

LIST OF CONTACTS

APPLICANT/DEVELOPER

EVERGREEN - 287 & ARAPAHOE, L.L.C.
1873 S BELLAIRE ST. SUITE 1106
DENVER, CO 80222
TEL - (303) 757-0401
CONTACT - DEREK LIS

ENGINEER/CONSULTANT

GALLOWAY & COMPANY, INC.
6162 S. WILLOW DR., SUITE 320
GREENWOOD VILLAGE, COLORADO 80111
TEL - (303) 770-8884
FAX - (303) 770-3636
CONTACT - JENNY R. ROMANO, P.E.
EMAIL - jerryromano@gallowayus.com

SURVEYOR

GALLOWAY & COMPANY, INC.
6162 S. WILLOW DR., SUITE 320
GREENWOOD VILLAGE, COLORADO 80111
TEL - (303) 770-8884
FAX - (303) 770-3636
CONTACT - BRIAN J. DENNIS, PLS
EMAIL - BrianDennis@gallowayus.com

ARCHITECT (RETAIL SHOPS)

G3 ARCHITECTURE, INC.
5150 E. YALE CIRCLE, SUITE 301
DENVER, COLORADO 80222
TEL - (720) 542-9416
CONTACT - SCOTT HIGA
EMAIL - shiga@g3architecture.com

ARCHITECT (LOWE'S)

BRR ARCHITECTURE, INC.
6700 ANITCOCH PLAZA, SUITE 150
MERRIAM, KS 66204
TEL - (913) 238-3347
CONTACT - RICK CHAVES
EMAIL - Rick.Chaves@brrarch.com

LANDSCAPE ARCHITECT

GALLOWAY & COMPANY, INC.
6162 S. WILLOW DR., SUITE 320
GREENWOOD VILLAGE, COLORADO 80111
TEL - (303) 770-8884
FAX - (303) 770-3636
CONTACT - SARAH ADAMSON
EMAIL - SarahAdamson@gallowayus.com

UTILITY CONTACTS

WATER & SANITARY SEWER

TOWN OF ERIE
COMMUNITY DEVELOPMENT DEPARTMENT - PLANNING DIVISION
645 HOLBROOK ST
ERIE, COLORADO 80516
TEL - (303) 926-2770
CONTACT - DAVID PASIC

FIRE

MOUNTAIN VIEW FIRE RESCUE
3561 N. STAGECOACH RD.
LONGMONT, CO 80504
TEL - (303) 772-0710

STORM SEWER

TOWN OF ERIE - PUBLIC WORKS
645 HOLBROOK ST.
ERIE, CO 80516
TEL - (303) 926-2870

ELECTRICAL

XCEL
1123 WEST 3RD AVE.
DENVER, CO 80223
CONTACT - DONNA GEORGE
EMAIL - donna.j.george@xcelenergy.com

GAS

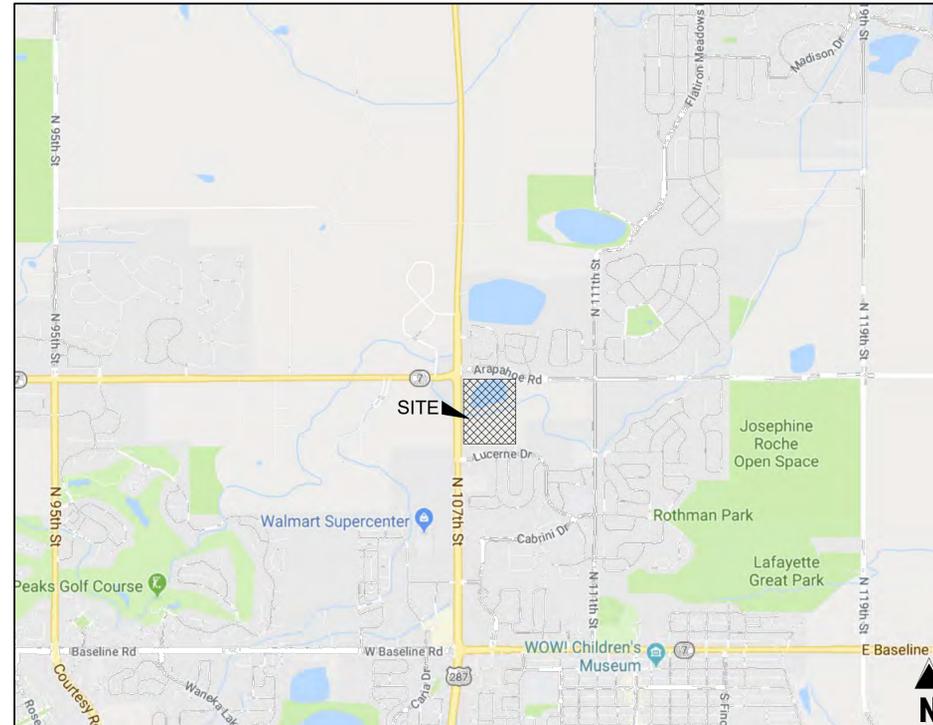
XCEL
1123 WEST 3RD AVE.
DENVER, CO 80223
CONTACT - DONNA GEORGE
EMAIL - donna.j.george@xcelenergy.com

TELEPHONE

CENTURY LINK
CONTACT - 18D

NINE MILE CORNER - LOTS 1 & 3

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN - SP-001117-2019



VICINITY MAP
12-2007

LEGAL DESCRIPTION

LOTS 1 & 3 OF NINE MILE CORNER, A PORTION OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

Sheet Number	
1	COVER S
2	SITE PLA
3	SITE DET
4	SITE DET
5	SITE DET
6	GRADING
7	UTILITY F
8	PHOTOM
9	PHOTOM
10	LANDSC/
11	LANDSC/
12	LANDSC/
13	LANDSC/
14	LANDSC/
15	LANDSC/
16	LANDSC/
17	BLACK AI
18	BLACK AI
19	BLACK AI
20	BLACK AI

PROJECT NARRATIVE:

THE PROPOSED 11.62 ACRE COMMERCIAL PROPERTY IS LOCATED IN THE NINE MILE CORNER SUBDIVISION, LOTS 1 & 3. THE PROPERTY IS LOCATED WITHIN THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN. THE SITE IS BOUNDED BY HIGHWAY 287 AND ARAPAHOE ROAD WITH FUTURE DEVELOPMENT TO THE EAST AND SOUTH.

THE PROPOSED DEVELOPMENT INCLUDES A 110,828 SF HOME IMPROVEMENT STORE AND 27,720 SF GARDEN CENTER, AND 8,000 SF AND 10,000 SF RETAIL SHOPS AS WELL AS THE ASSOCIATED INFRASTRUCTURE INCLUDING PARKING LOTS, UTILITIES, LANDSCAPING, ACCESS TO HIGHWAY 287 AND ARAPAHOE ROAD, AND LANDSCAPING ISLANDS.

FOR ALL FUTURE PHASES, THE APPLICANT SHALL SUBMIT A REVISED SITE PLAN FOR THE PHASE FOR WHICH A PERMIT IS REQUESTED, AND SHALL RECEIVE APPROVAL FROM THE TOWN OF ERIE PRIOR TO ISSUANCE OF A BUILDING PERMIT.

**SITE DATA SUMMARY CHART
ZONE DISTRICT PD**

ITEM	SQUARE FOOTAGE		% OF GROSS SITE
	LOWE'S (LOT 1)	RETAIL SHOPS (LOT 3)	
GROSS SITE AREA:	399,321	107,390	100
<ul style="list-style-type: none"> BUILDING FOOTPRINT GARDEN CENTER PARKING/ROADS (INCLUDING PLANTED INTERIOR PARKING ISLANDS) 	110,828 27,515 258,242	18,000 75,645	25.4 5.4 65.9
HARDSCAPE TOTAL	396,585	93,645	96.7
<ul style="list-style-type: none"> PLANTED AREA (EXCLUDING PLANTED INTERIOR PARKING ISLANDS) EXISTING VEGETATION TRAILS AND SIDEWALKS 	1,094 0 1,642	9,052 0 4,693	2.0 0 1.3
LANDSCAPE TOTAL	2,736	13,745	3.3
ITEM	DESCRIPTION		TOTAL
PARKING:			
<ul style="list-style-type: none"> TOTAL REQUIRED LOWE'S (1 SPACE PER 350 SQ. FT.) GARDEN CENTER RETAIL SHOPS (1 SPACE PER 200 SQ. FT.) PROVIDED (INCLUDING HANDICAP) LOWE'S RETAIL SHOPS HANDICAP PROVIDED TYPE B LOADING SPACES REQUIRED PROVIDED BICYCLE PARKING REQUIRED* PROVIDED 	317 0 90 361 11 3 3 18 9	90 133 5 1 1 7 18	25 27

*PER PD, BICYCLE PARKING CAN BE AGGREGATED TOGETHER

OVERALL LANDSCAPE AREA (NINE MILE SUBDIVISION)

TOTAL SUBDIVISION AREA	2,056,537 SQ. FT. (47.212 ACRES)
TOTAL TRACT LANDSCAPE AREA	416,888 SQ. FT. (9.570 ACRES)
TOTAL COMMERCIAL (LOTS 1 & 3) LANDSCAPE AREA	16,481 SQ. FT. (0.378 ACRES)
TOTAL MULTI-FAMILY (LOT 11) LANDSCAPE AREA	55,282 SQ. FT. (1.269 ACRES)
SUBTOTAL LANDSCAPE AREA	488,651 SQ. FT. (11.217 ACRES)
PERCENT LANDSCAPE OF TOTAL AREA	23.76%

SIT

THIS SITE PLAN HAS WITH APPLICABLE T

DIRECTOR OF COMM

PLANNING COMMISS

THE UNDERSIGNED DESCRIBED HEREIN SUCCESSORS, AND HEREON IN ACCORD TOWN OF ERIE UNIF

(OWNER SIG

ACKNOWLEDGED BY

BY _____

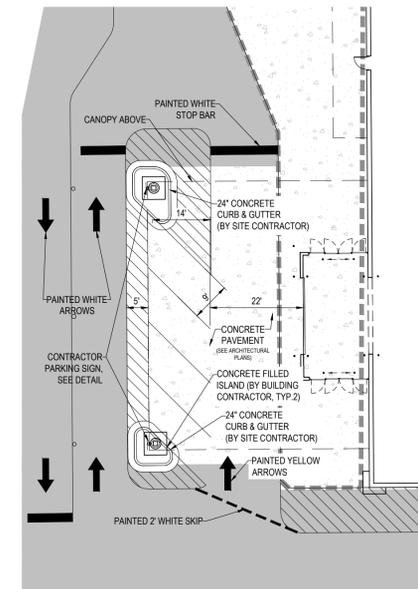
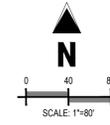
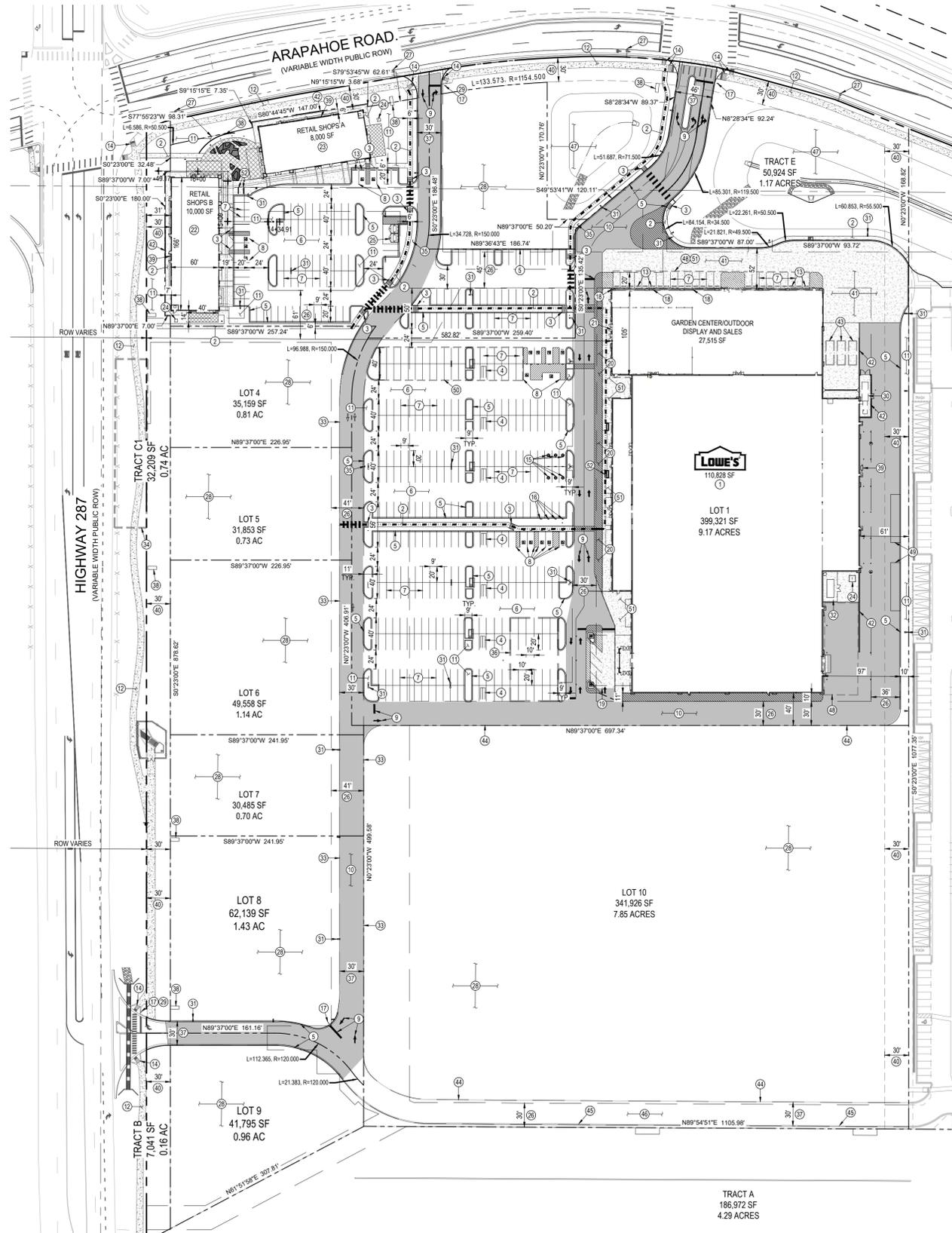
WITNESS MY HAND.

NOTARY PUBLIC

MY COMMISSION EX

NINE MILE CORNER - LOTS 1 & 3

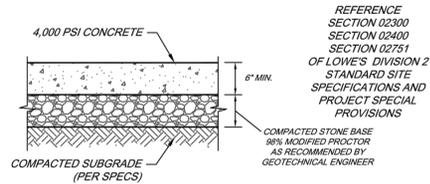
A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE
SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE
6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN - SP-001117-2019



ENLARGED CUSTOMER LOADING CANOPY
SCALE - 1"=20'

NINE MILE CORNER - LOTS 1 & 3

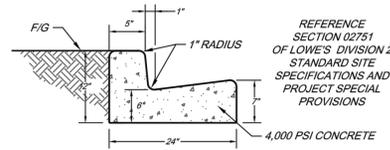
A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN - SP-001117-2019



HEAVY DUTY CONCRETE PAVEMENT SECTION

NOTE: USE LOWE'S MINIMUM PAVEMENT SECTION IF GREATER THAN GEOTECHNICAL ENGINEERS RECOMMENDATION

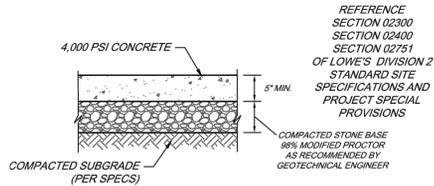
1 HEAVY DUTY CONCRETE PAVING SECTION
NOT TO SCALE



24" CONCRETE CURB & GUTTER DETAIL

5 24" CONCRETE CURB & GUTTER DETAIL
NOT TO SCALE

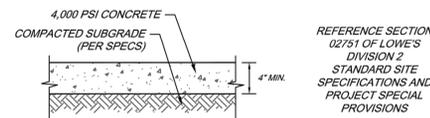
- CONTRACTION JOINTS 10' O/C
- EXPANSION JOINTS 100' O/C
- ALL JOINTS SEALED PER SPEC



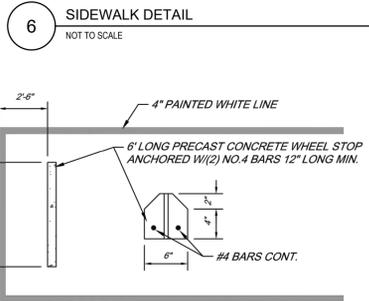
STANDARD DUTY CONCRETE PAVEMENT SECTION

NOTE: USE LOWE'S MINIMUM PAVEMENT SECTION IF GREATER THAN GEOTECHNICAL ENGINEERS RECOMMENDATION

2 STANDARD DUTY CONCRETE PAVING SECTION
NOT TO SCALE



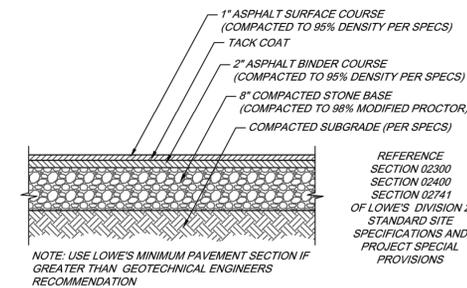
SIDEWALK DETAIL



NOTE: SEE SITE PLAN FOR PARKING SPACE SIZE AND FOR WHEEL STOP LOCATIONS.

CONCRETE WHEEL STOP DETAIL

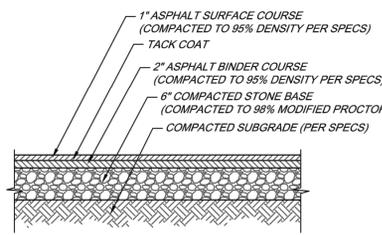
7 CONCRETE WHEEL STOP DETAIL
NOT TO SCALE



HEAVY DUTY ASPHALT PAVEMENT SECTION

NOTE: USE LOWE'S MINIMUM PAVEMENT SECTION IF GREATER THAN GEOTECHNICAL ENGINEERS RECOMMENDATION

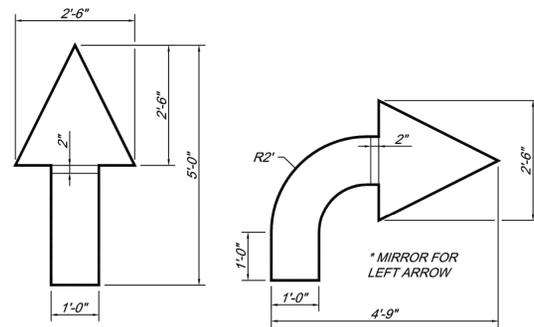
3 HEAVY DUTY ASPHALT PAVING SECTION
NOT TO SCALE



STANDARD DUTY ASPHALT PAVEMENT SECTION

NOTE: USE LOWE'S MINIMUM PAVEMENT SECTION IF GREATER THAN GEOTECHNICAL ENGINEERS RECOMMENDATION

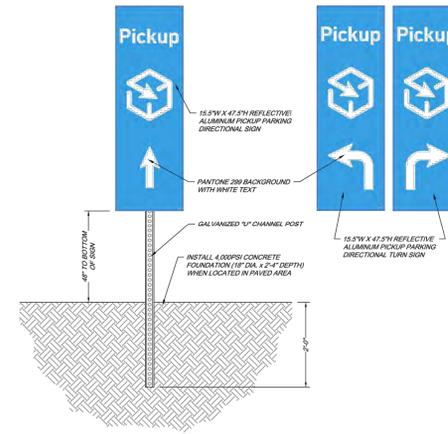
4 STANDARD DUTY ASPHALT PAVING SECTION
NOT TO SCALE



NOTES:
1. ALL ARROWS SHALL MATCH EXACT DIMENSIONS, UNLESS REQUIRED BY A.H.J.
2. ARROWS SHALL BE PAINTED SOLID WHITE PER LOWE'S SECTION 2741 SPECIFICATIONS.
3. STENCIL BRIDGING SHALL BE FILLED IN ON ALL ARROWS.

