

# PLANNING & DEVELOPMENT

## Planning



**Town of Erie**  
645 Holbrook Street  
P.O. Box 750  
Erie, Colorado 80516  
(303) 926-2770

## Memo

**To:** Samantha Crowder (Land Perspectives LLC)  
**From:** Christopher LaRue, Senior Planner  
**Date:** March 20, 2020  
**Re:** PP-001137-2020: Collier Hill 4G Preliminary Plat Application  
**cc:** Deborah Bachelder, Joe Smith, David Pasic, Darren Champion

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### Comments:

Town Staff has reviewed the Colliers Hill Filing No. 4G Preliminary Plat application for conformance with Municipal Code, Title 10. The application was reviewed at the March 12<sup>th</sup>, 2020 Development Review Team (DRT) meeting. A list of the Town staff that have commented and referral agencies that have responded are listed below. Referral comments received by the Town after the date of this memo shall be forwarded on to the applicant.

The next step for the Colliers Hill Filing No. 4G Preliminary Plat is revision and resubmittal for another referral and Development Review Team review. Please make the appropriate revisions to the application materials and provide written response to address each written comment from the Town staff and referral agencies.

#### Paper Copies:

- 3 Copies: Written response to staff and referral comments. For distribution to: Planning, Engineering, and Parks.
- 3 Copies: Updated written materials, 3 hole punched for notebooks. For distribution to: Planning, Engineering, and Public.
- 4 Copies: Updated 11x17 plans tri-folded and 3 hole punched for notebooks. For distribution to: Planning, Engineering, Parks, and Public.
- 3 Copies: Updated 24x36 plan sets, rolled. For distribution to: Planning, Engineering, and Parks.
- Please bind and label materials for each entity listed above for ease of distribution to each referral.

#### Digital Copies:

- A PDF format of all of the submittal materials on 13 flash drives. The Town will provide the mailing envelope, address label and postage for delivery of the flash drives. The flash drives will be distributed to the following referral agencies:
  1. Town of Erie – internally distributed to: Planning, Engineering, and Parks  
Colorado Geological Survey
  2. Felsburg Holt & Ullevig
  3. Merrick
  4. Mountain View Fire Rescue (they had no concerns but will need to see the update plans)
  5. OSTAB
  6. Plan West – Landscaping and parks review
  7. St. Vrain Valley Schools
  8. United Power
  9. Western Midstream (no official comment submitted, however, they have been contact with concerns as noted)
  10. Xcel Energy

The following agencies provided written responses that do not require a second referral and response:

1. Mile High Flood District
2. RTD

The following agencies did not provide a written response:

1. Black Hills Energy
2. Bureau of Reclamation
3. CDOT
4. Century Link
5. Colorado Division Wildlife
6. Colliers Hill HOA
7. Comcast
8. Comcast Residential and Commercial
9. Daybreak No. 1, 2, & 3 Metropolitan District
10. High Plains Library District
11. Left Hand Water District
12. NCWCD & Sub-district
13. State Historic Preservation Officer
14. Vranesh & Raisch

### Neighborhood Meeting

The Colliers Hill Filing No. 4G Preliminary Plat application process does require the applicant to hold a neighborhood meeting. Details on the requirements of the neighborhood meeting can be found in MC 10.7.2 D. The applicant is responsible for scheduling and holding the meeting, mailing notices, posting the property with meeting notice signs, submitting to the Town a meeting summary and an affidavit of posting. Please notify us when you intend to host the meeting and the Planning and Development Department will provide the neighborhood meeting letter template, affidavit of posting template, and public meeting notice signs.

## **Planning Comments:**

### **1. ALTA and Title Information:**

- a. Please provide an updated finalized stamped and signed ALTA which utilizes and references the latest Title Report provided to staff having an effective date of January 5, 2020. The ALTA map provided is dated March 1, 2019.
- b. Gas pipelines and associated appurtenances & existing utilities:
  - i. Western Midstream operates a gas pipeline on the eastern edge of the development. They have indicated opposition to this proposal along with PUD Amendment # 5. The contact information for Western Midstream has been provided to Jerry Richmond who indicated he was working on this issue.
  - ii. Gas and oil well pipelines and their associated easements shall not be located on residential lots. Currently there are pipeline easements above ground piping that are (or might be) within the development area.
    1. The plat indicates most of the easements are to be vacated. Provide written proof from each easement holder concurring with the proposed vacation.
    2. There is an existing 20-foot pipeline easement containing two gas lines running north to south along the entire eastern edge of the plat area within Tract D.
      - a. There are improvements that impact this easement. Specifically, landscaping and a sidewalk are within the easement.
        - i. Provide written proof the easement holder accepts the improvements within the easement.
    3. There are overhead electric utility lines (150-foot easement) and gas lines (2 fifty-foot easements) on the northern area of Tract D.
      - a. There are improvements that impact the easements. Specifically, landscaping and a sidewalk are within the easements.
        - i. Provide written proof the easement holders accept the improvements within the easements.
  - i. If applicable, streets should be platted so pipelines cross at a substantially right angles to the streets
  - ii. If necessary, the Preliminary Plat shall show easements for gas and oil well pipelines that are a minimum of 30 feet wide.
- c. There is an "Electrical Cabinet" that is on the southwest part of the property (near a grate inlet). Is the cabinet contained within one of the existing or proposed easements on the plat? The equipment does not appear to be depicted on any of the plans.

### **2. Town of Erie Natural Areas Inventory:**

- a. Please address the comments from the Town of Erie Open Space and Trails Advisory Board (OSTAB). /

### **3. Site Assessment Reports – Native & Specimen Tree and Vegetation Plan / Threatened and Endangered Species / Archaeological Report / Geologic Reports/ Environmental Reports / ETC:**

- a. Recommendations continued within the reports will be conditions of approval. Please address the comments from the Colorado Geological Survey.

#### **4. Oil and Gas:**

- a. Ensure all relevant corresponding established setbacks within the SUA are depicted on the preliminary plat.
- b. There is an abandoned oil and gas well on Tract E. Please provide the following:
  - i. A letter of confirmation from the State shall be submitted to the Town regarding the completion of the abandonment and reclamation process in accordance with State law and COGCC regulations.
  - ii. Recorded documentation of abandonment of easements associated with the well shall be submitted to the Town.
  - iii. Capped wellheads shall be identified by a concrete and brass monument that will be recorded and noted on the final plat. This should be noted on the Preliminary Plat as well.
  - iv. A minimum 25 feet buffer is required around the wellhead. The state may require a greater buffer if necessary. Provide documentation from the state concerning the buffer.

#### **5. Minor Subdivision / Preliminary Plat Narrative:**

- a. Amend the Minor Subdivision narrative as necessary to address the comments.
- b. Reflect the plat total of 204 lots instead of 205.
- c. Correct the dwelling units to acres to 3.5 DU/AC.
- d. Mineral Rights:
  - i. The narrative indicates the oil and gas well located on site has yet to be plugged and abandoned. The plat and other documents indicate the well is already abandoned. Please clarify.
  - ii. The narrative indicates a 50-foot setback will be utilized for the plugged and abandoned well. The plat only depicts a 25-foot setback. The UDC requires a minimum 25-foot setback. Is the greater setback required by the State? Please provide documentation from the State per comment # 4.

#### **6. Parks and Open Space Dedication Requirements / Trails:**

- a. Please provide a separate exhibit demonstrating the Pocket Parks will comply with the ¼ mile spacing requirement.
- b. The overall PUD is providing sufficient open space through existing or proposed filings. The same is also true for park requirements.
- c. Staff is concerned with the location of the lots along the Neighborhood Park. These lots should be removed. Please see the Parks comments.
- d. Address the comments from OSTSB.
- e. Provide the following new trail connections (at least five feet in width):
  - i. From the end of Zenith Heights Court (the cul-de-sac) to the trail along CR 5. This is required per UDC Section 10.6.5 D.2.e.
  - ii. From tract D where it intersects Lumber Ridge Circle (to be renamed) to the trail along CR 5.
  - iii. Through Tract E for access to the future Neighborhood Park.

## 7. Preliminary Plat:

- a. General Comments:
  - i. Update the Preliminary Plat per these comments.
  - ii. Some of the streets do not comply with the Town's standards and Specifications. This could necessitate some re-design of the plat. See the engineering comments.
  - iii. The proposed private amenity area shall be designated in a separate tract and depicted on the Preliminary Plat.
  - iv. The maximum length of blocks between intersecting streets shall be 1,500 feet. The average block face across each development site shall be a maximum of 600 feet (10.6.5.D.3)
    1. Please provide a separate block length analysis demonstrating compliance with the UDC.
  - v. Overall, the corner lots should be reviewed for structure lot fit relative to the zoning setbacks. Per Section 10.5.4 E of the UDC corner lots for residential use shall have extra width to accommodate the required building setback line on both street frontages. Per Section 10.4.1 of the UDC corner lots in the LR zoning shall have a minimum of width of 60 feet.
    1. Provide a separate exhibit for all the corner lots depicting a building envelope to ensure proper lot fit of a structure. Please review and incorporate section 10.4.2 of the UDC regarding measurements and exceptions in the analysis.
    2. In addition, provide a lot fit analysis for the following:
      - a. Lot 1, Block 10
      - b. Lot 5, Block 11
  - vi. Streets:
    1. Applicant shall create an address plat at the time of final plat.
    2. Alpine Ridge Circle shall continue to the midpoint of the north-western curve.
    3. The northern portion of Snow Crest Circle which runs east and west shall be designated with a new street name. The street shall terminate at the midpoint of each curve.
    4. New street names shall be required for Snow Crest Circle on the east and southern portions starting at the midpoint of the curves.
    5. Lumber Ridge Circle shall be shall be renamed as two streets at the midpoint of the circle. It is suggested the names be Lumber Ridge Circle North and Lumber Ridge Circle South.
  - vii. UDC 10.6.5.3.c limits block lengths to 1,500 feet, with an average block face meeting a maximum of 600 feet. UDC 10.6.5 F.2.c. Through-Block Connections states "Within all developments, to the maximum extent reasonably practicable, pedestrian ways, cross walks, or multi-purpose trails no less than 5 feet in width, located within a tract or easement a minimum of 30 feet in width, shall be constructed near the center or entirely through any block that is 900 feet or more in length." Please provide a separate block length analysis exhibit demonstrating compliance with the UDC.
  - viii. Utilities:

1. General utility easements need to be shown adjacent to front and rear lot lines. Easements shall also be depicted adjacent to all public streets, and other platted areas including tracts, parcels, and open space areas.
  - a. See United Power referral.
  - b. Easements need to be shown alongside lot lines where they abut tracts. Double check all lots. The following require an easement (provide a lot fit analysis as well to ensure there are no issues):
    - i. Lot 1, Block 2
    - ii. Lot 8, Block 1
- ix. Note that all Parks, Open Space/Private Open Areas, and trails/sidewalk tracts will require public access easements at Final Plat. This should also be added within the notes on the Preliminary Plat if not already included.
- b. Sheet 1:
  - i. Tract Summary Chart:
    1. Fill in the "Use" for all tracts.
    2. Please note as there is no dedicated Open Space within this filing, you should denote "Private Open Area" rather than using the term "open space".
    3. Add a new tract for the private amenity area.
  - ii. Notes:
    1. Tract E shall be included within Note # 7 for the trail connection.
    2. Add the following note:
 

13.) THE UNDERSIGNED, AS OWNER OF THE LANDS DESCRIBED HEREIN, ARE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF ALL DRAINAGE EASEMENTS SHOWN HEREON AND RELATED DRAINAGE FACILITIES, AS PROVIDED IN THE TOWN OF ERIE ENGINEERING STANDARDS AND SPECIFICATIONS, AS AMENDED. THE UNDERSIGNED GRANTS THE TOWN OF ERIE A PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTY TO: INSPECT, MAINTAIN, OPERATE AND RECONSTRUCT THE DRAINAGE EASEMENTS AND RELATED FACILITIES COVERED BY THE ERIE MUNICIPAL CODE, AS AMENDED; AND TO INSPECT, MAINTAIN, OPERATE AND RECONSTRUCT THE DRAINAGE EASEMENTS AND RELATED FACILITIES, WHEN THE OWNER FAILS TO ADEQUATELY MAINTAIN SUCH DRAINAGE EASEMENTS AND RELATED FACILITIES, WHICH INSPECTION, MAINTENANCE, OPERATION AND RECONSTRUCTION SHALL BE AT THE COST OF THE OWNER.
    3. Blanket utility and/or drainage easements would also be required on the tracts with drainage /utilities present.
- c. Sheet 2:
  - i. Update Street names as discussed in comment # 7vi.
  - ii. Adjust tract names as necessary to accommodate the private amenity tract.
  - iii. Adjust roads and lots per engineering comments.
- d. Sheet 3:
  - i. Depict the private amenity tract.
  - ii. Adjust the lots as necessary per Parks comments.
  - iii. Adjust Tract E so it does not extend past the lots on either side of it.
  - iv. Label all Streets and Tracts.
- e. Sheet 4:
  - i. As noted in the engineering comments, Sienna Peak Circle does not meet Town specifications.
    1. Adjustments to the lots around the road will be necessary.
- f. Sheet 5:
  - i. Adjust Tract E as noted in comment d above.
- g. Sheet 6:
  - i. As noted in the engineering comments, Flora View Drive does not meet Town specifications.
    1. Possible adjustments to the lots and tracts around the road may be necessary.

## 8. Landscape Plans:

- a. General
  - i. Amend the plans to incorporate the comments made on the Preliminary Plat as necessary.
  - ii. All sheets shall include the appropriate title which matches the Preliminary Plat.
    - 1. Keep the label "Preliminary Landscape Plan".
  - iii. Labeled the tracts on every sheet.
  - iv. Review Section 1001.02 of the Parks and Recreation Construction Standards and Specifications and ensure the landscape plan meets all minimum requirements.
    - 1. For example, the set does not contain irrigation plans.
  - v. Show all sight triangles at intersections and remove any trees within the triangles.
  - vi. As a general note, details of the plantings with a species specific labels will be required at final plat.
  - vii. Provide an overall perimeter fencing and fencing plan consistent with Section 10.6.4.9. Please note this section details specifics on maximum lengths, monotony requirements, etc.
    - 1. It is difficult to tell on the existing plans how this is being met.
- b. Sheet 1:
  - 1. Update the legal description. It incorrectly lists 4G instead of 4C.
  - 2. Update the vicinity map to match the one on the Preliminary Plat.
  - 3. Update the Sheet index as needed (i.e. Pocket Park detail, irrigation plans, etc.)
- c. Sheet 2:
  - i. Label all tracts.
  - ii. Update street names per Preliminary Plat comments.
  - iii. Add trail connections on Tract E, at the end of Zenith Heights Court, and on Tract D along Lumber Ridge Circle.
- d. Sheet 3 & 4:
  - i. Obtain easement holder permissions for improvements as discussed in the Preliminary Plat comments.
- e. Sheet 5:
  - i. Adjust as necessary per the engineering comments.
  - ii. Pocket Park:
    - 1. Per Section 10.6.3. B.4 pocket parks shall be located within 1/4 mile of the residences they are intended to serve. Please provide an exhibit depicting the quarter mile.
    - 2. Pocket parks are required to meet the amenities and comfort and convenience requirements of the Parks, Recreation, Open Space, and Trails (PROST) Master Plan.
      - a. Provide a separate Pocket Park plan.
      - b. Details of the pocket park comfort and convenience facilities shall be depicted. The details can be on a spare sheet.
      - c. See example for Rex Ranch Filing No. 2, Flatiron Meadows Filing No. 13, and Wildrose Final Plat.
- f. Sheet 6:

- i. The curb ramps from Tract I and Tract D are offset. Please adjust so the ramps are aligned.
- g. Sheet 7:
  - 1. Make Tract E even with the adjoining lots.
  - 2. Provide a trail connection the future park
- h. Sheet 8:
  - i. Provide a trail connection to the walk along CR 5 from Zenith Heights Court.
- i. Sheet 10:
  - i. Provide a trail connection to the walk along CR 5 where Tract D is adjacent to Lumber Ridge Circle.
  - ii. Provide a trail connection to the walk along CR 5 from Zenith Heights Court.
- j. Sheet 15:
  - i. The monument does not meet the requirements of the UDC sign code.
    - 1. Specifically, Section 10.6.12.F.4.b which states the following:
      - a. Development Identification signs shall be permitted and be permitted to contain the name of the subdivision and identifying the subdivision as within the Town of Erie. Only monument signs of a maximum height of 6 feet and a maximum gross surface area 100 square feet are permitted. A maximum of 2 monument signs are permitted at each primary entrance to the subdivision. Secondary monument signs internal to the development are permitted with a maximum height of 6 feet and a maximum gross surface area of 32 square feet.

## 9. Preliminary Construction Plans

- a. General:
  - i. The Cross Sections of Streets do not appear to meet Town specifications. See engineering comments.
  - ii. Update the plan set per the Preliminary Plat comments as applicable.
  - iii. The lots are not numbered in conjunction with the Preliminary Plat. Please revise.

## 10. Housing Diversity

- a. As previously noted during the Sketch Plan process:
  - i. The total development area for all of Colliers Hill is 553 acres, which would require 5 housing types, or 4 housing types and 1 housing type variation. Overall, Canyon Creek (including the future Filing No. 10) is meeting the housing diversity requirement by providing four housing types and two variations

Since review is a cumulative process and dependent on various criteria, we reserve the right to provide further comment(s) and request additional information upon receipt of this requested information. Please do not hesitate to contact me at 303.926.2776 for further clarification or with any questions or concerns that you may have.



Memo

To: Chris LaRue  
From: David Pasic, P.E., Civil Engineer  
Date: March 12, 2020  
Subject: **Colliers Hill Filing 4G Preliminary Plat Comments #1**  
CC: Joe Smith, Chad Schroeder, Wendi Palmer, Tyler Burhenn

**Previous Comments provided at Sketch Plan:**

2. Existing oil and gas structures located along the existing WCR Frontage shall be relocated to be outside of the WCR 5 Minor Arterial Build Out Right-of-Way.
3. Weld County Road (WCR) 5
  - b. Per the Annexation Agreement (Section XII.C.2), "the Owner agrees to reimburse \$263,800, excluding any costs for right-of-way acquisition, to SVVSD for its pro-rata share of the improvements constructed by SVVSD, which are not reconstructed by Owner with the WCR 5 improvements, at such time as the Town issues a construction permit for Owner's improvements to WCR 5 as determined by the Director of Public Works."
4. A preliminary utility plan was not provided and is not required until preliminary plat so detailed comments on a proposed utilities design cannot be provided. However, we do have the following general water and sanitary sewer comments:
  - c. Per the Annexation Agreement (Section XI.G.4), "the Owner agrees to reimburse \$47,134 to the St. Vrain Valley School District for its pro-rata share of the water line improvements constructed by the St. Vrain Valley School District, concurrent with the recordation of the first final plat along WCR 5."

**Traffic/ WCR 5/ Flora View Town Comments:**

1. The Town would like to discuss having WCR 5 be built out in full from Erie Parkway to WCR 10 with Filing 4G with the Town to reimburse for the east half build out. Please reach out to David Pasic with the Town to set up a meeting to discuss. The Town would also need to know the approximate cost associated with the east half build out prior to making a decision.
2. Please include a detailed discussion in the Traffic report for the justification of reducing WCR 5 down to two lanes. The intent of the Transportation Master Plan was to provide 4 lanes from Erie Parkway to WCR 10. 4-lanes shall be provided the entire stretch of WCR 5 between Erie Parkway and WCR 10 unless detailed traffic analysis provided to support. Regardless of traffic analysis, the Town will require build out to 4 lanes up to Flora View.
3. Include excerpts from previous traffic study that indicate improvements and striping associated with Colliers Hill 4G.
4. Flora View shall be built to Town Collector standards with 70' ROW. Parking is acceptable on both sides of Flora View in this scenario. Sharrows shall be used to depict bicyclist travel on Flora View.

**Utility Report Town Comments:**

1. Appendix A –
  - a. Average Daily Demand Line should read Colliers Hill 4G not 4F.
  - b. Manning's Roughness shall be 0.012
  - c. Capita per residence shall be 2.81
2. Appendix B –
  - a. Total Lots Line should read Colliers Hill 4G not 4F.
  - b. Capita per residence shall be 2.81
3. Water Model:
  - a. Reservoir HGL shall be 5315 for Zone 3.

**Drainage Report Town Comments:**

1. Include in report narrative a discussion on how the 100-year bypass is routed and the ultimate outfall to the drainage channel / detention pond. Include interim and ultimate conditions of the drainage overtopping SF-48 in to Tract B.
2. The ultimate routing of the 100-year bypass beyond the low point in Alpine Ridge Road shall be contained entirely within the proposed future drive aisle of the Future Community Center until it can be conveyed via Flora View.
3. Time of Concentration Calculations - Max length for Overland Flow shall be 300' per UDFCD Vol 1.

**Drainage Comments from Merrick 3/11/2020:**

**Phase II Drainage Report:**

1. The following comments relate to offsite drainage:
  - a. Provide an existing condition drainage map that shows all offsite tributary areas. This includes showing area for the northern detention pond of the Soaring Heights PK-8 school, offsite Basin OS1, and Weld County Road (WCR) 5 Basin C1.
  - b. Provide excerpts from the PK-8 northern pond to show what release rates were assumed.
2. All drainage reports must be standalone documents and must include excerpts from previous studies (i.e. Phase III Drainage Report for Colliers Hill Filings 4 and 5) that provides an overall understanding of the project site and how runoff is planned to be managed both onsite and offsite, including drainage plan drawing and vicinity map. Highlight pertinent information. For this site, include excerpts from the overall master drainage plan in order to show that Filing 4G is consistent with the master planned design.
3. In Section IV, the 36-inch RCP across WCR 5 that carries 100-year flow will outfall to an 18-inch RCP with 2-year flow capacity. At the transition (SF-100), the excess flow will surcharge and flow in a swale to Snow Crest Circle. Bubblers are not allowed per Section 815.03 in the Town criteria, therefore the design must be revised unless a variance is approved by the Town.
4. Town Follow-On Comment: Per discussion among Town staff, a variance will be granted in this circumstance to allow the major storm from the off-site basin of Soaring Heights to surcharge. The street system must be designed per Town Standards to convey that flow and measures shall be taken where necessary to not adversely impact the future Colliers Filing 4G residents. Additionally, include in the report narrative a discussion on how the 100-year bypass is routed and the ultimate outfall to the drainage channel/detention pond.

Include interim and ultimate conditions of the drainage overtopping SF-48 in to Tract B. The ultimate routing of the 100-year bypass beyond the low point in Alpine Ridge Road shall be contained entirely within the proposed future drive aisle of the Future Community Center until it can be conveyed via Flora View. To be clear, this variance shall not be used as a precedent for future projects and only applies to this specific scenario in Colliers Hill Filing 4G.

4. The overall imperviousness proposed for Filing 4G is higher than what was assumed to design the existing storm sewer system, the regional channel, and pond. Verify that existing facilities have capacity for the increased imperviousness and resulting runoff.
5. For inlet sizing of local roads, it appears that a 4-inch high curb was used but the maximum depth was set at 6-inches. Per Town criteria, the minor storm event cannot overtop the curb. Revise inlet design for all local road inlets to use a depth of 4-inches.
6. The input and results from the UD-Inlet spreadsheets do not always match what is presented in the inlet summary tables. For instance, the grade/slope for the Type R inlet at SF-75A in the spreadsheet is 1.69% when the summary table shows 0.8%. Revise design and/or tables so grade/slope matches the design condition.
7. For Phase III Drainage Reports, provide hydraulic analyses of the storm sewers including profiles with hydraulic grade line (HGL) output for both the minor and major storm events. Verify that HGLs are a minimum of 1-foot below the gutter invert at all inlets and manholes.  
Town Follow-On Comment: This shall be done with Final Plat.
8. The designs for Swales A and B present Froude numbers of 0.91 and 1.04, respectively. Town criteria requires Froude numbers to be less than 0.8 for grass-lined channels. Revise design to reduce the Froude number or provide additional erosion protection.

