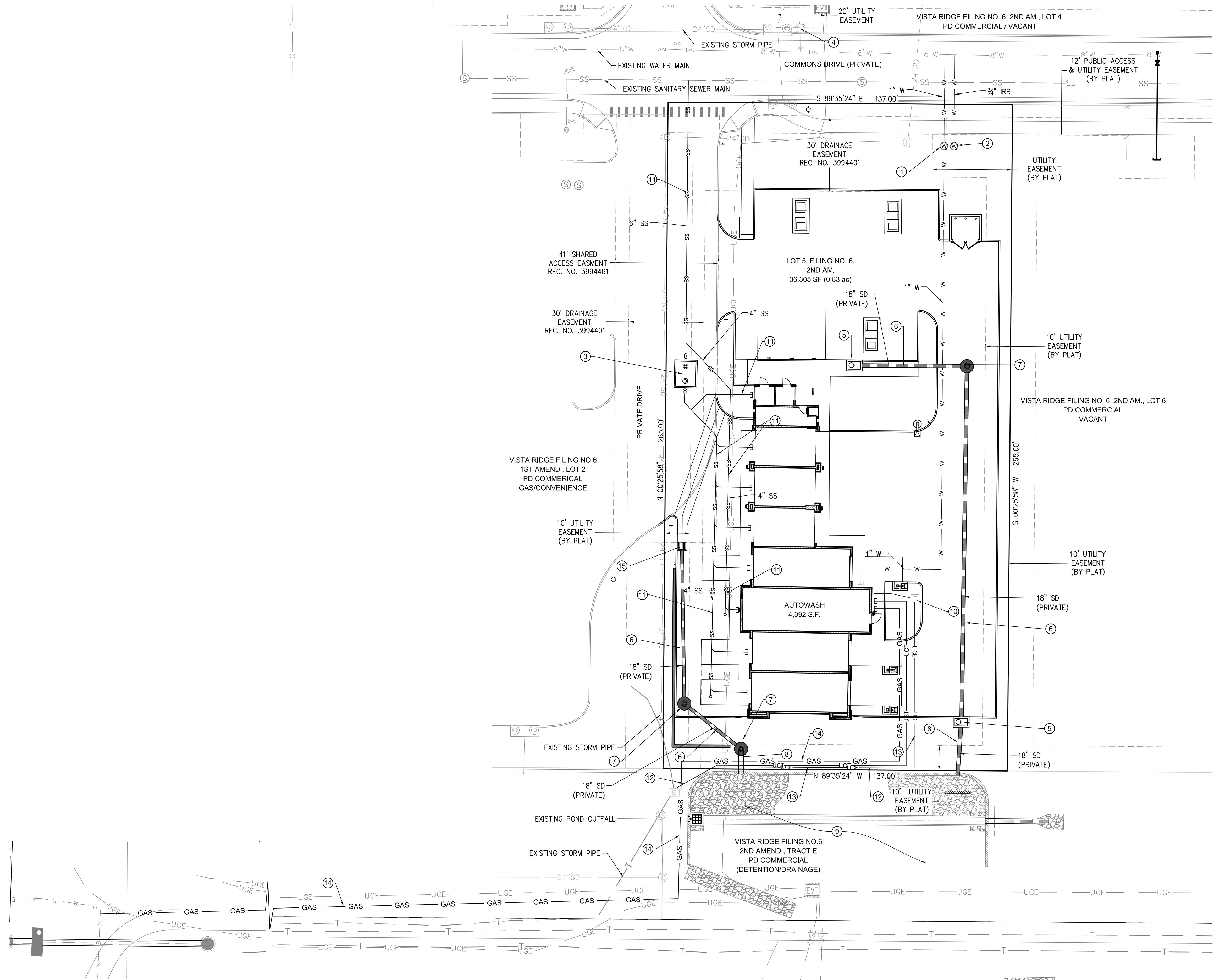
**SHEET**

4 OF 10

# VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN

## AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO  
SRU AREA - 0.83 ACRES - TOTAL AREA 0.83 ACRES  
SITE PLAN - SP-001187-2020  
(SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)