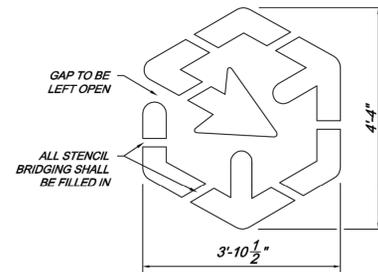
PAVEMENT MARKING ARROWS

8 PAVEMENT MARKING ARROWS
NOT TO SCALE



PICKUP DIRECTIONAL SIGN DETAIL

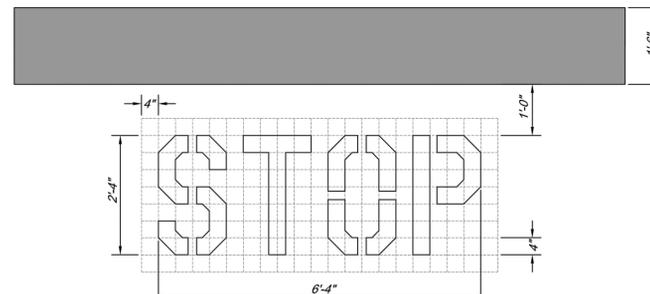
9 BOPUIS PARKING SIGN
NOT TO SCALE



NOTES:
1. MARKING SHALL MATCH EXACT DIMENSIONS.
2. MARKING SHALL BE PAINTED SOLID WHITE PER LOWE'S SECTION 2745 SPECIFICATIONS.
3. STENCIL BRIDGING SHALL BE FILLED IN.

PICKUP PARKING SPACE MARKING

10 BOPUIS PARKING SPACE MARKING
NOT TO SCALE



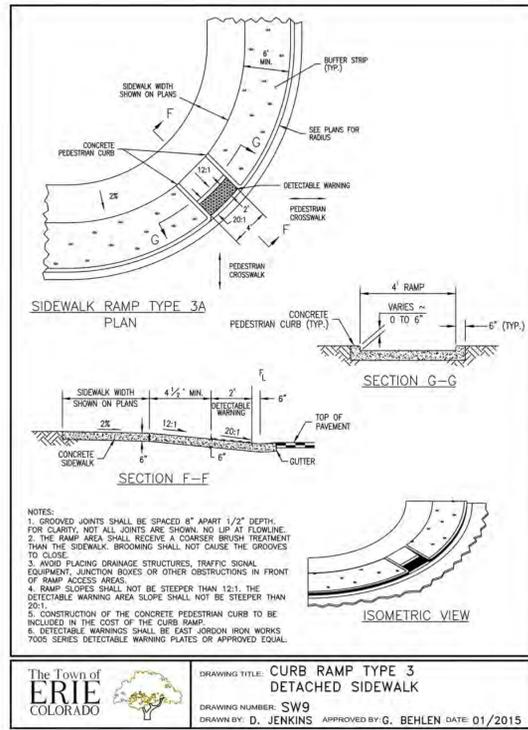
STOP BAR AND STOP TEXT*

*STOP TEXT SHALL ONLY BE USED AT LUMBER CANOPY EXIT LANES AND NOT WHEN STOP BARS ARE ACCOMPANIED BY A STOP SIGN

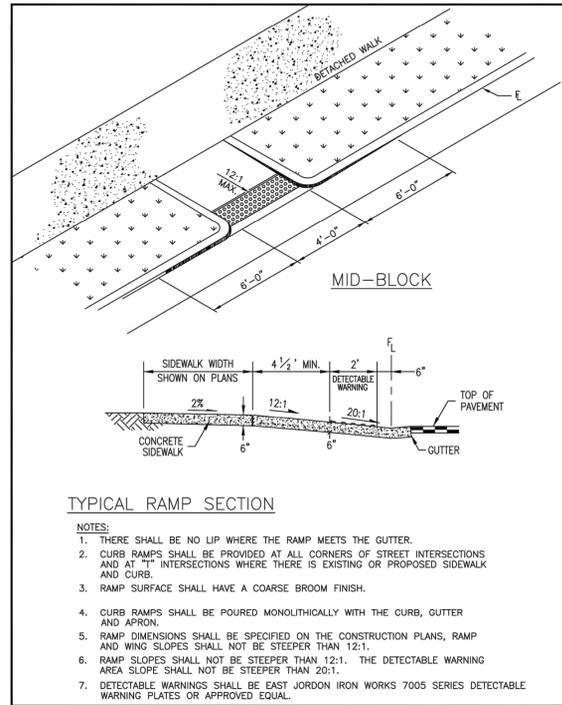
11 STOP BAR AND STOP TEXT
NOT TO SCALE

NINE MILE CORNER - LOTS 1 & 3

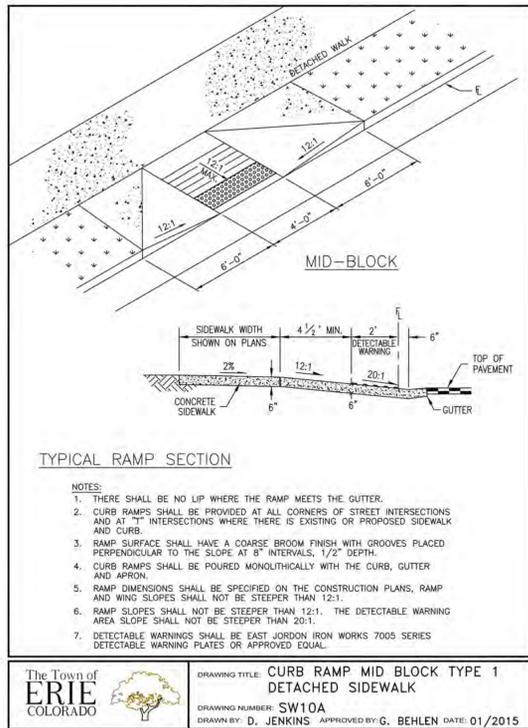
A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN - SP-001117-2019



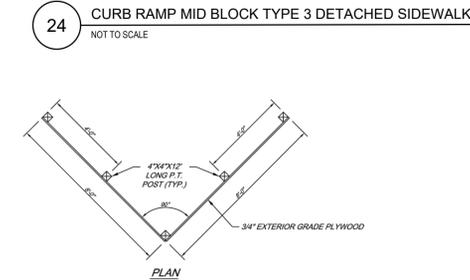
22 CURB RAMP TYPE 3 DETACHED SIDEWALK
NOT TO SCALE



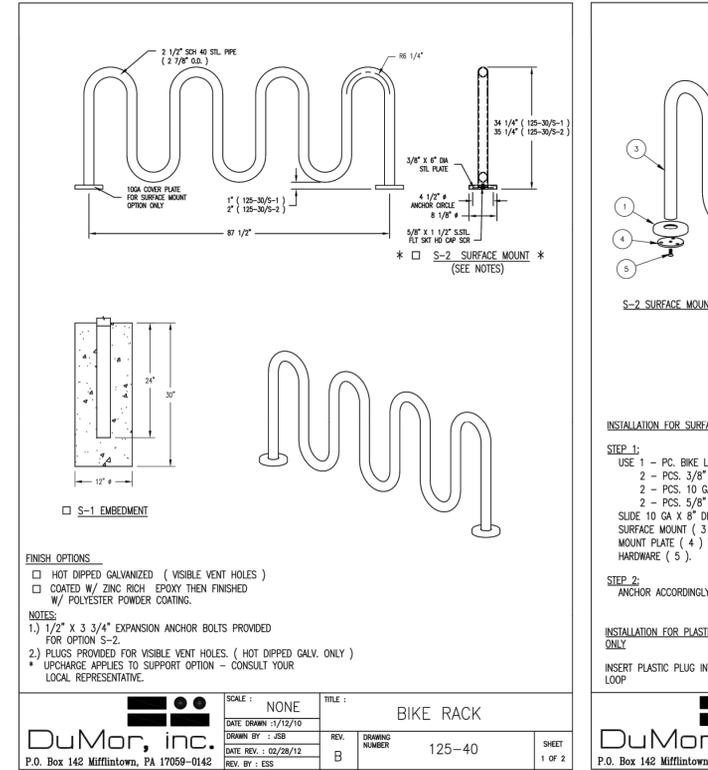
24 CURB RAMP MID BLOCK TYPE 3 DETACHED SIDEWALK
NOT TO SCALE



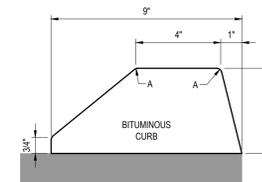
23 CURB RAMP MID BLOCK TYPE 1 DETACHED SIDEWALK
NOT TO SCALE



25 LOWE'S FUTURE HOME SIGN DETAIL
NOT TO SCALE

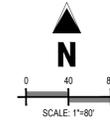
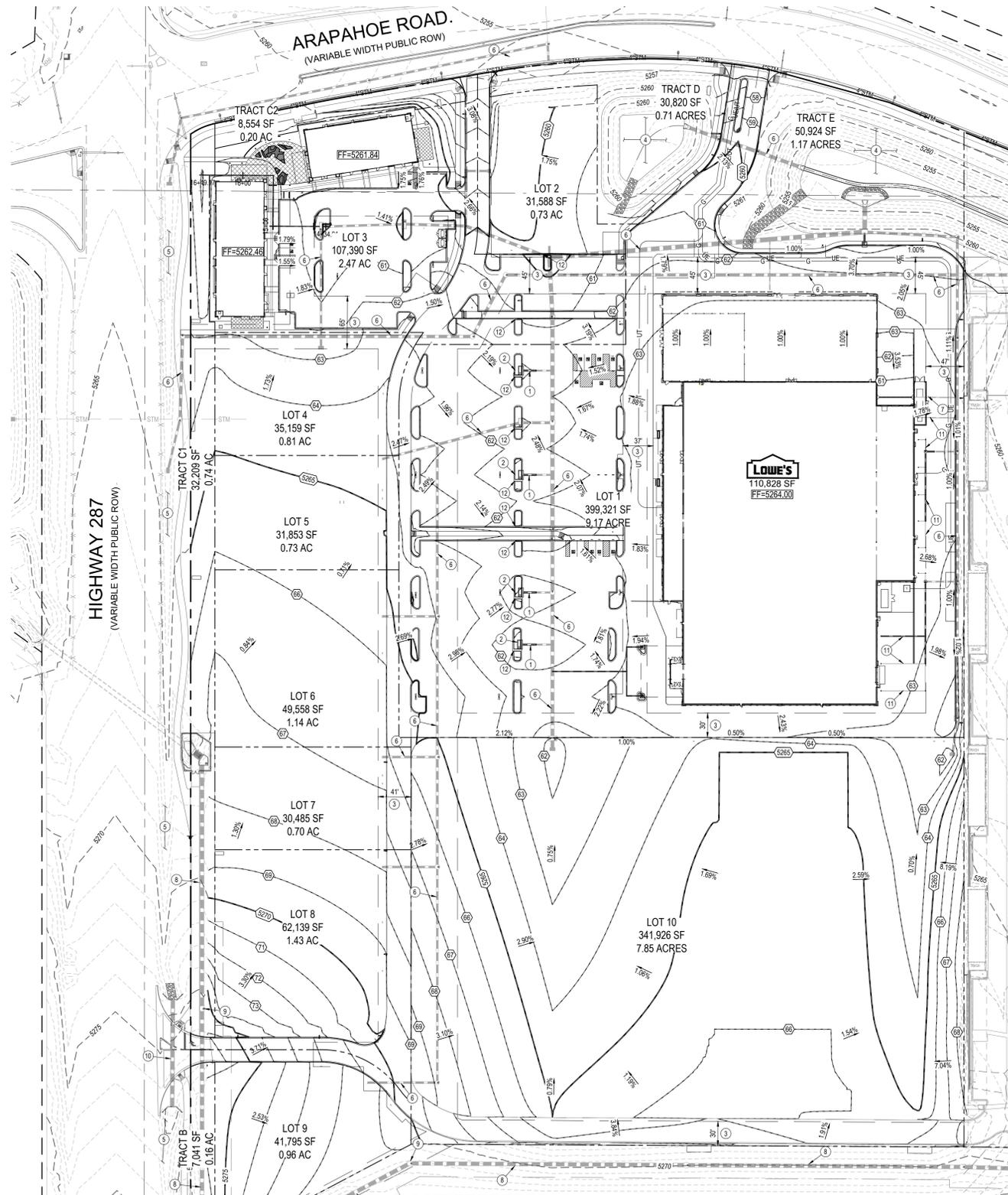


26 BIKE RACK
NOT TO SCALE



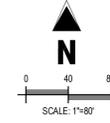
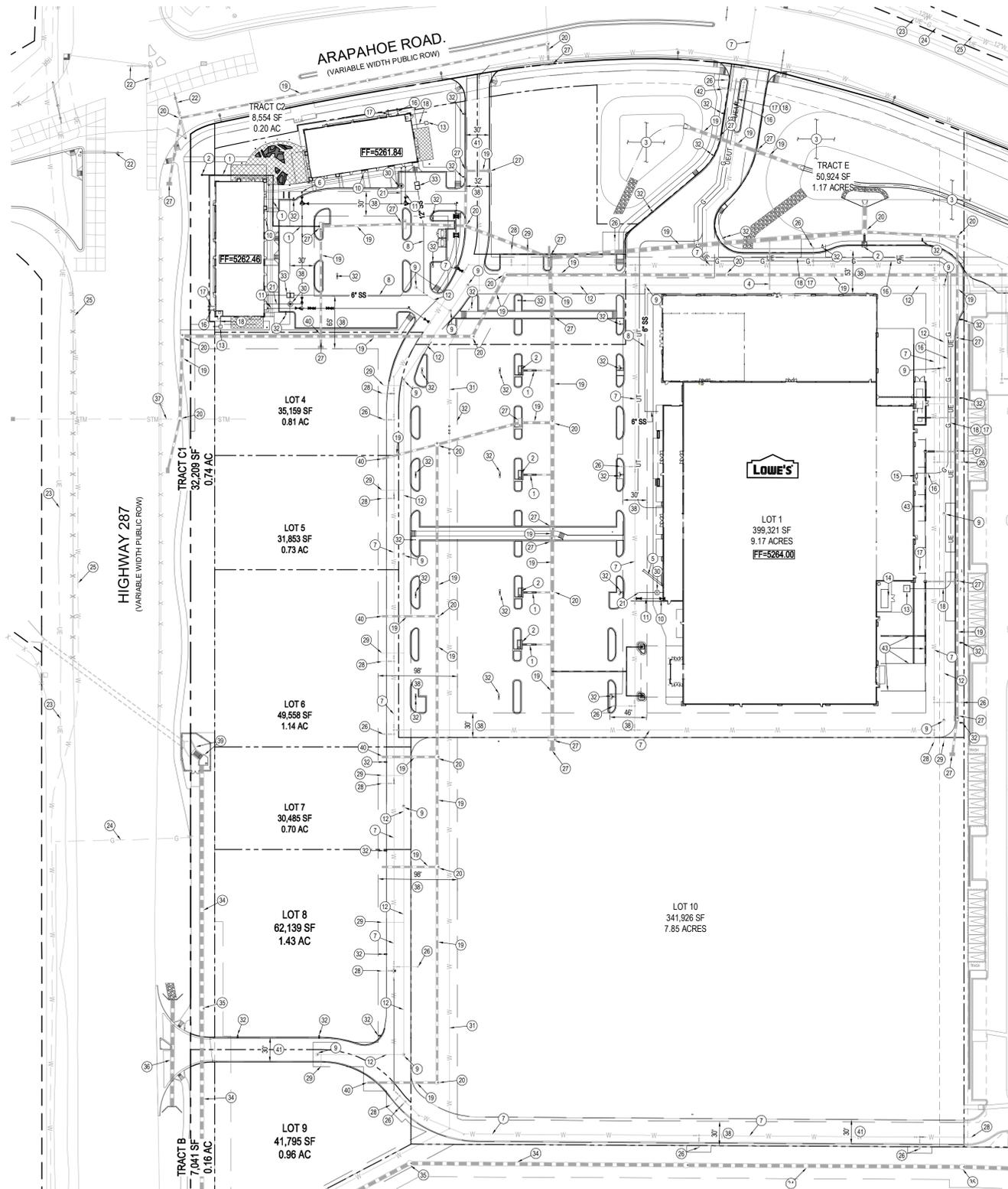
NINE MILE CORNER - LOTS 1 & 3

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE
SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE
6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN - SP-001117-2019



NINE MILE CORNER - LOTS 1 & 3

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN - SP-001117-2019



SCHEDULE

- 1 PROPOSED STORM SEWER LINE
- 2 PROPOSED STORM SEWER INLET
- 3 PROPOSED DETENTION POND BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 4 PROPOSED STORM DRAIN FOR FRONT & REAR GARDEN CENTER CANOPIES (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 5 PROPOSED IRRIGATION WATER SERVICE LINE
- 6 PROPOSED FIRE HYDRANT
- 7 PROPOSED WATER MAIN BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 8 PROPOSED PVC SANITARY SEWER LINE
- 9 PROPOSED SANITARY SEWER MANHOLE WITH CONCRETE COLLAR BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 10 PROPOSED FIRE DEPARTMENT CONNECTION
- 11 PROPOSED D.I.P. FIRE LINE
- 12 PROPOSED SANITARY SEWER MAIN BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 13 PROPOSED PAD MOUNTED TRANSFORMER
- 14 PROPOSED ELECTRIC GENERATOR
- 15 PROPOSED GAS METER WITH BOLLARD PROTECTION
- 16 PROPOSED GAS SERVICE LINE, CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER
- 17 PROPOSED TELEPHONE CONDUITS
- 18 PROPOSED UNDERGROUND ELECTRIC LINE, CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER
- 19 PROPOSED STORM SEWER LINE BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 20 PROPOSED STORM SEWER MANHOLE BY OTHERS
- 21 PROPOSED 2" DOMESTIC WATER SERVICE LINE
- 22 EXISTING TRAFFIC SIGNAL TO REMAIN
- 23 EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN
- 24 EXISTING GAS LINE TO REMAIN
- 25 EXISTING WATER MAIN TO REMAIN
- 26 PROPOSED FIRE HYDRANT ASSEMBLY BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 27 PROPOSED STORM SEWER INLET BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 28 PROPOSED WATER STUB WITH IN-LINE PLUG BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 29 PROPOSED SANITARY SEWER STUB WITH IN-LINE PLUG BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 30 PROPOSED 2" DOMESTIC WATER METER VAULT
- 31 PROPOSED 24" TOWN WATER LINE
- 32 PROPOSED SITE LIGHT (SEE PHOTOMETRIC PLAN)
- 33 PROPOSED GREASE INTERCEPTOR
- 34 PROPOSED IRRIGATION BY-PASS LINE BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 35 PROPOSED IRRIGATION BY-PASS MANHOLE BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 36 PROPOSED CULVERT
- 37 EXISTING STORM SEWER LINE TO REMAIN
- 38 PROPOSED UTILITY EASEMENT PER PLAT
- 39 PROPOSED IRRIGATION BY-PASS LINE INLET STRUCTURE AND JUNCTION BOX BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 40 PROPOSED STORM STUB BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 41 PROPOSED ACCESS EASEMENT PER PLAT
- 42 PROPOSED IRRIGATION STUB BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 43 PROPOSED ROOF DRAINS

LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- EASEMENT BOUNDARY LINE
- SECTION LINE
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- SAWCUT LINE
- W --- PROPOSED WATER LINE
- W --- WATER LINE BY OTHERS
- W --- EXISTING WATER LINE
- SS --- PROPOSED SANITARY SEWER
- SS --- SANITARY SEWER BY OTHERS
- SS --- EXISTING SANITARY SEWER
- STM --- PROPOSED STORM SEWER
- STM --- PROPOSED STORM SEWER (LESS THAN 12')
- STM --- STORM SEWER BY OTHERS
- STM --- STORM SEWER BY OTHERS (LESS THAN 12')
- STM --- EXISTING STORM SEWER
- STM --- EXISTING STORM SEWER
- UG --- PROPOSED GAS LINE
- UG --- EXISTING GAS LINE
- UE --- PROPOSED UNDERGROUND ELECTRICAL
- UE --- EXISTING UNDERGROUND ELECTRICAL
- OHE --- PROPOSED OVERHEAD ELECTRICAL
- OHE --- EXISTING OVERHEAD ELECTRICAL
- UT --- PROPOSED UNDERGROUND TELEPHONE
- UT --- EXISTING UNDERGROUND TELEPHONE
- FO --- PROPOSED FIBER OPTIC LINE
- FO --- EXISTING FIBER OPTIC LINE
- ◇ --- EXISTING LIGHT POLE
- E --- EXISTING ELECTRICAL BOX
- EM --- EXISTING ELECTRICAL METER/RISER
- EM --- EXISTING ELECTRICAL MANHOLE
- EM --- EXISTING ELECTRICAL CABINET
- EM --- EXISTING ELECTRICAL VAULT
- WV --- EXISTING WATER VALVE
- WV --- PROPOSED WATER VALVE
- WV --- WATER VALVE BY OTHERS
- WV --- EXISTING FIRE HYDRANT
- WV --- PROPOSED FIRE HYDRANT
- WM --- EXISTING WATER METER
- WM --- EXISTING SANITARY SEWER MANHOLE
- WM --- EXISTING SANITARY SEWER CLEANOUT
- WM --- EXISTING GAS METER
- WM --- EXISTING TELEPHONE MANHOLE
- WM --- EXISTING TELEPHONE RISER
- WM --- EXISTING IRRIGATION BOX
- WM --- EXISTING STORM SEWER INLET
- WM --- PROPOSED STORM SEWER INLET
- WM --- STORM SEWER INLET BY OTHERS
- WM --- PROPOSED MANHOLE
- WM --- MANHOLE BY OTHERS
- WM --- PROPOSED WATER METER
- WM --- PROPOSED TRANSFORMER

FIRE LINE NOTES

A FIRE LINE CONNECTION IS TO BE STUBBED INTO THE SPRINKLER ROOM AND 1-FIT AFF WILL BE INCLUDED.

REVISIONS	
DATE	DESCRIPTION
1/28/2020	3RD SITE PLAN SUB
2/17/2020	4TH SITE PLAN SUB
3/3/2020	5TH SITE PLAN SUB

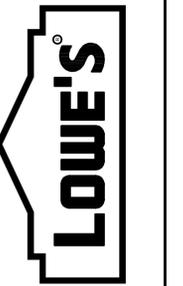
Evergreen
Development | Services | Investments

Galway
1425 10th Ave. Ste. 307
Boulder, CO 80502
704.758.1000 (V)

LOWE'S HOME CENTERS, LLC
1000 Lowe's Boulevard
Mooresville, NC 28117

704.758.1000 (V)

THIS DRAWING IS THE PROPERTY OF LOWE'S HOME CENTERS, LLC AND USE OR REPRODUCTION IN WHOLE OR PART IS PROHIBITED WITHOUT THE EXPRESS WRITTEN CONSENT OF LOWE'S HOME CENTERS, LLC. COPYRIGHT 2019. ALL RIGHTS RESERVED.



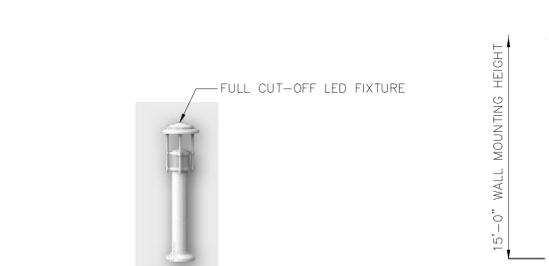
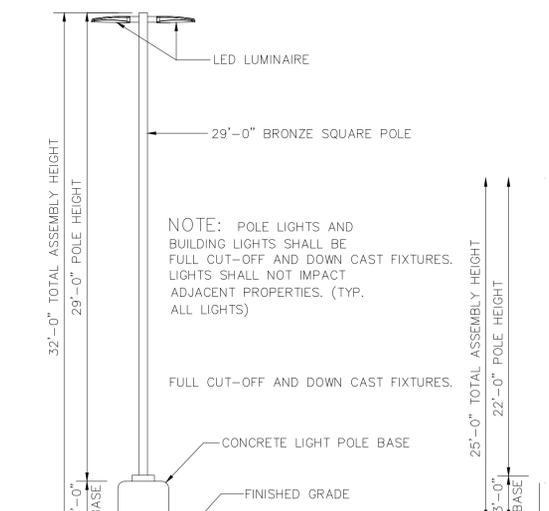
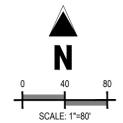
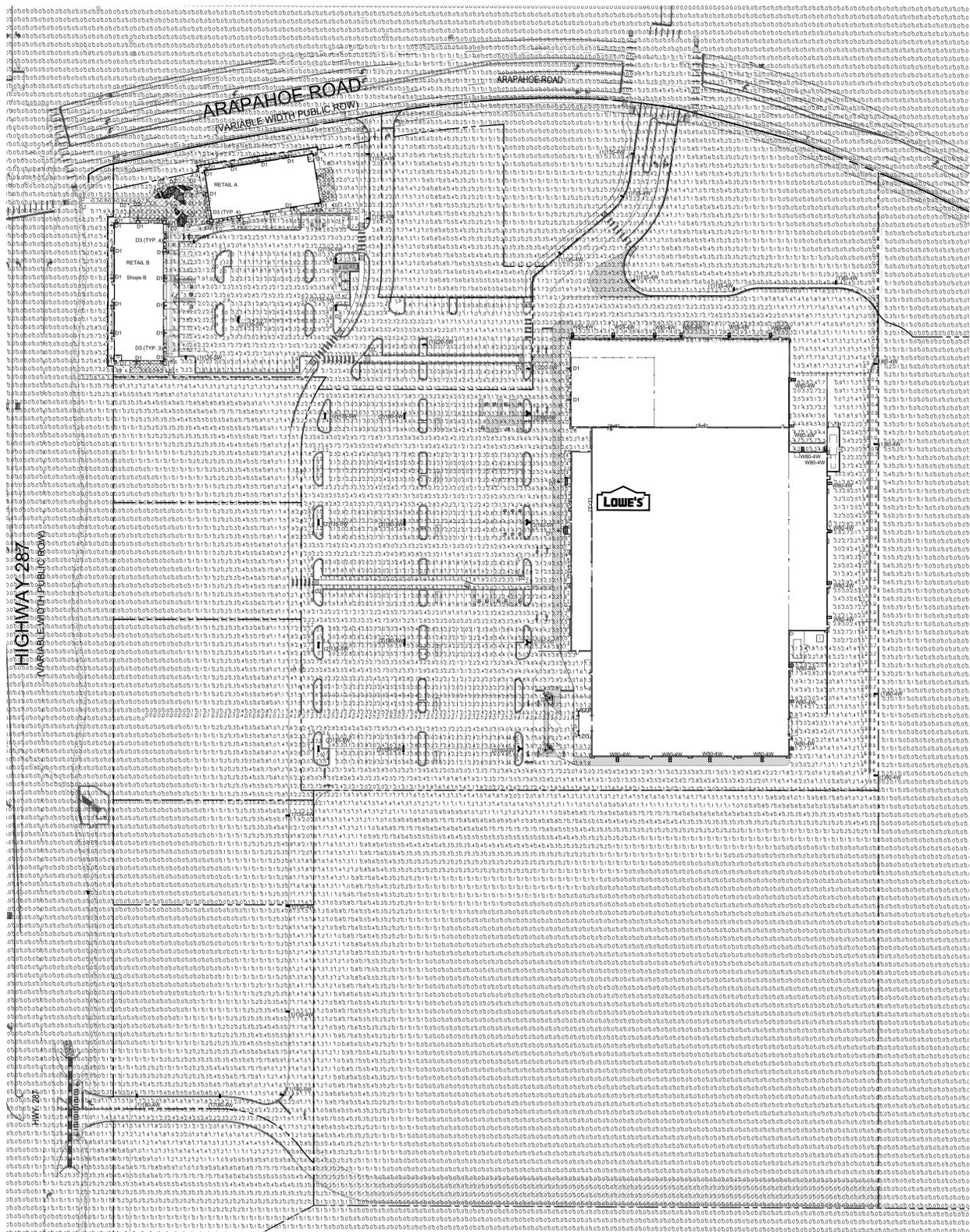
SITE PLAN
UTILITY PLAN
LOWE'S OF:
ERIE, COLORADO

PROJECT No.: ED00001820 | DRAWN BY:ROG | CHECKED BY:BSM

CRITERIA	10.11.19
ISSUE DATE:	
PERMIT SET	
ISSUE DATE:	
CONSTRUCTION SET	
ISSUE DATE:	
DRAWING NUMBER:	

NEWLE CORNER - LOTS 1 & 3

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
 SITE PLAN - SP-001117-2019



NOTE: POLE LIGHTS AND BUILDING LIGHTS SHALL BE FULL CUT-OFF AND DOWN CAST FIXTURES. LIGHTS SHALL NOT IMPACT ADJACENT PROPERTIES. (TYP. ALL LIGHTS)

FULL CUT-OFF AND DOWN CAST FIXTURES.

LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
MAIN PARKING ZONE-LOWE'S	2.71	7.2	0.8	3.39	9.00
FRONT DRIVE-ARAPAHOE	2.20	7.3	2.1	2.10	3.48
ENTRY ZONE-ARAPAHOE WEST	3.2	4.4	1.1	2.11	3.09
ENTRY ZONE-ARAPAHOE EAST	1.7	3.8	0.9	2.41	4.22
ENTRY ZONE-HWY. 287	1.78	2.7	1.0	1.78	2.70
SECONDARY PARKING-LOWE'S	2.74	4.1	1.6	1.71	2.56
REAR DRIVE-LOWE'S	1.93	4.1	0.7	2.76	5.86
RETAIL PARKING	2.62	5.0	1.5	1.75	3.33
RETAIL DRIVES	2.55	4.1	1.4	1.82	2.93
RETAIL PLAZA	5.44	13.1	1.5	3.63	9.73
RETAIL BUILDING SURROUNDS	4.06	9.8	1.2	3.38	8.17

SYMBOL	QTY	LABEL	HEIGHT	ARRANGEMENT	COLOR	WATTS
☐	10	(1)135-4W	32'-0"	AF SINGLE	DARK BRONZE	135
☐	1	(1)135-5W	32'-0"	AF SINGLE	DARK BRONZE	135
☐	2	(1)180-4W	32'-0"	AF SINGLE	DARK BRONZE	180
☐	1	(1)180-5W	32'-0"	AF SINGLE	DARK BRONZE	180
☐	5	(1)80-4W	25'-0"	AF SINGLE	DARK BRONZE	80
☐	4	(2)135-5W	32'-0"	AF BACK-BACK	DARK BRONZE	135
☐	4	(2)180-5W	32'-0"	AF BACK-BACK	DARK BRONZE	180
☐	4	(3)180-5W	32'-0"	AF S @ 120 DEGREE	DARK BRONZE	180
☐	6	W55-4W	20'-0"	AF WALL	DARK BRONZE	55
☐	15	W60-4W	20'-0"	AF WALL	DARK BRONZE	80
○	6	D1	11'-0"	AF WALL	PLATINUM SILVER	27
○	4	D2	3'-6"	AF BOLLARD	PLATINUM SILVER	20

RETAIL	SYMBOL	QTY	LABEL	HEIGHT	ARRANGEMENT	COLOR	WATTS
☐	1	(1)135-4W	32'-0"	AF SINGLE	DARK BRONZE	135	
☐	1	(1)135-5W	32'-0"	AF SINGLE	DARK BRONZE	135	
☐	3	(2)135-5W	32'-0"	AF BACK-BACK	DARK BRONZE	135	
○	34	D1	11'-0"	AF WALL	PLATINUM SILVER	27	
○	17	D2	3'-6"	AF BOLLARD	PLATINUM SILVER	20	
○	11	D3	8'-0"	AF SOFFIT	WHITE	12	

- NOTES:
- VERIFY EXACT FIXTURES CATALOG NUMBER, FINISH, VOLTAGE, LAMP(S), LENGTHS AND () ANY EQUIPMENT.
 - CONTRACTOR TO VERIFY COMPATIBLE DIMMER TYPE AND MANUFACTURER FROM LUMINA
 - CONTRACTOR TO PROVIDE ALL PARTS AND ACCESSORIES FOR A COMPLETE AND FUNCT
 - VERIFY EXACT MOUNTING HEIGHTS TO BE SHOWN ON THE PLAN WITH ARCHES
 - ALL FIXTURES PROPOSED TO BE FULL CUT-OFF FIXTURES, MOUNTED TO DIRECT ALL LI

NINE MILE CORNER - LOTS 1 & 3

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO

SITE PLAN - SP-001117-2019

LOWE'S & RETAIL FIXTURES ALL SITE FIXTURES EXCEPT FOR (1)80-4W

VIPER L STRIKE
LARGE VIPER LUMINAIRE

ORDERING INFORMATION

Series	LED Engine	CCT/CRI	ADDITION	VOLUME	COLOR	OPTIONS
VPL 44L-135	150W LED array	3K7 3000K, 70 CRI	Lowest beam for no rotation	120-120V	BL Black Textured	F Fixing
80L-180	180W LED array	4K7 4000K, 70 CRI	L ¹ Optic rotation left	120 120V	DB Dark Bronze Textured	BSF Bird Spikes
80L-235	235W LED array	5K7 5000K, 70 CRI	R ¹ Optic rotation right	208 208V	GS Light Gray Smooth	BC Backshield (available for FR, 2, 3, 4, 4W Optics)
96L-220	220W LED array	5K7 5000K, 70 CRI	FR Type III (rotated)	240 240V	PS Platinum Silver Smooth	
96L-200	200W LED array	5K7 5000K, 70 CRI	FR Type IV (rotated)	277 277V	WH White Textured	
96L-315	315W LED array	5K7 5000K, 70 CRI	FR Type V (round wide)	347 347V	CC Custom Color	
96L-395	395W LED array	5K7 5000K, 70 CRI		480 480V		

PRODUCT IMAGES

CONTROL OPTIONS

- 7PR 7-Prm Pre-Commission w/ occupancy sensor, photo control, or wireless control (provided by others)
- 7PR-SC 7-Prm Receivable Whorling Cap
- 7PR-SC 7-Prm Receivable Whorling Cap (photo control)
- SCF_F₁ Programmable Occupancy Sensor w/ DALI light control
- GEN-X3 ENERGY
- SWP¹ SiteSync Pre-Commission
- SWP¹ SiteSync Pre-Commission w/ Sensor

INSTALLATION

- Mounting options for horizontal arm, vertical torso or traditional arm mounting available. Mounting hardware included.
- Mounting height: 8'-0" to 14'-0" (full load).
- Power factor is 0.90 at full load.
- Dimming drivers are standard, but must conform to manufacturer's specifications for dimming.
- Component-to-component wiring within the luminaire may vary from that shown in the manual and is certified by UL for use at 200VAC, 60 Hz or higher.
- Plug disconnects are certified by UL for use at 600 VAC, 15A or higher, 15A rating in accordance with NEC 404.10 and must be installed in accordance with NEC 404.10 and must be installed in accordance with NEC 404.10.
- Future electrical compartment shall contain all LED driver components and shall be provided with a push button terminal block for AC power connections.
- Outdoor 7-Prm ANSI C136.41 2013 listed lock control module available. Compatible with ANSI C136.41 external wireless control device.
- Ambient operating temperature: -40°C to 40°C
- Surge protection: 25kA
- LifeShield™ Circuit¹ protects luminaire from excessive temperatures. The device shut activates at a specific, factory-preset temperature, and progressively reduces power over a finite temperature range. Operation must be smooth and undetectable to the eye. Thermal circuit is designed to allow the luminaire to return to full power in the event of an interruption of the power supply, or faulty wiring connection to the drivers. This device shall be able to co-act with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

CERTIFICATIONS/LISTINGS

Beacon Products • 2041 58th Avenue Circle East, Bradenton, FL 34209 • Phone: 888-945-4929
Due to our continued efforts to improve our products, product specifications are subject to change without notice.
© 2019 BEACON PRODUCTS. All Rights Reserved. For more information visit our website www.beaconproducts.com • Printed in USA APRIL 17, 2019 2:40 PM

LOWE'S & RETAIL FIXTURES ALL SITE FIXTURES EXCEPT FOR (1)80-4W

ORDERING INFORMATION

Series	LED Engine	CCT/CRI	ADDITION	VOLUME	COLOR	OPTIONS
VPL 44L-135	150W LED array	3K7 3000K, 70 CRI	Lowest beam for no rotation	120-120V	BL Black Textured	F Fixing
80L-180	180W LED array	4K7 4000K, 70 CRI	L ¹ Optic rotation left	120 120V	DB Dark Bronze Textured	BSF Bird Spikes
80L-235	235W LED array	5K7 5000K, 70 CRI	R ¹ Optic rotation right	208 208V	GS Light Gray Smooth	BC Backshield (available for FR, 2, 3, 4, 4W Optics)
96L-220	220W LED array	5K7 5000K, 70 CRI	FR Type III (rotated)	240 240V	PS Platinum Silver Smooth	
96L-200	200W LED array	5K7 5000K, 70 CRI	FR Type IV (rotated)	277 277V	WH White Textured	
96L-315	315W LED array	5K7 5000K, 70 CRI	FR Type V (round wide)	347 347V	CC Custom Color	
96L-395	395W LED array	5K7 5000K, 70 CRI		480 480V		

PRODUCT IMAGES

CONTROL OPTIONS

- 7PR 7-Prm Pre-Commission w/ occupancy sensor, photo control, or wireless control (provided by others)
- 7PR-SC 7-Prm Receivable Whorling Cap
- 7PR-SC 7-Prm Receivable Whorling Cap (photo control)
- SCF_F₁ Programmable Occupancy Sensor w/ DALI light control
- GEN-X3 ENERGY
- SWP¹ SiteSync Pre-Commission
- SWP¹ SiteSync Pre-Commission w/ Sensor