### **Colliers Hill Filing 4G Preliminary Construction Plans**

9. For final construction plans, provide plan and profile drawings including pipe sizes, lengths, grades, HGLs for the major design storm, and other items required by Town criteria.  
Town Follow-On Comment: This shall be done with Final Plat.
10. The Drainage Plan (Sheet 12) shows a 12-inch HDPE pipe between Design Points SF-36 and SF-43. Town criteria specifies the minimum pipe size to be 18-inch RCP. Revise to be 18-inch RCP unless a variance is approved by the Town.  
Town Follow-On Comment: Per discussion among Town staff, a variance will be granted in this circumstance. The 12-inch HDPE system and area drains shall be specifically defined as private systems and an easement will need to be granted by the Town to run a private system through the Future Town Park. Also, please see Construction Document Redlines regarding the storm system in this area. To be clear, this variance shall not be used as a precedent for future projects and only applies to this specific scenario in Colliers Hill Filing 4G.

**Utility Report Comments from Merrick 3/11/2020:**

**General**

1. Provide additional information on the amenities at the proposed community center (e.g. number of bathrooms, kitchen, swimming pool, etc.).
2. Verify the type, size, depth, and location of all existing utilities in the field that cross or may come into conflict with the proposed utilities. Include this information on the construction drawings. (Verification of existing utilities is also a Subsurface Utility Engineering requirement.)
3. Include relevant standard details in the final construction drawings.

**Sanitary Sewer**

1. Provide planning densities for Filing 4H in order to verify that the proposed 8-inch sewer is appropriately sized. Verify that Filing 4H is served by a separate sewer from Filing 4G.
2. Revise calculations the Wastewater Calculations in Appendix A, using a Manning's n-value of 0.012.
3. Provide an easement for the 8-inch sanitary sewer between Snow Crest Circle and Weld County Road 5, minimum 30-feet wide. Call out the horizontal distance from the proposed storm sewer on the construction drawings.

**Potable Water**

1. Use a Hazen-Williams value of  $C=120$  and show this value in hydraulic modeling results.
2. Provide profile drawings for water mains wherever there are storm or sanitary sewer crossings. Identify high and low points of water mains on the plans. Wherever feasible, maintain constant slopes in the water system. High points should be located at a service lateral (preferred) or fire hydrant line in order to avoid ARVs.
3. Change main size on Zenith Court to 6-inch water main.
3. On Drawing 5 of the Weld County Road 5 Construction Drawings, review the required storm sewer depth and determine whether it can be lowered under the proposed 12-inch water main, with insulation to protect the water main from freeze. Alternatively, reduce the buried depth of the water main to clear the storm sewer with the required 18-inches clearance. Depending on the depth of cover, this option may require insulating the water main above (where cover is less than 4 feet) and below (where crossing the storm sewer).
4. Show water valves restrained to tees and crosses and note on the plans.

**Non-Potable Water:** Like the potable water system, the non-potable main should have a constant slope to avoid low- and high-points in the system. (Note: Non-potable water service is private and not a part of this review.)



## Memo

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To: Dave Pasic  
From: Tyler Burhenn, Civil Engineer  
Date: February 6, 2020  
Subject: **Colliers Hill 4G - Stormwater Comments**  
CC:

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### SPA Stormwater Comments

1. ECP Comments
  - a. Flow Directional Arrows needed on interim ECPs
2. Additional Items Needed before precon can commence
  - a. Control Measure Cost Opinion Worksheet
  - b. Submit reimbursable stormwater performance surety (LOC/check)
  - c. Verification of updated State Permit limits
  - d. Digital Perimeter of permitted area ( can be .shp or .dwg)

# STORMWATER QUALITY PERMIT CONTROL MEASURES COST OPINION WORKSHEET



Probable cost of the control measures (CM) required to ensure compliance with the Stormwater Quality Permit requirements

<b>PROJECT NAME:</b>	<b>DATE:</b>

CM No.	CONTROL MEASURES	UNIT	UNIT COST <i>(includes installation)</i>	QUANTITY	COST
1	Check Dam	LF	\$24.00		\$0.00
2	Compost Blanket	SF	\$0.36		\$0.00
3	Compost Filter Berm	LF	\$2.00		\$0.00
4	Concrete Washout	EA	\$100.00		\$0.00
5	Construction Fence	LF	\$2.00		\$0.00
6	Debris/Trash Control	HR	\$40.00		\$0.00
7	Dewatering	EA	\$600.00		\$0.00
8	Earth Dike/Diversion Swale	LF	\$1.60		\$0.00
9	Erosion Control Blanket	SY	\$5.00		\$0.00
10	Inlet Protection	LF	\$20.00		\$0.00
11	Lot Protection	EA	\$800.00		\$0.00
12	Pond Maintenance/Sediment Removal	AC	\$1,000.00		\$0.00
13	Reinforced Check Dam	LF	\$36.00		\$0.00
14	Rock Socks	LF	\$10.00		\$0.00
15	Sediment Basin	EA	\$1,000.00		\$0.00
16	Sediment Control Log	LF	\$2.00		\$0.00
17	Seeding & Mulching*	AC	\$2,500.00		\$0.00
18	Silt Fence	LF	\$2.00		\$0.00
19	Stabilized Staging Area	EA	\$500.00		\$0.00
20	Street Sweeping	LM	\$500.00		\$0.00
21	Surface Roughening	AC	\$600.00		\$0.00
22	Temporary Outlet Protection	EA	\$250.00		\$0.00
23	Vehicle Tracking Control	EA	\$1,000.00		\$0.00
24	Others:				\$0.00
25					\$0.00

\* Not required if included in Exhibit B Opinion of Probable Public Improvement Cost

<b>Official Use Only</b>
SWQ Permit Number: _____
Approved by: _____
Date: _____

<b>SUBTOTAL</b>	<u>\$0.00</u>
Contingency (15% of Subtotal)	<u>\$0.00</u>
<b>TOTAL COST OF CMs</b>	<u>\$0.00</u>



## Town of Erie Open Space and Trails Advisory Board

---

From: Town of Erie Open Space and Trails Advisory Board (OSTAB)

To: Chris LaRue, Senior Planner, Community Development

Date: March 10, 2020

**Subject: Colliers Hill Filing 4G, Preliminary Plat**

Date of Drawing: January 24, 2020

Location: SW of intersection of WCR5 and WCR10.

OSTAB has reviewed the referral materials, compared them to Town planning documents, and prepared the following comments, questions, and recommendations for the Town's consideration in evaluating this application.

We primarily use the following Town documents as we evaluate the proposed open space and trails in all development application reviews:

1. Natural Area Inventory (NAI) - In 2008, the Town engaged Walsh Environmental Scientists and Engineers of Boulder, Colorado, to identify and evaluate the natural areas within the Town's planning area. Over 125 areas were evaluated. Based upon a variety of characteristics, a numerical "summary rating" was calculated, and the habitat quality of each site was categorized as high, medium, or low;
2. Unified Development Code (UDC), Chapter 6 – Development and Design Standards:
  - a. Section 10.6.2 – Natural and Scenic Resource Protection;
  - b. Section 10.6.3 – Parks, Open Space, and Trails.
3. Parks, Recreation, Open Space, and Trails (PROST) Master Plan.

**Open Space:**

Discussion: There are no NAI sites within the application area. There is no dedicated open space proposed. It is our understanding that the open space requirement for this large subdivision was met in earlier filings.

Recommendations: None

**Spine Trail:**

Discussion:

Chapter 6 of the PROST Master Plan is devoted to trails. It includes a map (Figure 15) of current and proposed future Spine Trails, and recommendations of improving access to regional trails and neighboring communities. There is not a proposed Spine Trail within this application area.

Recommendations: None.

## **Neighborhood Trails and Sidewalks:**

### **Discussion:**

We believe that a robust network of neighborhood trails is necessary for the safety of children and for the well-being of all residents. These trails should provide safe, quiet access to schools, parks, Spine Trails, and to neighbors who are not nearby. This subdivision is likely to be very attractive to families with children, since both the Erie High School and the new Soaring Heights PK-8 school are nearby, across WCR5. This filing contains both a pocket park and a neighborhood park. It appears that the design of the neighborhood park will be in a separate submission. However, safe access to that park will be determined by the sidewalks and connectors in this application.

One goal is safe access to those two schools. It is clear that the UDC requires an 8 foot sidewalk in a minimum 30 foot wide landscaped buffer on WCR 5. However, it is not clear how residents can access this sidewalk, since there are no roads intersecting WCR 5 between WCR 10 and Flora View Drive.

Tract D is an open space tract that includes multiple areas:

1. Lands adjacent to WCR 10, WCR 5, and Flora View Drive;
2. A corridor from the northern street (Snow Crest Circle) to WCR 10;
3. A corridor from the northern street (Snow Crest Circle) to WCR 5;
4. An area east of the col-de-sac (Zenith Heights Ct);
5. A corridor from the southern street (Lumber Ridge Circle) to WCR 10.

We believe that all four of these corridors should have 8' wide sidewalks connecting to WCR 5 or WCR 10. The Landscape Plans (Sheets L3 and L6) include sidewalks from both locations on Snow Crest Circle, but the width appears to be less than 8'. The Landscape Plans (Sheets L8 and L10) do not include sidewalks connecting either Zenith Heights Dr or Lumber Ridge Circle to the sidewalk adjacent to WCR 5.

The sidewalk in Tract I Landscape Sheets L5 and L6), a corridor that connects the Pocket Park to Tract D and WCR 5, should also be 8 feet wide, since it is a link between residential lots on the western portion of the application, the pocket park, and the schools.

For identical reasons, the sidewalk on the north side of Flora View Drive (Landscape Sheets L11 and L12) should also be 8 feet wide.

We are especially concerned about access to the neighborhood park from all lots in this filing and Filing 4C to the west. Access is especially important, since that neighborhood park will be adjacent to dedicated Town open space and Spine Trail (Tract B Filing 4A), as shown in Landscape Sheet L2. The only planned access is via sidewalks adjacent to streets, which typically are only 5 feet wide. In our experience, young children on bicycles can not safely use this configuration, particularly if there are other users heading toward them. We therefore believe that there should be materially safer access to the neighborhood park with an 8 foot sidewalk on the west side of Alpine Ridge Rd. Secondly, there is no public access to the northern portion of the park from Alpine Ridge Rd. A potential solution to this problem is to utilize Tract E, an abandoned and plugged O&G well site. (Preliminary Plat Sheet 5).

### **Recommendations:**

1. Increase the width of the sidewalk in the corridor between Snow Crest Circle and WCR 10 to 8';
2. Increase the width of the sidewalk in the corridor between Snow Crest Circle and WCR 5 to 8';
3. Include an 8' wide concrete sidewalk in the corridor between Zenith Heights Ct and WCR 5;
4. Include an 8' wide concrete sidewalk in the corridor between Lumber Ridge Circle and WCR 5;
5. Increase the width of the sidewalk in Tract I (which connects the Pocket Park to Tract D and WCR 5) to 8';
6. Increase the width of the sidewalk on the north side of Flora View Dr. to 8';
7. Increase the width of the sidewalk on the west side of Alpine Ridge Dr. to 8';

8. Add an access to the northern portion of the neighborhood park; if possible, utilize the Tract E, an abandoned and plugged O&G well site;
- 

Please pass this referral letter to the Applicant, and appropriate town departments, boards, and commissions. Thank you for your attention to these matters. OSTAB is available to discuss any of the above in more detail as needed.

Sincerely,

**Open Space and Trails Advisory Board**

Bob Braudes  
Phil Brink  
Christine Felz  
Ken Martin (Chair)  
Tim Payne  
Joe Swanson  
Dave Tazik

# COLORADO GEOLOGICAL SURVEY

1801 Moly Road  
Golden, Colorado 80401



Karen Berry  
State Geologist

March 5, 2020

Chris LaRue  
Community Development  
Town of Erie  
P.O. Box 750  
Erie, CO 80516

**Location:**  
NE¼ Section 17,  
T1N, R68W of the 6<sup>th</sup> P.M.  
40.0543, -105.0204

**Subject: Colliers Hill Filing 4G – Preliminary Plat (PP-001137-2020)**  
**Town of Erie, Weld County, CO; CGS Unique No. WE-20-0023**

Dear Chris:

Colorado Geological Survey has reviewed the Colliers Hill (formerly Daybreak, Bridgewater, Tallgrass) Filing 4G preliminary plat referral. I understand the applicant proposes 205 single family lots on 57 acres, plus a future residential tract (Tract A) and neighborhood park, within Tract E of Filing 4C, southwest of Weld County Roads 5 and 10. CGS reviewed the Filing 4C final plat on July 19, 2016.

The available referral documents include the following previously reviewed geotechnical and mine subsidence hazard reports:

- Preliminary Geotechnical Investigation, Tallgrass (CTL|Thompson, June 30, 2005),
- Due Diligence Geotechnical Review, Portions of Bridgewater Subdivision (CTL|Thompson, October 6, 2010),
- Subsidence Investigation, Bridgewater (CTL|Thompson, October 14, 2010), and
- Geologic, Preliminary Geotechnical and Mine Subsidence Studies, Colliers Hill, Phases 2 and 3 cover letter (CTL|Thompson, September 29, 2015) stating that the above, previously reviewed reports remain valid.

**CGS has no objection to Filing 4G preliminary plat approval, provided our previous Filing 4C final plat comments are adhered to:**

**Low Subsidence Potential.** Available mine mapping indicates that Filing 4G is undermined by worked-out (all coal removed) areas of the State Mine, also known as Boulder Valley (mine map dated April 24, 1946). CTL's subsidence investigation indicates that the depth of mining in this area is about 200 feet below the ground surface. Based on the depth of mining and thickness of bedrock over the undermined zone, CTL|Thompson interprets the subsidence hazard in this portion of Colliers Hill as low, with no restrictions on foundation length or other mitigation recommendations (page 11 of CTL's Subsidence Investigation, October 14, 2010). CGS agrees that "Typical building code requirements for foundation walls to be reinforced to simply span a minimum of 15 feet should apply."

**Unmapped shafts.** No entry or air shafts are mapped within Filing 4G. However, it is possible that unmapped air shaft(s) or other mining-related feature(s) exist within the subject site. **All grading activities should be carefully observed** to identify any unmapped shafts or other mining features. The developer, architect, engineer, builder, earthmoving contractors and field inspection staff should be made aware that portions of the Colliers property are undermined, unmapped shafts may be present, and there is

a risk of sinkholes and other subsidence-related features developing. If subsidence feature(s) or shaft(s) are observed, mitigation and/or possible development reconfiguration would be required.

**Highly expansive soils and bedrock, and collapsible soils.** CTL/Thompson's Due Diligence Geotechnical Review (October 6, 2010) summarizes several previous geotechnical investigations consisting of widely spaced borings and laboratory testing. **Colliers Hill is underlain by some of the most moisture-sensitive soils encountered in Weld County.** Extremely high swell values of up to 14.7% (when wetted under an applied load of 1000 psf) were observed in several borings, and swell values representing a high or very high risk of damage to roads, slabs and foundations were observed in about half of the 20 borings evaluated. Low density, compressible soils, exhibiting compaction under loading and wetting, were also observed; several borings yielded samples of both expansive and compressible soils.

A comprehensive, filing-specific geotechnical investigation, including drilling, sampling, lab testing and analysis, will be needed to (1) characterize subsurface conditions such as depths to groundwater and bedrock, (2) characterize soil and bedrock engineering properties such as density, strength, water content and swell-consolidation potential, (3) delineate overexcavation areas and depths, and (4) design foundations, floor systems, subsurface drainage systems, pavements, etc.

Thank you for the continued opportunity to review and comment on this complex project. If you have questions or require further review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

Jill Carlson, C.E.G.  
Engineering Geologist





## MEMORANDUM

TO: Chris LaRue

FROM: Charles M. Buck, P.E., PTOE

DATE: March 5, 2020

SUBJECT: Traffic Engineering Review - Colliers Hill Filing 4G  
Preliminary Plat  
pP-001137-2020  
FHU # 95-190

I have reviewed the Final Plat materials provided for Colliers Hill Filing 4G, located in the southwest Quadrant of the WCR 10/WCR 5 intersection. I have examined these materials specifically from the perspective of traffic engineering and transportation planning but not general civil or utility engineering. My review has focused on the Trip Generation Letter (LSC Transportation Consultants, 10/16/2019), the Filing 4G Preliminary Construction Plans (Hurst & Associates, 01/24/2020), and the WCR 5 Preliminary Construction Plans (Hurst & Associates, 01/24/2020). I have the following comments:

### ***Trip Generation Letter***

1. Per LSC's analysis, the land uses currently proposed in Filing 4G would generate less traffic than what was considered in the original studies for Colliers Hill. The potential impacts would be consistent with prior studies. I agree with this assessment.

### ***Filing 4G Plans*** (see attached redlines)

2. Sheet 1 depicts the typical roadway cross sections. The Residential Street section meets Town of Erie standards. The Flora View Drive sections do not meet Town of Erie standards for Collectors. Cross-street references of Brecker Drive and Desmond Drive do not appear elsewhere in the plans.
3. Sheet 2 shows two uncontrolled pedestrian crossings along Flora View Drive which will need to be appropriately signed per the 2009 Manual on Uniform Traffic Control Devices.

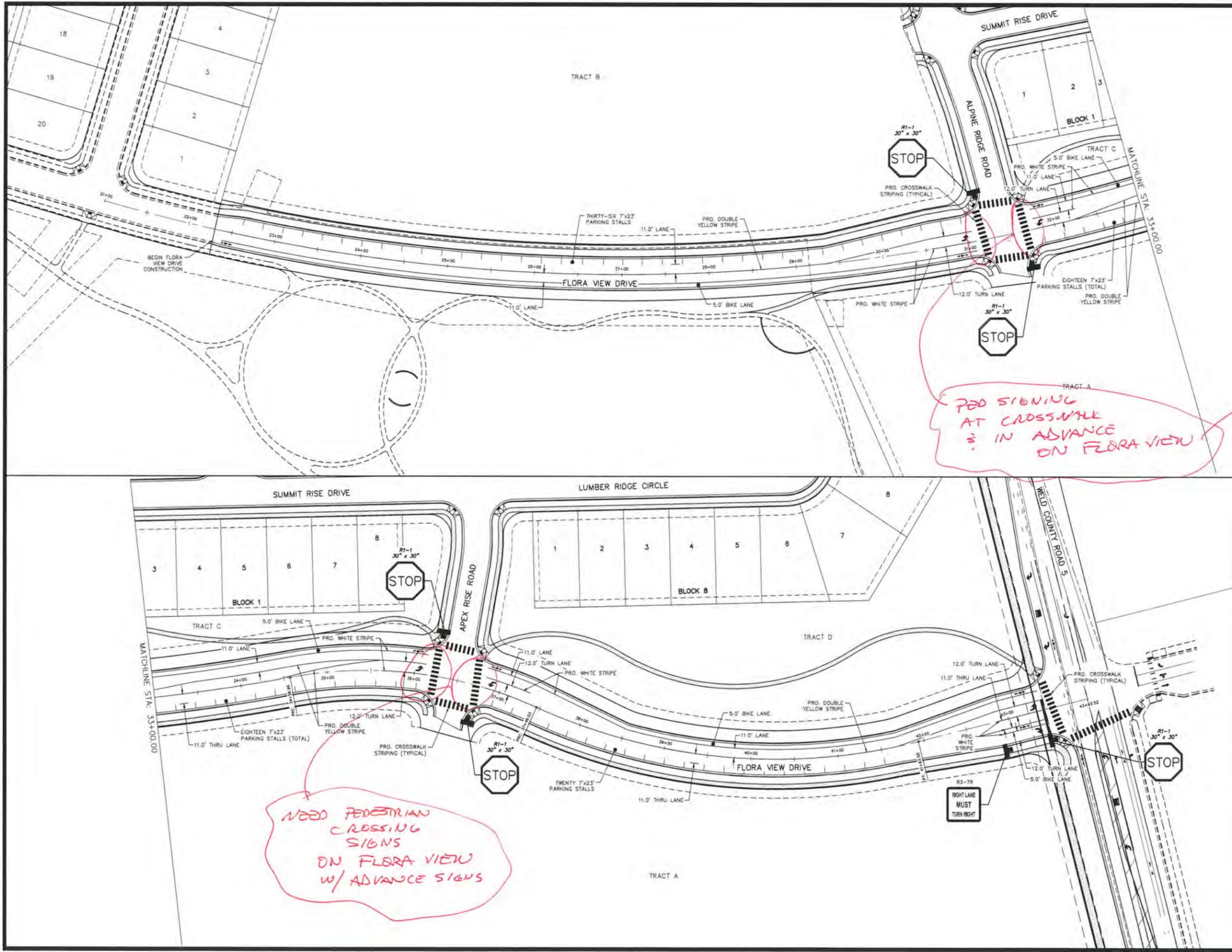
### ***WCR 5 Plans*** (see attached redlines)

4. Sheets 7 and 8 depict signing and striping on WCR 5 between Erie Parkway and WCR 10. School Zone signing has changed since the Soaring Heights PK-8 went in and several signs shown as "existing" are gone or have been replaced with updated assemblies.
5. Sheet 7 shows a right-in/right-out access on the west side of WCR 5 that is not related to Filing 4G and is not addressed in the traffic letter.
6. Sheet 7 shows a school crossing on WCR 5 at Colliers Parkway which needs signing at the crosswalk and in advance.
7. Sheet 8 shows a school crossing of WCR 5 at Flora View Drive. This crossing needs appropriate signing at the crosswalk and in advance.

8. Sheet 8 does not show the existing School Zone Speed Limit/Fines Double/Flashing Yellow Beacon/Your Speed radar sign assembly southbound approaching the Soaring Heights access. This sign assembly may need to be reset with improvements to WCR 5. An existing "End School Zone" sign is not shown opposite this assembly. This sign may also need to be reset, or replaced with a "Speed Limit 45" sign.
9. The left-turn and right-turn lanes at Flora View Drive do not meet standards for the 45 MPH speed limit. Auxiliary lanes should provide 275 feet full-width deceleration and 160 feet of taper (435 feet total).

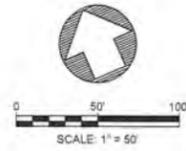
The above comments constitute my review. Please call if you have questions or if I can provide any additional information.