## UTILITY PLAN KEY NOTES

- ① PROPOSED 1" DOMESTIC WATER METER
- ② PROPOSED 3/4" IRRIGATION METER
- ③ PROPOSED SAND OIL INTERCEPTOR
- ④ EXISTING FIRE HYDRANT
- ⑤ PROPOSED TYPE R STORM SEWER INLET (PRIVATE)
- ⑥ PROPOSED 18" STORM SEWER PIPE (PRIVATE)
- ⑦ PROPOSED 5' DIA. STORM SEWER MANHOLE (PRIVATE)
- ⑧ PROPOSED 18" STORM PIPE (BY OTHERS)
- ⑨ PROPOSED DETENTION/WATER QUALITY POND (BY OTHERS)
- ⑩ PROPOSED ELECTRICAL TRANSFORMER LOCATION
- ⑪ PROPOSED SANITARY SEWER SERVICE
- ⑫ PROPOSED TELECOM SERVICE
- ⑬ PROPOSED ELECTRICAL SERVICE
- ⑭ PROPOSED GAS SERVICE
- ⑮ PROPOSED TYPE C STORM SEWER INLET

## UTILITY PLAN LEGEND

## PROPOSED

DATE OF ISSUE: 04-23-21

SCALE: 1"=20'

DRAWN BY: AT

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ARCHITECTURE

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## SHEET

5 OF 10

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## UTILITY PLAN

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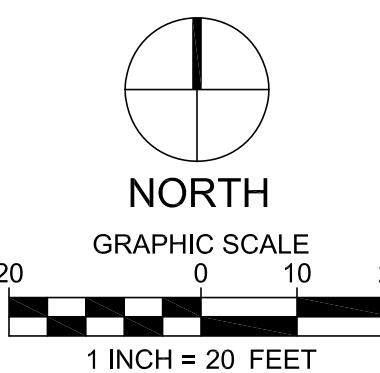
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## PROJECT BASIS OF BEARING:

BEARINGS ARE BASED ON THE WESTERLY LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32 BEING N00°15'14"E, 1321.02 FEET BETWEEN THE SOUTHWEST CORNER OF SECTION 32 (2.5" ALUMINUM CAP, ILLEGIBLE) AND THE SOUTH SIXTEENTH CORNER OF SECTIONS 31 AND 32 (2" ALUMINUM CAP, LS 14083)

## BENCHMARK

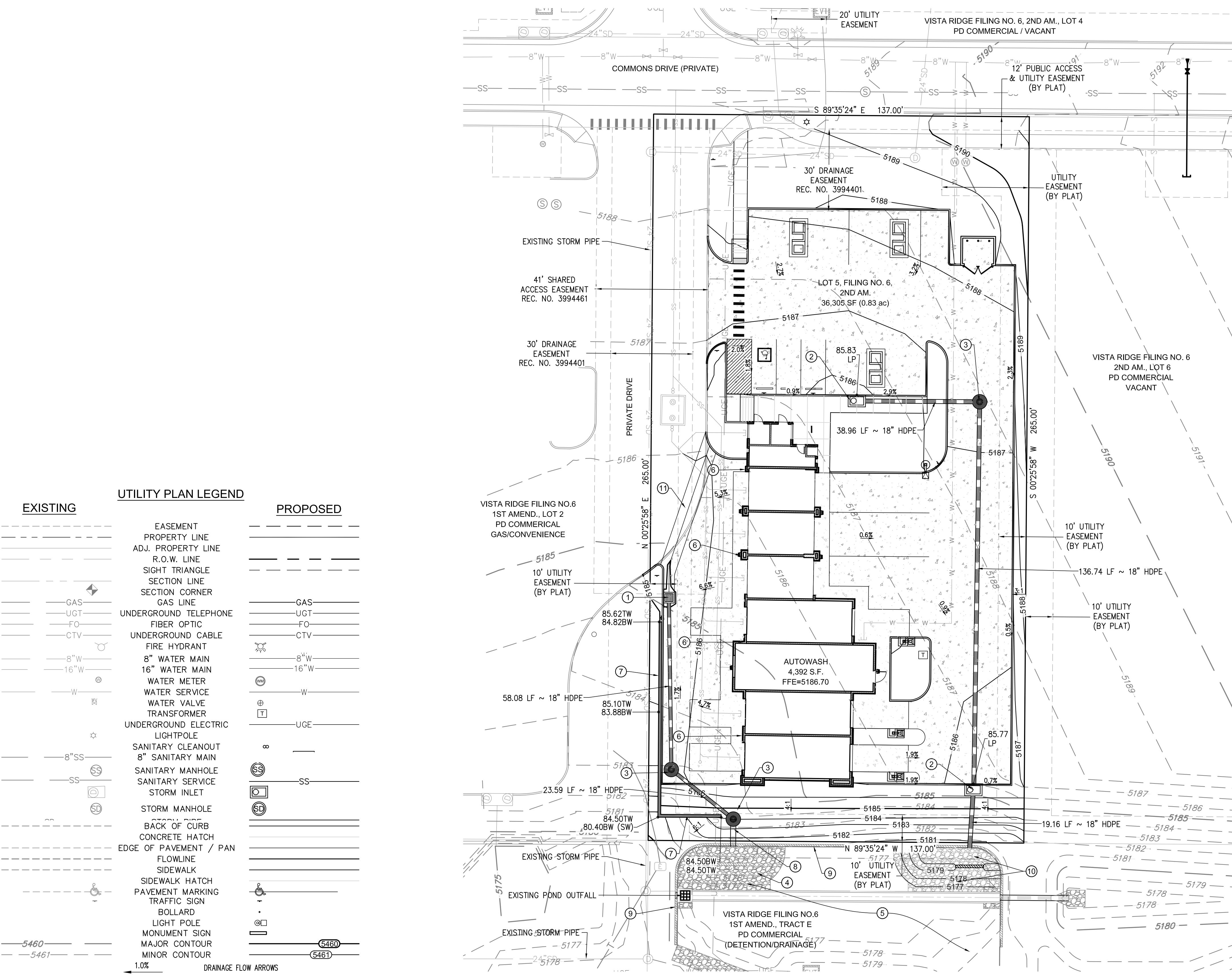
**BENCHMARK:**  
SE CORNER OF VISTA RIDGE FILING NO. 6 FIRST AMENDMENT, LOT 2 ON 1" PLASTIC CAP  
MARKED PLS 37990 SET ON 18" #4 REBAR. ELEVATION=5179.46' (NGVD29 DATUM)