INSTALLATION

- Mounting options for horizontal arm, vertical torso or traditional arm mounting available. Mounting hardware included.
- Mounting height: 8'-0" to 14'-0" (full load).
- Power factor is 0.90 at full load.
- Dimming drivers are standard, but must conform to manufacturer's specifications for dimming.
- Component-to-component wiring within the luminaire may vary from that shown in the manual and is certified by UL for use at 200VAC, 60 Hz or higher.
- Plug disconnects are certified by UL for use at 600 VAC, 15A or higher, 15A rating in accordance with NEC 404.10 and must be installed in accordance with NEC 404.10.
- Future electrical compartment shall contain all LED driver components and shall be provided with a push button terminal block for AC power connections.
- Outdoor 7-Prm ANSI C136.41 2013 listed lock control module available. Compatible with ANSI C136.41 external wireless control device.
- Ambient operating temperature: -40°C to 40°C
- Surge protection: 25kA
- LifeShield™ Circuit¹ protects luminaire from excessive temperatures. The device shut activates at a specific, factory-preset temperature, and progressively reduces power over a finite temperature range. Operation must be smooth and undetectable to the eye. Thermal circuit is designed to allow the luminaire to return to full power in the event of an interruption of the power supply, or faulty wiring connection to the drivers. This device shall be able to co-act with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

CERTIFICATIONS/LISTINGS

Beacon Products • 2041 58th Avenue Circle East, Bradenton, FL 34209 • Phone: 888-945-4929
Due to our continued efforts to improve our products, product specifications are subject to change without notice.
© 2019 BEACON PRODUCTS. All Rights Reserved. For more information visit our website www.beaconproducts.com • Printed in USA APRIL 17, 2019 2:40 PM

LOWE'S & RETAIL FIXTURES (1)80-4W, W55-4W, & W80-4W

VIPER S
SMALL VIPER LUMINAIRE

ORDERING INFORMATION

Series	LED Engine	CCT/CRI	ADDITION	VOLUME	COLOR	OPTIONS
VPS 44L-135	150W LED array	3K7 3000K, 70 CRI	Lowest beam for no rotation	120-120V	BL Black Textured	F Fixing
80L-180	180W LED array	4K7 4000K, 70 CRI	L ¹ Optic rotation left	120 120V	DB Dark Bronze Textured	BSF Bird Spikes
80L-235	235W LED array	5K7 5000K, 70 CRI	R ¹ Optic rotation right	208 208V	GS Light Gray Smooth	BC Backshield (available for FR, 2, 3, 4, 4W Optics)
96L-220	220W LED array	5K7 5000K, 70 CRI	FR Type III (rotated)	240 240V	PS Platinum Silver Smooth	
96L-200	200W LED array	5K7 5000K, 70 CRI	FR Type IV (rotated)	277 277V	WH White Textured	
96L-315	315W LED array	5K7 5000K, 70 CRI	FR Type V (round wide)	347 347V	CC Custom Color	
96L-395	395W LED array	5K7 5000K, 70 CRI		480 480V		

PRODUCT IMAGES

CONTROL OPTIONS

- 7PR 7-Prm Pre-Commission w/ occupancy sensor, photo control, or wireless control (provided by others)
- 7PR-SC 7-Prm Receivable Whorling Cap
- 7PR-SC 7-Prm Receivable Whorling Cap (photo control)
- SCF_F₁ Programmable Occupancy Sensor w/ DALI light control
- GEN-X3 ENERGY
- SWP¹ SiteSync Pre-Commission
- SWP¹ SiteSync Pre-Commission w/ Sensor

INSTALLATION

- Mounting options for horizontal arm, vertical torso or traditional arm mounting available. Mounting hardware included.
- Mounting height: 8'-0" to 14'-0" (full load).
- Power factor is 0.90 at full load.
- Dimming drivers are standard, but must conform to manufacturer's specifications for dimming.
- Component-to-component wiring within the luminaire may vary from that shown in the manual and is certified by UL for use at 200VAC, 60 Hz or higher.
- Plug disconnects are certified by UL for use at 600 VAC, 15A or higher, 15A rating in accordance with NEC 404.10 and must be installed in accordance with NEC 404.10.
- Future electrical compartment shall contain all LED driver components and shall be provided with a push button terminal block for AC power connections.
- Outdoor 7-Prm ANSI C136.41 2013 listed lock control module available. Compatible with ANSI C136.41 external wireless control device.
- Ambient operating temperature: -40°C to 40°C
- Surge protection: 25kA
- LifeShield™ Circuit¹ protects luminaire from excessive temperatures. The device shut activates at a specific, factory-preset temperature, and progressively reduces power over a finite temperature range. Operation must be smooth and undetectable to the eye. Thermal circuit is designed to allow the luminaire to return to full power in the event of an interruption of the power supply, or faulty wiring connection to the drivers. This device shall be able to co-act with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

CERTIFICATIONS/LISTINGS

Beacon Products • 2041 58th Avenue Circle East, Bradenton, FL 34209 • Phone: 888-945-4929
Due to our continued efforts to improve our products, product specifications are subject to change without notice.
© 2019 BEACON PRODUCTS. All Rights Reserved. For more information visit our website www.beaconproducts.com • Printed in USA APRIL 17, 2019 2:40 PM

LOWE'S & RETAIL FIXTURES (1)80-4W, W55-4W, & W80-4W

VIPER S
SMALL VIPER LUMINAIRE

ORDERING INFORMATION

Series	LED Engine	CCT/CRI	ADDITION	VOLUME	COLOR	OPTIONS
VPS 44L-135	150W LED array	3K7 3000K, 70 CRI	Lowest beam for no rotation	120-120V	BL Black Textured	F Fixing
80L-180	180W LED array	4K7 4000K, 70 CRI	L ¹ Optic rotation left	120 120V	DB Dark Bronze Textured	BSF Bird Spikes
80L-235	235W LED array	5K7 5000K, 70 CRI	R ¹ Optic rotation right	208 208V	GS Light Gray Smooth	BC Backshield (available for FR, 2, 3, 4, 4W Optics)
96L-220	220W LED array	5K7 5000K, 70 CRI	FR Type III (rotated)	240 240V	PS Platinum Silver Smooth	
96L-200	200W LED array	5K7 5000K, 70 CRI	FR Type IV (rotated)	277 277V	WH White Textured	
96L-315	315W LED array	5K7 5000K, 70 CRI	FR Type V (round wide)	347 347V	CC Custom Color	
96L-395	395W LED array	5K7 5000K, 70 CRI		480 480V		

PRODUCT IMAGES

CONTROL OPTIONS

- 7PR 7-Prm Pre-Commission w/ occupancy sensor, photo control, or wireless control (provided by others)
- 7PR-SC 7-Prm Receivable Whorling Cap
- 7PR-SC 7-Prm Receivable Whorling Cap (photo control)
- SCF_F₁ Programmable Occupancy Sensor w/ DALI light control
- GEN-X3 ENERGY
- SWP¹ SiteSync Pre-Commission
- SWP¹ SiteSync Pre-Commission w/ Sensor

INSTALLATION

- Mounting options for horizontal arm, vertical torso or traditional arm mounting available. Mounting hardware included.
- Mounting height: 8'-0" to 14'-0" (full load).
- Power factor is 0.90 at full load.
- Dimming drivers are standard, but must conform to manufacturer's specifications for dimming.
- Component-to-component wiring within the luminaire may vary from that shown in the manual and is certified by UL for use at 200VAC, 60 Hz or higher.
- Plug disconnects are certified by UL for use at 600 VAC, 15A or higher, 15A rating in accordance with NEC 404.10 and must be installed in accordance with NEC 404.10.
- Future electrical compartment shall contain all LED driver components and shall be provided with a push button terminal block for AC power connections.
- Outdoor 7-Prm ANSI C136.41 2013 listed lock control module available. Compatible with ANSI C136.41 external wireless control device.
- Ambient operating temperature: -40°C to 40°C
- Surge protection: 25kA
- LifeShield™ Circuit¹ protects luminaire from excessive temperatures. The device shut activates at a specific, factory-preset temperature, and progressively reduces power over a finite temperature range. Operation must be smooth and undetectable to the eye. Thermal circuit is designed to allow the luminaire to return to full power in the event of an interruption of the power supply, or faulty wiring connection to the drivers. This device shall be able to co-act with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

CERTIFICATIONS/LISTINGS

Beacon Products • 2041 58th Avenue Circle East, Bradenton, FL 34209 • Phone: 888-945-4929
Due to our continued efforts to improve our products, product specifications are subject to change without notice.
© 2019 BEACON PRODUCTS. All Rights Reserved. For more information visit our website www.beaconproducts.com • Printed in USA APRIL 17, 2019 2:40 PM

RETAIL FIXTURES D1

SLD
Slide

ORDERING INFORMATION

Series	LED Engine	CCT/CRI	ADDITION	VOLUME	COLOR	OPTIONS
SLD 44L-135	150W LED array	3K7 3000K, 70 CRI	Lowest beam for no rotation	120-120V	BL Black Textured	F Fixing
80L-180	180W LED array	4K7 4000K, 70 CRI	L ¹ Optic rotation left	120 120V	DB Dark Bronze Textured	BSF Bird Spikes
80L-235	235W LED array	5K7 5000K, 70 CRI	R ¹ Optic rotation right	208 208V	GS Light Gray Smooth	BC Backshield (available for FR, 2, 3, 4, 4W Optics)
96L-220	220W LED array	5K7 5000K, 70 CRI	FR Type III (rotated)	240 240V	PS Platinum Silver Smooth	
96L-200	200W LED array	5K7 5000K, 70 CRI	FR Type IV (rotated)	277 277V	WH White Textured	
96L-315	315W LED array	5K7 5000K, 70 CRI	FR Type V (round wide)	347 347V	CC Custom Color	
96L-395	395W LED array	5K7 5000K, 70 CRI		480 480V		

PRODUCT IMAGES

CONTROL OPTIONS

- 7PR 7-Prm Pre-Commission w/ occupancy sensor, photo control, or wireless control (provided by others)
- 7PR-SC 7-Prm Receivable Whorling Cap
- 7PR-SC 7-Prm Receivable Whorling Cap (photo control)
- SCF_F₁ Programmable Occupancy Sensor w/ DALI light control
- GEN-X3 ENERGY
- SWP¹ SiteSync Pre-Commission
- SWP¹ SiteSync Pre-Commission w/ Sensor

INSTALLATION

- Mounting options for horizontal arm, vertical torso or traditional arm mounting available. Mounting hardware included.
- Mounting height: 8'-0" to 14'-0" (full load).
- Power factor is 0.90 at full load.
- Dimming drivers are standard, but must conform to manufacturer's specifications for dimming.
- Component-to-component wiring within the luminaire may vary from that shown in the manual and is certified by UL for use at 200VAC, 60 Hz or higher.
- Plug disconnects are certified by UL for use at 600 VAC, 15A or higher, 15A rating in accordance with NEC 404.10 and must be installed in accordance with NEC 404.10.
- Future electrical compartment shall contain all LED driver components and shall be provided with a push button terminal block for AC power connections.
- Outdoor 7-Prm ANSI C136.41 2013 listed lock control module available. Compatible with ANSI C136.41 external wireless control device.
- Ambient operating temperature: -40°C to 40°C
- Surge protection: 25kA
- LifeShield™ Circuit¹ protects luminaire from excessive temperatures. The device shut activates at a specific, factory-preset temperature, and progressively reduces power over a finite temperature range. Operation must be smooth and undetectable to the eye. Thermal circuit is designed to allow the luminaire to return to full power in the event of an interruption of the power supply, or faulty wiring connection to the drivers. This device shall be able to co-act with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

CERTIFICATIONS/LISTINGS

Beacon Products • 2041 58th Avenue Circle East, Bradenton, FL 34209 • Phone: 888-945-4929
Due to our continued efforts to improve our products, product specifications are subject to change without notice.
© 2019 BEACON PRODUCTS. All Rights Reserved. For more information visit our website www.beaconproducts.com • Printed in USA APRIL 17, 2019 2:40 PM

RETAIL FIXTURES D3

New and Existing Construction

LB6LEDA10L
LED Downlight Module (1000 Lumens)
12W High Efficiency
Vet Location 120V

Life6™
Aperture: Nominal 6" See Housing Specification Sheet for ceiling cutout requirements. Not to Scale

APPLICATIONS:
Life6™ LED modules are designed for use in new construction as well as retrofit applications with existing Prescolite or compatible 6" housings using the screw base adapter included. Lumens output and distribution comparable to a 75W PAR with consuming only 12 watts. ENERGY STAR® qualified. Can be used to comply with California Title 24 IECC with per square foot requirements. Suitable for use with continuous room side ambient temperature up to 33°C. Flicker-free dimming to 1% with most standard dimmers. (See Dimming Notes).

INSTALLATION:
For New Construction: Use with Prescolite DBX QuickLink LED housings. QuickLink connectors directly to housing connector without a screw base adapter for California Title 24 compliance.
For Retrofit: Use in Prescolite or other compatible 6" recessed housings using supplied screw base adapter.
Easy installation with (3) stainless steel spring clips (pre-installed).
CERTIFICATIONS: UL/UL Classified for use in Prescolite or other 6" recessed housings including Halo, Juno, and Libretto. (See page 3 for more details.) Suitable for wet locations. ENERGY STAR qualified. Meets California Title 24 with DBXGL.

WARRANTY:
5 year warranty. Additional information on page 3. See www.prescolite.com for details.

LENS/REFLECTOR:
UL/UL Classified for use in Prescolite or other 6" recessed housings including Halo, Juno, and Libretto. (See page 3 for more details.) Suitable for wet locations. ENERGY STAR qualified. Meets California Title 24 with DBXGL.

WARRANTY:
5 year warranty. Additional information on page 3. See www.prescolite.com for details.

CATALOG NUMBER

TRIM	LED COLOR	CRI	TRIM COLOR	ACCESSORIES
LB6LEDA10L	30K 3000 Kelvin	80+ CRI	WH White	LifeGear ¹ Inverter, single phase lighting, 125VA-250VA
	35K 3500 Kelvin	80+ CRI	BL Black	LPS Series ¹ Light Power Supply, 20VA-55VA
	50K 5000 Kelvin	80+ CRI	DB Dark Bronze	DBXGL IC/Non-IC Airtight housing with supply wire quick connects

EXAMPLE: LB6LEDA10L0K WH

1 See Inverter compatibility notes and web links on page 2.

Beacon Products • 2041 58th Avenue Circle East, Bradenton, FL 34209 • Phone: 888-945-4929
Due to our continued efforts to improve our products, product specifications are subject to change without notice.
© 2019 BEACON PRODUCTS. All Rights Reserved. For more information visit our website www.beaconproducts.com • Printed in USA APRIL 17, 2019 2:40 PM

LOWE'S & RETAIL BOLLARDS FIXTURE D2

BNB1/LE1
Bounce & Era® Lantern Bollard

ORDERING INFORMATION (Example)

Series	LED Engine	CCT/CRI	ADDITION	VOLUME	COLOR	OPTIONS
BNB1	150W LED array	3K7 3000K, 70 CRI	Lowest beam for no rotation	120-120V	BL Black Textured	F Fixing
80L-180	180W LED array	4K7 4000K, 70 CRI	L ¹ Optic rotation left	120 120V	DB Dark Bronze Textured	BSF Bird Spikes
80L-235	235W LED array	5K7 5000K, 70 CRI	R ¹ Optic rotation right	208 208V	GS Light Gray Smooth	BC Backshield (available for FR, 2, 3, 4, 4W Optics)
96L-220	220W LED array	5K7 5000K, 70 CRI	FR Type III (rotated)	240 240V	PS Platinum Silver Smooth	
96L-200	200W LED array	5K7 5000K, 70 CRI	FR Type IV (rotated)	277 277V	WH White Textured	
96L-315	315W LED array	5K7 5000K, 70 CRI	FR Type V (round wide)	347 347V	CC Custom Color	
96L-395	395W LED array	5K7 5000K, 70 CRI		480 480V		

PRODUCT IMAGES

CONTROL OPTIONS

- 7PR 7-Prm Pre-Commission w/ occupancy sensor, photo control, or wireless control (provided by others)
- 7PR-SC 7-Prm Receivable Whorling Cap
- 7PR-SC 7-Prm Receivable Whorling Cap (photo control)
- SCF_F₁ Programmable Occupancy Sensor w/ DALI light control
- GEN-X3 ENERGY
- SWP¹ SiteSync Pre-Commission
- SWP¹ SiteSync Pre-Commission w/ Sensor

INSTALLATION

- Mounting options for horizontal arm, vertical torso or traditional arm mounting available. Mounting hardware included.
- Mounting height: 8'-0" to 14'-0" (full load).
- Power factor is 0.90 at full load.
- Dimming drivers are standard, but must conform to manufacturer's specifications for dimming.
- Component-to-component wiring within the luminaire may vary from that shown in the manual and is certified by UL for use at 200VAC, 60 Hz or higher.
- Plug disconnects are certified by UL for use at 600 VAC, 15A or higher, 15A rating in accordance with NEC 404.10 and must be installed in accordance with NEC 404.10.
- Future electrical compartment shall contain all LED driver components and shall be provided with a push button terminal block for AC power connections.
- Outdoor 7-Prm ANSI C136.41 2013 listed lock control module available. Compatible with ANSI C136.41 external wireless control device.
- Ambient operating temperature: -40°C to 40°C
- Surge protection: 25kA
- LifeShield™ Circuit¹ protects luminaire from excessive temperatures. The device shut activates at a specific, factory-preset temperature, and progressively reduces power over a finite temperature range. Operation must be smooth and undetectable to the eye. Thermal circuit is designed to allow the luminaire to return to full power in the event of an interruption of the power supply, or faulty wiring connection to the drivers. This device shall be able to co-act with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

CERTIFICATIONS/LISTINGS

Beacon Products • 2041 58th Avenue Circle East, Bradenton, FL 34209 • Phone: 888-945-4929
Due to our continued efforts to improve our products, product specifications are subject to change without notice.
© 2019 BEACON PRODUCTS. All Rights Reserved. For more information visit our website www.beaconproducts.com • Printed in USA APRIL 17, 2019 2:40 PM

RETAIL FIXTURES D1

SLD
Slide

ORDERING INFORMATION

Series	LED Engine	CCT/CRI	ADDITION	VOLUME	COLOR	OPTIONS
SLD 44L-135	150W LED array	3K7 3000K, 70 CRI	Lowest beam for no rotation	120-120V	BL Black Textured	F Fixing
80L-180	180W LED array	4K7 4000K, 70 CRI	L ¹ Optic rotation left	120 120V	DB Dark Bronze Textured	BSF Bird Spikes
80L-235	235W LED array	5K7 5000K, 70 CRI	R ¹ Optic rotation right	208 208V	GS Light Gray Smooth	BC Backshield (available for FR, 2, 3, 4, 4W Optics)
96L-220	220W LED array	5K7 5000K, 70 CRI	FR Type III (rotated)	240 240V	PS Platinum Silver Smooth	
96L-200	200W LED array	5K7 5000K, 70 CRI	FR Type IV (rotated)	277 277V	WH White Textured	
96L-315	315W LED array	5K7 5000K, 70 CRI	FR Type V (round wide)	347 347V	CC Custom Color	
96L-395	395W LED array	5K7 5000K, 70 CRI		480 480V		

