

# COLLIERS HILL FILING NO. 4B FINAL PLAT

A REPLAT OF TRACT R OF "COLLIERS HILL FILING NO. 4A"  
LOCATED IN THE WEST HALF OF SECTION 17,  
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO  
39.26 ACRES - 136 LOTS, 5 TRACTS  
FP-000786-2016

### ACCEPTANCE CERTIFICATE:

THE DEDICATION OF TRACTS A, B, C, D AND E ARE HEREBY ACCEPTED FOR OWNERSHIP AND MAINTENANCE BY THE COLLIERS HILL HOMEOWNERS ASSOCIATION.

COLLIERS HILL HOMEOWNERS ASSOCIATION

BY: JON LEE DATE

TITLE: PRESIDENT

### ACKNOWLEDGMENT

STATE OF COLORADO )  
COUNTY OF ) SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY JON LEE AS PRESIDENT OF THE COLLIERS HILL HOMEOWNERS ASSOCIATION.

WITNESS MY HAND AND OFFICIAL SEAL.  
MY COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC

### ACCEPTANCE CERTIFICATE:

TRACTS A, B, C, D AND E ARE HEREBY ACCEPTED FOR MAINTENANCE BY THE COLLIERS HILL METROPOLITAN DISTRICT NO. 2.

COLLIERS HILL METROPOLITAN DISTRICT NO. 2

BY: JERRY RICHMOND DATE

TITLE: PRESIDENT

### ACKNOWLEDGMENT

STATE OF COLORADO )  
COUNTY OF ) SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY JERRY RICHMOND AS PRESIDENT OF COLLIERS HILL METROPOLITAN DISTRICT NO. 2.

WITNESS MY HAND AND OFFICIAL SEAL.  
MY COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC

### NOTES:

- 1) NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- 2) THE PURPOSE OF THIS PLAT IS TO FURTHER SUBDIVIDE EXISTING TRACTS INTO LOTS, TRACTS AND RIGHTS OF WAY.
- 3) BASIS OF BEARINGS: BEARINGS ARE BASED ON THE SOUTHERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 17 TO MATCH THE COLLIERS HILL MASTER SUBDIVISION PLAT: N88°48'09"E, 2648.37 FEET BETWEEN THE SOUTH QUARTER CORNER BEING A 2" ALUMINUM CAP MARKED "LS 28258 1999" AND THE SOUTHEAST CORNER OF SECTION 17, BEING A 2.5" ALUMINUM CAP MARKED "LS 23501 1993".
- 4) DUE TO THE PROXIMITY OF THE PROPERTY TO THE ERIE MUNICIPAL AIRPORT, THERE WILL BE AIRCRAFT PASSING OVER THE PROPERTY. AIRCRAFT PASSAGE MAY RESULT IN NOISE AND OTHER IMPACTS ON THE PROPERTY. AIRCRAFT MAY CROSS PROPERTY AT LOW ALTITUDE IN ACCORDANCE WITH FAA REGULATIONS. THE FREQUENCY OF AIRCRAFT PASSING OVER THE PROPERTY MAY INCREASE IN THE FUTURE. THE OWNERS, THEIR HEIRS, SUCCESSORS AND ASSIGNS, SPECIFICALLY ACKNOWLEDGE THE RIGHT OF PASSAGE OVER THE PROPERTY FOR AIRCRAFT AND AGREE TO HOLD HARMLESS THE TOWN OF ERIE FOR AIRCRAFT OPERATIONS. SEE PERMANENT AVIGATION EASEMENT AGREEMENT RECORDED 11/19/2007 AT RECEPTION NO. 3518318 IN THE RECORDS OF WELD COUNTY, COLORADO.
- 5) PROPERTY IS LOCATED IN UNSHADED ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) PER FLOOD INSURANCE RATE MAP PANEL NUMBER 0801300441J WITH A REVISION DATE OF 12/18/2012.
- 6) UNLESS OTHERWISE NOTED, ALL SUBDIVISION CORNERS WILL BE MONUMENTED WITH 1" PLASTIC CAPS MARKED LS 37990 SET ON #5 REBAR AFTER OVERLOT GRADING.
- 7) A BLANKET PUBLIC ACCESS EASEMENT IS GRANTED OVER TRACTS A, B, C, D AND E.
- 8) MAINTENANCE DEFINITION: MAINTENANCE IS THE PROCESS OF PRESERVING CAPITAL IMPROVEMENTS, STRUCTURES, DEVELOPMENT, OR SYSTEMS TO MEET ITS FUNCTION OR ORIGINAL INTENT OF THE FACILITY. THIS IS THE PRESERVATION, CONSERVATION, KEEPING IN GOOD CONDITIONS, OPERATING SAFELY, OPERATING EFFICIENTLY, TESTING, INSPECTION, SERVICING, REPAIRING, GRADING, CLEANING, PICKING UP TRASH AND DEBRIS, PEST CONTROL, PAINTING, MOWING, PRUNING, AND PROLONGING OF THESE FACILITIES. MAINTENANCE ALSO INCLUDES THE PROVISION OF FINANCIAL SUPPORT TO MAINTAIN THE FACILITIES. FACILITIES INCLUDE BUT ARE NOT LIMITED TO: LANDSCAPING, OPEN AREAS, GRASS, SHRUBS, TREES, PLAYGROUNDS, SITE FURNITURE AND FIXTURES, RETAINING WALLS, SIGNS, SIDEWALKS, DRAINAGE STRUCTURES SUCH AS PONDS, SWALES, DRAIN PANS, INLETS, AND OUTLET STRUCTURES.

### BOARD OF TRUSTEES APPROVAL CERTIFICATE

THIS PLAT IS TO BE KNOWN AS "COLLIERS HILL FILING NO. 4B" AND IS APPROVED AND ACCEPTED BY RESOLUTION NO. \_\_\_\_\_ PASSED AND ADOPTED AT THE REGULAR (SPECIAL) MEETING OF THE BOARD OF TRUSTEES OF ERIE, COLORADO, HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

MAYOR

ATTEST:

TOWN CLERK

### COMMUNITY DEVELOPMENT AND PUBLIC WORKS APPROVAL CERTIFICATE

THIS PLAT IS HEREBY APPROVED BY THE TOWN OF ERIE COMMUNITY DEVELOPMENT DIRECTOR AND PUBLIC WORKS DIRECTOR ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

COMMUNITY DEVELOPMENT DIRECTOR

PUBLIC WORKS DIRECTOR

### CLERK AND RECORDER'S CERTIFICATE:

STATE OF COLORADO )  
COUNTY OF WELD )

I HEREBY CERTIFY THAT THIS PLAT WAS FILED IN MY OFFICE ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ A.D., AND WAS RECORDED AT RECEPTION NUMBER \_\_\_\_\_.

WELD COUNTY CLERK AND RECORDER

### SURVEYOR'S CERTIFICATE

I, BO BAIZE, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE IN JUNE, 2016 BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (SECOND ORDER); AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND AND ALL APPLICABLE PROVISIONS OF THE TOWN OF ERIE MUNICIPAL CODE, TITLE 10.

I ATTEST THE ABOVE ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

BO BAIZE,  
FOR AND ON BEHALF OF HURST AND ASSOCIATES, INC.  
COLORADO PLS NO. 37990

### APPLICANT/DEVELOPER:

DAYBREAK RECOVERY ACQUISITION LLC  
1251 AVENUE OF THE AMERICAS, FLOOR 50  
NEW YORK, NY 10020

### ENGINEER/SURVEYOR:

HURST & ASSOCIATES, INC.  
2500 BROADWAY, SUITE B  
BOULDER, CO 80304

### DEDICATION STATEMENT:

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES OR LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF ERIE, COUNTY OF WELD, COLORADO, DESCRIBED AS FOLLOWS:

TRACT R OF "COLLIERS HILL FILING NO. 4A", TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, CONTAINING 39.26 ACRES.

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, TRACTS, STREETS AND EASEMENTS AS SHOWN HEREON, UNDER THE NAME AND STYLE OF "COLLIERS HILL FILING NO. 4B". THE STREETS AND EASEMENTS NOTED HEREON ARE DEDICATED AND CONVEYED TO THE TOWN OF ERIE, COLORADO, IN FEE SIMPLE ABSOLUTE, WITH MARKETABLE TITLE, FOR PUBLIC USES AND PURPOSES AS NOTED HEREON.

DAYBREAK RECOVERY ACQUISITION, LLC

BY: JON SHUMAKER DATE

AS: AUTHORIZED SIGNATORY

### ACKNOWLEDGMENT

STATE OF COLORADO )  
COUNTY OF ) SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY JON SHUMAKER AS AUTHORIZED SIGNATORY OF DAYBREAK ACQUISITION, LLC

WITNESS MY HAND AND OFFICIAL SEAL.  
MY COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC

### TITLE VERIFICATION CERTIFICATE:

WE, FIRST AMERICAN TITLE INSURANCE COMPANY, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE OF ALL LAND PLATTED HEREON AND THAT TITLE TO SUCH LAND IS IN THE DEDICATOR(S), IS FREE AND CLEAR OF ALL MONETARY LIENS AND MONETARY ENCUMBRANCES AND IS OTHERWISE SUBJECT ONLY TO THOSE ITEMS OF RECORD SHOWN IN SCHEDULE B-2 OF THE FIRST AMERICAN TITLE INSURANCE COMPANY TITLE COMMITMENT NUMBER \_\_\_\_\_ WITH AN EFFECTIVE DATE OF \_\_\_\_\_

BY: \_\_\_\_\_ DATE

AS:

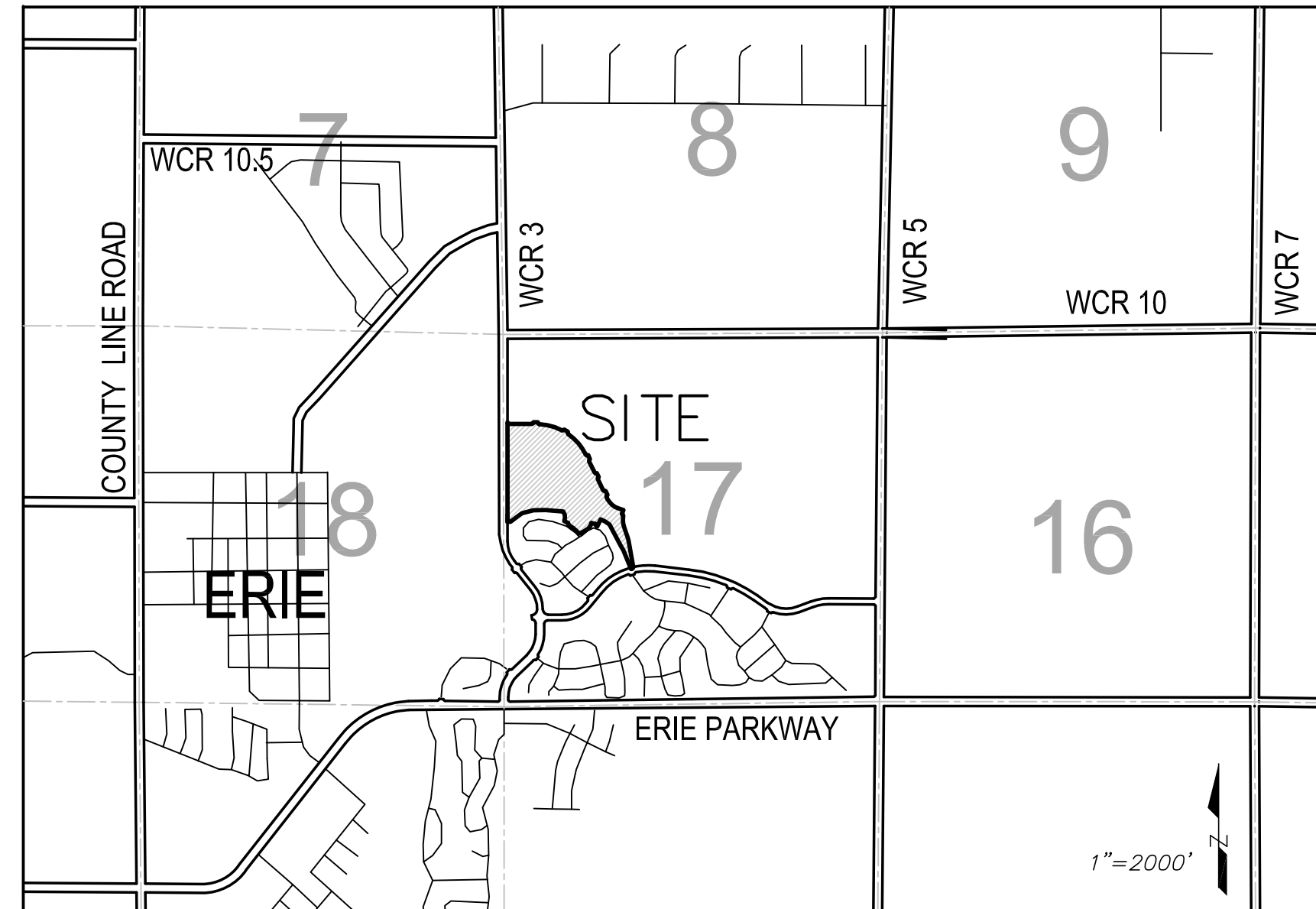
### ACKNOWLEDGMENT

STATE OF COLORADO )  
COUNTY OF ) SS

ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY \_\_\_\_\_ AS

WITNESS MY HAND AND OFFICIAL SEAL.  
MY COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC

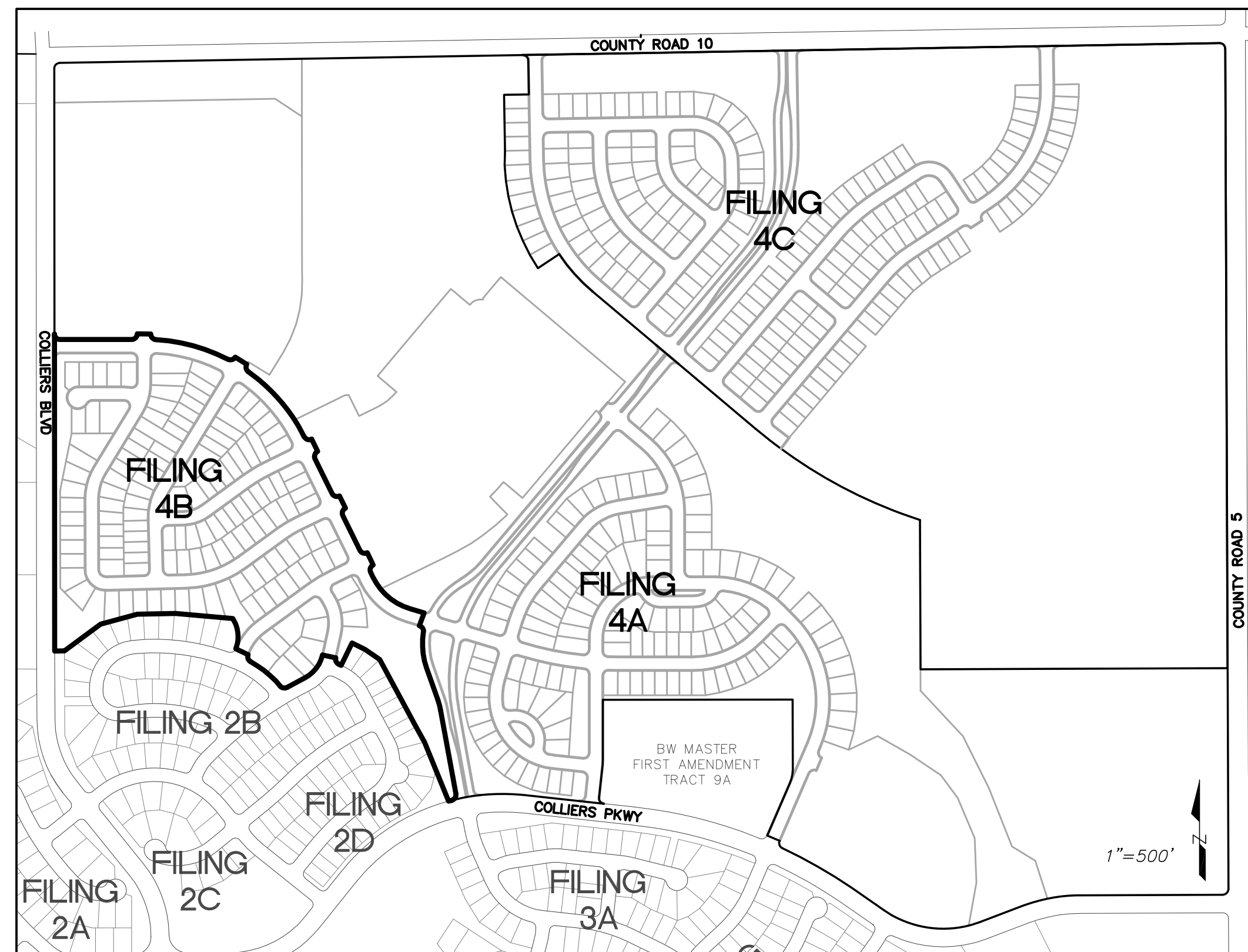


VICINITY MAP

LAND SUMMARY CHART		
TYPE	AREA	% OF TOTAL AREA
RESIDENTIAL LOTS	22.30 Ac.	56.8%
TRACTS	6.55 Ac.	16.7%
PUBLIC ROW	10.41 Ac.	26.5%
TOTAL	39.26 Ac.	100.0%

TRACT SUMMARY CHART				
TRACT	AREA	USE	OWNERSHIP	MAINTENANCE*
A	2.23 Ac.	LANDSCAPE BUFFER	H.O.A.	H.O.A. OR METRO DISTRICT
B	0.30 Ac.	LANDSCAPING	H.O.A.	H.O.A. OR METRO DISTRICT
C	0.41 Ac.	LANDSCAPE BUFFER	H.O.A.	H.O.A. OR METRO DISTRICT
D	0.45 Ac.	LANDSCAPING	H.O.A.	H.O.A. OR METRO DISTRICT
E	3.17 Ac.	OPEN SPACE	H.O.A.	H.O.A. OR METRO DISTRICT

\*-SEE NOTE B



FILING 4 KEY MAP

### SCALE VERIFICATION

BAR IS ONE INCH ON ORIGINAL DRAWING  
IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

NO.	DESCRIPTION	DATE	BY
1	First Submittal	08/29/16	Ba
2	Edits per 08/01 Town comments	08/23/16	Ba
3	Edits per 10/18 Town comments	11/07/16	Ba
4	Remove vacated easement	11/23/16	Ba
4	Correct Title verification	01/18/17	Ba

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1	First Submittal	08/29/16	Ba
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HURST & ASSOCIATES, INC.  
2500 Broadway, Suite B  
Boulder, CO 80304  
303.449.9105

HURST  
CIVIL ENGINEERING  
PLANNING  
SURVEYING

COLLIERS HILL FILING NO. 4B  
FINAL PLAT  
ERIE, COLORADO

DRAWN BY:	BO
DESIGNED BY:	JJ
APPROVED BY:	JJ
JOB NUMBER:	2527-02
DATE:	01/18/17
SCALE:	N/A
SHEET NO.:	1 OF 5

FILE LOCATION:  
G:\2527\SURVEILING\COLLIERS HILL FILING 4B SH-12

# COLLIERS HILL FILING NO. 4B FINAL PLAT

SHEET 2 OF 5  
FP-000786-2016



SCALE VERIFICATION  
BAR IS ONE INCH  
ON ORIGINAL DRAWING  
IF NOT ONE INCH ON THIS SHEET  
ADJUST SCALES ACCORDINGLY

SURVEYORS STAMP:

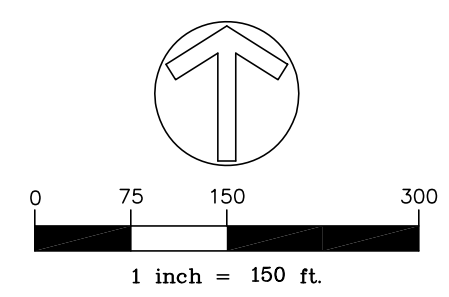
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**HURST**  
CIVIL ENGINEERING  
PLANNING  
SURVEYING

COLLIERS HILL FILING NO. 4B  
FINAL PLAT  
ERIE, COLORADO

DRAWN BY:	BO
DESIGNED BY:	JJ
APPROVED BY:	JJ
JOB NUMBER:	2527-02
DATE:	01/18/17
SCALE:	1"=150'
SHEET NO:	2 OF 5

FILE LOCATION:  
G:\2527\SURVEYING\4B\COLLIERS HILL FILING 4B SH-12

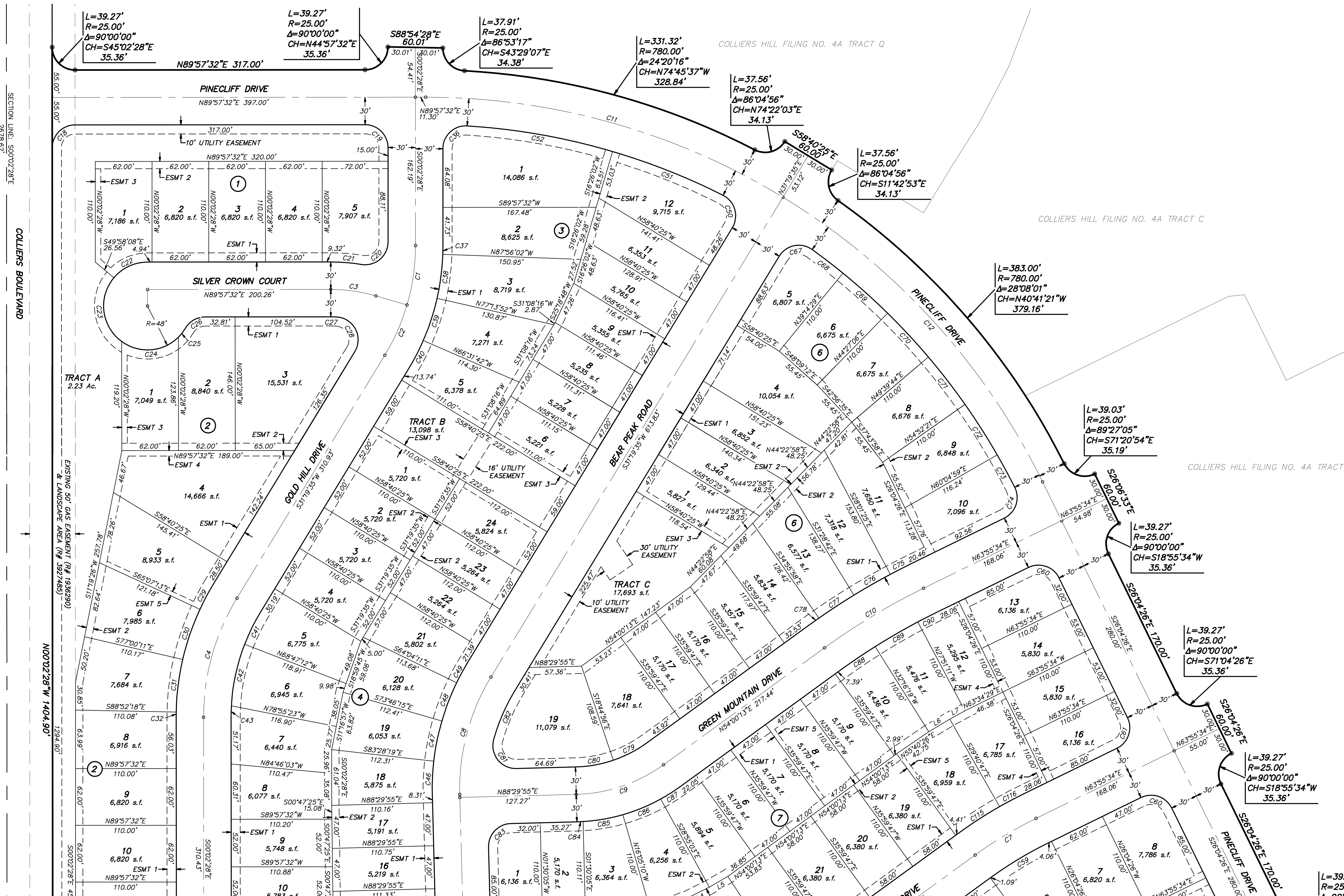




# COLLIERS HILL FILING NO. 4B FINAL PLAT

SHEET 3 OF 5  
RP-000786-2016

**EASEMENT NOTES:**  
RESIDENTIAL LOTS SHALL HAVE THE FOLLOWING EASEMENTS:  
-10' UTILITY ALONG RIGHTS OF WAY (ESMT 1)  
-8" DRAINAGE & UTILITY ALONG REAR LOT LINE (ESMT 2)  
-6" UTILITY ALONG LOT LINES ADJACENT TO TRACTS (ESMT 3)  
-6" DRAINAGE & UTILITY ALONG SIDE LOT LINES ADJACENT TO REARS OF ADJACENT LOTS (ESMT 4)  
-5' UTILITY ALONG SIDE LOT LINE AS SHOWN FOR STREET LIGHT (ESMT 5)  
UNLESS OTHERWISE SHOWN, TRACTS SHALL HAVE 10' UTILITY EASEMENTS ALONG RIGHTS OF WAY



CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING
C1	65.80'	230.00'	162°32'	65.58' N08°02'18"E
C2	80.11'	230.00'	145°31'	59.84' N23°50'19"E
C3	50.07'	175.00'	162°32'	49.90' N81°50'42"W
C4	136.87'	250.00'	31°22'03"	135.16' S15°58'33"W
C7	77.93'	450.00'	9°55'21"	77.83' S58°52'53"W
C8	134.64'	235.00'	32°49'40"	132.81' S14°54'45"W
C9	102.35'	170.00'	34°29'42"	100.81' N71°15'04"E
C10	126.42'	730.00'	9°55'21"	126.28' S58°52'53"W
C11	410.60'	750.00'	31°22'03"	405.48' N74°21'32"W
C12	426.73'	250.00'	32°49'42"	421.00' N42°21'28"W
C18	39.27'	25.00'	90°00'00"	35.36' S44°52'32"W
C19	39.27'	25.00'	90°00'00"	35.36' N45°02'28"W
C20	43.38'	25.00'	99°25'49"	38.14' N49°40'26"E
C21	33.74'	205.00'	9°25'49"	33.70' N85°19'34"W
C22	41.83'	48.00'	49°55'40"	40.52' S64°59'42"W
C23	78.25'	48.00'	84°00'12"	70.21' S06°38'14"E
C24	67.83'	48.00'	82°43'42"	62.17' N85°39'46"E
C25	12.47'	48.00'	14°53'06"	12.43' N37°51'20"E
C26	25.98'	25.00'	59°32'45"	24.83' S60°11'09"W
C27	5.93'	145.00'	2°20'32"	5.93' N88°52'12"W
C28	51.93'	25.00'	119°01'31"	43.09' N28°11'11"W
C29	31.50'	280.00'	6°26'47"	31.49' S28°06'11"W
C30	58.07'	280.00'	11°52'58"	57.97' S16°56'18"E
C31	58.00'	280.00'	11°52'02"	57.90' S07°31'46"W
C32	5.72'	280.00'	1°10'10"	5.71' S00°32'37"W
C36	40.84'	25.00'	93°36'19"	36.45' S46°45'41"W
C37	9.56'	260.00'	2°06'26"	9.56' N01°00'45"E
C38	48.57'	260.00'	10°42'10"	48.50' N07°25'03"E
C39	48.57'	260.00'	10°42'10"	48.50' N18°07'13"E
C40	35.64'	260.00'	7°51'17"	35.62' N27°56'56"E
C41	38.83'	220.00'	10°06'47"	38.78' N15°21'11"W
C42	69.16'	220.00'	18°00'42"	68.87' S12°12'27"W
C43	12.45'	220.00'	31°4'34"	12.45' S01°34'49"W
C46	37.14'	265.00'	8°01'46"	37.11' S02°30'48"W
C47	44.87'	265.00'	9°42'04"	44.82' S11°22'43"W
C48	44.87'	265.00'	9°42'04"	44.82' S21°04'47"W
C49	24.96'	265.00'	5°23'45"	24.95' S28°37'42"W
C50	41.25'	25.00'	84°32'20"	36.73' N15°56'15"W
C51	130.11'	720.00'	10°21'12"	129.93' N68°23'22"W
C52	161.23'	720.00'	12°52'12"	161.39' N80°00'04"W
C59	72.74'	420.00'	9°55'21"	72.64' S58°52'53"W
C60	39.27'	25.00'	90°00'00"	35.36' N71°04'26"W
C61	39.27'	25.00'	90°00'00"	35.36' S78°35'45"W
C67	41.25'	25.00'	84°32'20"	36.73' N15°56'15"W
C68	42.43'	720.00'	3°22'34"	42.42' N52°26'48"W
C69	65.48'	720.00'	51°2'37"	65.45' N48°09'12"W
C70	65.48'	720.00'	51°2'37"	65.45' N42°56'35"W
C71	65.48'	720.00'	51°2'37"	65.45' N37°43'58"W
C72	65.48'	720.00'	51°2'37"	65.45' N32°31'20"W
C73	40.31'	720.00'	31°2'28"	40.30' N28°18'47"W
C80	42.14'	140.00'	17°14'51"	41.98' N78°56'30"E
C81	46.55'	25.00'	108°41'14"	40.11' S39°28'28"E
C82	57.25'	205.00'	16°08'26"	57.56' S23°15'22"W
C83	39.27'	25.00'	90°00'00"	35.36' S43°29'55"W
C84	6.73'	200.00'	1°55'45"	6.73' N87°32'03"E
C85	44.18'	200.00'	12°39'21"	44.09' N80°14'30"E
C86	44.79'	200.00'	12°49'52"	44.70' N67°29'53"E
C87	24.71'	200.00'	7°04'44"	24.69' N57°56'30"E
C88	45.50'	700.00'	3°43'28"	45.49' S55°51'57"W
C89	53.99'	700.00'	4°25'08"	53.97' S59°56'15"W
C90	21.74'	700.00'	1°46'45"	21.73' S63°02'11"W
C115	62.92'	480.00'	61°9'00"	62.89' S57°09'43"W
C116	30.21'	480.00'	33°26'21"	30.20' S62°07'23"W

LINE TABLE		
LINE	BEARING	LENGTH
L6	N59°01'27"E	26.69'
L7	N61°41'01"E	18.81'

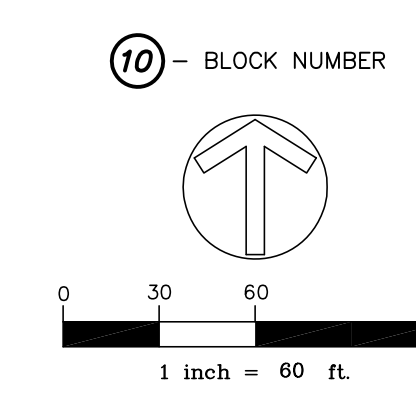
SCALE VERIFICATION  
BAR IS ONE INCH ON ORIGINAL DRAWING  
IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

SURVEYORS STAMP:  
HURST & ASSOCIATES, INC.  
2500 Broadway, Suite B  
Boulder, CO 80304  
303.449.9105

**HURST**  
CIVIL ENGINEERING  
PLANNING  
SUBVEYING

COLLIERS HILL FILING NO. 4B  
FINAL PLAT  
ERIE, COLORADO

DRAWN BY: BO  
DESIGNED BY: JJ  
APPROVED BY: JJ  
JOB NUMBER: 2527-02  
DATE: 01/18/17  
SCALE: 1"=60'  
SHEET NO: 3 OF 5



Match to Sheet 4



# COLLIERS HILL FILING NO. 4B FINAL PLAT

SHEET 4 OF 5  
RP-000786-2016

Match to Sheet 3

**EASEMENT NOTES:**  
RESIDENTIAL LOTS SHALL HAVE THE FOLLOWING EASEMENTS:  
-10' UTILITY ALONG RIGHTS OF WAY (ESMT 1)  
-8" DRAINAGE & UTILITY ALONG REAR LOT LINE (ESMT 2)  
-6" UTILITY ALONG LOT LINES ADJACENT TO TRACTS (ESMT 3)  
-6" DRAINAGE & UTILITY ALONG SIDE LOT LINES ADJACENT TO REARS OF ADJACENT LOTS (ESMT 4)  
-5' UTILITY ALONG SIDE LOT LINE AS SHOWN FOR STREET LIGHT (ESMT 5)  
UNLESS OTHERWISE SHOWN, TRACTS SHALL HAVE 10' UTILITY EASEMENTS ALONG RIGHTS OF WAY



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**SURVEYORS STAMP:**  
HURST & ASSOCIATES, INC.  
2500 Broadway, Suite B  
Boulder, CO 80304  
303.449.9105

**HURST**  
CIVIL ENGINEERING  
PLANNING  
SUBVEYING

COLLIERS HILL FILING NO. 4B  
FINAL PLAT  
ERIE, COLORADO

DATE: 01/18/17  
SCALE: 1"=60'  
SHEET NO: 4 OF 5

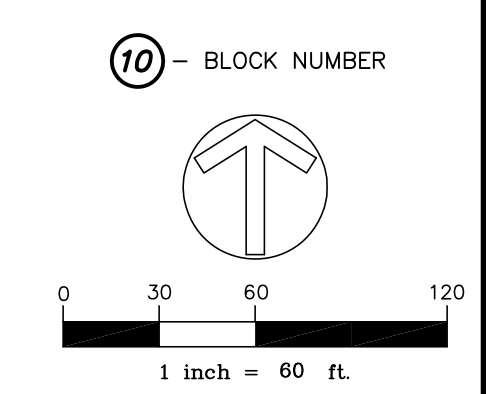
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
OB1	37.54'	25.00'	86°02'06"	34.11'	N32°40'57"E
OB2	14.11'	915.00'	0°33'02"	14.11'	S75°12'29"W
OB3	33.16'	25.00'	78°27'53"	30.94'	S25°45'27"E
OB4	132.83'	150.00'	50°44'14"	128.53'	N37°50'40"E
OB5	88.03'	1710.00'	2°56'59"	88.02'	S61°44'17"W
OB6	36.22'	25.00'	83°00'01"	33.13'	S78°14'12"E
OB7	26.35'	210.00'	71°11'21"	26.33'	N40°19'52"W
OB8	142.49'	480.00'	17°00'31"	141.97'	N52°25'48"W
OB9	102.35'	170.00'	34°29'42"	100.81'	N71°15'04"E
OB10	139.09'	150.00'	53°28'19"	134.96'	N05°46'16"W
C4	136.87'	250.00'	31°22'03"	135.16'	S15°38'33"W
C5	100.57'	63.00'	91°27'37"	90.22'	S45°46'12"E
C6	270.92'	450.00'	34°29'42"	266.85'	N71°15'04"E
C7	77.93'	450.00'	9°55'21"	77.83'	S58°57'53"W
C8	134.64'	235.00'	32°49'40"	132.81'	S14°54'45"W
C9	102.35'	170.00'	34°29'42"	100.81'	N71°15'04"E
C13	60.12'	60.00'	47°11'01"	240.14'	S49°40'01"E
C14	68.19'	600.00'	6°30'40"	68.15'	S60°40'14"W
C15	35.72'	600.00'	3°24'40"	35.72'	S55°42'33"W
C16	135.96'	250.00'	31°09'35"	134.28'	S38°25'26"W
C17	157.29'	200.00'	45°03'40"	153.27'	N10°03'17"W
C31	58.00'	280.00'	11°32'07"	57.90'	S07°03'46"W
C32	5.72'	280.00'	11°01'01"	5.71'	S00°32'37"W
C33	138.81'	58.00'	134°28'19"	134.96'	S08°56'39"W
C34	60.01'	58.00'	59°16'53"	57.37'	S43°29'15"E
C35	18.60'	58.00'	18°22'23"	18.52'	S82°18'53"E
C42	69.16'	220.00'	18°00'42"	68.87'	S12°12'27"W
C43	12.45'	220.00'	37°14'34"	12.45'	S07°34'49"W

CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C44	52.68'	33.00'	91°27'37"	47.26'	S45°46'17"E
C45	29.27'	25.00'	90°00'00"	35.36'	N43°29'55"E
C46	37.14'	25.00'	78°27'53"	30.94'	S25°45'27"E
C47	44.87'	265.00'	9°42'04"	44.82'	S11°22'43"W
C48	44.87'	265.00'	9°42'04"	44.82'	S21°04'47"W
C49	24.96'	265.00'	5°23'45"	24.95'	S28°37'42"W
C53	13.66'	480.00'	1°37'49"	13.66'	N49°11'31"E
C54	59.56'	480.00'	7°06'33"	59.52'	N8°18'49"E
C55	46.55'	480.00'	17°06'33"	59.52'	N18°55'34"E
C56	65.32'	480.00'	24°48'48"	65.27'	N27°14'07"E
C57	59.22'	480.00'	7°04'09"	59.19'	N61°19'02"E
C58	31.67'	480.00'	3°46'50"	31.67'	N55°53'38"E
C59	72.74'	420.00'	9°55'21"	72.64'	S58°57'53"W
C60	39.27'	25.00'	90°00'00"	35.36'	N17°04'26"W
C61	39.27'	25.00'	90°00'00"	35.36'	N18°55'34"E
C62	32.18'	630.00'	7°55'36"	32.11'	S82°02'48"W
C63	60.12'	60.00'	47°11'01"	240.14'	S49°40'01"E
C64	16.81'	630.00'	1°31'43"	16.81'	S54°46'04"W
C65	14.05'	280.00'	2°52'28"	14.05'	S52°33'59"W
C66	138.23'	280.00'	28°17'07"	136.83'	S36°59'11"W
C79	42.14'	140.00'	17°14'51"	41.98'	N62°37'39"E
C80	42.14'	140.00'	17°14'51"	41.98'	N79°52'30"E
C81	46.55'	25.00'	108°11'14"	40.11'	S82°02'48"W
C82	57.75'	200.00'	16°08'26"	57.56'	S23°15'22"W
C83	39.27'	25.00'	90°00'00"	35.36'	S43°29'55"W
C84	6.73'	200.00'	1°55'45"	6.73'	N87°32'03"E
C85	44.18'	200.00'	12°39'21"	44.09'	N80°14'30"E
C86	44.79'	200.00'	12°49'52"	44.70'	N67°29'53"E

CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
OB7	24.71'	200.00'	7°04'44"	24.69'	N57°32'35"E
OB8	45.50'	700.00'	3°43'28"	45.49'	S55°51'57"W
OB9	40.76'	25.00'	82°14'01"	36.99'	S21°24'48"W
OB2	66.85'	170.00'	22°31'50"	66.42'	N21°19'12"W
OB3	66.85'	170.00'	22°31'50"	66.42'	S21°04'47"W
OB4	64.82'	150.00'	24°45'30"	64.31'	N24°51'18"E
OB5	62.61'	150.00'	23°54'54"	62.16'	N49°11'31"E
OB6	5.40'	150.00'	2°03'49"	5.40'	N62°10'52"E
OB7	56.82'	420.00'	6°18'16"	56.79'	N47°04'40"W
OB8	89.68'	480.00'	10°42'15"	89.59'	N55°34'56"W
OB9	81.57'	220.00'	21°14'42"	81.11'	S33°27'59"W
OB10	38.07'	220.00'	9°54'53"	38.02'	N59°02'46"W
OB11	37.97'	230.00'	9°27'35"	37.93'	N07°44'46"E
OB12	57.19'	230.00'	14°14'46"	57.04'	N04°06'25"W
OB13	56.89'	230.00'	14°07'21"	56.55'	N18°17'28"W
OB14	26.41'	230.00'	7°13'58"	26.40'	N88°41'51"E
OB15	41.89'	25.00'	82°14'01"	36.99'	S21°24'48"W
OB16	7.15'	570.00'	0°43'09"	7.15'	S63°33'59"W
OB17A	0.12'	25.00'	0°16'11"	0.12'	S64°03'39"W
OB17B	39.16'	25.00'	89°43'49"	35.27'	N70°56'21"W
OB18	271.77'	330.00'	47°11'10"	264.16'	S49°40'01"E
OB19	39.27'	25.00'	90°00'00"	35.36'	S46°30'05"E
OB20	26.41'	230.00'	7°13'58"	26.40'	N88°41'51"E
OB21	42.00'	420.00'	9°23'12"	41.98'	N67°29'53"E
OB22	68.81'	420.00'	9°23'12"	68.73'	N70°48'58"E
OB23	18.60'	420.00'	9°23'12"	18.52'	N67°29'53"E
OB24	20.03'	420.00'	2°43'57"	20.03'	S52°22'11"E
OB25	52.92'	480.00'	6°19'00"	52.89'	S57°09'43"W
OB26	30.21'	480.00'	3°36'21"	30.20'	S82°07'23"W

LINE	BEARING	LENGTH
L1	N85°44'50"E	12.86'
L2	N74°42'42"E	8.63'
L3	N70°10'06"E	42.12'
L4	N63°36'09"E	27.26'
L5	N59°46'05"E	23.53'
L6	N59°01'27"E	26.69'
L7	N61°14'01"E	18.81'

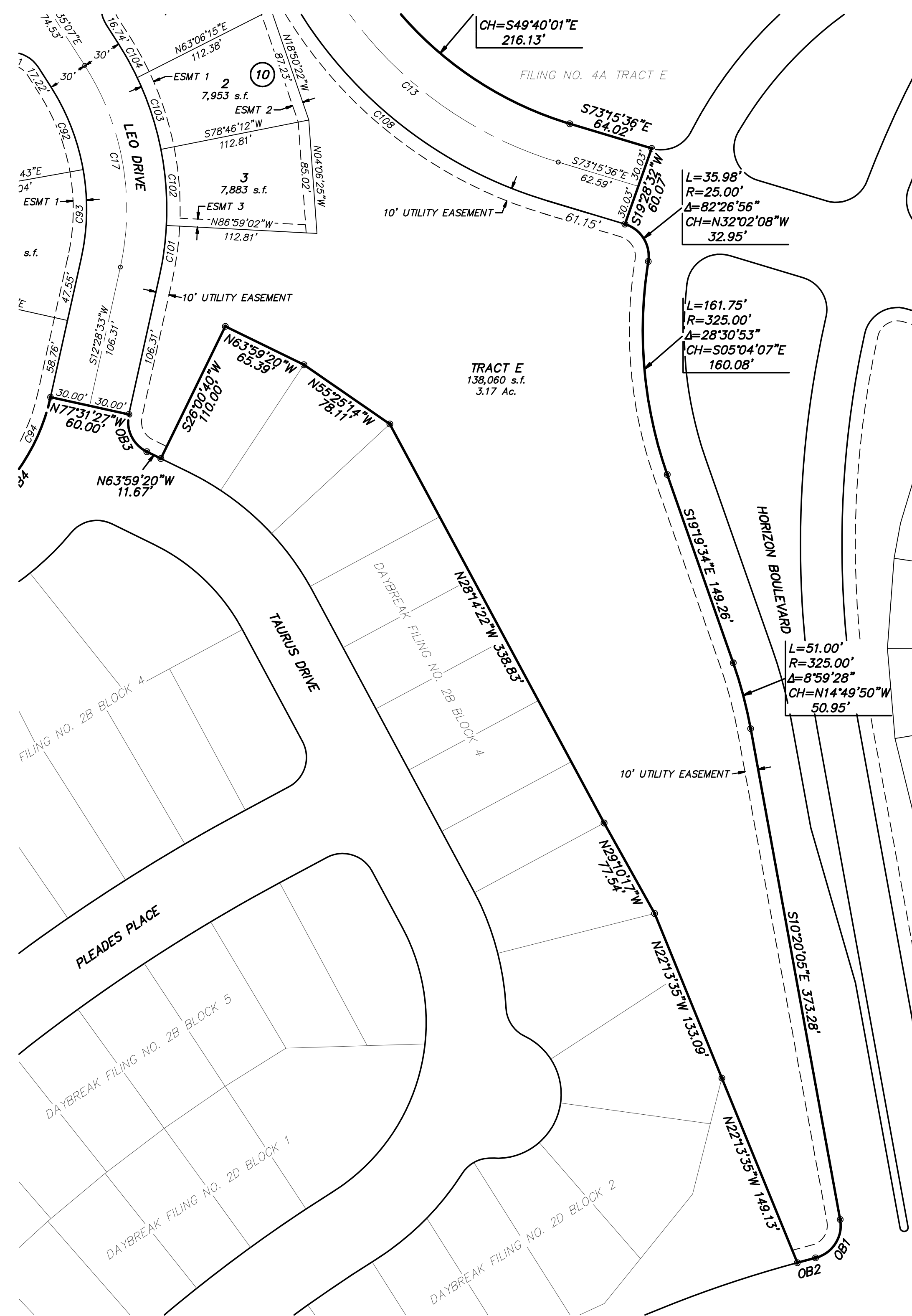
Match to Sheet 5



# COLLIERS HILL FILING NO. 4B FINAL PLAT

SHEET 5 OF 5  
RP-000786-2016

Match to Sheet 4



CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
OB1	32.54'	25.00'	88°02'06"	34.11'	N32°40'57"E
OB2	14.11'	915.00'	0°53'02"	14.11'	S75°15'29"W
OB3	33.36'	25.00'	76°27'53"	30.94'	S25°45'23"E
C5	100.57'	63.00'	91°27'37"	90.22'	S45°46'17"E
C6	270.92'	450.00'	34°29'42"	266.85'	N71°15'04"E
C7	77.93'	450.00'	9°55'21"	77.83'	S58°57'53"W
C8	134.64'	235.00'	32°49'40"	132.81'	S14°54'45"W
C9	102.35'	170.00'	34°29'42"	100.81'	N71°15'04"E
C10	126.42'	730.00'	9°55'21"	126.26'	S58°57'53"W
C11	410.60'	750.00'	31°22'03"	405.49'	N74°21'27"W
C12	426.73'	750.00'	32°35'59"	421.00'	N42°22'26"W
C13	247.07'	300.00'	47°11'10"	240.14'	S49°40'01"E
C17	157.29'	200.00'	45°03'40"	153.27'	N10°03'17"W
C101	32.97'	230.00'	9°27'36"	32.83'	N07°44'46"E
C102	52.16'	230.00'	14°44'46"	52.04'	N04°06'29"W
C103	56.69'	230.00'	14°02'21"	56.55'	N18°17'28"W
C108	271.77'	330.00'	47°11'10"	264.16'	S49°40'01"E

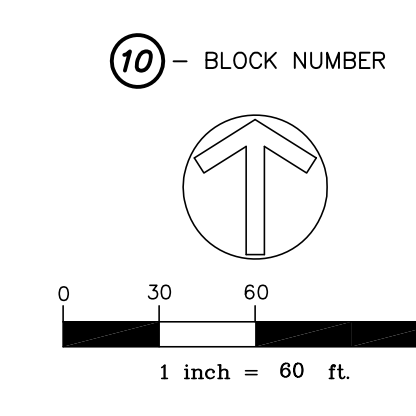
**EASEMENT NOTES:**  
RESIDENTIAL LOTS SHALL HAVE THE FOLLOWING EASEMENTS:  
-10' UTILITY ALONG RIGHTS OF WAY (ESMT 1)  
-8' DRAINAGE & UTILITY ALONG REAR LOT LINE (ESMT 2)  
-6' UTILITY ALONG LOT LINES ADJACENT TO TRACTS (ESMT 3)  
-6' DRAINAGE & UTILITY ALONG SIDE LOT LINES ADJACENT TO REARS OF ADJACENT LOTS (ESMT 4)  
-5' UTILITY ALONG SIDE LOT LINE AS SHOWN FOR STREET LIGHT (ESMT 5)  
UNLESS OTHERWISE SHOWN, TRACTS SHALL HAVE 10' UTILITY EASEMENTS ALONG RIGHTS OF WAY

**SCALE VERIFICATION**  
BAR IS ONE INCH ON ORIGINAL DRAWING  
IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

**SURVEYORS STAMP:**  
HURST & ASSOCIATES, INC.  
2500 Broadway, Suite B  
Boulder, CO 80304  
303.449.9105

**HURST**  
CIVIL ENGINEERING  
PLANNING  
SURVEYING

COLLIERS HILL FILING NO. 4B  
FINAL PLAT  
ERIE, COLORADO



⑩ - BLOCK NUMBER  
DRAWN BY: BO  
DESIGNED BY: JJ  
APPROVED BY: JJ  
JOB NUMBER: 2527-02  
DATE: 01/18/17  
SCALE: 1"=60'  
SHEET NO: 5 OF 5  
FILE LOCATION: G:\2527\SURVEY\COLLIERS HILL FL 4B PLAT SH 5