



## North Westerly - PD 1<sup>st</sup> Review

### Planning & Development

To: Southern Land Company  
From: Aly Burkhalter, Planner  
Date: April 3, 2024  
Re: PD-001700-2024 North Westerly - PD  
cc: Kelly Driscoll, David Pasic, Jonathan Williams, Miguel Aguilar, Luke Bolinger, Kathy Kron, David Frank

#### Development Review Team & Referral Comments

Town staff has reviewed the applications for the North Westerly - PD for conformance with Municipal Code, Title 10 and all relevant Town policy, standards, and specifications. A list of the Town staff that have commented and referral agencies that have responded are listed below. Referral comments received by the Town after the date of this memo shall be forwarded on to the applicant. We acknowledge there are still on-going discussions regarding parks and open space requirements and street sections that may not be captured in these comments and be the source of future comments requiring substantial changes.

The next step for the application is revision and resubmittal for another referral and Development Review Team review. Please make the appropriate revisions to the application materials and provide written response to address each written comment from the Town staff and referral agencies.

All resubmittals shall be sent to the Planning Division electronically. To request an upload link, please submit your request to [planningapplication@erieco.gov](mailto:planningapplication@erieco.gov). Please contact the Planning Technician at 303-926-2770 if you have any questions. Applications will not be accepted for review unless all information is submitted.

1. The following agencies provided comments that require a response. One Digital Copy of written response and all resubmittal documents will be distributed to the following referral agencies:
  - a. Town of Erie - (Planning, Engineering, Stormwater, Parks, Economic Development, Energy & Environmental Specialist, Transportation, Affordable Housing
  - b. Merrick & Company
  - c. Colorado Geologic Survey
  - d. United Power Company
  - e. Vranesh and Raisch, LLP
  - f. Northern Colo. Water Conservancy Dist.
  - g. Weld County
2. The following agencies provided comments that do not require a response:
  - a. Black Hills Energy
  - b. Western Midstream
  - c. Ehrhart Land Surveying, LLC
  - d. Mile High Flood District
  - e. RTD
3. The following agencies did not provide any comments:
  - a. Town of Erie - GIS, Police Department, Town Attorney, Affordable Housing

- b. Fox Tuttle *(include in future referral)*
- c. Mountain View Fire Protection District *(include in future referral)*
- d. St. Vrain Valley Schools *(include in future referral)*
- e. Bureau of Reclamation
- f. CDOT
- g. Comcast - Residential & Commercial
- h. Boulder & Weld County Ditch Company
- i. St. Vrain Sanitation District
- j. State Historic Preservation Officer
- k. Colliers Hill HOA

## Planning Comments

These comments are organized by submittal requirement.

**#1 Land Use Application** - No Comment. Remove duplicate files submitted: *North Westerly PD Application 2.15.24.pdf* and *PD - North Westerly - Land Application 2.5.24.pdf*

**#2 Application Fee** - No Comment.

**#3 Proof of Ownership** - No Comment

**#4 Letter of Authorization** - No Comment

**#5 Special Agreements** - No Comment

### **#6 Written Narrative (Sheet 2 & 3 of PD Zoning document)**

1. The written narrative is located on pages 2&3 of the PD Zoning Document. Please remove it from the PD Zoning document and provide it as a separate document.
2. Under A-General Project Concept And Purpose Of The Request, "Erie" Gateway is misspelled with no "i"
3. Under A-General Project Concept And Purpose Of The Request, it states "accessory dwelling units" but this is not accounted for in the Home Diversity Plan. Please update the PD document to reflect the inclusion of ADUs.
4. Under "3. The PD zone district is not a general waiver of the UDC regulations. PD zone districts are to be based on one or more of the following attributes that could not otherwise be achieved through other standard zone districts", please list only the attributes you are achieving and how you are meeting the individual attribute. This PD is not achieving "retention of historic structures and sites".
5. Under E. Adequate And Sufficient Public Safety, Utility Facilities And Services, please respond in a manner consistent with what you are currently proposing not stating future conformance. This text may be similar to the Impact Report text.

### **#7 ALTA Survey**

The following items are regarding future easements which are not recorded with the PD zoning. Town staff would like to ensure that the necessity of future easements are accounted for in the development plan shown with the PD.

6. Town staff is concerned about irrigation structures outside of easement. How will this be addressed?
7. Town staff is concerned about overhead transmission lines "without the benefit of recorded easements" along Weld County Rd 10. How will this be addressed? Are these utilities planned to underground
8. Town staff is concerned about High school gravel access road without a recorded easement. How will this be addressed? Will there be a dedicated easement in the future to provide access.

## **#8 PD Zoning Map and Development Guide**

See attached redlined. All redlines have been capture below for written responses.

9. Please provide a Land Use Summary Chart on the Cover Sheet or Concept Plan as described in the PD User Guide This is in addition to the Housing Diversity Percentages provided on Sheet 6.
10. All Sheets: Project number under title block is PD-001700-2024.
11. All Sheets: Please replace all mention of Board of Trustees with Town Council.
12. Overall comment: there is no clear correlation between UDC land uses and zoning and what is proposed in the PD. It is unclear what commercial uses are allowed. It is unclear what uses are allowed within community amenity. It is unclear if front loaded duplex or townhomes would be allowed.
13. All Sheets: Land Use (and Lot Type) colors that depict a built environment shall not be shades of green. Green shall be reserved for parks and open space uses.
14. Overall comment: please provide more detail regarding the 10.6 ac Community Amenity in regards to land uses, design standards, and intent.

## **#9a Concept Plan (Sheet 5)**

15. The Concept Plan should depict Land Uses as listed in Chapter 3 of the Unified Development Code. Land Use categories can be general such as Residential, Commercial, or Mixed Use, or specific such Dwelling, Single Family Detached or Bank. Staff recommends general land use categories to prevent the need for PD amendments as future development may request different lot types. If proposing a new land use, the PD must define the land use. Lot Types may be used on the Home Diversity Plan.
16. On the legend, please include parks and open space colors for legend. See comment #13 above regarding use of green for lot type legend.
17. On concept plan, a Pocket Park is shown adjacent CR5 on Park Plan. Please coordinate what is being proposed between pocket park shape on Park Plan and linework of detention pond on Concept Plan.
18. On concept plan, please remove linework from Neighborhood Park, unless proposing something here or showing mine shaft. If so, please label.
19. On concept plan, the open space (effluent wet pond detention/irrigation) is shown as a Pocket Park on the Park Plan not Open Space. See Engineering comment that this cannot be both effluent and irrigation.
20. On concept plan, please show trails on concept plan as a thick legible line. Line may be dashed. Please include it in the legend.

21. On concept plan, color entire lot/block land use color rather than individual buildings. The lot/block is the land use.
22. On concept plan, remove Pocket Park green color from between commercial block or show lot lines delineating park from commercial lot.
23. On concept plan, boundary needs to match boundary shown on Zone Map (sheet 4).
24. The Dimensional Standards Summary Table shall be provided on its own separate sheet from the Concept Plan. It shall include dimensional standards for commercial, mixed use, or community amenity. See additional comments below under #9c Building form/Characteristics Plan.
25. Please provide Parking Requirements as a separate table from dimensional standards. If Parking Requirements do not vary from UDC *per land use*, please remove altogether. See additional comments below under #9c Building form/Characteristics Plan.
26. On dimensional standards, staff is unsure if the minimum lot area for townhome and live-work is reasonable. Please provide as a separate exhibit a lot typical of the Townhome and Live Work with a 700sf lot area. Staff recommends increasing to minimum 1000sf lot area.
27. On dimensional standards, please state Multi-Family minimum lot area is 1000 sf "per DU".
28. Remove footnote 1, 2, and 4 of Dimensional Standards Table as it is consistent with the UDC and the PD is not proposing a variation from the UDC.
29. Regarding footnote 3 of the Dimensional Standards Table, the allowable 2-ft encroachment for "above grade features" is unclear if it just ornamental features or would allow patios, decks, balconies. Please refer to UDC 10-4-2. If you are not varying from the exceptions in this section, please remove it from the PD.
30. Regarding footnote 5 of the Dimensional Standards Table, it states that it may encroach up to 6-ft into the rear setback but the rear setback is 5-ft. Please modify allowable encroachment to a number less than the minimum rear setback. Please clarify that it is the deck surface that is 30-inches above grade.
31. Remove "utility" just "easements" for footnote 6 of the Dimensional Standards Table

#### **#9b Home Diversity Plan (Sheet 6)**

32. Please remove "market rate" language as the Pre-DA requires inclusion of affordable housing. May use term such as "standard" or "unrestricted" residential to indicate that is separate from the age-restricted residential.
33. Please indicated how the Higher Density Housing requirement of the Pre-DA is being met
34. Remove Commercial & Mixed Use as it is not relevant to the Home Diversity Plan. It shall be included as part of the Land Use Summary Chart.
35. Per the written narrative comments, please include ADUs on the Home Diversity Plan if they are being proposed.

#### **#9c Building Form/Characteristics Plans (Sheet 7-11)**

36. Per the user guide, provide a table/matrix of housing types, a representable graphic, and brief description. Provide Typical Building floor plans or lot layouts and architectural elevations or renderings.

37. Overall Sheets 7-11 are unclear in their organization. The outline of the sections is inconsistent and hard to track. (e.g section 1.A.I.A. under single family detached versus 1.a.i.(A)(1) under single family detached). Section (C) Townhomes is unclear by its indent if it is under b. Building Orientation ii. Design Standards. Because of indenting and the outline, it is hard to tell what applies to duplexes or both duplex and townhomes.
38. There is mixing of the terms Multi-Family, Mixed-Use, and Commercial when the title of the page may say otherwise.
  - a. Sheet 7 shall be labeled "Single Family Detached Development Standards" and fit exclusively all single-family detached standards on that sheet.
  - b. Sheet 8 shall be labeled "Single Family Attached Development Standards" and fit exclusively all single-family attached standards on that sheet.
  - c. Sheet 9 shall be labeled "Multi-Family Development Standards".
  - d. Sheet 10-11 shall be labeled "Commercial Development Standards".
39. Please add a section for Community Amenity as it is a use on the concept plan.
40. Overall, it is unclear if live/work is "mixed-use" and under what section of standards would it apply. Please clarify.
41. Overall, it does not appear there are large mixed-use buildings in the Concept Plan the Multi-Family Development Standards section would apply to but the section frequently refers to "mixed-use". If the intent is for Multi-Family as indicated on the Concept Plan is allowed ground floor retail and may be mixed use, please indicate that in the land use labels and development standards.
42. Overall, parking requirements should be consistently located. Some parking requirements are listed on the dimensional standards table on Sheet 5 and should be removed. Some parking requirements are listed under the development standards by use/lot type. Either located parking requirements under development standards by use/lot type or make a single parking requirement sheet.
43. [Sheet 7] Regarding item #1 under enhanced elevations, windows of "sufficient size" is not enforceable. Please provide a minimum area of the window. Town standards dictate a minimum of 8sf of glass area.
44. [Sheet 8] Under Single Family Attached Architectural Standards 1.b.ii.(A)(2), please consistently use the term "garden court" as it what the UDC term is. UDC states "Each residential lot shall be provided with lot frontage on a street, garden court, or pocket park". Please use similar language.
45. [Sheet 8] Under Single Family Attached Architectural Standards 1.c.ii.(D), please revise roof slope is 6:12 not 16:12.
46. [Sheet 8] Under Single Family Attached Architectural Standards 1.c.ii.(C) "the maximum length of any townhome building shall be 156 feet." needs to be moved to the section with the maximum number of dwelling units in a townhome building as these are similar standards that would need to be reviewed together.
47. [Sheet 8] Under e. Materials, it references "Multi-Family" repeated. It is unclear if Multi-Family is a typo that needs removed, or if this section is incorrectly located.
48. [Sheet 8] Under A. General Multi-Family Standards, move "Exterior Building Lighting" item to Lighting Standards with Overall Photometric Plan on Sheet 15. Please coordinate all lighting standards with Overall Photometric Plan (sheet 15) so that lighting standards are consistently in one location.

49. [Sheet 8-g] replace "PUD" with "PD" and "UDO" with "UDC"
50. [Sheet 8] Under B. Mixed Use Site Standards, remove "setbacks and building separations shall be measured from the street right-of-way or property lot line". This is not a variation from the UDC and would be a footnote with the dimensional standards section if so.
51. [Sheet 8] Under B. Mixed Use Site Standards, remove "see community design planned unit development standards for landscape requirements within front, side and rear setback areas" unless adding a landscape requirement section to the PD.
52. [Sheet 9] Under 1. Building Mass, d. list of items should be under c. which indicates a list of items to choose from
53. [Sheet 9] under A. Commercial Standards "it is the intent of this section that the following qualitative and quantitative standards serve as general guidelines in the review of site plans and building elevations. It is not expected that every development will meet all of the following standards, but that the principles of good design be applied in the best combination determined by the use, nature of the site, and location of the development. Commercial buildings and streetscape design shall activate public right-of-ways to the maximum extent possible." This statement makes the entire section un-enforceable. Please remove.
54. [Sheet 9] Under B. Commercial Site Standards, remove "setbacks and building separations shall be measured from the street right-of-way or property lot line". This is not a variation from the UDC and would be with the dimensional standards section if so.
55. [Sheet 9] Under B. Commercial Site Standards, remove "commercial landscape standards should be referenced for landscape requirements and allowed features within setback areas" unless adding a landscape requirement section to the PD. If proposing landscape standards, they should be under separate landscape standard section. See Sheet 16 regarding landscaping comments.
56. [Sheet 9] Under B. Commercial Site Standards, remove "internal connectivity will be determined at time of final pd, but should promote pedestrian connections to major trails/open space corridors and the surrounding communities". This does create an enforceable statement. There should not be references to "final PD". This may reference the parks, open, space, and trails plan, if applicable.
57. [Sheet 9] Under B. Commercial Site Standards, move item 4 list of allowable encroachments to the dimensional standards table footnotes.
58. [Sheet 9/10] Under 5. Parking Lots, remove item c paving materials statement as it is not a variation from the UDC
59. [Sheet 10] under C. Commercial Architecture Standards, please remove "wall-mounted signage shall also be on the building faces adjacent to the right-of-way" unless you provide a full sign standard section.
60. [Sheet 10] under C. Commercial Architecture Standards item 1.c, define "main street".
61. [Sheet 10] under C. Commercial Architecture Standards item 1.c, Describe what four-sided architecture means.
62. [Sheet 10] under C. Commercial Architecture Standards item 1.c, provide separate Drive Through standard section.
63. [Sheet 10] "third-story step back is not required" should be remove or make separate requirement. This is not appropriately located.
64. [Sheet 10] Table 1 move to the dimensional standard section.

65. [Sheet 10] Table 1 - Please provide more information regarding the minimum open space requirements. Open Space Requirements should be part of Parks and Open Space section (sheet 16) if creating additional standards for commercial development to provide dedicated open space. If this is a requirement for non-dedicated land, please refer to it as "private open space" or "private landscape area"
66. [Sheet 11] Examples may be provided but should not be the subject of the PD standard text. Please rewrite this section as guidelines or requirements.

**#9d Illustrative Concept Plans** – not provided. No response required.

**#9e Utility Concept Plan (Sheet 12)** – see Engineering (Merrick) comments

67. Depict locations of existing overhead electric lines (along WCR 10) and electric distribution per the ALTA

**# 9f Undermining Plan (Sheet 13)** – see CGS comments. Please follow the direction provided by Colorado Geologic Survey regarding geotechnical considerations and mine subsidence as these present potentially significant impacts which could alter development

68. Please show mine shaft, as well as are known, on this sheet and all sheets.
69. Staff is concerned about the undermining impacting the developability of the larger multi-family buildings in Phase 1.

**#9g Oil/gas plan (Sheet 13)** - Thank you for depicting both best (50'x100') and worst (150') case scenario setbacks. We look forward to reviewing the plugging and abandonment report(s).

70. Please remove the separate Oil and Gas exhibit as it is duplicative of Sheet 13 of the PD zone map and guide document
71. Please note "to be reduced by recording of Final Plat" to oil & gas setback to lot line. Indicate that lots proposed will not be in violation of setbacks at Final Plat recording.

**#9h Parking, Loading, and vehicular and pedestrian circulation** – separate sheet not provided.

72. Please provide two separate sheets for Circulation Plan and Streetscape Plan. Provide a circulation plan that depicts all modes of transportation – vehicular, bicycle, and pedestrian – per UDC 10-6-5.D.2.a. Trails as depicted on Sheet 16 Parks - Open Space and Landscape Character should be repeated on the Circulation Plan. Please relabel the Circulation Plan provided as the Streetscape Plan to remain in conjunction with the Road Sections. Streetscape Plan and Road Section comments below.
73. At first submittal, parking was adequately depicted on the Concept Plan to indicate that sufficient parking may be provided per land use. See above comment #25 regarding providing parking requirements throughout the development standards or in one consolidated section.
74. EV Parking as required through the Pre-DA was not mentioned. Please provide in the same location as other parking standards the following statement: "Electric Vehicle

charging shall be provided per building code with the additional minimum standards as follows. The Development shall include a minimum of 3 publicly accessible Level 3 Electric Vehicle ("EV") charging stations in convenient locations, as approved by the Town. In addition, at least 2% of the total parking spaces for multifamily units in the Development shall be EV charging spaces, and an additional 5% of the total parking spaces for multifamily units shall be EV charging-ready spaces."

### **#gi Signage Plan (Sheet 15)**

75. Please provide characteristics for monument signs such as height, maximum gross surface area, and material if specified and deviating from UDC 10-6-12.
76. The PD only addresses monument signs. Please confirm UDC 10-6-12 will apply to all other signs. Are separate sign standards necessary for Live-Work units?

### **#gj Overall Photometric Plan (Sheet 15)**

77. Please provide design characteristics such as height or other characteristics if deviating from UDC 10-6-10. Please consolidate lighting standards to a single section. They should not be in the Commercial Development Standards and this section. The concepts and themes provided on Sheet 15 are not enforceable and may provide conflict with the code. For example, "Only be on when needed" should be tied to a time period such as turned off from 10pm to 6am or "All outdoor light not necessary for security purposes shall be reduced, activated by motion sensor detectors, or turned off during non-operating hours." This may be labeled as an "intent" statement but they need to be correlated to enforceable standards.
78. Establish fixture styles

**#gk Parks and Open Space Plan (Sheet 16)** – Note: at the time of first review, the Town was still in conversation with the applicant regarding the Town's new Mixed Use Vision Guide which provides opportunities for alternative park standards to that which is already adopted in the Town code and standards. Town staff reserve the right to provide further comment(s) and request additional information at a later date.

79. Please separate the Landscape concept from the Parks and Open Space Plan. Provide a Parks and Open Space concept narrative describing how the PD meets the UDC, Town Standards and Specifications, and Mixed Use Vision Guide Requirements.
80. Please show detention ponds on Parks Plan as indicated on Concept Plan. Pond B and Pond E as indicated on Sheet 12: Utility Concept Plan are indicated as pocket parks on Sheet 16: Parks and Open Space Plan. Please describe in the concept narrative how drainage ponds will be utilized as parks and in compliance with UDC 10-6-3.B.4.b.ii. *Usability*: "At least 75 percent of the dedicated land required by this section shall be well-drained, level, and suitable for playing fields and recreational facilities" and UDC 10-6-4.E.6.f: "Credit towards minimum park or open space requirements may be available for portions of detention ponds that are outside the area required to store water quality volume, provided they are designed according to sections [10-6-4](#) E.6.a and b, and are useable by residents as parks or open space. To be eligible for this credit, detention basins shall not be more than an average of

three feet deep and shall also meet at least one of the use definitions of parks and open space. Average depth shall be measured from existing grade”.

81. All trails shall be at least 10-ft wide per the Pre-DA.
82. Please include Community Gardens in the Parks and Open Space Plan and compliance with item #10 of the Pre-Development Agreement.  
 “The Development shall provide community gardens, edible landscaping, or on-site urban agriculture accessible to all residents of the Development, to be served by potable water. Edible landscaping is the practice of fully integrating a variety of edible plants into ornamental landscapes. Community gardens shall not count toward pocket park requirements and shall not be owned or maintained by the Town.”
83. Please note the “Water Tank Land” *may* count as park space per the Pre-DA
84. Please indicate the significant [at-grade] road crossings and underpasses per the Pre-DA at Erie Parkway, CR5, and CR7 to neighboring communities, in particular Westerly, Colliers Hill and Gateway.
85. Please designate types of parks per the UDC, Town standards or Mixed Use Vision Guide designations of 100% / 40% / 10% credit open space. “Open space in easements” shall be labeled as *private* open space if seeking no credit or as *dedicated* open space with percentage if seeking credit. Parks and Open space are separate buckets of requirements. Do not show one total for parks and open space.
86. As indicated above, the Town is still in conversation with the applicant regarding the Town’s new Mixed Use Vision Guide. An example of a table that might indicate Parks and Open Space is shown below. **Numbers are just an example and should be verified.**

Population Generation				
	Lot Type	Persons Per Unit	Anticipated Units	Anticipated Population
Single-Family	Single-Family Alley Single-Family Front Load Live-Work Townhome Townhouse Cottage Paired Villas	2.99 PPU	2,085	6,234.15
Multi-Family	Multi-Family Apartments	2.1 PPU	215	451.5
Total Anticipated Population				6,685.65
Park Requirement				
Park Type	Requirement (AC per 1,000 residents)	Required (AC)	Provided (AC)	Difference (AC)
MU Pocket Park (0.1)	0.5	3.34	0	+0.68
Pocket Park (0.25-2)			4.03	
MU Neighborhood Park (1-7ac)	3	20.05	4.9	-3.36

MU Neighborhood Park (7+ac)			0	
Neighborhood Park			11.8	
Community Park	5	NA - 33.43	N/A - FIL	NA
MU Civic Space (0.1)	NA	NA	1	
<b>Total Park Space</b>		<b>23.39</b>	<b>21.73</b>	<b>-1.66</b>
<b>Open Space Requirement</b>				
Open Space Type	Provided (AC)	% Credit	Credited (AC)	
10% MU Open Space	20	0.1	2	
40% MU Open Space	29.93	0.4	11.972	
100% Open Space	44.99	1	44.99	
<b>Total Open Space</b>	<b>Required (17 Ac/1000 residents)</b>	<b>113.66 Req'd</b>	<b>58.96 Credit</b>	<b>-54.69</b>

**#gl Typical Road Sections & Streetscape Plans (Sheet 14)** - Note: at the time of first review, the Town was still in conversation with the applicant regarding the Town's update street standards and specifications. Town staff reserve the right to provide further comment(s) and request additional information at a later date.

87. Per the PD User Guide, reference specific land use areas where they would be used in relationship with the Streetscape Plan.

88. Please label the classification of each road section.

- a. One-Way-20/43 "Local"
- b. Two-Way Yield-2S-28/51 "Local"
- c. Two-Way-2S-20/Varies "Collector"
- d. Two-Way-2s-40/69 (Commercial) "Local"

89. Per the Pre-DA item 15.d. Other Roadways. "Developer shall provide north/south and east/west minor arterial, neighborhood, and collector streets across the Property, in an orthogonal alignment to the extent possible, as generally depicted on connectivity plan attached hereto as Exhibit C", the major connections as depicted in Exhibit C of the Pre-DA shall be classified as at a minimum collector streets. The major east/west connection from Flora View Drive to Gateway shall be at a minimum a collector classification. Additionally, the commercial designated east/west major connection to Gateway shall be designated a collector.

90. Front loaded homes will not be allowed on Collector streets. Alley will not be allowed direct access onto Collector streets.

91. Road sections should show a commitment to multi-modal circulation. Separated bicycle facilities shall be provided on collector streets and encouraged in the design of local streets.
92. Travel lanes may be reduced. Minimum drive lane width outside striping and shoulder for local street is 8-ft and for collector street is 10-ft. For clarity on the Two-Way Yield-2S-28/51 "Local" street, please show two 8-ft travel lanes and 6-ft parking on both sides.

### **#9m Phasing Plan (Sheet 17)**

93. Please show phasing boundaries to edge of right-of-way, lot, or tract rather than centerline of right-of-way or through tracts. A thinner boundary line may be required.
94. Please provide a land summary chart per phase showing number of dwelling units by type and parks and open space by type per phase.

### **#9n Landscaping Plan (Sheet 16)**

95. Please separate the Landscape concept from the Parks and Open Space Plan. In lieu of a plan, you may provide graphic representations of the concept and intent. See comment #40 and #44 regarding landscaping standards. Landscaping standards shall also be separated into public versus private landscaping. See DNS comments.
96. Please indicate conformance with UDC 10-6-4.F.2. Water efficiency in landscape design. Staff recommends making a commitment to xeric landscaping and reduction of turf.

### **#9o Environmental Plan (Sheet 18) – no comment**

### **#10a. An Assessment of Impact Report**

97. Section I. PD Map has language referring to the previous annexation. Please remove language regarding "proposed" boundaries of the municipality and "proposed annexation".
98. Section 3. Please update that each perimeter street along the property frontage will be improved according to the preliminary and final plat.
99. Section 3. Roadway Network references culs-de-sac. Cul-de-sac are not proposed in the PD and will not be approved. Is this referring to dead end alleys or stubbed streets for future connections?
100. Section 8. Street Maintenance – Maintenance of sidewalks and tree lawns shall be provided by the adjacent property owner or HOA.
101. The Town of Erie does not have its own Fire Protection District. Mountain View Fire Protection District is the fire protection district.
102. Urban Drainage and Flood Control District is now Mile High Flood District
103. The proposed PD Zoning Area is not encompassed in the Northern Water Conservancy District and will require petition for inclusion. Please see referral comments.
104. V. School District Impact. It is 2,300 dwelling units not 2,300 single family residential units.

**#10b. A Market Study or Economic Impact Study**

- 105. Please provide a Market Study or Economic Impact Study as there is commercial uses proposed.
- 106. The Metro District application indicated 230,000sf of commercial. Please clarify the discrepancy between the Metro District 230,000 sf and PD 175,000 sf.

**#10c. A Phase I Drainage Report and Plan – see Engineering comments**

**#10d. Traffic Impact Narrative**

- 107. Under Land Use and Access, please make sure the numbers match the highest estimate from the PD Zone Map document. The Home Diversity Plan (sheet 6 of the PD Zone Map and Guide) shows maximums of 770 single family detached, 870 single family attached, 215 multi-family, 445 age-restricted, and 175,000 sf of commercial.
- 108. The intersection of Erie Parkway and WCR 7 is signalized
- 109. WCR 7 is no longer shifting alignment in the updated Transportation Mobility Plan.
- 110. WCR 10 is paved not gravel

**#10e. General Conceptual Utility Report – see Engineering comments**

**#10f. Threatened and Endangered Species, Habitat, and Wetlands report – no comment**

**#10g. Cultural, Archaeological, and Historical Resource Report and Protection Plan – no comment**

**#10h. Environmental Hazards Report – no comment**

**#10j. Soils Report – no comment**

**#10k. A Geological Report – see CGS comments**

- 111. It is indicated in the Mine Subsidence Report that buildings should be limited to less than 165-ft and two-stories or less in the Subsidence Zone A. It is unclear where this area is indicated on Undermining Plan (Sheet 13 of the PD Zone Map and Guide). Additionally no structures should be located within 25-ft of the capped shafts of the Clayton Mine which was not clearly demarcated on the Undermining Plan.

**#10l. Separate Exhibit providing a comparative chart that lists the UDC regulation that is requested to be modified and the proposed modified PD regulation that will replace it.**

- 112. Please add PD commercial dimensional standards to this comparison.
- 113. Please compare to all options of LR/MR/HR, such as MR Medium, MR Large SFD and Atch, HR Medium, HR Large SFD and Atch. Please fill out all sections of the chart unless a use is not allowed in the zone district. For example, MR Small should be filled in for Single Family Front Load, but not for Live-Work.
- 114. Remove "1,000-2,499" under HR Small for Front on Street – Minimum Lot Setbacks

115. Multifamily lot area should compare to HR Large Atch: 2,500 per DU. Please fill out the comparable setbacks for HR.
116. Add dimensional standards for Commercial and Community Amenity.

**#10m. Separate Exhibit showing existing and proposed major easements (i.e. gas lines, overhead utility lines, etc.).** – not required at this time

**#11. Any additional information or referral documents as required by the Planning & Development Director, in order to thoroughly review the impacts of the proposed development.** – not required at this time

The review process is a cumulative process and dependent on various criteria. We reserve the right to provide further comment(s) and request additional information. Please contact me at 303-981-5985 or [aburkhalter@erieco.gov](mailto:aburkhalter@erieco.gov) for further clarification. Staff would be happy to schedule a virtual meeting to discuss the comments and answer any questions.

Sincerely,

Aly Burkhalter  
Planner

ATTACHMENTS:

1. TOE:
  - a. Planning – Red Lines
  - b. Engineering Comments
  - c. DNS Comments
  - d. Transportation Comments
2. Black Hills – no issues
3. CGS comments
4. Ehrhart Land Survey – no comment
5. Merrick Drainage Review
6. Merrick Utility Review
7. Mile High Flood District – no comment
8. Northern Water comments
9. RTD – no comment
10. United Power comments
11. VRANESH AND RAISCH, LLP (water attorney) comments
12. Weld County comments
13. Western Midstream comments

# NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

390.8797 ACRES  
 PD- \_\_\_\_\_ 001700-2024  
 (Comment #10)

## COVER SHEET / GENERAL NOTES

### PD ZONING LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF WELD, STATE OF COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 16 BEING N 89°30'52" E AND MONUMENTED AS FOLLOWS:

-CENTER 1/4 CORNER OF SECTION 16, BEING A FOUND 3.25" ALUMINUM CAP, LS 6973, RW BAYER ASSOC., PER MON REC DATED 3-1-14.

-EAST 1/4 CORNER OF SECTION 16, BEING A FOUND 2" ALUMINUM CAP IN RANGE BOX, PARTIALLY ILLEGIBLE, PLS 14083, PER MONUMENT RECORD DATED 4-9-96.

BEGINNING AT THE CENTER 1/4 CORNER OF SECTION 16;

THENCE N 89°30'52" E ALONG THE NORTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 16 A DISTANCE OF 2630.74 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF WELD COUNTY ROAD NO. 7 AS DESCRIBED IN BOOK 86 PAGE 273;

THENCE S 00°22'39" E ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 2075.17 FEET TO THE NORTHEAST CORNER OF THAT SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 4925429;

THENCE ALONG THE NORTHERLY BOUNDARY OF SAID SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 4925429 THE FOLLOWING FIVE (5) COURSES;

- 1) S 89°37'21" W A DISTANCE OF 40.00 FEET;
- 2) S 00°22'39" E A DISTANCE OF 473.00 FEET;

3) ALONG A CURVE TO THE RIGHT HAVING A CHORD OF S 44°37'59" W 35.36 FEET, A RADIUS OF 25.00 FEET, AN ARC OF 39.28 FEET, AND A DELTA OF 90°01'15";

- 4) S 89°38'36" W A DISTANCE OF 912.35 FEET;
- 5) S 00°21'24" E A DISTANCE OF 40.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF ERIE PARKWAY (AKA WELD COUNTY ROAD NO. 8) RECORDED IN BOOK 86 PAGE 273;

THENCE S 89°38'36" W ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 1656.00 FEET;

THENCE S 89°38'17" W CONTINUING ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 1343.47 FEET TO THE SOUTHEAST CORNER OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 3158505;

THENCE N 00°13'30" W ALONG THE EASTERLY BOUNDARY OF SAID PARCEL A DISTANCE OF 1949.87 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 4206840;

THENCE ALONG THE SOUTHERLY, EASTERLY AND NORTHERLY BOUNDARY OF SAID PARCEL OF LAND THE FOLLOWING SIX (6) COURSES:

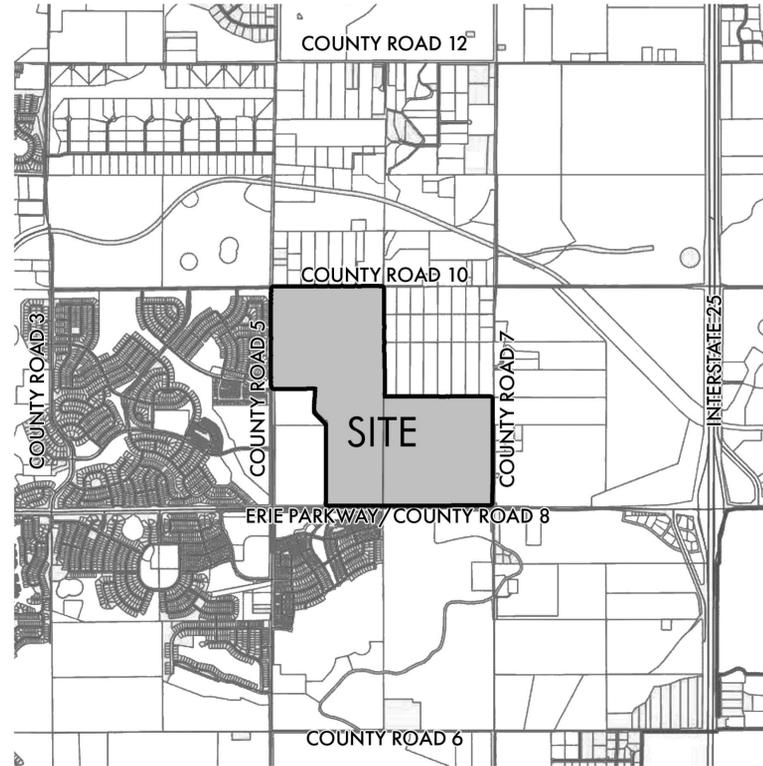
- 1) N 89°38'27" E A DISTANCE OF 2.00 FEET;
- 2) N 04°46'24" W A DISTANCE OF 110.00 FEET;
- 3) S 89°38'27" W A DISTANCE OF 48.00 FEET;
- 4) N 44°31'51" W A DISTANCE OF 339.83 FEET;
- 5) N 03°21'55" E A DISTANCE OF 545.00 FEET;
- 6) S 89°31'06" W A DISTANCE OF 1032.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF WELD COUNTY ROAD NO. 5 RECORDED IN SAID BOOK 86 PAGE 273;

THENCE N 00°12'52" W ALONG SAID EASTERLY RIGHT-OF-WAY LINE A DISTANCE OF 2358.50 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF WELD COUNTY ROAD NO. 10 RECORDED IN SAID BOOK 86 PAGE 273;

THENCE N 89°23'44" E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 2624.71 FEET TO A POINT ON THE NORTH-SOUTH CENTERLINE OF SAID SECTION 16;

THENCE S 00°18'49" E ALONG SAID NORTH-SOUTH CENTERLINE OF SAID SECTION 16 A DISTANCE OF 2607.31 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 17,026,720 SQUARE FEET OR 390.8797 ACRES MORE OR LESS.



PROJECT VICINITY MAP - 1"=2000'



### OWNER:

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### ENGINEERING CONSULTANTS:

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### TRAFFIC CONSULTANTS:

LSC TRANSPORTATION CONSULTANTS, INC.  
 1889 YORK STREET  
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 303.333.1105  
 CONTACT: CHRISTOPHER MCGRANAHAN  
 EMAIL: CSMCGRANAHAN@LSCTRANS.COM

### GENERAL NOTES:

- SOME ITEMS CONTAINED WITHIN THE PD WILL BE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE THROUGH PRELIMINARY PLAT AND FINAL PLAT STAGES.
- THE GRAPHIC DRAWINGS CONTAINED WITHIN THIS PD ARE INTENDED TO DEPICT GENERAL LOCATIONS AND ILLUSTRATE CONCEPTS OF THE TEXTUAL PROVISIONS. DURING THE PLATTING PROCESS MINOR VARIATIONS SHOULD BE EXPECTED FOR THE PURPOSE OF ESTABLISHING:
  1. FINAL ROAD ALIGNMENTS
  2. FINAL CONFIGURATION OF LOT AND TRACT SIZES AND SHAPES
  3. FINAL BUILDING ENVELOPES
  4. FINAL ACCESS AND PARKING LOCATIONS
  5. LANDSCAPE ADJUSTMENTS
- ALL THE PHOTOS AND ILLUSTRATIONS REFERENCED IN THIS PD ARE REPRESENTATIVE OF THE LEVEL OF DESIGN QUALITY IN NORTH WESTERLY. FINAL DESIGNS TO BE SUBMITTED WILL NOT NECESSARILY DUPLICATE THE EXACT ILLUSTRATIONS, BUT WILL CONTAIN THE SAME THEMES AND DIMENSIONS AS SHOWN, AND WILL BE AT THE SAME OR HIGHER LEVEL OF DESIGN QUALITY, EXTENT, AND DETAIL.