PRODUCT IMAGES

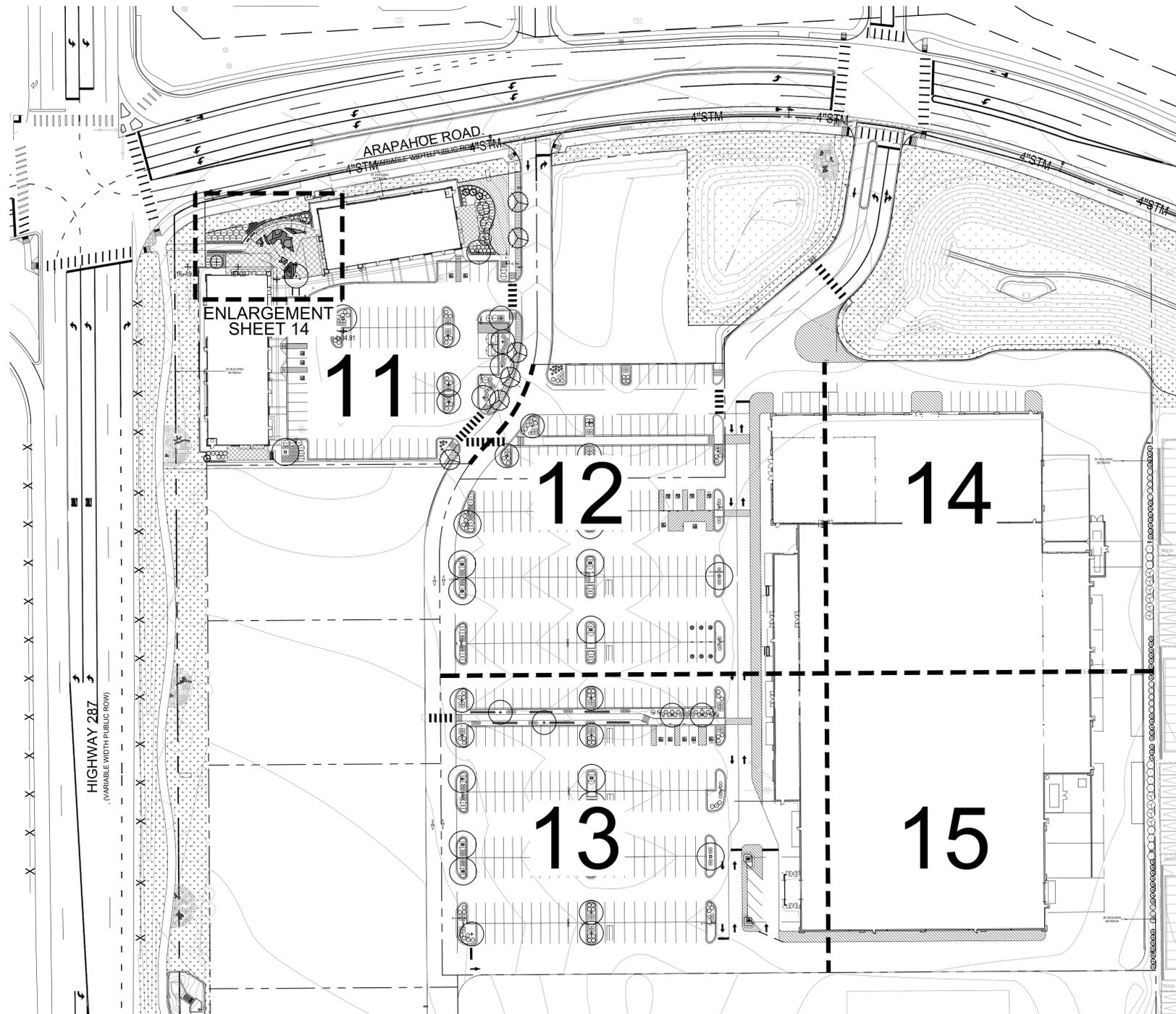
CONTROL OPTIONS

- 7PR 7-Prm Pre-Commission w/ occupancy sensor, photo control, or wireless control (provided by others)
- 7PR-SC 7-Prm Receivable Whorling Cap
- 7PR-SC 7-Prm Receivable Whorling Cap (photo control)
- SCF_F₁ Programmable Occupancy Sensor w/ DALI light control
- GEN-X3 ENERGY
- SWP¹ SiteSync Pre-Commission

IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPING/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

NINE MILE CORNER - LOTS 1 & 3

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN - SP-001117-2019



PLANTING LEGEND

LEGEND
QTY ABBREV. BOTANIC NAME

DECIDUOUS TREES		
6	GIBI	GINKGO BILOBA 'AUTUMN GOLD'
23	GLTR	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMAST'
17	GYDI	GYMNOCLADUS DIOICUS

EVERGREEN TREES		
4	PIGL	PICEA GLAUCA 'DENSATA'

ORNAMENTAL TREES		
5	ACTA	ACER TATARICUM 'HOT WINGS'

UPRIGHT JUNIPERS		
13	JUVI	JUNIPERUS VIRGINIANA 'SKYROCKET'

DECIDUOUS SHRUBS		
10	AMCA	AMORPHA CANESCENS
116	CACL	CARYOPTERIS X CLANDONENSIS
20	CHNA	CHRY'SOTHAMNUS NAUSEOSUS
10	COCO	COTINUS COGGYGRIA
126	GELY	GENISTA 'LYDIA'
6	PEAT	PEROVSKIA ATRIPLICIFOLIA
40	POFR	POTENTILLA FRUTICOSA 'FARGO'
80	POTA	POTENTILLA FRUTICOSA 'TANGERINE'
93	PRBE	PRUNUS BESSEYI 'PAWNEE BUTTES'
11	SYVU	SYRINGA VULGARIS

EVERGREEN SHRUBS		
137	ARPA	ARCTOSTAPHYLOS 'PANCHITO'
42	MAAQ	MAHONIA AQUIFOLIUM

MISCELLANEOUS		
1,218 SF		FESCUE SOD
1,524 SF		NATIVE SEED
22,589 SF		ROCK COBBLE MULCH
AS NEEDED		WOOD MULCH
100 LF		STEEL EDGING
AS SHOWN		LANDSCAPE BY OTHERS

LANDSCAPE CALCULATION:

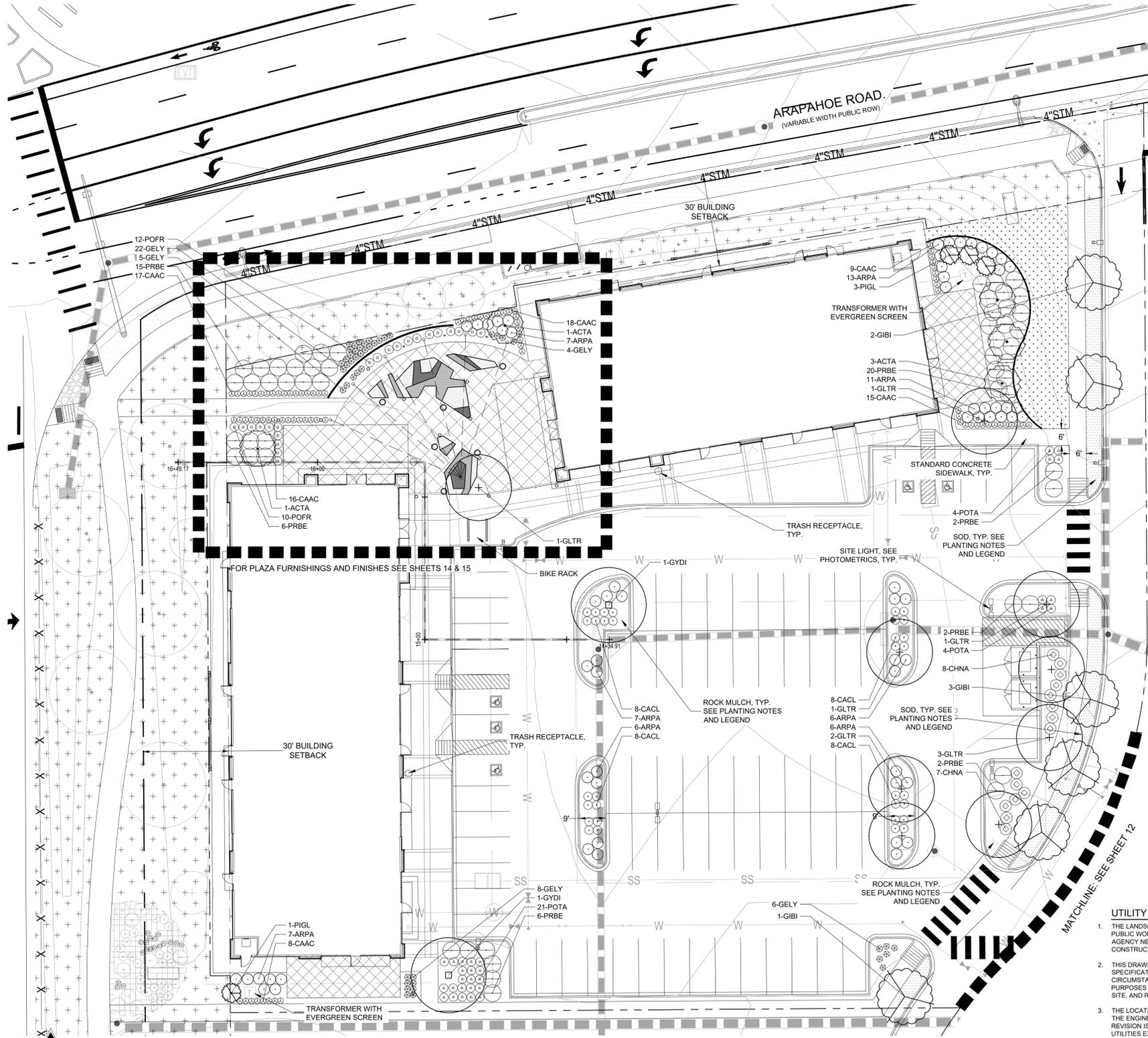
CODE SECTION	REQUIREMENT
10-6-4E 1A	1 TREE PER 40 LF OF STREET FRONTAGE
10-6-4E 7B	15% GROSS SITE AREA LANDSCAPED
10-6-4E 7C1	1 TREE PER 1,000 SF OF LANDSCAPE AREA
10-6-4E 7C2	1 SHRUB PER 150 SF OF LANDSCAPE AREA
10-6-4E 8E1	1 TREE PER 15 PARKING SPACES
10-6-4E 8E2	1 SHRUB PER PARKING SPACE

* THE REMAINING REQUIRED 53,214 SF OF LANDSCAPE THE MASTER DEVELOPMENT PLANS.

IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPING/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

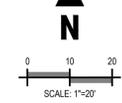
NINE MILE CORNER - LOTS 1 & 3

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
 SITE PLAN - SP-001117-2019



UTILITY NOTES

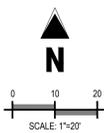
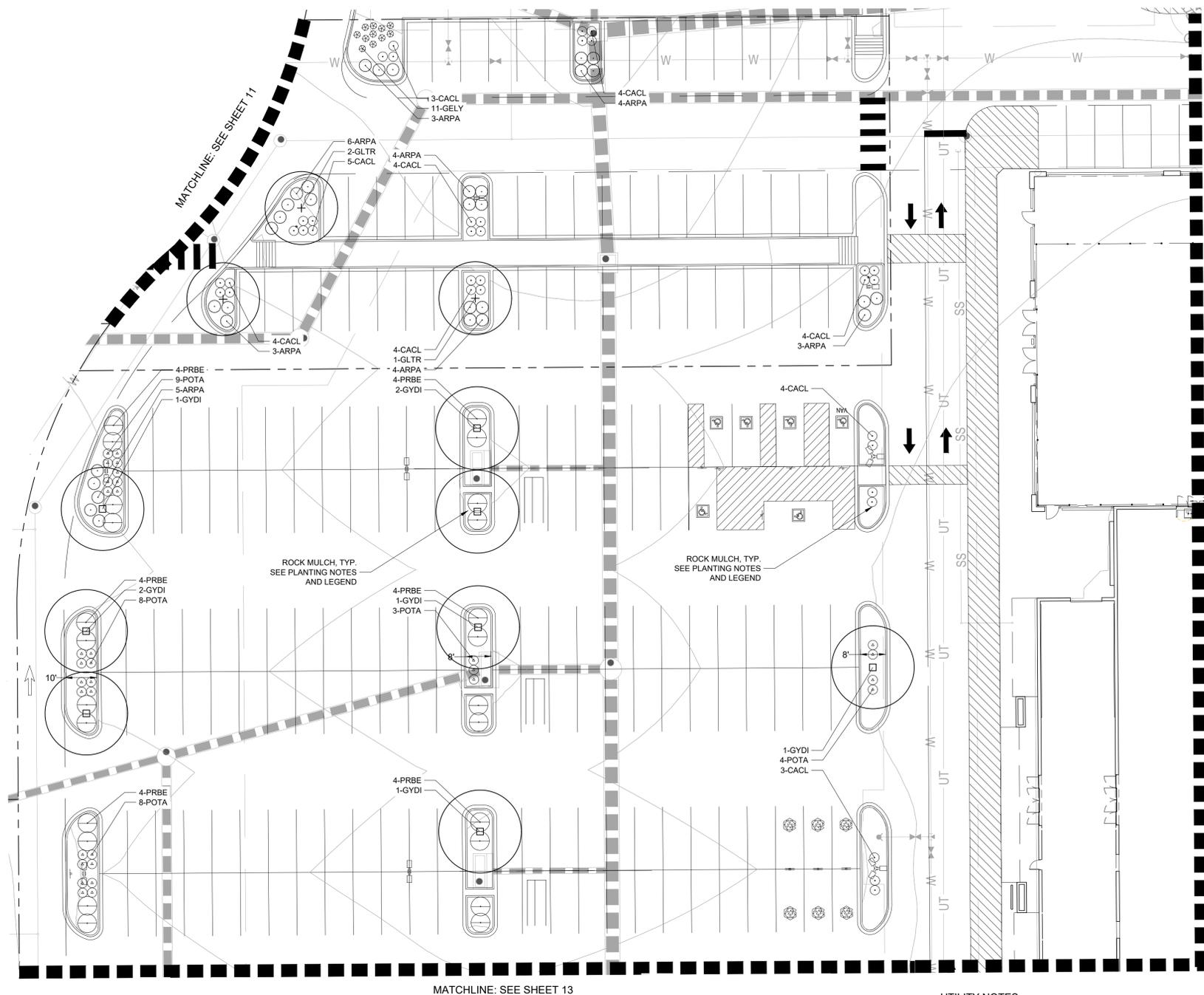
1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.



IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPING/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF. MADE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

NINE MILE CORNER - LOTS 1 & 3

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
 SITE PLAN - SP-001117-2019



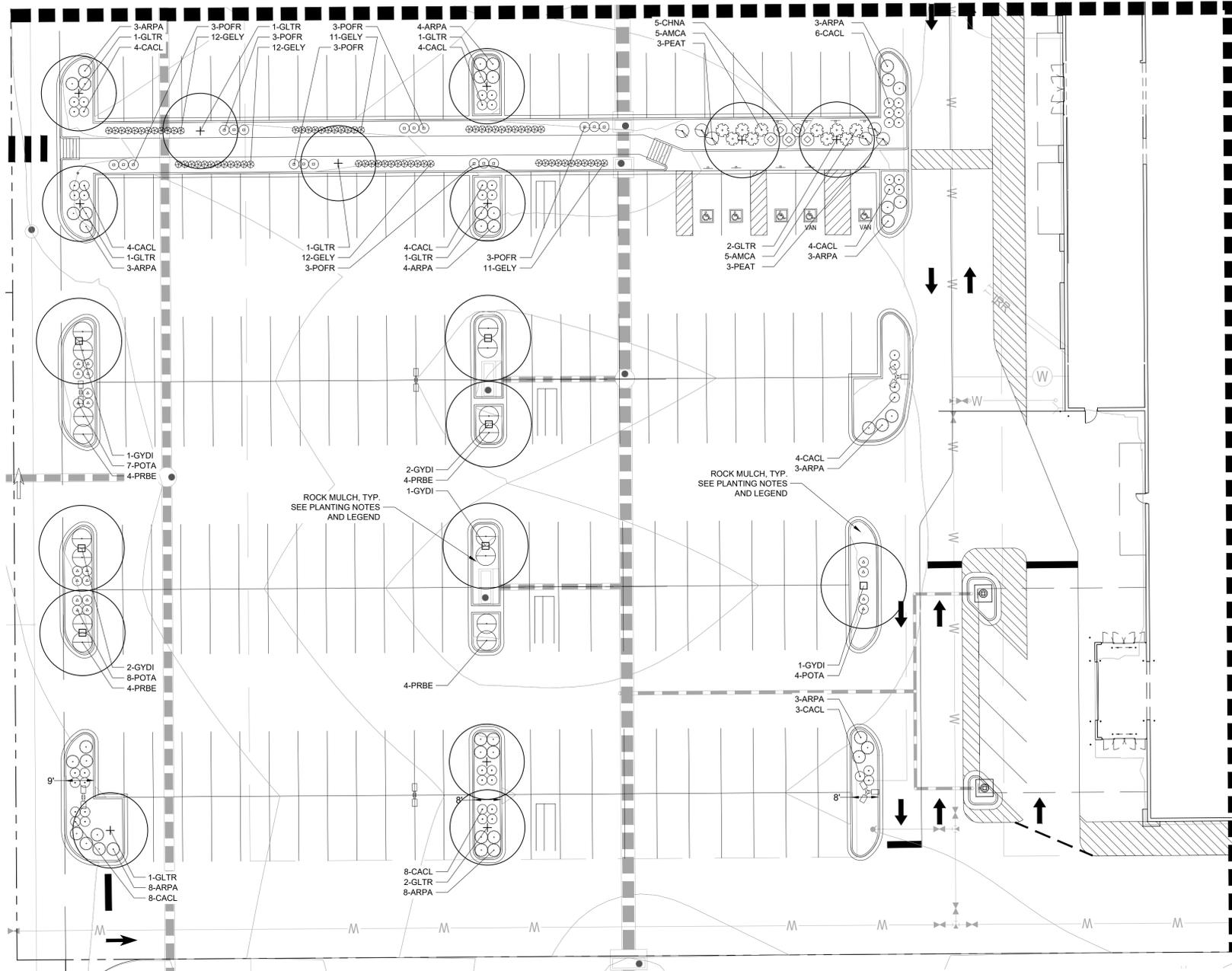
- UTILITY NOTES**
1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
 2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
 3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPING/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

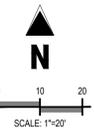
NINE MILE CORNER - LOTS 1 & 3

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
 SITE PLAN - SP-001117-2019