PEDESTRIAN SIGNING AT CROSSWALK IN ADVANCE ON FLORA VIEW

NEED PEDESTRIAN CROSSING SIGNS ON FLORA VIEW W/ ADVANCE SIGNS



SCALE VERIFICATION  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

72 HOURS BEFORE THE DATE OF THE MEETING  
 CENTER OF COLORADO (U.S.G.C.)  
 811  
 U.S. ELECTRIC, TELEPHONE, CITY AND PARALLEL CUSTOMER PIPELINE LOCATIONS

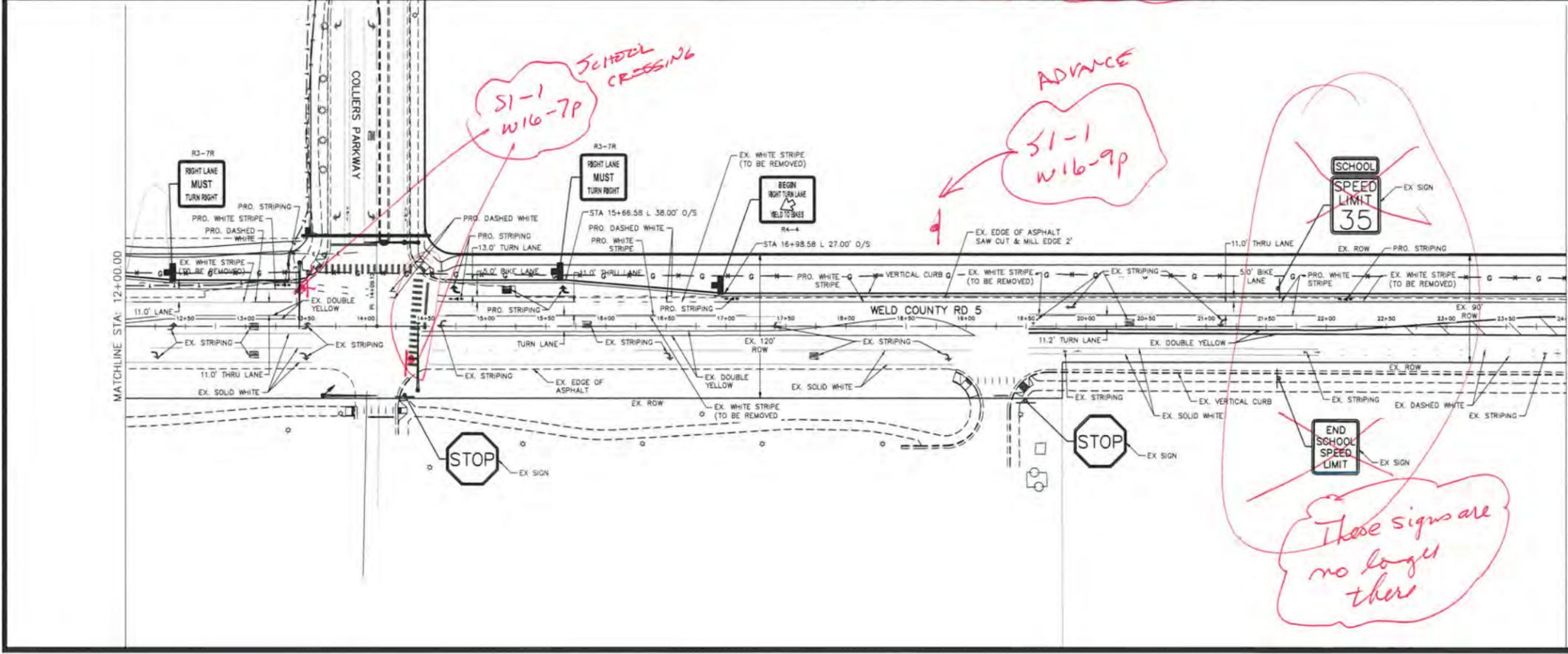
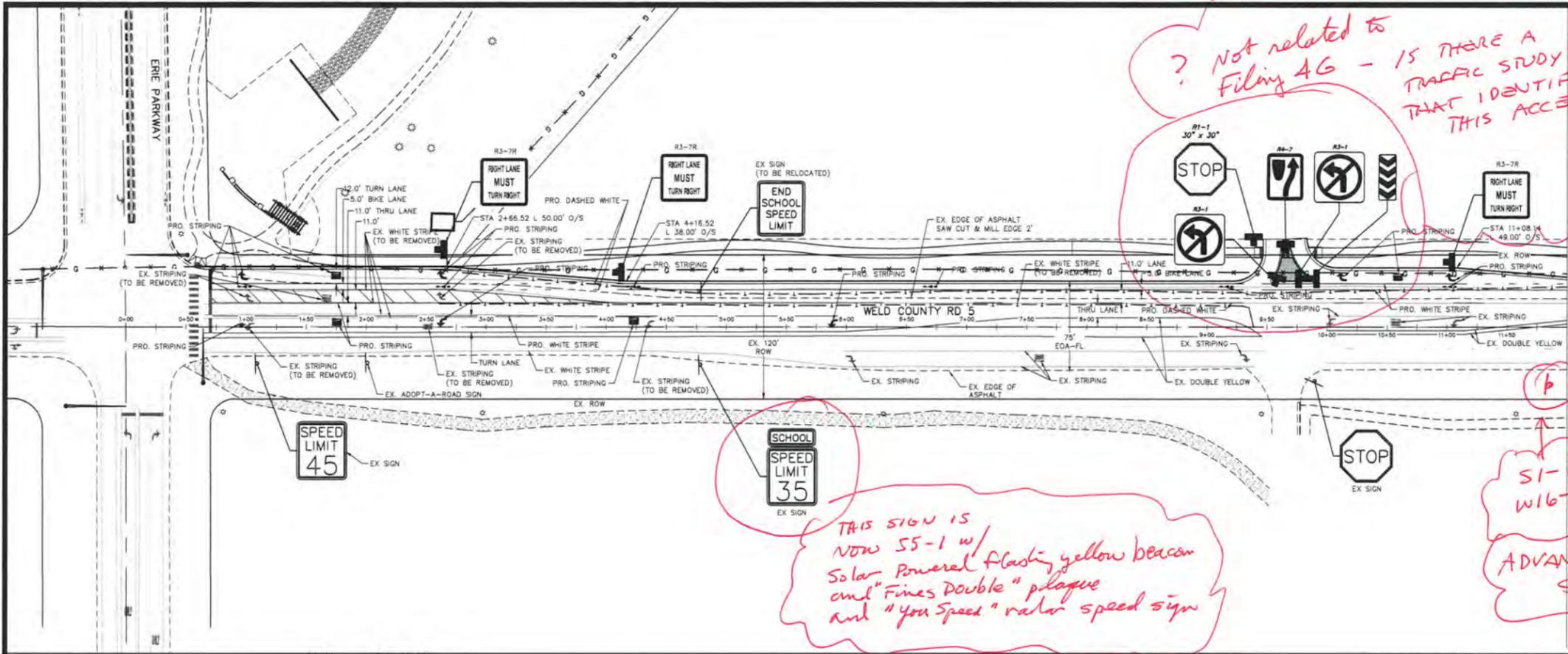
NO.	DESCRIPTION	DATE	BY

HURST & ASSOCIATES, INC.  
 1265 S. Public Road, Suite B  
 Lafayette, CO 80026  
 303.449.9105

**HURST**  
 CIVIL ENGINEERING  
 PLANNING  
 SURVEYING

COLLIERS HILL FIL 4G - PP-001137-2020  
 PRELIMINARY CONSTRUCTION PLANS  
 FLORA VIEW DRIVE  
 SIGNING & STRIPING PLAN  
 Prepared for: DAYBREAK RECOVERY ACQUISITION, LLC

DRAWN BY: EEB	DESIGNED BY: JJ	DRAWING NAME: FLORA VIEW STRIPING	APPROVED BY: JJ
JOB NUMBER: 2527-02	DATE: 01/24/2020	SCALE: 1"=50'	SHEET NO: 15



? Not related to Filing 4G - IS THERE A TRAFFIC STUDY THAT IDENTIFIES THIS ACCESS?

THIS SIGN IS NOW 55-1 w/ Solar Powered flashing yellow beacon and "Fines Double" plaque and "You Speed" radar speed sign

ADVANCE THE SCHOOL CROSSING!

SCHOOL CROSSING  
51-1 w/16-7P

ADVANCE  
51-1 w/16-9P

These signs are no longer there

SCALE VERIFICATION  
BAR IS ONE INCH OR ORIGINAL DRAWING  
IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

DATE: 01/24/2020  
BY: J.J.  
CHECKED BY: J.J.  
DESIGNED BY: J.J.  
DRAWING NAME: WCRS-SIGN  
APPROVED BY: J.J.

NO.	DESCRIPTION	DATE

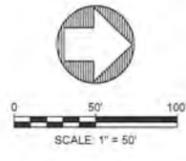
REVISIONS

HURST & ASSOCIATES, INC.  
1285 S. Public Road, Suite B  
Lafayette, CO 80026  
303.449.9105

**HURST**  
CIVIL ENGINEERING  
PLANNING  
SURVEYING

WELD COUNTY ROAD 5  
PRELIMINARY CONSTRUCTION PLANS  
SIGNING & STRIPING PLAN  
1 OF 2  
Client

DATE: 01/24/2020  
SCALE: 1"=50'  
SHEET NO: 7



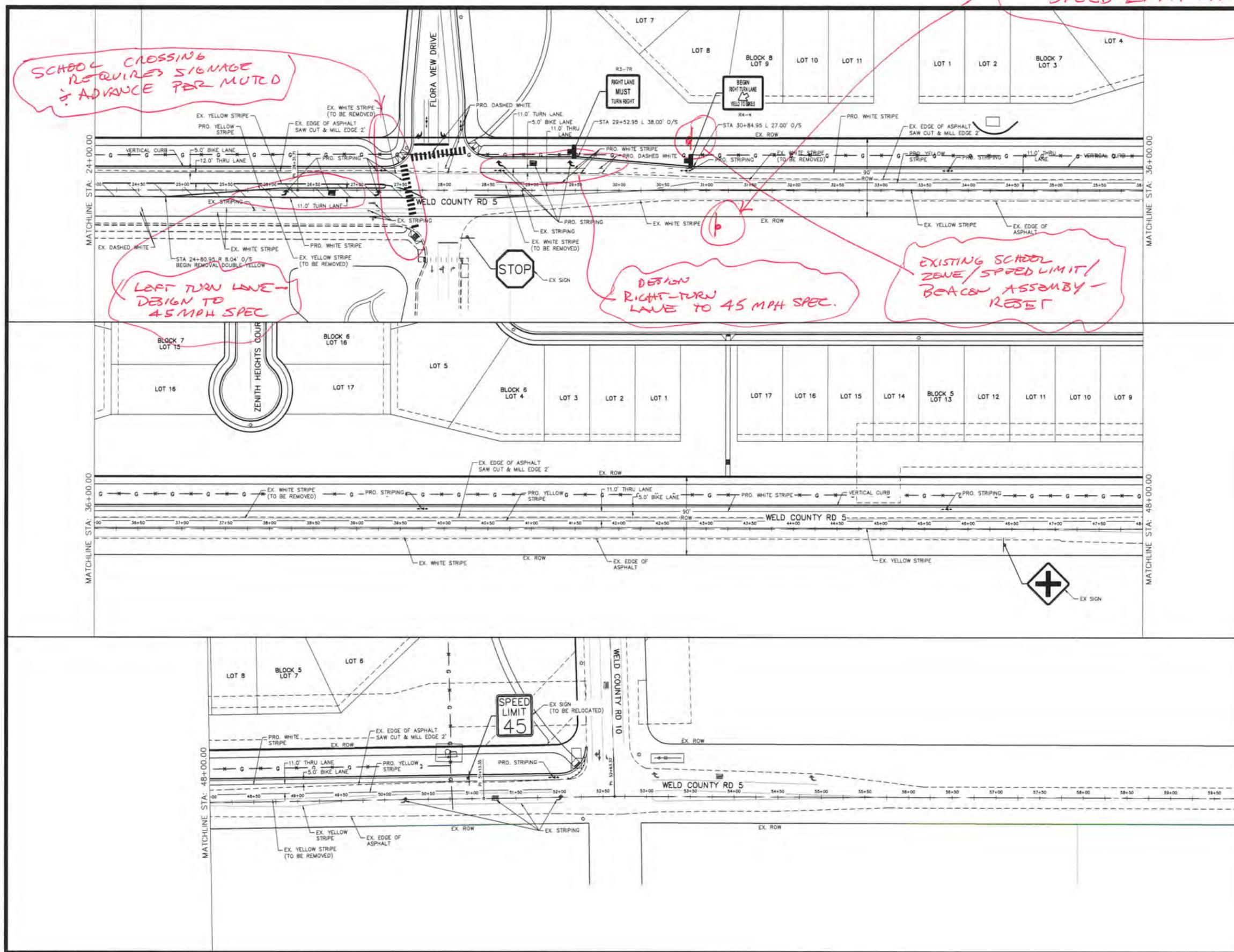
"END SCHOOL ZONE" OR "SPEED LIMIT 45" SIGN

SCHOOL CROSSING REQUIRES SIGNAGE & ADVANCE PER MUTCD

LEFT TURN LANE - DESIGN TO 45 MPH SPEC

DESIGN RIGHT-TURN LANE TO 45 MPH SPEC.

EXISTING SCHOOL ZONE / SPEED LIMIT / BEACON ASSEMBLY - RESET



SCALE VERIFICATION  
BAR IS ONE INCH ON ORIGINAL DRAWING  
IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
NO. DESCRIPTION  
REVISIONS

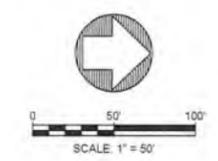
NO.	DESCRIPTION

HURST & ASSOCIATES, INC.  
1285 S. Public Road, Suite B  
Lafayette, CO 80026  
303.449.9105

**HURST**  
CIVIL ENGINEERING  
PLANNING  
SURVEYING

WELD COUNTY ROAD 5  
PRELIMINARY CONSTRUCTION PLANS  
SIGNING & STRIPING PLAN  
2 OF 2  
Prepared for: CLIENT

DRAWN BY: EB  
DESIGNED BY: JJ  
DATE: 01/24/2020  
JOB NUMBER: 2527-02  
SCALE: 1"=50'  
SHEET NO: 8



## Chris LaRue

---

**From:** Dan Hill <dhill@udfcd.org>  
**Sent:** Thursday, January 30, 2020 1:33 PM  
**To:** Development Referral  
**Cc:** Jim Watt  
**Subject:** MHFD Comments - Colliers Hill Filing 4G

Chris,

This is in response to the request for our comments concerning the Colliers Hill Filing 4G (PP-001137-2020) project. We have no comment, as it is outside our district boundaries. We do not need to receive any future submittals on this project.

Please feel free to contact Jim with any questions or concerns.

Thank you,

### **Dan Hill, P.E., CFM**

Engineering Technologist

#### **MILE HIGH FLOOD DISTRICT**

2480 W. 26th Ave Suite 156-B | Denver, Colorado 80211

**Office:** 303-455-6277 | **Direct:** 303-749-5427 | [www.mhfd.org](http://www.mhfd.org)

*Protecting People, Property, and our Environment*

**MHFD**

**MILE HIGH FLOOD DISTRICT**



---

**From:** Dan Hill  
**Sent:** Tuesday, May 14, 2019 08:54  
**To:** developmentreferral@erieco.gov  
**Cc:** Jim Watt <jwatt@udfcd.org>  
**Subject:** UDFCD MEP Comments - Colliers Hill Filing 4F

Chris,

I am sending the attached letter on behalf of Jim Watt in response to the Colliers Hill Filing 4F project. It is outside UDFCD boundaries and therefore ineligible for maintenance.

Thanks,  
Dan



## MOUNTAIN VIEW FIRE RESCUE

3561 N. Stagecoach Road • Longmont, CO 80504

(303) 772-0710 • FAX (303) 651-7702

January 31, 2020

Mr. Chris LaRue  
Town of Erie  
645 Holbrook Street  
Erie, CO 80516

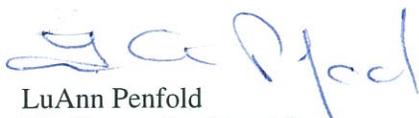
Dear Mr. LaRue:

I have reviewed the submitted material pertaining to the Preliminary Plat for Colliers Hill Filing 4G (Case Number: PP-001137-2020) and shall make the following comments:

- Fire apparatus access appears to be satisfactory as shown on the plans submitted.
- Hydrant spacing appears to be adequate as shown on the plans.

Nothing in this review is intended to authorize or approve of any aspect of this project that does not comply with all applicable codes and standards. We appreciate being involved in the planning process, should you have any questions please contact me at 303-772-0710 x 1121.

Sincerely,

  
LuAnn Penfold  
Fire Prevention Specialist

cc: project file

lp01.17.20



TO: Town of Erie  
Darren Champion

FROM: Plan West Inc.  
David Brehm – [dbrehm@planwest.com](mailto:dbrehm@planwest.com)

DATE: March 4, 2020

PROJECT: Colliers Hill Filing 4G – Preliminary Landscape Plan  
Dated 01.24.2020 – Submittal 01  
**Parks-Related Review**

Below are the Parks-related review comments for the submittal.

**GENERAL COMMENTS**

1. The plans are preliminary showing the overall planting concept.
2. The design intent and plans are well organized and clear

**OBSERVATIONS AND SUGGESTIONS:**

1. Add a tabulation for parks. A .74 acres tract is shown on sheet 5 but not labeled as a pocket park. The narrative provides some detail as to the intent of the park with a commitment to provide amenities to meet the City's requirements.
2. We suggest Tract H be labeled on the landscape plan as a pocket park.
3. Tract H meets the for visibility, access and location of a pocket park
4. Pocket parks are required to be 0.5 acres for 1,000 people. The narrative lists approximately 205 SFD units. The 0.74-acre tract should exceed the 0.5-acre requirement.
5. Commitments for neighborhood and Community parks are not noted. Confirm a tabulation of all parks is provided.
6. We assume street trees on the interior streets will be provided with the construction of the homes. Do plans need to show where those trees could be located to help assure there are no conflicts with driveways and the water and sewer service lines to each unit?
7. Show site distance lines at the intersections to confirm the proposed street do not obstruct these safety view corridors.

We look forward to reviewing the detailed landscape and park amenity plans.

---

**End of Comments**

Attachments: Preliminary Plat Narrative dated January 10, 2020 provided by the applicant. Heighted sections add for this review.

January 10, 2020

Mr. Chris LaRue  
Town of Erie Community Development  
645 Holbrook Street  
Erie, Colorado 80506

**Re: Colliers Hill: Filing 4G Preliminary Plat**

Dear Mr. LaRue,

Following please find our letter of introduction and project description for the seventh filing of the second phase of development within the Colliers Hill community located east of the current filing 4C, west of Weld County Road 5, South of Weld County Road 10, and north of Colliers Parkway. Filing 4G includes Villages 13 and 14 of the current Bridgewater P.U.D. Approximately 205 single-family front-loaded homes are proposed over approximately 57.0 acres (total preliminary plat area is 82.01 acres which includes a future residential tract and neighborhood park) for a total proposed density of 3.7 dwelling units per acre.

**Land Use Description**

Proposed single-family detached homes within Filing 4G may range in size from 5,000 sf to 6,000 sf. These single-family detached homes are proposed to be located east of current Filing 4C and will be similar in size and character to currently proposed homes within that filing. Homes are designed in walkable blocks generally oriented in a north-south alignment to maximize solar benefits and views to the west. Homes will be served from garages accessed from the street and will accommodate ample parking via enclosed garages and driveways. These homes will continue the high level of quality and character currently existing in the community.

**Parks and Open Space**

Homes within Filing 4G will be served by a Pocket Park (+/-0.74 acres) located central to the filing area to best serve surrounding residents. Amenities within this Pocket Park will reflect standard Town of Erie Pocket Park requirements, similar to other Pocket Parks within the Colliers Hill community. The proposed Pocket Park shall be owned and maintained by the overseeing H.O.A.

The included amenities to this Pocket Park are as follows:

Colliers Hill 4G Pocket Park will have a park identification sign, immediately followed by a bocce ball lawn and a bermed/sculpted lawn area with benches scattered in between. The center of the Pocket Park will be dedicated to open turf area, surrounded by a boulder play area, 525 square foot shelter, picnic tables, xeric display gardens and planting beds. In addition, a space adjacent to the pocket park will include a mix of planting beds and native seed.

Additionally, a landscape buffer along Flora View Drive is proposed to include a secondary monument, redi-rock wall, turf shrub beds, native seed and detached sidewalks.

All parks and amenity areas shall be accessible to the residents via pedestrian trail linkages and mid-block crossings. These pedestrian routes will tie into the larger open space and trails network proposed within Colliers Hill. Other pedestrian routes are provided through detached sidewalks along public roadways.

No open space is proposed to be dedicated with this filing.

### **Phasing / Development Time-Line**

Phasing is market driven and will follow current plans for construction.

### **Existing and Proposed Utilities and Public Services**

There are currently existing utilities and easements that parallel Weld County Road 5 and Weld County Road 10. All other proposed utilities will be determined and located at time of Preliminary Plat Application. Anticipated public services and their providers are listed below:

Electric – United Power

Water – Town of Erie

Gas – Xcel Energy

Sewer – Town of Erie

Fire Service – Mountain View Fire Department

Schools – St. Vrain Valley School District

### **Mineral Rights**

There are many known surface use agreements with the community. Copies of these surface use agreements are provided with this application. Many of the oil and gas operations areas originally approved with the Bridgewater P.U.D. have been renegotiated and are planned to be capped, abandoned, and relocated to the north, near the southwestern portion of the southeastern quarter of Section 8. An oil and gas well originally shown north of the future Neighborhood Park and west of Filing 4G is planned to be capped and abandoned and will be relocated. A 50' buffer, per Code, will be utilized around the future capped site and the well will be contained to a private tract (Tract E).

### **Additional Applications**

Included as a separate application with this Preliminary Plat application is P.U.D. Amendment No.5 request which includes adjustments to the Bridgewater P.U.D. map to better reflect approved plats and establish development criteria for future townhome and multi-family development

We hope that this provides a comprehensive summary of the Filing 4G Preliminary Plat proposal. Feel free to contact me directly should you have any comments, questions and/or requests for additional information.

Sincerely,  
Norris Design



Samantha Crowder  
Senior Associate

## Chris LaRue

---

**From:** Woodruff, Clayton <Clayton.Woodruff@RTD-Denver.com>  
**Sent:** Thursday, March 12, 2020 9:43 AM  
**To:** Development Referral  
**Subject:** RE-Preliminary Plat - Colliers Hill Filing 4G

Sorry this is a couple of days late but the RTD has no comment on this project



**C. Scott Woodruff**  
**Engineer III**

Regional Transportation District  
1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202

o 303.299.2943 | m 303-720-2025  
[clayton.woodruff@rtd-denver.com](mailto:clayton.woodruff@rtd-denver.com)



RE:

Dear

Thank you for referring the \_\_\_\_\_ to the School District. The District has reviewed the development proposal in terms of (1) available school capacity, (2) required land dedications and/or cash-in-lieu fees and (3) transportation/access considerations. After reviewing the above proposal, **the School District finds and \_\_\_\_\_ exceed the benchmark.**

**General Comments:**

Detailed information on the specific capacity issues, the land dedication requirements and transportation impacts for this proposal follow in Attachment A. The recommendation of the District noted above applies to the attendance boundaries current as of the date of this letter. These attendance boundaries may change in the future as new facilities are constructed and opened. If you have any further questions or concerns regarding this referral, please feel free to contact me via e-mail at [kragerud\\_ryan@svvsd.org](mailto:kragerud_ryan@svvsd.org) or at the number below.

Sincerely,

Ryan Kragerud, AICP  
Planning/GIS

Enc.: Attachment A – Specific Project Analysis  
Cash-in-lieu chart

**ATTACHMENT A - Specific Project Analysis**

**PROJECT:**

**(1) SCHOOL CAPACITY**

The Board of Education has established a District-wide policy of reviewing new development projects in terms of the impact on existing and approved school facilities within the applicable feeder system. Any residential project within the applicable feeder that causes the 125% school benchmark capacity to be exceeded within 5 years would not be supported. This determination includes both existing facilities and planned facilities from a voter-approved bond. The building capacity, including existing and new facilities, along with the impact of this proposal and all other approved development projects for this feeder are noted in the chart below.

<b>SOARING HEIGHTS PK-8</b>													
<b>CAPACITY INFORMATION</b>				<b>CAPACITY BENCHMARK*</b>									
				<small>(includes projected students, plus development's student impact)</small>									
School	Building	Stdts.	Std.	2019-20		2020-21		2021-22		2022-23		2023-24	
Level	Capacity	Oct-18	Impact	Stdts	Cap.	Stdts	Cap.	Stdts	Cap.	Stdts	Cap.	Stdts	Cap.
Elementary (SHpK-5)	750	662	45	696	93%	738	98%	769	103%	800	107%	829	111%
Middle (SHMS 6-8)	375	338	21	400	107%	423	113%	421	112%	437	116%	454	121%
High (EHS)	1456	1349	23	1459	100%	1514	104%	1562	107%	1608	110%	1654	114%
<b>Total</b>	<b>2581</b>		<b>89</b>	<b>2555</b>		<b>2676</b>		<b>2751</b>		<b>2845</b>		<b>2937</b>	

Specific comments concerning this proposal regarding School Capacity are as follows:

- Specific Impact* - This application add additional residential unit(s) and yield additional student(s) in the **feeder**.
- Benchmark Determination* – the affected schools exceed the benchmark within 5 years.
- Mitigation Options* -
- Phasing Plan* –

**(2) LAND DEDICATIONS AND CASH IN-LIEU FEES**

The implementation of the Intergovernmental Agreement (IGA) Concerning Fair Contributions for Public School Sites requires that the applicant either dedicate land directly to the School District along with provision of the adjacent infrastructure and/or pay cash-in-lieu (CIL) fees based on the student yield of the development. CIL fees provide funds for land acquisition and water rights acquisition, which is only a small component of providing additional school capacity for a feeder. Specific comments regarding land dedications and CIL fees for this referral are as follows:

- Dedication and/or Cash-in-lieu Requirements* –. A land dedication is not required. Cash-in-lieu payments will be due. CIL is calculated for all residential units. Please see the attachments for additional information.