A graphic scale bar with markings for 20, 0, and 10 feet. The bar is divided into four equal segments. The first segment is black, and the subsequent three segments are white. The text "NORTH" is centered above the scale, and "GRAPHIC SCALE" is centered below it. Below the scale, the text "1 INCH = 20 FEET" is centered.

# VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO  
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SITE PLAN - SP-001187-2020  
(SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)

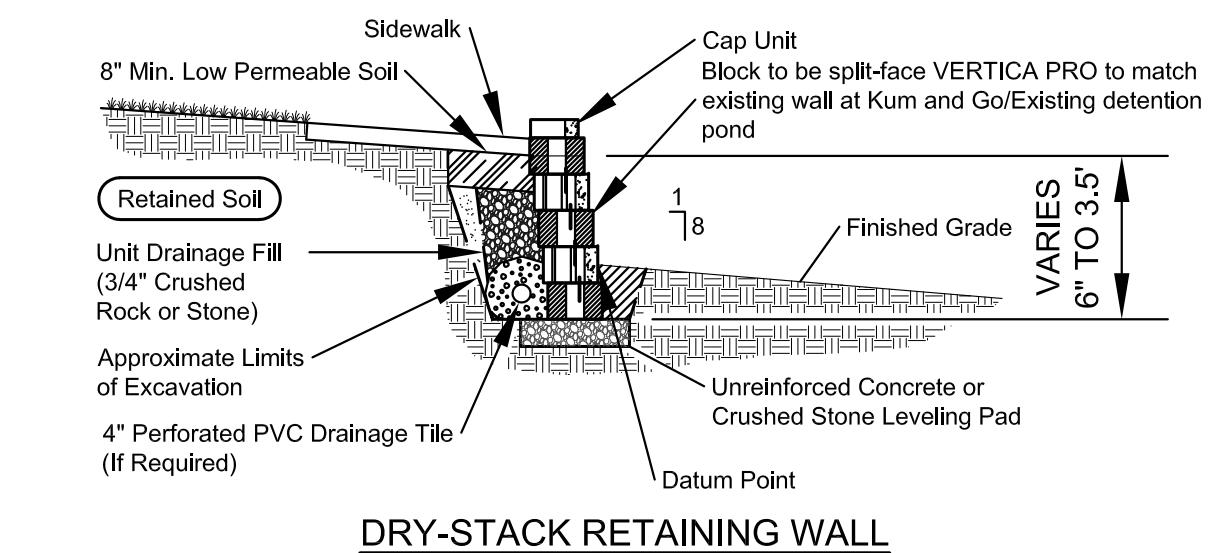


**PROJECT BASIS OF BEARING:**  
BEARINGS ARE BASED ON THE WESTERLY LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32 BEING NO<sup>0</sup>15'14"E, 1321.02 FEET BETWEEN THE SOUTHWEST CORNER OF SECTION 32 (2.5" ALUMINUM CAP, ILLEGIBLE) AND THE SOUTH SIXTEENTH CORNER OF SECTIONS 31 AND 32 (2" ALUMINUM CAP, LS 14083).