MATCHLINE: SEE SHEET 12



MATCHLINE: SEE SHEET 15



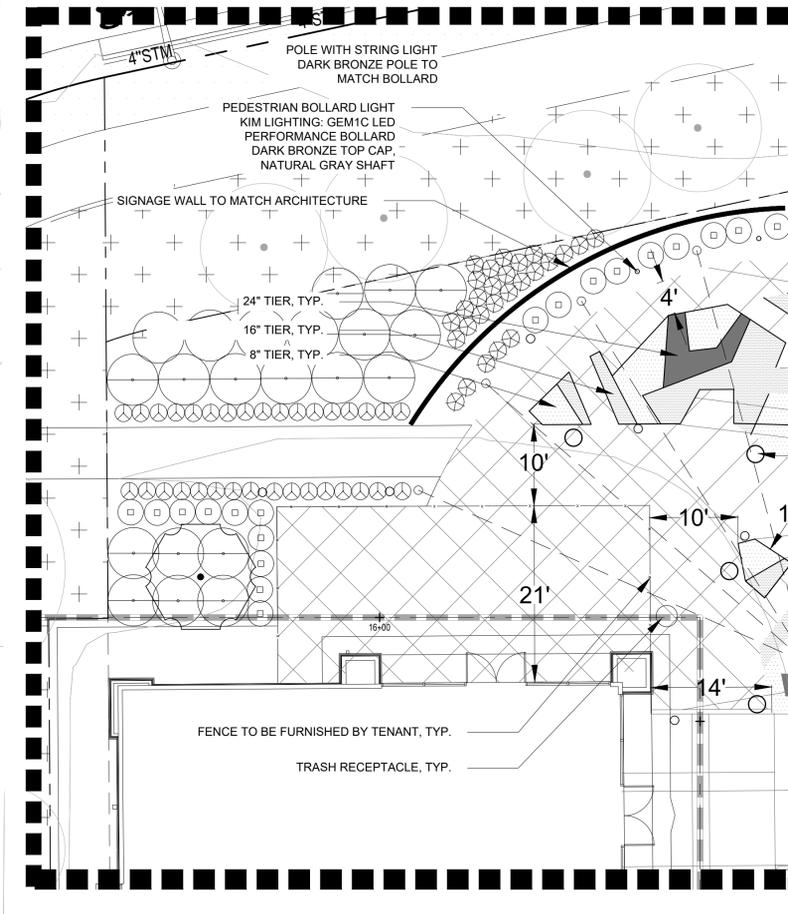
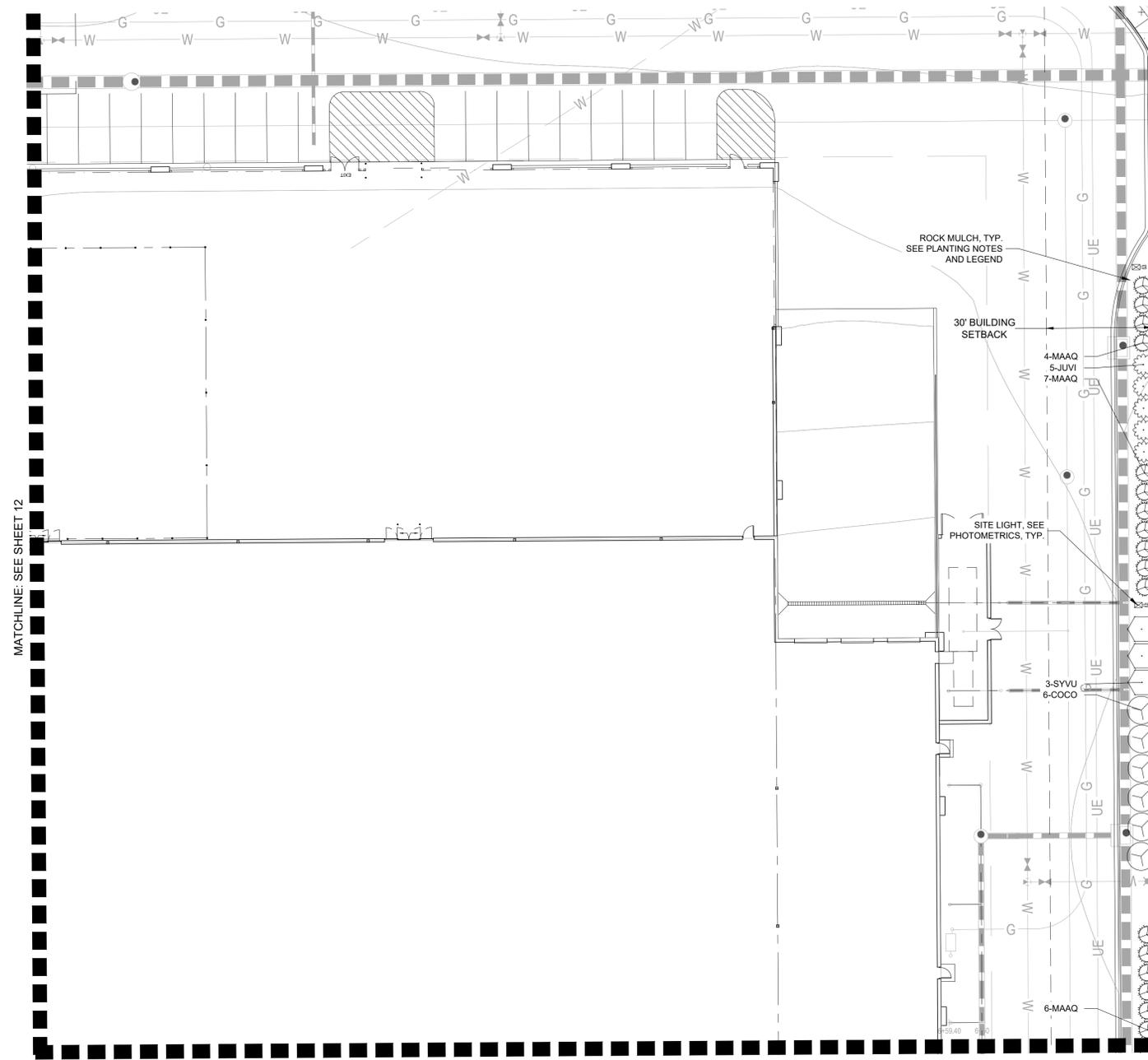
UTILITY NOTES

1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPING/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF. MADE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

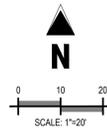
NINE MILE CORNER - LOTS 1 & 3

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
 SITE PLAN - SP-001117-2019



UTILITY NOTES

1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

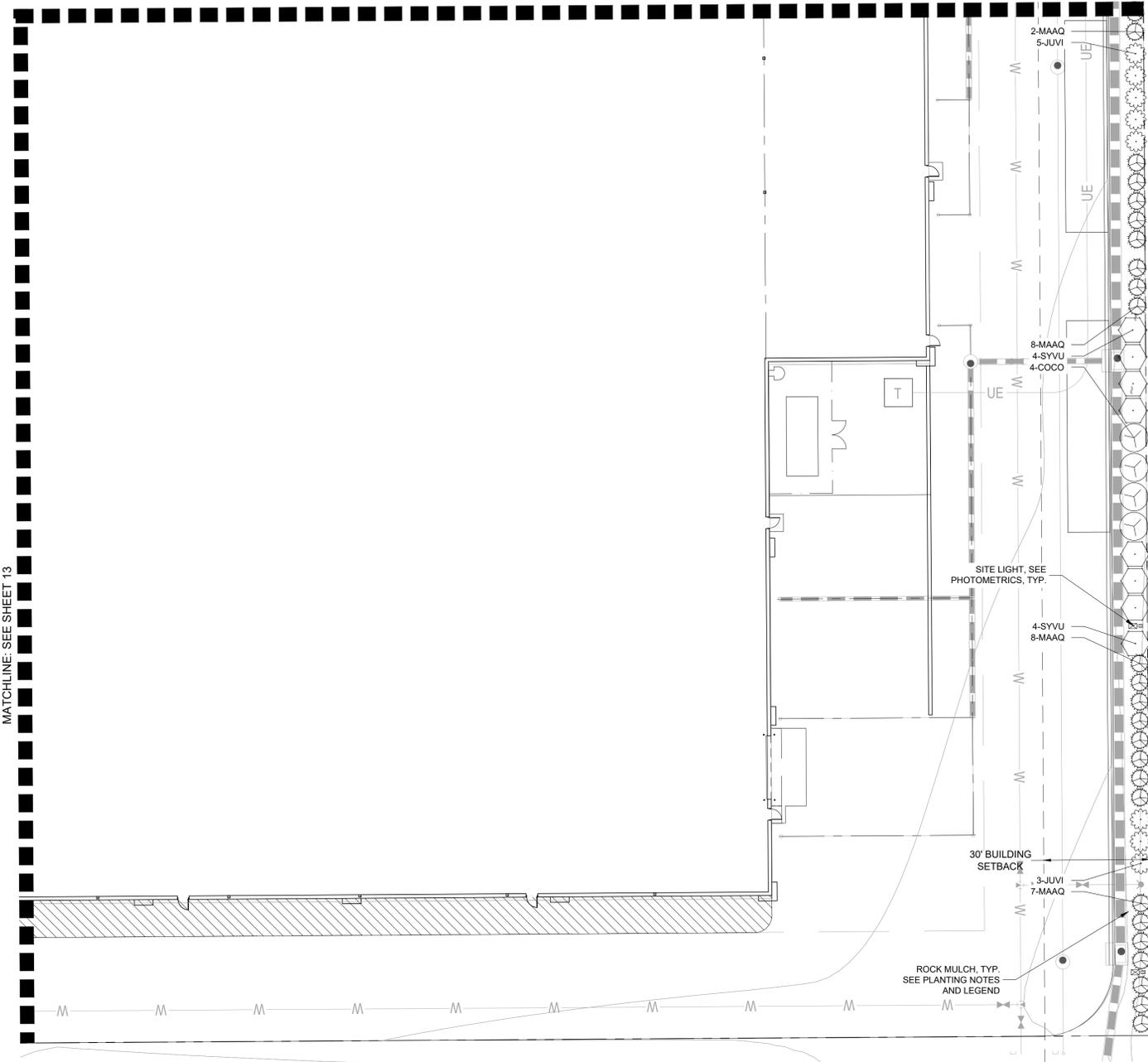


IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPING/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

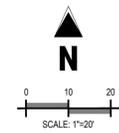
NINE MILE CORNER - LOTS 1 & 3

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN - SP-001117-2019

MATCHLINE: SEE SHEET 14



MATCHLINE: SEE SHEET 13



UTILITY NOTES

1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

U:\angular concrete seating.jpg



A TIERED SEATING

NOT TO SCALE



PLAZA CONCRETE
ALTERNATING CORDUROY AND
BROOM FINISH
DIMENSIONS: 24" X 24" SCORE
JOINTS, ALTERNATE FINISH IN
GROUPS OF 4 TILES
COLOR: COCOA DAVIS COLOR
LOCATION: SEE PLANS



HEAVY
MEDIUM

B PAVING FINISHES

NOT TO SCALE



BAYAMO ROUND PLANTER
QCP
SIZE: 28" DIAMETER X 36" HEIGHT
COLOR & FINISH: SEBRING SRC
LOCATION: SEE PLANS
AVAILABLE: QCP-CORP.COM

C PLANTER POT

NOT TO SCALE



D STRING LIGHT

NOT TO SCALE



SAGE LITTER RECEPTACLE
VICTOR STANLEY
MATERIAL: PERFORATED STEEL
SIZE: 36 GALLON
COLOR: BRONZE
LOCATION: SEE PLANS

E TRASH RECEPTACLE

NOT TO SCALE

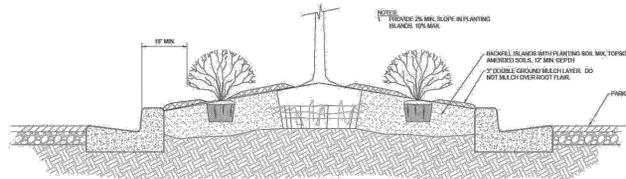


F BIKE RACK

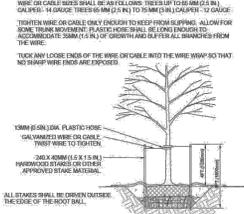
NOT TO SCALE

NINE MILE CORNER - LOTS 1 & 3

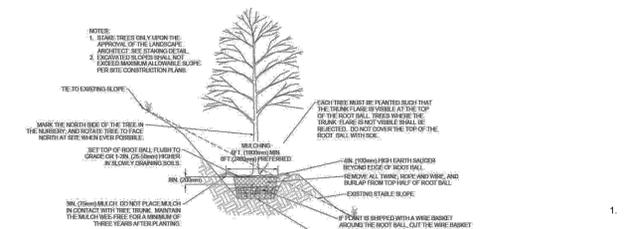
A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN - SP-001117-2019



ISLAND PLANTING DETAIL



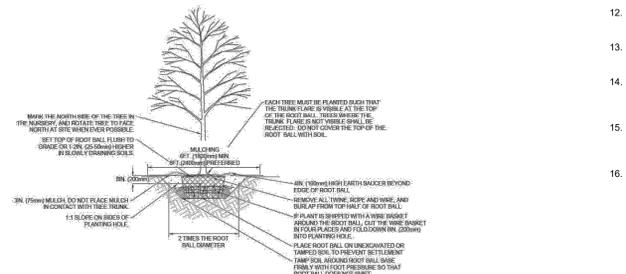
TREE STAKING DETAIL
TREES 3" CALIPER OR LESS



SLOPE TREE PLANTING



SHRUB DETAIL - POTTED



TREE PLANTING DETAIL
B&B TREES IN ALL SOIL TYPES

LOWES STANDARD LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND ASSOCIATED EASEMENTS PRIOR TO EXCAVATION AND PLANTING AND PROTECT ALL EXISTING TREES, SHRUBS AND OTHER SITE FEATURES, STRUCTURES AND UTILITIES WITHIN THE WORK AREA. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM NEGLIGENCE OR FAILURE TO COMPLY WITH THIS REQUIREMENT.
- ALL PLANT NAMES AND DESCRIPTIONS SHALL BE AS DEFINED IN HORTUS THIRD. ALL PLANT MATERIALS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1. ALL WORK SHALL CONFORM TO AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A320, AMERICAN NATIONAL STANDARDS INSTITUTE.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO VERIFY QUANTITIES OF PLANT MATERIAL NECESSARY TO COMPLETE THE PROJECT. WHERE DISCREPANCIES EXIST BETWEEN THE DRAWINGS AND THIS LIST, THE DRAWINGS SHALL GOVERN. ANY DISCREPANCIES FOUND BY THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE LOWES PROJECT MANAGER.
- PLANTING SHALL BE PERFORMED WITHIN ACCEPTABLE SEASONS FOR THE REGION, CLIMATIC CONDITION AND TYPE OF PLANT MATERIAL. IF SPECIAL CONDITIONS EXIST, THE LANDSCAPE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM THE OWNER TO PLANT OUT OF SEASON. ANY VARIANCE IN THE PLANTING SEASON SHALL NOT AFFECT THE WARRANTY PERIOD.
- CLEAR, REMOVE, AND DISPOSE OF ANY BRUSH, SNAGS, AND TRASH WITHIN THE PLANTING AREA. GRADE AREA TO MATCH EXISTING LANDSCAPE.
- EXCAVATE PLANTING HOLES WITH SIDE SLOPES AT A 45 DEGREE ANGLE TAKING CARE NOT TO GLAZE THE SIDES WITH EQUIPMENT USED. BOTTOM AREA OF THE PLANTING HOLE/BED SHALL SLOPE PARALLEL TO THE PROPOSED GRADES.
- EXCAVATE PLANTING HOLES FOR INDIVIDUAL TREES AND SHRUBS TO THE DEPTH OF THE ROOT BALL AND TO WIDTHS SHOWN ON THE DRAWING. DO NOT OVER-EXCAVATE PLANTING HOLE AND BACKFILL PRIOR TO SETTING PLANT.
- PLANTS SHALL BE SET ON UNEXCAVATED PADS AT THE SAME RELATIONSHIP TO FINISHED GRADE AS THEY WERE TO THE GROUND FROM WHICH THEY WERE DUG UNLESS OTHERWISE NOTED ON THE DRAWINGS. PLANTS ARE TO BE SET PLUMB AND BRACED IN POSITION UNTIL PLANTING BACKFILL MIX HAS BEEN PLACED AND TAMPED AROUND THE BASE OF THE ROOT BALL. PROPER PLANTING DEPTH REQUIRES THE ROOT FLARE TO BE AT OR SLIGHTLY ABOVE THE FINISHED GRADE.
- LIFT PLANTS ONLY FROM BOTTOM OF ROOT BALLS OR WITH BELTS OR LIFTING HARNESSSES OF SUFFICIENT WIDTH NOT TO DAMAGE THE ROOT BALLS. DO NOT LIFT TREES BY THEIR TRUNK OR USE THE TRUNK AS A LEVER IN POSITIONING OR MOVING THE TREE IN THE HOLE.
- REMOVE ALL PLASTIC, PAPER, FIBER POTS OR TAGS FROM CONTAINERIZED PLANT MATERIALS. PULL ROOTS OUT OF A ROOT MAT AND CUT CIRCLING ROOTS WITH A SHARP KNIFE. INSTALL THE PLANT IMMEDIATELY AFTER REMOVING FROM THE CONTAINER.
- CUT ROPES OR STRINGS FROM TOP OF ROOT BALL AFTER PLANT HAS BEEN SET. REMOVE BURLAP OR CLOTH WRAPPING AND ANY WIRE BASKETS FROM TOP HALF OF BALLS. DO NOT TURN UNDER OR BURY PORTIONS OF BURLAP AT TOP OF BALL. COMPLETELY REMOVE ANY SYNTHETIC WATERPROOF OR WATER-REPELLENT STRINGS OR WRAPPINGS FROM ROOT BALL AND TRUNK BEFORE BACKFILLING.
- FORM WATERING SAUCERS IMMEDIATELY OUTSIDE AREA OF ROOT BALL OF EACH TREE AS INDICATED ON DRAWINGS. WATER ALL PLANTS IMMEDIATELY AFTER PLANTING. APPLY WATER BY HOSE DIRECTLY TO ROOT BALL AND THE ADJACENT SOIL.
- STAKE TREE ACCORDING TO DETAIL ON PLAN ONLY WHEN NECESSARY FOR SPECIFIC CONDITIONS ENCOUNTERED AND WITH APPROVAL OF OWNER. STAKING MAY BE REQUIRED IN SANDY SOILS OR IN WINDY LOCATIONS. SEE DETAILS FOR TRUNK WRAPPING AND/OR PRUNING REQUIREMENTS.
- ALL TREES, SHRUBS, GROUND COVERS AND OTHER PLANTINGS SHALL BE MULCHED WITH MULCH DOUBLE SHREDDED HARDWOOD MULCH OR OTHER MULCH AS APPROVED AND SPECIFIED WITHIN 24 HOURS OF PLANTING. MULCH SHALL NOT BE PLACED WITHIN 3 INCHES (8 CM) OF THE TRUNKS OF TREES OR SHRUBS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL MAINTENANCE UNTIL FINAL ACCEPTANCE BY THE OWNER. LANDSCAPE CONTRACTOR IS REQUIRED TO NOTIFY OWNER IN WRITING OF ANY MAINTENANCE PRACTICE THAT MAY AFFECT ITS WARRANTY DURING THE WARRANTY PERIOD.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH DIVISION 2 OF LOWES STANDARD SPECIFICATIONS.

LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN AND HEALTHY CONDITION BY THE OWNER. THIS SHALL INCLUDE PROPER PRUNING, MOVERS AND AERATION OF LAWNS, REPLACEMENT OF MULCH, WEEDING, REMOVAL OF LITTER AND THE REGULAR WATERING OF ALL PLANTINGS. MULCH SHALL BE MAINTAINED TO MAXIMIZE WATER CONSUMPTION. SHOULD ANY PLANT MATERIAL DIE, THE OWNER, SUCCESSOR, OR ASSIGNS SHALL BE RESPONSIBLE FOR REPLACING THE PLANT MATERIAL WITHIN ONE PLANTING SEASON. REPLACEMENT OF PLANT MATERIALS SHALL OCCUR AT THE FOLLOWING RATE:

TYPE	PLANT REPLACEMENT WITHIN	
	1 YEAR	2+ YEARS
TREE - DECIDUOUS	INCREASE CALIPER BY 1"	INCREASE CALIPER BY 1.5"
TREE - CONIFEROUS	INCREASE HEIGHT BY 1.5'	INCREASE HEIGHT BY 2'
SHRUB	REPLACE WITH PLANTS OF AT LEAST 1/2 MATURE SIZE	REPLACE WITH PLANTS OF AT LEAST 1/2 MATURE SIZE

PLANTING NOTES

- GENERAL
- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
 - LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
 - CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
 - ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
 - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
 - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
 - ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
 - FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
 - WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
 - ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
 - LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
- FINISH GRADING AND SOIL PREPARATION
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (EC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
 - AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD. ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.
- PLANTING
- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
 - ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
 - ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
 - RTF TALL FESCUE HAS BEEN APPROVED IN MANY JURISDICTIONS AS A LOW-MODERATE HYDROZONE PLANT MATERIAL. INSTALL AND MAINTAIN IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
 - ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR

- BUILDING FOUNDATIONS. ALL EDGING SHALL ON MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION ABOVE THE FINISHED GRADE OF ADJACENT LAW
- THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE PROGRAM OF MAINTENANCE FOR ALL LANDSCAPE
 - A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED /
 - LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES ARCHITECTS AND OWNER'S REPRESENTATIVE F FABRIC, ETC.
- MULCHING
- AFTER ALL PLANTING IS COMPLETE, THE CONTR THE PLANTING LEGEND. INSTALL A 4" THICK RIN IN ROCK MULCH BEDS WHERE LANDSCAPING IS: SIZE OF THE SHRUBS, PERENNIALS, AND ORNAM COLORADO INDUSTRY STANDARD WIDTH.
 - ALL MULCH SHALL BE HARVESTED IN A SUSTAIN
 - INSTALL DEWITT PRO-5 WEED BARRIER FABRIC I LANDSCAPE FABRIC SHALL BE USED IN WOOD M
 - ABSOLUTELY NO EXPOSED GROUND SHALL BE I INSTALLED.
 - ALL PLANTING AREAS WITH LESS THAN A 4:1 GR SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE INSTALLATION). THE MULCH SHALL BE SPREAD E OR AS OTHERWISE DENOTED ON THE PLAN. ARI AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS ON SLOPES OVER 4:1 SHA NETTING SHALL BE ACT-125, AS MANUFACTURER MANUFACTURER'S SPECIFICATIONS. SEE ALSO

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INST IRRIGATION SYSTEM SHALL BE INSTALLED BY A QU
- THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE OF THE WATER SOURCE IF APPLICABLE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIF HEAD TO HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARA NECESSARY WATER REQUIREMENTS SPECIFIC TO I
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND USING THE FOLLOWING DEVICES AND SYSTEMS: M (WHEREVER POSSIBLE), RAIN SENSORS, AND SMAR SENSORY INPUT CAPABILITIES.

LANDSCAPE GUARANTEE AND MAINT

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE HIS OWN EXPENSE. ANY PLANTS WHICH DIE IN TH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN 1 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING REMOVAL OF LITTER, AND THE APPROPRIATE WA) WORKING ORDER, WITH SCHEDULING ADJUSTME) DURING WINTER, TO AVOID FREEZE DAMAGE ON F
- DURING THE LANDSCAPE MAINTENANCE PERIOD, FROM STRUCTURES IN ALL LANDSCAPE AREAS AT AREAS WHICH SETTLE AND CREATE THE POTENTI BLEND IN WITH THE SURROUNDING GRADES. SHC GEOTECHNICAL REPORT, THE GRADING PLANS, TI IMMEDIATELY BRING SUCH ITEMS TO THE ATTENT

SEED NOTES

ALL SEED MIXES TO MATCH OVERALL MASTER DEVELOPMENT

	LBS./1,000 SF
WOOD FIBER MULCH	46
15-15-15 ORGANIC FERTILIZER	9
ORGANIC BINDER	4

- ALL SEED APPLICATIONS SHALL BE DRILL SEEDED, WITH HYDROSLURRY APPLIED OVER THE SEED BED AFTER SEEDING. THE SLURRY MIX SHALL CONTAIN THE FOLLOWING:

NINE MILE CORNER - LOTS 1 & 3

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN - SP-001117-2019



Lowe's - Erie, Colorado
Perspectives & Elevations

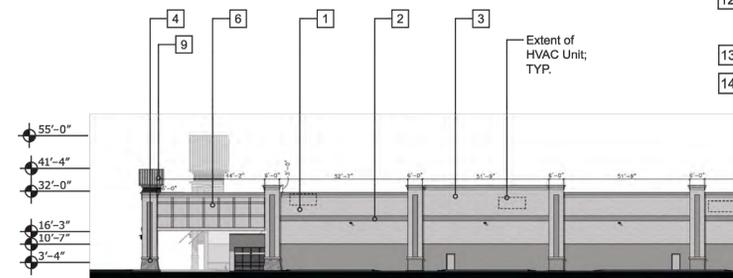
ALL SIGNS SHOWN ON ELEVATIONS ARE CONCEPTUAL AND WILL BE REVIEWED AT THE SIGN PERMIT PHASE.

Material Key

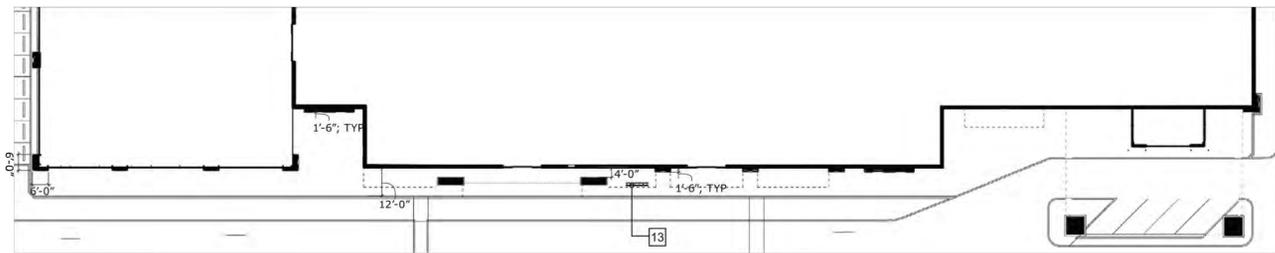
- | | | | |
|---|--|--|----|
| 1 | CMU - Splitface - To Match SW 7036 "Accessible Beige" | | 6 |
| 2 | CMU - Smoothface - To Match SW 7513 "Sanderling" | | 7 |
| 3 | Cornice - To Match SW 7036 "Accessible Beige" | | 8 |
| 4 | Environmental Stoneworks - "Nantucket Cobble LedgeStone" | | 9 |
| 5 | EIFS - To Match Lowe's Blue | | 10 |



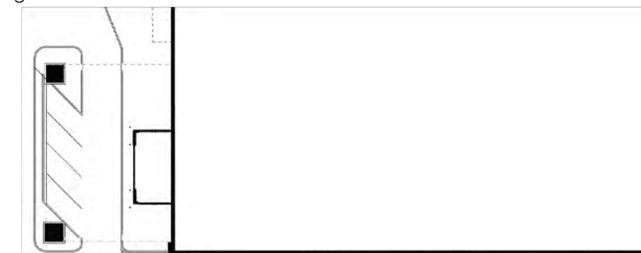
Front Elevation



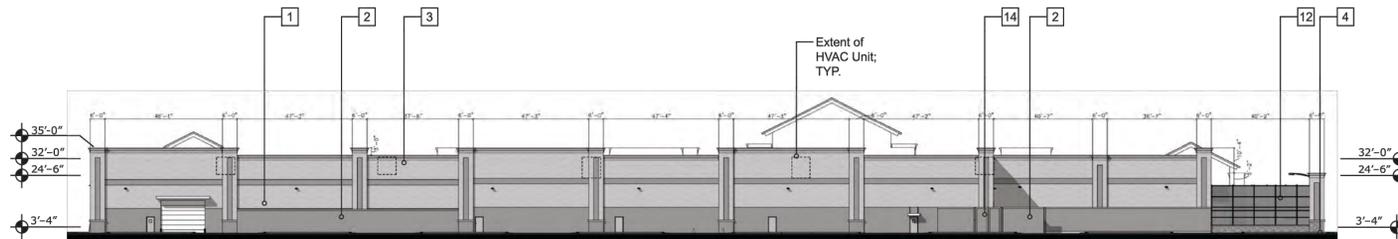
Right Elevation



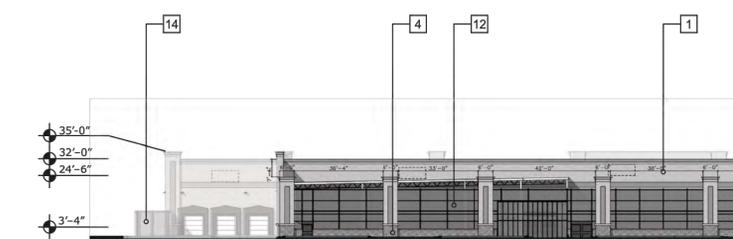
Front Apron Plan



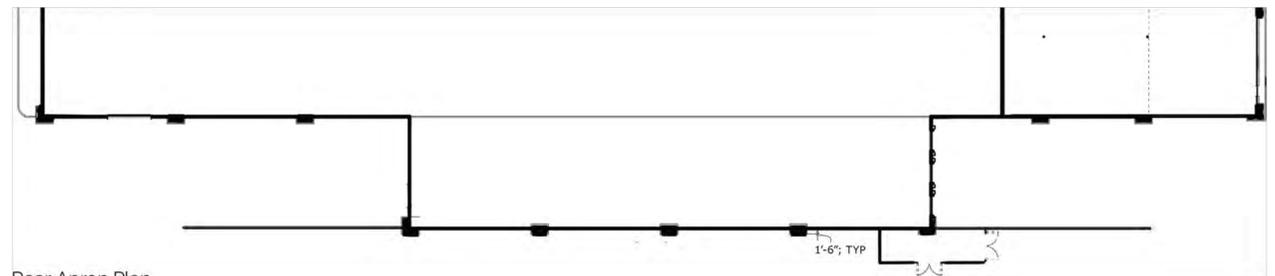
Right Apron Plan



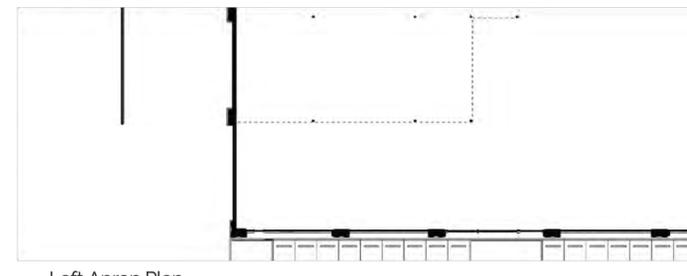
Rear Elevation



Left Elevation



Rear Apron Plan



Left Apron Plan

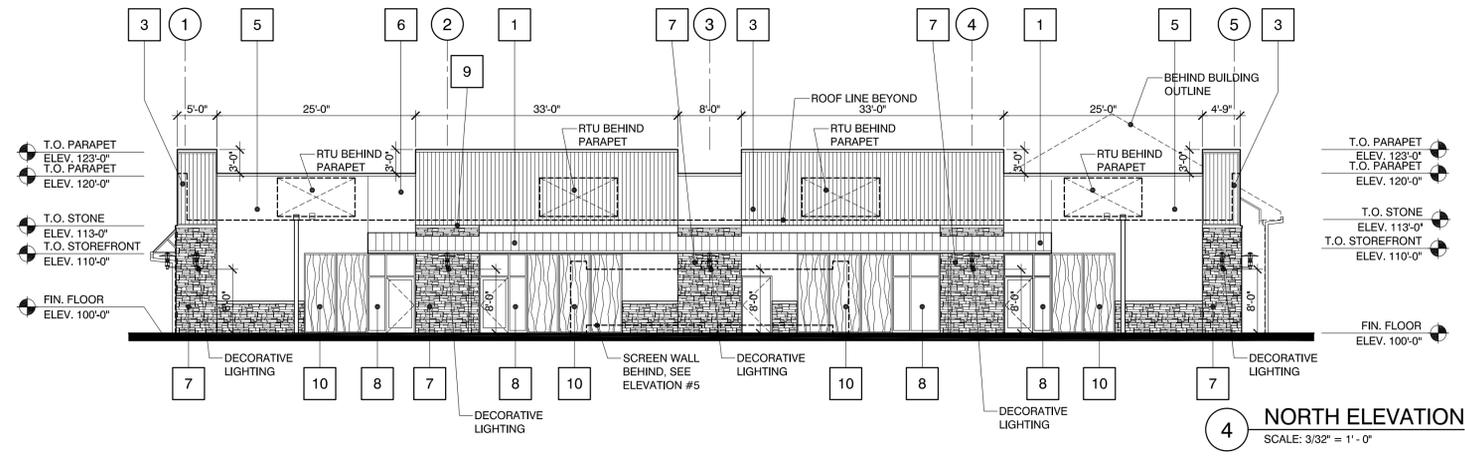


NINE MILE CORNER - LOTS 1 & 3

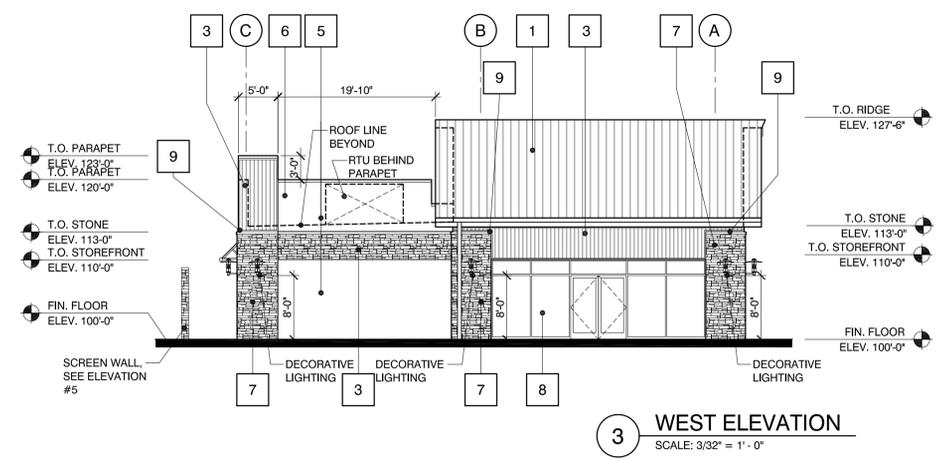
A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN - SP-001117-2019

REVISIONS	
DATE	DESCRIPTION
1/28/2020	3RD SITE PLAN SUB
2/14/2020	4TH SITE PLAN SUB

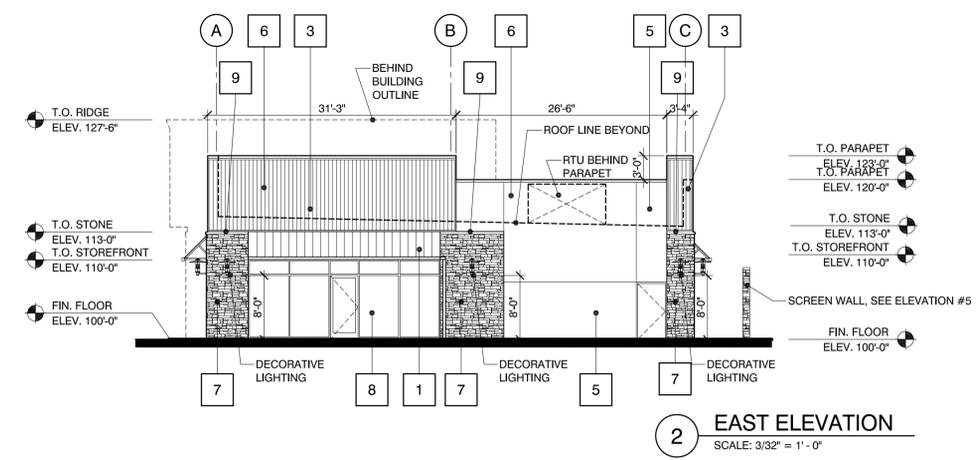
THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREON ARE INTENDED TO DEMONSTRATE HOW ALL HVAC AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED ACCORDING TO TOWN OF ERIE, UNIFIED DEVELOPMENT CODE REQUIREMENTS. IT IS THE APPLICATIONS RESPONSIBILITY TO ENSURE THAT THIS APPROVED SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS, REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES, OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE APPROVED SCREENING MAY RESULT IN DELAY OF FINAL INSPECTIONS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



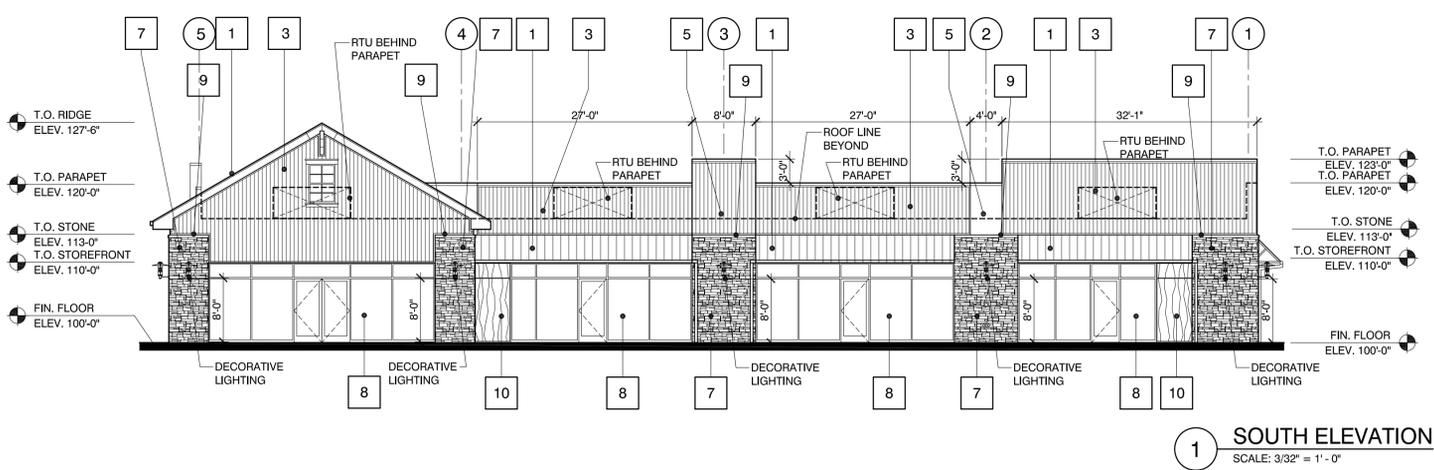
4 NORTH ELEVATION
SCALE: 3/32" = 1' - 0"



3 WEST ELEVATION
SCALE: 3/32" = 1' - 0"



2 EAST ELEVATION
SCALE: 3/32" = 1' - 0"



1 SOUTH ELEVATION
SCALE: 3/32" = 1' - 0"

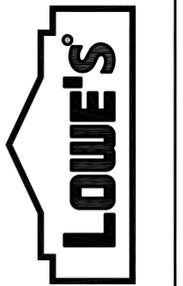
EXTERIOR FINISH SCHEDULE	
	MATERIAL
1	METAL PANEL: BERRIDGE KYNAR 500 "CITYSCAPE"
2	METAL PANEL: BERRIDGE KYNAR 500 "COPPER-COTE"
3	FIBER CEMENT BOARD: HARDIE PLANK LAP SIDING "MOUNTAIN SAGE"
4	FIBER CEMENT BOARD: HARDIE PLANK LAP SIDING "BOOTHBAY BLUE"
5	EIFS: SHERWIN WILLIAMS, SW 7036, "ACCESSIBLE BEIGE"
6	PAINT: SHERWIN WILLIAMS, SW 7018, "DOVETAIL"
7	CULTURED STONE PRO-FIT LEDGESTONE GRAY
8	STOREFRONT: MEDIUM BRONZE ANODIZED ALUMINUM
9	PRECAST CONCRETE NATURAL GRAY CAP
10	DECORATIVE METAL PERFORATED PANEL
11	BASALITE SPLIT FACE CMU BLOCK "600R"
12	PAINT: SHERWIN WILLIAMS, SW 7068, "GRIZZLE GRAY"

BUILDING LIGHTING: WALL MOUNTED SLD SLIDE WITH FLAT TOP / SLOPED SHADE IN PLATINUM SILVER FINISH. GRANVILLE BY BEACON ARM IN PLATINUM SILVER FINISH.
ENTRANCE SOFFITS: WOODTONE "MOUNTAIN CEDAR" ON HARDIE
TRASH ENCLOSURE: BASALITE SPLIT FACE CMU BLOCK 600R
12" PILASTER DEPTH TYPICAL.