- Cash-in-Lieu per unit payment by housing type*

<input checked="" type="checkbox"/> Housing type:	Cash in lieu payment	Units proposed	Cost
<input checked="" type="checkbox"/> Single Family Unit	\$970		
<input checked="" type="checkbox"/> Duplex/Triplex Unit	\$846		
<input checked="" type="checkbox"/> Multi-Family Unit	\$589		
<input checked="" type="checkbox"/> *Condo/TH Unit	\$347		
<input checked="" type="checkbox"/> Mobile Home Unit	\$785		
			Total =

\*TH = Townhouse

- Dedication/Cash-in-lieu Procedures* – *Additional Cash in Lieu payment information can be found on the attached page. If discrepancies exist please call 303-682-7229. Payments can be made at the time of building permit in the St. Vrain Valley School District Business Office – 395 S. Pratt Parkway, Longmont.*

**3) TRANSPORTATION/ACCESS**

Transportation considerations for a project deal with bussing and pedestrian access to and from the project. Pedestrian access, in particular, is an important goal of the School District in order to facilitate community connection to schools and to minimize transportation costs. Specific comments for this application are as follows:

- Provision of Busing* - Busing for this project, under the current boundaries, provided at the
- Pedestrian/Access Issues* –

School Planning  
Standards And  
Calculation of  
In Lieu Fees

<b>Single Family</b>							
		<b>School Planning Standards</b>					
	<b>Number Of Units</b>	<b>Projected Student Yield</b>	<b>Student Facility Standard</b>	<b>Site Size Standard Acres</b>	<b>Acres of Land Contribution</b>	<b>Developed Land Value</b>	<b>Cash-in-lieu Contribution</b>
Elementary	205	0.22 45.1	525	10	0.86	\$80,117	
Middle Level	205	0.1 20.5	750	25	0.68	\$80,117	
High School	205	0.11 22.55	1200	50	0.94	\$80,117	
<b>Total</b>		88.15			2.48	\$80,117	\$198,848
Single Family Student Yield is		0.43					<b>\$970 Per Unit</b>

School Planning Standards And Calculation of In Lieu Fees

Duplex/Triplex							
		<b>School Planning Standards</b>					
	<b>Number Of Units</b>	<b>Projected Student Yield</b>	<b>Student Facility Standard</b>	<b>Site Size Standard Acres</b>	<b>Acres of Land Contribution</b>	<b>Developed Land Value</b>	<b>Cash-in-lieu Contribution</b>
Elementary	0	0.2 0	525	10	0.00	\$80,117	
Middle Level	0	0.09 0	750	25	0.00	\$80,117	
High School	0	0.09 0	1200	50	0.00	\$80,117	
Total		0			0.00	\$80,117	\$0
Duplex/Triplex Student Yield is		0.38					<b>#DIV/0! Per Unit</b>

School Planning Standards And Calculation of In Lieu Fees

Multi-Family							
School Planning Standards							
	Number Of Units	Projected Student Yield	Student Facility Standard	Site Size Standard Acres	Acres of Land Contribution	Developed Land Value	Cash-in-lieu Contribution
Elementary	0	0.15	525	10	0.00	\$80,117	
		0					
Middle Level	0	0.06	750	25	0.00	\$80,117	
		0					
High School	0	0.06	1200	50	0.00	\$80,117	
		0					
Total		0			0.00	\$80,117	\$0
							#DIV/0! Per Unit
Multi-Family Student Yield is		0.27					

School Planning Standards And Calculation of In Lieu Fees

Condo/Townhouse							
School Planning Standards							
	Number Of Units	Projected Student Yield	Student Facility Standard	Site Size Standard Acres	Acres of Land Contribution	Developed Land Value	Cash-in-lieu Contribution
Elementary	0	0.07 0	525	10	0.00	\$80,117	
Middle Level	0	0.04 0	750	25	0.00	\$80,117	
High School	0	0.04 0	1200	50	0.00	\$80,117	
Total		0			0.00	\$80,117	\$0
Condo/Townhouse Student Yield is							#DIV/0! Per Unit
		0.15					

School Planning Standards And Calculation of In Lieu Fees

<b>Mobile Home</b>							
		<b>School Planning Standards</b>					
	<b>Number Of Units</b>	<b>Projected Student Yield</b>	<b>Student Facility Standard</b>	<b>Site Size Standard Acres</b>	<b>Acres of Land Contribution</b>	<b>Developed Land Value</b>	<b>Cash-in-lieu Contribution</b>
Elementary	0	0.16 0	525	10	0.00	\$80,117	
Middle Level	0	0.09 0	750	25	0.00	\$80,117	
High School	0	0.09 0	1200	50	0.00	\$80,117	
<b>Total</b>		0			0.00	\$80,117	\$0
Mobile Home Student Yield is		0.34					<b>#DIV/0! Per Unit</b>



Your Touchstone Energy® Cooperative 

Hello,

Thank you for inviting United Power, Inc. to review and comment on the Colliers Hill Filing No. 4G. After review of the information, I did not see any side lot easements for streetlights. Please ensure when streetlight locations are identified that we have a 5' wide utility easement along one side of the lot closest to the streetlight location. I also read the easement notes for the residential lots and two of them indicate 6' wide utility easements, we need at least an 8' wide utility easement.

**For your reference:**

- **General** – United Power requires continuous utility easements for reliable electric facility installation. We need 8' to 10' wide utility easements along rear of all lots, sides of lots abutting roads, and across tracts. This allows United Power to install electric facilities in a continuous manner for our loop feed which provides reliability.
- **Tracts/Open Space/Parks** - 8' to 10' wide utility easements along perimeter of tracts, along perimeter of tracts abutting roads, and through tracts between lots. United Power prefers blanket utility use within tracts be dedicated as this gives us the opportunity to set above ground equipment, if needed and coordinated with the developer.
- **Streetlights** – When streetlight locations are identified, we need a 5' wide utility easement along one side of the lot closest to the streetlight location. All streetlight locations must be approved and signed off by the city/town, etc.

***As a Reminder:*** No permanent structures are acceptable within the utility easement(s); such as, window wells, wing walls, retaining walls, basement walls, roof overhang, anything affixed to the house like decks, etc. United Power considers any structure that impedes the access, maintenance, and safety of our facilities a permanent structure. No exceptions will be allowed, and any encroachments could result in penalties.

United Power would like to work with the developer early in the construction process on getting an electric design prepared so that we can request any additional easements needed and those easements can be dedicated on the plat rather than obtaining separate document(s). Obtaining easements via a separate document can be time consuming and could cause delays. The developer can visit <https://www.unitedpower.com/construction> and submit an application along with CAD data.

We look forward to safely and efficiently providing reliable electric power and outstanding service to future members.

Thank you,

A handwritten signature in black ink that reads "Samantha Riblett".

Samantha Riblett  
United Power, Inc  
Right of Way Administrative Assistant  
Main 303-659-0551 | D 303-637-1324



Right of Way & Permits

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571. 3284  
donna.l.george@xcelenergy.com

March 2, 2020

Town of Erie Community Development Services  
645 Holbrook / PO Box 750  
Erie, CO 80516

Attn: Chris LaRue

**Re: Colliers Hill Filing No. 4G Preliminary Plat, Case # PP-001137-2020**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has determined **there is a potential conflict** with the above captioned project. Public Service Company has existing electric transmission lines and associated land rights as shown within this property. Any activity including grading, proposed landscaping, erosion control or similar activities involving our existing right-of-way will require Public Service Company approval. Encroachments across Public Service Company's easements must be reviewed for safety standards, operational and maintenance clearances, liability issues, and acknowledged with a Public Service Company License Agreement to be executed with the property owner. PSCo is requesting that, prior to any final approval of the plat, it is the responsibility of the property owner/developer/contractor to go to the website at [www.xcelenergy.com/rightofway](http://www.xcelenergy.com/rightofway) or email [coloradorightofway@xcelenergy.com](mailto:coloradorightofway@xcelenergy.com) to have this project assigned to a Land Rights Agent for development plan review and execution of a License Agreement.

Donna George  
Right of Way and Permits  
Public Service Company of Colorado / Xcel Energy  
Office: 303-571-3306 – Email: [donna.l.george@xcelenergy.com](mailto:donna.l.george@xcelenergy.com)

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**To:** Chris LaRue, Senior Planner

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**cc:** Deborah Bachelder, Planning Manager/Deputy Director

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**From:** Ryder Reddick, Planner III

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**Date:** June 30, 2020

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**Subject:** Colliers Hill Filing 4G - Pre-Plat - PP-001137-2020 - Tetra Tech Planning Referral Comments

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### **Project Description:**

This project includes a Preliminary Plat proposal for Colliers Hill Filing 4G. The filing consists of approximately 205 single-family front-loaded homes that cover approximately 31.63 acres, dedicated public right-of-way covering approximately 15.38 acres and 10 dedicated tracts of land covering approximately 35 acres totaling out at approximately 82.07 acres of land. The 10 Tracts proposed in this development area are dedicated for landscaped as well as natural cover open space areas, parks (including one pocket park and one future neighborhood park), a future neighborhood amenity center, utility easements, pedestrian pathways and future development areas. The proposal includes the full extension of Flora View Drive east though the tract to intersect with Weld County Road 5, as well as additional local street extensions for internal road access.

### **Site Location Information:**

**General Location:** The property is located southwest and is adjacent to Weld County Road 10 and Weld County Road 5 and approximately ½ mile north of Erie Parkway.

**Legal Description:** A replat of Tract E of Colliers Hill Filing No. 4C, Located in the East ½ of Section 17, Township 1 North, Range 68 West of the 6<sup>th</sup> P.M. Town of Erie, County of Weld, Colorado.

### **Location map:**

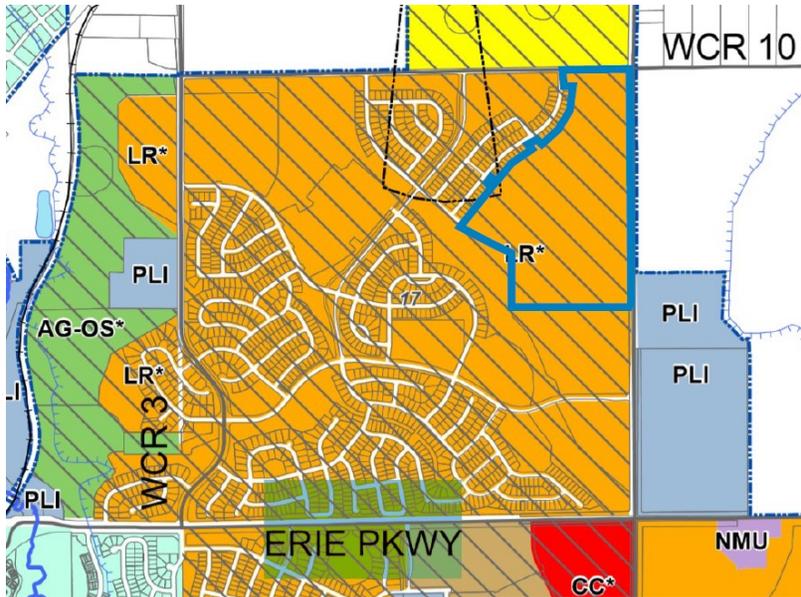
The subject property is highlighted in blue below:



**Erie Zoning Map:**

The Subject Property is zoned, Low Density Residential (LR\*)

\* = with a Planned Unit Development (PUD) Overlay



**Review Comments:**

**ALTA Survey Review:**

*Oil and Gas Utility Easement*

1. Per the revised ALTA survey submitted by the client in this resubmittal package, there is an existing 50-foot natural gas pipeline easement (Recorded Reception #2327121), within the subject parcel that is located in an area that is proposed for residential development per the preliminary Colliers Hill Filing 4G plat map. Reference Section **10.6.14.B.1** of the Town of Erie’s Unified Development Code (UDC); “Gas and oil well pipelines and their associated easements shall not be located on residential lots.”

An Oil and Gas Surface Use Agreement Area (recorded reception #3805168) is located on the subject parcel within an area that is also proposed for residential development per the preliminary Colliers Hill Filing 4G plat map. While this area currently looks as if it does not contain oil and gas above-ground operations, the recorded agreement states that this area has an agreement in place between the surface use owners and the mineral owners that designates this area for future oil and gas production facility locations. The recorded documents also specifically limit all future platting of lot lines anywhere within the permanent oil and gas operations areas. See Section **10.6.14.A.1** of the Town of Erie UDC, which explains setback standards to lots, buildings, streets, trails, and parks from existing wells and associated above-ground production facilities.

- *First off, It is acknowledged that the applicant (per the narrative provided in this resubmittal package) is currently working with the oil and gas companies to address all issues related to these existing easements and surface use agreement areas within this filing 4G area. To resolve these issues, please amend the plat map to meet the minimum setback standards for residential development from these locations or provide recorded documentation signed and notarized by both the mineral owners and the surface use owners showing that these oil and gas easements have been vacated.*

2. There are four natural gas pipeline easements running across Tract D of the preliminary plat according to the newest ALTA survey. These include:
  - An existing 20-foot Western Midstream pipeline easement containing two gas lines running north to south along the entire eastern edge of the plat area within Tract D (Recorded Reception #3506265)
  - An existing 50-foot Kerr McGee Gathering, LLC., Natural gas pipeline easement crossing the north east corner of plat area within Tract D (Recorded Reception #4571526)
  - An existing 50-foot Kerr McGee Gathering, LLC., Natural gas pipeline easement crossing the entire northern edge of the plat area within Tract D (Recorded Reception #3803734)
  - An existing 30-foot Encana Oil and Gas, INC., Natural gas pipeline easement crossing the entire northern edge of the plat area within Tract D (Recorded Reception #4060666)
  
  - *Again as with Item 1 above, It is acknowledged that the applicant (per the narrative provided in this resubmittal package) is currently working with the oil and gas companies to address all issues related to these existing easements within this filing 4G area. There will be improvements that impact this easement area within tract D. Specifically, landscaping including canopy trees along the eastern edge of the parcel within the Western Midstream Easement and a sidewalk within all the above easement areas. Please provide written proof that all easement holders accept the improvements within these easement areas.*
  
3. There is an existing 180-foot Public Service Company of Colorado overhead electric utility line, crossing the entire northern edge of the plat area within Tract D (Recorded Reception #1551487).
  - *It is acknowledged that the applicant is working with the Public Service Company of Colorado to address any and all issues the utility company may have with this proposed development. There will be improvements that impact this easement area within tract D. Specifically, landscaping and a sidewalk within this easement area. Please provide written proof the easement holder accepts the improvements within this easement area.*
  
4. There is an Existing Electrical Cabinet shown near the furthest Southwestern point of the Filing 4G area near the edge of the future neighborhood park tract neighborhood Tract B close to the Proposed ROW for Flora View Drive.
  - *Please provide information regarding this electrical cabinet area. Does it sit within the utility 60' utility easement called out (Reception # 4311236) or is it located just outside this area? Please provide a narrative explaining the location and label this cabinet on the Preliminary plat and landscape plan for easy reference.*

### Preliminary Plat Review:

#### **Chapter 5, Section 10.5.4 Layout and Design Generally:**

- A. Name of Subdivision:** Colliers Hill Filing 4G
  
- B. Natural and Scenic Resource Protection:** Per the Open Space and Trails Advisory Board (OSTAB) Referral Dated March 10, 2020, There are no Natural Area Inventory (NAI) sites within the application and there is no dedicated open space proposed in this filing as the open space requirements for the overall PUD area was met in earlier filings. Please address the comments from the Town of Erie OSTAB.
  
- C. Natural Hazard Areas:** Land subject to hazardous conditions such as landslides, rock falls, expansive soils, mine subsidence, mine shafts, shallow water table, open quarries, floodplains, and polluted or non-potable water supply shall be identified and shall not be subdivided until the hazards have been mitigated or will be mitigated by the subdivision and construction plans.

Per the Colorado Geological Survey (CGS) Referral provided by Jill Carlson on March 5, 2020, CGS has no objection to the Colliers Hill Filing 4G preliminary plat approval, provided that the previous comments provided under Colliers Hill Filing 4C are adhered to. Those conditions have been listed below and shall be met as conditions of approval prior to construction of the proposed development.

- *Low subsidence potential:* Available mine mapping indicates that Filing 4G is undermined by worked-out (all coal removed) areas of the State Mine, also known as Boulder Valley (mine map dated April 24, 1946). CTL's subsidence investigation indicates that the depth of mining in this area is about 200 feet below the ground surface. Based on the depth of mining and thickness of bedrock over the undermined zone, CTL Thompson interprets the subsidence hazard in this portion of Colliers Hill as low, with no restrictions on foundation length or other mitigation recommendations (page 11 of CTL's Subsidence Investigation, October 14, 2010). CGS agrees that "Typical building code requirements for foundation walls to be reinforced to simply span a minimum of 15 feet should apply."
  - *Unmapped shafts:* No entry or air shafts are mapped within Filing 4G. However, it is possible that unmapped air shaft(s) or other mining-related feature(s) exist within the subject site. All grading activities should be carefully observed to identify any unmapped shafts or other mining features. The developer, architect, engineer, builder, earthmoving contractors, and field inspection staff should be made aware that portions of the Colliers property are undermined, unmapped shafts may be present, and there is a risk of sinkholes and other subsidence-related features developing. If subsidence feature(s) or shaft(s) are observed, mitigation and/or possible development reconfiguration would be required.
  - *Highly expansive soils and bedrock, and collapsible soils:* CTL Thompson's Due Diligence Geotechnical Review (October 6, 2010) summarizes several previous geotechnical investigations consisting of widely spaced borings and laboratory testing. Colliers Hill is underlain by some of the most moisture sensitive soils encountered in Weld County. Extremely high swell values of up to 14.7 percent (when wetted under an applied load of 1000 psf) were observed in several borings, and swell values representing a high or very high risk of damage to roads, slabs, and foundations were observed in about half of the 20 borings evaluated. Low density, compressible soils, exhibiting compaction under loading and wetting, were also observed; several borings yielded samples of both expansive and compressible soils.
  - *Comprehensive geotechnical investigation:* A comprehensive, filing-specific geotechnical investigation, including drilling, sampling, lab testing and analysis, will be needed to (1) characterize subsurface conditions such as depths to groundwater and bedrock, (2) characterize soil and bedrock engineering properties such as density, strength, water content, and swell-consolidation potential, (3) delineate over-excavation areas and depths, and (4) design foundations, floor systems, subsurface drainage systems, pavements, etc.
- D. Adjoining Subdivision:** It appears, based on the documentation provided to Tetra Tech, that public road rights-of-way (ROW) utility and drainage easements, and open space are designed to coordinate with the adjoining subdivision filings. Per the proposed Landscape Plans provided additional pedestrian walkways are needed for adequate access to the pedestrian walking path along Weld County Road 5. *Please provide the following new trail connections (at least five feet in width):*
- *From the end of Zenith Heights Court (cul-de-sac) to the trail along CR 5. This is required per UDC Section 10.6.5 D.2.e. It is acknowledged that this areas topography may not be ideal for a walking path design however it is required per the Towns of Erie UDC. As such we would suggest that the path be proposed to include stair access where the topography may be to steep to safely design a pedestrian walkway without these added features.*
  - *While it is not a requirement per the Town of Erie UDC, pedestrian walkways are highly suggested for increased connectivity to the surrounding subdivisions and neighborhood amenities from tract D where it intersects Lumber Ridge Circle North & Lumber Ridge Circle South to the trail along CR 5.*



**E. Lots:** The minimum single-family lot size for the Colliers Hill Filing 4G must be 5,000 square feet per the Town of Erie UDC **10.4.1.A Residential Commercial Standards**, Table 4-1. The lots in this filing, range from 5,720 square feet to 17,069 square feet, therefore, it appears that this standard has been met.

1. *Regarding minimum width standards, which are also called out in the Town of Erie UDC **10.4.1.A** For a single-family residential lot, in the LR zone district the minimum lot width for a corner lot is 60 feet and the minimum width for all other lots is 50 feet which is established at right angles from the established front setback line defined under chapter **10.11.3 Terms Defined** in the Town of Erie UDC. After reviewing the plat and the provided lot fit analysis it appears that this standard has been met for all proposed lots within this filing.*

*Please update this Amenity Area currently shown as a "Tract" to be shown and called out as a "Lot" instead. Per the Town of Erie UDC Section 10.11.3, A Tract is defined as :*

*"A Tract is a legally defined parcel of land on a plat that will **not** have residential, commercial, or industrial buildings located on them."*

*Per this definition a Tract is non buildable therefore this amenity area will need to be updated and dedicated as a Lot on the plat. We would suggest this Amenity Lot be called out as: Lot 1 Block 15 moving forward. See also, redline notes provided on the Preliminary Plat.*

**F. Blocks:** There are 14 total blocks proposed in this filing. Per the Town of Erie UDC **10.6.5.D.3**. The maximum length of blocks between intersecting streets shall be 1,500 feet. Also, the average block face across each development site shall be a maximum of 600 feet. Based on the provided block length analysis, the block configuration proposed in this submittal meets these code requirements.

**G. Streets:** Streets shall meet the minimum standards as outlined in the Erie street standards and access requirements. All streets proposed in this filing are considered local roads requiring a 60-foot ROW. Sienna Peak Circle is shown with only 50 feet of proposed ROW which does not meet the minimum standards. *Please update the pre-plat to include the additional 10 feet of ROW for the full stretch of Sienna Peak Circle. To do this please consider adjusting the residential Lot sizes and/or Tract H.*

All additional naming requirements requested by planning staff after the initial pre-plat review have been satisfied.

**H. Alleys:** There are no proposed Alleys included in this filing.

**I. Sidewalks, Curbs and Gutters:** the proposed Landscape Plan illustrates a 5-foot detached sidewalk on each side of the proposed street, as well as curb and gutter. The plan also shows proposed 5-foot concrete sidewalks around the proposed pocket park and along the pedestrian corridors throughout the filing area which meet the minimum standards outlined in the Town of Erie UDC. See above adjoining subdivisions section for additional pedestrian sidewalks that are needed to meet the minimum design standards for this submittal.

**J. Utility Easements:** The Town of Erie UDC states that utility easements should follow side and rear property lines whenever practicable. The proposed Colliers Hill Filing 4G pre-plat illustrates 8-foot utility easements along the rear of all proposed residential lots and 10-foot utility easements along the all road ROW, which includes the frontage of every residential lot in this filing. The plat also shows 5-foot utility easements along the sides of numerous lot lines throughout the filing and calls out 6-foot utility easements along the sides of all lots that are adjacent to tracts or rears of adjacent residential lots. It appears, based on the documentation provided to Tetra Tech, that the utility easements fulfill the Town of Erie's standards set in the UDC.

**K. Stormwater Drainage –** stormwater drainage shall follow the City's Urban Drainage and Flood Control District standards. Please address all Town of Erie Public Works Comments related to stormwater drainage and the drainage report submitted with this application resubmittal.



- L. **Water and Wastewater Lines** – *Please address all Town of Erie Public Works comments related to Potable Water and Sanitary Sewer Lines.*
- M. **Water Courses and Ditches** - The requirements and standards in the Town of Erie UDC **10.6.2.B**, shall apply to all subdivision plats.
- N. **Water Supply** - The requirements and standards in Title 8 of the municipal code apply to all subdivision applications. *Please address all Town of Erie Public Works comments related to connecting to the Municipal water supply.*

**Parks, Open Space and Trails:**

The Town of Erie UDC requires a variety of parks, open space and trails for residential development. A combination of pocket parks, neighborhood parks, community parks and open space are required. The UDC requires 0.5 acre of pocket parks per 1000 residents, 3 acres of neighborhood parks per 1000 residents, 5 acres of community parks per 1000 residents, and 17 acres of open space per 1000 residents. The average household size in Erie is 2.89 persons per unit.