### SHEET INDEX

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- SHEET 5: CONCEPT PLAN
- SHEET 6: HOME DIVERSITY PLAN
- SHEET 7: BUILDING FORM & CHARACTER
- SHEET 8: BUILDING FORM & CHARACTER
- SHEET 9: MULTI-FAMILY DEVELOPMENT STANDARDS
- SHEET 10: COMMERCIAL DEVELOPMENT STANDARDS
- SHEET 11: COMMERCIAL DEVELOPMENT STANDARDS
- SHEET 12: UTILITY CONCEPT PLAN
- SHEET 13: UNDERMINING/OIL & GAS PLAN
- SHEET 14: CIRCULATION PLAN AND TYPICAL ROAD SECTIONS
- SHEET 15: SIGNAGE PLAN - PHOTOMETRIC PLAN
- SHEET 16: PARKS - OPEN SPACE AND LANDSCAPE CHARACTER
- SHEET 17: PHASING PLAN
- SHEET 18: ENVIRONMENTAL PLAN

**Reviewed by**  
 Aly Burkhalter, Planner, Town of Erie  
 04/02/2024

Note: to the best of the reviewer's abilities, redlines are correlated to comment #'s in the Planning Comment Memo for response.

### SURVEYOR'S CERTIFICATE:

I, \_\_\_\_\_, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS ZONING MAP TRULY AND CORRECTLY REPRESENTS THE ABOVE DESCRIBED LEGAL DESCRIPTIONS FOR EACH ZONE DISTRICT.

I ATTEST THE ABOVE ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

SIGNATURE \_\_\_\_\_

SURVEYOR'S NAME \_\_\_\_\_

COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR

# \_\_\_\_\_ (SEAL)

### BOARD OF TRUSTEES APPROVAL CERTIFICATE:

THIS ZONING MAP IS TO BE KNOWN AS THE "\_\_\_\_\_" ZONING MAP" AND IS APPROVED AND ACCEPTED BY ORDINANCE NO. \_\_\_\_\_ PASSED AND ADOPTED AT A MEETING OF THE BOARD OF TRUSTEES FOR ERIE, COLORADO, HELD ON \_\_\_\_\_, 20\_\_.

MAYOR \_\_\_\_\_

ATTEST: \_\_\_\_\_  
 TOWN CLERK

### CLERK AND RECORDER'S CERTIFICATE:

STATE OF \_\_\_\_\_ )  
 ) SS  
 COUNTY OF \_\_\_\_\_ )

I HERBY CERTIFY THAT HIS ZONING MAP WAS FILED IN MY OFFICE ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D. AND WAS RECORDED AT THE RECEPTION NUMBER \_\_\_\_\_.

BY: \_\_\_\_\_  
 (SIGNATURE)

(COUNTY CLERK AND RECORDER)

PREPARED FOR:  
 NORTH WESTERLY  
 OWNER, LLC  
 3990 HILLSBORO PIKE,  
 SUITE 400,  
 NASHVILLE, TN 37215  
 720-531-8924  
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PCS GROUP, INC.  
 200 KALAMATH STREET,  
 DENVER, CO - 80233  
 720-259-8246  
 CONTACT:  
 JOHN PRESTWICH

REVISIONS:	
NO.	REVISION DESCRIPTION
1	
2	
3	

SHEET INFO:

## COVER SHEET & WRITTEN NARRATIVE

DRAWN BY:  
 CGR/JN  
 DESIGNED BY:  
 BC/SW

SUBMITTED ON:  
 2/09/2023

# NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO  
390.8797 ACRES  
PD- \_\_\_\_\_ - \_\_\_\_\_

## WRITTEN NARRATIVE

### WRITTEN NARRATIVE:

#### A - GENERAL PROJECT CONCEPT AND PURPOSE OF THE REQUEST:

THE GENERAL PROJECT CONCEPT IS FOR THE DESIGN OF A WALKABLE COMMUNITY WITH A COMMERCIAL VILLAGE AT THE SOUTHEAST PORTION OF THE COMMUNITY THAT INCORPORATES A MIX OF COMMERCIAL/MIXED USE AS WELL AS A MIX OF RESIDENTIAL USES IN CLOSE PROXIMITY TO THIS COMMERCIAL/MIXED USE AREA. THE DESIGN OF THE CONCEPT PLAN PROVIDES A TRANSITION TO THE PROPOSED ERIE GATEWAY COMMUNITY, AND PROVIDES COORDINATED ACCESS POINTS WITH ERIE GATEWAY. THE CONCEPT PLAN INCLUDES AN INTEGRATED TRAIL NETWORK INCLUDING AN EXTENSION OF THE TOWN OF ERIE SPINE TRAIL SYSTEM, ULTIMATELY CONNECTING TO THE EXITING WESTERLY COMMUNITY, AND PROVIDING ACCESS TO THE SCHOOL SITES ON THE NORTH SIDE OF ERIE PARKWAY. THE DESIGN TEAM HAS WORKED EXTENSIVELY WITH THE TOWN OF ERIE STAFF IN THE DESIGN OF THIS CONCEPT PLAN. EVERY RESIDENT WILL BE WITHIN A 5-MINUTE WALK TO A NEIGHBORHOOD PARK, OR POCKET PARK, AND VARIOUS CONNECTIONS TO THE PEDESTRIAN TRAIL NETWORK. THIS STYLE OF A WALKABLE NEIGHBORHOODS INCREASE THE OPPORTUNITY FOR DAILY INTERACTIONS BETWEEN NEIGHBORS AND CAN STRENGTHEN THESE BONDS WITHIN THE COMMUNITY. IN TURN, THIS LEADS TO INCREASED SOCIAL ENGAGEMENT AND COMMUNITY TRUST. WITH STREETS FAVORING PEOPLE OVER CARS, WALKABLE NEIGHBORHOODS ALSO HAVE THE CAPACITY TO HOST MORE COMMUNITY EVENTS SUCH AS BLOCK PARTIES AND OUTDOOR MARKETS WHICH IS ENVISIONED FOR THE NORTH WESTERLY COMMUNITY.

- A DEFINABLE TOWN CENTER, EVEN THOUGH THE DEVELOPMENT IS NEW
- EMPHASIS ON FRONT PORCHES AND OUTDOOR COMMUNAL SPACE FOR MEETING NEIGHBORS IN GENERAL
- A VARIETY OF DWELLING TYPES AND SIZES, INCLUDING THOUGHTFULLY DESIGNED APARTMENTS AND ROW HOUSES, AIMED AT MIXED-INCOME HOUSING.
- HOMES WITH GARAGES AND ALLEYS IN THE REAR. NARROWER STREETS (AND COMPLETE STREETS, SLOWING TRAFFIC AND IN TANDEM WITH FRONT PORCHES, PROMOTING NEIGHBORLY SOCIALIZING ACROSS THE STREET)
- PRIVATE LAWN AREA DE-EMPHASIZED IN FAVOR OF COMMON SPACE
- REDUCED SETBACKS, ESPECIALLY FOR THE FRONT YARD, AND A COMPACT DEVELOPMENT PATTERN IN THE MAJORITY OF THE SPACE. SMALLER PARK SPACES, OPEN SPACE, OR GARDENS MAY BE SHARED ALONG THE FRINGES.
- THE POTENTIAL FOR SMALL-SCALE RETAIL OUTLETS AND OTHER COMMERCIAL BUSINESSES
- ACCESSORY DWELLING UNITS (WHICH YOU MIGHT KNOW AS CARRIAGE HOUSES, ALLEY HOUSES, GRANNY FLATS, OR MOTHER-IN-LAW QUARTERS)
- A MIX OF RENTAL AND FOR SALE HOUSING, WITH LARGE AND SMALL HOUSING UNITS, BLENDED ARTFULLY INTO THE URBAN DESIGN AS A WHOLE FOR THE COMMUNITY. NORTH WESTERLY IS ATTEMPTING TO PROVIDE A FULL SPECTRUM OF HOUSING, THE "MISSING MIDDLE" ARTICULATES WHAT IS MISSING FROM MODERN PRODUCTION HOUSING, WHICH OFFERS SINGLE-FAMILY LARGE-LOT HOUSING AND LARGE APARTMENT COMPLEXES, AND VERY LITTLE IN-BETWEEN. THERE ARE SO MANY CHOICES IN BETWEEN AND THE MISSING MIDDLE EXPLORES THEM FULLY — VARIOUS TYPES OF TOWNHOUSES, COTTAGE HOMES WITH GREEN COURTS, DUPLEXES, LIVE-WORK, COURTYARD COMPLEXES, SMALL APARTMENT BUILDINGS AND GRANNY FLATS. THESE CHOICES OFFER LIVABLE, LOW-RISE DENSITY IN A HUMAN-SCALE NEIGHBORHOOD.
- CAREFUL ATTENTION TO AESTHETICS AT THE STREET LEVEL, WITH CAREFUL ATTENTION TO FRONT PORCHES, INTENTIONAL FRONT YARD LANDSCAPE DESIGN THAT ENFORCES THE URBAN DESIGN

THE NORTH WESTERLY PD ALSO INTEGRATES ACTIVE ADULT RESIDENTIAL AS PART OF THE OVERALL COMMUNITY. THESE ACTIVE ADULT HOMES PROVIDE MORE HOUSING OPTIONS FOR THE GROWING ACTIVE ADULT POPULATION.

THE PROPOSED PLAN ANTICIPATES AN OVERALL APPROXIMATE DENSITY OF 5.9 DWELLING UNITS PER ACRE. AS CAN BE SEEN IN THE CONCEPT PLAN THERE IS A DIVERSE MIX OF RESIDENTIAL HOME TYPES BEING PROPOSED FOR THIS COMMUNITY, RANGING FROM LIVE WORK, TOWNHOMES, PAIRED HOMES, AND SINGLE-FAMILY HOMES, IN A VARIETY OF ALLEY LOAD AND FRONT-LOADED GARAGE CONFIGURATIONS. IN ADDITION, THE PLAN ANTICIPATES APPROXIMATELY 175,000 SQUARE FEET OF NON-RESIDENTIAL COMMERCIAL/MIXED USE BUILDINGS LOCATED GENERALLY ADJACENT TO ERIE PARKWAY.

THERE ARE MANY PUBLIC BENEFITS TO THIS STYLE OF COMMUNITY DESIGN. THE DESIGN OF NORTH WESTERLY IS COMPOSED OF A WELL-CONNECTED STREET NETWORK THAT DISPERSES TRAFFIC AND INCREASES PEDESTRIAN CONNECTIONS. PEDESTRIAN FRIENDLY STREET DESIGN INCLUDES BRINGING BUILDINGS CLOSE TO THE STREET WITH FRONT PORCHES THAT ENCOURAGE SOCIAL INTERACTION, HIGHER QUALITY WINDOWS AND DOORS, TREE LINED STREETS, AND MANY HOMES HAVING THE GARAGES IN THE REAR. THIS HIGH-QUALITY PEDESTRIAN NETWORK AND PUBLIC REALM MAKES WALKING PLEASURABLE, AND PERHAPS MORE IMPORTANTLY THIS STYLE OF COMMUNITY CRAFTING PROVIDES AREAS FOR SOCIAL INTERACTION, AREAS TO LINGER WITH FRIENDS, SIT AND TALK, OR SIMPLY HANG OUT WITH NEIGHBORS.

THE CONCEPT PLAN FEATURES OVER 30% OF THE PROPERTY AS INTEGRATED PARK, OPEN SPACE, AND TRAIL CORRIDORS INTEGRATED INTO THE COMMUNITY DESIGN. ALSO INTEGRATED INTO THE COMMUNITY DESIGN IS THE INCLUSION OF MIXED USE/COMMERCIAL, BRINGING SERVICES WITHIN WALKING DISTANCE OF RESIDENTS. SOUTHERN LAND HAS A

BACKGROUND IN PROGRAMMING COMMUNITY EVENTS, AND THE DESIGN OF THE COMMUNITY ALLOWS AREAS FOR THESE EVENTS TO TAKE PLACE ON SCALES FROM SMALL TO LARGE.

IN SUMMARY, THE DESIGN OF THIS COMMUNITY INCLUDES A MIX OF HOUSING, PROVIDING A RANGE OF HOUSING TYPES, SIZES AND PRICES MIXED THROUGHOUT THE COMMUNITY. THIS STYLE OF DESIGN AND COMMUNITY CRAFTING BRINGS SHOPS/RESTAURANTS AND SERVICES CLOSER TO RESIDENTS, WHICH ENABLES A MORE EFFICIENT USE OF SERVICES AND RESOURCES, AND CREATES A MORE CONVENIENT, ENJOYABLE PLACE TO LIVE. THE REQUEST IS FOR APPROVAL OF A PD TO FACILITATE THE CREATION OF THIS COMMUNITY.

#### B - APPROVAL CRITERIA:

THE PLANNING COMMISSION AND BOARD OF TRUSTEES SHALL REVIEW THE PD ZONE DISTRICT APPLICATION CONSIDERING THE FOLLOWING APPROVAL CRITERIA:

A. THE PD DISTRICT ZONING IS GENERALLY CONSISTENT WITH THE PURPOSE OF THE PD ZONE DISTRICT AS SET FORTH IN UDC SECTIONS 10-2-5 AND 10-7-6.

SECTION 10-2-5 STATES THAT A PD ZONE DISTRICT MAY BE USED WHEN:

A. THERE IS A SPECIAL PUBLIC BENEFIT THAT DOES NOT COINCIDE WITH STANDARD ZONE DISTRICT REQUIREMENTS; OR,

WE BELIEVE THAT THERE IS A SIGNIFICANT PUBLIC BENEFIT IN THE DESIGN PROPOSED THROUGH THE CREATIVE MIX OF HOUSING TYPES THAT PROVIDE A RANGE OF SIZES AND PRICES MIXED CAREFULLY THROUGH THE COMMUNITY, AS WELL AS INTEGRATION OF MIXED USE/COMMERCIAL LAND USES IN THE COMMUNITY. THERE IS A FINANCIAL BENEFIT TO THE TOWN IN THAT WITH THIS STYLE OF PLAN THERE IS SIGNIFICANTLY MORE TAX BENEFIT THAN A SUBURBAN PLAN. THIS PLAN RESPONDS DIRECTLY TO THE TOWN'S PLAN FOR ERIE GATEWAY AND PROVIDES A LOGICAL TRANSITION TO THE COLLIER'S HILL COMMUNITY.

THE CONCEPT PLAN ALSO FEATURES OVER 31% OF THE PROPERTY AS INTEGRATED PARK, OPEN SPACE, AND TRAIL CORRIDORS INTEGRATED INTO THE COMMUNITY DESIGN. ADDITIONALLY THE DESIGN HAS INCLUDED A COMMITMENT TO PROVIDING AFFORDABLE HOUSING AS OUTLINED IN THE PRE-DEVELOPMENT AGREEMENT.

B. A DEVELOPMENT PROPOSAL IS UNABLE TO MEET THE STANDARD ZONE DISTRICT REQUIREMENTS DUE TO PHYSICAL CONSTRAINTS OF THE PROPERTY; OR, A DEVELOPMENT PROPOSAL IS UNABLE TO MEET THE STANDARD ZONE DISTRICT REQUIREMENTS DUE TO UNIQUE DEVELOPMENT DESIGN; OR,

UTILIZING A PD WILL ALLOW A GREATER OPPORTUNITY TO INTERMINGLE THE VARIOUS HOUSING STYLES AND COMMERCIAL USES THROUGHOUT THE COMMUNITY. THIS IS DIRECTLY IN SUPPORT OF THE TOWN'S VISION FOR ERIE GATEWAY.

C. A DEVELOPMENT PROPOSAL IS UNABLE TO MEET THE STANDARD ZONE DISTRICT REQUIREMENTS DUE TO A UNIQUE MIX OF LAND USES.

THE PROPOSED COMMUNITY DESIGN INCLUDES A UNIQUE MIX OF LAND USES THAT WOULD BE VERY COMPLEX TO NAVIGATE UTILIZING STRAIGHT ZONE DISTRICTS. See comment #4

3. THE PD ZONE DISTRICT IS NOT A GENERAL WAIVER OF THE UDC REGULATIONS. PD ZONE DISTRICTS ARE TO BE BASED ON ONE OR MORE OF THE FOLLOWING ATTRIBUTES THAT COULD NOT OTHERWISE BE ACHIEVED THROUGH OTHER STANDARD ZONE DISTRICTS:

- INNOVATIVE APPROACHES TO DEVELOPMENT,
- CREATIVE DESIGNS OF LAND USES,
- PRESERVATION OF SIGNIFICANT NATURAL FEATURES WITHIN THE TOWN,
- RETENTION OF HISTORIC STRUCTURES AND SITES,
- RETENTION OF OPEN SPACE,
- COMPATIBILITY WITH OVERALL COMMUNITY OBJECTIVES, AND
- CONSIDERATION OF ENVIRONMENTAL CONCERNS.

AGAIN, WE BELIEVE THAT THERE ARE MANY PUBLIC BENEFITS TO THE PROPOSED COMMUNITY DESIGN. THE DESIGN OF NORTH WESTERLY INCLUDES A WELL-CONNECTED STREET NETWORK THAT DISPERSES TRAFFIC AND INCREASES PEDESTRIAN CONNECTIONS. PEDESTRIAN FRIENDLY STREET DESIGNS INCLUDE BRINGING BUILDINGS CLOSE TO THE STREET WITH FRONT PORCHES THAT ENCOURAGE SOCIAL INTERACTION, HIGHER QUALITY WINDOWS AND DOORS, TREE LINED STREETS, AND MANY HOMES HAVING THE GARAGES IN THE REAR. THIS HIGH-QUALITY PEDESTRIAN NETWORK AND PUBLIC REALM MAKES WALKING PLEASURABLE, AND PERHAPS MORE IMPORTANTLY THIS STYLE OF COMMUNITY CRAFTING PROVIDES AREAS FOR SOCIAL INTERACTION, AREAS TO LINGER WITH FRIENDS, SIT AND TALK, OR SIMPLY HANG OUT WITH NEIGHBORS.

4. PD ZONE DISTRICT MODIFICATIONS SHALL BE GENERALLY CONSISTENT WITH THE OVERALL LAND USES AND OBJECTIVES OF THE TOWN'S COMPREHENSIVE PLAN, TRANSPORTATION MASTER PLAN; PARKS, RECREATION, OPEN SPACE, AND TRAILS MASTER

PLAN, AND OTHER PERTINENT TOWN PLAN AND POLICY DOCUMENTS.

THE PROPOSED PD AND CONCEPT PLAN IS CONSISTENT WITH THE TOWN'S COMPREHENSIVE PLAN, TRANSPORTATION MASTER PLAN, INCLUDES THE SPINE TRAIL AS ANTICIPATED IN THE TRAILS MASTER PLAN. WE BELIEVE THAT THE PROPOSED PD AND CONCEPT PLAN IS CONSISTENT WITH, SUPPORTS, AND FURTHERS ALL TOWN PLAN POLICY DOCUMENTS. THE CONCEPT PLAN HAS BEEN DESIGNED WITH THE TOWN OF ERIE STAFF TO ENSURE CONNECTIONS AND COMPATIBILITY WITH THE FUTURE ERIE GATEWAY COMMUNITY.

5. THE FLEXIBILITY PERMITTED IN A PD ZONE DISTRICT SHALL BE MADE IN EXCHANGE FOR GREATER PUBLIC BENEFITS THAT WOULD NOT HAVE OTHERWISE BEEN ACHIEVED THROUGH DEVELOPMENT UNDER ANOTHER ZONE DISTRICT.

WE STRONGLY BELIEVE THAT THE PROPOSED PD AND CONCEPT PLAN PROVIDE SIGNIFICANT PUBLIC BENEFITS THAT WOULD NOT BE ACHIEVED THROUGH THE STRICT COMPLIANCE WITH STRAIGHT ZONE DISTRICTS.

SECTION 10-7-6 IS THE REVIEW AND APPROVAL PROCEDURE FOR ESTABLISHING A PUD DISTRICT.

SINCE A PUD IS NO LONGER AN ACTIVE DISTRICT NO NEW PUD MAY BE ESTABLISHED, WHICH IS CONSISTENT WITH THE PROPOSED NORTH WESTERLY PD AND THE PRE-DEVELOPMENT AGREEMENT.

B. THE MODIFICATION TO THE UDC REGULATIONS IS BASED ON CREATIVE AND INNOVATIVE DESIGN AND AMENITIES INCORPORATED IN THE PD ZONE DISTRICT THAT COULD NOT OTHERWISE BE ACHIEVED THROUGH OTHER STANDARD ZONE DISTRICTS OR THROUGH ANOTHER MODIFICATION PROCESSES SUCH AS ALTERNATIVE EQUIVALENT COMPLIANCE IN UDC SUBSECTION 10-6-1 C.

WE DID DISCUSS THE POTENTIAL OF UTILIZING ALTERNATIVE EQUIVALENT COMPLIANCE WITH STAFF AND WE CONCLUDED THAT UTILIZING A PD WAS A FAR MORE LOGICAL PATH FOR A PROJECT OF THIS SIZE, AND ALSO ALIGNS WITH THE PRE-DEVELOPMENT AGREEMENT.

C. THE PD ZONE DISTRICT WILL PROMOTE THE PUBLIC HEALTH, SAFETY, AND GENERAL WELFARE.

THE PD ZONING FOR THE NORTH WESTERLY PROPERTY WILL CONFORM TO THE REQUIREMENTS OF THE MUNICIPAL CODE AND TOWN OF ERIE COMPREHENSIVE PLAN. THE STATED GENERAL PURPOSE OF THE MUNICIPAL CODE IS THE PROMOTION OF THE HEALTH, SAFETY, AND GENERAL WELFARE OF THE TOWN OF ERIE. SPECIFICALLY, THE NORTH WESTERLY PD WILL INCLUDE AN ADDITIONAL NEIGHBORHOOD PARK, OTHER PARK USES, TRAIL CORRIDORS, AND OPEN SPACE, AS WELL AS AN EFFICIENT AND INTEGRATED TRANSPORTATION NETWORK. NORTH WESTERLY WILL ALSO PROVIDE SIGNIFICANT COMMERCIAL USES PROVIDING THE TOWN WITH MUCH NEEDED SERVICES AND JOBS. THE NORTH WESTERLY COMMUNITY WILL CONTRIBUTE TO THE IMPROVEMENTS REQUIRED FOR ERIE PARKWAY, INCLUDING CONNECTING TO THE PEDESTRIAN UNDERPASS FROM THE EXISTING WESTERLY COMMUNITY ON THE SOUTH SIDE OF ERIE PARKWAY. THE NORTH WESTERLY ADDITION WILL PROVIDE INTERNAL STREET CONNECTIONS, AS WELL AS ADDITIONAL CONNECTIONS TO ERIE PARKWAY, COUNTY ROAD 5, COUNTY ROAD 7, AND COUNTY ROAD 10 AND THE ERIE HIGH SCHOOL/ SOARING HEIGHTS COMPLEX. ROAD IMPROVEMENTS WILL BE COORDINATED WITH THE COMMUNITY COMMERCIAL CORNER. THE PLAN WILL ALSO PROVIDE TRAIL CONNECTIONS TO THE LARGER WESTERLY COMMUNITY. IMPORTANTLY THE NORTH WESTERLY ADDITION ALSO PROVIDES THE LOCATION FOR A MUCH NEEDED NEW WATER TANK SITE FOR THE BENEFIT OF THE TOWN OF ERIE.

NORTH WESTERLY WILL BE A COMPREHENSIVELY PLANNED COMMUNITY WITH A WELL CONNECTED STREET NETWORK, A DIVERSITY OF HOUSING OPTIONS, TRAILS, POCKET PARKS, A NEIGHBORHOOD PARK, A SITE FOR A NEW WATER TANK FOR THE BENEFIT OF THE TOWN OF ERIE - ALL OF THESE FACTORS PROMOTE THE PUBLIC HEALTH, SAFETY, AND GENERAL WELFARE.

D. THE PD ZONE DISTRICT IS GENERALLY CONSISTENT WITH THE TOWN'S COMPREHENSIVE PLAN; TRANSPORTATION MASTER PLAN; PARKS, RECREATION, OPEN SPACE, AND TRAILS MASTER PLAN, AND OTHER PERTINENT TOWN PLAN AND POLICY DOCUMENTS.

THE PROPOSED PD AND CONCEPT PLAN IS CONSISTENT WITH THE TOWN'S COMPREHENSIVE PLAN, TRANSPORTATION MASTER PLAN, INCLUDES THE SPINE TRAIL AS ANTICIPATED IN THE TRAILS MASTER PLAN. WE BELIEVE THAT THE PROPOSED PD AND CONCEPT PLAN IS CONSISTENT WITH, SUPPORTS, AND FURTHERS ALL TOWN PLAN POLICY DOCUMENTS.

E. ADEQUATE AND SUFFICIENT PUBLIC SAFETY, UTILITY FACILITIES AND SERVICES, RECREATION FACILITIES, PARKS, OPEN SPACE, AND SCHOOLS ARE AVAILABLE TO SERVE THE PROPERTY, WHILE MAINTAINING SUFFICIENT LEVELS OF SERVICE TO EXISTING DEVELOPMENT.

AS WE WORK WITH THE REVIEW AGENCIES THROUGH THE REFERRAL PROCESS,

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DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

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OF 18

See comment #5

# NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO  
390.8797 ACRES  
PD-\_\_\_\_-\_\_\_\_\_

## WRITTEN NARRATIVE

WE WILL ENSURE THAT THERE ARE ADEQUATE AND SUFFICIENT PUBLIC SAFETY, UTILITIES, SERVICES, RECREATION FACILITIES, OPEN SPACE, AND SCHOOLS TO SUPPORT NORTH WESTERLY, WHILE MAINTAINING SUFFICIENT LEVELS OF SERVICE TO EXISTING DEVELOPMENT.

F. THE PD ZONE DISTRICT PROVIDES ADEQUATE VEHICULAR CIRCULATION AND PARKING FACILITIES IN TERMS OF TRAFFIC VOLUMES, CONVENIENCE, SAFETY, ACCESS, SCREENING AND NOISE.

AS CAN BE SEEN IN THE CONCEPT PLAN THAT ACCOMPANIES THE PD, THE DESIGN FOR NORTH WESTERLY INCLUDES A WELL CONNECTED STREET NETWORK THAT WILL DISPERSE TRAFFIC PROVIDING CONVENIENT AND SAFE ACCESS THROUGHOUT THE COMMUNITY AND IS ACCORDANCE WITH THE PRE-DEVELOPMENT AGREEMENT.

G. A PEDESTRIAN AND BICYCLE CIRCULATION SYSTEM THAT PROVIDES CONNECTIONS TO ADJACENT PROPERTIES, EXISTING AND FUTURE TRAILS, PARKS, OPEN SPACE, RECREATIONAL FACILITIES, SCHOOLS, AND OTHER PLACES OF PUBLIC GATHERING.

THE DESIGN, AS DEPICTED IN THE CONCEPT PLAN, INCLUDES THE SPINE TRAIL THROUGH THE PROPERTY AS DEPICTED IN THE TOWNS TRAIL MASTER PLAN. ADDITIONALLY, THE DESIGN INCLUDES A CONNECTION TO THE GRADE SEPARATED TRAIL CROSSING OF ERIE PARKWAY, WHICH PROVIDES A SAFE CONNECTION TO THE WESTERLY COMMUNITY AND ITS SCHOOL AS WELL AS SPINE TRAIL. THE CONCEPT PLAN FOR NORTH WESTERLY ALSO INCLUDES SEVERAL PARK AREAS INCLUDING A LARGE NEIGHBORHOOD PARK. ADDITIONALLY A COMMUNITY AMENITY AREA IS INCLUDED IN THE CONCEPT PLAN.

H. THE PD ZONE DISTRICT IS NOT LIKELY TO RESULT IN SIGNIFICANT ADVERSE IMPACTS TO THE NATURAL ENVIRONMENT, AND SIGNIFICANT SCENIC AND HISTORIC FEATURES.

AS PART OF THE DESIGN PROCESS THE DEVELOPMENT TEAM COMMISSIONED AN AQUATIC RESOURCE REPORT, A CULTURAL HISTORIC SCREENING, A SCREENING REPORT FOR THREATENED AND ENDANGERED SPECIES AND GENERAL WILDLIFE, AS WELL AS A NATIVE AND SPECIMEN TREE AND VEGETATION SURVEY. IN GENERAL, THE ONLY SIGNIFICANT FEATURES ON THE PROPERTY ARE THE COMMUNITY DITCH AND THE ABANDONED CLAYTON MINE. THESE FEATURES HAVE BEEN FACTORED INTO THE CONCEPT PLAN THAT ACCOMPANIES THE NORTH WESTERLY PD.

I. THE PD ZONE DISTRICT WILL NOT RESULT IN SIGNIFICANT ADVERSE IMPACTS ON PROPERTIES IN THE VICINITY OF THE PD ZONE DISTRICT, OR SUCH IMPACTS WILL BE SUBSTANTIALLY MITIGATED.

NORTH WESTERLY IS BOUNDED BY ERIE PARKWAY ON THE SOUTH, COUNTY ROAD 5 ON THE WEST, COUNTY ROAD 10 ON THE NORTH, AND COUNTY ROAD 7 ON THE EAST. ERIE HIGH SCHOOL, AND SOARING HEIGHTS PK-8 ARE IN THE SOUTH WEST CORNER OF THE AREA BOUNDED BY NORTH WESTERLY AT THE INTERSECTION OF ERIE PARKWAY AND COUNTY ROAD 5. THE CONCEPT PLAN/PD HAS BEEN DESIGNED TO PROVIDE ADDITIONAL POTENTIAL STREET AND PEDESTRIAN CONNECTIONS TO THESE SCHOOL AREAS. ADJACENT TO THE NORTH WEST PORTION OF THE COMMUNITY ARE EXISTING RESIDENTIAL PROPERTIES THAT ARE IN WELD COUNTY, BUT ARE WITHIN THE TOWN'S PLANNING BOUNDARY SO THEY WOULD BE ELIGIBLE TO BE ANNEXED TO THE TOWN OF ERIE IN THE FUTURE NOW THAT THEY HAVE CONTIGUITY WITH THE TOWN OF ERIE BECAUSE OF THE NORTH WESTERLY ANNEXATION. THE CONCEPT PLAN DEPICTS THE POTENTIAL FOR FUTURE ROAD CONNECTIONS TO THIS AREA, AS WELL AS AN APPROXIMATELY 75'-85' OPEN SPACE BUFFER AND THEN SINGLE FAMILY HOMES ADJACENT TO THE EXISTING HOMES. WE DO NOT BELIEVE THAT THERE WILL BE SIGNIFICANT ADVERSE IMPACTS ON PROPERTIES IN THE VICINITY OF THE NORTH WESTERLY PD.

J. PROPOSED USES WILL BE COMPATIBLE IN SCALE WITH USES ON PROPERTIES IN THE VICINITY OF THE PD ZONE DISTRICT.

AS MENTIONED ABOVE WE ARE PROVIDING AN APPROXIMATELY 75'-85' OPEN SPACE BUFFER TO THE EXISTING SINGLE FAMILY HOMES IN THE NORTH WEST PORTION OF THE COMMUNITY. WHILE THE LOT SIZES DIFFER BETWEEN THE EXISTING HOMES IN WELD COUNTY VERSUS THE LOTS PROPOSED IN NORTH WESTERLY, THE BUFFER AND THE FACT THAT THE USES ARE BOTH SINGLE FAMILY RESIDENTIAL ENSURE COMPATIBILITY.

ERIE GATEWAY IS ALSO INFORMING THE CONCEPT PLAN FOR NORTH WESTERLY, NORTH WESTLEY IS PROVIDING A TRANSITION OR BRIDGE TO THE EXISTING COLLIER'S HILL NEIGHBORHOOD.

K. THE RESIDENTIAL AREAS OF A PD ZONE DISTRICT ALLOCATE A VARIETY OF HOUSING TYPES AND DENSITIES APPROPRIATE TO THE SIZE OF THE RESIDENTIAL DEVELOPMENT AREA.

THE CONCEPT PLAN THAT ACCOMPANIES THE PD DEPICTS A WIDE VARIETY OF HOUSING TYPES AND DENSITIES INCLUDING TRADITIONAL FRONT LOADED SINGLE FAMILY HOMES, ALLEY SERVED SINGLE FAMILY HOMES, A VARIETY OF SINGLE FAMILY ATTACHED TOWNHOMES, ACTIVE ADULT SINGLE FAMILY HOMES, ACTIVE ADULT PAIRED HOMES,

ACTIVE ADULT TOWNHOMES, AS WELL AS ACTIVE ADULT MULTI-FAMILY, MARKET MULTI-FAMILY AND ATTAINABLE MULTI-FAMILY. SOUTHERN LAND BELIEVES IN PROVIDING A BROAD MIX OF HOUSING TO ACCOMMODATE A WIDELY DIVERSE RANGE OF INCOMES AND AGES.

L. VISUAL RELIEF IS PROVIDED THROUGH BUILDING PLACEMENT, SHORTENED OR INTERRUPTED STREET VISTAS, VISUAL ACCESS TO OPEN SPACE, PARKS, AND OTHER DESIGN METHODS.

THE CONCEPT PLAN DEPICTS A WELL CONNECTED STREET NETWORK THAT INCLUDES VISUAL ACCESS AS WELL AS PEDESTRIAN ACCESS TO OPEN SPACE AND PARK AREAS WITHIN THE NORTH WESTERLY COMMUNITY. AS HAS BEEN MENTIONED IN THIS DOCUMENT, PEDESTRIAN FRIENDLY STREET DESIGN INCLUDES BRINGING BUILDINGS CLOSE TO THE STREET WITH FRONT PORCHES THAT ENCOURAGE SOCIAL INTERACTION, HIGHER QUALITY WINDOWS AND DOORS, TREE LINED STREETS, AND MANY HOMES HAVING THE GARAGES IN THE REAR. THIS HIGH-QUALITY PEDESTRIAN NETWORK AND PUBLIC REALM MAKES WALKING PLEASURABLE, AND PERHAPS MORE IMPORTANTLY THIS STYLE OF COMMUNITY CRAFTING PROVIDES AREAS FOR SOCIAL INTERACTION, AREAS TO LINGER WITH FRIENDS, SIT AND TALK, OR SIMPLY HANG OUT WITH NEIGHBORS. THE HIGH QUALITY ARCHITECTURE ALSO AIDS IN VISUAL RELIEF FOR THE COMMUNITY.

M. THE MODIFICATIONS PERMITTED IN THE PD ZONE DISTRICT HAVE BEEN MADE IN EXCHANGE FOR GREATER PUBLIC BENEFITS THAT WOULD NOT HAVE OTHERWISE BE ACHIEVED THROUGH DEVELOPMENT UNDER ANOTHER ZONE DISTRICT.

THE PROPOSED COMMUNITY DESIGN INCLUDES A UNIQUE MIX OF LAND USES THAT WOULD BE VERY COMPLEX TO NAVIGATE UTILIZING STRAIGHT ZONE DISTRICTS. THERE IS ALSO INCREDIBLE BENEFIT THAT HAS BEEN ADDRESSED IN THE PRE-DEVELOPMENT AGREEMENT.

### C - IDENTIFICATION OF THE GREATER PUBLIC BENEFIT PROVIDED WITHIN THE PD ZONE DISTRICT:

THERE ARE MANY PUBLIC BENEFITS TO THIS STYLE OF COMMUNITY DESIGN. AGAIN, THE DESIGN OF NORTH WESTERLY IS COMPOSED OF A WELL-CONNECTED STREET NETWORK THAT DISPERSES TRAFFIC AND INCREASES PEDESTRIAN CONNECTIONS. PEDESTRIAN FRIENDLY STREET DESIGN INCLUDES BRINGING BUILDINGS CLOSE TO THE STREET WITH FRONT PORCHES THAT ENCOURAGE SOCIAL INTERACTION, HIGHER QUALITY WINDOWS AND DOORS, TREE LINED STREETS, AND MANY HOMES HAVING THE GARAGES IN THE REAR. THIS HIGH-QUALITY PEDESTRIAN NETWORK AND PUBLIC REALM MAKES WALKING PLEASURABLE, AND PERHAPS MORE IMPORTANTLY THIS STYLE OF COMMUNITY CRAFTING PROVIDES AREAS FOR SOCIAL INTERACTION, AREAS TO LINGER WITH FRIENDS, SIT AND TALK, OR SIMPLY HANG OUT WITH NEIGHBORS. SOUTHERN LAND HAS A BACKGROUND IN PROGRAMMING COMMUNITY EVENTS, AND THE DESIGN OF THE COMMUNITY ALLOWS AREAS FOR THESE EVENTS TO TAKE PLACE ON SCALES FROM SMALL TO LARGE. THERE IS ALSO INCREDIBLE BENEFIT THAT HAS BEEN ADDRESSED IN THE PRE-DEVELOPMENT AGREEMENT.