**BENCHMARK:**  
SE CORNER OF VISTA RIDGE FILING NO. 6 FIRST AMENDMENT, LOT 2 ON 1" PLASTIC CAP MARKED PLS 37990 SET ON 18" #4 REBAR, ELEVATION=5179.46 (NGVD29 DATUM)

## GRADING AND DRAINAGE PLAN KEY NOTES

- ① PROPOSED TYPE C INLET
- ② PROPOSED 5' TYPE R INLET
- ③ PROPOSED 5' DIA. MANHOLE
- ④ PROPOSED RIPRAP OUTFALL (BY OTHERS)
- ⑤ EXISTING DETENTION/WATER QUALITY POND (BY OTHERS)
- ⑥ ROOF DOWNSPOUT LOCATION
- ⑦ PROPOSED BLOCK RETAINING WALL
- ⑧ STORM SEWER PIPE (BY OTHERS)
- ⑨ EXISTING BLOCK RETAINING WALL
- ⑩ PROPOSED TYPE M RIPRAP FOREBAY
- ⑪ CONCRETE CROSPAN



DATE OF ISSUE: 04-23-21

SCALE: 1"=20'

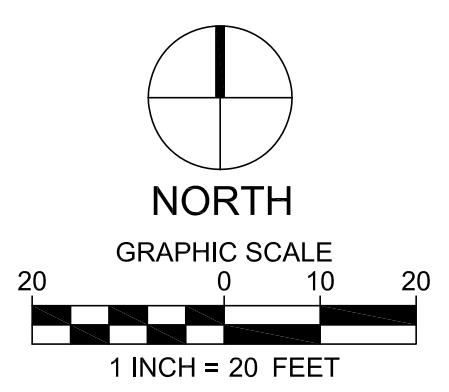
DRAWN BY: AT

CHECKED BY: AT

**HOWER**  
ARCHITECTURE

8089 S. LINCOLN STREET  
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LITTLETON, CO 80122  
(720) 773-2801

SHEET



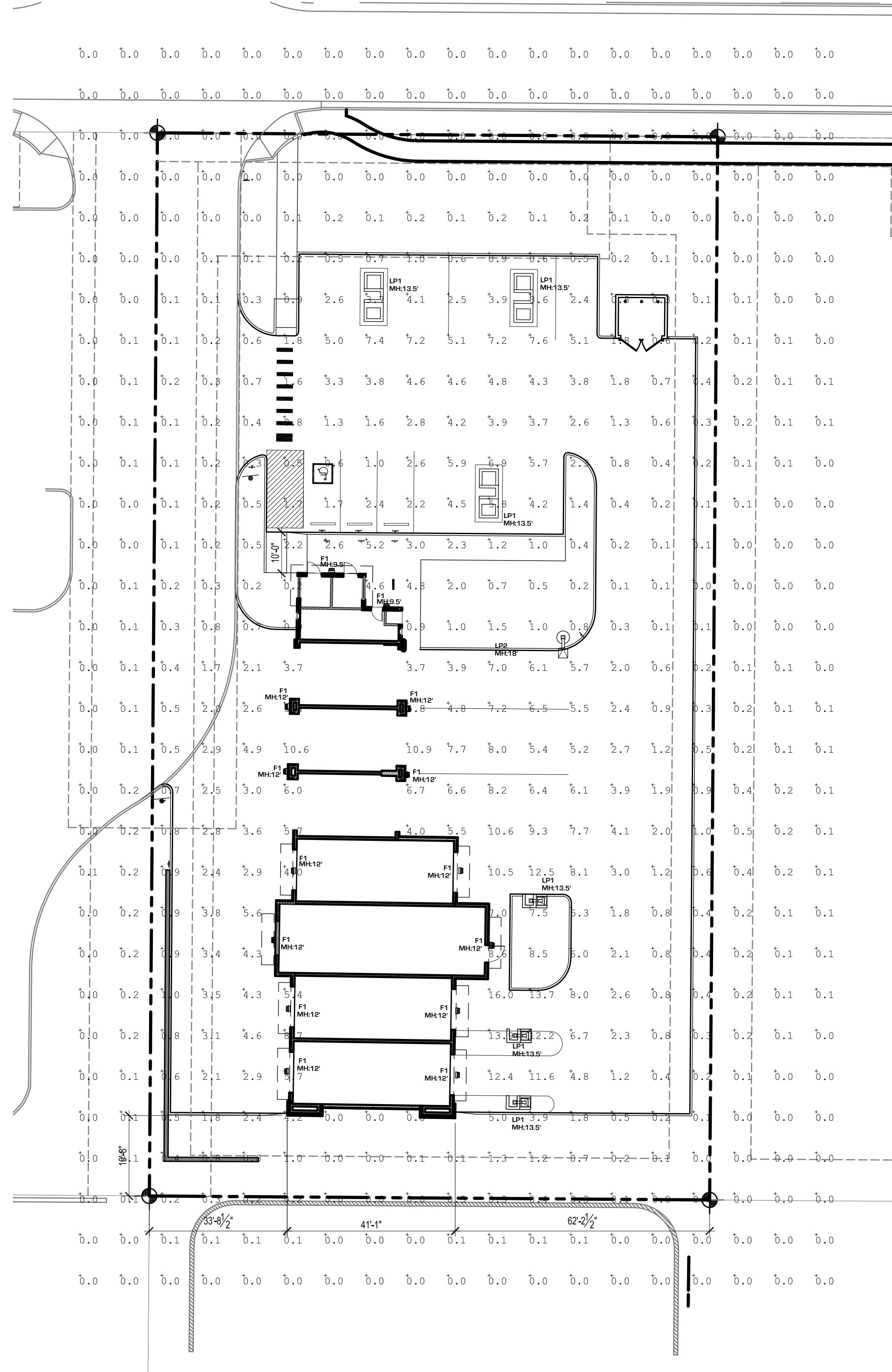
6 OF 10

GRADING AND  
DRAINAGE PLAN

# VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN

## AUTOWASH AT VISTA RIDGE

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 SRU AREA - 0.82 ACRES - TOTAL AREA 0.82 ACRES  
 SITE PLAN - SP-001187-2020  
 (SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)



### NOTES

1. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUT OFF.
2. ALL LIGHT POLES FOR THE SITE SHALL BE ROUND POLES.
3. MAXIMUM POLE HEIGHT TO BE LIMITED TO 25'

Luminaire Schedule						
Symbol	Oty	Label	Arrangement	Total Lamp Lumens	LLF	Description
■	6	LP1	SINGLE	N.A.	1.000	XASU-FT-LED-64-HO-NW
■	1	LP2	SINGLE	N.A.	1.000	XAMU-FT-LED-128-HO-NW-HSS
□	14	F1	SINGLE	N.A.	1.000	KPWS3-FT-LED-28-350-NW-UE

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min Max/Min
Entire Site	Illuminance	Fc	1.44	16.0	0.0	N.A. N.A.

DATE OF ISSUE: 03.03.21

SCALE: 1"=20'-0"