For Colliers Hill Neighborhood Filing 4G the overall PUD is providing enough open space and park requirements through the existing and/or proposed filings. *Please address all OSTAB referral comments dated March 10, 2020.*

**Pocket park requirements for Filing 4G:**

Using this calculation  $0.5 \times 205 \times 2.89/1000 = 0.30$  acres of pocket park are required. The preliminary plat shows the proposed pocket park for this filing exceeds this minimum requirement, as it is proposed to be +/- 0.63 acres.

Looking at the pocket park exhibit provided in the resubmittal package provided, while a portion of Block 8 will be outside of the ¼ mile minimum radius from the pocket park within the 4G tract that area is still well within ¼ mile from the proposed neighborhood park area. As such the pocket park requirement for Filing 4G is meets the minimum requirements per the Town of Erie UDC.

**Landscape Plan Review:**

*Town of Erie UDC Section 10.6.4 - Landscaping, Screening and Fencing*

**E. Minimum Landscaping Requirements**

1. **ROW:** Per the Town of Erie UDC **10.6.4.E.1.a**, the landscaping plans need to show one deciduous or ornamental street tree for every 40 linear feet of street frontage or portion thereof, with a minimum of 2 trees per lot for lots that have a minimum width of 60 feet. Street trees shall be planted within the tree lawn portion of the ROW with adequate spacing to allow for the mature spread of the trees. When a tree lawn is not provided, trees shall be planted within 10 feet of the back of curb.

The preliminary landscape plan adequately addresses the minimum requirements for spacing of trees within the 4G filing. The plans show the correct tree spacing within the public spaces (tracts) within the filing. Also note #2 (provided on sheets L-2 through L-13) explains that builder and not the developer will add these trees upon final lot development after the filing has been approved.

2. **Water Efficiency in Landscape Design:**

- a. "Appropriate turf selection to minimize the use of bluegrass."

The landscaping plans reference that the sod to be used consists of three (3) varieties of Bluegrass throughout the development. Along with other native grasses throughout the landscaped areas.

*This variety of grass types meets the landscape requirements for water efficiency in the Town of Erie UDC.*

- b. "Use of mulch to maintain soil moisture and reduce evaporation."

*The plans illustrate 1-to-4-inch high quality fibrous shredded woodchips will be used within the planting areas throughout this filing. this meets the standards requested in the Town of Erie UDC.*

- c. "Efficient irrigation systems"

*The landscaping plan does not provide specific information regarding the irrigation system; this needs to be added to the landscape plan.*

### **3. Water Efficiency in Irrigation Design:**

The landscaping plan does not show specific information regarding the irrigation system; this needs to be addressed on the plan set.

### **4. Common Open Area Landscaping**

"Landscaping shall be appropriate to the use and function of the area and include trees, shrubs, live plant groundcover, a water-efficient irrigation system for all landscaped areas, and paving."

*The landscape plan seems to address all areas of the common open area landscaping except for the water efficient irrigation system. The addition of an irrigation plan for the common open space areas is required and needs to be included in the final landscape plan set.*

### **5. Miscellaneous Land Scape Plan Design Comments**

*The western lot lines for Tract E need to be adjusted to move it closer in towards the adjacent lot western boundary lines. Tract E only needs its western boundary to encompass the extent of the buffer area and no further. See Town of Erie UDC Neighborhood Parks Chapter 6 Section 10.6.3.B.4.b.vi.F. Also see redline note provided on sheet L-2 & L-7 of the preliminary landscape Plan.*

Memo

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To: Chris LaRue  
From: David Pasic, P.E., Civil Engineer  
Date: June 24, 2020  
Subject: **Colliers Hill Filing 4G Preliminary Plat Comments #2**  
CC: Chad Schroeder, Wendi Palmer, Tyler Burhenn

---



**Previous Comments provided at Sketch Plan:**

2. Existing oil and gas structures located along the existing WCR Frontage shall be relocated to be outside of the WCR 5 Minor Arterial Build Out Right-of-Way.
3. Weld County Road (WCR) 5
  - b. Per the Annexation Agreement (Section XII.C.2), “the Owner agrees to reimburse \$263,800, excluding any costs for right-of-way acquisition, to SVVSD for its pro-rata share of the improvements constructed by SVVSD, which are not reconstructed by Owner with the WCR 5 improvements, at such time as the Town issues a construction permit for Owner's improvements to WCR 5 as determined by the Director of Public Works.”  
Town Follow-Up: No response provided. Please acknowledge. Comment to remain in place.
4. A preliminary utility plan was not provided and is not required until preliminary plat so detailed comments on a proposed utilities design cannot be provided. However, we do have the following general water and sanitary sewer comments:
  - c. Per the Annexation Agreement (Section XI.G.4), “the Owner agrees to reimburse \$47,134 to the St. Vrain Valley School District for its pro-rata share of the water line improvements constructed by the St. Vrain Valley School District, concurrent with the recordation of the first final plat along WCR 5.”  
Town Follow-Up: No response provided. Please acknowledge. Comment to remain in place.

**Previous Traffic/ WCR 5/ Flora View Town Comments:**

1. The Town would like to discuss having WCR 5 be built out in full from Erie Parkway to WCR 10 with Filing 4G with the Town to reimburse for the east half build out. Please reach out to David Pasic with the Town to set up a meeting to discuss. The Town would also need to know the approximate cost associated with the east half build out prior to making a decision.  
**Response: We can certainly discuss the Town’s participation to build the east half of WCR 5. The Town would need to participate and fund the east half during construction. The Colliers Hill Metro. District would not have the ability to fund the east half construction and get reimbursed. This would be similar to the cost sharing the Town and District agreed to on the extension of the 16” water main. Hurst and Associates can provide an estimated cost to construct the east half. Let us know when you would like to meet.**

**Drainage Comments from Merrick 3/11/2020 responses and follow-up:**

**Phase II Drainage Report:**

2. All drainage reports must be standalone documents and must include excerpts from previous studies (i.e. Phase III Drainage Report for Colliers Hill Filings 4 and 5) that provides an overall understanding of the project site and

how runoff is planned to be managed both onsite and offsite, including drainage plan drawing and vicinity map. Highlight pertinent information. For this site, include excerpts from the overall master drainage plan in order to show that Filing 4G is consistent with the master planned design.

**Response: Acknowledged.**

Town Follow-up: Please include excerpts from Master Filing 4 Drainage Report to verify consistency with proposed design.

3. In Section IV, the 36-inch RCP across WCR 5 that carries 100-year flow will outfall to an 18-inch RCP with 2-year flow capacity. At the transition (SF-100), the excess flow will surcharge and flow in a swale to Snow Crest Circle. Bubblers are not allowed per Section 815.03 in the Town criteria, therefore the design must be revised unless a variance is approved by the Town.

Town Follow-On Comment: Per discussion among Town staff, a variance will be granted in this circumstance to allow the major storm from the off-site basin of Soaring Heights to surcharge. The street system must be designed per Town Standards to convey that flow and measures shall be taken where necessary to not adversely impact the future Colliers Filing 4G residents. Additionally, include in the report narrative a discussion on how the 100-year bypass is routed and the ultimate outfall to the drainage channel/detention pond. Include interim and ultimate conditions of the drainage overtopping SF-48 in to Tract B. The ultimate routing of the 100-year bypass beyond the low point in Alpine Ridge Road shall be contained entirely within the proposed future drive aisle of the Future Community Center until it can be conveyed via Flora View. To be clear, this variance shall not be used as a precedent for future projects and only applies to this specific scenario in Colliers Hill Filing 4G.

**Response: Acknowledged.**

Town Follow-up: Include in the report narrative a discussion on how the 100-year bypass is routed and the ultimate outfall to the drainage channel/detention pond. Include interim and ultimate conditions of the drainage overtopping SF-48 in to Tract B.

5. The overall imperviousness proposed for Filing 4G is higher than what was assumed to design the existing storm sewer system, the regional channel, and pond. Verify that existing facilities have capacity for the increased imperviousness and resulting runoff.

**Response: The assumed imperviousness from the UDSWM model for basin 107 was 32.3% and comparing the basin to now is 33.5%. The existing facilities have the capacity for the slight increase of imperviousness.**

Town Follow-up: Include excerpts from report showing these numbers.

6. For inlet sizing of local roads, it appears that a 4-inch high curb was used but the maximum depth was set at 6-inches. Per Town criteria, the minor storm event cannot overtop the curb. Revise inlet design for all local road inlets to use a depth of 4-inches.

**Response: The 4-inch depth does not consider the curb transitions and depression of the Type R Inlets.**

Town Follow-up: It appears the MHFD Inlet Spreadsheets do account for the depression at the inlet throat. Please revise or provide concurrence from MHFD that their inlets do not account for the depression as described.

7. For Phase III Drainage Reports, provide hydraulic analyses of the storm sewers including profiles with hydraulic grade line (HGL) output for both the

minor and major storm events. Verify that HGLs are a minimum of 1-foot below the gutter invert at all inlets and manholes.

Town Follow-On Comment: This shall be done with Final Plat.

**Response: Acknowledged.**

Town Follow-Up: Comment to remain in place as a reminder. No further response needed at this time.

### **Colliers Hill Filing 4G Preliminary Construction Plans**

8. For final construction plans, provide plan and profile drawings including pipe sizes, lengths, grades, HGLs for the major design storm, and other items required by Town criteria.

Town Follow-On Comment: This shall be done with Final Plat.

**Response: Acknowledged.**

Town Follow-Up: Comment to remain in place as a reminder. No further response needed at this time.

9. The Drainage Plan (Sheet 12) shows a 12-inch HDPE pipe between Design Points SF-36 and SF-43. Town criteria specifies the minimum pipe size to be 18-inch RCP. Revise to be 18-inch RCP unless a variance is approved by the Town.

Town Follow-On Comment: Per discussion among Town staff, a variance will be granted in this circumstance. The 12-inch HDPE system and area drains shall be specifically defined as private systems and an easement will need to be granted by the Town to run a private system through the Future Town Park. Also, please see Construction Document Redlines regarding the storm system in this area. To be clear, this variance shall not be used as a precedent for future projects and only applies to this specific scenario in Colliers Hill Filing 4G.

**Response: Acknowledged.**

Town Follow-Up: Comment to remain in place as a reminder. No further response needed at this time.

### **Utility Report Comments from Merrick 3/11/2020, Responses, and Follow-up:**

#### **General**

1. Provide additional information on the amenities at the proposed community center (e.g. number of bathrooms, kitchen, swimming pool, etc.).

**Response: Amenities provided within the community center are still under consideration. There is an intent to have a swimming pool, bathrooms, and a shared community room within the center although specific numbers are not finalized. All improvements proposed will comply with the Master drainage and utilities.**

Town-Follow Up: Conservative estimates shall be taken in to consideration with the Filing 4G and Preliminary and Final Utility Reports.

2. Verify the type, size, depth, and location of all existing utilities in the field that cross or may come into conflict with the proposed utilities. Include this information on the construction drawings. (Verification of existing utilities is also a Subsurface Utility Engineering requirement.)

**Response: Note to be added to final construction plans.**

Town Follow-Up: Comment to remain in place as a reminder for Final Utility Plans and Report. No further response needed at this time.

3. Include relevant standard details in the final construction drawings.

**Response: Ackowldged.**

Town Follow-Up: Comment to remain in place as a reminder for Final Utility Plans and Report. No further response needed at this time.

### **Potable Water**

1. Use a Hazen-Williams value of  $C=120$  and show this value in hydraulic modeling results.

**Response: Hazen-Williams value changed to 120.**

Town Follow-up: Please show in modeling results.

2. Provide profile drawings for water mains wherever there are storm or sanitary sewer crossings. Identify high and low points of water mains on the plans. Wherever feasible, maintain constant slopes in the water system. High points should be located at a service lateral (preferred) or fire hydrant line in order to avoid ARVs.

**Response: Will be shown on final construction plans.**

Town Follow-Up: Comment to remain in place as a reminder for Final Utility Plans and Report. No further response needed at this time.

4. On Drawing 5 of the Weld County Road 5 Construction Drawings, review the required storm sewer depth and determine whether it can be lowered under the proposed 12-inch water main, with insulation to protect the water main from freeze. Alternatively, reduce the buried depth of the water main to clear the storm sewer with the required 18-inches clearance. Depending on the depth of cover, this option may require insulating the water main above (where cover is less than 4 feet) and below (where crossing the storm sewer).

**Response: Storm line to be lowered with final design, to allow water main to go over the storm line with 18" clearance**

Town Follow-Up: Comment to remain in place as a reminder for Final Utility Plans and Report. No further response needed at this time.

5. Show water valves restrained to tees and crosses and note on the plans.

**Response: This will be added to final construction plans.**

Town Follow-Up: Comment to remain in place as a reminder for Final Utility Plans and Report. No further response needed at this time.

### **General Comments – 2<sup>nd</sup> Round Review**

1. Please provide response to comments on redline comments as well.
2. Any pavement encroachment over oil and gas line easements will require an agreement with the easement holder.
3. Easement shown on the east side of WCR 5 shall be obtained from the State Land Board.
4. Grading and landscaping in swale north of Block 5 Lots 1-6 and North of Block 4 lots 14-15 is in an existing oil and gas easement. This shall require an agreement with the easement holder.



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## Internal Memo

To: Chris LaRue, Planning & Development - Senior Planner

From: Darren Champion, Parks and Open Space Project Coordinator

Date: July 2, 2020

**Subject: Colliers Hill Filing 4G – Preliminary Plat**

Cc: Patrick Hammer, Parks and Recreation Director

Luke Bolinger, Community Partnership and Special Projects Manager

---

Parks & Open Space Division staff have reviewed the subject plans and offer the following comments. Addressing these comments will be a condition of approval of the Preliminary/Final Plat as outlined below. A Final Accepted Landscape Plan is required for Final Plat approval.

### CONDITIONS OF APPROVAL OF THE PRELIMINARY PLAT:

#### General Comments:

- 1) *Previous comment not addressed* - Remove the seven lots that are located on the east side of the future neighborhood park. Per the UDC, neighborhood parks shall be bordered on at least two sides by public streets (excluding arterial streets) to provide easy public access, visual surveillance and parking.

### AT THE TIME OF FINAL PLAT, THE FOLLOWING COMMENTS ARE REQUIRED TO BE ADDRESSED:

#### General Comments:

- 1) Park grading/drainage will be designed and coordinated in conjunction with the park master plan. *Thank you for your acknowledgment, staff will work with the applicant to address this comment.*
- 2) Additional discussion is requested with the applicant regarding the following items within the Neighborhood Park area: current drainage design, utility connections, and associated civil improvements (ramps, connector walk widths, and sidewalks).

Landscape Comments:

Sheet L-14

- 1) Update Landscape Note 32 to read as follows:
  - UPON COMPLETION OF THE PROJECT, DEVELOPER / LANDSCAPE ARCHITECT TO PROVIDE TOWN OF ERIE A FULL SET OF AS-BUILT DRAWINGS OF ALL LANDSCAPE AND IRRIGATION, ON A CD SET INCLUDING LATEST VERSION OF PDF AND AUTO-CAD. IN ADDITION, A SIGNED LANDSCAPE/IRRIGATION COMPLIANCE STATEMENT SHALL BE PROVIDED TO THE TOWN.

Sheet L-9 & L-11

- 2) Remove the sod shown in the tree lawns adjacent to the HOA private amenity and Neighborhood Park. These should be included as part of the Neighborhood Park/HOA private amenity documents.



TO: Town of Erie  
Darren Champion

FROM: Plan West Inc.  
David Brehm – [dbrehm@planwest.com](mailto:dbrehm@planwest.com)

DATE: June 23, 2020

PROJECT: Colliers Hill Filing 4G – Preliminary Landscape Plan  
Dated 01.24.2020 – Submittal 01

**Dated 04.23.2020 – Submittal 02  
Parks-Related Review**

Below are the Parks-related review comments for the submittal.

**GENERAL COMMENTS**

1. The plans are preliminary showing the overall planting and park concept.
2. The design intent and plans are well organized and clear

**OBSERVATIONS AND SUGGESTIONS:**

1. The suggestions from the 1<sup>st</sup> review are addressed.
  - a. The 0.74 acres tract is shown on sheet 5 and labeled as a pocket park.
  - b. 04.23.20 Preliminary Landscape Plan added sheet L-13, Pocket Park Enlargement with detailed notes and call outs and tabulation for the pocket park. The design includes commitments that meet the Town's park requirements.
2. The park plans meet the Town's requirements.

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**End of Comments**

**From:** [Jesse Ascunce](#)  
**To:** [Chris LaRue](#)  
**Cc:** [Fred Starr](#); [Daniel Borrastero](#)  
**Subject:** Colliers Hill 4G Markup  
**Date:** Thursday, June 25, 2020 1:00:37 PM  
**Attachments:** [200424-CH-F4G-PP-02-Address Plat JA Markup.pdf](#)  
[image001.png](#)

---

Chris,

Please see the attached markup for 4G. They did pretty well with some of our newer street naming conventions for Circles. We will need to reevaluate their numbering, but we can take care of that part of it at final plat.

Thanks for reaching out this far in advance!



**Jesse Ascunce** | GIS Coordinator  
Town of Erie | Planning & Development  
645 Holbrook St. | Erie, CO 80516  
Phone: 303-926-2869 | Fax: 303-926-2706  
[jascunce@erieco.gov](mailto:jascunce@erieco.gov) | [www.erieco.gov](http://www.erieco.gov)

***Erie, Colorado - the BEST place to raise a family!***

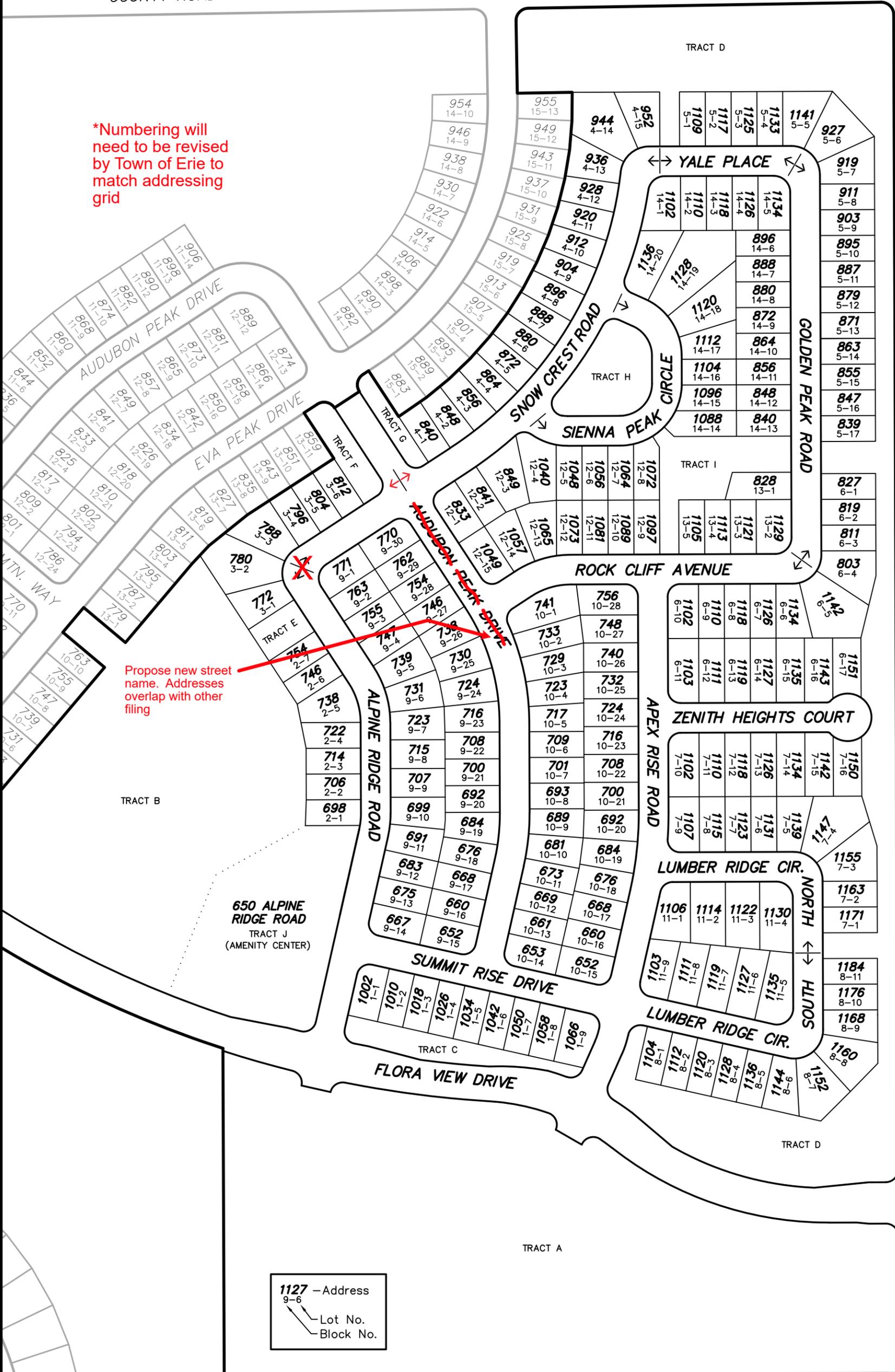
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# COLLIERS HILL FILING NO. 4G ADDRESS PLAT

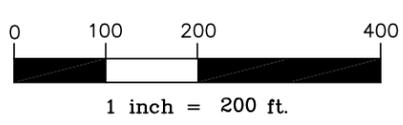
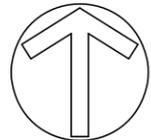
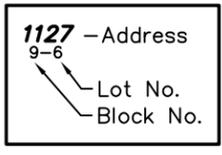
COUNTY ROAD 10-

\*Numbering will need to be revised by Town of Erie to match addressing grid

Propose new street name. Addresses overlap with other filing



COUNTY ROAD 5



**HURST**  
 CIVIL ENGINEERING  
 PLANNING  
 SURVEYING

1265 S Public Road, Suite B  
 Lafayette, CO 80026  
 303.449.9105  
 www.hurst-assoc.com

SCALE: HOR. 1"=200'  
 VERT. N/A  
 DESIGN/APPR. N/A  
 DRAWN BY BO  
 DATE 04/07/20  
 SHEET 1 OF 1

FILE G:\25272\SURVEY\FIL 4\4G\COLLIERS HILL FIL 4G ADDRESS PLAT



**ST. VRAIN VALLEY SCHOOLS**  
*academic excellence by design*

RE:

Dear

Thank you for referring the \_\_\_\_\_ to the School District. The District has reviewed the development proposal in terms of (1) available school capacity, (2) required land dedications and/or cash-in-lieu fees and (3) transportation/access considerations. After reviewing the above proposal, **the School District finds and \_\_\_\_\_ exceed the benchmark.**

**General Comments:**

Detailed information on the specific capacity issues, the land dedication requirements and transportation impacts for this proposal follow in Attachment A. The recommendation of the District noted above applies to the attendance boundaries current as of the date of this letter. These attendance boundaries may change in the future as new facilities are constructed and opened. If you have any further questions or concerns regarding this referral, please feel free to contact me via e-mail at [kragerud\\_ryan@svvsd.org](mailto:kragerud_ryan@svvsd.org) or at the number below.

Sincerely,

Ryan Kragerud, AICP  
Planning/GIS

Enc.: Attachment A – Specific Project Analysis  
Cash-in-lieu chart

**ATTACHMENT A - Specific Project Analysis**

**PROJECT:**

**(1) SCHOOL CAPACITY**

The Board of Education has established a District-wide policy of reviewing new development projects in terms of the impact on existing and approved school facilities within the applicable feeder system. Any residential project within the applicable feeder that causes the 125% school benchmark capacity to be exceeded within 5 years would not be supported. This determination includes both existing facilities and planned facilities from a voter-approved bond. The building capacity, including existing and new facilities, along with the impact of this proposal and all other approved development projects for this feeder are noted in the chart below.

<b>SOARING HEIGHTS PK-8</b>													
<b>CAPACITY INFORMATION</b>				<b>CAPACITY BENCHMARK*</b>									
				<small>(includes projected students, plus development's student impact)</small>									
School	Building	Stdts.	Std.	2019-20		2020-21		2021-22		2022-23		2023-24	
Level	Capacity	Oct-19	Impact	Stdts	Cap.	Stdts	Cap.	Stdts	Cap.	Stdts	Cap.	Stdts	Cap.
Elementary (SHpK-5)	750	687	45	696	93%	738	98%	769	103%	800	107%	829	111%
Middle (SHMS 6-8)	375	396	21	400	107%	423	113%	421	112%	437	116%	454	121%
High (EHS)	1456	1349	23	1459	100%	1514	104%	1562	107%	1608	110%	1654	114%
<b>Total</b>	<b>2581</b>		<b>89</b>	<b>2555</b>		<b>2676</b>		<b>2751</b>		<b>2845</b>		<b>2937</b>	

Specific comments concerning this proposal regarding School Capacity are as follows:

- Specific Impact* - This application add additional residential unit(s) and yield additional student(s) in the **feeder**.
- Benchmark Determination* – the affected schools exceed the benchmark within 5 years.
- Mitigation Options* -
- Phasing Plan* –

**(2) LAND DEDICATIONS AND CASH IN-LIEU FEES**

The implementation of the Intergovernmental Agreement (IGA) Concerning Fair Contributions for Public School Sites requires that the applicant either dedicate land directly to the School District along with provision of the adjacent infrastructure and/or pay cash-in-lieu (CIL) fees based on the student yield of the development. CIL fees provide funds for land acquisition and water rights acquisition, which is only a small component of providing additional school capacity for a feeder. Specific comments regarding land dedications and CIL fees for this referral are as follows:

*Dedication and/or Cash-in-lieu Requirements* –CIL payments can be made for the amount shown below. Payment address is shown below.

- Cash-in-Lieu per unit payment by housing type:*

<input checked="" type="checkbox"/> Housing type:	Cash in lieu payment	Units proposed	Cost
<input checked="" type="checkbox"/> Single Family Unit	\$970		
<input checked="" type="checkbox"/> Duplex/Triplex Unit	\$846		
<input checked="" type="checkbox"/> Multi-Family Unit	\$589		
<input checked="" type="checkbox"/> *Condo/TH Unit	\$347		
<input checked="" type="checkbox"/> Mobile Home Unit	\$785		
			Total =

\*TH = Townhouse

- Dedication/Cash-in-lieu Procedures* – *Additional Cash in Lieu payment information can be found on the attached page. If discrepancies exist please call 303-682-7229. Payments can be made at the time of building permit in the St. Vrain Valley School District Business Office – 395 S. Pratt Parkway, Longmont.*

**3) TRANSPORTATION/ACCESS**

Transportation considerations for a project deal with bussing and pedestrian access to and from the project. Pedestrian access, in particular, is an important goal of the School District in order to facilitate community connection to schools and to minimize transportation costs. Specific comments for this application are as follows:

- Provision of Busing* - Busing for this project, under the current boundaries, provided at the
- Pedestrian/Access Issues* –

School Planning Standards And Calculation of In Lieu Fees

<b>Single Family</b>							
<u>School Planning Standards</u>							
	<b>Number Of Units</b>	<b>Projected Student Yield</b>	<b>Student Facility Standard</b>	<b>Site Size Standard Acres</b>	<b>Acres of Land Contribution</b>	<b>Developed Land Value</b>	<b>Cash-in-lieu Contribution</b>
Elementary	205	0.22 45.1	525	10	0.86	\$80,117	
Middle Level	205	0.1 20.5	750	25	0.68	\$80,117	
High School	205	0.11 22.55	1200	50	0.94	\$80,117	
<b>Total</b>		88.15			2.48	\$80,117	\$198,848
<b>Single Family Student Yield is .43</b>							<b>\$970 Per Unit</b>



June 19, 2020

Town of Erie community Development  
645 Holbrook St  
Erie, CO 80506

Re: PP-001137-2020 – Colliers Hill Filing 4G

Dear Chris LaRue:

On behalf of United Power, Inc., thank you for inviting us to review and comment on the PP-001137-2020 – Colliers Hill Filing 4G. After review of the information, we have the following comments:

- In the “Easement Notes:” on each sheet it states that there will be an, “8’ Drainage & Utility Along the Rear Lot Line”; however, the plat sheet calls out as an 8’ U.E. If shared, we request at least a 10’ wide Drainage and Utility easement along all rear lots. If not shared, then the 8’ U.E. is adequate in size.
- We request 8’ to 10’ wide U.E. be on sides of lots abutting roads, and across tracts. Easement Notes indicate only 6’.
- We request an 8’ to 10’ wide dry utility easements along perimeter of tracts, along perimeter of tracts abutting roads, and through tracts between lots. Easement Notes indicate only 6’ along lot lines adjacent to tracts.

Please note, the property owner/developer/contractor must submit an application along with CAD data for new electric service via <https://www.unitedpower.com/construction>. United Power would like to work with these persons early in the construction process on getting an electric design prepared so that we can request any additional easements needed and hopefully have those easements dedicated on the plat rather than obtaining separate document(s). Obtaining easements via a separate document can be time consuming and could cause delays.

**As a Reminder:** No permanent structures are acceptable within the dry utility easement(s); such as, window wells, wing walls, retaining walls, basement walls, roof overhang, anything affixed to the house like decks, etc. United Power considers any structure that impedes the

access, maintenance, and safety of our facilities a permanent structure. No exceptions will be allowed, and any encroachments could result in penalties.

Service will be provided according to the rules, regulations, and policies in effect by United Power at the time service is requested. We look forward to safely and efficiently providing reliable electric power and outstanding service.

Thank you,

A handwritten signature in black ink, appearing to read "Samantha Riblett". The signature is fluid and cursive, with a large initial "S" and "R".

Samantha Riblett  
United Power, Inc.  
Right of Way Administrative Assistant  
O: 303-637-1324 | Email: [platreferral@unitedpower.com](mailto:platreferral@unitedpower.com)



Right of Way & Permits

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: 303.571.3306  
Facsimile: 303. 571. 3284  
donna.l.george@xcelenergy.com

June 22, 2020

Town of Erie Community Development Services  
645 Holbrook / PO Box 750  
Erie, CO 80516

Attn: Chris LaRue

**Re: Colliers Hill Filing No. 4G Preliminary Plat – 2<sup>nd</sup> referral  
Case # PP-001137-2020**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has determined **there is a potential conflict** with the above captioned project, as stated in the first referral response. Public Service Company has existing electric transmission lines and associated land rights along Weld County Road 10. Any activity including grading, proposed landscaping, erosion control or similar activities involving our existing right-of-way will require Public Service Company approval. Encroachments across Public Service Company's easements must be reviewed for safety standards, operational and maintenance clearances, liability issues, and acknowledged with a Public Service Company License Agreement to be executed with the property owner. PSCo is requesting that, prior to any final approval of the plat, it is the responsibility of the property owner/developer/ contractor to go to the website at [www.xcelenergy.com/rightofway](http://www.xcelenergy.com/rightofway) or email [coloradorightofway@xcelenergy.com](mailto:coloradorightofway@xcelenergy.com) to have this project assigned to a Land Rights Agent for development plan review and execution of a License Agreement.

The property owner/developer/contractor must complete the application process for any new natural gas service via [xcelenergy.com/InstallAndConnect](http://xcelenergy.com/InstallAndConnect). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

Donna George  
Right of Way and Permits  
Public Service Company of Colorado / Xcel Energy  
Office: 303-571-3306 – Email: [donna.l.george@xcelenergy.com](mailto:donna.l.george@xcelenergy.com)

---

**To:** Chris LaRue, Senior Planner

---

**cc:** Deborah Bachelder, Planning Manager/Deputy Director

---

**From:** Ryder Reddick, Planner III

---

**Date:** August 18, 2020

---

**Subject:** Colliers Hill Filing 4G - Pre-Plat - PP-001137-2020 - Tetra Tech Planning Referral Comments

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## **PROJECT DESCRIPTION:**

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This project includes a Preliminary Plat proposal for Colliers Hill Filing 4G. The filing consists of approximately 205 single-family front-loaded homes that cover approximately 31.63 acres, dedicated public right-of-way covering approximately 15.38 acres and 10 dedicated tracts of land covering approximately 35 acres totaling out at approximately 82.07 acres of land. The 10 Tracts proposed in this development area are dedicated for landscaped as well as natural cover open space areas, parks (including one pocket park and one future neighborhood park), a future neighborhood amenity center, utility easements, pedestrian pathways and future development areas. The proposal includes the full extension of Flora View Drive east through the tract to intersect with Weld County Road 5, as well as additional local street extensions for internal road access.

## **SITE LOCATION INFORMATION:**

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**General Location:** The property is located southwest and is adjacent to Weld County Road 10 and Weld County Road 5 and approximately ½ mile north of Erie Parkway.

**Legal Description:** A replat of Tract E of Colliers Hill Filing No. 4C, Located in the East ½ of Section 17, Township 1 North, Range 68 West of the 6<sup>th</sup> P.M. Town of Erie, County of Weld, Colorado.

## **REVIEW COMMENTS:**

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### **ALTA Survey Review:**

#### **Oil and Gas Utility Easement**

1. Per the revised ALTA survey submitted by the client initial resubmittal package on April 24, 2020, there is an existing 50-foot natural gas pipeline easement (Recorded Reception #2327121), within the subject parcel that is located in an area that is proposed for residential development per the preliminary Colliers Hill Filing 4G plat map. Reference Section **10.6.14.B.1.** of the Town of Erie's Unified Development Code (UDC); "Gas and oil well pipelines and their associated easements shall not be located on residential lots."

An Oil and Gas Surface Use Agreement Area (recorded reception #3805168) is located on the subject parcel within an area that is also proposed for residential development per the preliminary Colliers Hill Filing 4G plat map. While this area currently looks as if it does not contain oil and gas above-ground operations, the recorded agreement states that this area has an agreement in place between the surface use owners and the mineral owners that designates this area for future oil and gas production facility locations. The recorded documents also specifically limit all future platting of lot lines anywhere within the permanent oil and gas operations areas. See Section **10.6.14.A.1** of the Town of Erie UDC, which explains setback standards to lots, buildings, streets, trails, and parks from existing wells and associated above-ground production facilities.

- *First off, it is acknowledged that the applicant (per the narrative provided in this resubmittal package) is currently working with the oil and gas companies to address all issues related to these existing easements and surface use agreement areas within this filing 4G area. To resolve these issues, please amend the plat map to meet the minimum setback standards for residential development from these locations or provide recorded documentation signed and notarized by both the mineral owners and the surface use owners showing that these oil and gas easements have been vacated.*

**Response by Norris Design on 7/22/2020: Acknowledged. Oil and gas ROW easement release has been included with this resubmission.**

In the most current referral response provided by Norris Design on 7/22/2020 A response was provided that this comment was acknowledged and that the Oil and Gas ROW Easement Release had been included with the resubmittal package. After reviewing the full package, I was unable to find the documentation releasing/vacating the ROW easement area. Please provide this updated information and reference the recorded reception number of this ROW vacation document in your response. **Please provide this information now.**

2. There are four natural gas pipeline easements running across Tract D of the preliminary plat according to the newest ALTA survey These include:
  - An existing 20-foot Western Midstream pipeline easement containing two gas lines running north to south along the entire eastern edge of the plat area within Tract D (Recorded Reception #3506265)
  - An existing 50-foot Kerr McGee Gathering, LLC., Natural gas pipeline easement crossing the north east corner of plat area within Tract D (Recorded Reception #4571526)
  - An existing 50-foot Kerr McGee Gathering, LLC., Natural gas pipeline easement crossing the entire northern edge of the plat area within Tract D (Recorded Reception #3803734)
  - An existing 30-foot Encana Oil and Gas, INC., Natural gas pipeline easement crossing the entire northern edge of the plat area within Tract D (Recorded Reception #4060666)
    - *Again as with Item 1 above, It is acknowledged that the applicant (per the narrative provided in this resubmittal package) is currently working with the oil and gas companies to address all issues related to these existing easements within this filing 4G area There will be improvements that impact this easement area within tract D. Specifically, landscaping including canopy trees along the eastern edge of the parcel within the Western Midstream Easement and a sidewalk within all the above easement areas. Please provide written proof that all easement holders accept the improvements within these easement areas.*

**Response by Norris Design on 7/22/2020: Acknowledged. A copy of the current oil and gas ROW and surface use agreement is provided. Please provide the below information now.**

A copy of the existing oil & gas ROW Surface Use Agreement with Kerr McGee Gathering was found in the resubmittal package however there was nothing provided to show Daybreak Recovery Acquisition, LLC's Surface use agreement with Encana Oil and Gas Inc. or Western Midstream. If these easements have since been transferred to other O&G companies please provide documentation along with any Surface Use Agreements that may be in place between them and Daybreak Recovery Acquisition, LLC. Also, the surface use agreements provide stipulations based on general guidelines for future development as such please provide documentation/ correspondences from these easement holders showing they have reviewed the preliminary plans and have no concerns with the proposed development plan that has been provided in this submittal package.

3. There is an existing 180-foot Public Service Company of Colorado overhead electric utility line, crossing the entire northern edge of the plat area within Tract D (Recorded Reception #1551487).
  - *It is acknowledged that the applicant is working with the Public Service Company of Colorado to address any and all issues the utility company may have with this proposed development. There will be improvements that impact this easement area within tract D. Specifically, landscaping and a sidewalk within this easement area. Please provide written proof the easement holder accepts the improvements within this easement area.*

**Response by Norris Design on 7/22/2020: Acknowledged. Our application for license agreement with PSCo is currently in que for approval.**

Once the License agreement is approved and fully executed please provide a copy of the agreement to the Town and that will satisfy this condition. **Please provide this prior to, or with, the final plat submittal.**

4. There is an Existing Electrical Cabinet shown near the furthest Southwestern point of the Filing 4G area near the edge of the future neighborhood park tract neighborhood Tract B close to the Proposed ROW for Flora View Drive.
  - o *Please provide information regarding this electrical cabinet area. Does it sit within the utility 60' utility easement called out (Reception # 4311236) or is it located just outside this area? Please provide a narrative explaining the location and label this cabinet on the Preliminary plat and landscape plan for easy reference.*

**Response by Norris Design on 7/22/2020: Cabinet currently exists just outside utility easement. It will be in Flora View Drive 65' right of way.**

The Preliminary Plat and landscape plans still do not clearly show or reference the location of this electrical cabinet. Please add the cabinet on each plan sets to show its location relative to the future ROW and landscape design along Flora View Ave. **Please update the plans accordingly now.**

## Preliminary Plat Review:

### Chapter 5, Section 10.5.4 Layout and Design Generally:

- A. **Name of Subdivision:** Colliers Hill Filing 4G
- B. **Natural and Scenic Resource Protection:** Per the Open Space and Trails Advisory Board (OSTAB) Referral Dated March 10, 2020, There are no Natural Area Inventory (NAI) sites within the application and there is no dedicated open space proposed in this filing as the open space requirements for the overall PUD area was met in earlier filings.
  - o *Please continue to address all comments from the Town of Erie OSTAB.*
- C. **Natural Hazard Areas:** Land subject to hazardous conditions such as landslides, rock falls, expansive soils, mine subsidence, mine shafts, shallow water table, open quarries, floodplains, and polluted or non-potable water supply shall be identified and shall not be subdivided until the hazards have been mitigated or will be mitigated by the subdivision and construction plans.

Per the Colorado Geological Survey (CGS) Referral provided by Jill Carlson on March 5, 2020, CGS has no objection to the Colliers Hill Filing 4G preliminary plat approval, provided that the previous comments provided under Colliers Hill Filing 4C are adhered to. Those conditions have been listed below and shall be met as conditions of approval prior to construction of the proposed development.

- *Low subsidence potential:* Available mine mapping indicates that Filing 4G is undermined by worked-out (all coal removed) areas of the State Mine, also known as Boulder Valley (mine map dated April 24, 1946). CTL's subsidence investigation indicates that the depth of mining in this area is about 200 feet below the ground surface. Based on the depth of mining and thickness of bedrock over the undermined zone, CTL Thompson interprets the subsidence hazard in this portion of Colliers Hill as low, with no restrictions on foundation length or other mitigation recommendations (page 11 of CTL's Subsidence Investigation, October 14, 2010). CGS agrees that "Typical building code requirements for foundation walls to be reinforced to simply span a minimum of 15 feet should apply."

**Response by Norris Design on 7/22/2020: Acknowledged.**

- *Unmapped shafts:* No entry or air shafts are mapped within Filing 4G. However, it is possible that unmapped air shaft(s) or other mining-related feature(s) exist within the subject site. All grading activities should be carefully observed to identify any unmapped shafts or other mining features. The developer, architect, engineer, builder, earthmoving contractors, and field inspection staff should be made aware that portions of the Colliers property are undermined, unmapped shafts may be present, and there is a risk of sinkholes and other subsidence-related features developing. If subsidence feature(s) or shaft(s) are observed, mitigation and/or possible development reconfiguration would be required.

**Response by Norris Design on 7/22/2020: Acknowledged.**

- *Highly expansive soils and bedrock, and collapsible soils:* CTL Thompson's Due Diligence Geotechnical Review (October 6, 2010) summarizes several previous geotechnical investigations consisting of widely spaced borings and laboratory testing. Colliers Hill is underlain by some of the most moisture sensitive soils encountered in Weld County. Extremely high swell values of up to 14.7 percent (when wetted under an applied load of 1000 psf) were observed in several borings, and swell values representing a high or very high risk of damage to roads, slabs, and foundations were observed in about half of the 20 borings evaluated. Low density, compressible soils, exhibiting compaction under loading and wetting, were also observed; several borings yielded samples of both expansive and compressible soils.

**Response by Norris Design on 7/22/2020: Acknowledged.**

- *Comprehensive geotechnical investigation:* A comprehensive, filing-specific geotechnical investigation, including drilling, sampling, lab testing and analysis, will be needed to (1) characterize subsurface conditions such as depths to groundwater and bedrock, (2) characterize soil and bedrock engineering properties such as density, strength, water content, and swell-consolidation potential, (3) delineate over-excavation areas and depths, and (4) design foundations, floor systems, subsurface drainage systems, pavements, etc.

**Response by Norris Design on 7/22/2020: Acknowledged.**

**D. Adjoining Subdivision:** It appears, based on the documentation provided to Tetra Tech, that public road rights-of-way (ROW) utility and drainage easements, and open space are designed to coordinate with the adjoining subdivision filings. Per the proposed Landscape Plans provided additional pedestrian walkways are needed for adequate access to the pedestrian walking path along Weld County Road 5.

○ *Please provide the following new trail connections (at least five feet in width):*

- *From the end of Zenith Heights Court (cul-de-sac) to the trail along CR 5. This is required per UDC Section 10.6.5 D.2.e. It is acknowledged that this areas topography may not be ideal for a walking path design however it is required per the Towns of Erie UDC. As such we would suggest that the path be proposed to include stair access where the topography may be to steep to safely design a pedestrian walkway without these added features.*

**Response by Norris Design on 7/22/2020: A walk has been added at the end of Zenith Heights Court to the trail along CR 5.**

- *While it is not a requirement per the Town of Erie UDC, pedestrian walkways are highly suggested for increased connectivity to the surrounding subdivisions and neighborhood amenities from tract D where it intersects Lumber Ridge Circle North & Lumber Ridge Circle South to the trail along CR 5.*

**Response by Norris Design on 7/22/2020: Due to steep grades, a walk was not added to Lumber Ridge Circle South to the trail along CR 5.**

Per the updated Landscape Plans provided in this resubmittal package provided on 7/22/2020 the plan shows adequate access to the pedestrian walking path along Weld County Road 5 as well as to the neighborhood park and neighboring fillings of the subdivision.

**E. Lots:** The minimum single-family lot size for the Colliers Hill Filing 4G must be 5,000 square feet per the Town of Erie UDC **10.4.1.A Residential Commercial Standards**, Table 4-1.

○ *The lots in this filing range from 5,720 square feet to 17,069 square feet, therefore, it appears that this standard has been met.*

1. Regarding minimum width standards, which are also called out in the Town of Erie UDC **10.4.1.A** For a single-family residential lot, in the LR zone district the minimum lot width for a corner lot is 60 feet and the minimum width for all other lots is 50 feet which is established at right angles from the established front set back line defined under **Chapter 10.11.3 Terms Defined** in the Town of Erie UDC.

○ *After reviewing the plat and the provided lot fit analysis it appears that this standard has been met for all proposed lots within this filing.*

**Response by Norris Design on 7/22/2020: Acknowledged.**

- Please update this Amenity Area currently shown as a "Tract" to be shown and called out as a "Lot" instead. Per the Town of Erie UDC Section 10.11.3, A Tract is defined as:  
"A Tract is a legally defined parcel of land on a plat that will **not** have residential, commercial, or industrial buildings located on them."
- Per this definition a Tract is non buildable therefore this amenity area will need to be updated and dedicated as a Lot on the plat. We would suggest this Amenity Lot be called out as: Lot 1 Block 15 moving forward. See also, redline notes provided on the Preliminary Plat.

**Response by Norris Design on 7/22/2020: Tract has been changed to Lot 1 of Block 15.**

**F. Blocks:** There are 15 total blocks proposed in this filing. Per the Town of Erie UDC **10.6.5.D.3**. The maximum length of blocks between intersecting streets shall be 1,500 feet. Also, the average block face across each development site shall be a maximum of 600 feet.

- Based on the provided block length analysis, the block configuration proposed in this submittal meets these code requirements.

**Response by Norris Design on 7/22/2020: Acknowledged. A current version of the block length exhibit is included with this resubmission.**

**G. Streets:** Streets shall meet the minimum standards as outlined in the Erie street standards and access requirements. All streets proposed in this filing are considered local roads requiring a 60-foot ROW. Sienna Peak Circle is shown with only 50 feet of proposed ROW which does not meet the minimum standards.

- Please update the pre-plat to include the additional 10 feet of ROW for the full stretch of Sienna Peak Circle. To do this please consider adjusting the residential Lot sizes and/or Tract H.

**Response by Norris Design on 7/22/2020: Right of Way has been widened to 60'.**

All additional naming requirements requested by planning staff after the initial pre-plat review have been satisfied.

**Response by Norris Design on 7/22/2020: Acknowledged.**

Sienna Peak Circle shows 60 feet of ROW however the label still states that it only has 50 feet of ROW. Please amend the plat map per the redlines provided. **Please update the label now.**

**H. Alleys:** There are no proposed Alleys included in this filing.

**Response by Norris Design on 7/22/2020: Acknowledged.**

**I. Sidewalks, Curbs and Gutters:** The proposed updated Landscape Plan illustrates a 5-foot detached sidewalk on each side of the proposed street, as well as curb and gutter. The plan also shows proposed 5-foot concrete sidewalks around the proposed pocket park and along the pedestrian corridors throughout the filing area which meet the minimum standards outlined in the Town of Erie UDC. See above adjoining subdivisions section for additional pedestrian sidewalks that are needed to meet the minimum design standards for this submittal.

**Response by Norris Design on 7/22/2020: Acknowledged. Sidewalks have been revised per recommendation.**

**J. Utility Easements:** The Town of Erie UDC states that utility easements should follow side and rear property lines whenever practicable.

- The proposed Colliers Hill Filing 4G pre-plat illustrates 8-foot utility easements along the rear of all proposed residential lots and 10-foot utility easements along the all road ROW, which includes the frontage of every residential lot in this filing. The plat also shows 5-foot utility easements along the sides of numerous lot lines throughout the filing and calls out 6-foot utility easements along the sides of all lots that are adjacent to tracts or rears of adjacent residential lots. It appears, based on the documentation provided to Tetra Tech, that the utility easements fulfill the Town of Erie's standards set in the UDC.