### D - DEVELOPMENT SCHEDULE:

THE PROJECT IS LIKELY TO BE DEVELOPED IN MULTIPLE PHASES DEPENDING ON MARKET CONDITIONS. THE FIRST PHASES ARE LIKELY TO BE GENERALLY ON THE SOUTH SIDE OF THE PROPERTY, AND THEN MOVING NORTH IN A LOGICAL MANNER OVER TIME. THE HOPE IS TO START CONSTRUCTION IN LATE 2025 ON A PORTION OF THE PROJECT.

### E - HOW THE PROPOSAL RELATES TO THE EXISTING LAND-USE OF THE SUBJECT PROPERTY AND THE ZONING AND LAND-USE OF ADJACENT PROPERTIES, INCLUDING STATEMENTS DESCRIBING THE EFFECTS ON ADJACENT PROPERTIES; AREAS OF COMPATIBILITY AND CONFLICT AND THE MITIGATION MEASURES UTILIZED:

NORTH WESTERLY IS CURRENTLY ZONED A MIX OF COMMUNITY COMMERCIAL, LOW DENSITY RESIDENTIAL, MEDIUM DENSITY RESIDENTIAL, AND HIGH DENSITY RESIDENTIAL. THE PROPOSED PD INCLUDES THE SAME USES, BUT HAS A FINER GRAIN MIX OF USES THAN THE CURRENTLY RIGIDLY DEFINED ZONING AREAS. NORTH WESTERLY IS BOUNDED BY ERIE PARKWAY ON THE SOUTH, COUNTY ROAD 5 ON THE WEST, COUNTY ROAD 10 ON THE NORTH, AND COUNTY ROAD 7 ON THE EAST. ERIE HIGH SCHOOL, AND SOARING HEIGHTS PK-8 ARE IN THE SOUTH WEST CORNER OF THE AREA BOUNDED BY NORTH WESTERLY AT THE INTERSECTION OF ERIE PARKWAY AND COUNTY ROAD 5. THE CONCEPT PLAN/PD HAS BEEN DESIGNED TO PROVIDE ADDITIONAL POTENTIAL STREET AND PEDESTRIAN CONNECTIONS TO THESE SCHOOL AREAS. ADJACENT TO THE NORTH WEST PORTION OF THE COMMUNITY ARE EXISTING RESIDENTIAL PROPERTIES THAT ARE IN WELD COUNTY, BUT ARE WITHIN THE TOWN'S PLANNING BOUNDARY SO THEY WOULD BE ELIGIBLE TO BE ANNEXED TO THE TOWN OF ERIE IN THE FUTURE. THE CONCEPT PLAN DEPICTS THE POTENTIAL FOR FUTURE ROAD CONNECTIONS TO THIS AREA, AS WELL AS AN APPROXIMATELY 75'-85' OPEN SPACE BUFFER AND THEN SINGLE FAMILY

HOMES ADJACENT TO THE EXISTING HOMES. WE DO NOT BELIEVE THAT THERE WILL BE SIGNIFICANT ADVERSE IMPACTS ON PROPERTIES IN THE VICINITY OF THE NORTH WESTERLY PD.

### F - HOW THE PROPOSAL COMPLIES WITH THE TOWN'S COMPREHENSIVE PLAN; TRANSPORTATION MASTER PLAN; PARKS RECREATION, OPEN SPACE, AND TRAILS MASTER PLAN, AND OTHER PERTINENT TOWN PLAN AND POLICY DOCUMENTS:

THE PROPOSAL MIMICS THE LAND USES AND GENERAL AREAS AS DEPICTED IN THE COMPREHENSIVE PLAN, ALTHOUGH AGAIN THE INTENT IS TO PERMIT A FINER GRAIN MIX OF USES THAN WOULD BE PERMITTED THROUGH RIGID COMPLIANCE WITH BOUNDARIES AS DEFINED. WE HAVE WORKED DILIGENTLY WITH STAFF TO ENSURE THAT THE CONCEPT PLAN COMPLIES WITH THE TOWN TRANSPORTATION MASTER PLAN, IN FACT THIS PROJECT WILL CONTRIBUTE TO THE CONSTRUCTION OF THE NORTH SIDE OF ERIE PARKWAY AS WELL AS IMPROVEMENTS TO THE ADJACENT ROADWAYS. WE HAVE WORKED WITH THE PARKS DEPARTMENT AS THEY UPDATE THEIR POLICY DOCUMENTS TO ENSURE SUPPORT FOR THIS STYLE OF COMMUNITY, AND ARE PROVIDING THE SPINE TRAIL AS DEFINED IN THE TRAILS MASTER PLAN.

### G - A BRIEF DESCRIPTION REGARDING THE AVAILABILITY OF FIRE PROTECTION, SCHOOL SERVICES, WATER/SEWER SERVICE, AND UTILITY PROVIDERS:

THROUGH THE PRE-APPLICATION PROCESS, AS WELL AS FURTHER DISCUSSIONS WITH MOUNTAIN VIEW FIRE PROTECTION WE HAVE VERIFIED THE AVAILABILITY OF FIRE PROTECTION. SCHOOL SERVICES WILL BE PROVIDED BY SAINT VRAIN SCHOOL DISTRICT, SOARING HEIGHTS PK-8, AND ERIE HIGH SCHOOL ARE DIRECTLY ADJACENT TO NORTH WESTERLY, AND THE EXISTING WESTERLY COMMUNITY TO THE SOUTH HAS ALSO PROVIDED A SCHOOL SITE FOR A FUTURE SCHOOL. WATER AND SEWER SERVICE ARE BEING COORDINATED WITH THE TOWN OF ERIE, AND THE OTHER UTILITY PROVIDERS SUCH AS ELECTRICAL, GAS, INTERNET/COMMUNICATIONS ARE ALL ADJACENT TO THE PROPERTY.

### H - RECOVERY COSTS STATEMENTS:

AT THIS TIME THE DEVELOPMENT TEAM IS NOT AWARE OF ANY RECOVERY COSTS ASSOCIATED WITH THIS PROPOSAL.

### I - A DESCRIPTION REGARDING THE STATUS OF MINERAL RIGHTS AND THE SUBSTANCE OF ANY EXISTING OR PROPOSED COVENANTS, SPECIAL CONDITIONS, GRANTS OF EASEMENTS, OR OTHER RESTRICTIONS APPLYING TO THE PROPOSED SUBDIVISION:

THERE IS 1 SHUT IN WELL ON THE PROPERTY AND SEVERAL PLUGGED AND ABANDONED WELLS. THE ERIE LAND COMPANY, TRUE TO ITS CONTINUING COMMITMENT TO RESPECTING THE CONCERNS OF THE BOARD OF TRUSTEES AND THE TOWN'S CITIZENS HAS NEGOTIATED A SURFACE USE AGREEMENT, THAT TAKES EFFECT WHEN THE ERIE LAND COMPANY CLOSES THE LAND (AFTER ANNEXATION AND INITIAL ZONING ARE APPROVED) WITH THE MINERAL RIGHTS OWNER THAT ASSURES THERE WILL BE NO FUTURE DRILLING SITES FOR OIL OR GAS IN NORTH WESTERLY.

WE ARE WORKING WITH THE DITCH COMPANY TO FACILITATE THE CONTINUED USE OF THE DITCH THROUGH THE PROPERTY.

THERE ARE NO OTHER SPECIAL CONDITIONS, OR RESTRICTIONS ON THE PROPERTY.

THE STATE STILL OWNS THE MINERAL RIGHTS.

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REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1			
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WRITTEN NARRATIVE

DRAWN BY:

CGR/JN

DESIGNED BY:

BC/SW

SUBMITTED ON:

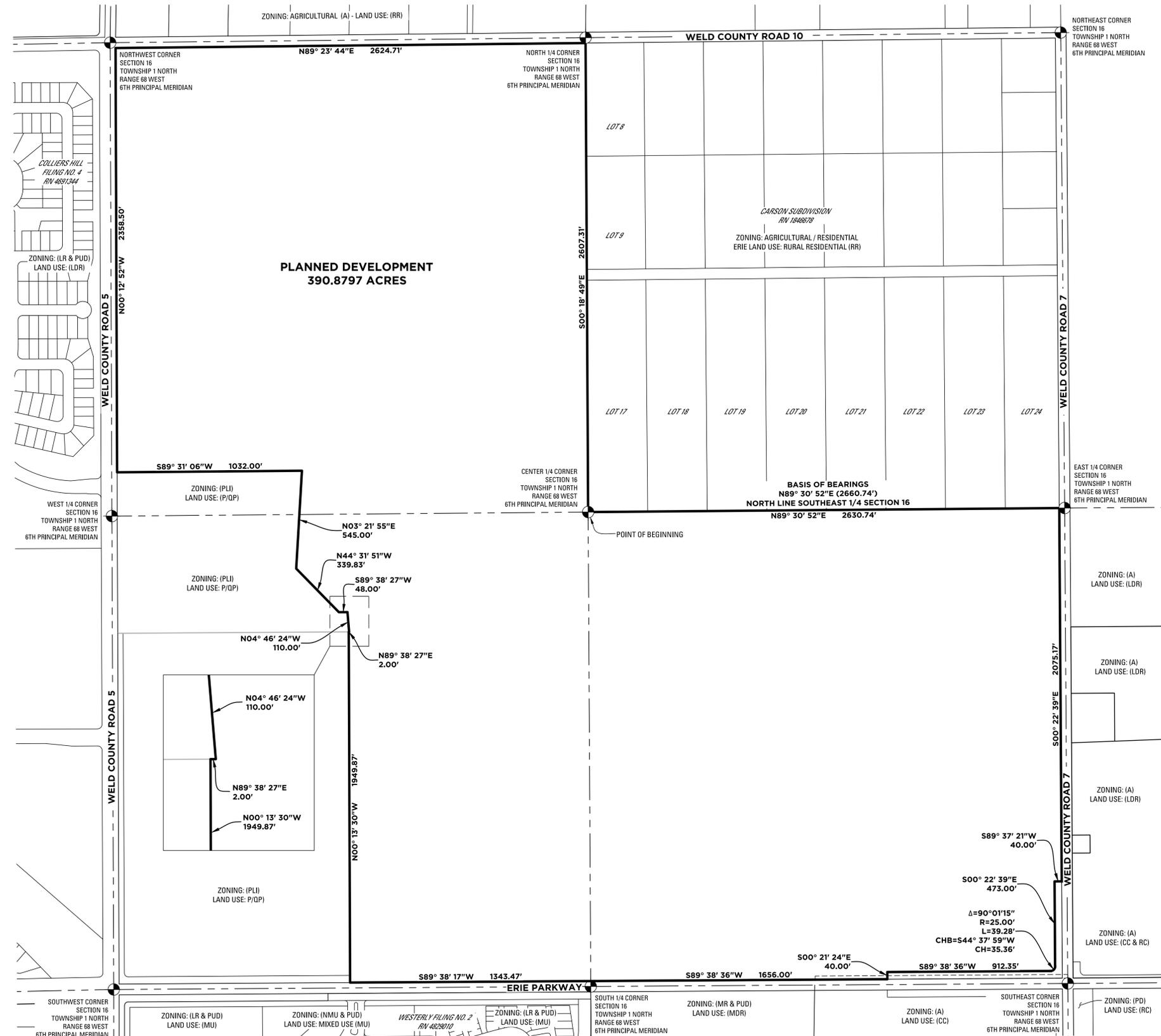
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OF 18

# NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

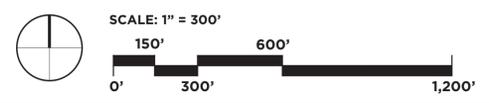
A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO  
390.8797 ACRES  
PD- \_\_\_\_\_

## ZONING MAP



**LEGEND**

- ZONING BOUNDARY
- PROPERTY BOUNDARY
- SECTION LINE
- SECTION CORNER



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### ZONING MAP

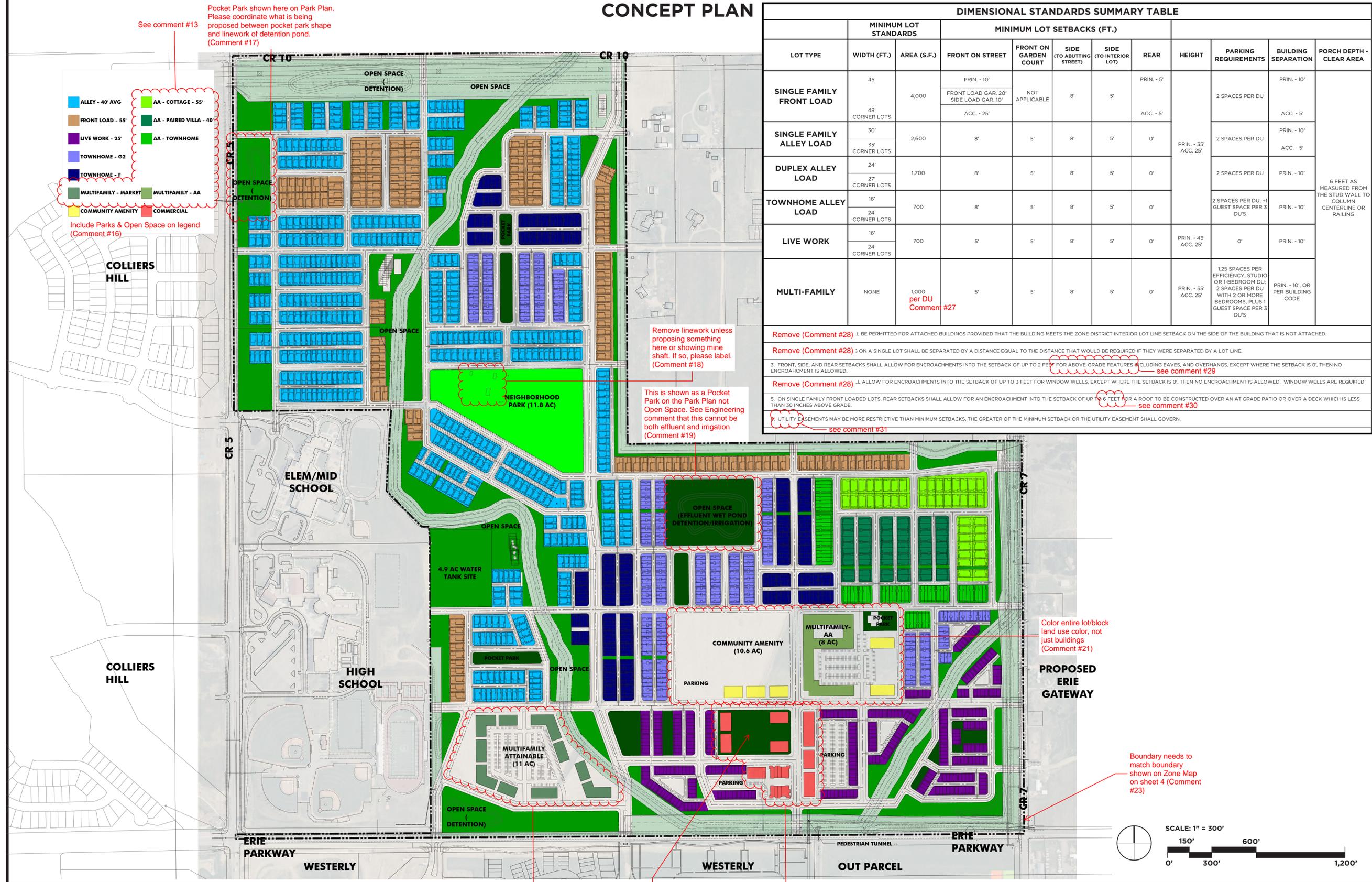
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DESIGNED BY:  
**BC/SW**

SUBMITTED ON:  
**2/09/2023**

# NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

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TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO  
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## CONCEPT PLAN



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2			
3			

SHEET INFO:

CONCEPT PLAN

DRAWN BY: CGR/JN

DESIGNED BY: BC/SW

SUBMITTED ON: 2/09/2023

5 OF 18



# NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

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## BUILDING FORM/CHARACTERISTICS PLAN

### SINGLE FAMILY DETACHED ARCHITECTURAL STANDARDS

THE SINGLE FAMILY DETACHED ARCHITECTURAL STANDARDS AND SINGLE FAMILY ATTACHED ARCHITECTURAL STANDARDS REPLACE SECTIONS 10.6.7.E AND 10.6.7.F OF THE ERIE UNIFIED DEVELOPMENT CODE, AS THE SAME MAY BE AMENDED FROM TIME TO TIME.

#### 1. ARCHITECTURAL VARIETY AND CHARACTER

##### A. ARCHITECTURAL VARIETY

##### I. DESIGN STANDARDS

- A. NO IDENTICAL MODEL PLAN ELEVATION SHALL BE REPEATED DIRECTLY ACROSS ANY STREET FROM THE SAME MODEL PLAN AND ELEVATION.
- B. NO IDENTICAL MODEL PLAN ELEVATION SHALL BE REPEATED MORE THAN ONCE WITHIN EVERY 4 LOTS ON THE SAME SIDE OF ANY STREET.
- C. A MINIMUM OF 3 RECOGNIZABLY DIFFERENT MODEL PLANS WITH 3 RECOGNIZABLY DIFFERENT ELEVATIONS BE SUBMITTED TO THE TOWN FOR REVIEW.

##### II. TRACKING

- A. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE TO THE TOWN A PLAT SHEET TRACKING DOCUMENT THAT MAINTAINS A RECORD OF HOME MODEL VARIETY FOR EVERY DEVELOPMENT PARCEL. THE DEVELOPER SHALL DEMONSTRATE COMPLIANCE WITH THIS SECTION PRIOR TO ISSUANCE OF A BUILDING PERMIT.

##### B. ARCHITECTURAL CHARACTER

EACH SINGLE FAMILY DETACHED MODEL PLAN AND ELEVATION SHALL DEMONSTRATE THE FOLLOWING DESIGN ATTRIBUTES:

##### I. DESIGN STANDARDS:

- A. EACH ELEVATION SHALL INCLUDE A MINIMUM OF TWO WINDOWS (OR ONE WINDOW AND ONE DOOR) PER FLOOR. THERE SHALL BE AT LEAST ONE OPENING (WINDOW OR DOOR) PER QUADRANT OF THE ELEVATION SO THAT LONG STRETCHES OF WALL ARE BROKEN UP BY FENESTRATION. HOWEVER, ELEVATIONS WITH A PARTIAL OR SMALLER UPPER LEVEL (SUCH AS A FRONT FACING GABLE) MAY BE ALLOWED TO HAVE A MINIMUM OF ONE WINDOW IN THE UPPER STORY AND THE WINDOW SHALL BE APPROPRIATE IN SIZE TO THE SCALE OF THE UPPER LEVEL MASS.

##### B. WALL PLANE CHANGE:

WINDOW ARTICULATION THAT ADDS SHADOW AND VISUAL INTEREST IS ENCOURAGED.

THE WALL PLANE CHANGE SHALL BE PROPORTIONAL TO THE BUILDING ELEVATION, HAVE A DEPTH OF AT LEAST 12 INCHES, BE AT LEAST A FULL STORY IN HEIGHT, AND BE AT LEAST 6 FEET WIDE. RECESSED PLANES SHALL BE RECOGNIZABLE AS PART OF THE ELEVATION BEING ENHANCED.



FRONT ELEVATION

EACH FRONT AND REAR ELEVATION SHALL INCLUDE MORE THAN ONE WALL PLANE,

OR, ON FRONT ELEVATIONS ONE WALL PLANE MAY BE ALLOWED WHEN ONE OR MORE OF THE FOLLOWING IS PROVIDED:

1. WINDOW(S) OR DOOR(S) EXCEEDING THE MINIMUM REQUIRED PER FLOOR. THE USE OF SHUTTERS MAY ALSO ENHANCE THE TOTAL SCALE OF FENESTRATION PROVIDED PER ELEVATION QUADRANT.
2. A PORCH OR STOOP THAT IS COVERED.
3. ROOF DORMERS.

C. A VARIETY OF ROOF FORMS SHALL BE USED. SINGLE UNBROKEN ROOF PITCHES SHOULD BE AVOIDED EXCEPT WHERE A SINGLE ROOF TREATMENT IS AN ESSENTIAL ELEMENT OF THE ARCHITECTURAL STYLE. (E.G. MANSARD)

D. THE MAIN ROOF SHALL EXTEND BEYOND THE PRIMARY FAÇADE BY A MINIMUM OF 12 INCHES.

OR, ON HOMES WITH A ROOF PITCH OF 10:12 OR GREATER, A GABLE RAKE OF LESS THAN 12 INCHES MAY BE PERMITTED.

MODELS WITH GABLE RAKE OVERHANGS OF LESS THAN 12 INCHES SHALL NOT BE LOCATED DIRECTLY ACROSS THE STREET FROM EACH OTHER OR MORE THAN ONCE WITHIN EVERY 4 LOTS ON THE SAME SIDE OF ANY STREET.

E. AN ELEVATION OF THE HOME THAT FACES A STREET, PARK, TRAIL CORRIDOR OR OPEN SPACE AREA SHALL PROVIDE AN "ENHANCED ELEVATION" WHICH FURTHER IMPROVES THE ARCHITECTURAL AESTHETIC OF THE RESIDENCE; AN ENHANCED ELEVATION SHALL PROVIDE THREE OF THE FOLLOWING DESIGN ENHANCEMENTS. THE DESIGN ENHANCEMENT SHALL BE APPLIED IN A MANNER THAT IS CONSISTENT WITH THE STYLE OF THE HOME. SIDE AND REAR ELEVATION DESIGN ENHANCEMENTS SHALL BE CONSISTENT WITH THE DESIGN ELEMENTS OF THE FRONT ELEVATION.

1. WINDOW(S) OF SUFFICIENT SIZE AND APPROPRIATE SCALE TO ADD CHARACTER TO THE ELEVATION.
2. A CHANGE IN WALL PLANE AS DEFINED IN SUBSECTION 1.B.I.B ABOVE.
3. A PORCH, PATIO, OR DECK THAT IS COVERED.
4. THE USE OF ARCHITECTURAL DETAIL ELEMENTS SUCH AS SHUTTERS, VENTS, EAVE AND/OR GABLE BRACKETS, EXPOSED RAFTER TAILS, CORBELS, LINTELS, TRELLISES, COLUMNS OR PILASTERS, ADDITIONAL EXTERIOR ACCENT MATERIALS, ETC. WHICH IN COMBINATION CREATE AN ENHANCED ARCHITECTURAL STYLE.
5. THE USE OF TWO OR MORE EXTERIOR MATERIALS. ADDITIONAL MATERIALS SHOULD BE USED IN LOCATIONS WHERE IT IS LOGICAL AND APPROPRIATE AND SHOULD CONTINUE TO A NATURAL TRANSITION POINT. TO ACHIEVE THE ENHANCEMENT THE ADDITIONAL MATERIAL(S) SHALL BE USED TO COVER A MINIMUM OF 15% OF THE ELEVATION BEING ENHANCED. EXTERIOR MATERIALS MAY INCLUDE BUT ARE NOT LIMITED TO MASONRY (CULTURED STONE, STONE, BRICK, STUCCO, OR TILE), LAP SIDING, SHINGLES, BOARD AND BATTEN, OR OTHER DECORATIVE SIDING TREATMENT. DIFFERENT APPLICATION STYLES OF THE SAME MATERIAL, FOR EXAMPLE THE APPLICATION OF LAP SIDING IN DIFFERENT WIDTHS, DOES NOT CONSTITUTE A SECOND MATERIAL.

F. COLUMNS OR POSTS EXTENDING MORE THAN 36 INCHES ABOVE THE GROUND WHICH SUPPORT STRUCTURAL ELEMENTS SUCH AS PORCHES, DECKS, OR ROOFS SHOULD APPEAR TO BE OF ADEQUATE MASS TO SUPPORT THE STRUCTURE ABOVE. (NO EXPOSED 4" X 4" POSTS SHALL BE ALLOWED MORE THAN 36 INCHES ABOVE THE GROUND). COLUMNS SUPPORTING UPPER STORY DECKS SHOULD BE 8" X 8" MINIMUM FINISHED.

#### II. MATERIALS

- A. ALL EXTERIOR MATERIALS SHALL BE OF HIGH QUALITY, USED IN

APPLICATIONS AND TREATED APPROPRIATELY TO PROVIDE AND ATTRACTIVE AND LONG LASTING APPEARANCE.

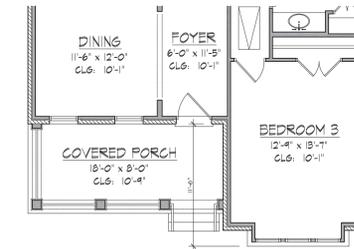
B. WHEN MASONRY IS USED IT SHOULD BE USED IN LOCATIONS WHERE ITS MASS IS LOGICAL AND APPROPRIATE. IN INSTANCES WHERE MASONRY WRAPS THE EXTERIOR CORNER OF THE HOME THE MASONRY SHOULD CONTINUE TO A NATURAL TRANSITION POINT SUCH AS THE INSIDE CORNER OF A PROJECTION WALL, A COLUMN, A DOOR OR WINDOW OR OTHER LOGICAL POINT. IN CASES WHERE NO SUCH FEATURE EXISTS NEAR THE CORNER, THE MASONRY WRAP SHALL EXTEND AT LEAST SIX FEET FROM THE CORNER.

#### 2. ORIENTATION OF DWELLINGS TO THE STREET

A. EACH DWELLING UNIT SHALL FACE THE FRONT LOT LINE OF THE PROPERTY AND HAVE AT LEAST 1 PRIMARY PEDESTRIAN DOORWAY FOR ACCESS TO THE DWELLING UNIT LOCATED ON, OR ADJACENT TO, THE ELEVATION OF THE DWELLING UNIT FACING THE FRONT LOT LINE OF THE PROPERTY. THE DOORWAY SHALL BE NO MORE THAN 20 FEET FROM THE MOST FORWARD PLANE OF THE FORWARD MOST LIVING SPACE WITHIN THE HOUSE AND SHALL BE CLEARLY ACCESSIBLE FROM THE STREET OR PUBLIC AREA ADJACENT TO THE FRONT LOT LINE (EXAMPLE BELOW).

IN CONDITIONS WHERE SIDE LOADED GARAGES ARE UTILIZED, THE FOLLOWING STANDARD APPLIES:  
- THE DOORWAY SHALL BE NO MORE THAN 20' FROM THE FRONT FACING GARAGE WALL PLANE.

B. FOR SINGLE FAMILY FRONT LOADED LOTS ADJACENT TO STREETS ON TWO SIDES (CORNER LOTS), THE DWELLING MAY BE ORIENTED TO EITHER ADJACENT STREET AND THE PEDESTRIAN DOORWAY MAY BE LOCATED FACING EITHER ADJACENT STREET.



#### 3. GARAGES

THESE REGULATIONS FOR GARAGES SHALL BE APPLIED TO NON-LIVING SPACE OR STORAGE AREAS WITHIN GARAGES WHETHER USED FOR STORAGE OF AUTOMOBILES OR OTHER ITEMS.

- A. FRONT LOADED GARAGES:

#### PREPARED FOR:

NORTH WESTERLY  
OWNER, LLC

3990 HILLSBORO PIKE,  
SUITE 400,  
NASHVILLE, TN 37215  
720-531-8924  
CONTACT: HEIDI MAJERIK

#### ENGINEERING:



12500 W. 58TH AVE  
SUITE 230  
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#### LAND PLANNING:

#### SOUTHERN LAND COMPANY

3990 HILLSBORO PIKE,  
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CONTACT:  
BEN CRENSHAW



PCS GROUP, INC.  
200 KALAMATH STREET,  
DENVER, CO - 80233  
720-259-8246  
CONTACT:  
JOHN PRESTWICH

#### REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1			
2			
3			

#### SHEET INFO:

## BUILDING FORM & CHARACTER

#### DRAWN BY:

CGR/JN

#### DESIGNED BY:

BC/SW

#### SUBMITTED ON:

2/09/2023

7  
OF 18

# NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO  
390.8797 ACRES  
PD-\_\_\_\_-\_\_\_\_\_

## BUILDING FORM/CHARACTERISTICS PLAN

PREPARED FOR:

NORTH WESTERLY  
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3990 HILLSBORO PIKE,  
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CONTACT:  
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1			
2			
3			

SHEET INFO:

**BUILDING FORM & CHARACTER**

DRAWN BY:

CGR/JN

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

**8**  
OF 18

- I. GARAGES SHALL BE RECESSED A MINIMUM OF 8'-0" FROM THE FORWARD MOST FAÇADE, FRONT PORCH, OR COVERED STOOP, WHICHEVER LENGTH IS GREATEST, FOR FRONT LOADED LOTS 75' OR GREATER IN WIDTH.
  - II. GARAGES SHALL BE RECESSED A MINIMUM OF 2'-0" FROM THE FORWARD MOST FAÇADE, FRONT PORCH, OR COVERED STOOP, WHICHEVER LENGTH IS GREATEST, FOR FRONT LOADED LOTS BETWEEN 45' AND 74' FEET IN WIDTH.
- B. SIDE LOADED GARAGES:
- I. ON CORNER LOTS WHERE THE GARAGE IS ORIENTED TO THE SIDE LOT LINE RATHER THAN THE FRONT LOT LINE, THE GARAGE MUST BE SET BACK A MINIMUM OF 31' FROM THE FRONT STOOP OR PORCH OR FROM THE FORWARD MOST PLANE OF THE FRONT FAÇADE WHEN THERE IS NOT A STOOP OR PORCH.
- C. ALLEY LOAD GARAGES:
- I. GARAGES MUST BE ORIENTED TO AND ACCESSED FROM THE ALLEY WHEN THE DWELLING IS LOCATED ON A LOT WITH ALLEY ACCESS.
- D. THREE OR MORE CAR GARAGE ORIENTATION:
- WHEN GARAGE BAYS EXCEED TWO, THE ADDITIONAL GARAGE BAYS SHALL EITHER:
- I. HAVE A DIFFERENT ORIENTATION FROM THE FIRST TWO;
  - II. SHALL BE RECESSED BEHIND THE FIRST TWO BY AT LEAST TWO FEET WHEN HAVING THE SAME ORIENTATION; OR
  - III. SHALL BE TANDEM TO THE FIRST TWO.

### 4. FRONT STOOP

A FRONT STOOP IS COMPRISED OF STAIRS AND A PLATFORM WHICH PROVIDES ACCESS TO A FRONT DOOR WHEN THE THRESHOLD IS NOT AT GRADE AND MAY BE COVERED OR UNCOVERED. FOR DWELLING UNITS WITH A FRONT STOOP, THE FRONT STOOP PLATFORM SHALL BE AT LEAST 12 SQUARE FEET.

### 5. FRONT PORCHES

A FRONT PORCH IS COMPRISED OF STAIRS, PLATFORM, AND COLUMNS OR RAILING AND PROVIDES ACCESS TO A FRONT DOOR WHEN THE THRESHOLD IS NOT AT GRADE. A FRONT PORCH HAS A GENEROUS SIZED PLATFORM WHICH CREATES AN OUTDOOR LIVING SPACE AT THE FRONT OF THE HOUSE. FOR DWELLING UNITS WITH A FRONT PORCH, THE FRONT PORCH SHALL BE AT LEAST 60 SQUARE FEET, AND SHALL HAVE A MINIMUM DEPTH OF 6 FEET AS MEASURED FROM THE STUD WALL TO THE COLUMN CENTERLINE OR RAILING.

### SINGLE FAMILY ATTACHED ARCHITECTURAL STANDARDS

THE SINGLE FAMILY DETACHED ARCHITECTURAL STANDARDS AND SINGLE FAMILY ATTACHED ARCHITECTURAL STANDARDS REPLACE SECTIONS 10.6.7.E AND 10.6.7.F OF THE ERIE UNIFIED DEVELOPMENT CODE, AS THE SAME MAY BE AMENDED FROM TIME TO TIME.

### ADDITIONAL STANDARDS FOR DUPLEX & TOWNHOME AREAS

#### 1. BUILDING DESIGN AND CHARACTER

##### a. GENERAL PURPOSE

THE PURPOSES OF THESE BUILDING DESIGN AND CHARACTER STANDARDS ARE TO:

- i. ESTABLISH A MORE PREDICTABLE APPROACH TO DUPLEX AND TOWNHOME AREAS THAT ENCOURAGES CREATIVITY IN DESIGN FOR INDIVIDUALISM OF BUILDINGS OR DWELLING UNITS THAT RESULTS IN ATTRACTIVE, LONG-LASTING NEIGHBORHOODS.

##### b. BUILDING ORIENTATION

###### i. INTENT

TO ORGANIZE THE PRIMARY ENTRANCES AND FAÇADES OF DUPLEX OR TOWNHOME BUILDINGS WITH A CLEAR ORIENTATION TOWARDS A STREET OR COMMON OPEN SPACE/GREENCOURT,

(A) TO CREATE AN INTEGRATED NEIGHBORHOOD APPEARANCE FOR DUPLEX AND TOWNHOME AREAS THAT ESTABLISHES A PATTERN THAT IS INTEGRATED WITH ADJACENT USES INSTEAD OF SEGREGATED AS A SEPARATE SUB-COMMUNITY.

###### ii. DESIGN STANDARDS

(A) THE PRIMARY FAÇADE OF INDIVIDUAL BUILDINGS SHALL BE ORIENTED TOWARDS:

- (1) PRIMARY INTERNAL OR PERIMETER STREETS, OR
  - (2) COMMON OPEN SPACE/GREENCOURTS, SUCH AS INTERIOR COURTYARDS, PARKS, OR ON-SITE NATURAL AREAS OR FEATURES WITH A CLEARLY DEFINED AND EASILY ACCESSIBLE PEDESTRIAN CIRCULATION SYSTEM.
- (B) PRIMARY FAÇADES SHALL NOT BE ORIENTED TOWARDS

ALLEYS, PARKING LOTS, GARAGES, OR CARPORTS.

#### c. ARCHITECTURAL CHARACTER

##### i. INTENT

(A) TO IMPROVE THE APPEARANCE OF DUPLEX AND TOWNHOME AREAS THROUGH THE INCORPORATION OF ARCHITECTURAL DETAILING, FAÇADE ARTICULATION, AND OTHER FEATURES DESIGNED TO PROVIDE A MORE DISTINCT CHARACTER AND HUMAN SCALE FOR BUILDINGS OF ALL SIZES.

(B) TO ENCOURAGE THE USE OF ARCHITECTURAL STYLES THAT REINFORCES THE TOWN'S TRADITIONAL CHARACTER.

##### ii. DESIGN STANDARDS

(A) ALL SIDES OF A DUPLEX OR TOWNHOME BUILDING SHALL DISPLAY A SIMILAR LEVEL OF QUALITY AND ARCHITECTURAL DETAILING. THE MAJORITY OF A BUILDING'S ARCHITECTURAL FEATURES AND TREATMENTS SHALL NOT BE RESTRICTED TO A SINGLE FAÇADE. BUILDING DETAILS, INCLUDING ROOF FORMS, WINDOWS, DOORS, TRIM, AND SIDING MATERIALS, SHALL REFLECT THE ARCHITECTURAL STYLE OF THE BUILDING.

(B) ATTACHED DWELLING UNITS MAY EITHER EXPRESS EACH INDIVIDUAL UNIT OR GIVE EACH BUILDING THE APPEARANCE OF A LARGE SINGLE FAMILY HOME.

(C) THE MAXIMUM LENGTH OF ANY TOWNHOME BUILDING SHALL BE 156 FEET.

(D) THE INCORPORATION OF A VARIETY OF ROOF FORMS IS STRONGLY ENCOURAGED ON DIFFERENTIATED DWELLING UNITS. GENERALLY, DUPLEX OR TOWNHOMES SHALL INCORPORATE ROOF PITCHES OF BETWEEN 3:12 AND 16:12; HOWEVER, ALTERNATIVE ROOF FORMS MAY BE PERMITTED AT THE DISCRETION OF THE COMMUNITY DEVELOPMENT DIRECTOR.

(E) ROOF OVERHANGS SHALL EXTEND BEYOND THE PRIMARY FAÇADE BY A MINIMUM OF 12 INCHES.

OR, ON HOMES WITH A ROOF PITCH OF 10:12 OR GREATER, A GABLE RAKE OF LESS THAN 12 INCHES MAY BE PERMITTED. MODELS WITH GABLE RAKE OVERHANGS OF LESS THAN 12 INCHES SHALL NOT BE PLACED ADJACENT TO OR ACROSS THE STREET FROM 1 ANOTHER.

(F) HORIZONTAL VARIATIONS IN MATERIALS ALONG THE FAÇADE OF A DUPLEX OR TOWNHOME BUILDING SHALL OCCUR IN CONJUNCTION WITH A CHANGE IN WALL PLANE, PREFERABLY AT THE INSIDE CORNER OF A WALL.

#### d. ARCHITECTURAL VARIETY

##### i. INTENT

(A) TO ENSURE THAT INDIVIDUAL GROUPINGS OF DUPLEX OR TOWNHOME BUILDINGS WITHIN A LARGER DEVELOPMENT EXHIBIT A DISTINCT VARIATION IN SIZE AND MASS THAT ALLOWS THEM TO BE EASILY DISTINGUISHED FROM SURROUNDING BUILDING GROUPINGS.

(B) TO AVOID THE BLEAK, "BARRACKS-TYPE" APPEARANCE ASSOCIATED WITH LARGE CONCENTRATIONS OF IDENTICAL OR VERY SIMILAR STRUCTURES.

#### (C) TOWNHOMES

(1) NO MORE THAN 6 TOWNHOME DWELLING UNITS MAY BE ATTACHED IN ANY SINGLE ROW OR BUILDING CLUSTER.

(2) WITHIN EACH TOWNHOME ROW OR CLUSTER, INDIVIDUAL DWELLING UNITS SHALL EITHER BE DIFFERENTIATED OR MAY EXPRESS A PURPOSELY UNIFORM DESIGN.

A. WHEN DWELLING UNITS ARE TO BE DIFFERENTIATED, DWELLING UNITS SHALL BE DIFFERENTIATED THROUGH 2 OR MORE OF THE FOLLOWING METHODS,

- i. USE OF DISTINCT COLOR VARIATION BETWEEN INDIVIDUAL DWELLING UNITS;
- ii. USE OF DISTINCT VARIATIONS IN MATERIALS BETWEEN INDIVIDUAL DWELLING UNITS;
- iii. USE OF DISTINCT VARIATIONS IN ARCHITECTURAL STYLE OR FEATURES, SUCH AS A PORCH OR SIMILAR FEATURE, BETWEEN INDIVIDUAL DWELLING UNITS;
- iv. USE OF DISTINCT VARIATIONS IN ROOF FORM,
- v. A VARIATION IN THE PLANE OF THE FRONT FAÇADE TO PROVIDE A MINIMUM 1 FOOT VARIATION BETWEEN INDIVIDUAL DWELLING UNITS.

B. WHEN UNIFORMITY (SAMENESS OR PATTERN REPETITION) IN DESIGN IS PROPOSED, THIS SHALL BE EXPRESSED THROUGH REPETITION OF 2 OR MORE OF THE FOLLOWING METHODS,

- i. USE OF MATERIALS BOTH IN TYPE AND LOCATION;
- ii. SIZE, STYLE, AND PATTERNING OF WINDOWS;
- iii. SIZE AND DETAILING OF FRONT PORCHES;
- iv. ROOF DORMERS, ROOF FORM, AND ROOF PITCH.

#### (D) DUPLEXES

A CONTINUOUS ROW OF IDENTICAL HOMES ALONG A BLOCK SHALL BE PROHIBITED. INDIVIDUAL STRUCTURES SHALL BE DIFFERENTIATED THROUGH 2 OR MORE OF THE

#### FOLLOWING METHODS:

- USE OF DISTINCT COLOR VARIATION AND MATERIALS BETWEEN INDIVIDUAL STRUCTURES;
- USE OF DISTINCT VARIATIONS IN ROOF FORM, OR
- USE OF DISTINCT VARIATIONS IN ARCHITECTURAL FEATURES, SUCH AS PORCHES, ROOF FORM, WINDOWS, OR SIMILAR FEATURE, BETWEEN INDIVIDUAL STRUCTURES.

(1) MODELS WITH IDENTICAL FAÇADES SHALL NOT BE PLACED ADJACENT TO OR ACROSS THE STREET FROM 1 ANOTHER.

#### e. MATERIALS

##### i. INTENT

(A) TO MAXIMIZE THE QUALITY, VALUE, AND LONGEVITY OF MULTI-FAMILY NEIGHBORHOODS THROUGH THE USE OF DURABLE MATERIALS THAT WILL MINIMIZE MAINTENANCE COSTS AND IMPROVE THE OVERALL APPEARANCE OF THE DEVELOPMENT.

(B) TO ENCOURAGE THE USE OF RECYCLED AND OTHER ENVIRONMENTALLY-FRIENDLY, LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN (LEED) CERTIFIED BUILDING MATERIALS.

##### ii. DESIGN STANDARDS

(A) PRIMARY EXTERIOR BUILDING MATERIALS ON MULTI-FAMILY STRUCTURES SHALL BE CONSTRUCTED FROM DURABLE MATERIALS WITH PRODUCT WARRANTIES OR AN INDUSTRY EXPECTED LIFE OF A MINIMUM OF 25-YEARS.

(B) EXTERIOR INSULATING AND FINISH SYSTEM (EIFS) SHALL NOT BE PERMITTED.

(C) ALL MULTI-FAMILY STRUCTURES SHALL UTILIZE DURABLE, ENVIRONMENTALLY SENSITIVE ROOFING MATERIALS WITH PRODUCT WARRANTIES OR AN INDUSTRY EXPECTED LIFE OF A MINIMUM OF 25 YEARS.

2. PARKING AND GARAGE PLACEMENT  
ON-STREET PARKING SPACES MAY BE COUNTED TOWARDS GUEST PARKING FOR A DUPLEX OR TOWNHOME AREA, PROVIDED THE ON-STREET SPACES ARE LOCATED ON AN ADJACENT OR INTERNAL STREET THAT ALLOWS ON-STREET PARKING. ON-STREET PARKING SPACES BEING COUNTED TOWARDS THE MINIMUM REQUIREMENT FOR GUEST PARKING SHALL BE IDENTIFIED ON PLANS AT TIME OF SUBMITTAL TO THE TOWN. REQUIRED DWELLING UNIT PARKING SHALL BE OFF-STREET. GARAGES SHALL BE ACCESSED FROM AN ALLEY.

#### MULTI-FAMILY DEVELOPMENT STANDARDS

#### A. GENERAL MULTI-FAMILY STANDARDS

1. STAIRWAYS SHALL NOT BE LOCATED OUTSIDE OF THE BUILDING ENVELOPE.
2. EXTERIOR BUILDING LIGHTING SHOULD BE USED TO PROVIDE SAFETY AND SECURITY AND TO HIGHLIGHT ARCHITECTURAL FEATURES. ALL EXTERIOR DOORWAYS SHALL BE LIGHTED ALL NIGHT.
3. ACCESSORY BUILDING SHALL BE FINISHED IN THE SAME MATERIALS AS THE PRINCIPAL BUILDING AND SHOULD BE LOCATED TO THE SIDE OR REAR OF THE PRINCIPAL BUILDING.
4. POST-DEVELOPMENT, THESE PUD STANDARDS SHALL APPLY TO ADDITIONS TO EXISTING BUILDINGS. THE EXTERIOR TREATMENT OF ANY BUILDING ADDITION SHALL, AS A MINIMUM, BE OF THE SAME MATERIALS AND COLORS AS THE EXISTING STRUCTURE.
5. POST-DEVELOPMENT, THESE PUD STANDARDS SHALL APPLY TO ANY MODIFICATION TO THE EXTERIOR OF EXISTING BUILDINGS THAT REQUIRES A BUILDING PERMIT.
6. SCREENING STANDARDS FOR LOADING AREAS SHALL FOLLOW THE REQUIREMENTS OF THE COMMERCIAL PUD STANDARDS.

#### B. MIXED USE SITE STANDARDS

1. SETBACKS AND BUILDING SEPARATIONS SHALL BE MEASURED FROM THE STREET RIGHT-OF-WAY OR PROPERTY LOT LINE.
2. SEE COMMUNITY DESIGN PLANNED UNIT DEVELOPMENT STANDARDS FOR LANDSCAPE REQUIREMENTS WITHIN FRONT, SIDE AND REAR SETBACK AREAS.
3. PARKING REQUIREMENTS

• PARKING REQUIREMENTS SHALL FOLLOW THE UDO. UDC (Comment #49)

• REQUESTS FOR REDUCTIONS IN PARKING REQUIREMENTS SHOULD BE REVIEWED BASED ON THE PROCEDURE OUTLINED IN THE UDO. UDC

• TANDEM PARKING IS ABLE TO BE COUNTED FOR RESIDENTIAL.

• ON-STREET PARKING FOR GUESTS IS ABLE TO BE COUNTED.

6:12 (Comment #45)

Move Comment #46

Remove Comment #47

Move. See comment #43

Move to Lighting Standards (Comment #48)

See comment #42 regarding "mixed-use"

Remove (Comment #50)

Remove (Comment #51)

"garden court" (Comment #44)

# NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO  
390.8797 ACRES  
PD-\_\_\_\_-\_\_\_\_\_

## MULTI-FAMILY DEVELOPMENT STANDARDS

### MIXED USE ARCHITECTURAL STANDARDS

#### 1. BUILDING MASS

- BUILDINGS AND ARCHITECTURAL FACADES SHALL BE ORIENTED TO CREATE A PEDESTRIAN-ORIENTED, ATTRACTIVE STREETScape WITH OUTDOOR ROOMS, SUCH AS ATRIUMS, COURTYARDS, COLONNADES, TRELLISES, PLAZAS, PROMENADES, ETC.
- EACH PRIMARY BUILDING TALLER THAN 38' IN HEIGHT SHALL BE DESIGNED SO THAT THE MASSING OR FACADE ARTICULATION COMPONENTS OF THE BUILDING PRESENTS A CLEAR BASE, MIDDLE, AND TOP. THE BASE OR GROUND FLOOR ELEVATION SHALL BE APPROPRIATELY ARTICULATED TO PROVIDE HUMAN SCALE.
- LONG, UNARTICULATED FACADES SHALL BE AVOIDED BY EMPLOYING ANY COMBINATION OF THE FOLLOWING TO CREATE VISUAL INTEREST AND SHADOW LINES. BUILDINGS HAVING SINGLE WALLS EXCEEDING 50' IN LENGTH SHALL INCORPORATE AT A MINIMUM TWO (2) OF THE FOLLOWING FOR EVERY 50':

#### d. TEXTURED AND/OR PATTERNED SURFACES

- PROJECTIONS OF EXTERIOR BUILDING WALLS, RECESSES AND REVELS IN EXTERIOR BUILDING WALLS A MINIMUM OF 1'
- VARIATIONS IN COLOR
- WINDOW FENESTRATION
- ROOF OVERHANGS
- CHANGES IN PARAPET HEIGHT
- ARCADE, PERGOLAS, TRELLISES
- TOWERS
- GABLE PROJECTIONS
- PILASTERS

Formatting: d. list of items should be under c. which indicates a list of items to choose from (Comment #52)

#### 2. ROOF LINE

- ROOFS ARE TO BE A PROMINENT AND COMPLIMENTARY ELEMENT TO THE BUILDING ARCHITECTURE. IT IS IMPORTANT THAT ROOF FORMS AND VARIATIONS IN PLANES ARE INCORPORATED INTO EACH BUILDING ELEVATION.
- BUILDINGS WITH FLAT ROOFS SHALL BE DESIGNED TO CREATE VISUAL INTEREST BY USING VARIATIONS IN PARAPET HEIGHT IN VARIOUS AREAS.
- INTENSE, BRIGHT OR FLUORESCENT COLORS SHALL NOT BE USED ON ANY ROOF AREAS VISIBLE FROM PUBLIC OR PRIVATE RIGHT-OF-WAY OR PUBLIC OPEN SPACE.
- WHEN SLOPING ROOFS ARE USED, AT LEAST ONE OF THE FOLLOWING ELEMENTS SHALL BE INCORPORATED INTO THE DESIGN FOR EACH 60 LF OF ROOF:
  - PROJECTING GABLES
  - HIPS
  - HORIZONTAL OR VERTICAL BREAKS
  - ALTERNATING ROOF PITCHES
- ALL ROOFTOP MECHANICAL EQUIPMENT AND VENTS GREATER THAN EIGHT INCHES IN DIAMETER SHALL BE SCREENED. SCREENING MAY BE DONE EITHER WITH AN EXTENDED PARAPET WALL OR A FREE-STANDING SCREEN WALL. SCREENS SHALL BE AT A MINIMUM AS TALL AS THE EQUIPMENT THAT THEY HIDE. COLOR AND MATERIALS SHOULD BE COMPATIBLE TO THE ARCHITECTURE OF THE PRINCIPAL STRUCTURE.

Remove Comment #53

Remove Comment #54

Remove Comment #55

Remove Comment #56

Move Comment #57

#### 2. EXTERIOR FINISH MATERIALS

- DIVERSITY IN MATERIALS IS REQUIRED AND A MINIMUM OF TWO (2) DIFFERENT MATERIALS SHALL BE INCORPORATED INTO EACH BUILDING. THESE MATERIALS SHOULD BE USED TO CREATE BASES, SECONDARY FIELDS, OR ACCENT BANDING. BANDING SHALL BE USED TO DIFFERENTIATE BETWEEN A BASE, MIDDLE AND TOP. THE FOLLOWING PRIMARY MATERIALS ARE PERMITTED:
  - BRICK OR THIN SET BRICK
  - CAST STONE OR SYNTHETIC STONE
  - INTEGRALLY COLORED PRE-CAST CONCRETE
  - INTEGRALLY COLORED CONCRETE MASONRY UNITS, SPLIT FACED BLOCK, GROUNDFACE CMU
  - STUCCO OR SYNTHETIC STUCCO
  - PRE-CAST CONCRETE, INTEGRALLY COLORED
  - EIFS
- THE FOLLOWING MATERIALS MAY BE USED AS AN ACCENT MATERIAL IN CONJUNCTION WITH A PRIMARY MATERIAL FROM ABOVE:
  - ORNAMENTAL METAL
  - ARCHITECTURAL TILE
  - WOOD
- BRICK, STONE, STUCCO OR OTHER MASONRY MATERIALS SHALL BE USED ON A MINIMUM OF 30 PERCENT OF ALL EXTERIOR WALLS FACING PUBLIC RIGHT-

OF-WAY. THE TOTAL AREA OF THE WALL TO WHICH THE 30 PERCENT REQUIREMENT APPLIES SHALL BE CALCULATED BY SUBTRACTING FROM THE GROSS WALL AREA ALL AREAS OF GLAZING (E.G., WINDOWS) AND ENTRYWAYS.

- ENTRIES. THE ENTRANCE TO ALL BUILDINGS SHALL BE CLEARLY DEFINED AND INTEGRATED INTO THE BUILDING DESIGN THROUGH THE FOLLOWING TECHNIQUES:
  - THE ENTRY SHALL BE PEDESTRIAN IN SCALE AND DESIGNED TO ENCOURAGE ACTIVITY AND SIGNALIZE BUILDING ENTRY POINTS
  - LANDSCAPE AREAS SHALL BE ORIENTED AND FOCUSED ON THE ENTRANCE
  - MAIN ENTRIES SHALL BE ORIENTED TOWARDS THE PRIMARY STREET
  - USE OF CREATIVE ENTRY TREATMENTS SUCH AS CANOPIES, AWNINGS, CORNICE TREATMENTS OR ATRIUM
  - USE OF INTEGRATED SIGNAGE
- ARCHITECTURAL ACCENTS. EACH PRIMARY STRUCTURE OF 30,000 SF OR MORE CONTAINING PREDOMINANTLY RETAIL USES (INCLUDING BIG BOX RETAIL) SHALL INCLUDE AT LEAST TWO OF THE FOLLOWING FEATURES:
  - AN OUTSIDE PEDESTRIAN COVERED WALKWAY, ARCADE, OR COLONNADE
  - AWNINGS, CANOPIES, OR TRELLISES
  - VISIBLE AREAS OF SLOPED ROOF AT A PITCH OF 1/3 OR GREATER
  - ONE OR MORE VISIBLE TOWER FEATURES

### COMMERCIAL DEVELOPMENT STANDARDS

#### A. GENERAL COMMERCIAL STANDARDS

IT IS THE INTENT OF THIS SECTION THAT THE FOLLOWING QUALITATIVE AND QUANTITATIVE STANDARDS SERVE AS GENERAL GUIDELINES IN THE REVIEW OF SITE PLANS AND BUILDING ELEVATIONS. IT IS NOT EXPECTED THAT EVERY DEVELOPMENT WILL MEET ALL OF THE FOLLOWING STANDARDS, BUT THAT THE PRINCIPLES OF GOOD DESIGN BE APPLIED IN THE BEST COMBINATION DETERMINED BY THE USE, NATURE OF THE SITE, AND LOCATION OF THE DEVELOPMENT. COMMERCIAL BUILDINGS AND STREETScape DESIGN SHALL ACTIVATE PUBLIC RIGHT-OF-WAYS TO THE MAXIMUM EXTENT POSSIBLE.

#### B. COMMERCIAL SITE STANDARDS

- SETBACKS AND BUILDING SEPARATIONS SHALL BE MEASURED FROM THE STREET RIGHT-OF-WAY OR PROPERTY LOT LINE.
- COMMERCIAL LANDSCAPE STANDARDS SHOULD BE REFERENCED FOR LANDSCAPE REQUIREMENTS AND ALLOWED FEATURES WITHIN SETBACK AREAS.
- INTERNAL CONNECTIVITY WILL BE DETERMINED AT TIME OF FINAL PD, BUT SHOULD PROMOTE PEDESTRIAN CONNECTIONS TO MAJOR TRAILS/OPEN SPACE CORRIDORS AND THE SURROUNDING COMMUNITIES.
- EXCEPTIONS TO SETBACK REQUIREMENTS. THE FOLLOWING EXCEPTIONS ARE ALLOWED IN ANY REQUIRED SETBACK, BUT SHALL NOT OBSTRUCT MOTORISTS VISION AT ACCESS POINTS:
  - BUS SHELTERS
  - DRIVEWAYS
  - WALKWAYS
  - STREET FURNITURE
  - SIGNAGE
  - LANDSCAPE FEATURES
  - PUBLIC ART
  - MAILBOXES AND NEWSPAPER RACKS
  - WALL AND FENCES, IN COMPLIANCE WITH THE APPROVED MASTER SITE PLAN OR AN APPROVED FINAL SITE PLAN
  - MINOR UTILITY FACILITIES NOT EXCEEDING 36 INCHES IN HEIGHT
  - PARKING AREA, IF THE EXCEPTION IS ALLOWED THROUGH THE FINAL SITE PLAN
  - OTHER SIMILAR IMPROVEMENTS DETERMINED BY THE PLANNING DIRECTOR TO BE MINOR IN NATURE.

#### 5. PARKING LOTS

- THE CIRCULATION SYSTEM WITHIN COMMERCIAL DEVELOPMENTS, INCLUDING PARKING LOTS, SHALL CONTRIBUTE TO THE ORDER AND AESTHETIC QUALITY OF THE SITE. AESTHETICS, COMPATIBILITY WITH THE OVERALL SITE DESIGN, CONVENIENCE AND SAFETY FOR USERS AND PEDESTRIANS MUST BE CONSIDERED IN PARKING LOT DESIGN.
- PARKING LOTS SHOULD BE SCREENED FROM VIEW FROM PUBLIC STREETS BY USE OF LANDSCAPED BUFFERS, BERMS, OR OTHER SCREENS AS APPROVED. CONTINUOUS SCREENING 30-INCHES IN HEIGHT IS REQUIRED UNLESS AN ALTERNATIVE SCREEN IS APPROVED. ALTERNATIVE LANDSCAPE SCREENING MAY INCLUDE UPRIGHT EVERGREEN TREES OR OTHER TREES OR SHRUBS. PARKING LOT EDGES SHOULD BE TREATED WITH AN AESTHETIC LANDSCAPE TREATMENT.
- ALL AREAS USED FOR THE PARKING OR STORAGE OF VEHICLES SHALL BE PAVED WITH

Remove (Comment #58)



MULTI-FAMILY EXAMPLES



HOTEL EXAMPLE

### PREPARED FOR:

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### REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
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### SHEET INFO:

## MULTI-FAMILY DEVELOPMENT STANDARDS

### DRAWN BY:

CGR/JN

### DESIGNED BY:

BC/SW

### SUBMITTED ON:

2/09/2023

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# NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO  
390.8797 ACRES  
PD- \_\_\_\_\_

## COMMERCIAL PLANNED DEVELOPMENT STANDARDS

ASPHALT, CONCRETE, OR APPROVED PAVING MATERIALS.

- d. PEDESTRIAN CONNECTIVITY SHOULD BE PROVIDED BETWEEN THE PARKING, THE BUILDINGS, AND TO MAJOR TRAIL CONNECTIONS.
6. LOADING DOCKS. LOADING DOCKS SHOULD BE SCREENED BY USE OF OPAQUE FENCES, WALLS OR LANDSCAPED BUFFERS, BERMS OR OTHER ALTERNATIVE SCREENS AS APPROVED. SCREENS SHALL BE HIGH ENOUGH TO HIDE DELIVERY AREAS FROM PUBLIC STREETS AND ADJACENT PROPERTIES. ALTERNATIVE LANDSCAPE SCREENING MAY INCLUDE UPRIGHT EVERGREEN TREES OR OTHER TREES OR SHRUBS AS APPROVED.

Move (Comment #48)

7. AREA LIGHTING. AREA LIGHTING SHALL BE ADEQUATE TO PROVIDE FOR SAFETY AND SECURITY ON SITE. ALL LIGHT SOURCES SHALL BE SCREENED FROM VIEW OF ADJACENT PROPERTIES AND PUBLIC RIGHTS-OF-WAY. LIGHT POLES OF A MINIMUM HEIGHT TO PROVIDE ADEQUATE LIGHTING SHOULD BE USED. SEVERAL SHORT POLES ARE PREFERRED TO ONE TALLER POLE. LIGHT FROM COMMERCIAL DEVELOPMENTS MAY NOT SPILL ONTO RESIDENTIAL SITES. NOT MORE THAN 1-FOOT CANDLE FROM COMMERCIAL DEVELOPMENTS SHALL BE PERMITTED LEAVE THE PROPERTY/SITE. A PLAN TO REDUCE UNNECESSARY LIGHTING AFTER BUSINESS HOURS SHALL BE PROVIDED.

### C. COMMERCIAL ARCHITECTURAL STANDARDS

#### 1. BUILDING MASS

- a. COMMERCIAL BUILDINGS SHALL ACHIEVE A HUMAN SCALE APPROPRIATE TO THE SITE AND FUNCTION OF THE PROJECT. BUILDING MASS SHALL CREATE HARMONIOUS TRANSITIONS IN SCALE AND CHARACTER IN AREAS BETWEEN DIFFERENT LAND USES. ARCHITECTURAL QUALITY AND OVERALL DESIGN SHALL BE COMPATIBLE WITH THE SITE LOCATION AND PROPOSED USE AS DEMONSTRATED BY BUILDING ELEVATIONS. DIVERSE ARCHITECTURAL TREATMENTS SHALL BE INTEGRATED TO AVOID A CLUTTERED APPEARANCE.

- b. STOREFRONT WINDOWS SHALL PROVIDE GROUND-LEVEL FENESTRATION ON BUILDINGS LOCATED ALONG PUBLIC STREETS. WALL-MOUNTED SIGNAGE SHALL ALSO BE ON THE BUILDING FACES ADJACENT TO THE RIGHT-OF-WAY.

Remove (Comment #59)

- c. BUILDINGS ADJACENT TO "MAIN STREET" SHOULD BE CLOSE TO THE ROADWAY. FOUR-SIDED ARCHITECTURE IS REQUIRED. WALLS AND SCREENING SHOULD BE USED TO HIDE ANY DRIVE-THROUGH LOCATED ADJACENT TO "MAIN STREET".

Define (Comment #60)

See comment #61

See comment #62

- d. COMMERCIAL BUILDINGS SHALL PROVIDE ARTICULATION BY APPLYING AT LEAST FOUR (4) OF THE FOLLOWING TREATMENTS TO ALL EXTERIOR WALLS (THIRD-STORY STEP BACK IS NOT REQUIRED):

See comment #63

- VARIATIONS IN HEIGHT
- OFFSETS IN WALL PLANE
- VARIATIONS IN ROOF LINE
- CORNICE TREATMENTS
- RECESSED OR PROJECTED ENTRYWAYS
- RECESSED WINDOWS
- CANOPIES OR AWNINGS
- MORE THAN ONE FINISH MATERIAL
- MORE THAN ONE COLOR
- OTHER ARCHITECTURAL DETAILS THAT PREVENT THE APPEARANCE OF MASSIVE AND FEATURELESS WALLS

#### 2. EXTERIOR FINISH MATERIALS.

- a. ALL EXTERIOR MATERIALS SHALL BE OF HIGH QUALITY SUCH THAT THEY ARE DURABLE, EASY TO MAINTAIN, AND PROVIDE FOR A LONGEVITY OF USE. BUILDING BASE MATERIALS SHALL BE MASONRY, BRICK, STONE, STUCCO, OR OTHER APPROVED MASONRY MATERIALS SHALL BE USED ON A MINIMUM OF 30 PERCENT OF ALL EXTERIOR WALLS.
- b. THE SECONDARY EXTERIOR WALL MATERIAL USED FOR THE SIDE WALLS, BACKS WALLS, AND INFILL WALLS MAY BE FINISHED ARCHITECTURAL BLOCK, COMPOSITE SIDING, OR TREATED WOOD. THE PREFERRED ACCENT MATERIALS FOR INCORPORATION INTO THE BASIC EXTERIOR FACADES SHALL INCLUDE STUCCO, STONE, TILE, OR PRE-FINISHED METAL.
- c. THE FOLLOWING MATERIALS ARE PROHIBITED:
- ALUMINUM SIDING OR CLADDING (COMPOSITE ALUMINUM ALLOWED AT CANOPIES AND ENTRANCES)
  - PLASTIC OR VINYL SIDING
  - UNFINISHED CONCRETE MASONRY UNITS OR CONCRETE WALL
  - SHIPPING CONTAINERS OR CONEX BOXES
  - REFLECTIVE GLASS

4. ACCESSORY BUILDINGS. ACCESSORY BUILDING SHALL BE FINISHED IN THE SAME MATERIALS AS THE PRINCIPAL BUILDING.

5. SHOPPING CENTERS. BUILDINGS THAT SHARE COMMON PARKING AREAS OR DRIVEWAYS SHOULD ALSO SHARE EXTERIOR DESIGN ELEMENTS AND FINISH MATERIALS.

6. CORPORATE IDENTITY. IT IS RECOGNIZED THAT MANY CORPORATIONS HAVE IDENTIFIABLE CORPORATE ARCHITECTURE. THIS IS NOT PROHIBITED BUT SHOULD BE MODIFIED, IF NECESSARY, TO BE COMPATIBLE WITH THE LOCATION OF THE PROPOSED BUILDING AND CONSISTENT WITH THESE DESIGN STANDARDS.

7. BUILDING ADDITIONS. POST DEVELOPMENT, THESE STANDARDS SHALL APPLY TO ADDITIONS TO EXISTING BUILDINGS. THE EXTERIOR TREATMENT OF ANY BUILDING ADDITIONS SHALL, TO THE EXTENT PRACTICAL AND FEASIBLE, BE OF THE SAME MATERIALS AND COLORS AS THE

EXISTING STRUCTURE.

8. EXTERIOR BUILDING MOUNTED LIGHTING. EXTERIOR LIGHTING SHOULD BE USED TO EMPHASIS ENTRYWAYS AND ARCHITECTURAL FEATURES. ALL LIGHT SOURCES SHALL BE SCREENED FROM VIEW OF ADJACENT PROPERTIES AND PUBLIC RIGHTS-OF-WAY. A PLAN TO REDUCE UNNECESSARY LIGHTING AFTER BUSINESS HOURS SHALL BE PROVIDED.

9. EXTERIOR REMODEL. POST DEVELOPMENT, ANY FUTURE MODIFICATION TO THE EXTERIOR OF EXISTING BUILDINGS WHICH REQUIRES A BUILDING PERMIT WILL BE SUBJECT TO THE STANDARDS SET OUT IN THIS PD.

See Comment #65

TABLE 1. COMMERCIAL STANDARDS	
MINIMUM FLOOR AREA - RESIDENTIAL	500 SF / UNIT
MINIMUM FLOOR AREA - COMMERCIAL	NONE <sup>1</sup>
MINIMUM LOT AREA	NONE
MINIMUM LOT WIDTH	NONE
MAXIMUM HEIGHT	60'
MAXIMUM FLOOR AREA RATIO FOR NON-RESIDENTIAL USES	1.0
MAXIMUM DENSITY	30 UNITS/ACRE
MINIMUM OPEN SPACE REQUIREMENT	20% <sup>2</sup>
MINIMUM BUILDING SETBACK	0'
MINIMUM BUILDING SETBACK - FRONT	15'
MINIMUM PARKING SETBACK	5'
MINIMUM SIDE SETBACK, INTERIOR	0'
MINIMUM REAR SETBACK	10'
MINIMUM PARKING SETBACK	5'
MINIMUM PARKING	PER TOE UDC

Move Comment #64

1. LIVE-WORK UNITS DO NOT REQUIRE A GROUND-FLOOR WORK/RETAIL USE. LIVE-WORK UNITS PERMIT A GROUND-FLOOR WORK/RETAIL USE THAT IS PERMITTED TO CHANGE OVER TIME.  
2. EXCLUDES BUILDINGS, PARKING, AND DRIVEWAYS. ALL OTHER AREAS INCLUDED.



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3			

SHEET INFO:

COMMERCIAL DEVELOPMENT STANDARDS

DRAWN BY:

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DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

10 OF 18

# NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

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See Comment #65 for entire page



**BANK - FRONT STREET VIEW**



**REMOTE DRIVE THROUGH**

See comment #66

**EXAMPLE DRIVE THROUGH**

- a. WE ARE PROVIDING THIS EXAMPLE OF HOW A DRIVE THROUGH FOR A BANK HAS BEEN SUCCESSFULLY INTEGRATED INTO THE PEDESTRIAN MIXED USE ENVIRONMENT IN SOUTHERN LANDS WESTHAVEN COMMUNITY.
- b. THE DRIVE THROUGH IS NOT VISIBLE FROM THE PRIMARY MIXED USE STREET FRONTAGE.
- c. IN GENERAL, PARKING LOTS AND STACKING LANES SHOULD BE LOCATED AWAY FROM AND OUT OF SIGHT OF THE PUBLIC RIGHT-OF-WAY.
- d. PARKING ACCESS POINTS, WHETHER LOCATED IN FRONT, SIDE, OR REAR, SHOULD BE LOCATED AS FAR AS POSSIBLE FROM STREET INTERSECTIONS TO ALL ADEQUATE STACKING ROOM.
- e. STRUCTURES AND ON-SITE CIRCULATION SYSTEMS SHOULD BE LOCATED TO MINIMIZE PEDESTRIAN AND VEHICLE CONFLICTS.
- f. RECIPROCAL ACCESS BETWEEN ADJACENT PARKING AREAS SHOULD BE PROVIDED WHERE FEASIBLE SO THAT VEHICLES ARE NOT REQUIRED TO ENTER THE STREET IN ORDER TO MOVE FROM ONE AREA TO ANOTHER ON THE SAME OR ADJACENT SITES.
- g. CURB-CUTS SHOULD BE MINIMIZED TO REDUCE PEDESTRIAN CONFLICTS ALONG THE STREET AND ENCOURAGE WALKABILITY AND ACCESSIBILITY.
- h. DRIVEWAYS OR SITE ACCESS SHOULD BE PROVIDED ON NON-RESIDENTIAL SIDE STREETS OR LESS MAJOR STREETS WHERE POSSIBLE TO IMPROVE PEDESTRIAN SAFETY AND REDUCE PEDESTRIAN AND VEHICLE CONFLICTS OR VEHICLE STACKING ON MAJOR STREETS.



**PLAN VIEW**

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REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
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SHEET INFO:

**COMMERCIAL  
DEVELOPMENT  
STANDARDS**

DRAWN BY:  
CGR/JN  
DESIGNED BY:  
BC/SW

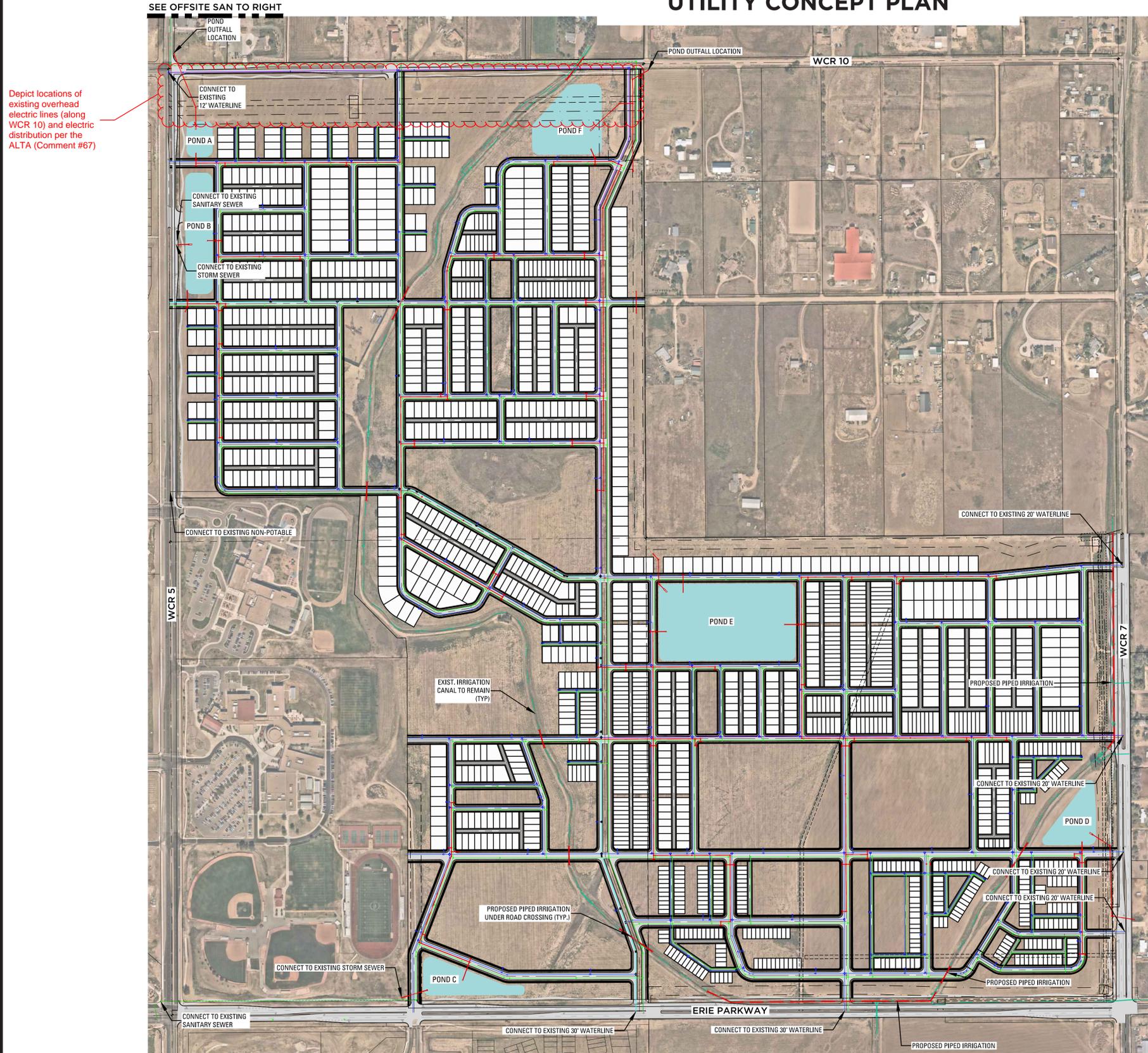
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OF 18**

# NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
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## UTILITY CONCEPT PLAN

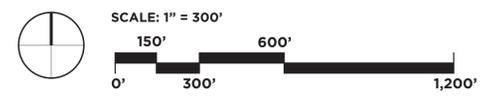


Depict locations of existing overhead electric lines (along WCR 10) and electric distribution per the ALTA (Comment #67)

MATCHLINE- SEE BELOW



- LEGEND**
- 8" WATERLINE
  - 12" WATERLINE
  - 16" WATERLINE
  - SANITARY SEWER
  - STORM SEWER
  - PROPOSED DRAINAGE SWALE
  - ▲ FIRE HYDRANT
  - SANITARY MANHOLE
  - STORM MANHOLE
  - TYPE "R" INLET
  - AREA INLET



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## UTILITY CONCEPT PLAN

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DESIGNED BY:  
**BC/SW**

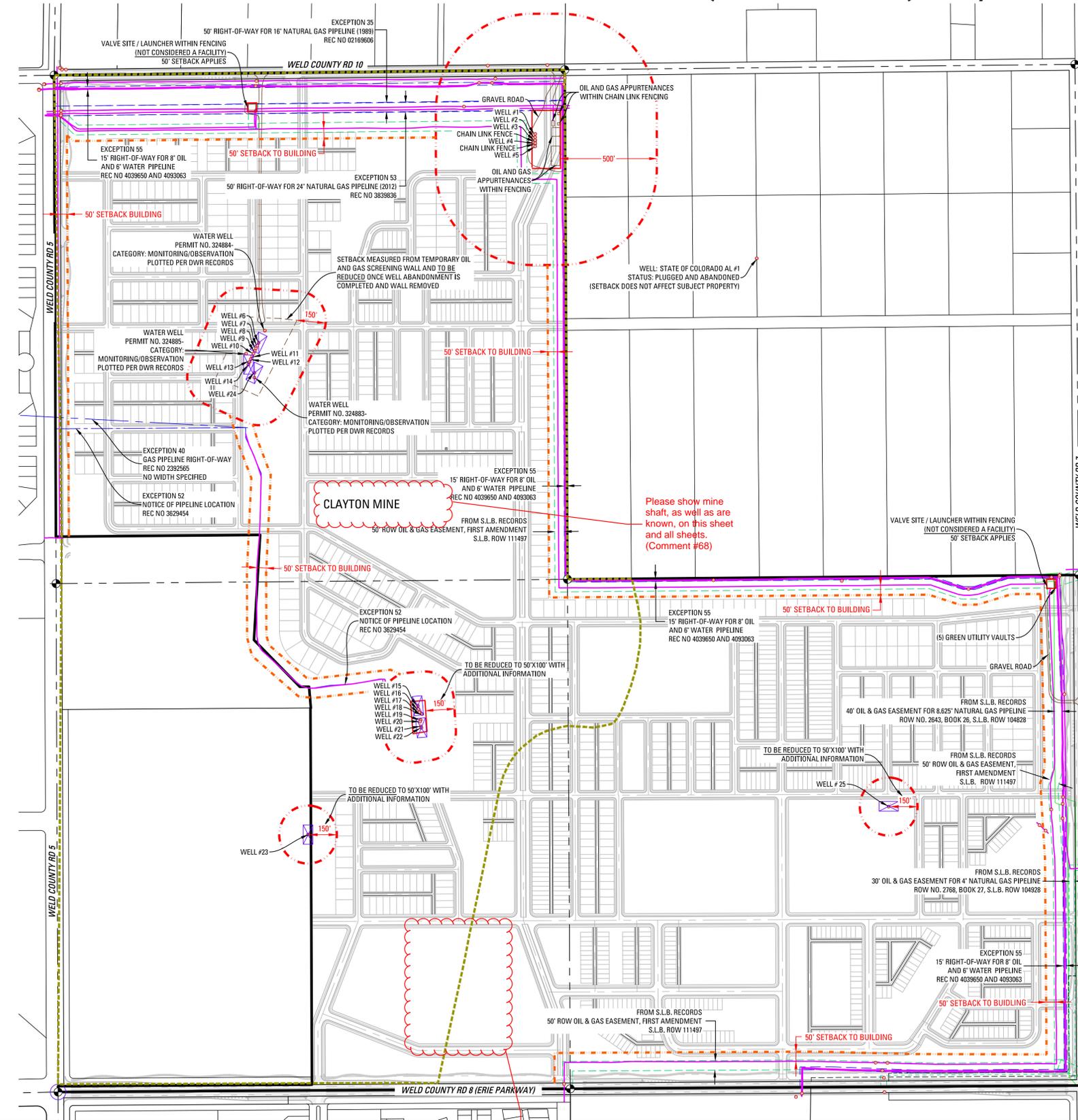
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# NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

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## UNDERMINING (IF APPLICABLE) AND/OR OIL/GAS PLAN



### LEGEND:

- (1) PETROLEUM PIPE LINE MARKER POST & (1) PRODUCED WATER PIPE LINE MARKER POST
- NATURAL GAS PIPE LINE MARKER POST
- PETROLEUM PIPE LINE MARKER POST
- WATER WELL AS DESCRIBED
- OIL WELL HEAD AS DESCRIBED
- OIL & GAS WELL SETBACK TO LOT LINE (See Comment #71)
- OIL & GAS WELL SETBACK TO BUILDING
- APPROXIMATE LIMITS OF ABANDONED CLAYTON COAL MINE (PER FIGURE 2, PRELIMINARY MINE SUBSIDENCE INVESTIGATION, PREPARE BY WESTERN ENVIRONMENT AND ECOLOGY, INC. DATED DECEMBER 19, 2022).
- REDUCED 50'X100' OIL & GAS WELL SETBACK TO LOT LINE (REDUCED WITH TOWN ACCEPTANCE OF QUALITY OF INFO. PROVIDED)
- OIL & GAS FLOWLINES / GATHERING LINES
- GRAVEL OR DIRT ROAD
- FENCE ENCLOSING OIL AND GAS FACILITIES (RECORDED AT WELD COUNTY)
- EASEMENTS ASSOCIATED WITH OIL AND GAS FACILITIES (NOT RECORDED AT COUNTY OR FOUND IN TITLE COMMITMENT)
- EASEMENTS ASSOCIATED WITH OIL AND GAS FACILITIES AND FOUND IN STATE LAND BOARD RECORDS (NOT RECORDED AT COUNTY OR FOUND IN TITLE COMMITMENT)
- SUBJECT PROPERTY BOUNDARY



### APPLICABLE SETBACKS PER ERIE UDC:

SETBACKS FROM ACTIVE FACILITIES (PR, SI, TA STATUS)	500' FROM WORKING PAD
SETBACKS FROM PLUGGED AND ABANDONED WELLS	150 FEET, TO BE REDUCED ONCE THE CONDITIONS OF 10-06-14.E.3.1 ARE MET: i. THE PLUGGED AND ABANDONED WELL HAS BEEN LOCATED TO A CERTAINTY NOT LESS THAN FIVE FEET HORIZONTALLY; ii. A THIRD PARTY, APPROVED BY THE TOWN, HAS CONFIRMED THAT THERE IS NO HYDROCARBON CONTAMINATION WITHIN THE SUBJECT OIL AND GAS LOCATION IN WHICH THE PLUGGED AND ABANDONED WELL IS LOCATED, OR THAT SUCH HYDROCARBON CONTAMINATION HAS BEEN REMEDIATED TO BACKGROUND LEVELS, AND iii. A REPORT REVIEWING THE RECORDS ON FILE WITH THE COGCC AND CERTIFYING IN WRITING THAT THE WELL HAS BEEN PLUGGED IN ACCORDANCE WITH THE COGCC RULES CURRENT AT THE TIME OF THE CERTIFICATION, OR THE WELL IS RE-PLUGGED IN ACCORDANCE WITH THE COGCC RULES CURRENT AT THE TIME OF THE APPLICATION; iv. PROVIDED THAT, IN NO CASE SHALL A REDUCTION IN A RECIPROCAL SETBACK FROM A PLUGGED AND ABANDONED WELL RESULT IN LESS THAN A RECIPROCAL SETBACK FROM A PLUGGED AND ABANDONED WELL LOCATED AT THE CENTER.  NO PLUGGED AND ABANDONED WELLS WITHIN ROW OR PARKS NO NEW PUBLIC RIGHT-OF-WAY SHALL BE WITHIN 25 FEET OF A PLUGGED AND ABANDONED WELL. NO BUILDING THAT IS REQUIRED A CD SHALL BE LESS THAN 150 FEET FROM A PLUGGED AND ABANDONED WELL.
SETBACKS FROM PIPELINES	NO RESIDENTIAL LOTS WITHIN (MINIMUM 30 FT) EASEMENTS, NO OCCUPIED BUILDINGS WITHIN 50 FT OF THE CENTERLINE.

### OIL AND GAS WELL HEAD INFORMATION TABLE:

IDENTIFIER	WELL NAME	WELL STATUS	LOCATION SOURCE
WELL #1	STATE #26-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #2	STATE #11-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #3	STATE #2-16	SHUT IN	PLOTTED PER COGCC RECORDS
WELL #4	STATE #8-16	SHUT IN	PLOTTED PER COGCC RECORDS
WELL #5	STATE #7-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #6	STATE #35-9	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #7	STATE #28-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #8	STATE #4-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #9	STATE #3-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #10	STATE #21-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #11	STATE #6-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #12	STATE #30-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #13	STATE #32-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #14	STATE #5-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #15	STATE #22-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #16	STATE #11-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #17	STATE #25-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #18	STATE #12-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #19	STATE #33-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #20	STATE #13-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #21	STATE #35-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #22	STATE #14-16	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #23	STATE OF CO. AL #2	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #24	STATE OF CO. AL #1	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS
WELL #25	STATE #16-9V	PLUGGED & ABANDONED	PLOTTED PER COGCC RECORDS

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REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1			
2			
3			

SHEET INFO:

UNDERMINING/  
OIL & GAS PLAN

DRAWN BY:  
CGR/JN  
DESIGNED BY:  
BC/SW

SUBMITTED ON:  
2/09/2023

13  
OF 18

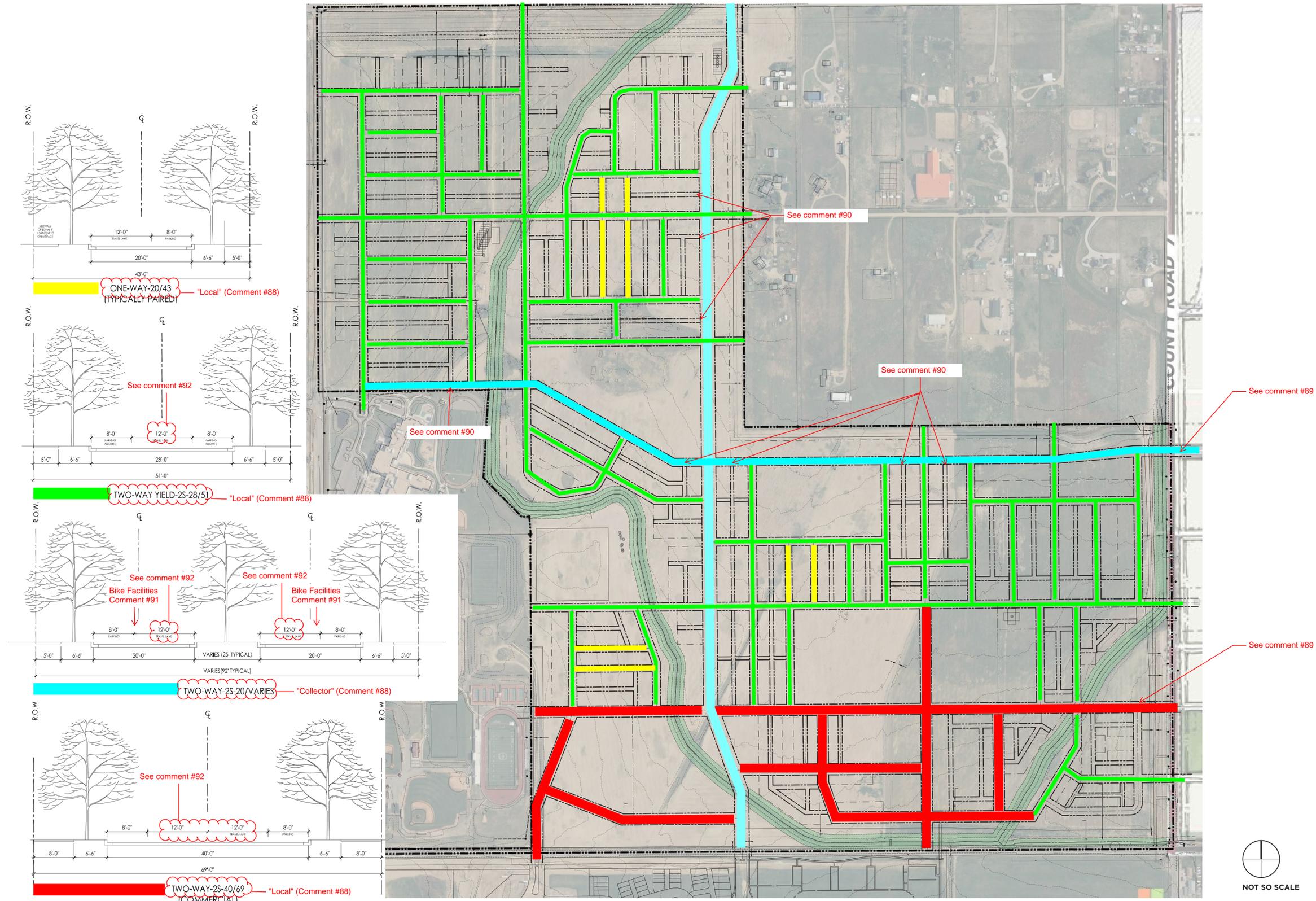
Staff is concerned about the undermining impacting the developability of the larger multi-family buildings in Phase 1. (Comment #69)

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## CIRCULATION PLAN AND TYPICAL ROAD SECTIONS

\*Streetscape Plan\*  
See comment #72



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## CIRCULATION PLAN AND TYPICAL ROAD SECTIONS

DRAWN BY:

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DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

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OF 18



NOT SO SCALE

# NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

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## SIGNAGE PLAN - OVERALL PHOTOMETRIC PLAN

### SIGNAGE PLAN:

- LIST OVERALL DESIGN INTENT  
*THE OVERALL DESIGN INTENT FOR SIGNAGE IN THIS PEDESTRIAN ORIENTED COMMUNITY IS TO BE UNDERSTATED WITH HIGH QUALITY MATERIALS AND QUALITY EXECUTION AND DESIGN SIMPLICITY.*
- PROVIDE MASTER SIGNAGE CHARACTERISTICS  
*AT THIS EARLY STAGE IN THE DESIGN OF THE COMMUNITY WE ANTICIPATE PRIMARY ENTRY MONUMENTS ON ERIE PARKWAY, AND LIKELY SECONDARY MONUMENTS ON COUNTY ROAD 5 AND COUNTY ROAD 7, WITH THE POTENTIAL FOR RETAIL AND INTERNAL IDENTIFICATION SIGNAGE THROUGHOUT THE PROJECT THAT WILL BE OF A SIMILAR DESIGN CHARACTER.*
- PROVIDE SIGN CHARACTERISTICS  
*BELOW ARE RENDERINGS OF SIGN CHARACTERISTICS DEVELOPED FOR THE WESTERLY COMMUNITY, WE ANTICIPATE USING A SIMILAR SIGN CHARACTERISTIC FOR NORTH WESTERLY SO THE COMMUNITY FEELS COHESIVE.*

### PRIMARY ENTRY MONUMENT



### SECONDARY ENTRY MONUMENT



### TRAIL MARKER



### OVERALL PHOTOMETRIC PLAN:

- PROVIDE OVERALL LIGHTING CONCEPT AND THEMES  
*NORTH WESTERLY INTENDS TO FOLLOW THE TOWN OF ERIE REQUIREMENTS FOR STREET LIGHTING. IN GENERAL OTHER LIGHTING THROUGHOUT THE COMMUNITY WILL UTILIZE PEDESTRIAN SCALED LIGHT FIXTURES IN PARK AREAS, AND POTENTIALLY BOLLARD STYLE LIGHTING IN THE COMMERCIAL MIXED USE AREAS. BELOW ARE SOME HIGH LEVEL GUIDELINES FOR HOW LIGHTING WILL BE EVALUATED IN NORTH WESTERLY.*
  - ONLY BE ON WHEN NEEDED
  - ONLY LIGHT THE AREA THAT NEEDS IT
  - BE NO BRIGHTER THAN NECESSARY
  - MINIMIZE BLUE LIGHT EMISSIONS
  - BE FULLY SHIELDED (POINTING DOWNWARD)
- ESTABLISH FIXTURE STYLES  
*BELOW ARE SOME POTENTIAL PEDESTRIAN AND BOLLARD LIGHTS THAT DEPICT THE DESIGN AND QUALITY INTENT FOR NORTH WESTERLY.*

### PEDESTRIAN AND BOLLARD LIGHTING



PREPARED FOR:

NORTH WESTERLY  
OWNER, LLC

3990 HILLSBORO PIKE,  
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CONTACT:  
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1			
2			
3			

SHEET INFO:

SIGNAGE PLAN -  
PHOTOMETRIC PLAN

DRAWN BY:

CGR/JN

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

15  
OF 18

# NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

A PARCEL OF LAND LOCATED IN SECTION 16, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO  
390.8797 ACRES  
PD- \_\_\_\_\_

## PARKS - OPEN SPACE AND LANDSCAPE CHARACTER

### INTENT & CHARACTER:

#### NORTH WESTERLY LANDSCAPE CONCEPT

THE INTENT OF THIS NARRATIVE IS TO DESCRIBE THE LANDSCAPE DESIGN FOR NORTH WESTERLY. TWO LANDSCAPE SECTIONS MAKE UP THE LANDSCAPE PORTION OF THIS NARRATIVE.

1. LANDSCAPE DESIGN FOR THE COMMERCIAL AND RESIDENTIAL STREETSCAPES, INCLUDING MEDIANS, THE GREENWAY, AND THE PARKS. THIS INCLUDES PLANTINGS, STREET AND PEDESTRIAN LIGHTING, PARKWAYS, SITE FURNISHINGS AND SIGNAGE.
2. RESIDENTIAL LANDSCAPE DESIGN GUIDELINES, WHICH ESTABLISH THE LANDSCAPE REQUIREMENTS FOR INDIVIDUAL LOTS.

TWO CONCEPTS GUIDE THE APPROACH TO PUBLIC LANDSCAPE IN STREET RIGHT-OF-WAYS AND PRIVATE PARKS, AND TO PRIVATE LANDSCAPE ON RESIDENTIAL LOTS. THE FIRST DESIGN CONCEPT IS BASED ON THE GRADUAL TRANSITIONS BETWEEN ECOLOGIES FOUND IN NATURAL SETTINGS, WHICH AT NORTH WESTERLY IS USED TO STRUCTURE A GRADUAL TRANSITION FROM THE LANDSCAPE CHARACTER OF A MORE URBAN ENVIRONMENT TO THE CHARACTER OF A LESS URBAN ENVIRONMENT. THE SECOND DESIGN CONCEPT IS BASED ON THE DESIRE TO CREATE CHARACTER DISTINCTIONS BETWEEN NEIGHBORHOODS THROUGH DIFFERING ARCHITECTURAL STYLES AND LANDSCAPE CONCEPTS THAT ARE APPROPRIATE TO THESE STYLES. COMBINING AND OVERLAYING THESE TWO IDEAS CREATES A CONCEPTUAL RICHNESS THAT BLENDS BOTH CONSISTENCY AND DIVERSITY. THESE IDEAS AID IN CREATING THE VISION FOR WESTERLY, THAT HAS IDENTIFIABLE AND COHESIVE NEIGHBORHOODS, AND YET HAS A DIVERSITY IN CHARACTER AS IT TRANSITIONS FROM URBAN TO LESS URBAN.

#### PUBLIC STREETSCAPES AND PRIVATE PARKS

THE LANDSCAPE DESIGN OF NORTH WESTERLY RECALLS CLASSIC LANDSCAPES OF NEO-TRADITIONAL NEIGHBORHOODS AND PATTERNS FOUND IN TRADITIONAL COMMUNITIES.

**TREE SPECIES DIVERSITY/CHARACTER:** LIKE SUCCESSFUL URBAN NEIGHBORHOODS, A TAPESTRY OF STREET TREES WILL BE WOVEN THROUGHOUT THE COMMUNITY AND SOUTHERN LAND WILL PROVIDE A STREET TREE PLAN FOR THE FULL COMMUNITY. THE PRIMARY ENTRY POINTS, THE CORE VILLAGE AREA AND THE SOUTH PORTION OF THE SPINE TRAIL CORRIDOR GIVES WESTERLY'S STREET ENVIRONMENT A COHESIVE AND IMAGEABLE STRUCTURE THAT UTILIZES A LIMITED PALETTE OF TREE SPECIES. TREE DIVERSITY EXPRESSED IN THE SIDE STREETS WILL PROVIDE GREATER VARIATION AND PROTECTION FROM A SPECIES MONOCULTURE. THE LANDSCAPE PROPOSED ALONG THE ADJACENT ARTERIAL ROADWAYS SHOULD INCLUDE FORMAL PLANTINGS. THE PLANTING PLANS SHOULD PUT LESS EMPHASIS ON EVERGREEN TREES BECAUSE FEW CONIFEROUS SPECIES TRADITIONALLY OCCUR IN THIS SEMI-ARID CLIMATE.

#### RESIDENTIAL LANDSCAPE

GIVEN THE TWO GUIDING CONCEPTS OF THE GRADUAL TRANSITION FROM URBAN TO LESS URBAN AND THE CREATION OF IDENTIFIABLE NEIGHBORHOODS, EACH WITH ITS OWN CHARACTER, THE LANDSCAPE CONTENT OF RESIDENTIAL HOMES WILL VARY.

**PLANT SPECIES/CHARACTER:** IN THE URBAN NEIGHBORHOODS, WHICH CONTAIN SMALLER HOMES, FRONT YARDS WILL RELY ON THE ABUNDANCE OF STREET TREES IN THE PUBLIC RIGHT-OF-WAY TO PROVIDE A TREE CANOPY WITH SHRUB BEDS, PORCHES, AND PLANTINGS IN POTS AS THE PREDOMINANT LANDSCAPE CHARACTER. AS THE DENSITY TRANSITIONS TO THE SOUTH, THE HOMES WILL ALLOW A "GARDEN" APPROACH TO THE LANDSCAPE. SHRUB BEDS, FLOWERS, AND LAWN PANELS ARE USED TO ESTABLISH THE CHARACTER OF THE FRONT YARDS. THE FURTHER NORTH WE GO IN WESTERLY THE MORE "RURAL" THE CHARACTER, FRONT YARDS COULD BE OPEN ENVIRONMENTS OF LAWN AND TREES, PLACED TO REINFORCE THE IRREGULAR STREET TREE PATTERN APPROPRIATE TO THIS LESS DENSE ENVIRONMENT.

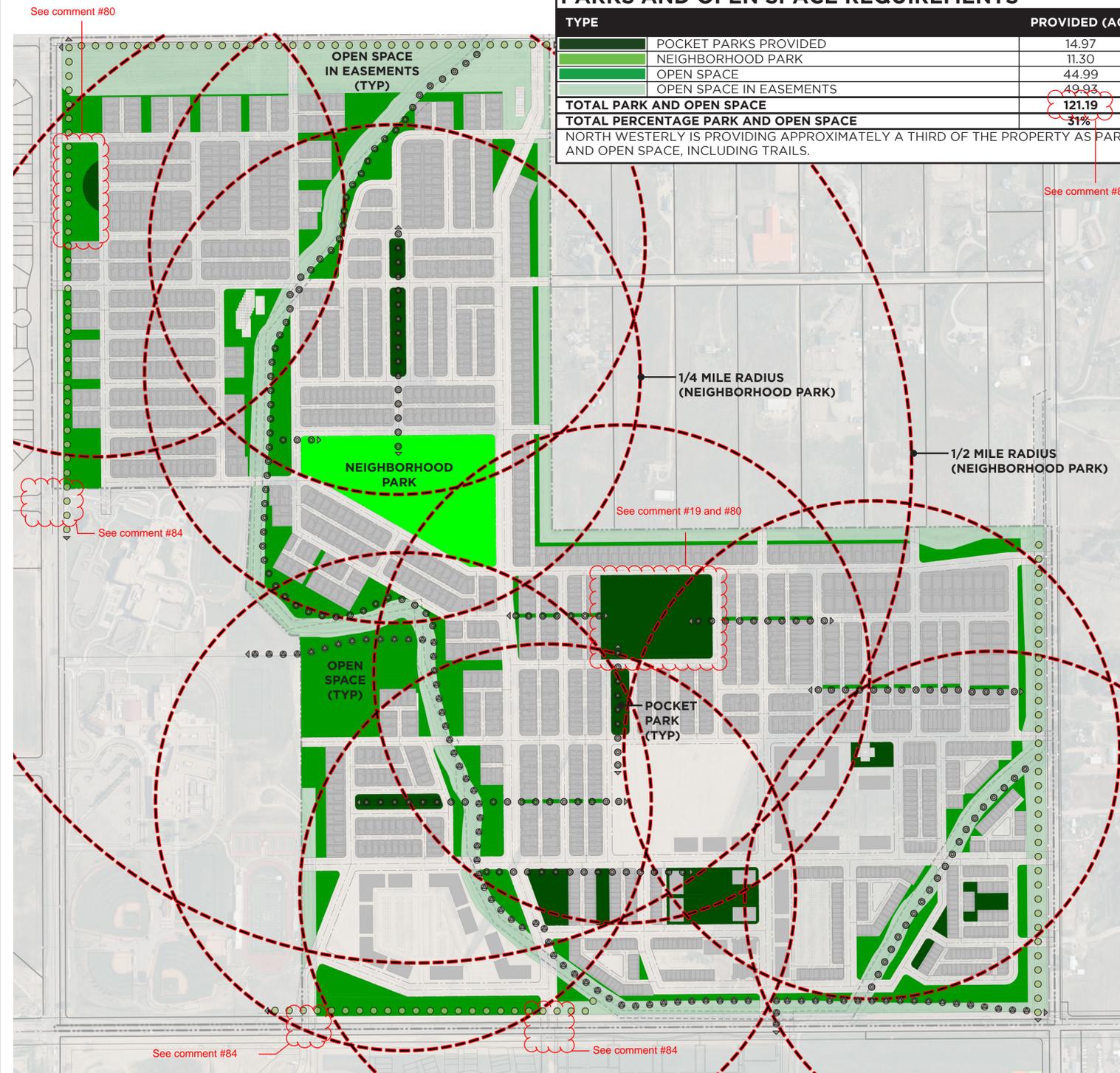
BACKYARD LANDSCAPING WILL BE MORE UNIFORM THROUGHOUT THE NEIGHBORHOODS AND ADDRESSES TWO FUNCTIONS: PRIVATE OUTDOOR ACTIVITIES, AND THE LANDSCAPE OF THE ALLEYS. THE APPROACH TO THE PRIVATE OUTDOOR FUNCTION IS TO PROVIDE AS MUCH FLEXIBILITY AS POSSIBLE THROUGH THE USE OF LAWN AND PATIO/DECK SURFACES. THE ALLEY EDGE CAN BE ADDRESSED IN THREE WAYS; PROVIDING SHRUB BEDS ALONG THE ALLEY BETWEEN GARAGES, A WELL DETAILED FENCE, PARTLY SOLID AND PARTLY LATTICE, AND A BACK YARD TREE WHICH OVERHANGS THE FENCE REINFORCING THE SHRUB BED IN SOFTENING THE CHARACTER OF THE ALLEY.

- SIMPLE IS BETTER,
- GREEN IS BETTER,
- AGRICULTURAL AND AUTHENTIC,
- STARTS FORMAL AND ENDS NATURAL, ITS ABOUT DISCOVERY,
- FOCUSED INTENTIONS.

### NORTH WESTERLY PARKS AND OPEN SPACE REQUIREMENTS

TYPE	PROVIDED (AC)
POCKET PARKS PROVIDED	14.97
NEIGHBORHOOD PARK	11.30
OPEN SPACE	44.99
OPEN SPACE IN EASEMENTS	49.93
<b>TOTAL PARK AND OPEN SPACE</b>	<b>121.19</b>
<b>TOTAL PERCENTAGE PARK AND OPEN SPACE</b>	<b>31%</b>

NORTH WESTERLY IS PROVIDING APPROXIMATELY A THIRD OF THE PROPERTY AS PARKS AND OPEN SPACE, INCLUDING TRAILS.



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PCS GROUP, INC.  
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CONTACT:  
JOHN PRESTWICH

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1			
2			
3			

SHEET INFO:

## PARKS - OPEN SPACE AND LANDSCAPE CHARACTER

DRAWN BY:

CGR/JN

DESIGNED BY:

BC/SW

SUBMITTED ON:

2/09/2023

16  
OF 18



NOT SO SCALE

# NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

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390.8797 ACRES  
PD-\_\_\_\_-\_\_\_\_

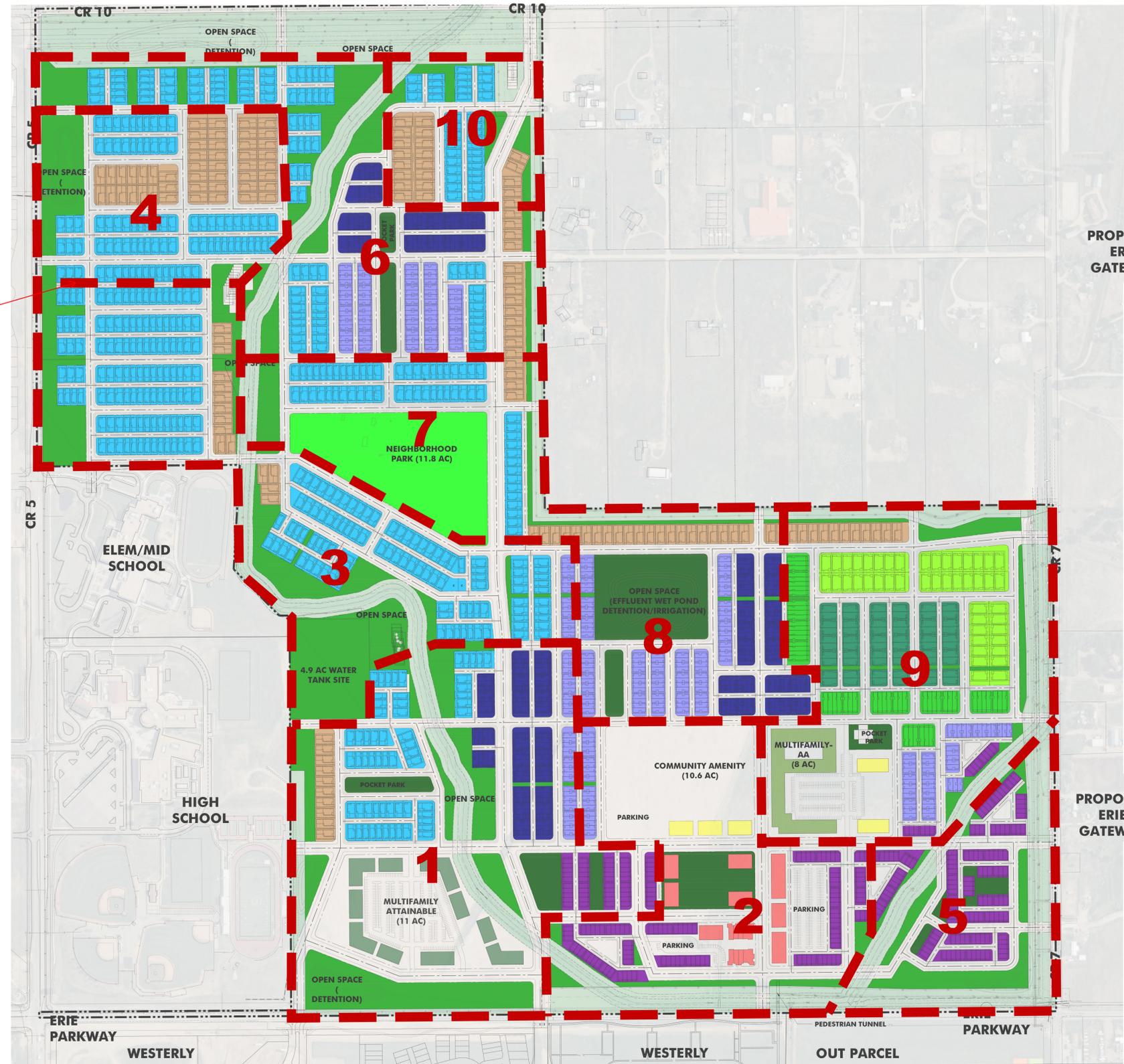
## PHASING PLAN

### PHASING PLAN:

THE DEVELOPMENT OF THIS PROJECT WILL GENERALLY OCCUR FROM SOUTH TO NORTH DUE TO AVAILABILITY OF WATER AND SEWER SERVICE, AS WELL AS ROADWAY ACCESS. THE FOLLOWING EXHIBIT DESCRIBE THE INTENDED PROGRESSION OF INFRASTRUCTURE CONSTRUCTION. ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY WITHIN THAT PHASE.

THE OWNER OF THE PROJECT RESERVES THE RIGHT TO CONSTRUCT ANY PORTION OF THE PROJECT IN ANY SEQUENCE AS LONG AS ADEQUATE WATER SYSTEM LOOPING, TRAFFIC CIRCULATION WITH DUAL ACCESS AND ASSOCIATED STORM WATER CONVEYANCE AND SANITARY SEWER OUTFALLS ARE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE TOWN OF ERIE CODES.

See comment #93



PROPOSED  
ERIE  
GATEWAY

PROPOSED  
ERIE  
GATEWAY

PREPARED FOR:  
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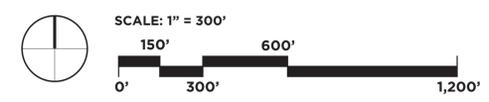
REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1			
2			
3			

SHEET INFO:

## PHASING PLAN

DRAWN BY:  
CGR/JN  
DESIGNED BY:  
BC/SW  
SUBMITTED ON:  
2/09/2023



# NORTH WESTERLY PLANNED DEVELOPMENT ZONING MAP AND GUIDE

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PD- \_\_\_\_\_

## ENVIRONMENTAL PLAN

### Legend

#### Vegetation

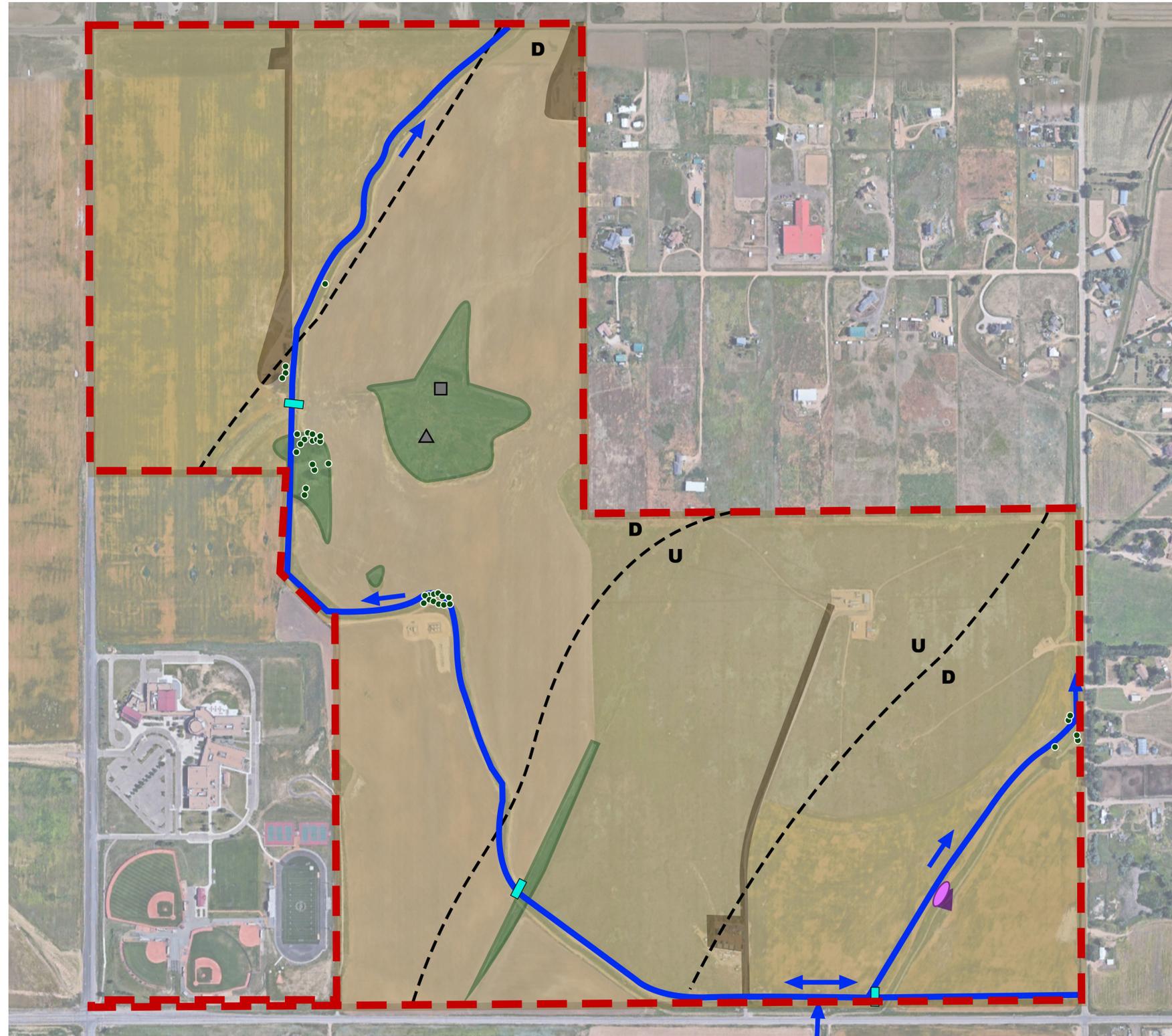
- Tree
- Cropland
- Disturbed
- Mesic Graminoids  
Western Wet Shrubland
- Great Plains Ruderal  
Grassland & Shrubland

#### Mining

- Mine Shaft (hoisting shaft)
- ▲ Air Shaft
- Inferred Bedrock Fault
- ┌ Upright Side
- ┐ Downthrown Side

#### Aquatic

- Culvert
- Community Ditch
- ← Flow Direction
- Palustrine Scrub - Shrub  
Wetland



PREPARED FOR:

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REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1			
2			
3			

SHEET INFO:

**ENVIRONMENTAL  
PLAN**

DRAWN BY:  
**CGR/JN**  
DESIGNED BY:  
**BC/SW**

SUBMITTED ON:  
**2/09/2023**

**18  
OF 18**





## Memo

---

To: Aly Burkhalter, Planner  
From: Jon Williams, Civil Engineer  
Date: March 22, 2024  
Subject: North Westerly PD– Engineering Comments  
CC: David Pasic, Chad Schroeder

---

### General Comments:

1. Although the pedestrian underpass at Erie Parkway has been identified. The anticipated vertical elevation change on the north side appears that it may conflict with the proposed roadway system.
2. Anticipated ROW dedications are based on the existing Transportation Plan. Updates to the Towns corridor layouts may alter the anticipated ROW dedication in the future.  
WCR 5 -4 lane Minor Arterial 120' ROW, 30 foot from section line dedicated, need 30' more.  
-WCR 7- 4 lane Principal arterial 140' ROW to collector 80' ROW, currently 30' ROW from section line need 10 more feet.  
-WCR 10- 2 lane Minor Arterial 120' ROW, 30 foot from section line dedicated, need 30' more.  
-Nothing required for Erie Parkway.
3. Annexation of WCR 10 needs to occur through Weld County.
4. Please continue coordination of WCR 5 and Flora View or alternative east/ west intersection with WCR 5.
5. Internal roadway section discussion is on-going. In general concern exists on the east/west Collector roadway function and section.
6. The roadway system does not appear to accommodate cyclist connectivity. A schematic plan of this system connectivity through the development either via roadway or alternate trail system including connection points outside the development would be helpful.
7. Access easements will be necessary to the water tank site from WCR 10 (30') and from Erie Parkway (50').

### Utility Report

1. The proposed connection to existing storm system on the school site from pond C may not exist.
2. The proposed connection to the existing non potable water at WCR 5 and Flora Drive does not exist. No record of a non potable water line was found at that location. The non potable water connection is located about 325 feet south on WCR 5. An additional Non potable water connection extends on Erie Parkway along portions of the Westerly Development.
3. See attached comments from Merrick.

### Drainage study

1. Please see attached comments from Merrick.
2. Ponds can not serve as stormwater detention ponds and reuse water ponds.

### Traffic Study

1. Existing Roadway counts surrounding the site will eventually be necessary once more definition is provided to the internal roadway system and site layout.

### Phasing Plan

1. Two ingress and egress locations are needed through each phase. Infrastructure serving the phase and downstream detention is required before a phase is active.

March 19, 2024

Town of Erie, Engineering Division  
P.O. Box 750  
645 Holbrook Street  
Erie, Colorado 80516

**RE: NORTH WESTERLY DRAINAGE REVIEW**

Dear Engineering Division:

We have reviewed the North Westerly Planned Development Zoning submittal received on February 20, 2024. The submittal included the North Westerly Phase I Drainage Report dated December 12, 2023 and the North Westerly Planned Development Zoning Map and Guide dated February 9, 2023, by KT Engineering. We have the following drainage comments to offer:

**Drainage Report**

1. Discuss all developments adjacent to the proposed project site. It is acknowledged that the Soaring Heights PK-8 School, Erie High School, and Carlson Subdivision are discussed; however additional adjacent developments should also be discussed.
2. Discuss the various types of land uses proposed in each Basin and how the percent impervious was estimated. See also Comment 12d below.
3. Discuss the detention pond storage and outlet designs, including the different methods used to size the detention ponds.
4. Discuss the downstream flow patterns and the impact of the proposed development under existing and fully developed basin conditions. Discuss where the proposed project will tie into existing infrastructure. Include discussion of existing capacity, design flow, and proposed flow.
5. The text of the report states that no wetlands are located within the site; however, Sheet 18, Environmental Plan in the Zoning Map and Guide shows "Palustrine Scrub-Shrub Wetland." Discuss impacts to these wetlands and what mitigation is required.
6. The report states that the Weld County Drainage Criteria (WCDC) are used to size the release rates for the Extended Detention Basins (EDBs) in Basins A, D, E, and F. The WCDC states that "If the project site is within an urbanizing area or adjacent to a municipal boundary, the governing entity's drainage criteria must be taken into consideration. Weld County requires that the more restrictive of the criteria (if municipality is more conservative) must be used." Discuss in the report and show that the release rates as determined by the WDCD is more restrictive than Town of Erie's Standards and Specifications (TESS).
7. The drainage report mentions that the "storm drain system servicing residential areas will be designed based on 2-year minor storm event and a 100-year major storm event. The storm drain system servicing commercial areas will be designed based on 5-year minor storm event and a 100-year major storm event." Note that for the minor storm event analysis of the storm drain system, at a minimum, all storm drain systems that receive runoff from commercial areas



must be sized to intercept and convey runoff for the 5-year storm event from the commercial areas plus the 2-year storm event runoff from the residential areas.

8. Use the 2024 Edition of the TESS. The text in the report states that the 2021 Edition was used while the References Section states that the 2023 Edition was used.
9. We have the following comments on Appendix B:
  - a. Label the CUHP Subcatchment parameters with the appropriate labels. i.e. Historic Conditions and Proposed Conditions.
  - b. On the second page showing CUHP Subcatchments, the percent impervious for Basin C does not match the percent impervious shown on the Preliminary Drainage Exhibit. Update documents to match.
  - c. Provide the CUHP output results.
  - d. Discuss how the percent imperviousness was determined for the offsite basins. Verify that the percent imperviousness used for all offsite basins was determined based on fully developed conditions.
  - e. The text of the report states that the development will be mixed-use, including single-family, multi-family, and commercial land uses. The maximum percent imperviousness used in the hydrologic calculations is 65%, while Section 800 of the TESS requires the percent impervious for Commercial Areas is 95%. Additionally, only Basin B is not labeled as single family or multi-family land use. In the report, discuss where Commercial Areas are proposed and increase the percent impervious in the hydrologic calculations as needed for these areas.
  - f. In the calculations for the Runoff Coefficient, Time of Concentration, and Runoff Rates, separate Basin E into Basin E1 and Basin E2 as shown on the Preliminary Drainage Exhibit and as used in the CUHP model. Also, provide these runoff calculations for all the other basins, including the offsite basins.
10. We have the following comments on Appendix C:
  - a. Provide a schematic for the SWMM model elements.
  - b. Provide SWMM input data.
  - c. For all the Calculations for the Detention Volume by the Modified FAA Method, include separate calculations for the Water Quality Storage Volume (WQCV). The WQCV must be added to the FAA Method volume to determine the total required storage volume.
  - d. For all the Calculations for the Detention Volume by the Modified FAA Method, rainfall duration times should be extended until the pond reaches a peak volume. The time interval may be increased up to 60 minutes per WDC Section 5.10.2.
  - e. Provide the calculation for the time of concentration used for the Modified FAA Method Calculations.
  - f. Discuss how the allowable unit release rate was determined for each pond for the Modified FAA Method Calculations. If the allowable release rates were based on the soil type, it appears that the cfs/acre values are lower than required.
  - g. Correct the Coefficient Three used for the Modified FAA Method Calculations to match the equation in Section 813.06 of the TESS (i.e., 0.786, not 0.789).

- h. The MHFD-Detention calculations were not reviewed in detail since pond details are not yet available. These will be reviewed further with subsequent submittals.
  - i. Correct the watershed parameters used in the MHFD-Detention calculations for Pond B to match the CUHP calculations.
  - j. For Pond B and Pond C, the design release rates exceed the maximum allowable release rates per Table 800-4 of the TESS. Reduce the release rates to meet criteria.
  - k. For Pond B and Pond C, confirm that the downstream drainage infrastructure has adequate capacity to accommodate the pond release rates. For all the ponds, discuss the downstream drainage infrastructure and available capacities.
  - l. In the Upgraded Culvert Crossing (100-year) Calculations, it is unclear how the total flow was determined. Discuss in the report and clearly show calculations or highlight appropriate SWMM output. We recognize that the proposed design flow for this culvert (264 cfs) is significantly less than proposed by the OSP and that this is likely due to 100-year overdetention proposed for Ponds E and F.
11. In Appendix E, delineate the site boundary on the Soils Map.
12. We have the following comments on the Preliminary Drainage Exhibit:
- a. The scale is required to be at 1"=20' to 1"=100'. The current scale is at 1"=300'. This scale may be used as an overview, but more detailed views are also required to show the proposed grading when available.
  - b. It cannot be confirmed that the drainage basin divides shown in the Drainage Exhibit reflect proposed conditions until proposed grading is shown.
  - c. Based on existing contours, the western side of Basin E2 will drain to the Community Ditch. Either redirect this runoff to Basin C or discuss how this runoff will be collected and routed across the ditch.
  - d. Community Amenity, Live Work, and Commercial uses are shown on Sheet 5, Concept Plan in the Zoning Map and Guide within Basins D, E1 and E2; however, the Drainage Exhibit states that these basins are composed of single family/multi-family mix. Discuss the different types of proposed land use in the report and update the percent impervious to reflect the Concept Plan.
  - e. Show all existing wetlands. See Comment 5.
13. Hydraulic calculations will be required in Phase II Drainage Reports. These calculations include but are not limited to, proposed storm sewer system sizing, including inlet and street capacity, swale and channel capacity, and riprap/erosion protection design.

### **North Westerly Planned Development Zoning Map and Guide**

14. We have the following comments on Sheet 5, Concept Plan:
- a. Ponds D and F are not shown. Buildings are proposed in portions of Ponds B and E. Provide the required space and volume for all ponds.
  - b. Pond A is in an open space area with numerous existing utilities, including overhead electric. Verify that a detention pond is allowed within this utility corridor and that adequate clearance is available to construct and maintain a pond, including access, in this location.

- c. The space available for the open channel between Ponds E and F seems small and has adjacent existing utilities. Confirm that adequate space is available.
- d. Pond E is shown as “Effluent Wet Pond Detention/Irrigation.” Clarify whether this is intended to be a multi-purpose pond and what the different purposes are.

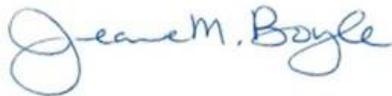
15. We have the following comments on Sheet 12, Utility Concept Plan:

- a. Ponds A and F are shown in a different location on Sheet 12 than they are shown on Sheet 5 or the Drainage Exhibit. All plans must match.
- b. Pond F is in an open space area with numerous existing utilities, including overhead electric. Verify that a detention pond is allowed within this utility corridor and that adequate clearance is available to construct and maintain a pond, including access, in this location.
- c. Several pond inlets are shown too close to the pond outlet structures. This would result in the ponds being short circuited and not performing as intended to remove sediment and debris. See MHFD Urban Storm Drainage Criteria Manual (USDCM) Volume 3, Chapter 4, Section T-05 Extended Detention Basins for more detail.
- d. The building locations shown on Sheet 12 are different in several areas compared to Sheet 5. Revise to match.

16. Sheet 17, Phasing Plan, indicates that some areas are planned to be constructed before construction of the receiving detention pond. Note that detention ponds must be constructed prior to development within the basin that will increase flow conditions.

Please let us know if you have any questions.

Sincerely,  
**Merrick & Company**



Jeanne M. Boyle, PE, CFM



Theresa Ring, PE, CFM

**From:** Jeanne Boyle <Jeanne.Boyle@Merrick.com>  
**Sent:** Tuesday, March 19, 2024 9:36 PM  
**To:** Development Referral; Chad Schroeder; David Pasic; Jonathan Williams; Samuel Hertel  
**Cc:** Theresa Ring  
**Subject:** Drainage Review -North Westerly (PD-001700-2024)  
**Attachments:** [2024-0319 North Westerly PD Drainage Review.pdf](#)

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**External Email:** Do not click links or open attachments unless you recognize the sender and know the content is safe.

Engineering Division,

Please find attached our drainage review comments for the North Westerly submittal. We understand that this submittal is only at a concept level, but we had numerous comments. Note that the most important comments we have are related to adequate volume and available space for the detention ponds, such as Comments 9e, 10c, 10d, 10k, 12d, 14a, 14b, 14c, and 15b.

Please let us know if you have any questions.

Thanks,

**Jeanne M. Boyle** | Technical Manager | Merrick & Company  
2480 W. 26<sup>th</sup> Street, Unit B225 | Denver, CO 80211  
T: +1 303-800-9036 | O: +1 303-964-3333 | [www.merrick.com](http://www.merrick.com)



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**From:** Miguel Aguilar  
**Sent:** Wednesday, March 20, 2024 1:23 PM  
**To:** Aly Burkhalter  
**Subject:** RE: 1st Referral Review - PD-001700-2024 North Westerly PD  
**Attachments:** [North Westerly - Trip Generation.pdf](#)

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Aly,

I reviewed the narrative. Only made two comments. For certain the WCR7 and EP intersection is a signalized intersection. And all the current and future roadway classifications are correct.

Thank you,

**Miguel Aguilar** | Senior Transportation Planner



Town of Erie | *Planning & Development Department*  
645 Holbrook Street | P.O. Box 750 | Erie, CO 80516  
Phone/Cell: 720.698.2293  
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**From:** Aly Burkhalter <[aburkhalter@erieco.gov](mailto:aburkhalter@erieco.gov)>  
**Sent:** Friday, March 15, 2024 3:58 PM  
**To:** Miguel Aguilar <[maguilar@erieco.gov](mailto:maguilar@erieco.gov)>  
**Subject:** FW: 1st Referral Review - PD-001700-2024 North Westerly PD

Hi Miguel,

Just wanted to elevate this referral to your attention. I know we have been talking a lot about the street plan and road sections shown on Sheet 14 of the [PD Zone Map and Guide](#) but I would also like you to review the [Traffic Narrative](#). I noticed a few issues in the Traffic Narrative with CR7 & Erie Parkway is stated to be 4-way stop when its signalized and whether or not the existing classifications were correct.

Thanks!

**Aly Burkhalter** | Planner

Pronouns: *She / Her / Hers / Ella* ([What's this?](#))  
Town of Erie | Planning & Development  
Phone: 303-981-5985  
[www.erieco.gov](http://www.erieco.gov) | [Facebook](#) | [Twitter](#) | [LinkedIn](#)

---

**From:** Doug Trettin <[dtrettin@erieco.gov](mailto:dtrettin@erieco.gov)>

**Sent:** Tuesday, February 20, 2024 11:43 AM

**To:** Planning Division Staff <[planningdivisionstaff@erieco.gov](mailto:planningdivisionstaff@erieco.gov)>; Engineering <[engineering@erieco.gov](mailto:engineering@erieco.gov)>; Misty Hall <[mhall@erieco.gov](mailto:mhall@erieco.gov)>; Luke Bolinger <[lbolinger@erieco.gov](mailto:lbolinger@erieco.gov)>; Kathy Kron <[kkron@erieco.gov](mailto:kkron@erieco.gov)>; Economic Development <[economicdevelopment@erieco.gov](mailto:economicdevelopment@erieco.gov)>; GIS Request <[gis@erieco.gov](mailto:gis@erieco.gov)>; David Frank <[dfrank@erieco.gov](mailto:dfrank@erieco.gov)>; Lee Mathis <[lmathis@erieco.gov](mailto:lmathis@erieco.gov)>; Mike Haefele <[mhaefele@erieco.gov](mailto:mhaefele@erieco.gov)>; Kendra Carberry <[klc@hpwclaw.com](mailto:klc@hpwclaw.com)>; Miguel Aguilar <[maguilar@erieco.gov](mailto:maguilar@erieco.gov)>; John Ehrhart <[john@coloradols.com](mailto:john@coloradols.com)>; [prevention@mvfpd.org](mailto:prevention@mvfpd.org); Doug Saba <[dsaba@mvfpd.org](mailto:dsaba@mvfpd.org)>; Bill Cownern <[bill.cownern@foxtuttle.com](mailto:bill.cownern@foxtuttle.com)>; Cassie Slade <[cassie.slade@foxtuttle.com](mailto:cassie.slade@foxtuttle.com)>; [utilityrs@merrick.com](mailto:utilityrs@merrick.com); Jeanne Boyle <[Jeanne.Boyle@Merrick.com](mailto:Jeanne.Boyle@Merrick.com)>; [submittals@udfcd.org](mailto:submittals@udfcd.org); CGS\_LUR <[CGS\\_LUR@mines.edu](mailto:CGS_LUR@mines.edu)>; [carlson@mines.edu](mailto:carlson@mines.edu); [lharger@usbr.gov](mailto:lharger@usbr.gov); Feula, Heidi <[feula\\_heidi@svvsd.org](mailto:feula_heidi@svvsd.org)>; Engineering <[Engineering@RTD-Denver.com](mailto:Engineering@RTD-Denver.com)>; Willits, Brendan <[willits\\_brendan@svvsd.org](mailto:willits_brendan@svvsd.org)>; Kragerud, Ryan <[kragerud\\_ryan@svvsd.org](mailto:kragerud_ryan@svvsd.org)>; Timothy Bilobran - CDOT <[timothy.bilobran@state.co.us](mailto:timothy.bilobran@state.co.us)>; [bradley.sheehan@state.co.us](mailto:bradley.sheehan@state.co.us); [steven.loeffler@state.co.us](mailto:steven.loeffler@state.co.us); [platreferral@UnitedPower.com](mailto:platreferral@UnitedPower.com); [WSTMWR\\_MDSUBMISSIONS@comcast.com](mailto:WSTMWR_MDSUBMISSIONS@comcast.com); [Kyle.Sowder@blackhillscorp.com](mailto:Kyle.Sowder@blackhillscorp.com); Andrea Kehrl <[aak@vrlaw.com](mailto:aak@vrlaw.com)>; [jstruble@northernwater.org](mailto:jstruble@northernwater.org); Kristen Thompson <[kthompson@northernwater.org](mailto:kthompson@northernwater.org)>; [contracts@northernwater.org](mailto:contracts@northernwater.org); Jon File <[jon.file@comcast.net](mailto:jon.file@comcast.net)>; [dcross@stvrainsan.com](mailto:dcross@stvrainsan.com); [steve.turner@state.co.us](mailto:steve.turner@state.co.us); CTB-weld-districts <[weld-districts@weldgov.com](mailto:weld-districts@weldgov.com)>; [kranslem@weldgov.com](mailto:kranslem@weldgov.com); [corpoffice@pcms.net](mailto:corpoffice@pcms.net); [Jake.Billadeau@westernmidstream.com](mailto:Jake.Billadeau@westernmidstream.com); Bob Bresnahan <[bbresnahan@civiresources.com](mailto:bbresnahan@civiresources.com)>; [cnewhall@civiresources.com](mailto:cnewhall@civiresources.com); Sean Casper <[scasper@civiresources.com](mailto:scasper@civiresources.com)>; [Don\\_Jobe@oxy.com](mailto:Don_Jobe@oxy.com); [Cristy\\_Rangel@oxy.com](mailto:Cristy_Rangel@oxy.com); [Antonio\\_Cabral@oxy.com](mailto:Antonio_Cabral@oxy.com); [grant.gerrard@westernmidstream.com](mailto:grant.gerrard@westernmidstream.com); [Kelly.Reyos@westernmidstream.com](mailto:Kelly.Reyos@westernmidstream.com); [kwasylenky@jostenergy.com](mailto:kwasylenky@jostenergy.com); [rons@mdsslaw.com](mailto:rons@mdsslaw.com); [mcreasy@carmelpartners.com](mailto:mcreasy@carmelpartners.com)

**Cc:** Aly Burkhalter <[aburkhalter@erieco.gov](mailto:aburkhalter@erieco.gov)>; Jonathan Williams <[jwilliams@erieco.gov](mailto:jwilliams@erieco.gov)>

**Subject:** 1st Referral Review - PD-001700-2024 North Westerly PD

Hello,

Please see the link for 1<sup>st</sup> Referral Review submittal documents on the above noted project:

<https://portal.laserfiche.com/Portal/Browse.aspx?id=188183&repo=r-a69d230a>

Referral comments are due back by 03/19/2024. Staff DRT is scheduled for 3/21/2024.

Please forward referral comments to [developmentreferral@erieco.gov](mailto:developmentreferral@erieco.gov)

If you have any question or concerns, please contact me. Thank you.

**Doug Trettin** | Planning Technician



Town of Erie | Planning & Development  
645 Holbrook Street | P.O. Box 750 | Erie, CO 80516  
Phone: 303-926-2770  
[www.erieco.gov/planning](http://www.erieco.gov/planning)

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LSC TRANSPORTATION CONSULTANTS, INC.

1889 York Street  
Denver, CO 80206  
(303) 333-1105  
FAX (303) 333-1107  
E-mail: [lsc@lscdenver.com](mailto:lsc@lscdenver.com)

January 19, 2024

Mr. Ken Toland  
KT Engineering  
12500 W. 58<sup>th</sup> Avenue, Suite 230  
Arvada, CO 80002

Re: North Westerly  
Erie, CO  
LSC #221030

Dear Mr. Toland:

Per your request, we have completed this detailed traffic narrative for the proposed North Westerly mixed-use development in Erie, Colorado. The site is located north of Erie Parkway, east of Weld County Road (WCR) 5, and west of Weld County Road (WCR) 7 as shown in Figure 1.

## INTRODUCTION

The purpose of this letter is to estimate the trip generation potential for the currently proposed land use, to show the proposed major roadways within the site, to show the existing and long-term daily traffic volumes, and to develop a directional distribution estimate for the assignment of the site-generated trips.

## LAND USE AND ACCESS

The site is proposed to include about 695 single-family detached dwelling units, about 752 single-family attached dwelling units, about 204 multi-family dwelling units, a mix of 396 age-restricted dwelling units and about 157,000 square feet of retail/commercial space. Access is proposed to County Road 5, County Road 7, and Erie Parkway as shown on the conceptual site plan in Figure 2. Figure 2 shows a conceptual layout for the major internal roadways.

## ROADWAY AND TRAFFIC CONDITIONS

### Area Roadways

The major roadways in the site's vicinity are shown on Figure 1 and are described below.

- **Erie Parkway** is an east-west, two-lane principal arterial roadway south of the site. The intersection with WCR 5 is signalized with auxiliary turn lanes and the intersection with WCR 7 is all-way stop-sign controlled. The posted speed limit in the vicinity of the site



varies between 40 and 50 mph. The *Town of Erie Master Transportation Plan* shows Erie Parkway as a four-lane principal arterial at buildout.

- **Weld County Road 5** is a north-south, two-lane minor arterial roadway west of the site. The intersection with Erie Parkway is signalized with auxiliary turn lanes. The posted speed limit in the vicinity of the site is 45 mph. The *Town of Erie Master Transportation Plan* shows a four-lane minor arterial at buildout.
- **Weld County Road 7** is a north-south, two-lane principal arterial roadway east of the site. The intersection with Erie Parkway was recently signalized. The posted speed limit in the vicinity of the site is 45 mph. The *Town of Erie Master Transportation Plan* shows a four-lane principal arterial at buildout. It also shows the alignment shifting east to the north of Erie Parkway leaving a proposed collector roadway adjacent to the site. Coordination will be needed with the Town on the future alignment.
- **Weld County Road 10** is an east-west, two-lane gravel minor arterial roadway north of the site. The intersections with WCR 5 and WCR 10 are stop-sign controlled. The posted speed limit is 35 mph. The *Town of Erie Master Transportation Plan* shows a paved two-lane minor arterial at buildout.

#### **EXISTING ROADWAY CHARACTERISTICS, DAILY TRAFFIC VOLUMES, AND 2040 DAILY TRAFFIC VOLUMES AND 2040 ROADWAY PLAN PER THE TOWN OF ERIE TRANSPORTATION MASTER PLAN (TMP)**

Figure 3 shows the existing roadway characteristics from Figure 4 of the Town's TMP. Figure 4 shows the existing daily traffic volumes from Figure 7 of the TMP. Figure 5 shows the estimated 2040 daily traffic volumes from Figure 13 of the TMP and Figure 6 shows the 2040 Roadway Plan from Figure 15 of the TMP.

#### **TRIP GENERATION**

Table 1 shows the estimated average weekday, morning peak-hour, and afternoon peak-hour trip generation for the proposed site based on the rates from Trip Generation, 11<sup>th</sup> Edition, 2021 by the Institute of Transportation Engineers (ITE) for the proposed land use.

The site is projected to generate about 20,551 vehicle-trips on the average weekday, with about half entering and half exiting the site during a 24-hour period. During the morning peak-hour, which generally occurs for one hour between 6:30 and 8:30 a.m., about 348 vehicles would enter and about 798 vehicles would exit the site. During the afternoon peak-hour, which generally occurs for one hour between 4:00 and 6:30 p.m., about 1,047 vehicles would enter and about 779 vehicles would exit the site. These estimates are expected to be reduced due to pass-by trips as shown in Table 1.

#### **DIRECTIONAL DISTRIBUTION**

Figure 7 shows the estimated directional distribution of site-generated traffic.

**CONCLUSION**

This detailed traffic narrative provides a high level overview of the proposed North Westerly development and will be the basis for a future traffic impact study.

\* \* \*

We trust this information will assist you in planning for the proposed North Westerly mixed-use development.

Respectfully submitted,

LSC Transportation Consultants, Inc.

By:  \_\_\_\_\_  
Christopher S. McGranham, E.E.  
Principal/President



CSM/wc

1-19-24

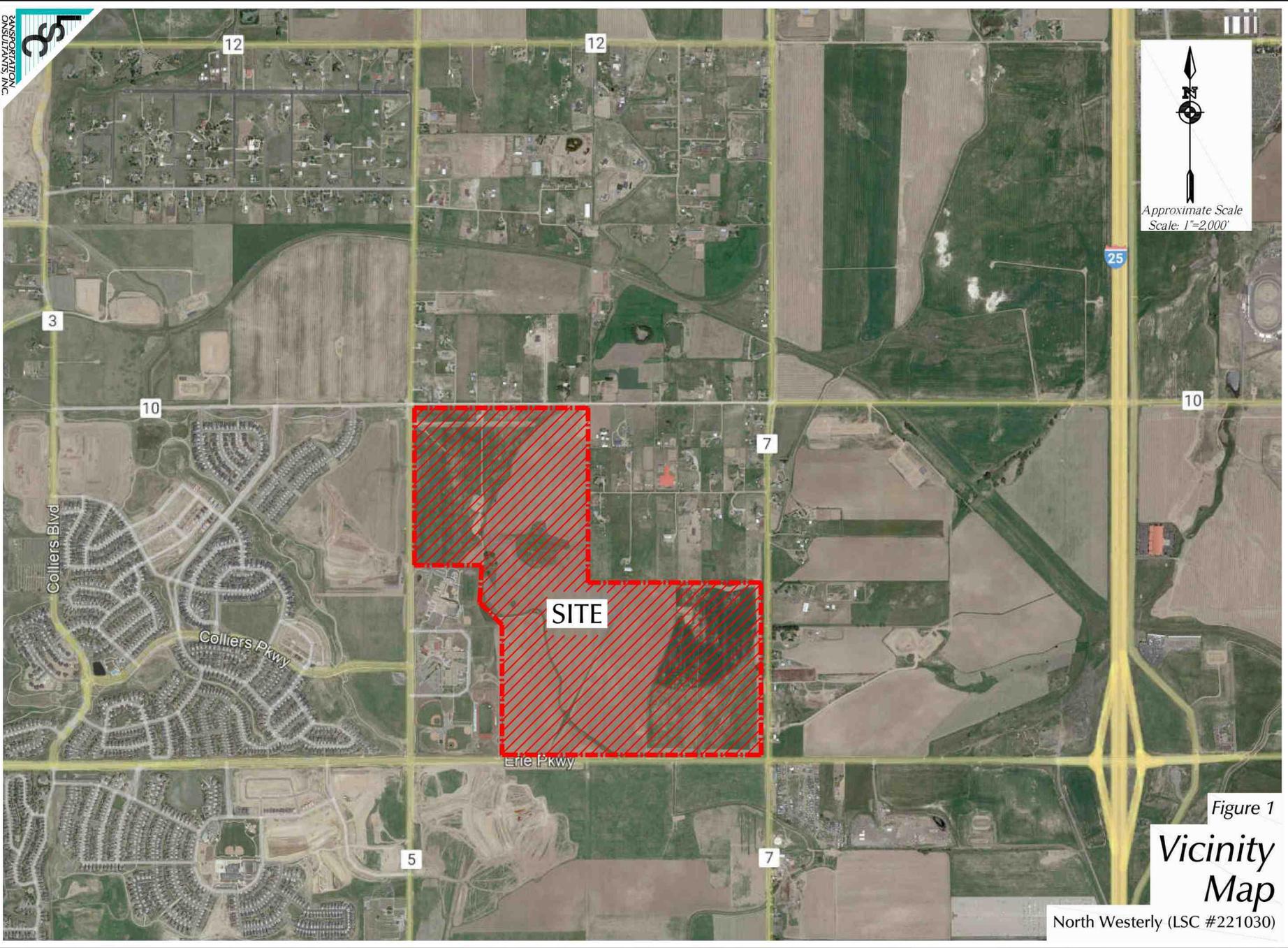
Enclosures: Table 1  
Figures 1 - 7

**Table 1**  
**ESTIMATED TRAFFIC GENERATION**  
**North Westerly**  
**Erie, CO**  
**LSC #221030; January, 2024**

Trip Generating Category	Quantity	Trip Generation Rates <sup>(1)</sup>				Vehicle-Trips Generated					
		Average Weekday	AM Peak-Hour In	AM Peak-Hour Out	PM Peak-Hour In	PM Peak-Hour Out	Average Weekday	AM Peak-Hour In	AM Peak-Hour Out	PM Peak-Hour In	PM Peak-Hour Out
<b>Currently Proposed Land Use</b>											
<b>Residential</b>											
Single-Family Detached Homes <sup>(2)</sup>	695 DU <sup>(3)</sup>	9.43	0.182	0.518	0.592	0.348	6,554	127	360	412	242
Single-Family Attached Homes <sup>(4)</sup>	752 DU	7.20	0.120	0.360	0.336	0.234	5,414	90	271	253	176
Multi-Family Homes <sup>(5)</sup>	204 DU	6.74	0.096	0.304	0.321	0.189	1,375	20	62	66	39
<b>Age Restricted</b>											
Multi-Family Homes <sup>(6)</sup>	236 DU	3.24	0.068	0.132	0.140	0.110	765	16	31	33	26
Townhomes <sup>(6)</sup>	54 DU	3.24	0.068	0.132	0.140	0.110	175	4	7	8	6
Single-Family Attached Homes <sup>(7)</sup>	60 DU	4.31	0.079	0.161	0.183	0.117	259	5	10	11	7
Cottage <sup>(7)</sup>	46 DU	4.31	0.079	0.161	0.183	0.117	198	4	7	8	5
<b>Commercial/Retail</b>											
Retail <sup>(8)</sup>	157 KSF <sup>(9)</sup>	37.01	0.521	0.319	1.632	1.768	5,811	82	50	256	278
<b>Total =</b>							<b>20,551</b>	<b>348</b>	<b>798</b>	<b>1,047</b>	<b>779</b>
<b>Passby Trips <sup>(10)</sup> =</b>							<b>1,976</b>	<b>22</b>	<b>22</b>	<b>90</b>	<b>90</b>
<b>Primary Trips =</b>							<b>18,575</b>	<b>326</b>	<b>776</b>	<b>957</b>	<b>689</b>

Notes:

- (1) Source: *Trip Generation*, Institute of Transportation Engineers, 11th Edition, 2021
- (2) ITE Land Use No. 210 - Single-Family Detached Housing
- (3) DU = Dwelling Units
- (4) ITE Land Use No. 215 - Single-Family Attached Housing
- (5) ITE Land Use No. 220 - Multi-Family Housing (Low-Rise)
- (6) ITE Land Use No. 252 - Senior Adult Housing - Multi-Family
- (7) ITE Land Use No. 251 - Senior Adult Housing - Single-Family
- (8) ITE Land Use No. 820 - Shopping Center (>150k)
- (9) KSF = 1,000 square feet
- (10) A passby trip percentage of 34% was assumed for the commercial/retail land use per the ITE *Trip Generation Handbook*.



North Arrow  
Approximate Scale  
Scale: 1"=2,000'

Figure 1  
**Vicinity  
Map**

North Westerly (LSC #221030)

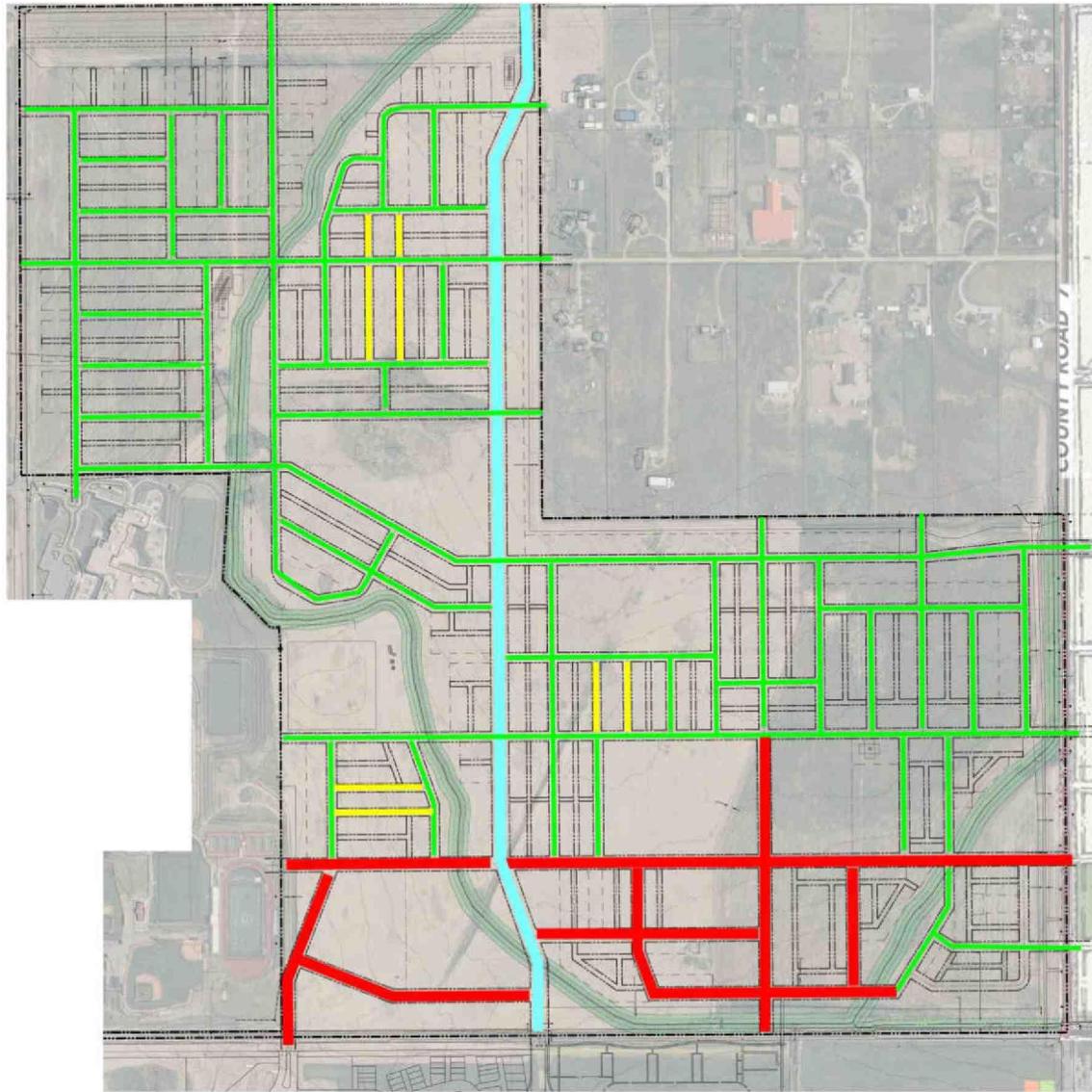


Figure 2  
*Site Plan with Conceptual Road Layout*  
North Westerly (LSC #221030)

Note: This is Figure 4 of the Town of Erie TMP.

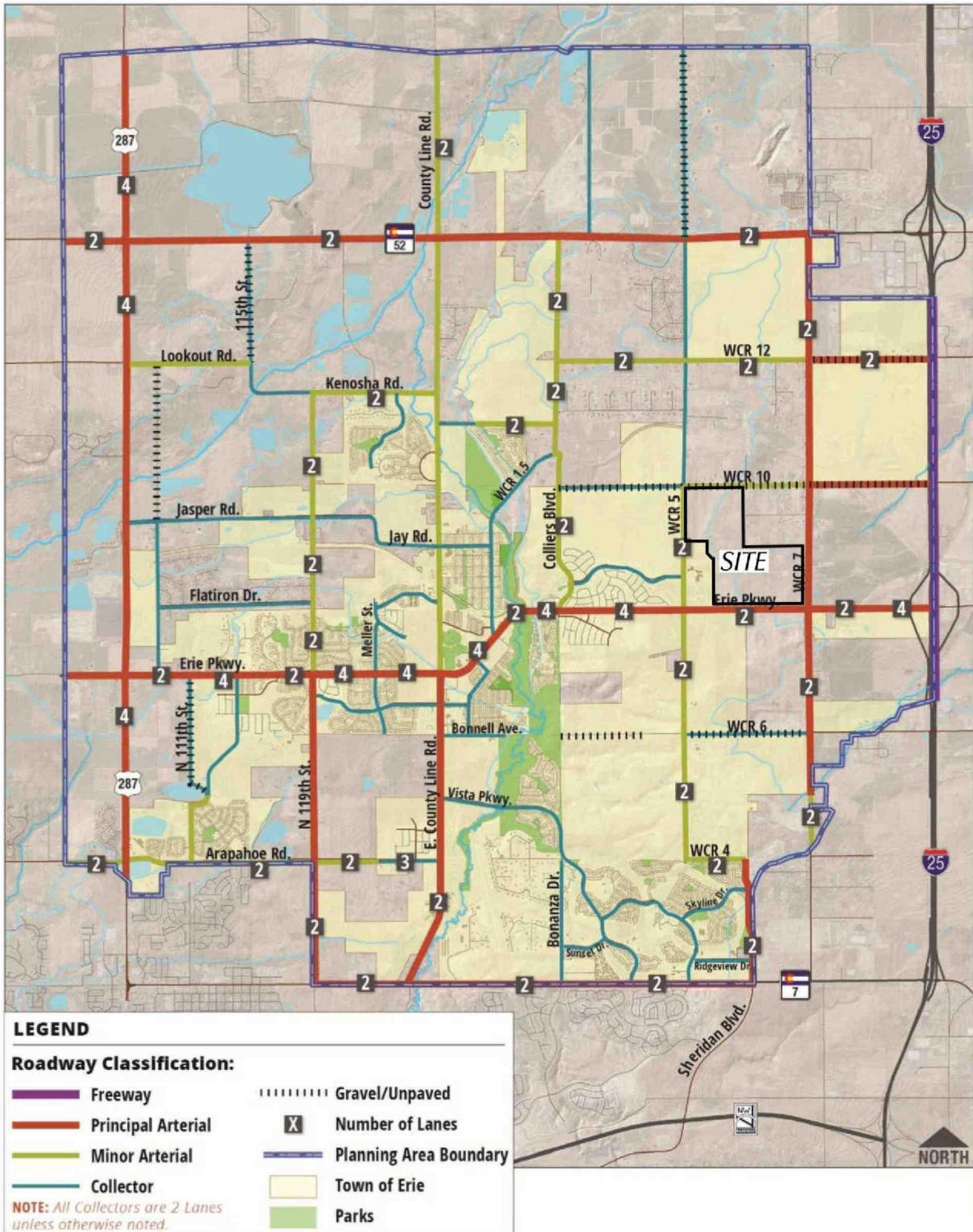


Figure 3

## Existing Roadway Characteristics

North Westerly (LSC #221030)

Note: This is Figure 7 of the Town of Erie TMP.

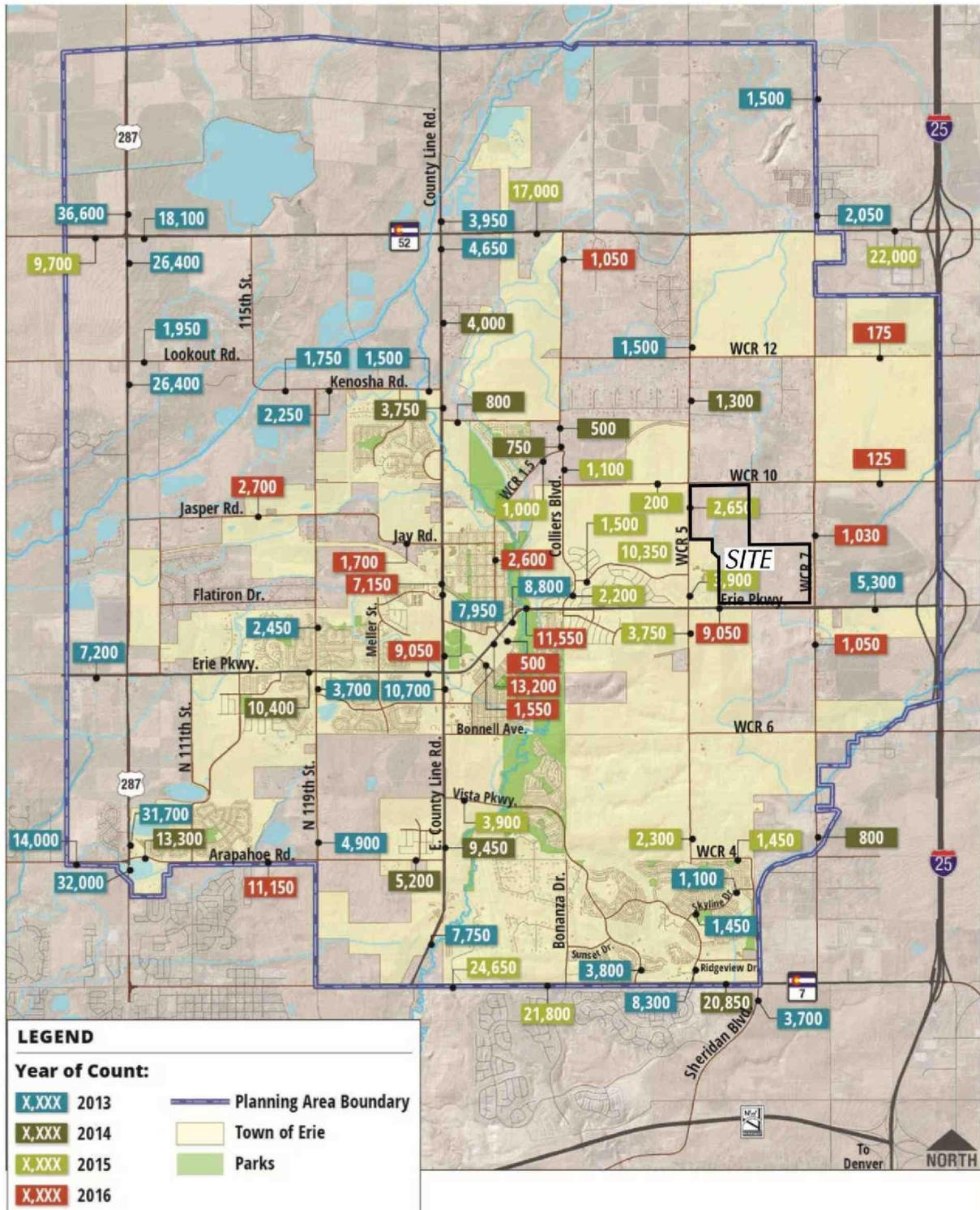


Figure 4

# Existing Daily Traffic Volumes

North Westerly (LSC #221030)



Note: This is Figure 13 of the Town of Erie TMP.

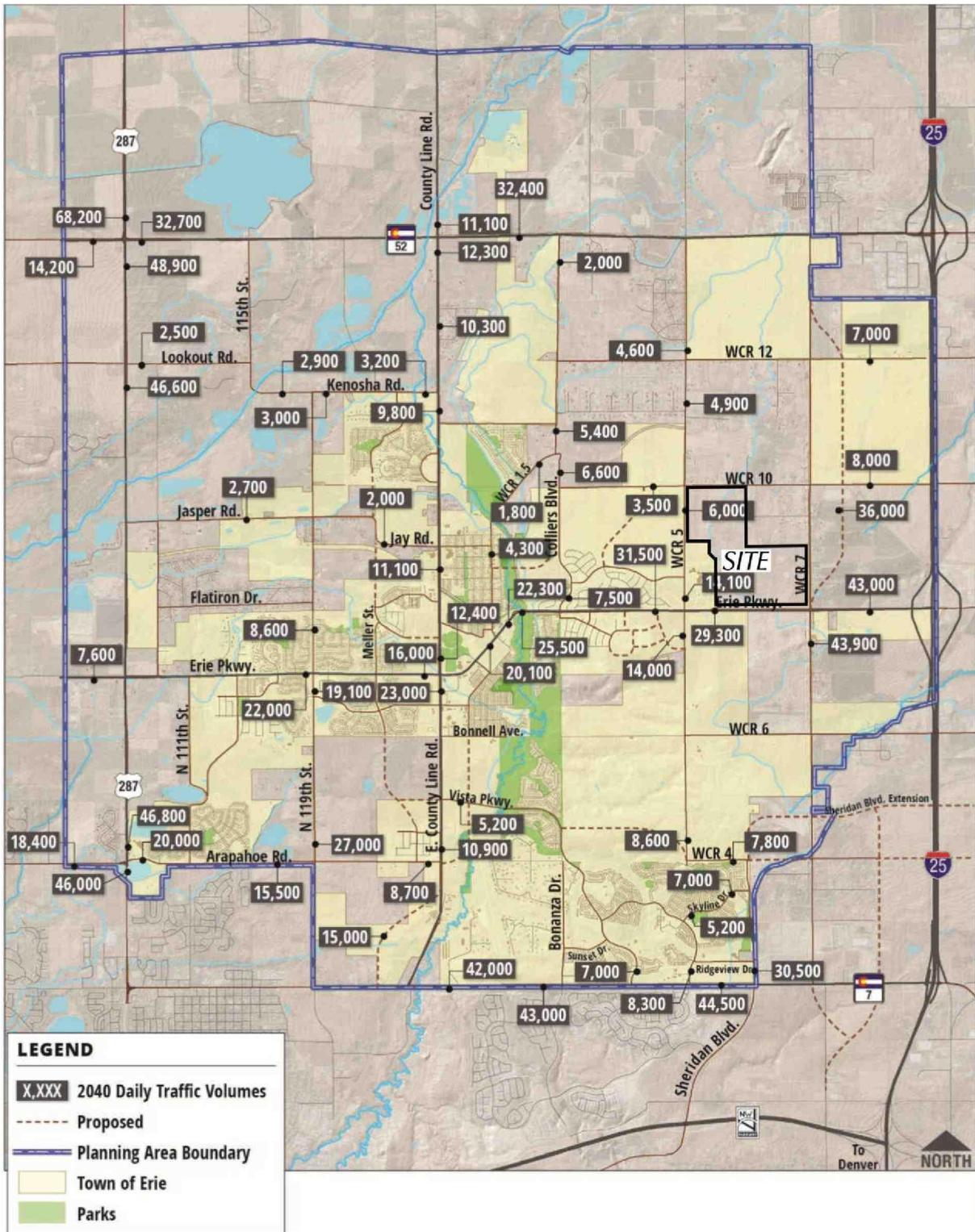


Figure 5

# 2040 Daily Traffic Volumes

North Westerly (LSC #221030)



Note: This is Figure 15 of the Town of Erie TMP.

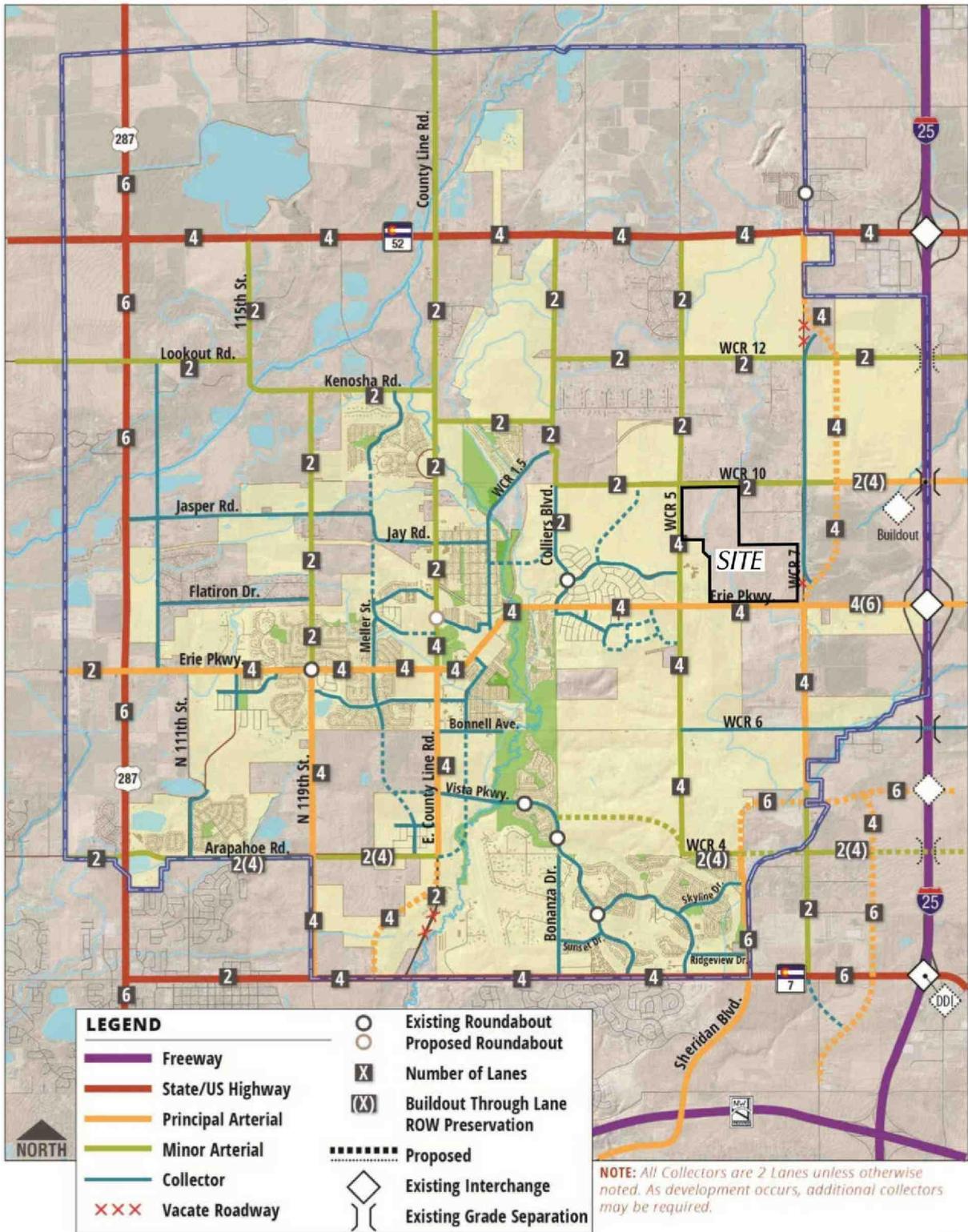


Figure 6

# Roadway Plan

North Westerly (LSC #221030)





  
 Approximate Scale  
 Scale: 1"=2,000'

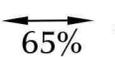
**LEGEND:**  
 = Percent Directional Distribution

Figure 7  
*Directional Distribution of Site-Generated Traffic*  
 North Westerly (LSC #221030)



---

**Internal Memo**

To: Aly Burkhalter, Planner

From: Kathy Kron, Senior Parks Planner

Luke Bolinger, Development & Neighborhood Services Manager

Date: 4/1/24

**Subject: North Westerly – PD (PD-001700-2024) – Development & Neighborhood Services (DNS) – 1<sup>st</sup> Review**

---

Below are review comments from the Development & Neighborhood Services Division, Parks & Recreation Department for the 1<sup>st</sup> submittal of the North Westerly PD dated **2/15/24**.

**TREE SURVEY**

1. The tree survey indicates a number of trees that are of good quality and significant size. These trees should be considered for preservation. Good quality trees that cannot be preserved are required to be mitigated for per Section 10-6-2 of the UDC.
2. The Town Forester visited the site on 3/13/24 to verify the tree survey which was provided with this submittal and observed several stumps from trees that had been removed. Stumps appear to correlate with trees that were surveyed and recorded as “poor” or “non-native”, however staff was unable to verify the accuracy of the Tree Survey due to removal of the trees.
3. Green Ash is noted on the Tree Survey as native, however Green Ash is not native to Colorado.

**PLANNED DEVELOPMENT ZONING MAP & GUIDE**

**Sheet 14 - Circulation Plan and Typical Road Sections:**

1. Tree lawn widths shall not be less than Town of Erie Standard Street Sections, as amended.
2. Show trails on this map in order to understand how the trail system and the street network correlate. It is the intent for the Town to take over maintenance of the multi-use trail system as part of its spine trail system and should be shown differently than internal local connectors.

**Sheet 16 - Parks – Open Space and Landscape Character:**

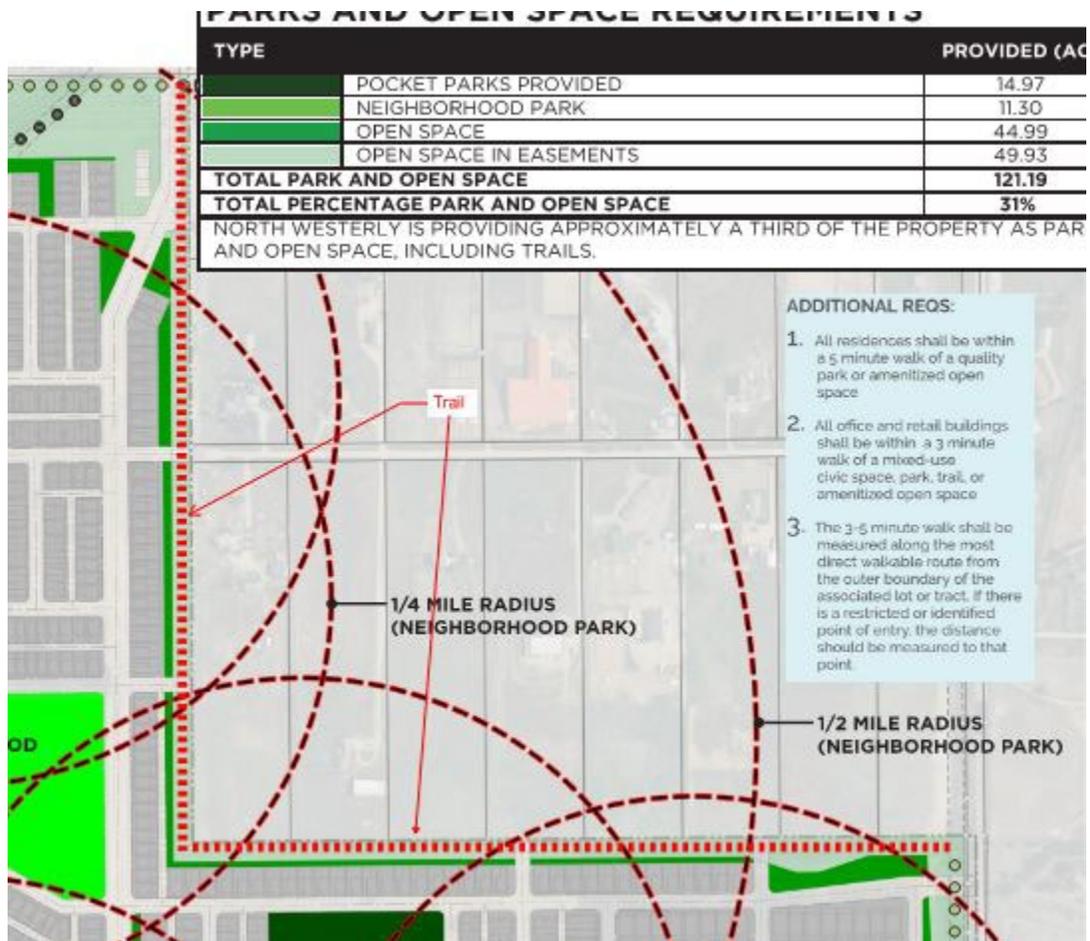
1. Separate landscape character and private landscape standards from parks, open space & trails.
2. The Park and Open Space Requirements Chart should include:
  - a. Anticipated population density utilizing Town of Erie annual persons per dwelling unit (PPDU) estimates.
  - b. Park and Open Space requirements based on density.
  - c. How the development intends to meet the requirements based on guidance from the Mixed-Use Development Parks and Open Space Vision Guide.
  - d. Utilize Park and Open Space typologies from the Mixed-Use Development Guide.
3. ¼ mile radii shown on map is not relevant. See page 36 of the Mixed-Use Development Guide

for how to apply spatial requirements to parks, trails and open space areas.

4. Provide an east/west trail connection from the Flora View Drive Intersection to the Neighborhood Park. See below.



5. Provide a trail north and east of the development to complete the perimeter loop on the northeast side. See below.



6. The Intent and Character Landscape Concept Statement needs to clarify that landscaping in

- public right-of-way, trail corridors and parks will follow Town of Erie Landscape Standards.
7. The Neighborhood Park location may be too encumbered with mine shaft locations and subsidence issues to be able to be developed to Neighborhood Park standards. See additional comments under Preliminary Mine Subsidence Investigation to ensure this park location is a viable site.

Sheet 17 - Phasing Plan:

1. Need more information about how the park and trail system will be phased to create meaningful connectivity as stipulated in the Pre-Development Agreement.

**PRELIMINARY MINE SUBSIDENCE INVESTIGATION:**

1. The report indicates that there is a main shaft and an air shaft in what appears to be the location of the Neighborhood Park. This location is within Subsidence Zone A which has potential structural development limitations and may have additional geotechnical investigations required which could be costly. These additional investigations need to be completed and full restrictions in the area need to be disclosed prior to further consideration of this location for dedication as a Neighborhood Park.

**From:** [Sowder, Kyle](#)  
**To:** [Development Referral](#)  
**Subject:** North Westerly PD Planned Development Zoning (PD-001700-2024)  
**Date:** Wednesday, February 21, 2024 10:03:13 AM

---

**External Email:** Do not click links or open attachments unless you recognize the sender and know the content is safe.

Black Hills has no issues

*Kyle J. Sowder*

[|303-817-9026](tel:303-817-9026) | [kyle.sowder@blackhillscorp.com](mailto:kyle.sowder@blackhillscorp.com) |

Utilities Construction Planner | Frederick North East |

---

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# COLORADO GEOLOGICAL SURVEY

1801 Moly Road  
Golden, Colorado 80401



Matthew L. Morgan  
State Geologist and  
Director

March 21, 2024

Aly Burkhalter  
Town of Erie Planning & Development  
developmentreferral@erieco.gov

**Location:**  
40.0511, -105.0106

**Subject: North Westerly PD-001700-2024**  
**Town of Erie, Weld County, CO; CGS Unique No. WE-23-0022**

Dear Aly:

The Colorado Geological Survey has reviewed the North Westerly PD referral. I understand the applicant proposes up to 2300 DUs and 175,000 sq. ft. of commercial development on 391 acres. The available referral documents include:

- Preliminary Mine Subsidence Investigation, State Land Board Parcel, 414.38 Acres in Section 16, Township 1 North, Range 68 West, Weld County, Colorado (Western Environment and Ecology, Inc. Project Number 778-005-02, December 19, 2022)
- Geotechnical Site Development Study, Colorado State Land Board Parcel. Erie, Colorado (A.G. Wassenaar Project No. 223122, December 20, 2022)

**Western's "Mine Subsidence Investigation" is based on no borings within the subject site (see Western's Figure 1). CGS recommends that the Town require a mine subsidence hazard investigation with subsidence hazard characterization and recommendations based on borings and downhole caliper logging located within the subject site.**

**Sheet 13, Undermining / Oil & Gas Plan of the North Westerly Planned Development Zoning Map and Guide is incomplete.** For example:

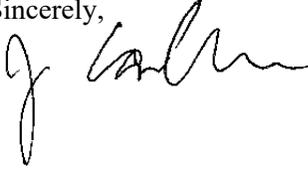
- The high-hazard multi-level mining area delineated on Western's Figure 2 as Subsidence Zone B is not shown. Subsidence Zone B is **NOT DEVELOPABLE** without significant additional mine subsidence hazard investigation, analysis and, if feasible, mitigation recommendations.
- Shafts are not shown. Shafts will need to be located, stabilized and capped, and non-buildable setbacks of at least 25 feet delineated on all plans and the plat.
- The verified or revised development restrictions (foundation length and building height restrictions, for example), based on borings and downhole caliper logging within the subject site, should be specified in the PD documents.

Wassenaar observed shallow groundwater, soft/loose soils, fill, expansive to highly expansive clay soils and claystone bedrock, hard ironstone lenses and layers of cemented sandstone that will be difficult to excavate, and/or lignite in many of their borings. Wassenaar's site development and geotechnical recommendations must be incorporated into development plans and specifications, and rigorously adhered to during construction.

Aly Burkhalter  
March 21, 2024  
Page 2 of 2

Thank you for the opportunity to review and comment on this project. If you have questions or require further review, please call me at 303-384-2643, or e-mail [carlson@mines.edu](mailto:carlson@mines.edu).

Sincerely,

A handwritten signature in black ink, appearing to read "Jill Carlson". The signature is fluid and cursive, with a large initial "J" and a long, sweeping underline.

Jill Carlson, C.E.G.  
Engineering Geologist

**From:** John Ehrhart <john@coloradols.com>  
**Sent:** Friday, March 15, 2024 3:16 PM  
**To:** Development Referral  
**Cc:** Doug Trettin  
**Subject:** Re: 1st Referral Review - PD-001700-2024 North Westerly PD

**External Email:** Do not click links or open attachments unless you recognize the sender and know the content is safe.

We reviewed the Zoning Map and the Zoning legal description and have no comments.

Best,  
John

John P. Ehrhart, PLS  
Ehrhart Land Surveying, LLC  
Mapping the Future Together  
303-828-3340

On Tue, Feb 20, 2024 at 11:43 AM Doug Trettin <[dtrettin@erieco.gov](mailto:dtrettin@erieco.gov)> wrote:

Hello,

Please see the link for 1<sup>st</sup> Referral Review submittal documents on the above noted project:

<https://portal.laserfiche.com/Portal/Browse.aspx?id=188183&repo=r-a69d230a>

Referral comments are due back by 03/19/2024. Staff DRT is scheduled for 3/21/2024.

Please forward referral comments to [developmentreferral@erieco.gov](mailto:developmentreferral@erieco.gov)

If you have any question or concerns, please contact me. Thank you.

**Doug Trettin** | Planning Technician



Town of Erie | Planning & Development

645 Holbrook Street | P.O. Box 750 | Erie, CO 80516

Phone: 303-926-2770

[www.erieco.gov/planning](http://www.erieco.gov/planning)

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March 18, 2024

Town of Erie, Engineering Division  
P.O. Box 750  
645 Holbrook Street  
Erie, Colorado 80516

**RE: 1st Referral Review – North Westerly – PD-001700-2024**

Dear Engineering Division:

Merrick has completed the utility review for the First Referral for the North Westerly Planned Development received February 20, 2024. The submittal included *North Westerly Conceptual Utility Report* by KT Engineering dated January 2024. The following is a summary of Merrick's comments. Refer to the attached markups for additional information and plan redlines.

**Master Plan Compliance**

1. **Sanitary Sewer Master Plan** – While the proposed overall sanitary sewer utility plans for the North Westerly Development generally align with Town's Wastewater Collection System Master Plan, there are several items to note:
  - a. Outfall #1 – the southwest corner of the North Westerly site is to connect to the interceptor along the north side of Erie Parkway near Erie High School. This outfall would connect to the Coal Creek interceptor, not the Weld County Road (WCR) 3 as outlined in the Utility Report. Revise the text to refer to the Coal Creek Sewer Basin.
  - b. Outfall #1 – From Master Planning and recent updates to capacity, the North Westerly development would contribute about 155 EQR to the Coal Creek Interceptor. The estimate of 840 residential units plus 20 acres of commercial from the Utility Report greatly exceeds the planned estimate. While the Coal Creek interceptor may have capacity to accommodate the higher loads, consideration should be made for downstream interceptors and capacity at the treatment plant. If previous utility reports or variances from the Town allowed for the 900 EQR to be connected to this interceptor, please provide documentation that shows this.
  - c. Outfall #3 – The size of the offsite sewer along WCR5 will depend on the design slopes of the sewer. The 15-inch size recommended in the Master Plan assumed a minimum slope of 0.15%. With final design of the sewer, it is recommended to maintain this or steeper slope to accommodate wastewater flow in this sewer basin. Additionally, it is recommended to have the sewer at depths that do not prohibit future connections along the interceptor (i.e., not shallower than 8-feet below grade).
  - d. The southeast most portion of the site was shown in the Master Plan to be tributary to the Interstate Interceptor. It is our understanding that this area east of the existing irrigation ditch will be rerouted to WCR5 interceptor based on the conceptual layout. Please confirm this area was included in wastewater flow calculations.



2. **Potable Water Master Plan** – The Utility Report notes that the development will be served by Zone 2. However, based on the Town’s Potable Water System Master Plan and the conceptual connections provided in the appendices, the development will actually be served by Zone 3 (blue). Revise the text to specify Zone 3.
3. **Non-Potable Master Plan** – It is unclear from the Utility Report how non-potable water systems will be utilized on-site. Provide information about connections to the existing Town non-potable system and where irrigation is intended to be used. Also provide calculations for determining the irrigation demand of the system.

### General

1. The equivalent residential units (EQR)s for the water demand and wastewater load calculations do not match. The wastewater calculations show a project total of 2137 EQR while the water calculations show 2257 EQR. Please explain the 120 EQR difference or revise the calculations with the correct number of units.

### Sanitary Sewer System

1. On the Overall Utility Plan in Appendix B, it appears that the sanitary sewers are laid out in looped systems which is not ideal for sewer systems. Also, the divisions between outfall basins are not clearly defined on the map. Revise the Utility Map to show the anticipated sewer layout and the delineations of which sewers and portions of the development are tributary to each respective outfall.
2. In Appendix C, the calculations for the commercial area is underestimating the flow. The calculations show 3 EQR/ac but using Town criteria of 1,000 gpd/acre, it would be closer to 3.84 EQR/acre for a commercial site. For example, the Average Day flow for the 20 acres should be 20,000 gpd not 15,606 gpd as shown in the calculations. Revise calculations for all commercial wastewater loading.

### Potable Water System

1. In Appendix B, the Off-Site Water exhibit indicates a 20-inch line is currently being designed in WCR7. For final design, verify that this line has been installed otherwise, this will need to be included as part of the North Westerly project to provide a looped system for the development.
2. On the Overall Utility Plan in Appendix B, there is not a note for where the connection to the existing pipe in WCR 5 is located. It appears to be further north than what is shown in the Off-Site Water exhibit. Please clarify where the western connection for the water line will be located.

Thank you for the opportunity to review. Please contact [utilityrs@merrick.com](mailto:utilityrs@merrick.com) for any questions or comments.

Sincerely,

**Merrick & Company**



**Clare Steninger, PE**



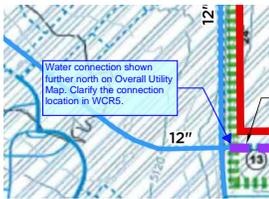
# NW-REPORT-UTILITY-MARKUP.pdf Markup Summary

## Comment to Drafter/Designer (9)



**Subject:** Comment to Drafter/Designer  
**Page Label:** 9  
**Author:** clare.steninger  
**Date:** 3/18/2024 1:58:07 PM  
**Status:**  
**Color:** ■  
**Layer:** Comment  
**Space:**

Verify this area has been included in wastewater flow calculations.



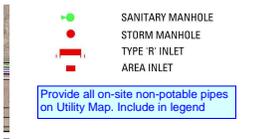
**Subject:** Comment to Drafter/Designer  
**Page Label:** 10  
**Author:** clare.steninger  
**Date:** 3/18/2024 2:00:30 PM  
**Status:**  
**Color:** ■  
**Layer:** Comment  
**Space:**

Water connection shown further north on Overall Utility Map. Clarify the connection location in WCR5.



**Subject:** Comment to Drafter/Designer  
**Page Label:** 8  
**Author:** clare.steninger  
**Date:** 3/18/2024 2:01:40 PM  
**Status:**  
**Color:** ■  
**Layer:** Comment  
**Space:**

Water connection shown here on Off-Site Water Exhibit. Clarify water line connections in WCR5



**Subject:** Comment to Drafter/Designer  
**Page Label:** 8  
**Author:** clare.steninger  
**Date:** 3/18/2024 2:04:47 PM  
**Status:**  
**Color:** ■  
**Layer:** Comment  
**Space:**

Provide all on-site non-potable pipes on Utility Map. Include in legend

Residential	Basin Total	290
	Basin Total	290
<b>Outfall #3</b>		
Residential		1007
Commercial (10 acres @ 3 EQR ac)		30
	Basin Total	1037
<b>Project Total</b>		<b>2127</b>

Blue callout box: Total EQR does not match water calculations. Revise

**Subject:** Comment to Drafter/Designer  
**Page Label:** 12  
**Author:** clare.steninger  
**Date:** 3/18/2024 2:08:10 PM  
**Status:**  
**Color:** ■  
**Layer:** Comment  
**Space:**

Total EQR does not match water calculations. Revise

Flow Class(es)	Average Daily Flow (GPD)	Average Daily Flow (MG)	Peak Day Factor (2-30 day ~ 10)	Peak Daily Flow (GPD)	Peak Ft (MG)
90	10,000	0.338	3.1	675,795	1.05
90	10,000	0.024	4.0	62,426	0.10
90	20,000	0.362	3.1	716,022	1.11
90	52,000	0.080	3.9	202,458	0.31
90	52,000	0.080	3.9	202,458	0.31

Blue callout box: Per Town criteria, commercial wastewater flow = 1000 gpd/ac. Therefore, this should be 20,000 gpd.

**Subject:** Comment to Drafter/Designer  
**Page Label:** 12  
**Author:** clare.steninger  
**Date:** 3/18/2024 2:06:52 PM  
**Status:**  
**Color:** ■  
**Layer:** Comment  
**Space:**

Per Town criteria, commercial wastewater flow = 1000 gpd/ac. Therefore, this should be 20,000 gpd.

Based on Town criteria, commercial wastewater flow would be ~3.84 EQR/ac, typical.

Retail Wastewater Design Flows			
	Equivalent Residential Units (ERU)	Population Density (persons/ac)	Flow (GPD/best)
Outfall #1			
	843	2.89	90
	90	2.89	90
	900	2.89	90
ERU Total			
Outfall #2			
	200	2.89	90
Basin Total	200	2.89	90

**Subject:** Comment to Drafter/Designer  
**Page Label:** 12  
**Author:** clare.steninger  
**Date:** 3/18/2024 2:07:52 PM  
**Status:**  
**Color:** ■  
**Layer:** Comment  
**Space:**

Based on Town criteria, commercial wastewater flow would be ~3.84 EQR/ac, typical.

90	264,824	0.405
90	7,803	0.012
90	269,724	0.417
90	555,834	0.860

10,000 gpd

**Subject:** Comment to Drafter/Designer  
**Page Label:** 12  
**Author:** clare.steninger  
**Date:** 3/18/2024 2:08:40 PM  
**Status:**  
**Color:** ■  
**Layer:** Comment  
**Space:**

10,000 gpd

Table Water Design Flows	
Use	Single Family Equivalent (SFE)
Residential	2167
Commercial (30 acres @ 3 SFE/ac)	90
<b>Project Total</b>	<b>2257</b>

Total EQR does not match wastewater calculations. Revise

**Subject:** Comment to Drafter/Designer  
**Page Label:** 14  
**Author:** clare.steninger  
**Date:** 3/18/2024 2:09:00 PM  
**Status:**  
**Color:** ■  
**Layer:** Comment  
**Space:**

Total EQR does not match wastewater calculations. Revise

## Engineer (2)

system via three proposed outfalls. Outfall #1 will serve the County Road 3 Sewer E on the north side of Erie Parkway. The main that will convey flow to utility reports have all downstream capacity for Outfall #1. Outfall #2 serves the County Road 3 Sewer E on the North Westerville side.

Actually should be Coal Creek not WCR 3. Revise.

**Subject:** Engineer  
**Page Label:** 3  
**Author:** clare.steninger  
**Date:** 3/18/2024 1:56:53 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Actually should be Coal Creek not WCR 3. Revise.

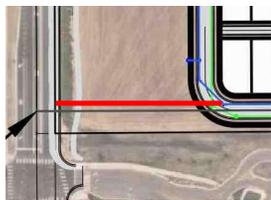
to Town sewer system development will tie into the Town of Erie's existing sanitary sewer used sewer outfall. In the southwest corner of the site which is within the Town's West Basin. A sewer main will be extended from the site, west along Parkway to connect to an existing manhole and eighteen-inch flow north through the County Road 3 Sewer E. Review of the report shows that this stub may have been overlooked in the design. Preliminary capacity calculations with the additional two feet of pipe may slightly exceed the Town's capacity. Design a variance may be requested.

Much higher than anticipated in Master Plan. Verify Town has allowed this.

**Subject:** Engineer  
**Page Label:** 3  
**Author:** clare.steninger  
**Date:** 3/18/2024 1:56:35 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Much higher than anticipated in Master Plan. Verify Town has allowed this.

## Line (1)



**Subject:** Line  
**Page Label:** 8  
**Author:** clare.steninger  
**Date:** 3/18/2024 2:01:46 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

**From:** Ryan Tigera <rtigera@mhfd.org> on behalf of submittals <submittals@mhfd.org>  
**Sent:** Friday, March 15, 2024 8:30 AM  
**To:** Doug Trettin; Development Referral  
**Cc:** Aly Burkhalter  
**Subject:** RE: 1st Referral Review - PD-001700-2024 North Westerly PD

**External Email:** Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi,

Thanks for the North Westerly PD referral. This project is in Weld County, which is outside the MHFD service boundary. We do not have any comments or require future referrals.

Thanks,

Ryan

**Ryan Tigera, P.E.**

Project Manager

**MILE HIGH FLOOD DISTRICT**

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Office: 303-455-6277 | Direct: 303-749-5420 | [www.mhfd.org](http://www.mhfd.org)

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**MHFD**

MILE HIGH FLOOD DISTRICT



---

**From:** Doug Trettin <[dtrettin@erieco.gov](mailto:dtrettin@erieco.gov)>  
**Sent:** Tuesday, February 20, 2024 11:43 AM  
**To:** Planning Division Staff <[planningdivisionstaff@erieco.gov](mailto:planningdivisionstaff@erieco.gov)>; Engineering <[engineering@erieco.gov](mailto:engineering@erieco.gov)>; Misty Hall <[mhall@erieco.gov](mailto:mhall@erieco.gov)>; Luke Bolinger <[lbolinger@erieco.gov](mailto:lbolinger@erieco.gov)>; Kathy Kron <[kkron@erieco.gov](mailto:kkron@erieco.gov)>; Economic Development <[economicdevelopment@erieco.gov](mailto:economicdevelopment@erieco.gov)>; GIS Request <[gis@erieco.gov](mailto:gis@erieco.gov)>; David Frank <[dfrank@erieco.gov](mailto:dfrank@erieco.gov)>; Lee Mathis <[lmathis@erieco.gov](mailto:lmathis@erieco.gov)>; Mike Haefele <[mhaefele@erieco.gov](mailto:mhaefele@erieco.gov)>; Kendra Carberry <[klc@hpwclaw.com](mailto:klc@hpwclaw.com)>; Miguel Aguilar <[maguilar@erieco.gov](mailto:maguilar@erieco.gov)>; John Ehrhart <[john@coloradols.com](mailto:john@coloradols.com)>; [prevention@mvfpd.org](mailto:prevention@mvfpd.org); Doug Saba <[dsaba@mvfpd.org](mailto:dsaba@mvfpd.org)>; Bill Cownern <[bill.cownern@foxtuttle.com](mailto:bill.cownern@foxtuttle.com)>; Cassie Slade <[cassie.slade@foxtuttle.com](mailto:cassie.slade@foxtuttle.com)>; [utilityrs@merrick.com](mailto:utilityrs@merrick.com); Jeanne Boyle <[Jeanne.Boyle@Merrick.com](mailto:Jeanne.Boyle@Merrick.com)>; submittals <[submittals@mhfd.org](mailto:submittals@mhfd.org)>; CGS\_LUR

<CGS\_LUR@mines.edu>; carlson@mines.edu; lharger@usbr.gov; Feula, Heidi <feula\_heidi@svvsd.org>; Engineering <Engineering@RTD-Denver.com>; Willits, Brendan <willits\_brendan@svvsd.org>; Kragerud, Ryan <kragerud\_ryan@svvsd.org>; Timothy Bilobran - CDOT <timothy.bilobran@state.co.us>; bradley.sheehan@state.co.us; steven.loeffler@state.co.us; platreferral@UnitedPower.com; WSTMWR\_MDSUBMISSIONS@comcast.com; Kyle.Sowder@blackhillscorp.com; Andrea Kehrl <aak@vrlaw.com>; jstruble@northernwater.org; Kristen Thompson <kthompson@northernwater.org>; contracts@northernwater.org; Jon File <jon.file@comcast.net>; dcross@stvrainsan.com; steve.turner@state.co.us; CTB-weld-districts <weld-districts@weldgov.com>; kranslem@weldgov.com; corpoffice@pcms.net; Jake.Billadeau@westernmidstream.com; Bob Bresnahan <bbresnahan@civiresources.com>; cnewhall@civiresources.com; Sean Casper <scasper@civiresources.com>; Don Jobe@oxy.com; Cristy Rangel@oxy.com; Antonio Cabral@oxy.com; grant.gerrard@westernmidstream.com; Kelly.Reynos@westernmidstream.com; kwasylenky@jostenergyllaw.com; rons@mdsslaw.com; mcreasy@carmelpartners.com  
**Cc:** Aly Burkhalter <aburkhalter@erieco.gov>; Jonathan Williams <jwilliams@erieco.gov>  
**Subject:** 1st Referral Review - PD-001700-2024 North Westerly PD

You don't often get email from [dtrettin@erieco.gov](mailto:dtrettin@erieco.gov). [Learn why this is important](#)

Hello,

Please see the link for 1<sup>st</sup> Referral Review submittal documents on the above noted project:

<https://portal.laserfiche.com/Portal/Browse.aspx?id=188183&repo=r-a69d230a>

Referral comments are due back by 03/19/2024. Staff DRT is scheduled for 3/21/2024.

Please forward referral comments to [developmentreferral@erieco.gov](mailto:developmentreferral@erieco.gov)

If you have any question or concerns, please contact me. Thank you.

**Doug Trettin** | Planning Technician



Town of Erie | Planning & Development  
645 Holbrook Street | P.O. Box 750 | Erie, CO 80516  
Phone: 303-926-2770  
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**From:** Kristen Thompson <kthompson@northernwater.org>  
**Sent:** Wednesday, March 6, 2024 2:35 PM  
**To:** Doug Trettin  
**Cc:** Development Referral  
**Subject:** RE: 1st Referral Review - PD-001700-2024 North Westerly PD

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

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Doug,

Parcel No. 146716400004 is not within the boundaries of the Municipal Subdistrict, Northern Colorado Water Conservancy District.

Parcel No. 146716200076 is not within the boundaries of the Northern Colorado Water Conservancy District or the Municipal Subdistrict, Northern Colorado Water Conservancy District.

These will need to be included within the boundaries.

Please let me know if I can assist in completing the Petitions for Inclusion.

Thank you  
Kris



**Kristen Thompson**

Contracts Specialist II – Land and Water | Northern Water  
Direct: (970) 622-2237

---

[220 Water Ave | Berthoud, CO 80513](https://www.northernwater.org) | (800) 369-RAIN (7246)  
[www.northernwater.org](https://www.northernwater.org) | [Facebook](#) | [X](#) | [Instagram](#) | [LinkedIn](#)

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---

**From:** Doug Trettin <[dtrettin@erieco.gov](mailto:dtrettin@erieco.gov)>  
**Sent:** Tuesday, February 20, 2024 11:43 AM  
**To:** Planning Division Staff <[planningdivisionstaff@erieco.gov](mailto:planningdivisionstaff@erieco.gov)>; Engineering <[engineering@erieco.gov](mailto:engineering@erieco.gov)>; Misty Hall <[mhall@erieco.gov](mailto:mhall@erieco.gov)>; Luke Bolinger <[lbolinger@erieco.gov](mailto:lbolinger@erieco.gov)>; Kathy Kron <[kkron@erieco.gov](mailto:kkron@erieco.gov)>; Economic Development <[economicdevelopment@erieco.gov](mailto:economicdevelopment@erieco.gov)>; GIS Request <[gis@erieco.gov](mailto:gis@erieco.gov)>; David Frank <[dfrank@erieco.gov](mailto:dfrank@erieco.gov)>; Lee Mathis <[lmathis@erieco.gov](mailto:lmathis@erieco.gov)>; Mike Haefele <[mhaefele@erieco.gov](mailto:mhaefele@erieco.gov)>; Kendra Carberry <[klc@hpwclaw.com](mailto:klc@hpwclaw.com)>; Miguel Aguilar <[maguilar@erieco.gov](mailto:maguilar@erieco.gov)>; John Ehrhart <[john@coloradols.com](mailto:john@coloradols.com)>; [prevention@mvfpd.org](mailto:prevention@mvfpd.org); Doug Saba <[dsaba@mvfpd.org](mailto:dsaba@mvfpd.org)>; Bill Cowern <[bill.cowern@foxtuttle.com](mailto:bill.cowern@foxtuttle.com)>; Cassie Slade <[cassie.slade@foxtuttle.com](mailto:cassie.slade@foxtuttle.com)>; [utilityrs@merrick.com](mailto:utilityrs@merrick.com); Jeanne Boyle <[Jeanne.Boyle@Merrick.com](mailto:Jeanne.Boyle@Merrick.com)>; [submittals@udfcd.org](mailto:submittals@udfcd.org); CGS\_LUR <[CGS\\_LUR@mines.edu](mailto:CGS_LUR@mines.edu)>; [carlson@mines.edu](mailto:carlson@mines.edu); [lharger@usbr.gov](mailto:lharger@usbr.gov); Feula, Heidi <[feula\\_heidi@svvsd.org](mailto:feula_heidi@svvsd.org)>; Engineering <[Engineering@RTD-Denver.com](mailto:Engineering@RTD-Denver.com)>; Willits, Brendan <[willits\\_brendan@svvsd.org](mailto:willits_brendan@svvsd.org)>; Kragerud, Ryan <[kragerud\\_ryan@svvsd.org](mailto:kragerud_ryan@svvsd.org)>; Timothy Bilobran - CDOT <[timothy.bilobran@state.co.us](mailto:timothy.bilobran@state.co.us)>; [bradley.sheehan@state.co.us](mailto:bradley.sheehan@state.co.us); [steven.loeffler@state.co.us](mailto:steven.loeffler@state.co.us); [platreferral@UnitedPower.com](mailto:platreferral@UnitedPower.com); [WSTMWR\\_MDSubmissions@comcast.com](mailto:WSTMWR_MDSubmissions@comcast.com); [Kyle.Sowder@blackhillscorp.com](mailto:Kyle.Sowder@blackhillscorp.com); Andrea Kehrl <[aak@vrlaw.com](mailto:aak@vrlaw.com)>; Jim L. Struble <[jstruble@northernwater.org](mailto:jstruble@northernwater.org)>; Kristen Thompson <[kthompson@northernwater.org](mailto:kthompson@northernwater.org)>; MailContracts <[contracts@northernwater.org](mailto:contracts@northernwater.org)>; Jon File <[jon.file@comcast.net](mailto:jon.file@comcast.net)>; [dcross@stvrainsan.com](mailto:dcross@stvrainsan.com); [steve.turner@state.co.us](mailto:steve.turner@state.co.us); CTB-weld-districts <[weld-districts@weldgov.com](mailto:weld-districts@weldgov.com)>; [kranslem@weldgov.com](mailto:kranslem@weldgov.com); [corpoffice@pcms.net](mailto:corpoffice@pcms.net); [Jake.Billadeau@westernmidstream.com](mailto:Jake.Billadeau@westernmidstream.com); Bob Bresnahan <[bbresnahan@civiresources.com](mailto:bbresnahan@civiresources.com)>; [cnewhall@civiresources.com](mailto:cnewhall@civiresources.com); Sean Casper <[scasper@civiresources.com](mailto:scasper@civiresources.com)>; [Don\\_Jobe@oxy.com](mailto:Don_Jobe@oxy.com); [Cristy\\_Rangel@oxy.com](mailto:Cristy_Rangel@oxy.com); [Antonio\\_Cabral@oxy.com](mailto:Antonio_Cabral@oxy.com); [grant.gerrard@westernmidstream.com](mailto:grant.gerrard@westernmidstream.com); [Kelly.Reyos@westernmidstream.com](mailto:Kelly.Reyos@westernmidstream.com); [kwasylenky@jostenergylaw.com](mailto:kwasylenky@jostenergylaw.com); [rons@mdsslaw.com](mailto:rons@mdsslaw.com); [mcreasy@carmelpartners.com](mailto:mcreasy@carmelpartners.com)  
**Cc:** Aly Burkhalter <[aburkhalter@erieco.gov](mailto:aburkhalter@erieco.gov)>; Jonathan Williams <[jwilliams@erieco.gov](mailto:jwilliams@erieco.gov)>  
**Subject:** 1st Referral Review - PD-001700-2024 North Westerly PD

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Hello,

Please see the link for 1<sup>st</sup> Referral Review submittal documents on the above noted project:

<https://portal.laserfiche.com/Portal/Browse.aspx?id=188183&repo=r-a69d230a>

Referral comments are due back by 03/19/2024. Staff DRT is scheduled for 3/21/2024.

Please forward referral comments to [developmentreferral@erieco.gov](mailto:developmentreferral@erieco.gov)

If you have any question or concerns, please contact me. Thank you.

**Doug Trettin** | Planning Technician



Town of Erie | Planning & Development  
645 Holbrook Street | P.O. Box 750 | Erie, CO 80516  
Phone: 303-926-2770  
[www.erieco.gov/planning](http://www.erieco.gov/planning)

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**From:** Nataly Handlos <Nataly.Handlos@rtd-denver.com>  
**Sent:** Tuesday, March 19, 2024 4:58 PM  
**To:** Aly Burkhalter; Clayton Woodruff  
**Cc:** Miguel Aguilar  
**Subject:** RE: RE - PD-001700-2024 North Westerly PD

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Thank you, Aly.  
We appreciate your follow up and clarification.

Have a great afternoon.

Cheers.

Nataly



**Nataly Handlos**  
Lead Service Planner & Scheduler,  
Service Development – NorthTeam  
Regional Transportation District  
[1660 Blake Street, Blk-24](#)  
[Denver, CO 80202](#)  
  
303.299.2059 | f 303.299.2777  
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*"What we do in Life echoes in Eternity" Banksy Think happy thoughts and good things will happen!*

---

**From:** Aly Burkhalter <[aburkhalter@erieco.gov](mailto:aburkhalter@erieco.gov)>  
**Sent:** Tuesday, March 19, 2024 4:51 PM  
**To:** Nataly Handlos <[Nataly.Handlos@rtd-denver.com](mailto:Nataly.Handlos@rtd-denver.com)>; Clayton Woodruff <[Clayton.Woodruff@RTD-Denver.com](mailto:Clayton.Woodruff@RTD-Denver.com)>

Cc: Miguel Aguilar <[maguilar@erieco.gov](mailto:maguilar@erieco.gov)>  
Subject: RE: RE - PD-001700-2024 North Westerly PD

Nataly,

Thank you. As this is specifically north of Erie Parkway, I'll note RTD as no comment for this project.

**Aly Burkhalter** | Planner

Pronouns: *She / Her / Hers / Ella* ([What's this?](#))

Town of Erie | Planning & Development

Phone: 303-981-5985

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---

**From:** Nataly Handlos <[Nataly.Handlos@rtd-denver.com](mailto:Nataly.Handlos@rtd-denver.com)>

**Sent:** Tuesday, March 19, 2024 4:44 PM

**To:** Clayton Woodruff <[Clayton.Woodruff@RTD-Denver.com](mailto:Clayton.Woodruff@RTD-Denver.com)>; Aly Burkhalter <[aburkhalter@erieco.gov](mailto:aburkhalter@erieco.gov)>

**Cc:** Miguel Aguilar <[maguilar@erieco.gov](mailto:maguilar@erieco.gov)>

**Subject:** RE: RE - PD-001700-2024 North Westerly PD

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Thank you for passing this along, Scott.

Aly.

Thank you for the clarification. There was confusion on our part regarding the location of the development.

We would like to retain the comments below for the development south of Erie Parkway, as we are looking to work with the Town on a re-route/route extension to the High School area, for Route JUMP in the near future. For that we would require a terminal and access to a restroom for our operators, within short walking distance, per our Collective Bargaining Agreement.

If you have any questions in this regard, please let me know.

Again, thank you for reaching out and for clarifying this for us.

Have a great afternoon.

Cheers.

Nataly



**Nataly Handlos**

Lead Service Planner & Scheduler,  
Service Development – NorthTeam  
Regional Transportation District

[1660 Blake Street, Blk-24](#)

[Denver, CO 80202](#)

303.299.2059 | f 303.299.2777  
[rtd-denver.com](http://rtd-denver.com)

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**Note:**

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*"The single biggest problem in communication is the illusion that it has taken place." George Bernard Shaw*  
*"What we do in Life echoes in Eternity" Banksy Think happy thoughts and good things will happen!*

---

**From:** Clayton Woodruff <[Clayton.Woodruff@RTD-Denver.com](mailto:Clayton.Woodruff@RTD-Denver.com)>  
**Sent:** Tuesday, March 19, 2024 3:12 PM  
**To:** Aly Burkhalter <[aburkhalter@erieco.gov](mailto:aburkhalter@erieco.gov)>  
**Cc:** Miguel Aguilar <[maguilar@erieco.gov](mailto:maguilar@erieco.gov)>; Nataly Handlos <[Nataly.Handlos@rtd-denver.com](mailto:Nataly.Handlos@rtd-denver.com)>  
**Subject:** RE: RE - PD-001700-2024 North Westerly PD

I was just forwarding a comment from Nataly

Nataly could you address this question?

Thank you,



**C. Scott Woodruff**  
**Engineer III**  
Regional Transportation District  
1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202  
  
o 303.299.2943 | m 303-720-2025  
[clayton.woodruff@rtd-denver.com](mailto:clayton.woodruff@rtd-denver.com)

---

**From:** Aly Burkhalter <[aburkhalter@erieco.gov](mailto:aburkhalter@erieco.gov)>  
**Sent:** Tuesday, March 19, 2024 10:10 AM  
**To:** Clayton Woodruff <[Clayton.Woodruff@RTD-Denver.com](mailto:Clayton.Woodruff@RTD-Denver.com)>  
**Cc:** Miguel Aguilar <[maguilar@erieco.gov](mailto:maguilar@erieco.gov)>  
**Subject:** RE: RE - PD-001700-2024 North Westerly PD

Hi Clayton,

Thank you for your comment. I do want clarify that this is for the community on the north side of Erie Parkway. Our Transportation Planner, Miguel Aguilar, has stated that the planned RTD terminal is for the portion of the Westerly community south of Erie Parkway.

**Aly Burkhalter** | Planner

Pronouns: *She / Her / Hers / Ella* ([What's this?](#))

Town of Erie | Planning & Development

Phone: 303-981-5985

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---

**From:** Clayton Woodruff <[Clayton.Woodruff@RTD-Denver.com](mailto:Clayton.Woodruff@RTD-Denver.com)>

**Sent:** Tuesday, March 19, 2024 7:20 AM

**To:** Development Referral <[developmentreferral@erieco.gov](mailto:developmentreferral@erieco.gov)>

**Subject:** RE - PD-001700-2024 North Westerly PD

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Aly,

The RTD would like to extend service into the development for a terminal near the community amenity area.

This review is for Design concepts and to identify any necessary improvements to RTD stops and property affected by the design. This review of the plans does not eliminate the need to acquire, and/or go through the acquisition process of any agreements, easements or permits that may be required by the RTD for any work on or around our facilities and property.



**C. Scott Woodruff**

**Engineer III**

Regional Transportation District  
1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202

o 303.299.2943 | m 303-720-2025

[clayton.woodruff@rtd-denver.com](mailto:clayton.woodruff@rtd-denver.com)



Your Touchstone Energy® Cooperative 

March 18, 2024

Town of Erie | Planning & Development  
645 Holbrook Street  
Erie, CO 80516

Re: PD-001700-2024 North Westerly Planned Development Zoning

Dear Aly:

On behalf of United Power, Inc., thank you for inviting us to review and comment on the Planned Development Zoning for North Westerly. After review of the information, we have existing electrical facilities in the area that may or may not need to be upgraded depending on the requirements of the site.

Please note United Power's standard easement requirements that will be needed for future subdivision plat submittals:

- **Front or Rear Lot Distribution** – United Power requires continuous dry utility easements for reliable electric facility installation. This allows us to install electric facilities in a continuous manner for our loop feed which provides reliability. We prefer the separation of gas and electric. Typically, with electric in the rear of the subdivision lots. We will need 8' to 10' wide dry utility easements in the rear of all lots. These utility easements will need to be on sides of lots abutting roads, and across tracts. If gas and electric will be sharing front lot distribution, we will need a 10' to 15' wide dry utility easements in the front of all lots. These utility easements will need to be on sides of lots abutting roads, and across tracts as well.
- Easements utilized by United Power cannot be encumbered by any hard surfaces such as streets or sidewalks. Although the roadways/tracts on the plat are dedicated to utilities, we have above ground equipment that cannot be placed within these areas. In addition, sidewalks take away from the use of the easement & reduces the area, limiting where our equipment can be placed.
- Tracts/Open Space/Parks – United Power prefers dedicated blanket utility easement use within tracts as this gives us the opportunity to set above ground equipment, coordinated with the developer, and limit the impact to home lots. If Blanket utility easement(s) cannot be given, we request 10'-12' easements along perimeter of tracts abutting roads, and through tracts between lots.
- Streetlights – When streetlight locations are identified in a subdivision, we need a 5' wide dry utility easement along one side of the lot closest to the streetlight location. All streetlight locations must be approved and signed off by the city/town, etc. Please note, if we do not get these through

the platting process, we will have to get individual ones during the design which will slow United Power's ability to start construction significantly.

- Easements utilized by United Power cannot be encumbered by any hard surfaces such as streets or sidewalks. Even though a roadway(s)/tract(s) on the plat may be dedicated to utilities, we have above ground equipment that cannot be placed within these areas. In addition, sidewalks take away from the use of the easement & reduces the easement area, limiting where our equipment can be placed.
- Landscaping within a Utility Easement - When placing landscaping above underground lines or within utility easements, we cannot have any deep rooting vegetation or trees planted over our lines. Only shallow roots, such as, bushes, shrubs, and grasses. The trunk/base of the tree(s) should be minimum of 5' away from the underground electric line. Any landscaping should be a minimum clearance distance of 10-feet from the front and both sides of equipment such as transformers, and cabinets, etc. and five feet from the back to allow a backhoe if needed.
- **All dry Utility Easements must be noted and called out clearly in all lots and sections upon future review of all Plats.**

Please have the property owner/developer/contractor submit an application for new electric service, any modification to existing facilities including relocation and/or removal along with CAD data via <https://www.unitedpower.com/construction>. United Power would like to work early with the applicant in the construction process to get an electric design prepared so that we can request any additional easements. When possible, we prefer these easements are dedicated on the plat rather than obtaining by separate instrument. Obtaining easements via a separate instrument can be time consuming and could cause delays.

***As a Reminder:*** No permanent structures are acceptable within the dry utility easement(s); such as, window wells, wing walls, retaining walls, basement walls, roof overhang, anything affixed to the house like decks, etc. United Power considers any structure that impedes the access, maintenance, and safety of our facilities a permanent structure. No exceptions can be allowed, and any encroachments could result in penalties.

Service will be provided according to the rules, regulations, and policies in effect by United Power at the time service is requested. We would like to remind the developer to call the Utility Notification Center by dialing 811 to have all utilities located prior to construction. We look forward to safely and efficiently providing reliable electric power and outstanding service.

Thank you,



Emily Fore  
United Power, Inc.  
Right of Way Agent  
M: 970-515-0128 | Email: [platreferral@unitedpower.com](mailto:platreferral@unitedpower.com)

March 19, 2024

Aly Burkhalter  
Town of Erie Planning & Development  
developmentreferral@erieco.gov

*Sent Via E-Mail*

Re: North Westerly PD – PD 001700-2024 – First Referral Review

Dear Aly:

You requested our comments regarding the above-referenced planned development zoning application by today. This letter provides our initial comments at this time, and we will likely have additional comments as the application progresses.

The Land Use Application describes the “[p]roposal to re-zone the North Westerly property to PD to provide the opportunity for a Mixed Use community that provides a transition to the Erie Gateway community, and a logical extension of the existing Westerly Community.” We have previously provided referral comments regarding the North Westerly Annexation, Initial Zoning, and Annexation Plat (AN-001523-2022/IZ-001524-2022/AP-001525-2022) by letters dated May 8, 2023, March 14, 2023, and January 10, 2023. We reiterate and incorporate our prior comments in this letter as appropriate.

All parcels associated with the project must be included into both the Northern Colorado Water Conservancy District (“NCWCD”) and its Municipal Subdistrict before receiving any water service from the Town. The title commitment does not clearly identify which parcels have been included in NCWCD and/or its Municipal Subdistrict. The Applicant should confirm that all parcels associated with the project are included in both the NCWCD and its Municipal Subdistrict before providing them water service.

Also, if the parcels are included in the Left Hand Water District (“Left Hand”), they should be excluded from Left Hand, with written confirmation that Left Hand will continue to provide water service until such time as the Town provides water service to the property. Said exclusion shall occur prior to the approval of the final plat for any subdivision of the property.

From a water rights standpoint, we note that we need to determine whether there are any appurtenant decreed surface and/or ground water rights that should be conveyed to the Town pursuant to Town Municipal Code Section 8-1-9 governing dedication of water rights. To do so, the Applicant must complete the Town's Declaration of Water Rights form. Please forward the completed form to our office for evaluation. The applicant's initial submittal materials suggest there "is 1 shut in well on the property and several plugged and abandoned wells." The applicant should provide more information regarding existing water infrastructure on the property, including evidence that the referenced wells have been plugged and abandoned in fact. The applicant should also provide additional explanation and support for the water use values and assumptions included in the January 2024 Utility Report ("Utility Report"), which include, among other things, an irrigation water demand of 435 acre-feet per year, which is substantial.

The Town should not provide sanitary sewer service to the property until such time as it provides water service. This is necessary for the Town to properly account for the sanitary sewer return flows to the Town's wastewater and reuse systems. The applicant's Utility Report notes generally that the "North Westerly development will tie into the Town of Erie's existing sanitary sewer system via three proposed sewer outfalls." With respect to the new infrastructure needed to serve the development, Section 10.5.5.A of the Town's Unified Development Code requires applicants to pay for and construct all on-site and off-site public improvements and common facilities required to adequately serve the proposed development, and Section 10.5.5.C provides that a proposed subdivision shall not cause an undue burden on existing Town utility systems or community facilities. Sections 8-1-16 and 8-2-8 of the Town's Municipal Code, respectively, also require an applicant to pay for the extension of water mains and sewer mains, except where agreed upon otherwise with the Town. Payment for and construction of any additional improvements, if necessary, must be a requirement of the approval of a proposed development, and the public improvements and facilities must be governed by a separate Development Agreement, which must meet the requirements of the Town's Standards and Specifications for Design and Construction of Public Improvements.

Finally, any non-tributary ground water rights associated with the property should be dedicated to Erie.

We appreciate the opportunity to provide these comments, and we anticipate providing additional comments as the project progresses. Please contact us with any questions or comments.

Sincerely,

VRANESH AND RAISCH, LLP

*s/ Bradley N. Kershaw* \_\_\_\_\_

Bradley N. Kershaw, Esq.

Andrea A. Kehrl, Esq.

cc: Todd Fessenden; Peter C. Johnson, Esq.

**From:** Bradley Kershaw <bnk@vrlaw.com>  
**Sent:** Tuesday, March 19, 2024 1:55 PM  
**To:** Development Referral  
**Cc:** Andrea Kehrl  
**Subject:** RE: 1st Referral Review Comments - North Westerly PD 001700-2024

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Hi Aly,

I am sending a quick follow up to my email below to note that we will need to review a completed Declaration of Water Rights form from the applicant to further evaluate some water related aspects of this application. A request that the applicant complete and return that form is included in our initial referral review comment letter below, but is also worth specific mention here. Please forward that completed form to our office for review when provided by the applicant.

Thanks very much and please let us know if you have any questions.

-Bradley

Bradley N. Kershaw, Esq.  
Vranesh and Raisch, LLP  
[5303 Spine Road, Suite 202](#)  
[Boulder, CO 80301](#)  
[bnk@vrlaw.com](mailto:bnk@vrlaw.com)  
Office: 303-443-6151 x212  
Cell: 918-230-5677

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---

**From:** Bradley Kershaw  
**Sent:** Tuesday, March 19, 2024 1:41 PM  
**To:** [developmentreferral@erieco.gov](mailto:developmentreferral@erieco.gov)  
**Cc:** Andrea Kehrl <[aak@vrlaw.com](mailto:aak@vrlaw.com)>; Todd Fessenden <[tfessenden@erieco.gov](mailto:tfessenden@erieco.gov)>; Peter C. Johnson <[pcj@vrlaw.com](mailto:pcj@vrlaw.com)>  
**Subject:** 1st Referral Review Comments - North Westerly PD 001700-2024

Dear Aly,

Attached please find a letter with our comments regarding the above land use application.

Please let us know if you have any questions.

Thanks very much,

-Bradley

Bradley N. Kershaw, Esq.  
Vranesh and Raisch, LLP  
[5303 Spine Road, Suite 202](#)  
[Boulder, CO 80301](#)  
[bnk@vrlaw.com](mailto:bnk@vrlaw.com)  
Office: 303-443-6151 x212  
Cell: 918-230-5677

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**DEPARTMENT OF PLANNING SERVICES**

1402 N. 17<sup>th</sup> Ave

Greeley, CO 80631

Website: [www.weld.gov](http://www.weld.gov)

Email: [jflesher@weld.gov](mailto:jflesher@weld.gov)

Phone: (970) 400-3552

Fax: (970) 304-6498

Via email to [developmentreferral@erieco.gov](mailto:developmentreferral@erieco.gov)

March 19, 2024

Doug Trettin  
Town of Erie Planning & Development  
645 Holbrook Street  
Erie, CO 80516

Subject: North Westerly PD

Dear Mr. Trettin:

The Weld County Departments of Planning Services and Public Works continue to recommend County Road 10 between County Roads 5 and 7 be annexed to the Town. As mentioned in a previous email, the town attorney should work with the county attorney, Bruce Barker, on this process.

If CR 10 is not annexed, an access permit from the County would be required prior to connecting any road or access. The County would also require a full traffic impact study and an Improvements Agreement and improvements based on the study. Potential stormwater drainage impacts to CR 10 would also need to be evaluated when a complete drainage report is provided.

Thank you for the opportunity to comment on this proposal. Weld County respectfully reserves the right to make further comment on information or issues as they are discovered.

Sincerely,

Jim Flesher, AICP  
Long-Range Planner  
Weld County

February 26, 2024

**VIA E-MAIL**

Planning & Development: Town of Erie  
645 Holbrook St.  
P.O. Box 750  
Erie, CO 80516  
[developmentreferral@erieco.gov](mailto:developmentreferral@erieco.gov)

**NOTICE OF RIGHT-OF-WAY GRANTS OWNED BY WES-DJ GATHERING LLC**

Re: PD-001700-2024 North Westerly PD  
North Westerly Owner LLC – Property Owner  
Township 1 North, Range 68 West, 6th P.M.  
Section 16  
Weld County, Colorado

Town of Erie Planning & Development:

This letter is being sent by WES-DJ Gathering LLC (“WES”) to inform you that WES is the owner of valid easements and pipelines located in of Section 16, Township 1 North, Range 68 West for which the Town of Erie Planning & Development (“Town”) is reviewing PD-001700-2024 North Westerly PD. WES is submitting this comment timely, in accordance with the Town’s procedural requirements.

The following are comments in support of this Notice:

1. WES is the owner of a valid Right-of-Way Grant that was executed on April 14<sup>th</sup>, 1993 and recorded on June 9, 1994 with the Weld County Clerk and Recorder at reception number 02392565.
2. WES is the owner of a valid Right-of-Way Grant that was executed on February 11<sup>th</sup>, 1980 and recorded on February 1, 1989 with the Weld County Clerk and Recorder at reception number 02169606.
3. WES is the owner of a valid Right-of-Way Grant that was executed on October 7<sup>th</sup>, 2011 and recorded on April 18, 2012 with the Weld County Clerk and Recorder at reception number 3839836.
4. WES is the owner of a valid unrecorded Right-of-Way Grant that was executed on November 13<sup>th</sup>, 1984 between the State of Colorado and Vessels Oil and Gas Company.
5. WES is the owner of a valid unrecorded Right-of-Way Grant that was executed on October 24, 1986 between the State of Colorado and Vessels Oil and Gas.
6. WES is the owner of a valid Right-of-Way Grant that was executed on November 14<sup>th</sup>, 1986 and recorded on October 8, 1987 with the Weld County Clerk and Recorder at reception number 02117216.
7. WES is the owner of a valid Right-of-Way Grant that was executed on November 4<sup>th</sup>, 2011 and recorded on February 4, 2013 with the Weld County Clerk and Recorder at reception number 3907637.

8. WES is the owner of a valid unrecorded Right-of-Way Grant that was executed on November 15<sup>th</sup>, 2017 between the State of Colorado and Kerr-McGee Gathering LLC.
9. WES is the owner of a valid unrecorded Road Access Permit that was executed on November 16<sup>th</sup>, 2020 between the State of Colorado and Kerr-McGee Gathering LLC.
10. WES is the owner of a valid unrecorded Road Access Permit that was executed on November 16<sup>th</sup>, 2020 between the State of Colorado and Kerr-McGee Gathering LLC.

The applicant MUST review the above grants and cannot not encroach on WES's pipelines. The applicant will need to conform to all terms of the Right-of-Way Grants identified above and adhere to WES safety requirements:

- Any utility crossing (phone, water, sewer, fiber optic cables, etc) require a minimum of 2' of vertical separation and should cross as close to 90° as possible.
- Utilities paralleling a WES pipeline will need to maintain at least 10' of horizontal separation.
  - o For any work taking place within 10 feet, WES lines must be verified by hydrovacating with a WES standby present for both location and depth of pipeline.
- Grade cannot be reduced over the top of a WES Pipeline without prior written consent to ensure applicable federal pipeline safety regulations are not violated.
- Should crossing be required with heavy equipment, the make/model/max loaded weight of construction vehicles must be provided to WES at least 1 month in advance of dirt work for review and written approval.
- A standby will be required for any digging within 10' of a WES pipeline.
- Colorado 811 Laws must be adhered to.

Provided that the requirements above are met, WES does not object to the proposed PD-001700-2024 North Westerly PD. Additionally, WES reserves the right to stop work for any encroachment related to the proposed development if the above safety precautions are not met.

Please contact me at 970-598-4104 or [paul.gerrish@westernmidstream.com](mailto:paul.gerrish@westernmidstream.com) if you have any questions or comments about this matter.

Sincerely,  
WES DJ GATHERING LLC

Paul Gerrish  
Staff Landman

cc: Sherry Bursey, Senior Counsel  
Jayson L. VanShura  
Jake Billadeau  
Jasmine Hymes  
Tyler Piesik  
Thomas Ishida