DRAWN BY: JTK

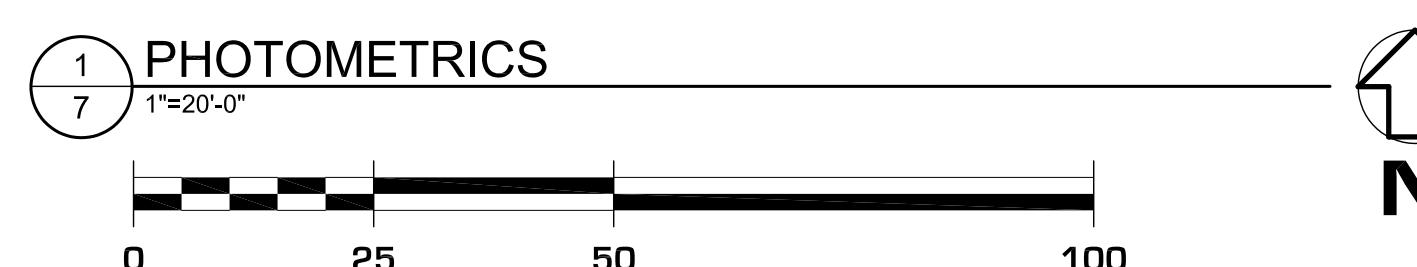
CHECKED BY: JTK

**HOVER**  
ARCHITECTURE  
385 INVERNESS PKWY  
SUITE 190  
ENGLEWOOD, CO 80112  
(720) 772-2800

SHEET

7 OF 10

PHOTOMETRICS

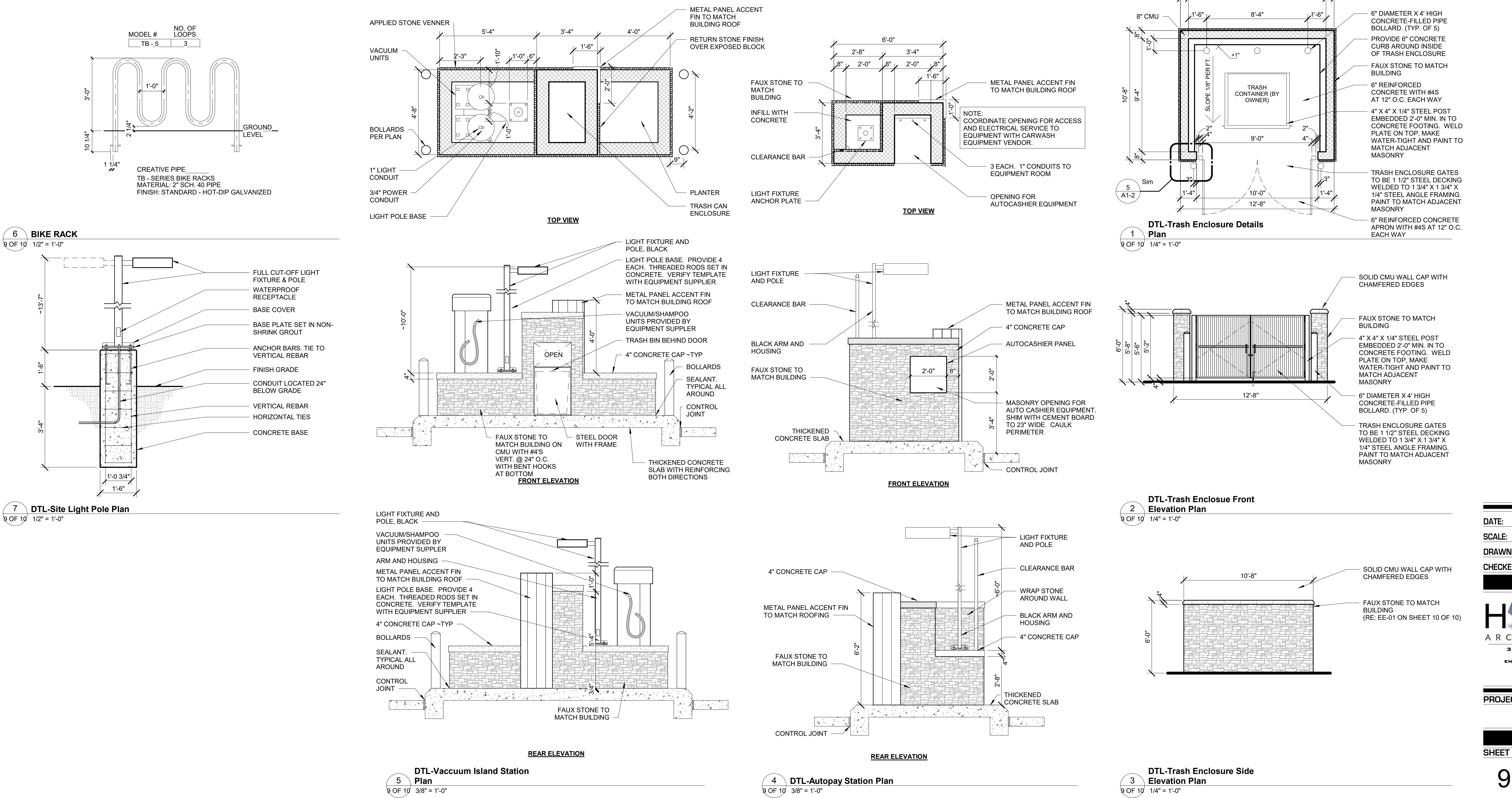




# VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN

## AUTOWASH AT VISTA RIDGE

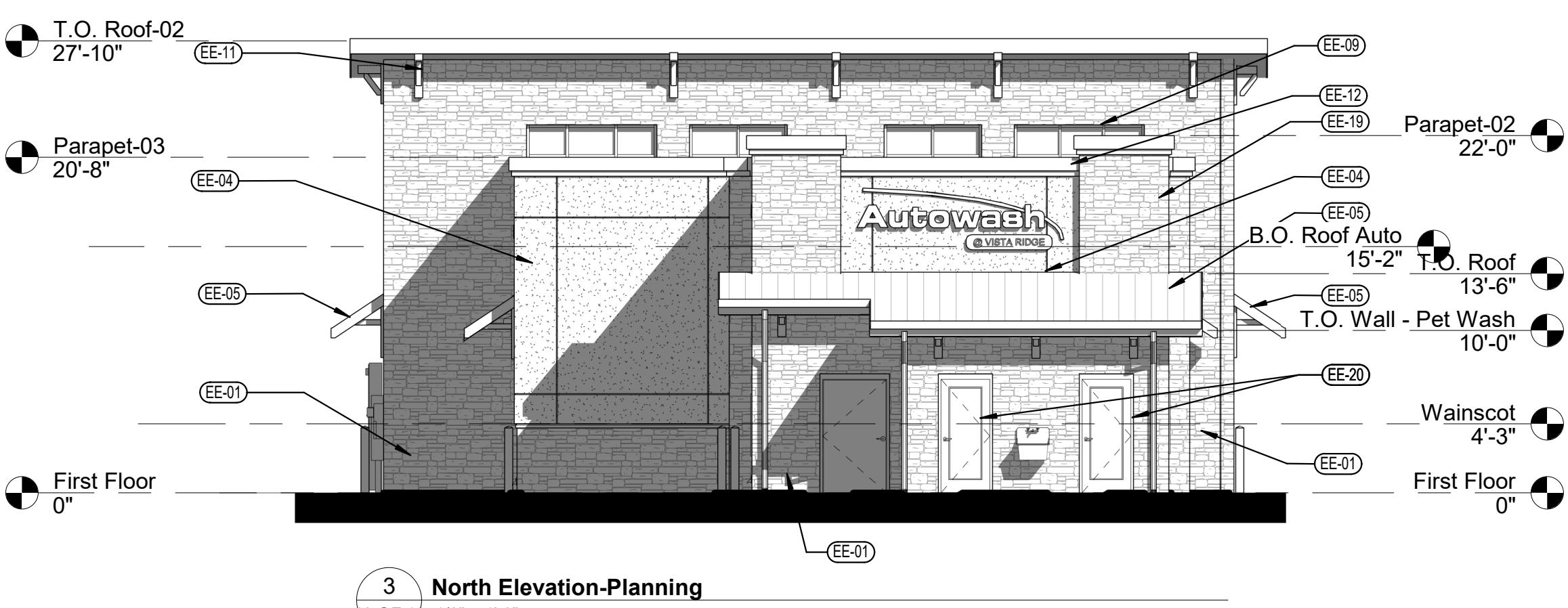
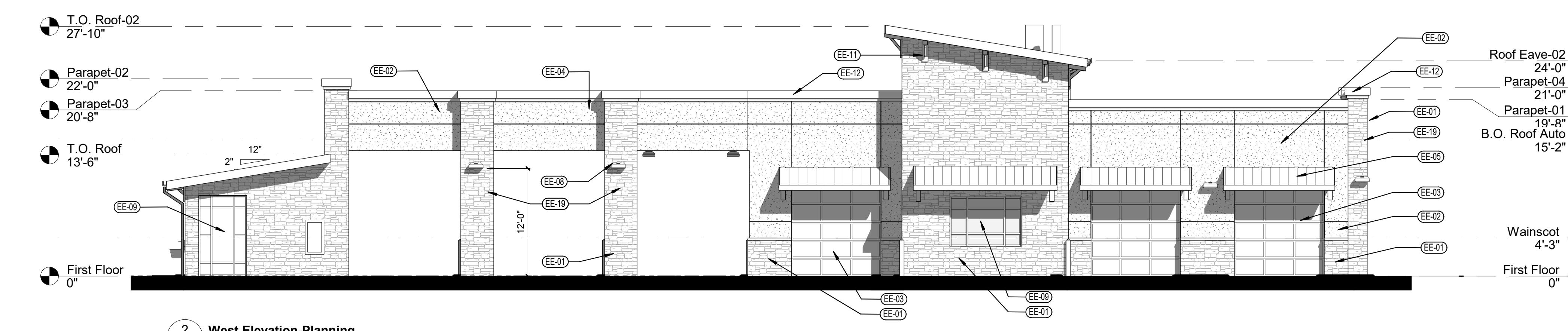
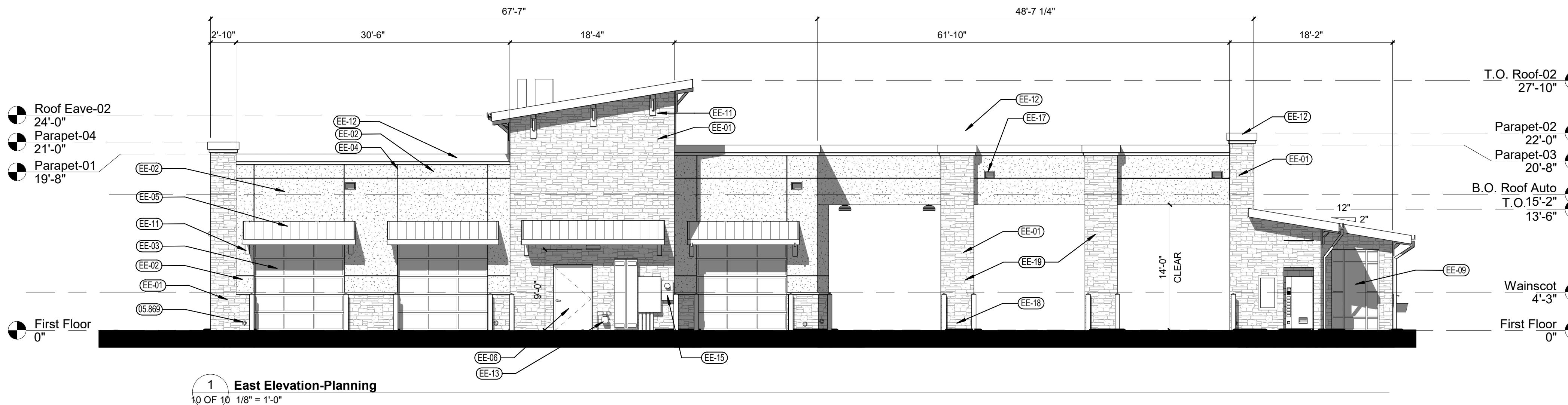
A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32; TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN  
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# VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN

## AUTOWASH AT VISTA RIDGE

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EXTERIOR ELEVATION KEYNOTES		
Key	Value	Keynote Text
05.869		THROUGH WALL LAMBS TONGUE, PT-1.
EE-01		FAUX STONE VENEER, CULTURED STONE, CHARDONNAY COUNTRY LEDGESTONE.
EE-02		STUCCO, EL REY, COLOR: 817 DRY RIVER.
EE-03		SECTIONAL OVERHEAD DOOR - CLEAR ANODIZED & POLYCARBONATE PANELS.
EE-04		STUCCO REVEAL, TYPICAL.
EE-05		STANDING SEAM METAL ROOF, BERRIDGE, COLOR: TERRA-COTTA.
EE-06		METAL MAN DOOR - PAINT MATTE BLACK.
EE-08		DECORATIVE LIGHT FIXTURE - MATTE BLACK.
EE-09		POLYCARBONATE PANELS IN CLEAR ANODIZED ALUMINUM FRAMING.
EE-10		INTERNALLY ILLUMINATED WALL SIGN, FINAL DESIGN BY SIGN VENDOR.
EE-11		WOOD CORBEL, STAINED.
EE-12		STUCCO CORNICE, EL REY, COLOR: 1630 CASTLE.
EE-13		GAS METER, PAINT SHERWIN WILLIAMS SW 6122 CAMELBACK.
EE-15		ELECTRICAL SERVICE ENTRANCE AND DISTRIBUTION PANELS, PAINT SHERWIN WILLIAMS SW 6122 CAMELBACK.
EE-17		THROUGH WALL SCUPPER.
EE-18		THROUGH WALL LAMB'S TONGUE.
EE-19		STONE PILASTERS TO BE A MINIMUM OF 12" IN DEPTH FROM THE WALL PLANE BEHIND THEM.
EE-20		ANODIZED ALUMINUM STOREFRONT DOOR WITH 1" INSULATED CLEAR GLAZING.

NOTES:

1. THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREON ARE INTENDED TO DEMONSTRATE HOW ALL HVAC AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED ACCORDING TO THE TOWN OF ERIE, UNIFIED DEVELOPMENT CODE REQUIREMENTS. IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE THAT THIS APPROVED SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS, REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES, OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE APPROVED SCREENING MAY RESULT IN DELAY OF FINAL INSPECTIONS AND/OR ISSUANCE OF CERTIFICATE OF OCCUPANCY.
2. THERE IS NO ROOFTOP MECHANICAL EQUIPMENT BEING PROPOSED ON THIS PROJECT AT THIS TIME THAT WOULD REQUIRE SCREENING.
3. ALL UTILITIES ARE TO BE PAINTED TO MATCH THE MATERIAL BEHIND THEM, SEE KEYNOTES FOR DESCRIPTIONS.

DATE: 05.03.21  
 SCALE: 1/8" = 1'-0"  
 DRAWN BY: ALW  
 CHECKED BY: PEW

**HOVER**  
 ARCHITECTURE  
 385 INVERNESS PKWY,  
 SUITE 190  
 ENGLEWOOD, CO 80112  
 (720) 773-2800

PROJECT NUMBER  
 7102.01

SHEET

10 OF 10

EXTERIOR  
 ELEVATIONS