**Response by Norris Design on 7/22/2020: Acknowledged.**

- K. Stormwater Drainage:** stormwater drainage shall follow the City's Urban Drainage and Flood Control District standards.
- o *Please address all Town of Erie Public Works Comments related to stormwater drainage and the drainage report submitted with this application resubmittal.*

**Response by Norris Design on 7/22/2020: Acknowledged. All comments received within the Drainage Report have been revised. Please reference revised document included with this resubmission.**

Per the referral response, all comments received within the Drainage Report have been revised and have been included in the resubmittal package provided on 7/22/2020.

- o **Water and Wastewater Lines:** *Please address all Town of Erie Public Works comments related to Potable Water and Sanitary Sewer Lines.*

**Response by Norris Design on 7/22/2020: Acknowledged. All comments have been addressed.**

Please continue to address any additional conditions or concerns the Town of Erie Public Works Department may have related to connecting to the Town's Potable Water and Sanitary Sewer Lines as this land use process moves forward.

- L. Water Courses and Ditches -** The requirements and standards in the Town of Erie UDC **10.6.2.B**, shall apply to all subdivision plats.

**Response by Norris Design on 7/22/2020: Acknowledged.**

- M. Water Supply -** The requirements and standards in Title 8 of the municipal code apply to all subdivision applications.

- o *Please address all Town of Erie Public Works comments related to connecting to the Municipal water supply*

**Response by Norris Design on 7/22/2020: Acknowledged. All comments have been addressed.**

Please continue to address any additional conditions or concerns the Town of Erie Public Works department may have related to connecting to the municipal water supply as this land use process moves forward.

## Parks, Open Space and Trails:

The Town of Erie UDC requires a variety of parks, open space and trails for residential development. A combination of pocket parks, neighborhood parks, community parks and open space are required. The UDC requires 0.5 acre of pocket parks per 1000 residents, 3 acres of neighborhood parks per 1000 residents, 5 acres of community parks per 1000 residents, and 17 acres of open space per 1000 residents. The average household size in Erie is 2.89 persons per unit.

For Colliers Hill Neighborhood Filing 4G the overall PUD is providing enough open space and park requirements through the existing and/or proposed filings.

- o *Please address all OSTAB referral comments dated March 10, 2020.*

### **Pocket park requirements for Filing 4G:**

Using this calculation  $0.5 \times 205 \times 2.89/1000 = 0.30$  acres of pocket park are required. The preliminary plat shows the proposed pocket park for this filing exceeds this minimum requirement, as it is proposed to be +/- 0.63 acres.

**Response by Norris Design on 7/22/2020: Acknowledged.**

Looking at the pocket park exhibit provided in the initial resubmittal package provided on 4/24/2020, while a portion of Block 8 will be outside of the ¼ mile minimum radius from the pocket park within the 4G tract that area is still well within ¼ mile from the proposed neighborhood park area. As such the pocket park requirement for Filing 4G is meets the minimum requirements per the Town of Erie UDC.

**Response by Norris Design on 7/22/2020: Acknowledged.**

## Landscape Plan Review:

This review will be addressed by Town of Erie.

Memo

To: Chris LaRue  
From: David Pasic, P.E., Civil Engineer  
Date: August 28, 2020  
Subject: **Colliers Hill Filing 4G Preliminary Plat Comments #3**  
CC: Chad Schroeder, Wendi Palmer, Tyler Burhenn



**NOTE: ONLY THE HIGHLIGHTED COMMENTS BELOW NEED BE ADDRESSED WITH PRELIMINARY PLAT. THE REMAINDER MAY BE ADDRESSED WITH FINAL PLAT.**

**Previous Comments provided at Sketch Plan:**

2. Existing oil and gas structures located along the existing WCR Frontage shall be relocated to be outside of the WCR 5 Minor Arterial Build Out Right-of-Way.  
**Response: The existing facilities at the immediate southwest corner of WCR 5 and WCR 10 will be relocated. The existing facilities located approximately 100 feet south of WCR 10 will remain. Proposed improvements will be designed around these facilities.**  
Town Follow-up: Please show where relocated facilities will be.
3. Weld County Road (WCR) 5
  - b. Per the Annexation Agreement (Section XII.C.2), "the Owner agrees to reimburse \$263,800, excluding any costs for right-of-way acquisition, to SVVSD for its pro-rata share of the improvements constructed by SVVSD, which are not reconstructed by Owner with the WCR 5 improvements, at such time as the Town issues a construction permit for Owner's improvements to WCR 5 as determined by the Director of Public Works."  
**Response: Acknowledged.**  
Town Follow-Up: Comment to remain in place as a reminder. No further response needed at this time.
4. A preliminary utility plan was not provided and is not required until preliminary plat so detailed comments on a proposed utilities design cannot be provided. However, we do have the following general water and sanitary sewer comments:
  - c. Per the Annexation Agreement (Section XI.G.4), "the Owner agrees to reimburse \$47,134 to the St. Vrain Valley School District for its pro-rata share of the water line improvements constructed by the St. Vrain Valley School District, concurrent with the recordation of the first final plat along WCR 5."  
**Response: Acknowledged.**  
Town Follow-Up: Comment to remain in place as a reminder. No further response needed at this time.

**Drainage Comments from Merrick 3/11/2020 responses and follow-up:  
Phase II Drainage Report:**

**Colliers Hill Filing 4G Preliminary Construction Plans**

8. The Drainage Plan (Sheet 12) shows a 12-inch HDPE pipe between Design Points SF-36 and SF-43. Town criteria specifies the minimum pipe size to be 18-inch RCP. Revise to be 18-inch RCP unless a variance is approved by the Town.  
Town Follow-On Comment: Per discussion among Town staff, a variance will be granted in this circumstance. The 12-inch HDPE system and area drains shall be specifically

defined as private systems and an easement will need to be granted by the Town to run a private system through the Future Town Park. Also, please see Construction Document Redlines regarding the storm system in this area. To be clear, this variance shall not be used as a precedent for future projects and only applies to this specific scenario in Colliers Hill Filing 4G.

**Response: Acknowledged.**

Town Follow-Up: Comment to remain in place as a reminder. No further response needed at this time.

### **Utility Report Comments from Merrick 3/11/2020, Responses, and Follow-up:**

#### **General**

2. Verify the type, size, depth, and location of all existing utilities in the field that cross or may come into conflict with the proposed utilities. Include this information on the construction drawings. (Verification of existing utilities is also a Subsurface Utility Engineering requirement.)

**Response: Note to be added to final construction plans.**

Town Follow-Up: Comment to remain in place as a reminder for Final Utility Plans and Report. No further response needed at this time.

#### **Potable Water**

4. On Drawing 5 of the Weld County Road 5 Construction Drawings, review the required storm sewer depth and determine whether it can be lowered under the proposed 12-inch water main, with insulation to protect the water main from freeze. Alternatively, reduce the buried depth of the water main to clear the storm sewer with the required 18-inches clearance. Depending on the depth of cover, this option may require insulating the water main above (where cover is less than 4 feet) and below (where crossing the storm sewer).

**Response: Storm line to be lowered with final design, to allow water main to go over the storm line with 18" clearance**

Town Follow-Up: Comment to remain in place as a reminder for Final Utility Plans and Report. No further response needed at this time.

5. Show water valves restrained to tees and crosses and note on the plans.

**Response: This will be added to final construction plans.**

Town Follow-Up: Comment to remain in place as a reminder for Final Utility Plans and Report. No further response needed at this time.

### **General Comments – 2<sup>nd</sup> Round Review**

1. Any pavement encroachment over oil and gas line easements will require an agreement with the easement holder.

**Response: Existing easement allows for roadway improvements. If additional agreement is needed it will be obtained.**

Town Follow-Up: Comment to remain in place. The Town requests documentation from the easement holder indicating that the proposed improvements are acceptable.

2. Easement shown on the east side of WCR 5 shall be obtained from the State Land Board.

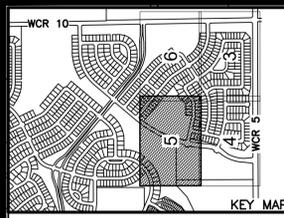
**Response: Acknowledged. An easement will be obtained prior to final plat approval.**

Town Follow-Up: Comment to remain in place as a reminder. No further response needed at this time.

3. Grading and landscaping in swale north of Block 5 Lots 1-6 and North of Block 4 lots 14-15 is in an existing oil and gas easement. This shall require an agreement with the easement holder.

**Response: Existing easement allows this grading. If additional agreement is needed, it will be obtained.**

Town Follow-Up: Comment to remain in place as a reminder. No further response needed at this time.



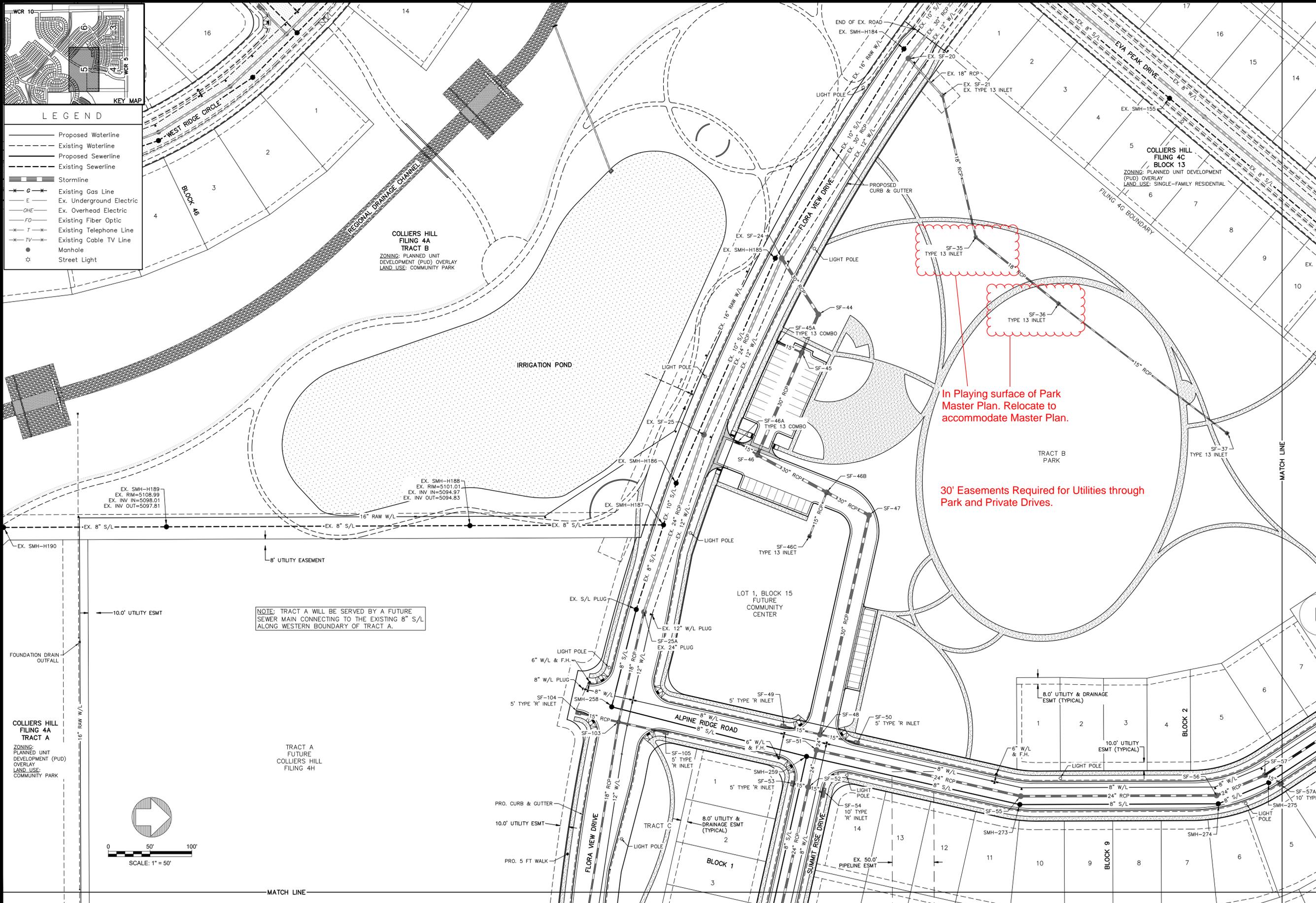
**LEGEND**

- Proposed Waterline
- Existing Waterline
- Proposed Sewerline
- Existing Sewerline
- Stormline
- Existing Gas Line
- Ex. Underground Electric
- Ex. Overhead Electric
- Existing Fiber Optic
- Existing Telephone Line
- Existing Cable TV Line
- Manhole
- Street Light

**SCALE VERIFICATION**  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY  
 72 HOURS BEFORE YOU DIG CALL THE UTILITY NOTIFICATION CENTER OF COLORADO (U.N.C.C.)  
 811  
 P.S. ALL SERVICES, INCLUDING GAS, WATER, AND PAYABLE ELECTRIC UTILITIES, LOCATIONS

**REVISIONS**

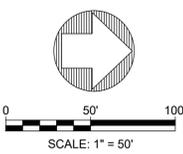
NO.	DESCRIPTION	DATE	BY



In Playing surface of Park Master Plan. Relocate to accommodate Master Plan.

30' Easements Required for Utilities through Park and Private Drives.

NOTE: TRACT A WILL BE SERVED BY A FUTURE SEWER MAIN CONNECTING TO THE EXISTING 8" S/L ALONG WESTERN BOUNDARY OF TRACT A.



LAST SAVED: 7/17/2020 10:32 AM

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HURST & ASSOCIATES, INC.  
 1265 S. Public Road, Suite B  
 Lafayette, CO 80026  
 303.449.9105

**HURST**  
 CIVIL ENGINEERING  
 PLANNING  
 SURVEYING

COLLIERS HILL FIL 4G - PP-001137-2020  
 PRELIMINARY CONSTRUCTION PLANS  
 UTILITY PLAN (3 OF 4)  
 Prepared for: DAYBREAK RECOVERY ACQUISITION, LLC

**JOB NUMBER:** 2527-02  
**DATE:** 07/17/2020  
**SCALE:** 1"=50'  
**SHEET NO.:** 5



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**Internal Memo**

To: Chris LaRue, Planning & Development - Senior Planner  
From: Luke Bolinger, Community Partnership & Special Projects Manager  
Date: September 3, 2020  
**Subject: Colliers Hill Filing 4G – Preliminary Landscape Plans – 7/21/2020 - Submittal 03**  
Cc: Patrick Hammer, Parks & Recreation Director

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Parks & Open Space Division staff have reviewed the subject plans and offer the following comments. Addressing these comments will be a condition of approval of the Preliminary/Final Plat as outlined below. A Final Accepted Landscape Plan is required for Final Plat approval.

CONDITIONS OF APPROVAL OF THE PRELIMINARY PLAT:

General Comments:

- 1) The applicant agreed to remove the southernmost two lots located on the east side of the future neighborhood park. The aforementioned landscape plans received by Parks & Open Space did not show these lots removed.

AT THE TIME OF FINAL PLAT, THE FOLLOWING COMMENTS ARE REQUIRED TO BE ADDRESSED:

General Comments:

Sheet L-7

- 1) It seems that the new west 5' connector trail into the park does not match up with the shown Eva Peak Drive ramp. Please ensure that this connector trail aligns with the ramp off of Eva Peak Drive.

Sheet L-16

- 1) There is an inlet located within the irrigated turf playing field. Please move the inlet to the west into the native seeding area.

Sheet L-17

- 1) There is an inlet located with the boundaries of the sand volleyball court. Please move the inlet to the west into the native area.

Sheet L-23

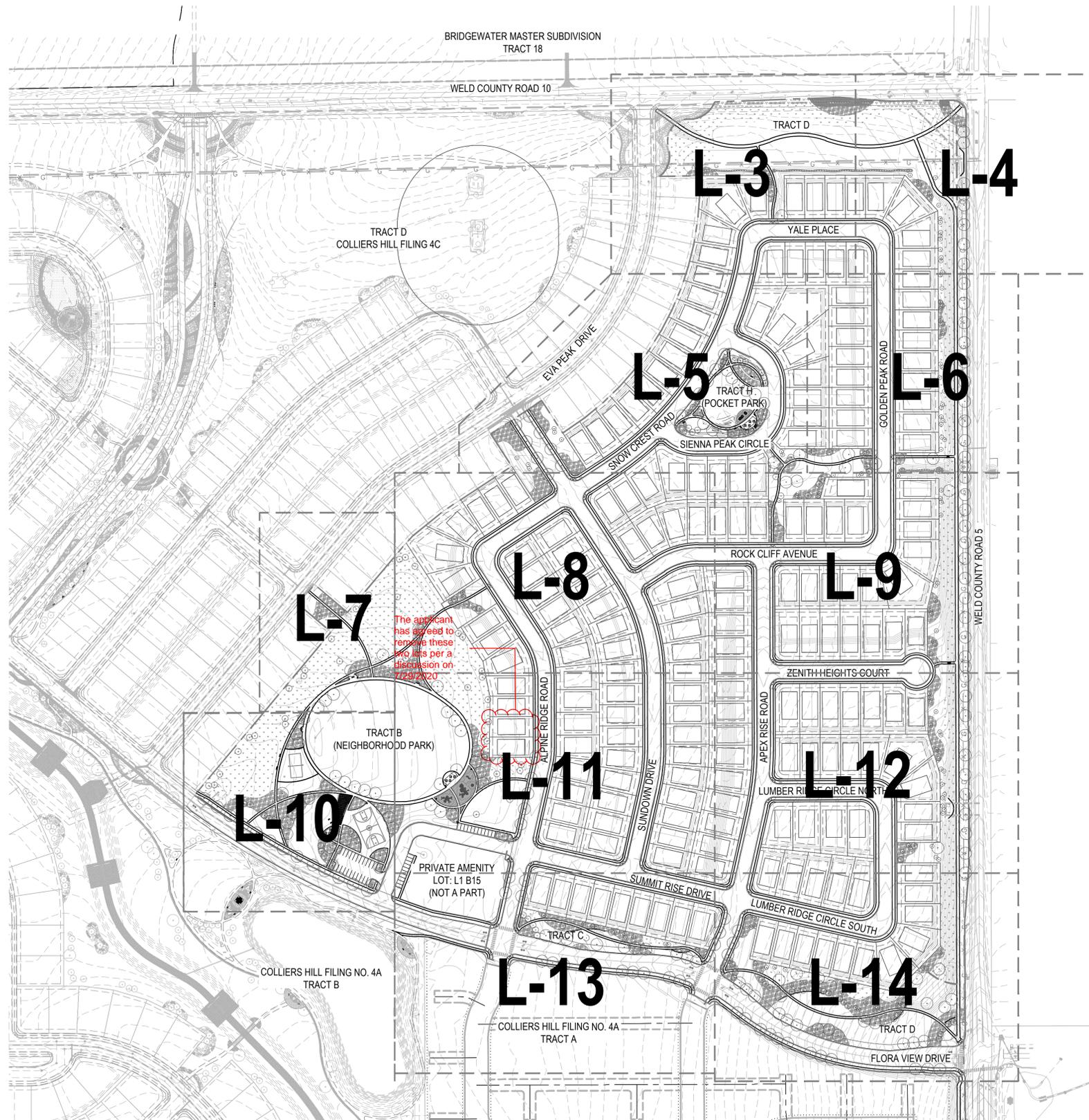
- 1) It looks like the internal loop trail of the neighborhood park is not reflected as an 8' concrete trail.

COLLIERS HILL FILING NO. 4G

PP-001137-2020

PRELIMINARY LANDSCAPE PLAN

A REPLAT OF TRACT E OF "COLLIERS HILL FILING NO. 4C", TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO



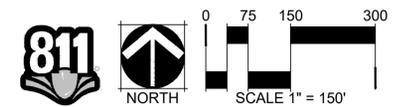
COLLIERS HILL  
FILING 4G PRELIMINARY LANDSCAPE PLAN  
ERIE, CO

OWNER:  
JON SHUMAKER  
JERRY B. RICHMOND III  
7220 S. ALTON WAY  
SUITE C-400  
CENTENNIAL, CO 80112

NOT FOR  
CONSTRUCTION

DATE:  
01/24/2020 SUBMITTAL 01  
04/23/2020 SUBMITTAL 02  
07/21/2020 SUBMITTAL 03

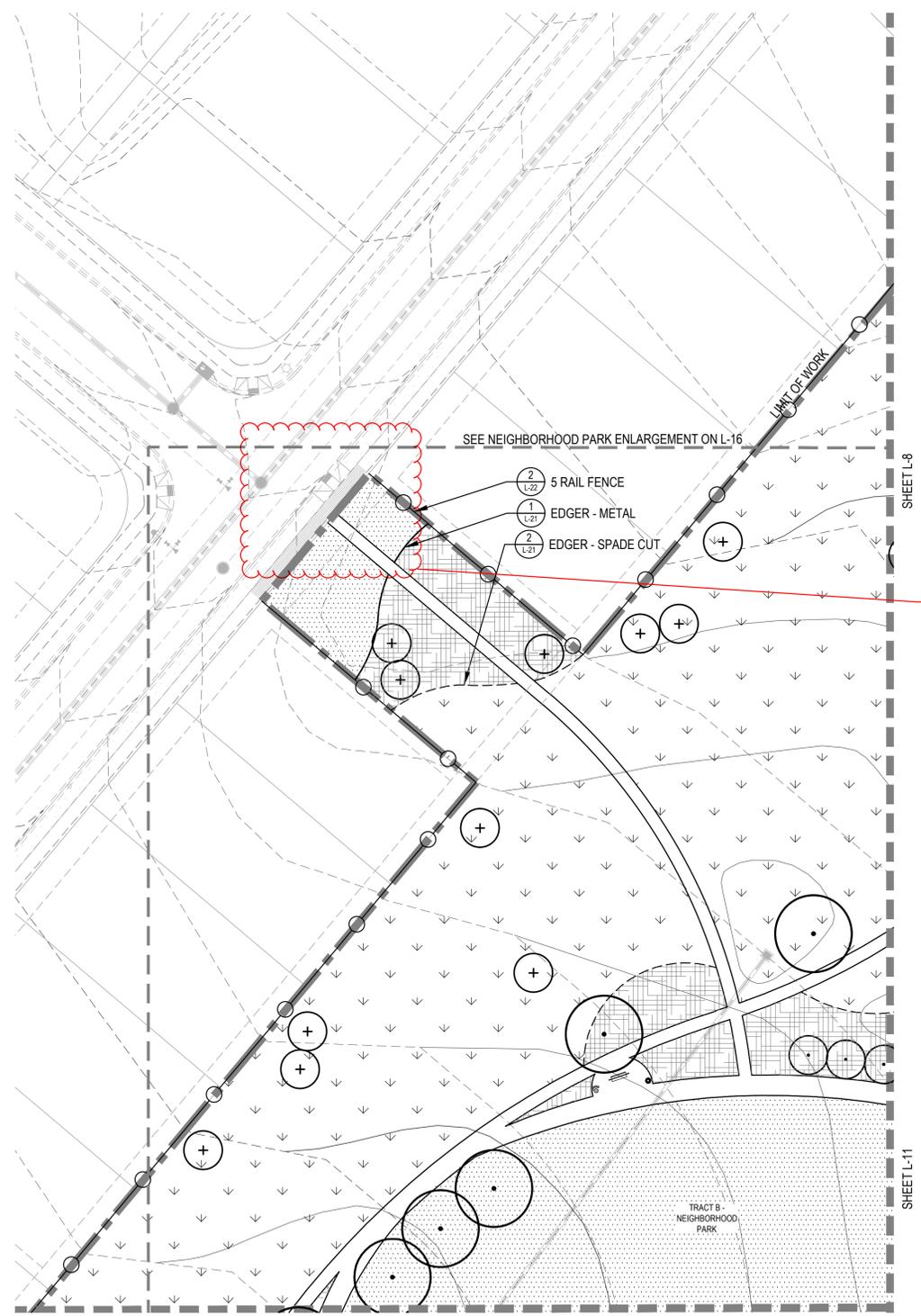
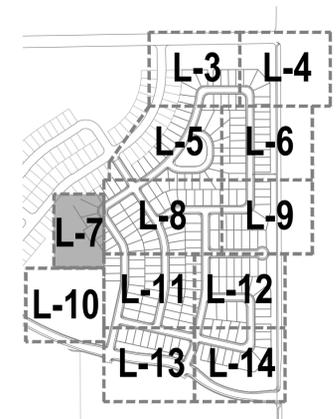
SHEET TITLE:  
OVERALL LANDSCAPE  
PLAN



COLLIERS HILL FILING NO. 4G  
 PP-001137-2020  
 PRELIMINARY LANDSCAPE PLAN

A REPLAT OF TRACT E OF "COLLIERS HILL FILING NO. 4C", TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

**NORRIS DESIGN**  
 Planning | Landscape Architecture | Branding  
 1101 Bannock Street  
 Denver, Colorado 80204  
 P 303.892.1166  
 www.norris-design.com

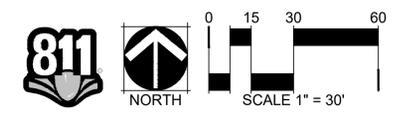


Please ensure that the new connector trail aligns with the existing street access ramp.

**LEGEND**

	LIMIT OF WORK
	MATCHLINE
	EDGER - METAL
	EDGER - MOW LINE
	EDGER - SPADE CUT
	REDI-ROCK RETAINING WALL
	5 RAIL FENCE
	ENHANCED PAVING
	ENGINEERED WOOD FIBER PLAY SURFACE
	TURF
	IRRIGATED MIXED GRASS PRAIRIE NATIVE SEED MIX
	NON-IRRIGATED MIXED GRASS PRAIRIE NATIVE SEED MIX
	SHORTGRASS PRAIRIE NATIVE SEED MIX
	PLANTING BED
	CRUSHER FINES
	3"-6" LARGE COBBLE
	1.5" SMALL COBBLE
	CANOPY TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	LANDSCAPE BOULDERS

- NOTES**
- 5 RAIL FENCE BY BUILDER, SHOWN FOR INTENT AND GENERAL LOCATION.
  - STREET TREES IN FRONT OF LOTS BY BUILDER, NOT SHOWN IN PLAN.
  - SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE. ALL PLANTINGS WITHIN THE SIGHT TRIANGLES SHALL NOT EXCEED A HEIGHT OF 30" ABOVE ADJACENT PAVEMENT. ALL TREES WILL BE LIMBED UP TO PREVENT VISUAL OBSTACLES.



**COLLIERS HILL**  
 FILING 4G PRELIMINARY LANDSCAPE PLAN  
 ERIE, CO

**OWNER:**  
 JON SHUMAKER  
 JERRY B. RICHMOND III  
 7220 S. ALTON WAY  
 SUITE C-400  
 CENTENNIAL, CO 80112

**NOT FOR CONSTRUCTION**

**DATE:**  
 01/24/2020 SUBMITTAL 01  
 04/23/2020 SUBMITTAL 02  
 07/21/2020 SUBMITTAL 03

**SHEET TITLE:**  
 LANDSCAPE PLAN

CHECKED BY: BH  
 DRAWN BY: CB, CS, JS

SHEET L-10

L-7

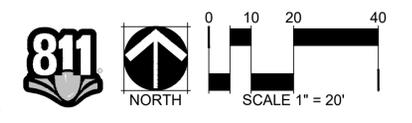
# COLLIERS HILL FILING NO. 4G PP-001137-2020 PRELIMINARY LANDSCAPE PLAN

A REPLAT OF TRACT E OF "COLLIERS HILL FILING NO. 4C", TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO



LEGEND	
	LIMIT OF WORK
	MATCHLINE
	EDGER - METAL
	EDGER - MOW LINE
	EDGER - SPADE CUT
	REDI-ROCK RETAINING WALL
	5 RAIL FENCE
	ENHANCED PAVING
	ENGINEERED WOOD FIBAR PLAY SURFACE
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	IRRIGATED MIXED GRASS PRAIRIE NATIVE SEED MIX
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	SHORTGRASS PRAIRIE NATIVE SEED MIX
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	ORNAMENTAL TREE
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	LANDSCAPE BOULDERS

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CHECKED BY: BH  
DRAWN BY: CB, CS, JS

ENLARGEMENT SHEET L-17

ENLARGEMENT SHEET L-18

**COLLIERS HILL**  
FILING 4G PRELIMINARY LANDSCAPE PLAN  
ERIE, CO

**OWNER:**  
JON SHUMAKER  
JERRY B. RICHMOND III  
7220 S. ALTON WAY  
SUITE C-400  
CENTENNIAL, CO 80112

**NOT FOR CONSTRUCTION**

**DATE:**  
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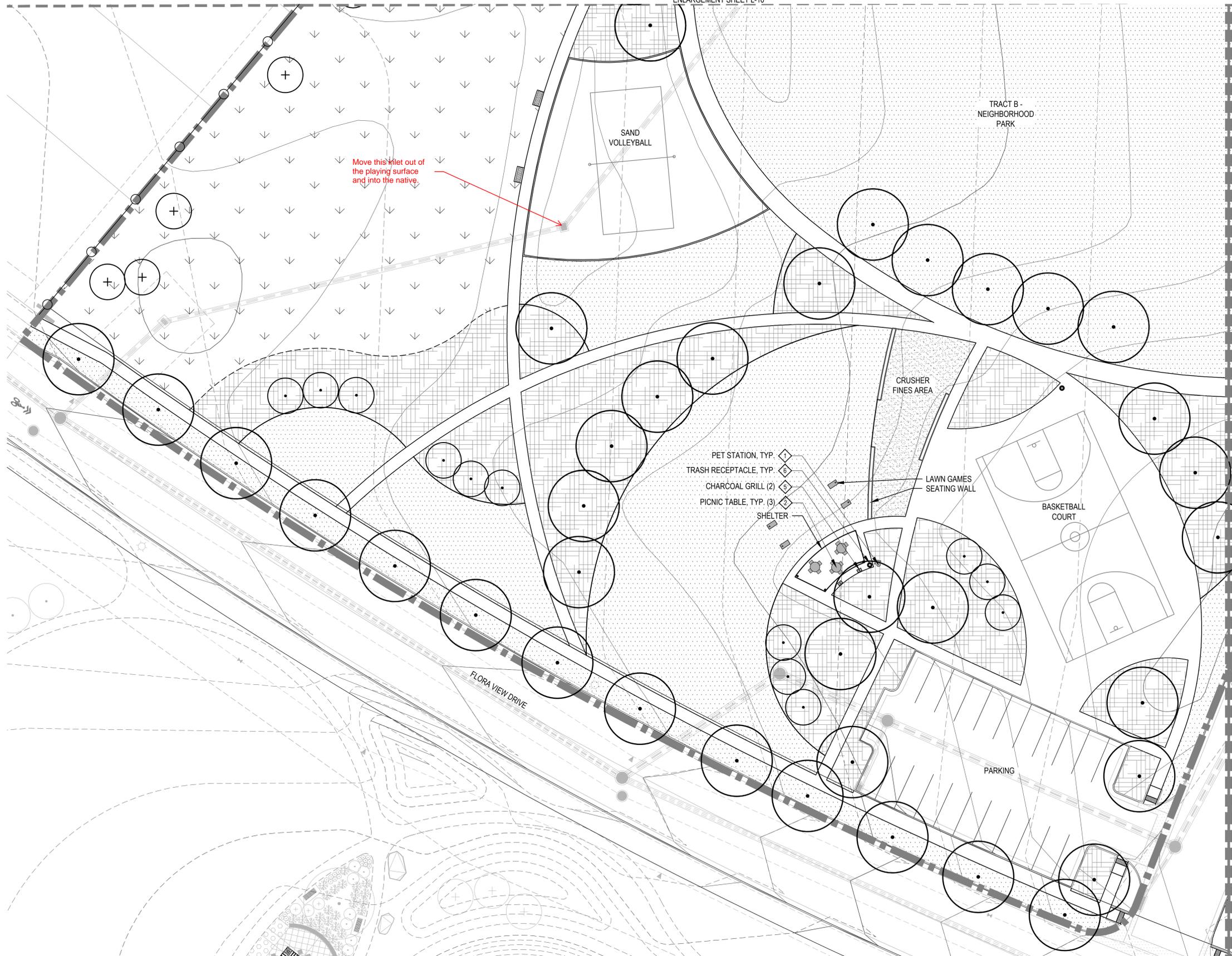
**SHEET TITLE:**  
NEIGHBORHOOD PARK  
ENLARGEMENT

L-16

# COLLIERS HILL FILING NO. 4G PP-001137-2020 PRELIMINARY LANDSCAPE PLAN

A REPLAT OF TRACT E OF "COLLIERS HILL FILING NO. 4C", TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

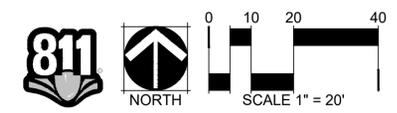
ENLARGEMENT SHEET L-16



L-17

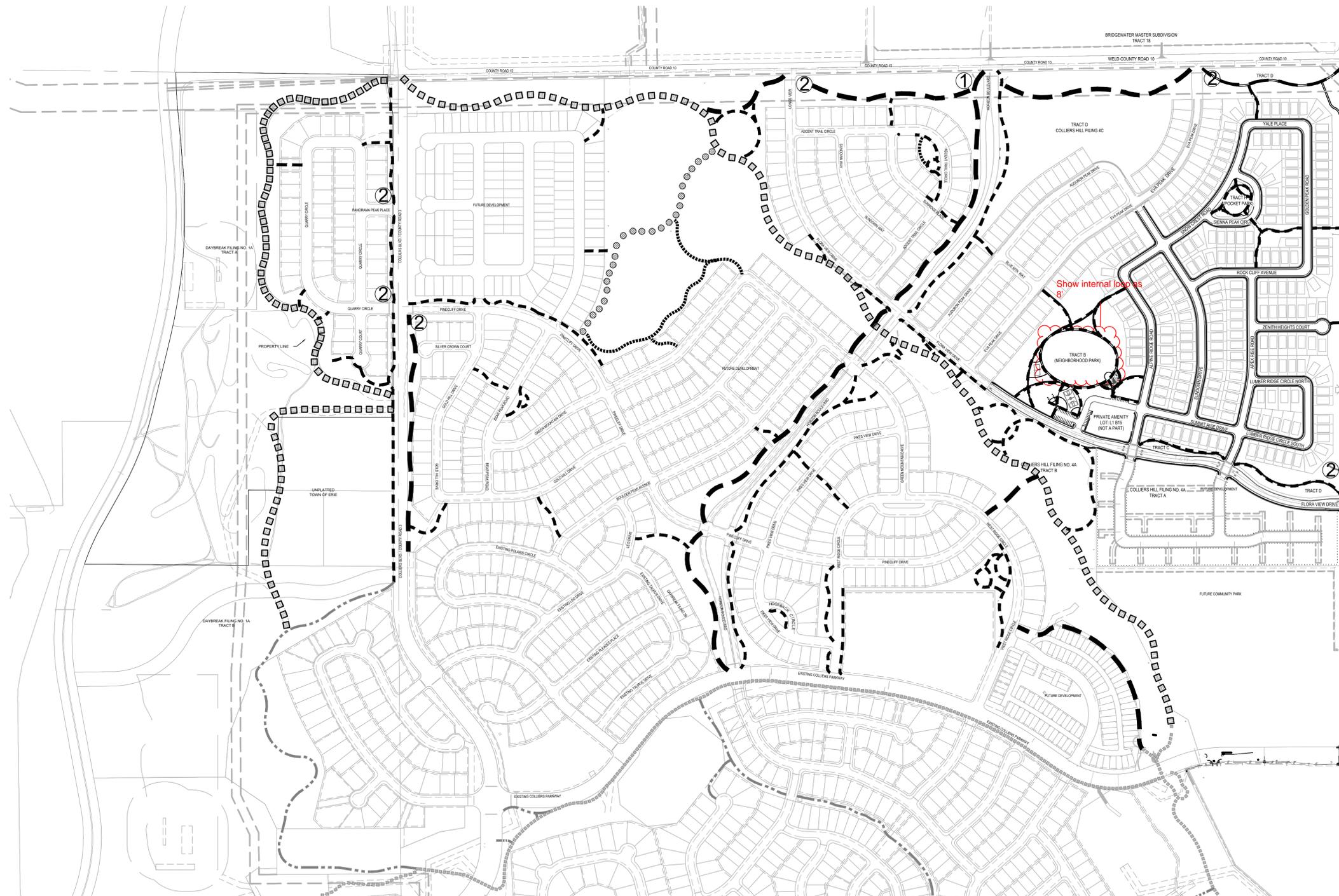
LEGEND	
	LIMIT OF WORK
	MATCHLINE
	EDGER - METAL
	EDGER - MOW LINE
	EDGER - SPADE CUT
	REDI-ROCK RETAINING WALL
	5 RAIL FENCE
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# COLLIERS HILL FILING NO. 4G PP-001137-2020 PRELIMINARY LANDSCAPE PLAN

A REPLAT OF TRACT E OF "COLLIERS HILL FILING NO. 4C", TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO



**LEGEND**

	5' CONCRETE TRAIL
	8' CONCRETE TRAIL (Per Town Standards)
	CRUSHER FINES
	PRIMARY MONUMENT (SEE DETAIL IN FINAL PLAT NO. 4 PLAN SET)
	SECONDARY MONUMENT (SEE DETAIL 1/L13)
	EXISTING LOCAL TRAILS
	EXISTING SPINE TRAILS

**COLLIERS HILL**  
 FILING 4G PRELIMINARY LANDSCAPE PLAN  
 ERIE, CO

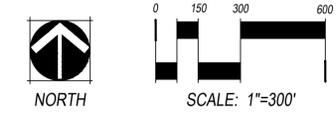
**OWNER:**  
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 CONSTRUCTION**

**DATE:**  
 01/24/2020 SUBMITTAL 01  
 04/23/2020 SUBMITTAL 02  
 07/21/2020 SUBMITTAL 03

**SHEET TITLE:**  
 OVERALL  
 TRAILS EXHIBIT

CHECKED BY: BH  
 DRAWN BY: CB, OS, JS





**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571. 3284  
donna.l.george@xcelenergy.com

August 31, 2020

Town of Erie Community Development Services  
645 Holbrook / PO Box 750  
Erie, CO 80516

Attn: Chris LaRue

**Re: Colliers Hill Filing No. 4G Preliminary Plat – 3<sup>rd</sup> referral  
Case # PP-001137-2020**

Public Service Company of Colorado's Right of Way & Permits Referral Desk acknowledges the comment response for **Colliers Hill Filing No. 4G Preliminary Plat** and reminds the property owner/developer/contractor to complete the application process for any new natural gas service via [xcelenergy.com/InstallAndConnect](http://xcelenergy.com/InstallAndConnect).

Donna George  
Right of Way and Permits  
Public Service Company of Colorado dba Xcel Energy  
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



Your Touchstone Energy® Cooperative 

August 31, 2020

Town of Erie community Development  
645 Holbrook St  
Erie, CO 80506

Re: PP-001137-2020 – 3<sup>rd</sup> Submittal - Colliers Hill Filing 4G

Dear Chris LaRue:

On behalf of United Power, Inc., thank you for inviting us to review and comment on the 3<sup>rd</sup> Submittal for PP-001137-2020 – Colliers Hill Filing 4G. After review of the information, we have the following comments:

- Thank you for addressing our previous concerns, we have no further comments or concerns.

Please note, the property owner/developer/contractor must submit an application along with CAD data for new electric service via <https://www.unitedpower.com/construction>. United Power would like to work with these persons early in the construction process on getting an electric design prepared so that we can request any additional easements needed and hopefully have those easements dedicated on the plat rather than obtaining separate document(s). Obtaining easements via a separate document can be time consuming and could cause delays.

**As a Reminder:** No permanent structures are acceptable within the dry utility easement(s); such as, window wells, wing walls, retaining walls, basement walls, roof overhang, anything affixed to the house like decks, etc. United Power considers any structure that impedes the access, maintenance, and safety of our facilities a permanent structure. No exceptions will be allowed, and any encroachments could result in penalties.

Service will be provided according to the rules, regulations, and policies in effect by United Power at the time service is requested. We look forward to safely and efficiently providing reliable electric power and outstanding service.

Thank you,



Samantha Riblett  
United Power, Inc.  
Right of Way Administrative Assistant  
O: 303-637-1324 | Email: [platreferral@unitedpower.com](mailto:platreferral@unitedpower.com)



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**Internal Memo**

To: Chris LaRue, Planning & Development - Senior Planner  
From: Luke Bolinger, Community Partnership & Special Projects Manager  
Date: October 8, 2020  
**Subject: Colliers Hill Filing 4G – Preliminary Landscape Plans – 9/16/2020 - Submittal 04**  
Cc: Patrick Hammer, Parks & Recreation Director

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Parks & Open Space Division staff have reviewed the subject plans and offer the following comments. Addressing these comments will be a condition of approval of the Preliminary/Final Plat as outlined below. A Final Accepted Landscape Plan is required for Final Plat approval.

CONDITIONS OF APPROVAL OF THE PRELIMINARY PLAT:

General Comments:

- 1) The applicant agreed to remove the southernmost two lots located on the east side of the future neighborhood park. The aforementioned landscape plans received by Parks & Open Space did not show these lots removed.  
**Applicant:** The applicant no longer agrees to remove the southernmost two lots as the original deal was not kept.  
**Response:** Noted. See comment below regarding the playground and its proximity to these lots.

AT THE TIME OF FINAL PLAT, THE FOLLOWING COMMENTS ARE REQUIRED TO BE ADDRESSED:

General Comments:

A majority of these comments relate to the neighborhood park. Up until this point, Parks staff was only familiar with the park master plan, which is often very different from design documents. Parks staff was asked to provide a review and comment on initial design documents, as is consistent with other Town park projects. Staff understands that there are more details to come with the neighborhood park with the final plat. Staff is more than happy to discuss these comments with the applicant.

- 1) Please identify the property and tract lines between the park and the private amenity lot.
- 2) At each trail intersection, there shall be a flared end to assist maintenance vehicles, pedestrians and cyclists in navigating the turn. At ninety (90) degree intersections, flare shall be placed. Follow detail P27 that is required with regard to required flared corners. Please use the “Monolithic Trail Connection” design for the trail flares.

- 3) Remove sharp angles located at bed corners and introduce round flares or flared corners as applicable.
- 4) Increase all connector trails and associated ramps to 8' to allow for maintenance vehicles to access, and to avoid social trails developing from users. Additional access points may be required as part of this evaluation (example: plow access from the parking lot).
- 5) All entry ramps should be designed to allow maintenance vehicles to access and exit without being hindered by shrub beds, sod, or any other obstruction.
- 6) Remove spade cut edger in all Town of Erie maintained areas and replace with dark green 6" x 3/16<sup>th</sup> steel edger. Update all notes on Sheet L-19 to reflect this requirement.
- 7) Show mixed grass prairie seed mixture table for areas outside of 10 ft. from trails and roads. Areas within 10ft should be seeded with the shortgrass seed mixture
- 8) Larger Type 31 inlets are to have vane type grates installed for the safety of the user.
- 9) Private irrigation lines are not to be located within the future neighborhood park tract.
- 10) Provide grade elevations within the landscape set for the neighborhood park.
- 11) All landscape areas within the neighborhood park are required to show the square footage for each individual area per the Standards and Specifications. This requirement assists in establishing the amendment requirements at the time of construction.
- 12) Provide alternate locations to move the playground further away from the parking lot and the home lots that are to remain adjacent to the neighborhood park. Alternate location could be the north side of the park. General playground considerations including shading can be found at the following link starting at 2.1: <https://www.cpsc.gov/s3fs-public/325.pdf>
- 13) There are several areas throughout the park that trees are located too close to sidewalks, fences, and trails. Specific requirements for placement of trees can be found at 1064.02 Placement at the following link: <https://www.erieco.gov/DocumentCenter/View/10043/Section-1000---2019-Parks-Construction?bidId=>
- 14) No trees are to be located within 55' from the point of curb return at road intersections where a stop sign is present. See attached Detail ST5 for additional clarification.
- 15) Several locations show pet stations and trash cans located adjacent to benches. Please relocate to provide consideration of odors coming from these amenities.
- 16) Reduce the overall number and/or sizes of the landscape beds.
- 17) Provide at least one designated Plant Select xeric landscape bed.
- 18) Existing electrical cabinet and any new utility cabinets must receive screening from the adjacent roads and sidewalks.
- 19) An irrigation design was not received as part of this submittal. Please provide irrigation design and proposed POC location prior to final plat for review.

#### Sheet L-7

- 1) It seems that the new west 5' connector trail into the park does not match up with the shown Eva Peak Drive ramp. Please ensure that this connector trail aligns with the ramp off of Eva Peak Drive.  
**Applicant:** The new 5' connector trail has been revised to align with the existing curb ramp along Eva Peak Drive.  
**Response:** Noted, increase all connector trails and associated ramps to 8'. Perimeter sidewalk can remain at 5' as designed.

#### Sheet L-8

- 1) Provide a separate irrigation POC to Tract E, irrigation and electrical cannot run through the neighborhood park property to feed this tract.

#### Sheet L-10

- 1) Identify the surfacing that is proposed around the sand volleyball court.
- 2) Reduce the grade in the playing fields to not exceed 1.5%.

#### Sheet L-11

- 1) Staff request the applicant to consider if the large quarter circle area of sod could be redesigned as a challenge field for the use of users who have a disability. Maximum grade within a challenger course is 0.5%. Staff can work with the landscape architects on this potential amenity.
- 2) Remove the sod hatching that is shown at the shelter location.

#### Sheet L-16

- 1) There is an inlet located within the irrigated turf playing field. Please move the inlet to the west into the native seeding area.  
**Applicant:** A drain inlet is needed near the turf playing field to allow the sod area to properly drain and prevent it from turning into a swamp. The inlet was shifted closer to the 8' walk to minimize impact to the overall turf playing field, and a cobble bed was added around the inlet.  
**Response:** Noted and accepted.
- 2) Staff request additional design changes to the trail and bed layout at the north end of the park to make the trails maintenance and user friendly.

#### Sheet L-17

- 1) There is an inlet located with the boundaries of the sand volleyball court. Please move the inlet to the west into the native area.  
**Applicant:** An inlet is needed at the low point within the sand volleyball court to prevent drainage issues. The finish elevation of this court will be recessed and filled with sand. The inlet is in the corner of the play area and will not impact the actual sand volleyball court playable area.  
**Response:** Noted and accepted.

#### Sheet L-18

- 1) Change the native area located closest to Alpine Ridge Road to irrigated sod.

#### Sheet L-19

- 1) Update native seed mixes to reflect current 2019 seed mixes. Seed mixtures can be found starting on Page 1000-22 at the following link:  
<https://www.erieco.gov/DocumentCenter/View/10043/Section-1000---2019-Parks-Construction?bidId=>

#### Sheet L-20

- 1) Native/Wetland Seed - correct the page number to reflect L19 from L13.

#### Sheet L-23

- 1) It looks like the internal loop trail of the neighborhood park is not reflected as an 8' concrete trail.  
**Applicant:** The internal loop trail of the neighborhood park has been revised to read as an 8' concrete trail.  
**Response:** Noted



## Memo

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To: Dave Pasic  
From: Misty Hall, Stormwater Coordinator  
Date: October 27, 2020, 2020  
Subject: **Colliers Hill 4G - Stormwater Comments**  
CC:

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### SPA Stormwater Comments

1. ECP Comments
  - a. Identify back of curb protection
  - b. Weld County Rd 5 Erosion Control Plans need submitted if the work is going to be completed with Colliers 4G.
2. Additional Items Needed before precon can commence
  - a. Control Measure Cost Opinion Worksheet
  - b. Submit reimbursable stormwater performance surety (LOC/check)
  - c. Verification of updated State Permit limits
  - d. Digital Perimeter of permitted area ( can be .shp or .dwg)
3. Complete Post Construction Design Standard form