LOWE'S HOME CENTERS, LLC
1000 Lowe's Boulevard
Mooresville, NC 28117
704.758.1000 (V)

THIS DRAWING IS THE PROPERTY OF LOWE'S HOME CENTERS, LLC. ANY USE OR REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED WITHOUT THE EXPRESS WRITTEN CONSENT OF LOWE'S HOME CENTERS, LLC. COPYRIGHT 2013. ALL RIGHTS RESERVED.



RETAIL BUILDING A
ELEVATIONS
LOWE'S OF:
ERIE, COLORADO

CRITERIA	10.11.19
ISSUE DATE:	
PERMIT SET	
ISSUE DATE:	
CONSTRUCTION SET	
ISSUE DATE:	

DRAWING NUMBER:
18
OF 20

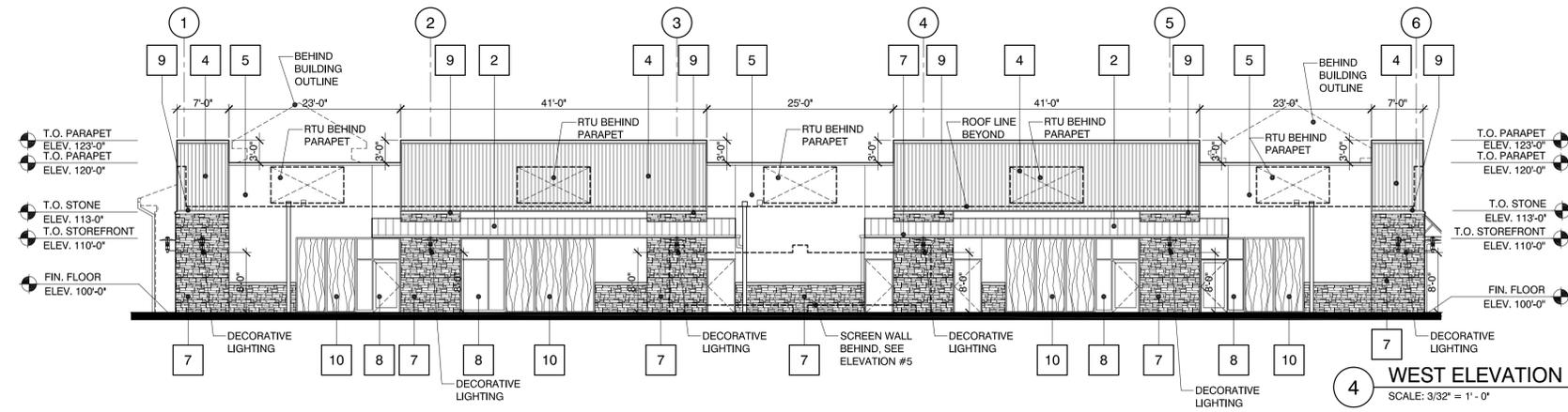
CHECKED BY:
DRAWN BY:
PROJECT No: ED000018.20

NINE MILE CORNER - LOTS 1 & 3

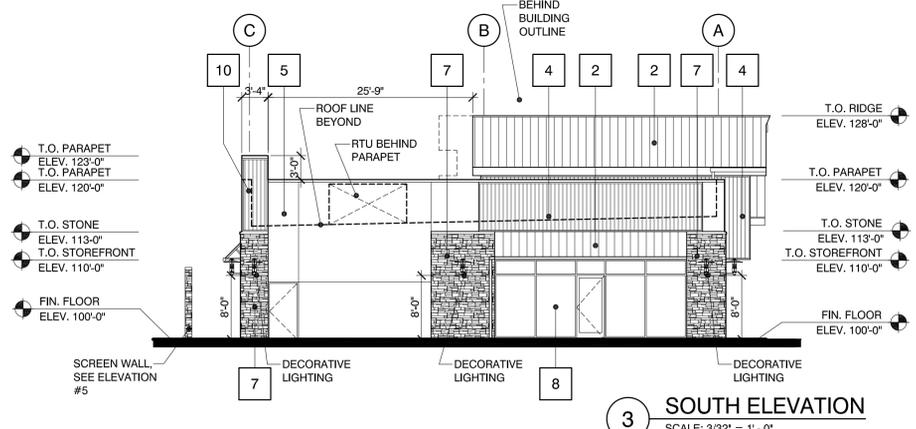
A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN - SP-001117-2019

REVISIONS		
DATE	ISSUE DATE	DESCRIPTION
1/28/2020		PRE-BID SET
2/14/2020		POST-BID SET
		3RD SITE PLAN SUB
		4TH SITE PLAN SUB

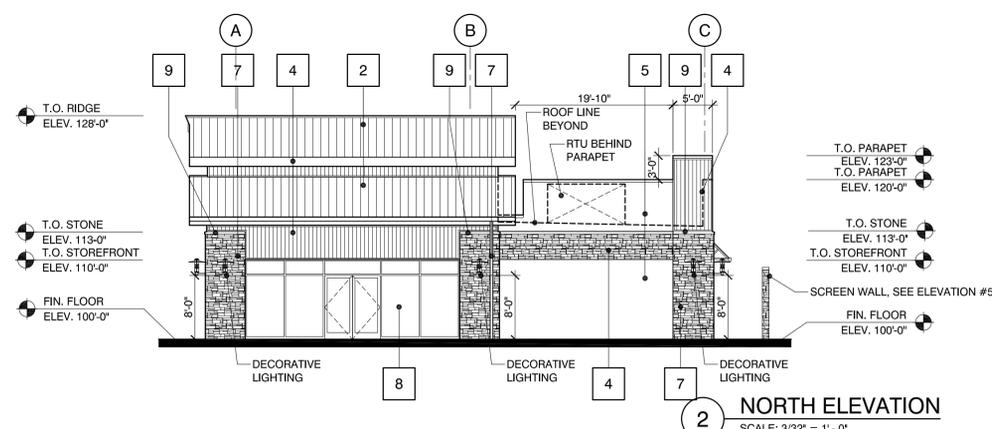
THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREON ARE INTENDED TO DEMONSTRATE HOW ALL HVAC AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED ACCORDING TO TOWN OF ERIE, UNIFIED DEVELOPMENT CODE REQUIREMENTS. IT IS THE APPLICATIONS RESPONSIBILITY TO ENSURE THAT THIS APPROVED SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS, REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES, OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE APPROVED SCREENING MAY RESULT IN DELAY OF FINAL INSPECTIONS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



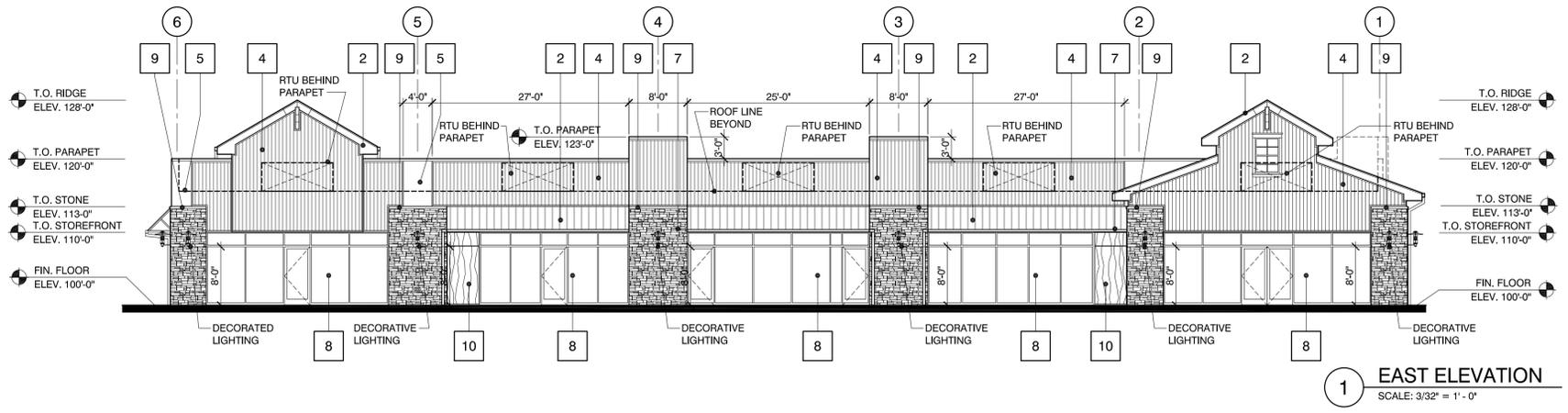
4 WEST ELEVATION
SCALE: 3/32" = 1' - 0"



3 SOUTH ELEVATION
SCALE: 3/32" = 1' - 0"



2 NORTH ELEVATION
SCALE: 3/32" = 1' - 0"



1 EAST ELEVATION
SCALE: 3/32" = 1' - 0"

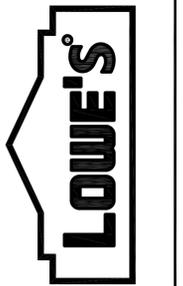
EXTERIOR FINISH SCHEDULE	
	MATERIAL
1	METAL PANEL: BERRIDGE KYNAR 500 "CITYSCAPE"
2	METAL PANEL: BERRIDGE KYNAR 500 "COPPER-COTE"
3	FIBER CEMENT BOARD: HARDIE PLANK LAP SIDING "MOUNTAIN SAGE"
4	FIBER CEMENT BOARD: HARDIE PLANK LAP SIDING "BOOTHBAY BLUE"
5	EIFS: SHERWIN WILLIAMS, SW 7036, "ACCESSIBLE BEIGE"
6	PAINT: SHERWIN WILLIAMS, SW 7018, "DOVETAIL"
7	CULTURED STONE PRO-FIT LEDGESTONE GRAY
8	STOREFRONT: MEDIUM BRONZE ANODIZED ALUMINUM
9	PRECAST CONCRETE NATURAL GRAY CAP
10	DECORATIVE METAL PERFORATED PANEL
11	BASALITE SPLIT FACE CMU BLOCK "600R"
12	PAINT: SHERWIN WILLIAMS, SW 7068, "GRIZZLE GRAY"

BUILDING LIGHTING: WALL MOUNTED SLD SLIDE WITH FLAT TOP / SLOPED SHADE IN PLATINUM SILVER FINISH. GRANVILLE BY BEACON ARM IN PLATINUM SILVER FINISH.
ENTRANCE SOFFITS: WOODTONE "MOUNTAIN CEDAR" ON HARDIE
TRASH ENCLOSURE: BASALITE SPLIT FACE CMU BLOCK 600R
12" PILASTER DEPTH TYPICAL.



LOWE'S HOME CENTERS, LLC
1000 Lowes Boulevard
Mooresville, NC 28117
704.758.1000 (V)

THIS DRAWING IS THE PROPERTY OF LOWE'S HOME CENTERS, LLC. ANY USE OR REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED WITHOUT THE EXPRESS WRITTEN CONSENT OF LOWE'S HOME CENTERS, LLC. COPYRIGHT 2013. ALL RIGHTS RESERVED.



RETAIL BUILDING B
ELEVATIONS
LOWE'S OF:
ERIE, COLORADO

CRITERIA	10.11.19
ISSUE DATE:	
PERMIT SET	
ISSUE DATE:	
CONSTRUCTION SET	
ISSUE DATE:	
DRAWING NUMBER:	19

NINE MILE CORNER - LOTS 1 & 3

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN - SP-001117-2019

REVISIONS	
DATE	DESCRIPTION
1/28/2020	3RD SITE PLAN SUB
2/14/2020	4TH SITE PLAN SUB

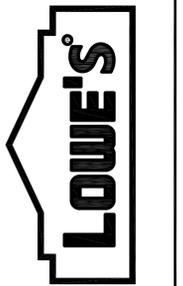
THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREON ARE INTENDED TO DEMONSTRATE HOW ALL HVAC AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED ACCORDING TO TOWN OF ERIE, UNIFIED DEVELOPMENT CODE REQUIREMENTS. IT IS THE APPLICATIONS RESPONSIBILITY TO ENSURE THAT THIS APPROVED SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS, REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES, OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE APPROVED SCREENING MAY RESULT IN DELAY OF FINAL INSPECTIONS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

EXTERIOR FINISH SCHEDULE	
	MATERIAL
1	METAL PANEL: BERRIDGE KYNAR 500 "CITYSCAPE"
2	METAL PANEL: BERRIDGE KYNAR 500 "COPPER-COTE"
3	FIBER CEMENT BOARD: HARDIE PLANK LAP SIDING "MOUNTAIN SAGE"
4	FIBER CEMENT BOARD: HARDIE PLANK LAP SIDING "BOOTHBAY BLUE"
5	EIFS: SHERWIN WILLIAMS, SW 7036, "ACCESSIBLE BEIGE"
6	PAINT: SHERWIN WILLIAMS, SW 7018, "DOVETAIL"
7	CULTURED STONE PRO-FIT LEDGESTONE GRAY
8	STOREFRONT: MEDIUM BRONZE ANODIZED ALUMINUM
9	PRECAST CONCRETE NATURAL GRAY CAP
10	DECORATIVE METAL PERFORATED PANEL
11	BASALITE SPLIT FACE CMU BLOCK "600R"
12	PAINT: SHERWIN WILLIAMS, SW 7068, "GRIZZLE GRAY"



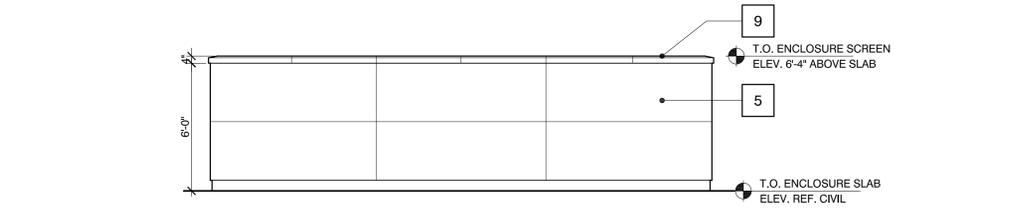
LOWE'S HOME CENTERS, LLC
1000 Lowes Boulevard
Mooresville, NC 28117
704.758.1000 (V)

THIS DRAWING IS THE PROPERTY OF LOWE'S HOME CENTERS, LLC. ANY USE OR REPRODUCTION IN WHOLE OR PART IS PROHIBITED WITHOUT THE EXPRESS WRITTEN CONSENT OF LOWE'S HOME CENTERS, LLC. COPYRIGHT 2013. ALL RIGHTS RESERVED.

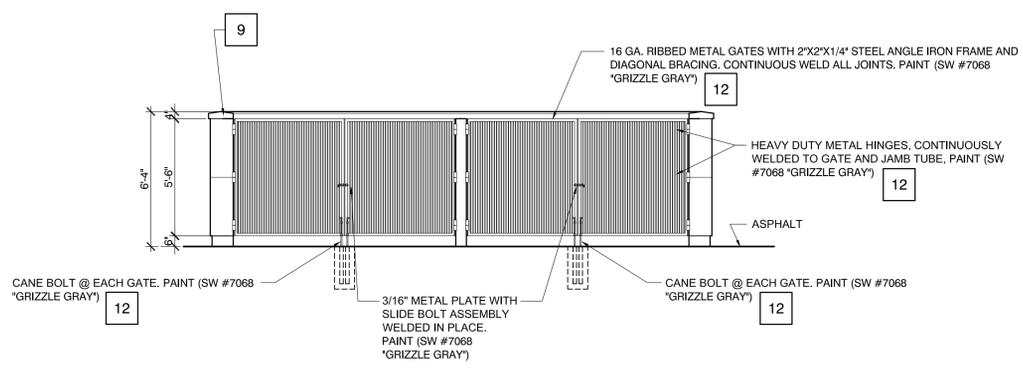


LOWE'S OF:
ERIE, COLORADO

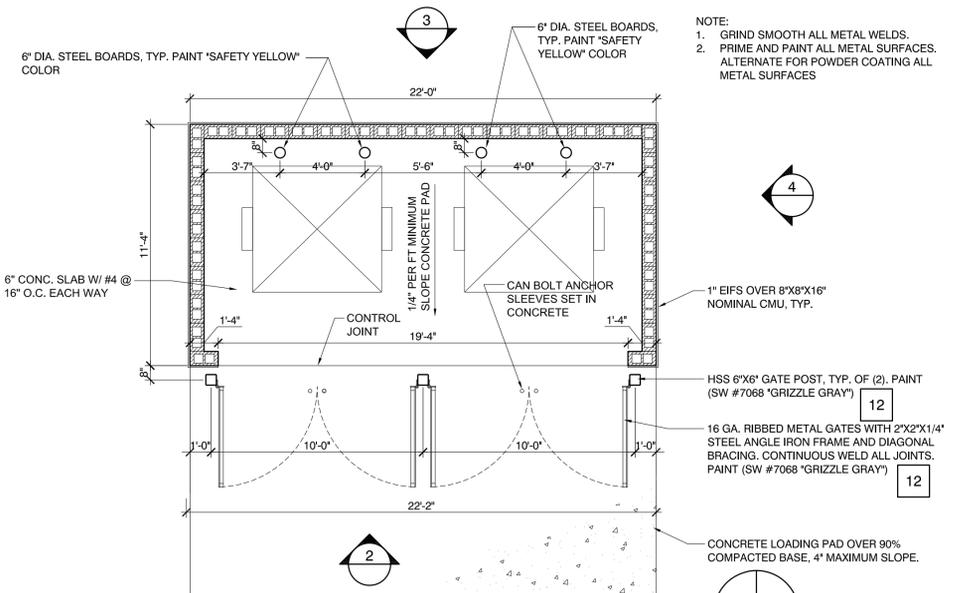
CRITERIA	10.11.19
ISSUE DATE:	
PERMIT SET	
ISSUE DATE:	
CONSTRUCTION SET	
ISSUE DATE:	
DRAWING NUMBER:	20



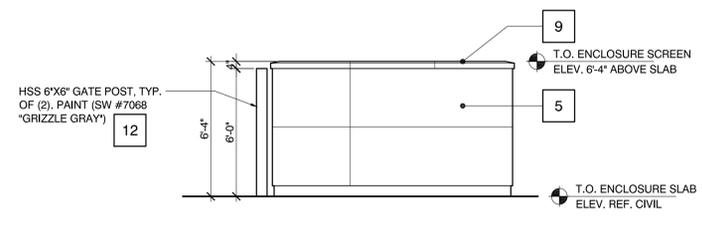
3 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1' - 0"



2 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1' - 0"



1 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1' - 0"



4 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1' - 0"

- NOTE:
- GRIND SMOOTH ALL METAL WELDS.
 - PRIME AND PAINT ALL METAL SURFACES. ALTERNATE FOR POWDER COATING ALL METAL SURFACES

PROJECT No: ED000018-20 | DRAWN BY: | CHECKED BY: