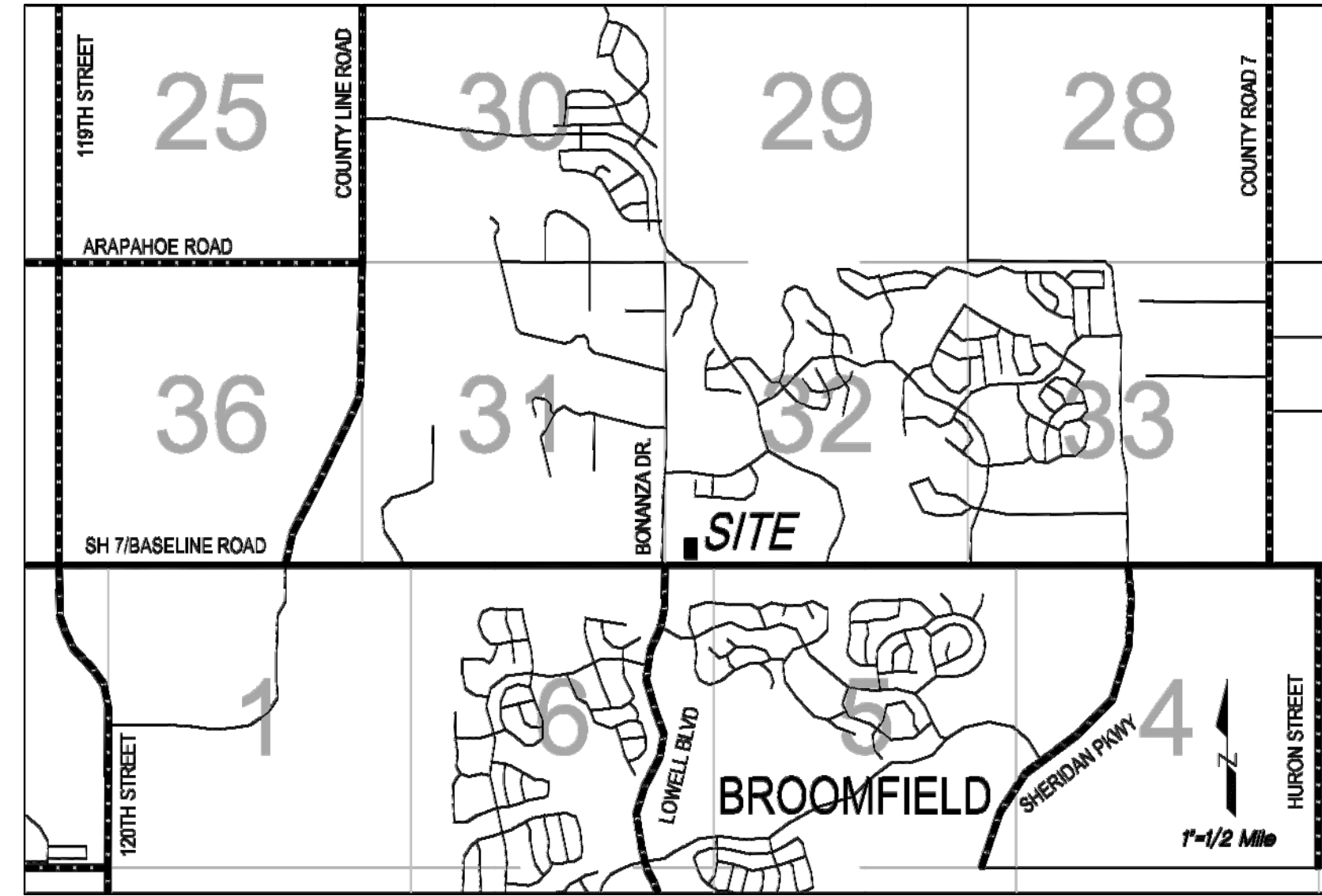


VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
SRU AREA - 0.83 ACRES - TOTAL AREA 0.83 ACRES
SITE PLAN - SP-001187-2020
(SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)



VICINITY MAP
1"=1/2 MILE

- SHEET INDEX**
- 1 COVER SHEET
 - 2 SITE PLAN
 - 3 LANDSCAPE PLAN
 - 4 LANDSCAPE DETAILS
 - 5 UTILITY PLAN
 - 6 GRADING AND DRAINAGE PLAN
 - 7 PHOTOMETRIC PLAN
 - 8 LIGHT FIXTURE CUT SHEETS
 - 9 SITE DETAILS
 - 10 EXTERIOR ELEVATIONS

SITE DATA TABLE		
ZONE DISTRICT - PD COMMERCIAL		
SITE ADDRESS	530 COMMONS DRIVE	
ITEM	SQUARE FOOTAGE	% OF GROSS SITE AREA
GROSS SITE AREA	36,305	100
BUILDING FOOTPRINT	4,392	12.1
HARDSCAPE AREA	17,758	48.9
PLANTED AREA (EXCLUDING PLANTED INTERIOR PARKING ISLANDS)	14,155	39.0
EXISTING VEGETATION	0	0
LANDSCAPE TOTAL	14,155	39.0
OFF-STREET PARKING	REQUIRED	PROVIDED
STANDARD SPACES		
DOG WASH (ANIMAL CARE) - 1/600 S.F.	1	
EMPLOYEE	1	
TOTAL STANDARD SPACES	2	8
STACKING SPACES		
AUTOMATIC WASH BAYS - 8 SP./BAY	18	
SELF-SERVE WASH BAYS - 3 SP./BAY	9	
TOTAL STACKING SPACES	27	34
ACCESSIBLE PARKING SPACES	1	1

LEGAL DESCRIPTION:
LOT 5, VISTA RIDGE FILING NO. 6, 2ND AMENDMENT

SITE PLAN APPROVAL CERTIFICATE

THIS SITE PLAN HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORDANCE WITH APPLICABLE TOWN OF ERIE REGULATIONS.

PLANNING COMMISSION CHAIR _____ DATE _____

BOARD OF TRUSTEES MAYOR _____ DATE _____

the undersigned as the owner or owner's representative of the lands described herein, hereby agrees on behalf of himself/herself, their heirs, successors, and assigns to develop and maintain the property described hereon in accordance with this approved Site Plan and in compliance with the Town of Erie Unified Development Code and Municipal Code.

OWNER _____ OWNER PRINTED NAME _____

Acknowledged before me this _____ day of _____, 20____,
by _____ as _____.

Witness my hand and official seal _____ (seal)

Notary Public _____

My commission expires: _____

AMENDMENTS

PROJECT CONTACTS:

APPLICANT AUTOWASH, LLLP ATTN: SKYLAR 2033 CENTRAL PARK BLVD. DENVER, CO 80228 PHONE: (303) 514-0905 CONTACT: DENNIS DREESZEN dennisdreeszen@hotmail.com	OWNER BONANZA DRIVE DEVELOPMENT CORPORATION 9750 CAMBRIDGE ST. LITTLETON, CO 80127 (303) 920-5490 jpehalska@marathon.com	ARCHITECT HOVER ARCHITECTURE 8999 S. LINCOLN ST., SUITE 201 LITTLETON, CO 80122 CONTACT: TROY KIRSCHMAN PHONE: (720) 773-2961 jkirschman@hoverarchitecture.com	CIVIL ENGINEER KELLY DEVELOPMENT SERVICES 3931 SCRUB OAK LANE LONE TREE, CO 80124 CONTACT: GREG KELLY PHONE: (303) 998-4338 greg@kellysev.com	LANDSCAPE ARCHITECT JUMP DESIGN 1733 S. CLARISON ST. DENVER, CO 80104 CONTACT: TOM JUMP PHONE: (303) 282-0463 tom@jumpdesign.com
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DATE OF ISSUE: 04-23-21
SCALE: N.A.
DRAWN BY: AT
CHECKED BY: AT

HOVER ARCHITECTURE
8089 S. LINCOLN STREET
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(720) 773-2801

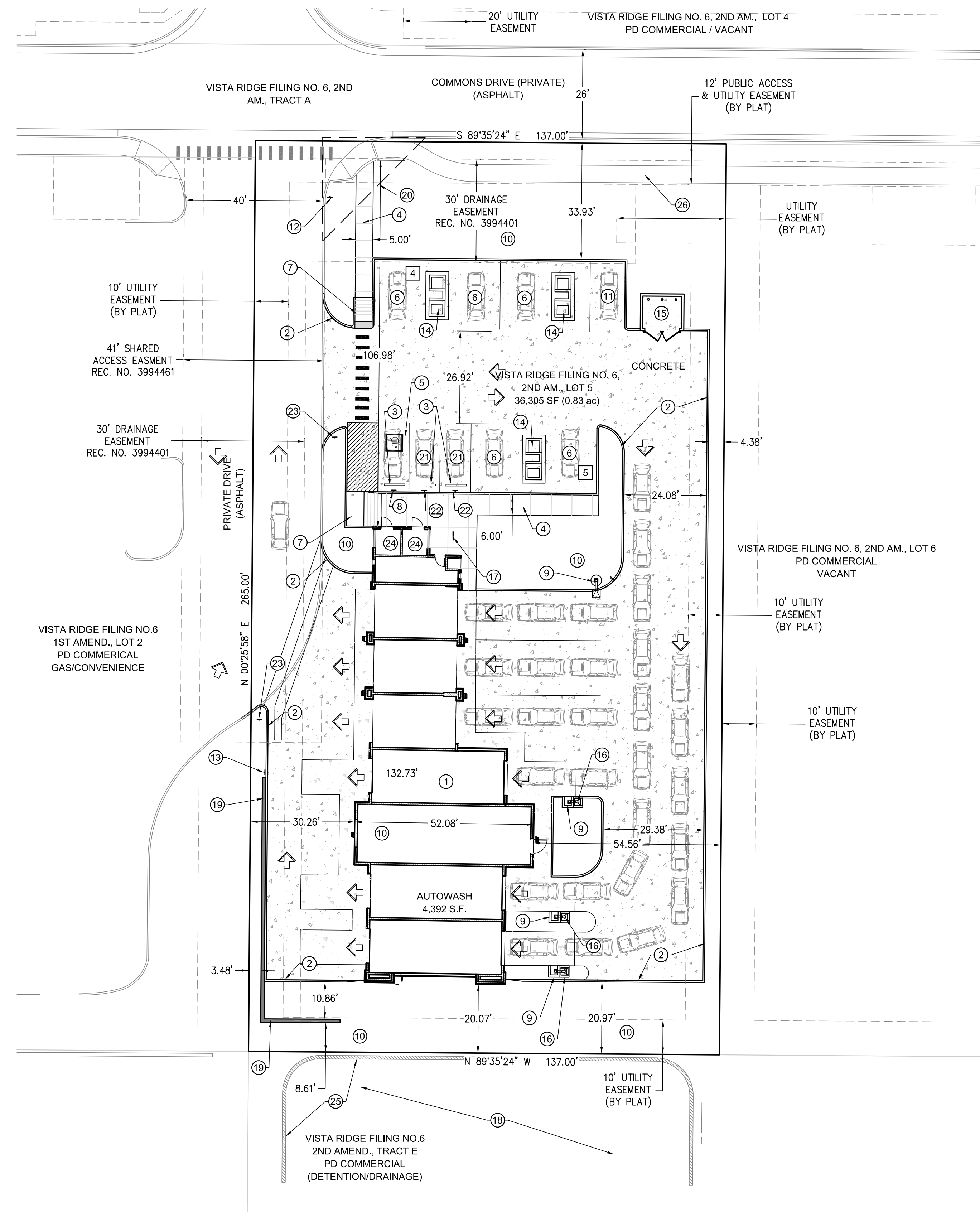
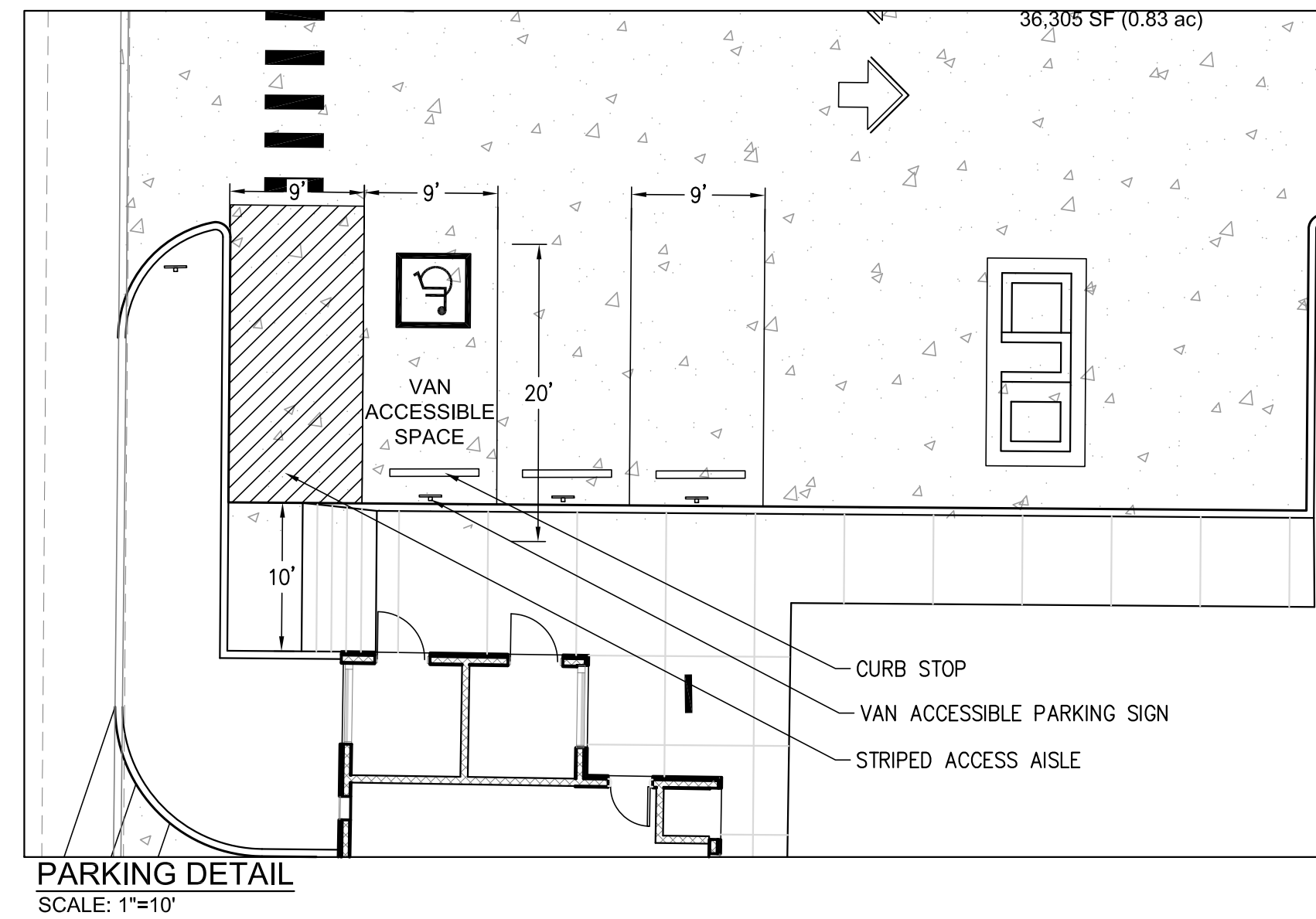
SHEET

1 OF 10

COVER SHEET

VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
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SRU AREA - 0.83 ACRES - TOTAL AREA 0.83 ACRES
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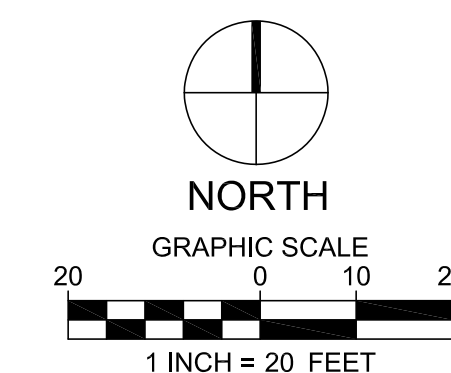


PROJECT BASIS OF BEARING:
BEARINGS ARE BASED ON THE WESTERLY LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32 BEING N00°15'14"E, 1321.02 FEET BETWEEN THE SOUTHWEST CORNER OF SECTION 32 (2.5" ALUMINUM CAP, ILLEGIBLE) AND THE SOUTH SIXTEENTH CORNER OF SECTIONS 31 AND 32 (2" ALUMINUM CAP, LS 14083).

BENCHMARK:
SE CORNER OF VISTA RIDGE FILING NO. 6 FIRST AMENDMENT, LOT 2 ON 1" PLASTIC CAP MARKED PLS 37990 SET ON 18" #4 REBAR. ELEVATION=5179.46' (NGVD29 DATUM)

SITE PLAN KEYNOTES

- ① BUILDING
- ② 6" CURB AND GUTTER
- ③ CONCRETE CURB STOP
- ④ SIDEWALK
- ⑤ 12' x 19' HANDICAP PARKING STALL
- ⑥ VACUUM PARKING STALL
- ⑦ HANDICAP ACCESSIBLE RAMP
- ⑧ HANDICAP VAN ACCESSIBLE POLE-MOUNTED SIGN
- ⑨ POLE-MOUNTED LIGHT
- ⑩ LANDSCAPE AREA
- ⑪ EMPLOYEE PARKING STALL
- ⑫ STOP SIGN
- ⑬ FIRE LANE - NO PARKING SIGN
- ⑭ VACUUM ISLAND AND TRASH CAN
- ⑮ TRASH ENCLOSURE
- ⑯ AUTOMATED PAY STATION
- ⑰ BIKE RACK
- ⑱ EXISTING DETENTION/WATER QUALITY FACILITY
- ⑲ DRY STACK BLOCK RETAINING WALL
- ⑳ 30' LANDSCAPE TRIANGLE
- ㉑ DOG WASH PARKING SPACE
- ㉒ "DOG WASH ONLY" PARKING SIGN
- ㉓ "DO NOT ENTER" SIGN
- ㉔ DOG WASH
- ㉕ OFFSITE RETAINING WALL (BY OTHERS)
- ㉖ SIDEWALK (BY OTHERS - TO BE INSTALLED PRIOR TO LANDSCAPING INSTALLATION)
- ⑤ STALL COUNT



DATE OF ISSUE: 04-23-21

SCALE: 1"=20'

DRAWN BY: AT

CHECKED BY: AT

H O V E R
ARCHITECTURE
8089 S. LINCOLN STREET
SUITE 201
LITTLETON, CO 80122
(720) 773-2801

SHEET

2 OF 10

SITE PLAN

VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN

AUTOWASH AT VISTA RIDGE



A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
SRU AREA - .83 ACRES - TOTAL AREA .83 ACRES
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NOTES

1. ALL WORK SHALL CONFORM TO THE TOWN OF ERIE, STATE AND ALL APPLICABLE CODES AND REGULATIONS.

2. CONTACT APPROPRIATE UTILITY LOCATORS TO LOCATE ALL BURIED UTILITY LINES. FIELD-VERIFY EXISTING LOCATIONS, GRADES, AND CONDITIONS OF ALL BURIED LINES AND STRUCTURES PRIOR TO BEGINNING CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS. DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED AT HIS OWN COST WITH NO EXPENSE TO THE OWNER.

3. REFER TO THE CONSTRUCTION PLAN SET FOR RELATED PLAN INFORMATION INCLUDING ARCHITECTURAL, ENGINEERING AND ELECTRICAL DRAWINGS. ANY DISCREPANCIES THAT AFFECT THIS WORK MUST BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. IF DISCREPANCIES EXIST DO NOT PROCEED WITH CONSTRUCTION ACTIVITIES WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.

4. FIELD-VERIFY THE LOCATION OF ALL PERTINENT EXISTING & ALREADY CONSTRUCTED SITE IMPROVEMENTS PRIOR TO BEGINNING WORK. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THE INFORMATION SHOWN ON THESE PLANS.

5. REFER TO GRADING AND DRAINAGE DRAWINGS DONE BY OTHER CONSULTANTS FOR GRADES AND ELEVATIONS.

6. COORDINATE LOCATION OF IRRIGATION SLEEVING FOR INSTALLATION PRIOR TO PARKING AND WALK PAVING OPERATIONS. SEE IRRIGATION PLANS.

FINE GRADING / PREPARATION NOTES

7. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING. COORDINATE WITH GENERAL CONTRACTOR. THE TOP 4" OF LANDSCAPE AREAS SHALL BE EXISTING OR IMPORTED TOPSOIL AS NECESSARY.

8. ROUGH GRADES MUST BE REVIEWED AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO FINE GRADING AND SOIL PREPARATION OPERATIONS. ENSURE POSITIVE DRAINAGE (2% MIN. FALL) AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES IN ALL LANDSCAPE AREAS. NOTIFY OWNER'S REPRESENTATIVE IF ROUGH GRADING CONDITIONS WILL CREATE PONDING OR FLOW TOWARD FOUNDATIONS. DO NOT PLANT IN SWALE BOTTOMS OR OTHER LOCATIONS OF CONCENTRATED DRAINAGE SO AS TO BLOCK FLOWS.

9. FINE GRADE ALL LANDSCAPE AREAS TO +/- .10'. AREAS SHALL BE SETTLED AND RAKED SMOOTH. DEBRIS, ROCK, CLODS, ETC. THAT WILL NOT PASS THROUGH TYNES OF A HAND RAKE SHALL BE REMOVED FROM THE SURFACE. LANDSCAPE AREAS SHALL BE FIRM WITHOUT DEPRESSIONS PRIOR TO PLANTING. ALL FINE GRADING MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION.

10. SOIL AMENDMENT SHALL BE LOW-SALTS, FULLY-MATURED ORGANIC COMPOST, CERTIFIED FREE OF PATHOGENS. PH SHALL BE 6.0 TO 7.4 WITH A MIN. OF 30% ORGANIC MATERIAL. COMPOST SHALL BE BIODEGRADABLE CLASS 1 BY A1 ORGANICS 16350 WCR 76, EATON, CO 80615, OR APPROVED EQUAL. AMENDMENT FOR LANDSCAPE AREAS SHALL BE 4 C.Y. PER 1,000 S.F.

11. FOR TURF AREAS THE TOP 6" OF SUBGRADE SHALL BE TOPSOIL AND SOIL AMENDMENT MIXTURE TILLED TO A MIN. DEPTH OF 8". IN BED AREAS, THE TOP 6" OF SUBGRADE SHALL BE TOPSOIL & AMENDMENT TILLED TO A MIN. DEPTH OF 12".

12. IN ALL BED AREAS HOLD TOP OF SUBGRADE 3-4" BELOW ADJACENT IMPROVEMENTS TO ALLOW ROOM FOR SPECIFIED MULCH DEPTH.

EDGER

13. ALL PLANTING BEDS ARE TO BE CONTAINED BY 3/16" X 4" INTERLOCKING STEEL EDGER PAINTED GREEN OR BLACK. EDGER TO HAVE A ROLLED STEEL TOP FOR SAFETY. INSTALL PER MFR'S. RECOMMENDATIONS. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS OR WALKS. HOLD SUBGRADE FOR SOD 1" BELOW TOP OF EDGER. SHOULD EDGER CROSS SWALES OR OTHER LOCATIONS OF CONCENTRATED FLOW, USE PERFORATED EDGER OR DRILL HOLES 1" ALLOW WATER TO PASS- 3 HOLES PER LINEAR FOOT.

PLANTING NOTES

14. LAYOUT PLANT BED EDGER LINE AND STAKE INDIVIDUAL PLANT LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

15. PLANTS SHALL MEET THE MINIMUM STANDARDS OUTLINED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 (2004). ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PLANTS NOT MEETING THE SET STANDARDS WILL BE REJECTED.

16. COORDINATE STREET TREE LOCATIONS WITH NEW UTILITY LINE LOCATION/ IMPROVEMENTS PRIOR TO INSTALLATION.

17. PLANT SPECIES AND LOCATION SHOULD FOLLOW APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN THE APPLICANT MUST GET APPROVAL FROM THE OWNER'S REPRESENTATIVE.

18. ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR A PERIOD OF NOT LESS THAN 1 YEAR AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER. WARRANTY SHALL BE A ONE-TIME REPLACEMENT THAT INCLUDES PLANT MATERIAL AND LABOR COSTS.

19. PLANT QUANTITIES SHOWN SYMBOLICALLY ON THE PLAN SHALL TAKE PRECEDENT AND BE INSTALLED OVER THOSE TOTALS IN THE PLANT LIST.

20. PLANT HOLE BACKFILL SHALL BE 1/3 TOPSOIL, 1/3 COMPOSTED AMENDMENT AND 1/3 NATIVE SOIL THOROUGHLY MIXED.

21. ALL NEWLY-PLANTED TREES, SHRUBS AND ORNAMENTAL GRASSES SHALL RECEIVE SCOTTS AGRIFORM 20-10-5 PLANTING TABLETS OR APPROVED EQUAL. AFTER PLANTINGS PERENNIAL BEDS SHALL RECEIVE GRANULAR FERTILIZER WITH A FORMULATION OF 10-10-10. APPLY PER MANUFACTURER RECOMMENDATIONS.

MULCH

22. ALL PLANTING BEDS SHALL BE MULCHED WITH 3/4" TO 1.5" CRUSHED GRANITE, COLORADO ROSE BY JENSEN SUPPLY OR APPROVED EQUAL. ALL PLANTS SHALL BE MULCHED WITH 3-4" DEPTH SHREDDED RED CEDAR, NATURAL COLOR AT THEIR BASES AND/OR AS SHOWN ON PLANS. SUBMIT SAMPLES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

23. ALL PLANTING BEDS SHALL HAVE WEED BARRIER FABRIC- TYPAR PRO LANDSCAPE FABRIC, 3 OZ. OR APPROVED EQUAL AS SUPPLIED BY THE DEWITT COMPANY 905 SOUTH KINGS HIGHWAY, SIKESTON, MO 63801 800-888-9669 info@dewittcompany.com.

24. ALL TREES IN TURF AREAS WILL HAVE A MULCH RING WITH NATURAL CEDAR FIBER MULCH AT 3-4" DEPTH AND AT LEAST 3-4" IN DIAMETER. KEEP MULCH 4-6" AWAY FROM TRUNKS.

TURF

25. TURF SHALL BE IRRIGATED TURF SHALL BE TEXAS HYBRID BLUEGRASS 'SOLAR GREEN' OR APPROVED EQUAL.

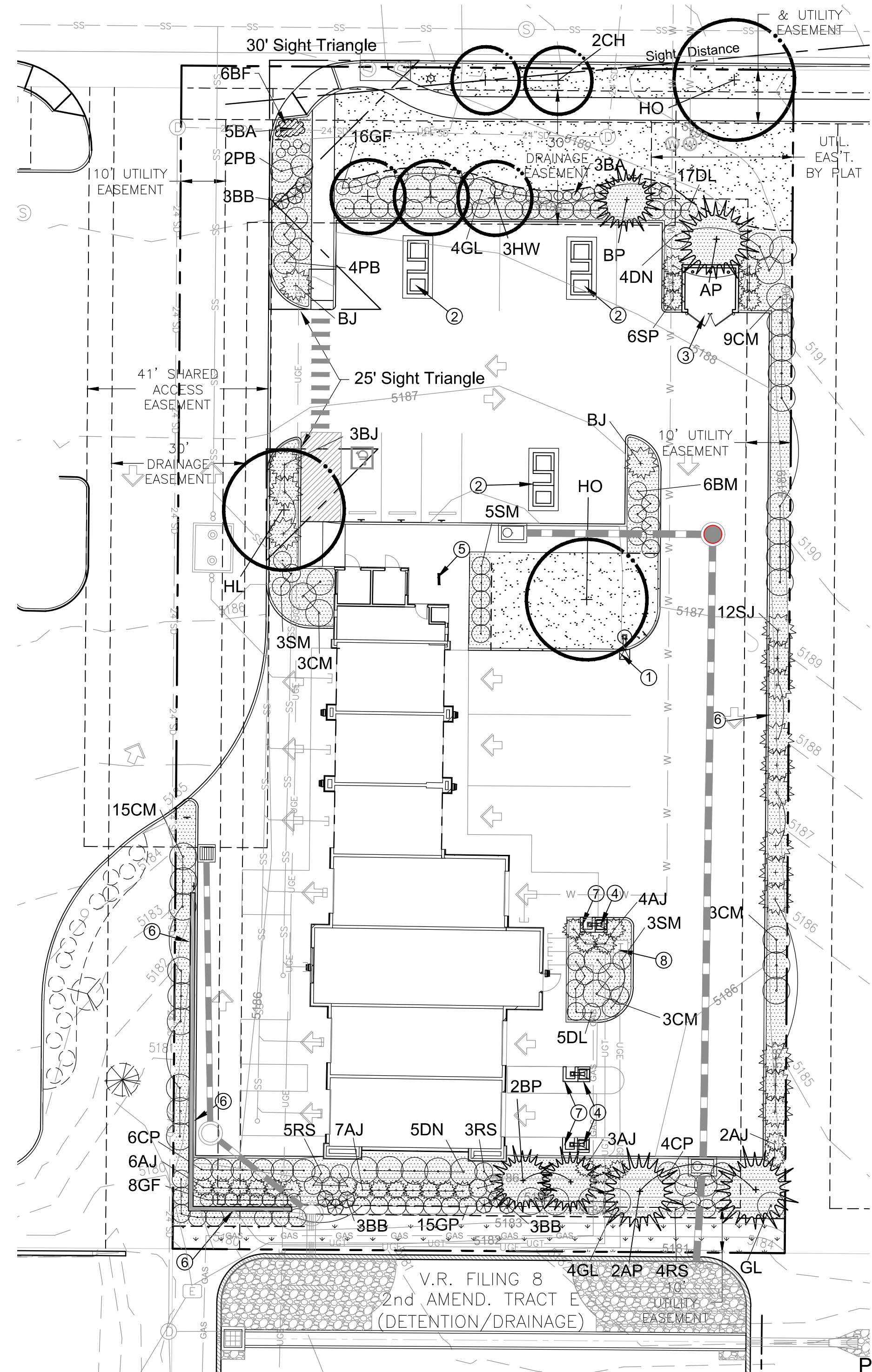
IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPING/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN AND HEALTHY CONDITION BY THE OWNER. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, REPLACEMENT OF MULCH, WEEDING, REMOVAL OF LITTER AND THE REGULAR WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED TO MINIMIZE WATER CONSUMPTION. SHOULD ANY PLANT MATERIAL DIE, THE OWNER, SUCCESSOR, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF PLANT(S) WITHIN ONE PLANTING SEASON. REPLACEMENT OF PLANT MATERIALS SHALL OCCUR AT THE FOLLOWING RATE.

TYPE	PLANT REPLACEMENT WITHIN	
	1 YEAR	2+ YEARS
Tree - Deciduous	Increase caliper by 1"	Increase caliper by 1.5"
Tree - Coniferous	Increase height by 1.5'	Increase height by 2'
Shrub	Replace with plants of at least 1/2 mature size	Replace with plants of at least 1/2 mature size

SEED MIX

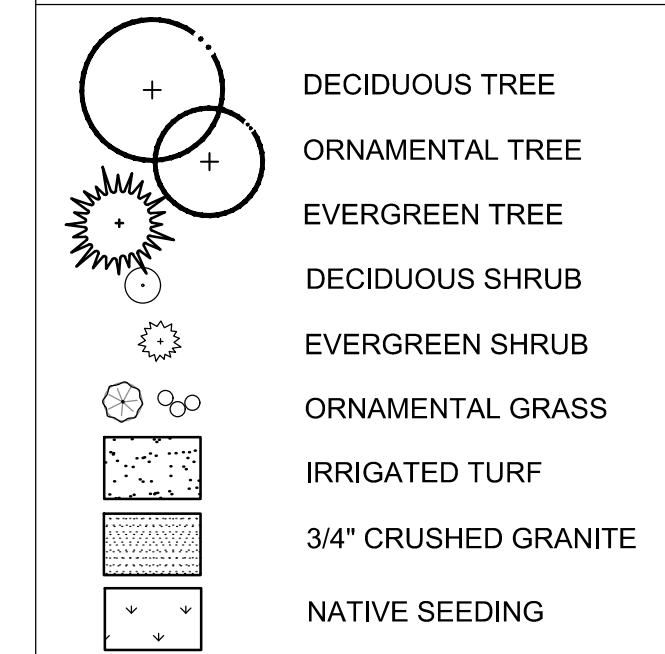
COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS LBS/ACRE
Western wheatgrass	<i>Pascopyrum smithii</i>	Arriba or Rosana	7.0
Crested wheatgrass	<i>Agropyron cristatum</i>	Ephram	4.0
Streambank wheatgrass	<i>Elymus lanceolatus</i>	Solar	4.0
Sideoats grama	<i>Bouteloua gracilis</i>	Bulle, Niner or El Reno	2.0
Blue grama	<i>Bouteloua gracilis</i>	Native, Lovington, Alma, Native or Hachita	5.0
Buffalograss	<i>Buchloe dactyloides</i>	Native, Bison or Texoka	3.0
Sand dropseed	<i>Sporobolus cryptandrus</i>	Common	1.0
Prairie Junegrass	<i>Loeloria macrantha</i>	Common	3.0
Hard Fescue	<i>Festuca brevipila</i>	'Durar'	3.0
SEEDING RATE POUNDS PLS/ACRE			32.0



PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	INSTALLED SIZE	HEIGHT X SPREAD	NOTES/REMARKS
DECIDUOUS TREES						
HO	2	Quercus 'Heritage'	Heritage Oak	2.0" cal.	50'x40'	B&B, FULL HEAD & STRAIGHT, SINGLE MAIN TRUNK
HL	2	G. triacanthos inermis 'Shademaster'	Shademaster Honeylocust	2.0" cal.	50'x35'	
ORNAMENTAL TREES						
CH	2	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2.0" cal.	25'x15'	
HW	3	Acer tartaricum 'Hot Wings'	Hot Wings Maple	2.0" cal.	20'x15-20'	
SC	2	Malus 'Spring Snow'	Spring Snow Crabapple	2.0" cal.	20'x20'	
EVERGREEN TREES						
AP	3	Pinus nigra	Austrian Pine	6' Ht.	50'x30'	B&B; full & bushy
BP	3	Pinus heldreichii leucodermis	Bosnian Pine	6' Ht.	25'x12'	B&B; full & bushy
DECIDUOUS SHRUBS						
BM	6	Caryopteris cladonensis 'Blue Mist'	Blue Mist Spirea	21-24" ht.	3.5'x4'	#5 Container
CM	27	Philadelphus lewisii 'Cheyenne'	Cheyenne Mockorange	30-36" ht.	6'x6'	#5 Container
CP	10	Ligustrum vulgare 'Cheyenne'	Cheyenne Privet	30-36" ht.	5'x6'	#5 Container
DL	22	Syringa patula 'Miss Kim'	Miss Kim Lilac	21-24" ht.	4'x4'	#5 Container
DN	9	Physocarpus opulifolius 'Diabolo'	Diabolo Ninebark	30-36" ht.	6'x6'	#5 Container
GF	27	Spirea japonica 'Goldflame'	Goldflame Spirea	15-18" ht.	3'x3'	#5 Container
GL	9	Rhus aromatica 'Gro-low'	Gro-low Sumac	15-18" ht.	2-3'x6'	#5 Container
GP	15	Potentilla fruticosa 'Gold Coronation'	Gold Coronation Potentilla	21-24" ht.	2'x4'	#5 Container
PB	8	Prunus besseyi 'Pawnee Buttes'	Pawnee Buttes Sandcherry	9-12" ht.	5'x6'	#5 Container
RS	12	Perovskia atriplicifolia	Russian Sage	21-24" ht.	5'x6'	#5 Container
SM	11	Philadelphus x 'Snowbelle'	Snowbelle Mockorange	21-24" ht.	4'x4'	#5 Container
TB	6	Frangula alnus 'Columnaris'	Tallhedge Buckthorn	36-42" ht.	12'x3'	#5 Container
EVERGREEN SHRUBS						
AJ	24	Juniperus chinensis 'Armstrong'	Armstrong Juniper	24-30" ht.	18"x6"	#5 Container
BJ	5	Juniperus sabina 'Sierra Spreader'	Sierra Spreader Juniper	9-12" ht.	4'x4"	#5 Container
SJ	12	Juniperus chinensis 'Spartan'	Spartan Juniper	3-4" ht.	5'x6"	#5 Container
SP	6	Juniperus chinensis 'Spartan'	Spartan Juniper	3-4" ht.	15'x5"	#5 Container
ORNAMENTAL GRASSES & PERENNIALS						
BA	8	Helictotrichon sempervirens	Blue Avena Grass	12-15" ht.	3'x3"	#1 Container
BB	9	Andropogon gerardii 'Windwalker'	Windwalker Big Bluestem	24-30" ht.	4'x3"	#5 Container
BF	6	Gaillardia x grandiflora 'Goblin'	Dwarf Blanketflower	9-12" ht.	1.5'x1.5"	#1 Container

LANDSCAPE LEGEND



SITE ELEMENTS KEY

- ① 20" HT. AEROMAX LED LIGHT & BASE; FULL-CUTOFF. COLOR: BLACK
- ② VACUUM ISLAND AND TRASH CAN
- ③ TRASH ENCLOSURE
- ④ AUTOMATED PAY STATION
- ⑤ BIKE RACK- SPORTSWORKS HD INVERTED-U
- ⑥ DRY STACK BLOCK RETAINING WALL
- ⑦ PAY STATION & 20" HT. AEROMAX LED LIGHT & BASE; FULL-CUTOFF COLOR: BLACK
- ⑧ ELECTRIC TRANSFORMER

SEE SHEET 4 FOR NOTES & DETAILS.

SITE AREAS

SITE AREA	SF	PERCENT
SITE AREA	36,305 SF	
BUILDING	4,392 SF	12.1%
HARDCAPE	17,758 SF	48.9%
LANDSCAPE	14,155 SF	39.0%

LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED
LANDSCAPE	5,446 SF (15%)	14,155 SF
TREES 1/1000 SF	14.1	15
SHRUBS	95	194

PARKING LOT LANDSCAPE REQ'S.

TOTAL #:	8 STANDARD & DOG WASH SPACES	
REQUIRED / PROVIDED		
TREES	(1 / 15) = 1	1
SHRUBS	(1/ SPACE) = 8	8

DATE OF ISSUE: 02.22.21

SCALE: 1"=20'

DRAWN BY: JDC

CHECKED BY: TJ

H O V E R
ARCHITECTURE
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SUITE 201
LITTLETON, CO 80122
(720) 773-2800

SHEET

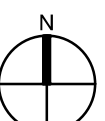
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LANDSCAPE PLAN



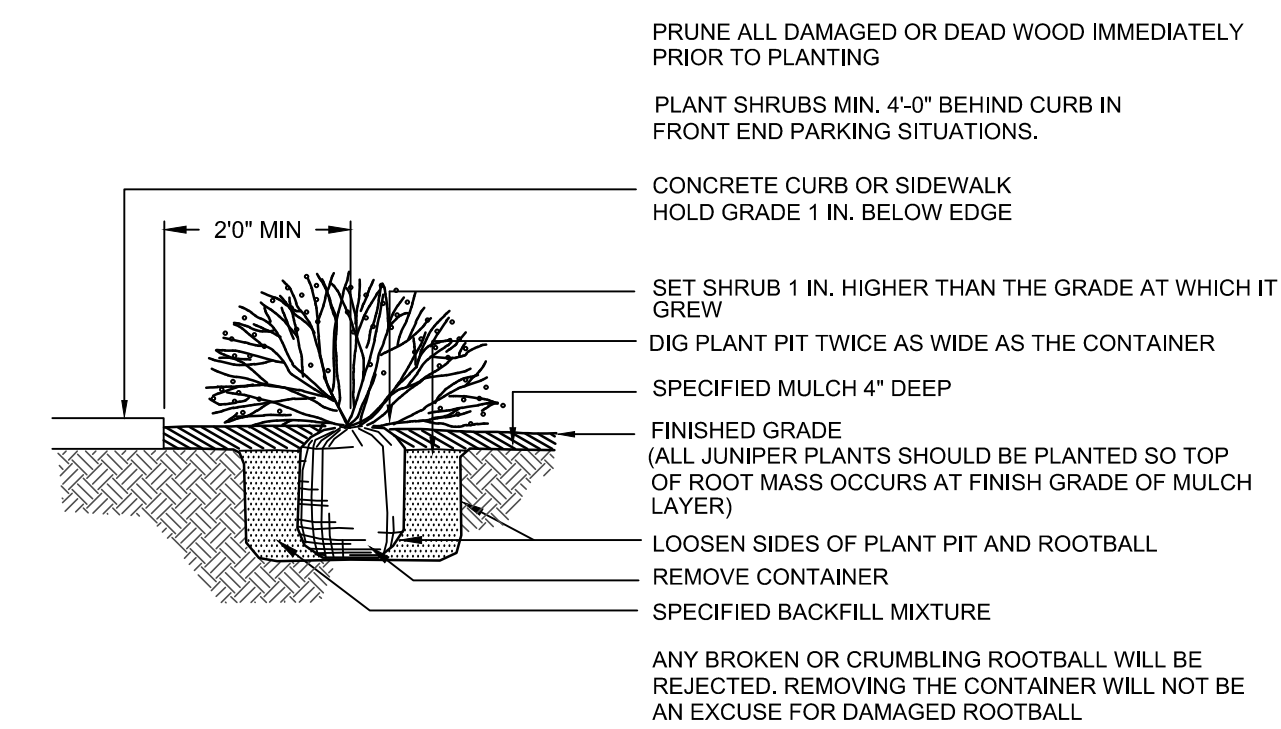
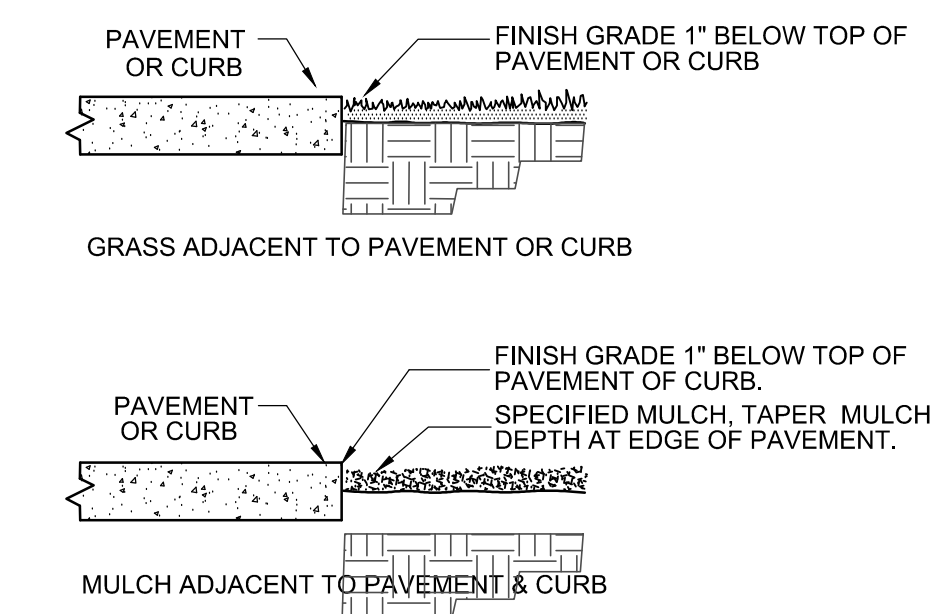
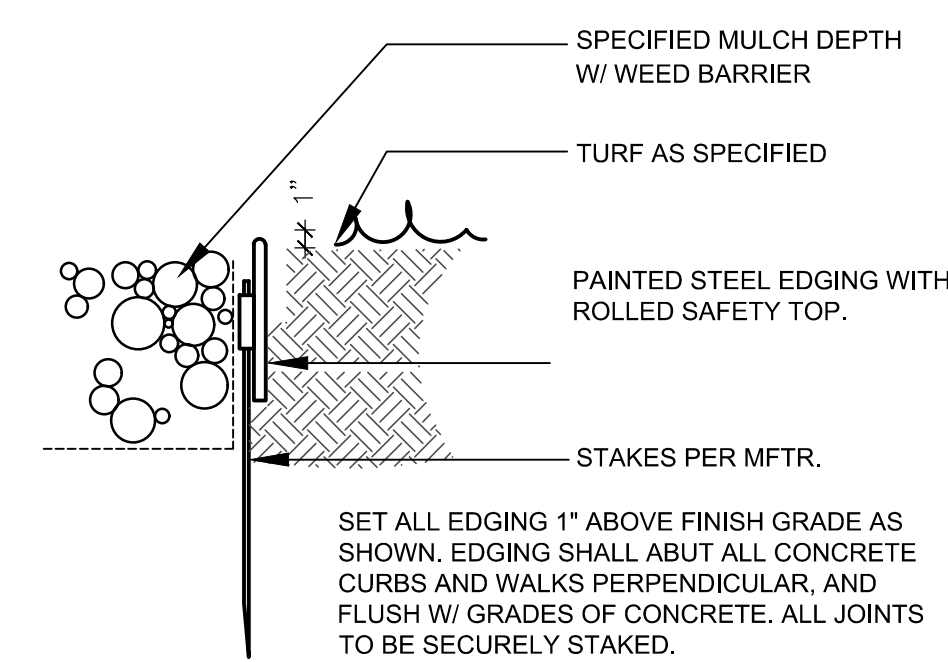
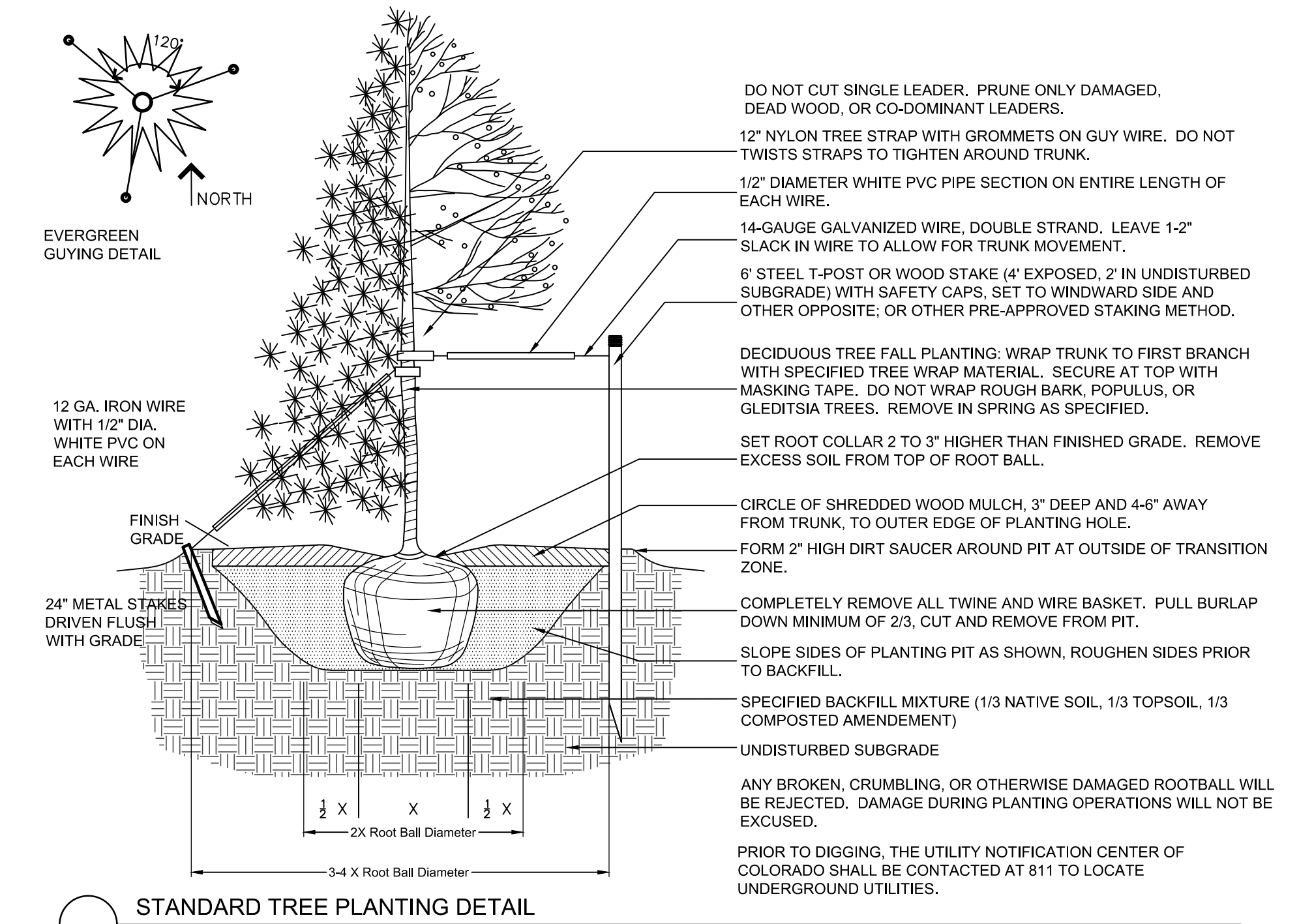
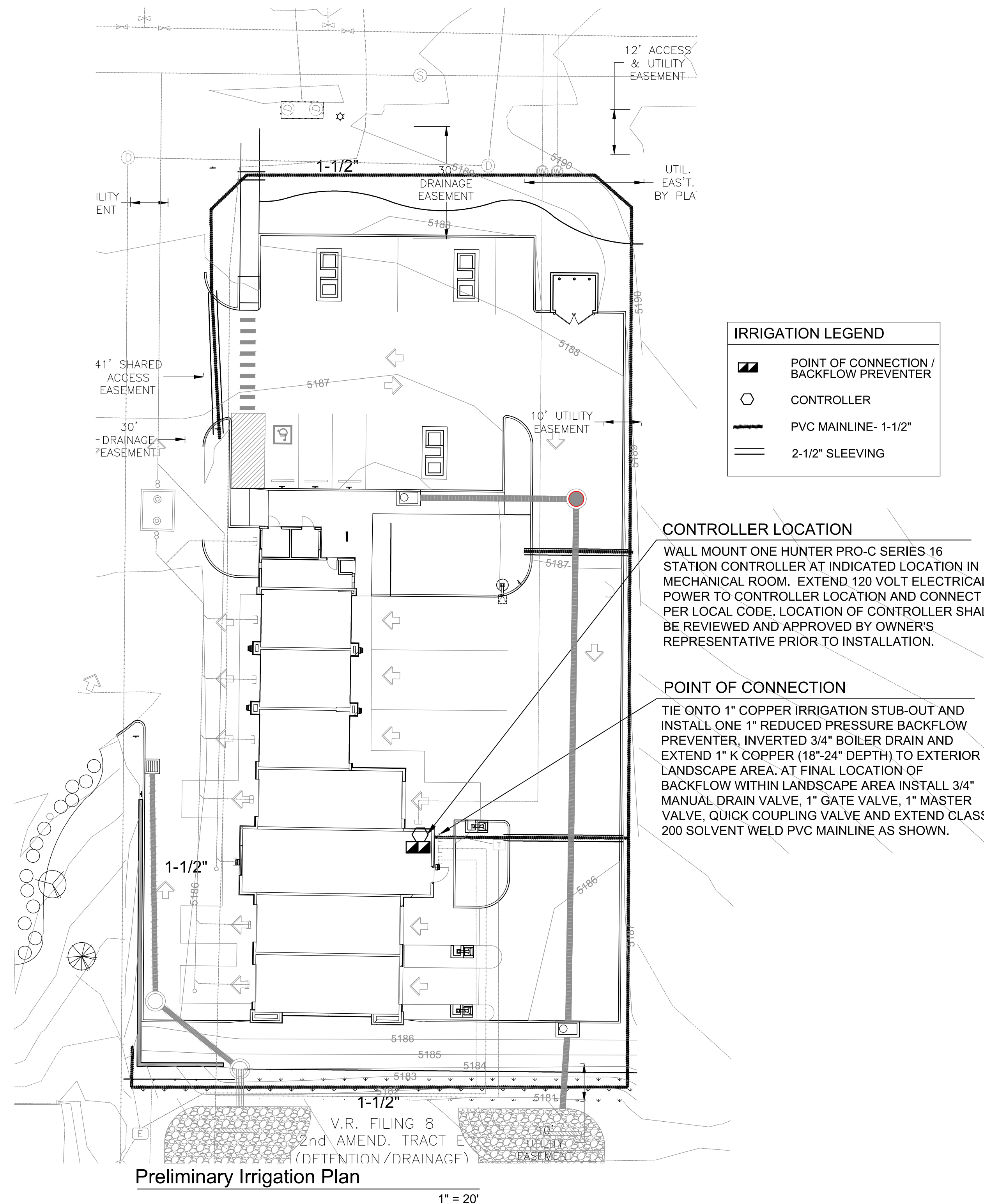
PLANNING & LANDSCAPE ARCHITECTURE
Jump Design Company
1733 S. Clarkson Street
Denver, Colorado 80210
303.282.0463 fax 282.0473

SCALE 1" = 20'
0 10 20 40



VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
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SRU AREA - .83 ACRES - TOTAL AREA .83 ACRES
SITE PLAN - SP-001187-2020
(SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)



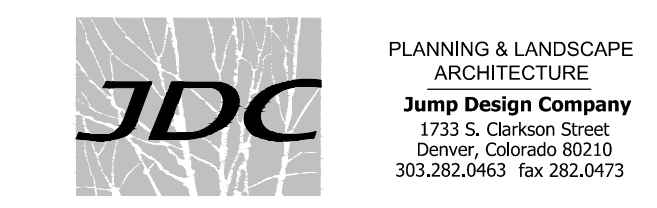
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SCALE:
DRAWN BY: JDC
CHECKED BY: TJ

H O V E R
ARCHITECTURE
8089 S. LINCOLN STREET
SUITE 201
LITTLETON, CO 80122
(720) 773-2800

SHEET

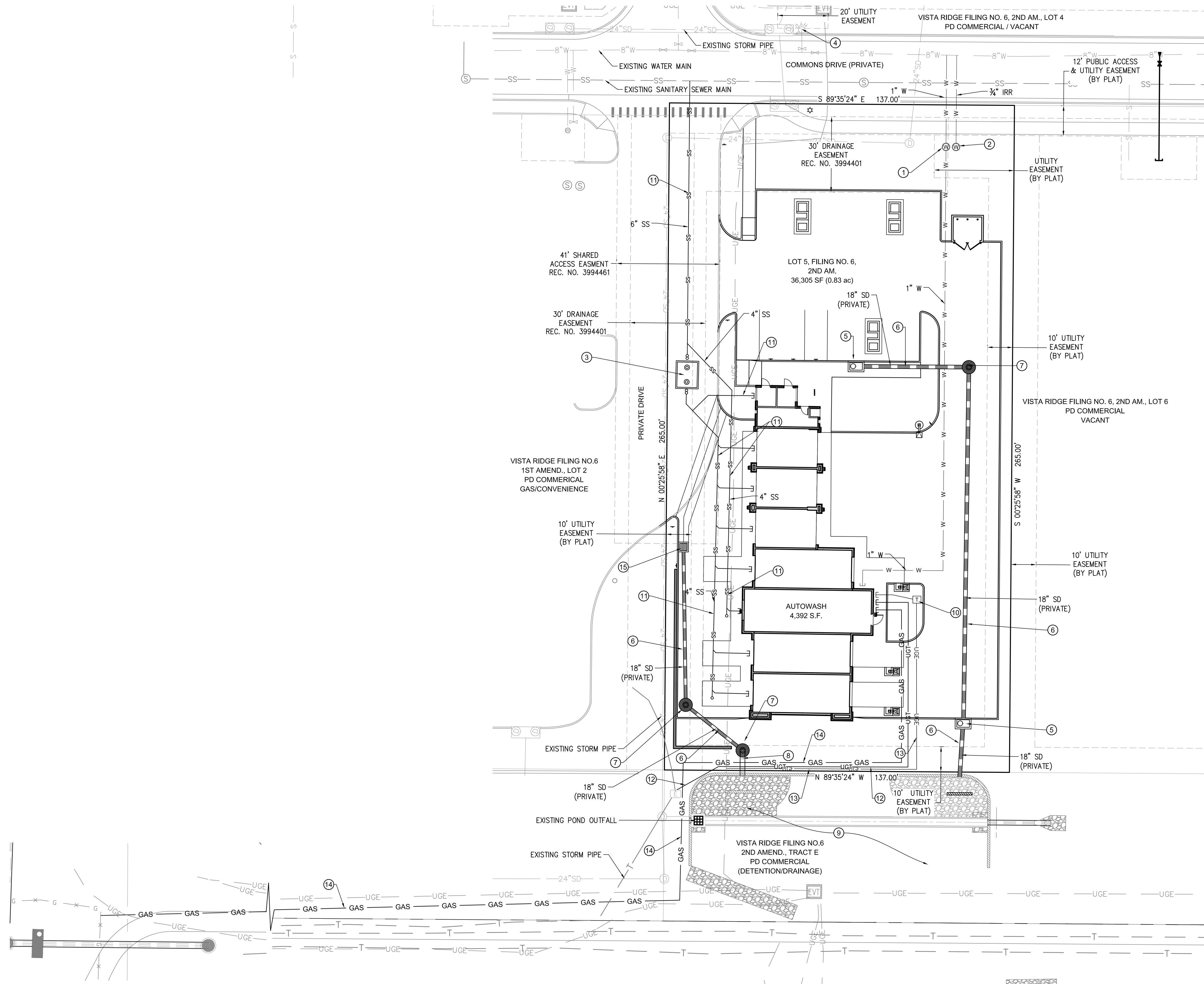
4 OF 10

LANDSCAPE DETAILS



VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
SRU AREA - 0.83 ACRES - TOTAL AREA 0.83 ACRES
SITE PLAN - SP-001187-2020
(SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)



UTILITY PLAN KEY NOTES

- ① PROPOSED 1" DOMESTIC WATER METER
- ② PROPOSED 3/4" IRRIGATION METER
- ③ PROPOSED SAND OIL INTERCEPTOR
- ④ EXISTING FIRE HYDRANT
- ⑤ PROPOSED TYPE R STORM SEWER INLET (PRIVATE)
- ⑥ PROPOSED 18" STORM SEWER PIPE (PRIVATE)
- ⑦ PROPOSED 5' DIA. STORM SEWER MANHOLE (PRIVATE)
- ⑧ PROPOSED 18" STORM PIPE (BY OTHERS)
- ⑨ PROPOSED DETENTION/WATER QUALITY POND (BY OTHERS)
- ⑩ PROPOSED ELECTRICAL TRANSFORMER LOCATION
- ⑪ PROPOSED SANITARY SEWER SERVICE
- ⑫ PROPOSED TELECOM SERVICE
- ⑬ PROPOSED ELECTRICAL SERVICE
- ⑭ PROPOSED GAS SERVICE
- ⑮ PROPOSED TYPE C STORM SEWER INLET

UTILITY PLAN LEGEND

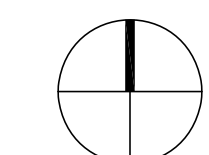
EXISTING		PROPOSED
---	EASEMENT	---
---	PROPERTY LINE	---
---	ADJ. PROPERTY LINE	---
---	R.O.W. LINE	---
---	SIGHT TRIANGLE	---
---	SECTION LINE	---
---	SECTION CORNER	---
---	GAS LINE	---
---	UNDERGROUND TELEPHONE	---
---	FIBER OPTIC	---
---	UNDERGROUND CABLE	---
---	FIRE HYDRANT	---
---	8" WATER MAIN	---
---	16" WATER MAIN	---
---	WATER METER	---
---	WATER SERVICE	---
---	WATER VALVE	---
---	TRANSFORMER	---
---	UNDERGROUND ELECTRIC	---
---	LIGHTPOLE	---
---	SANITARY CLEANOUT	---
---	8" SANITARY MAIN	---
---	SANITARY MANHOLE	---
---	SANITARY SERVICE	---
---	STORM INLET	---
---	STORM MANHOLE	---
---	BACK OF CURB	---
---	CONCRETE HATCH	---
---	EDGE OF PAVEMENT / PAN	---
---	FLOWLINE	---
---	SIDEWALK	---
---	SIDEWALK HATCH	---
---	PAVEMENT MARKING	---
---	TRAFFIC SIGN	---
---	BOLLARD	---
---	LIGHT POLE	---

PROJECT BASIS OF BEARING:

BEARINGS ARE BASED ON THE WESTERLY LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32 BEING N00°15'14"E, 1321.02 FEET BETWEEN THE SOUTHWEST CORNER OF SECTION 32 (2.5" ALUMINUM CAP, ILLEGIBLE) AND THE SOUTH SIXTEENTH CORNER OF SECTIONS 31 AND 32 (2" ALUMINUM CAP, LS 14083).

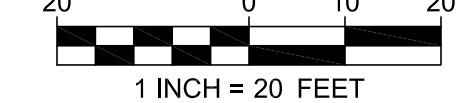
BENCHMARK:

SE CORNER OF VISTA RIDGE FILING NO. 6 FIRST AMENDMENT, LOT 2 ON 1" PLASTIC CAP MARKED PLS 37990 SET ON 18" #4 REBAR. ELEVATION=5179.46' (NGVD29 DATUM)



NORTH

GRAPHIC SCALE



DATE OF ISSUE: 04-23-21

SCALE: 1"=20'

DRAWN BY: AT

CHECKED BY: AT

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8089 S. LINCOLN STREET
SUITE 201
LITTLETON, CO 80122
(720) 773-2801

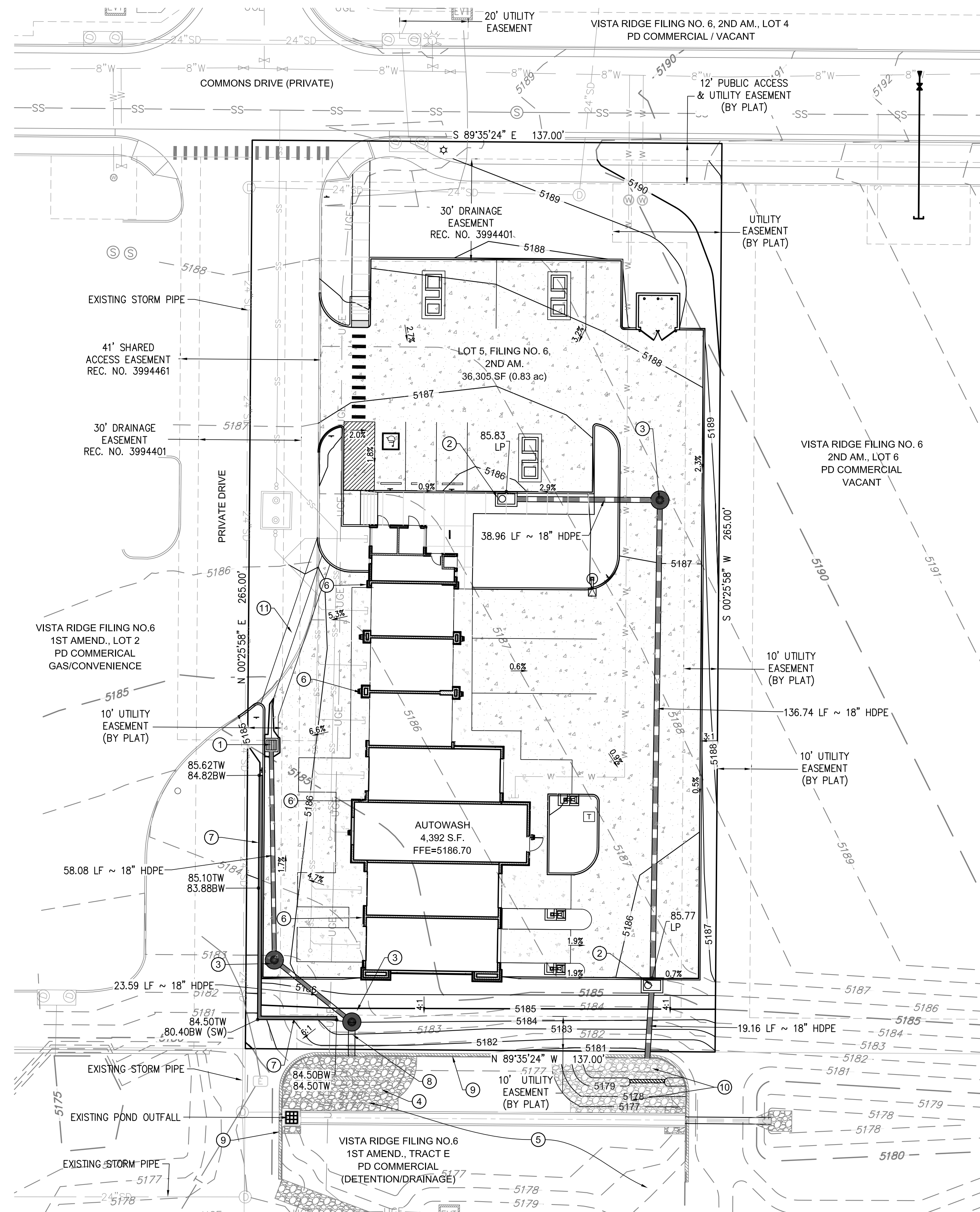
SHEET

5 OF 10

UTILITY PLAN

VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
SRU AREA - 0.83 ACRES - TOTAL AREA 0.83 ACRES
SITE PLAN - SP-001187-2020
(SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)

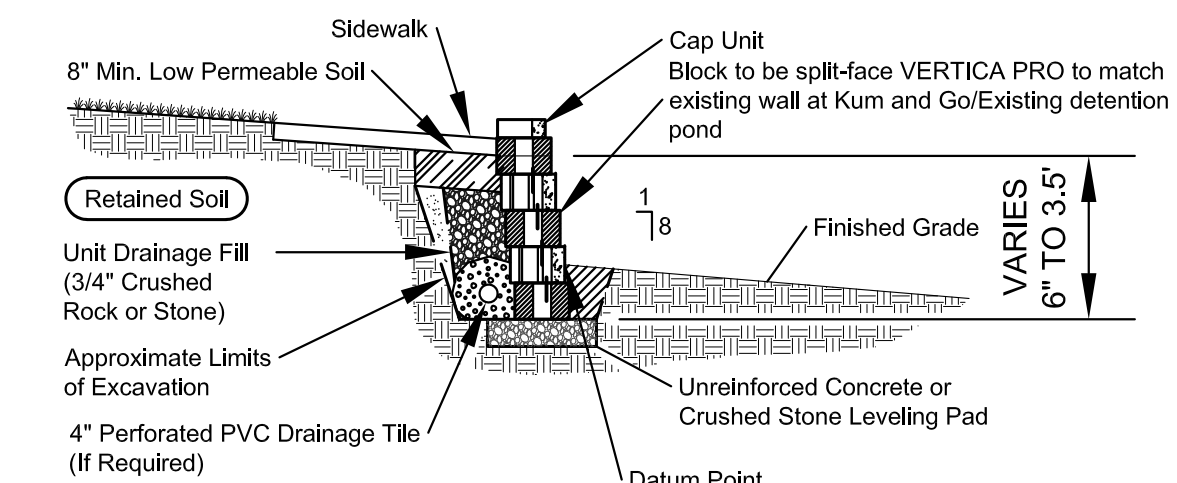


PROJECT BASIS OF BEARING:
BEARINGS ARE BASED ON THE WESTERLY LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32 BEING N00°15'14"E, 1321.02 FEET BETWEEN THE SOUTHWEST CORNER OF SECTION 32 (2.5" ALUMINUM CAP, ILLEGIBLE) AND THE SOUTH SIXTEENTH CORNER OF SECTIONS 31 AND 32 (2" ALUMINUM CAP, LS 14083).

BENCHMARK:
SE CORNER OF VISTA RIDGE FILING NO. 6 FIRST AMENDMENT, LOT 2 ON 1" PLASTIC CAP MARKED PLS 37990 SET ON 18" #4 REBAR. ELEVATION=5179.46' (NGVD29 DATUM)

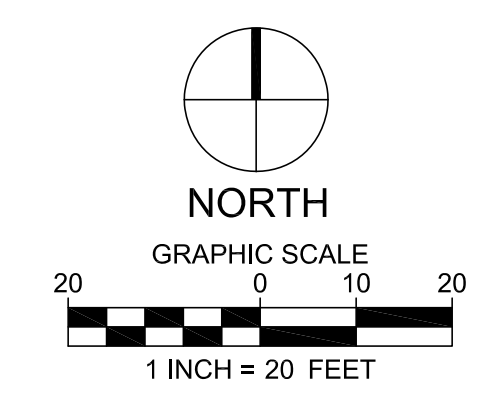
GRADING AND DRAINAGE PLAN KEY NOTES

- 1 PROPOSED TYPE C INLET
- 2 PROPOSED 5' TYPE R INLET
- 3 PROPOSED 5' DIA. MANHOLE
- 4 PROPOSED RIPRAP OUTFALL (BY OTHERS)
- 5 EXISTING DETENTION/WATER QUALITY POND (BY OTHERS)
- 6 ROOF DOWNSPOUT LOCATION
- 7 PROPOSED BLOCK RETAINING WALL
- 8 STORM SEWER PIPE (BY OTHERS)
- 9 EXISTING BLOCK RETAINING WALL
- 10 PROPOSED TYPE M RIPRAP FOREBAY
- 11 CONCRETE CROSSSPAN



DRY-STACK RETAINING WALL
Any retaining wall over 48" in height must be designed by a certified engineer

EXISTING	UTILITY PLAN LEGEND	PROPOSED
---	EASEMENT	---
---	PROPERTY LINE	---
---	ADJ. PROPERTY LINE	---
---	R.O.W. LINE	---
---	SIGHT TRIANGLE	---
---	SECTION LINE	---
---	SECTION CORNER	---
---	GAS LINE	---
---	UNDERGROUND TELEPHONE	---
---	FIBER OPTIC	---
---	UNDERGROUND CABLE	---
---	FIRE HYDRANT	---
---	8" WATER MAIN	---
---	16" WATER MAIN	---
---	WATER METER	---
---	WATER SERVICE	---
---	WATER VALVE	---
---	TRANSFORMER	---
---	UNDERGROUND ELECTRIC	---
---	LIGHTPOLE	---
---	8" SANITARY CLEANOUT	---
---	8" SANITARY MAIN	---
---	SANITARY MANHOLE	---
---	SANITARY SERVICE	---
---	STORM INLET	---
---	STORM MANHOLE	---
---	BACK OF CURB	---
---	CONCRETE HATCH	---
---	EDGE OF PAVEMENT / PAN	---
---	FLOWLINE	---
---	SIDEWALK	---
---	SIDEWALK HATCH	---
---	PAVEMENT MARKING	---
---	TRAFFIC SIGN	---
---	BOLLARD	---
---	LIGHT POLE	---
---	MONUMENT SIGN	---
---	MAJOR CONTOUR	---
---	MINOR CONTOUR	---
---	1.0% DRAINAGE FLOW ARROWS	---



DATE OF ISSUE: 04-23-21
SCALE: 1"=20'
DRAWN BY: AT
CHECKED BY: AT

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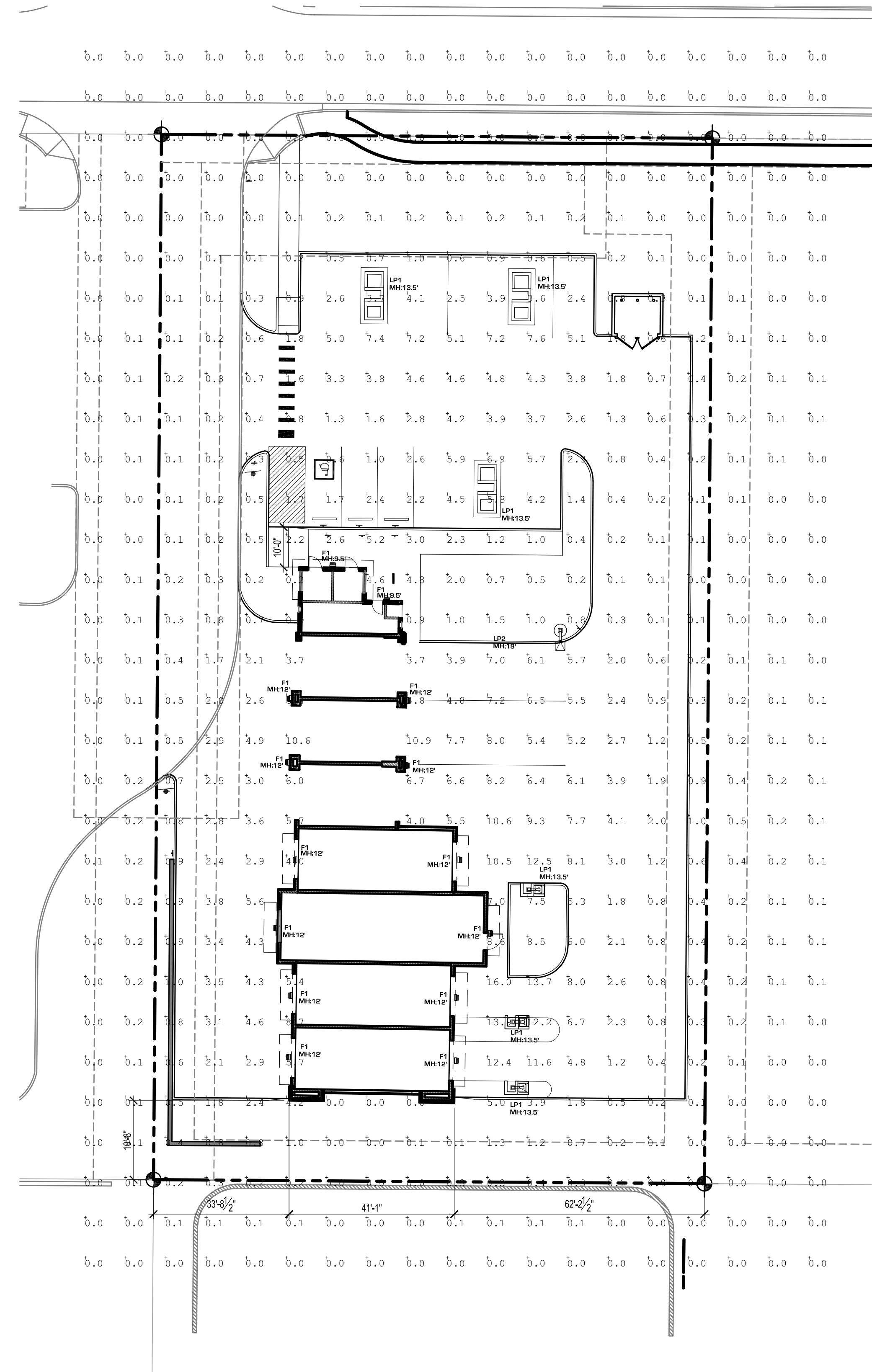
6 OF 10

GRADING AND DRAINAGE PLAN

VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN

AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
 SRU AREA - 0.82 ACRES - TOTAL AREA 0.82 ACRES
 SITE PLAN - SP-001187-2020
 (SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)



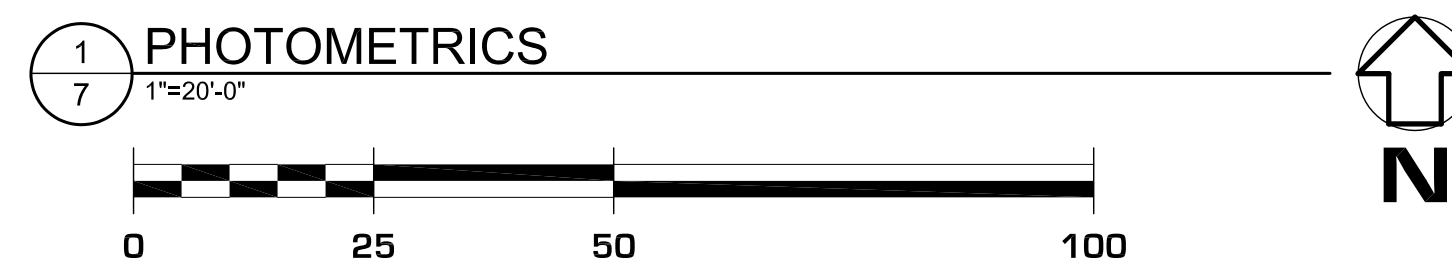
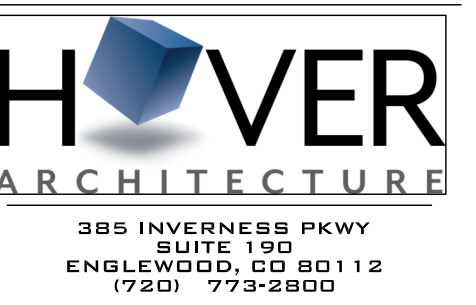
NOTES

1. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUT OFF.
2. ALL LIGHT POLES FOR THE SITE SHALL BE ROUND POLES.
3. MAXIMUM POLE HEIGHT TO BE LIMITED TO 25'

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
+	6	LP1	SINGLE	N.A.	1.000	XASU-FT-LED-64-HO-NW
+	1	LP2	SINGLE	N.A.	1.000	XAMU-FT-LED-128-HO-NW-HSS
+	14	F1	SINGLE	N.A.	1.000	XPWS3-FT-LED-28-350-NW-UE

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Entire Site	Illuminance	Fc	1.44	16.0	0.0	N.A.	N.A.

DATE OF ISSUE: 03.03.21
 SCALE: 1"=20'-0"
 DRAWN BY: JTK
 CHECKED BY: JTK



VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO SRU AREA - 0.82 ACRES - TOTAL AREA 0.82 ACRES SITE PLAN - SP-001187-2020 [SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020]

LED PATRIOT® WALL SCONCE (XPWS3)

LUMINAIRE ORDERING INFORMATION

Typical Order Example: **XPWS3 FT LED 48 450 CW UE WHT BB**

Profile	Distribution	Light Level (cd/ft²)	Beam Spread (°)	Color Temperature (K)	Mount Height (ft)	Finish	Optional Controls	Optional Sensor/Options
XPWS3 FT	Wide Flood	15	90-100	3000K	4.8	Black	None	None
XPWS3 FT	Wide Flood	40	60-65	5000K	4.8	Black	None	None
XPWS3 FT	Wide Flood	40	60-65	5000K	4.8	Black	None	None

ACCESSORY ORDERING INFORMATION (Accessories are field installed)

Description	Order Number	Description	Order Number
XPWS3 Enclosure Shield	XPWS3ES	XPWS3 360 Degree Shield	XPWS3360
XPWS3 360° Junction Box (Available in 300V only)	XPWS3JBK	XPWS3 Junction Box	XPWS3JB
XPWS3 300V Junction Box	XPWS3JBK	XPWS3 Junction Box	XPWS3JB
XPWS3 120V Junction Box	XPWS3JBK	XPWS3 Junction Box	XPWS3JB
XPWS3 60V Junction Box	XPWS3JBK	XPWS3 Junction Box	XPWS3JB

NOTES

- ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUT OFF.
- ALL LIGHT POLES FOR THE SITE SHALL BE ROUND POLES.
- MAXIMUM POLE HEIGHT TO BE LIMITED TO 25'

FIXTURE F1

LED AREA LIGHTS - AEROMAX™ SMALL (XASU)

LUMINAIRE ORDERING INFORMATION

Typical Order Example: **XASU FT LED 64 HO CW UE WHT PCR**

Profile	Distribution	Light Level (cd/ft²)	Beam Spread (°)	Color Temperature (K)	Mount Height (ft)	Finish	Optional Controls	Optional Sensor/Options
XASU FT	Wide Flood	15	90-100	3000K	6.4	Black	None	None
XASU FT	Wide Flood	40	60-65	5000K	6.4	Black	None	None

ACCESSORY ORDERING INFORMATION (Accessories are field installed)

Description	Order Number	Description	Order Number
XASU Enclosure Shield	XASUES	XASU 360 Degree Shield	XASU360
XASU 360° Junction Box (Available in 300V only)	XASUJBK	XASU Junction Box	XASUJB
XASU 300V Junction Box	XASUJBK	XASU Junction Box	XASUJB
XASU 120V Junction Box	XASUJBK	XASU Junction Box	XASUJB
XASU 60V Junction Box	XASUJBK	XASU Junction Box	XASUJB

NOTES

- ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUT OFF.
- ALL LIGHT POLES FOR THE SITE SHALL BE ROUND POLES.
- MAXIMUM POLE HEIGHT TO BE LIMITED TO 25'

LED AREA LIGHTS - AEROMAX™ MEDIUM (XAMU)

LUMINAIRE ORDERING INFORMATION

Typical Order Example: **XAMU FT LED 128 HO CW UE WHT PCR**

Profile	Distribution	Light Level (cd/ft²)	Beam Spread (°)	Color Temperature (K)	Mount Height (ft)	Finish	Optional Controls	Optional Sensor/Options
XAMU FT	Wide Flood	15	90-100	3000K	12.8	Black	None	None
XAMU FT	Wide Flood	40	60-65	5000K	12.8	Black	None	None

ACCESSORY ORDERING INFORMATION (Accessories are field installed)

Description	Order Number	Description	Order Number
XAMU Enclosure Shield	XAMUES	XAMU 360 Degree Shield	XAMU360
XAMU 360° Junction Box (Available in 300V only)	XAMUJBK	XAMU Junction Box	XAMUJB
XAMU 300V Junction Box	XAMUJBK	XAMU Junction Box	XAMUJB
XAMU 120V Junction Box	XAMUJBK	XAMU Junction Box	XAMUJB
XAMU 60V Junction Box	XAMUJBK	XAMU Junction Box	XAMUJB

NOTES

- ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUT OFF.
- ALL LIGHT POLES FOR THE SITE SHALL BE ROUND POLES.
- MAXIMUM POLE HEIGHT TO BE LIMITED TO 25'

FIXTURE LP1

LED AREA LIGHTS - AEROMAX™ MEDIUM (XAMU)

LUMINAIRE ORDERING INFORMATION

Typical Order Example: **XAMU FT LED 128 HO CW UE WHT PCR**

Profile	Distribution	Light Level (cd/ft²)	Beam Spread (°)	Color Temperature (K)	Mount Height (ft)	Finish	Optional Controls	Optional Sensor/Options
XAMU FT	Wide Flood	15	90-100	3000K	12.8	Black	None	None
XAMU FT	Wide Flood	40	60-65	5000K	12.8	Black	None	None

ACCESSORY ORDERING INFORMATION (Accessories are field installed)

Description	Order Number	Description	Order Number
XAMU Enclosure Shield	XAMUES	XAMU 360 Degree Shield	XAMU360
XAMU 360° Junction Box (Available in 300V only)	XAMUJBK	XAMU Junction Box	XAMUJB
XAMU 300V Junction Box	XAMUJBK	XAMU Junction Box	XAMUJB
XAMU 120V Junction Box	XAMUJBK	XAMU Junction Box	XAMUJB
XAMU 60V Junction Box	XAMUJBK	XAMU Junction Box	XAMUJB

NOTES

- ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUT OFF.
- ALL LIGHT POLES FOR THE SITE SHALL BE ROUND POLES.
- MAXIMUM POLE HEIGHT TO BE LIMITED TO 25'

LED AREA LIGHTS - AEROMAX™ MEDIUM (XAMU)

LUMINAIRE ORDERING INFORMATION

Typical Order Example: **XAMU FT LED 128 HO CW UE WHT PCR**

Profile	Distribution	Light Level (cd/ft²)	Beam Spread (°)	Color Temperature (K)	Mount Height (ft)	Finish	Optional Controls	Optional Sensor/Options
XAMU FT	Wide Flood	15	90-100	3000K	12.8	Black	None	None
XAMU FT	Wide Flood	40	60-65	5000K	12.8	Black	None	None

ACCESSORY ORDERING INFORMATION (Accessories are field installed)

Description	Order Number	Description	Order Number
XAMU Enclosure Shield	XAMUES	XAMU 360 Degree Shield	XAMU360
XAMU 360° Junction Box (Available in 300V only)	XAMUJBK	XAMU Junction Box	XAMUJB
XAMU 300V Junction Box	XAMUJBK	XAMU Junction Box	XAMUJB
XAMU 120V Junction Box	XAMUJBK	XAMU Junction Box	XAMUJB
XAMU 60V Junction Box	XAMUJBK	XAMU Junction Box	XAMUJB

NOTES

- ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUT OFF.
- ALL LIGHT POLES FOR THE SITE SHALL BE ROUND POLES.
- MAXIMUM POLE HEIGHT TO BE LIMITED TO 25'

FIXTURE LP2

FIXTURE LP2

DATE OF ISSUE: 03.03.21
SCALE: N.T.S.
DRAWN BY: JTK
CHECKED BY: JTK

HOWER ARCHITECTURE

385 INVERNESS PKWY SUITE 190
ENGLEWOOD, CO 80112
(720) 773-2800

SHEET

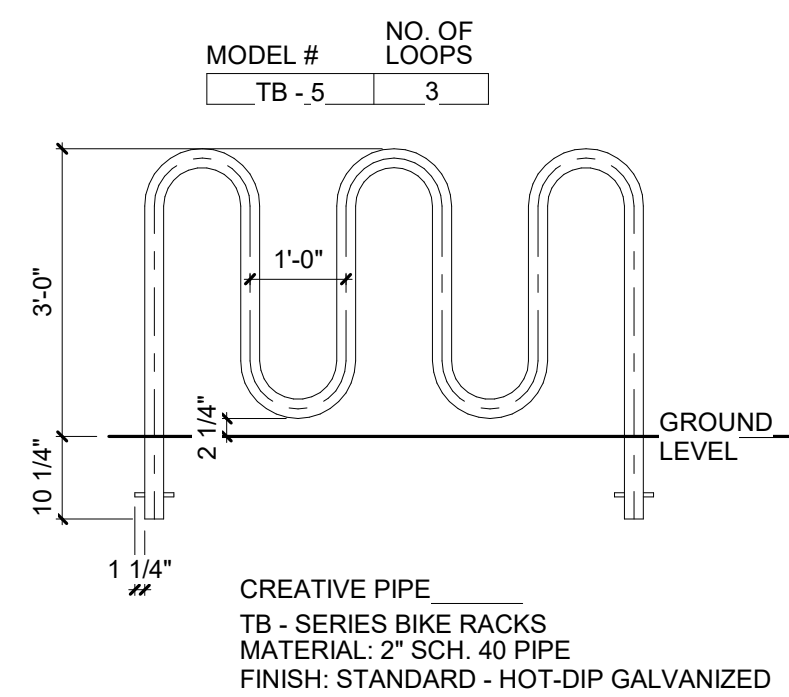
8 OF 10

LIGHT FIXTURES

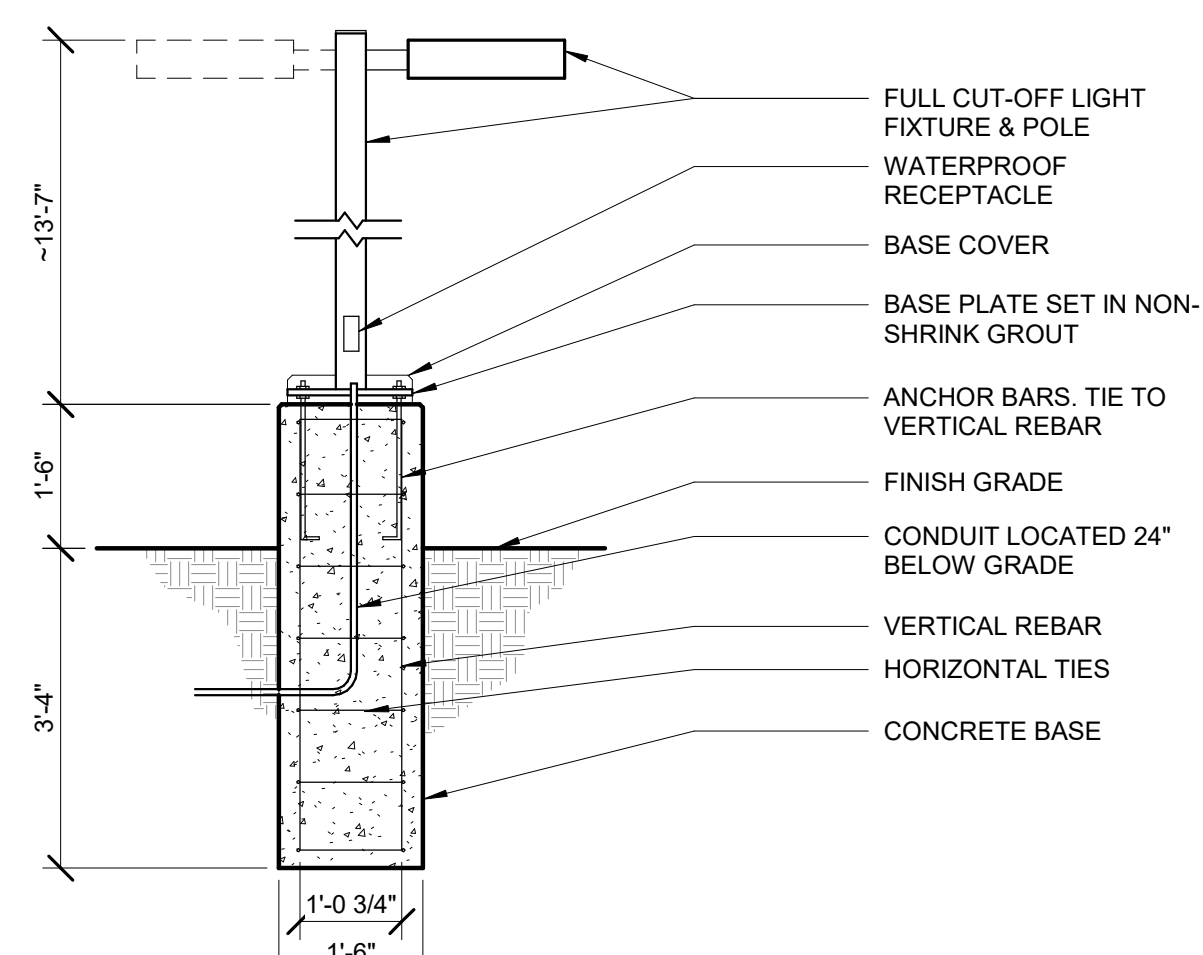
VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN

AUTOWASH AT VISTA RIDGE

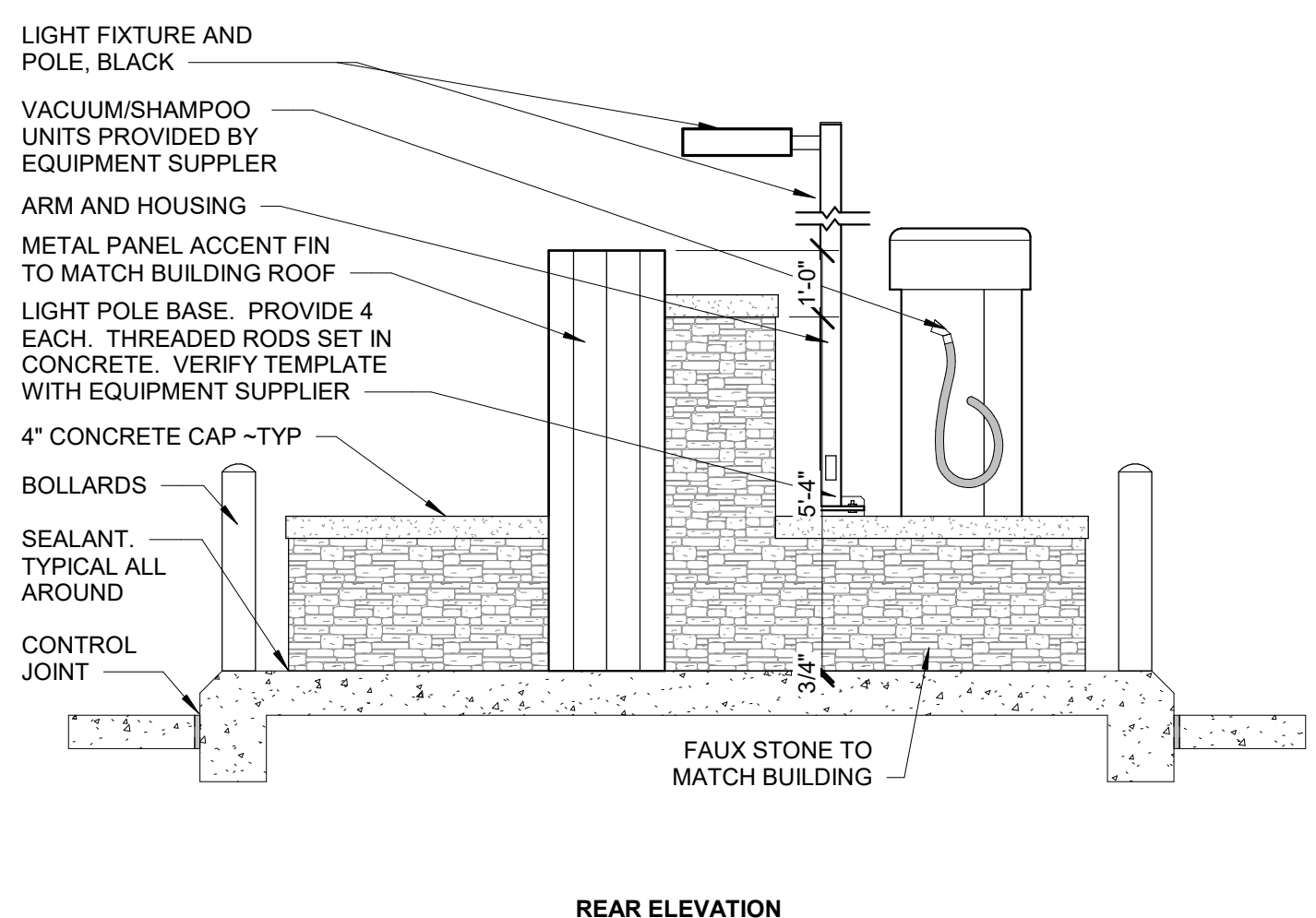
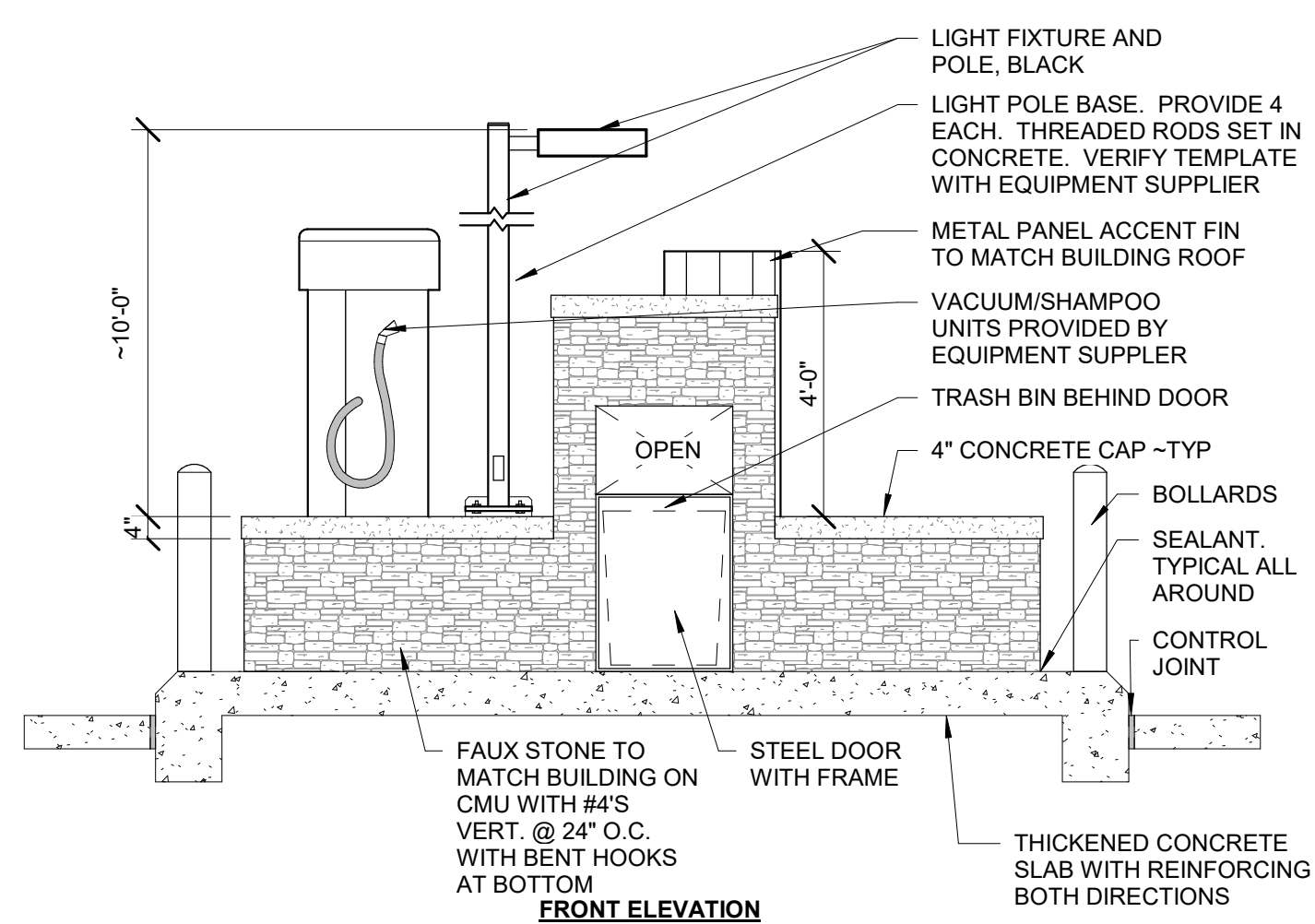
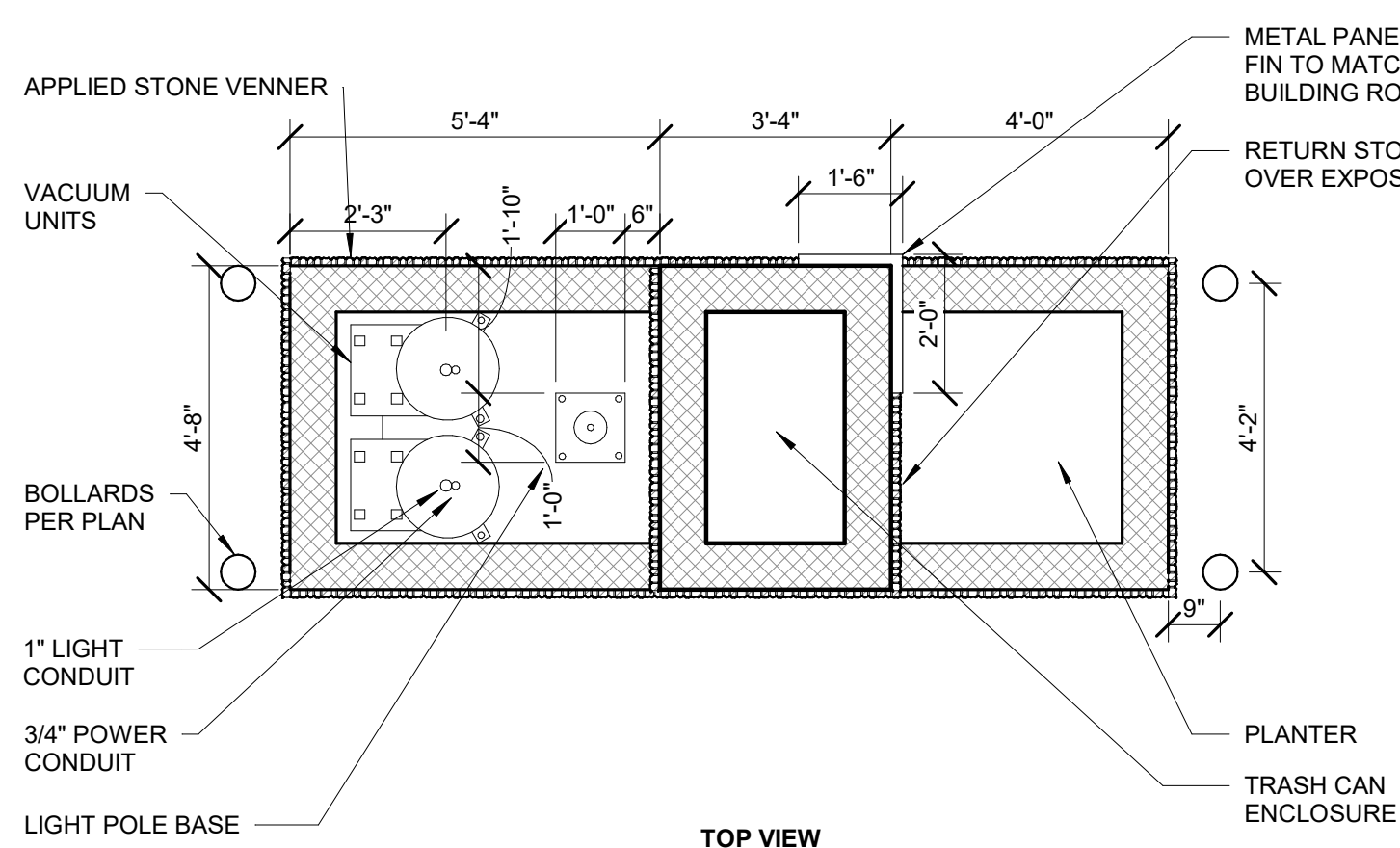
A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32; TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDAN
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
 SRU AREA - 0.82 ACRES - TOTAL AREA 0.82 ACRES
 SITE PLAN - SP-001187-2020
 (SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)



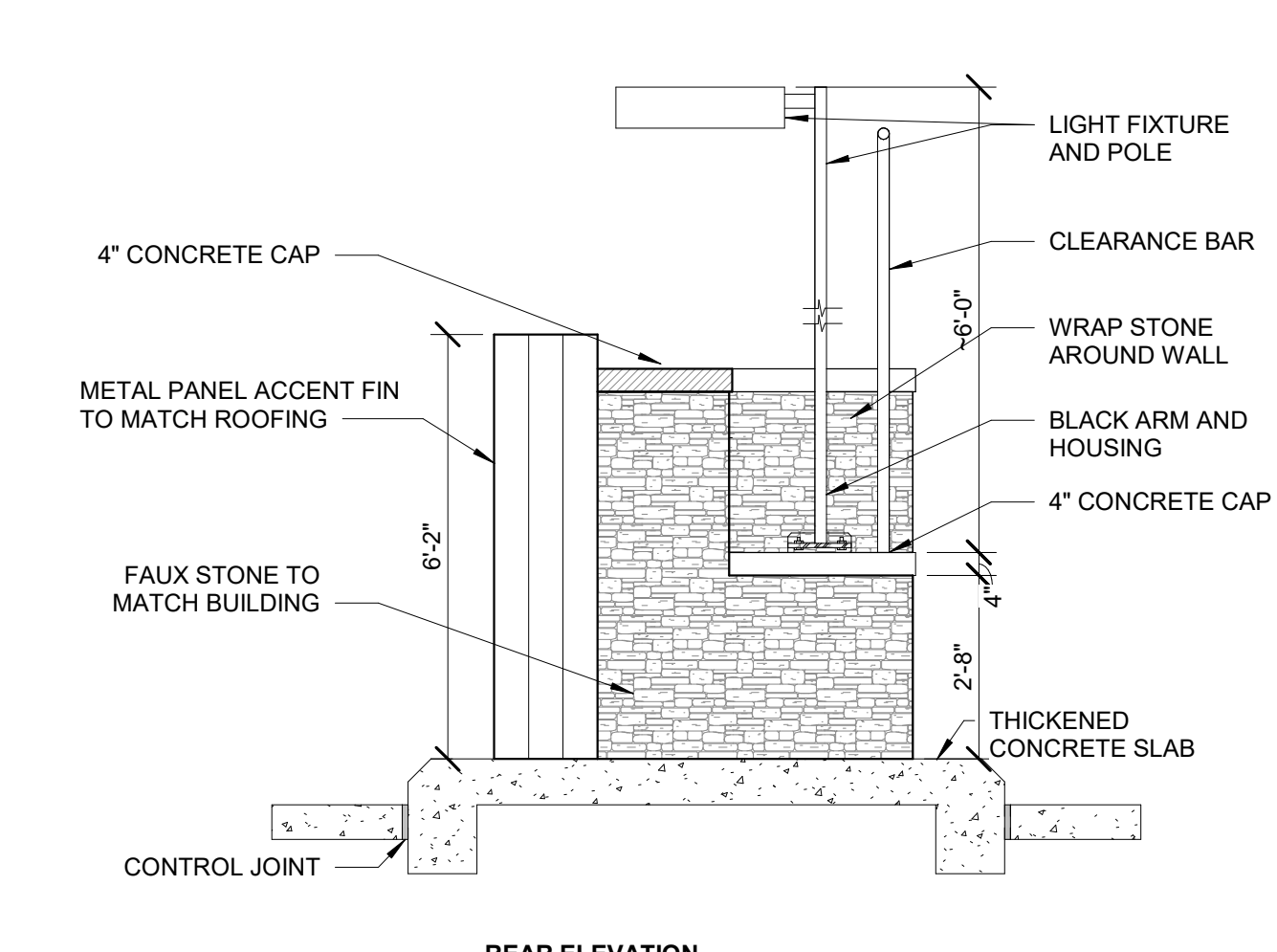
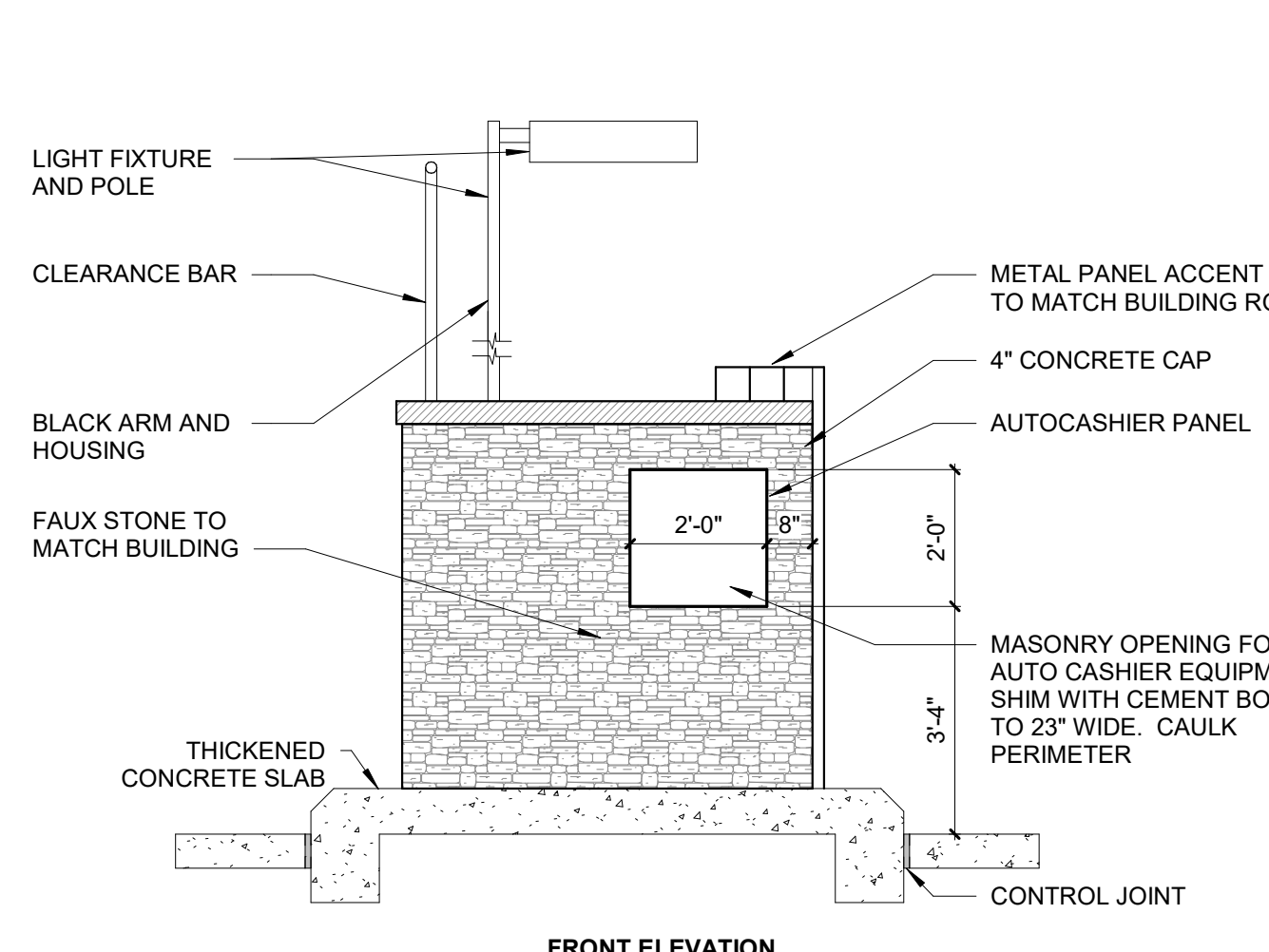
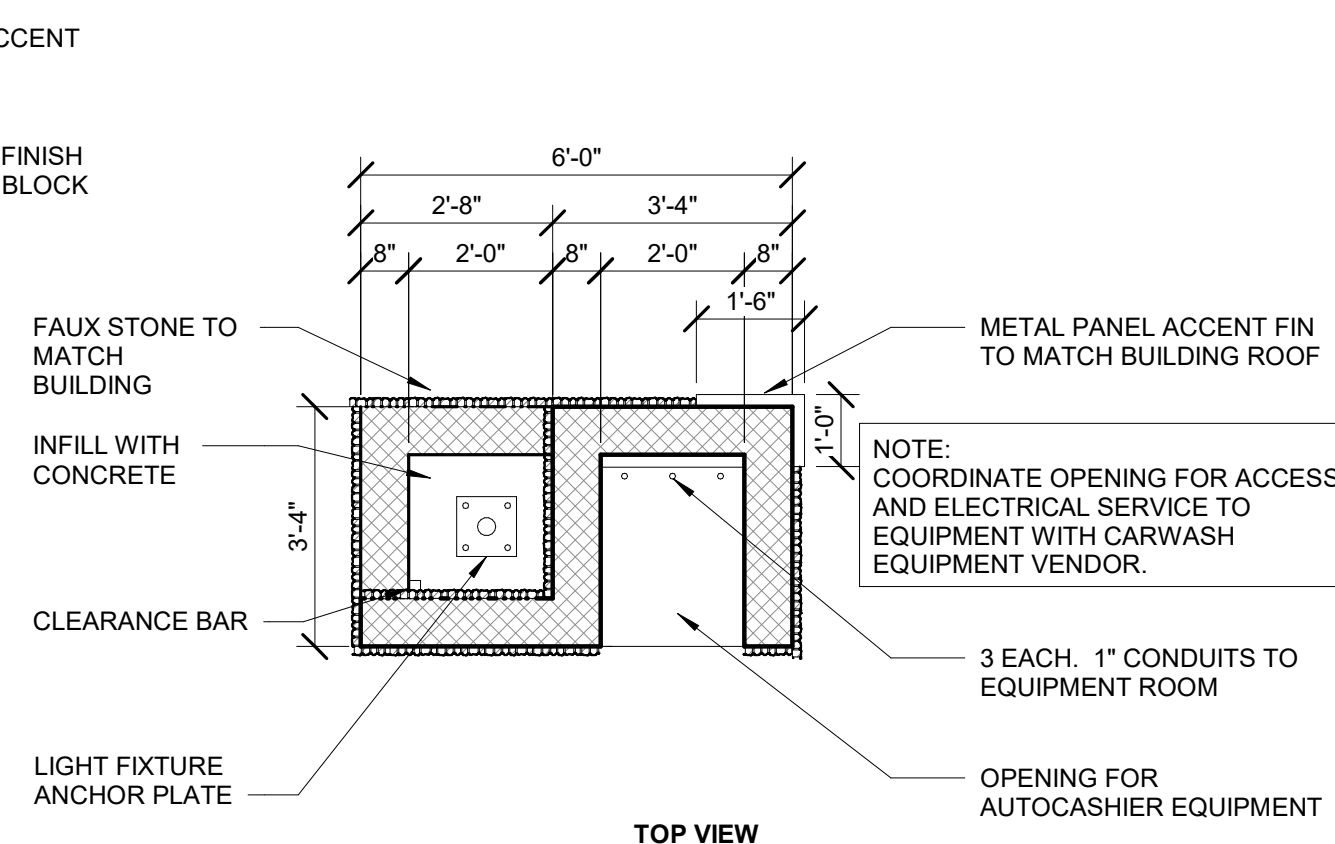
6 BIKE RACK
 9 OF 10 1/2\"/>



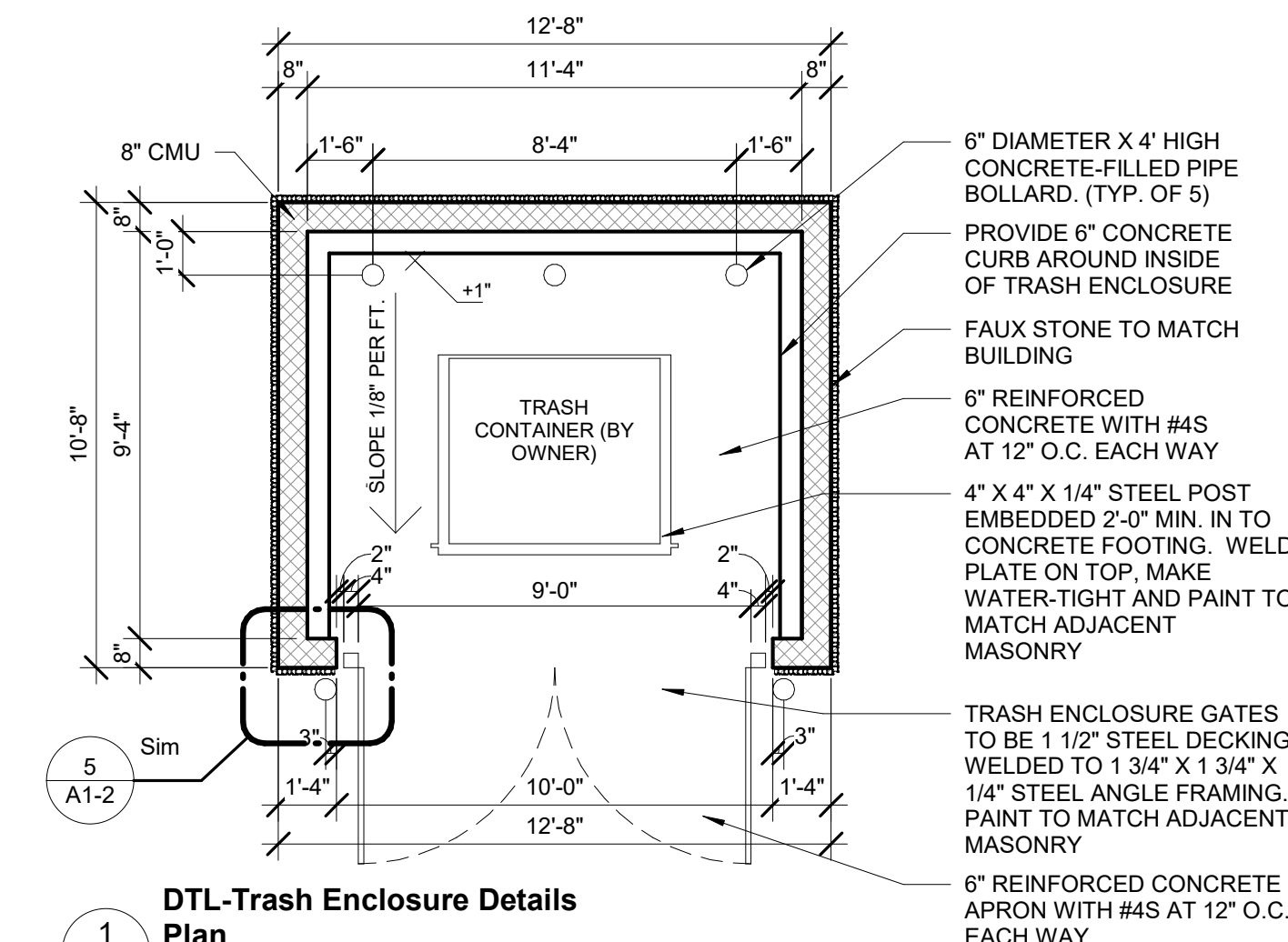
7 DTL-Site Light Pole Plan
 9 OF 10 1/2\"/>



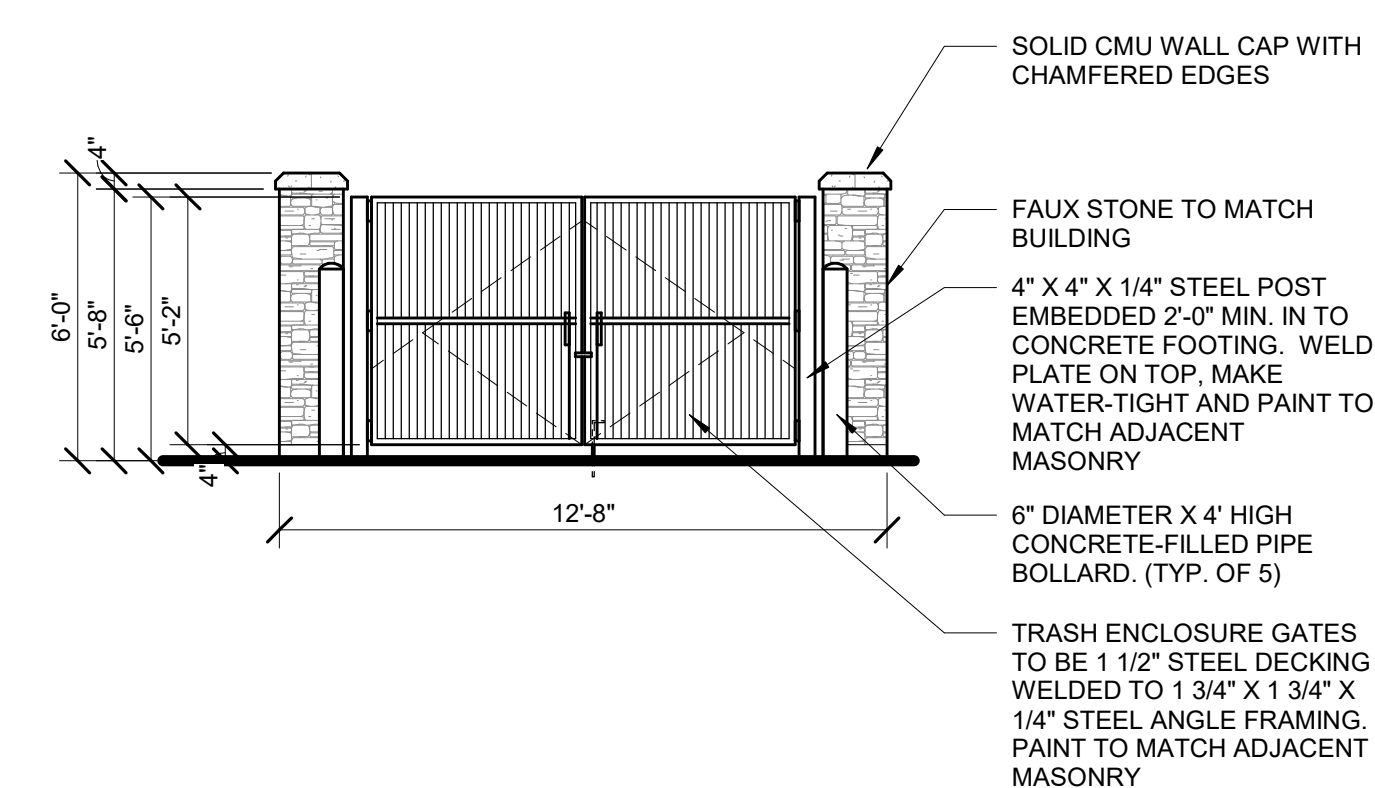
5 DTL-Vacuum Island Station Plan
 9 OF 10 3/8\"/>



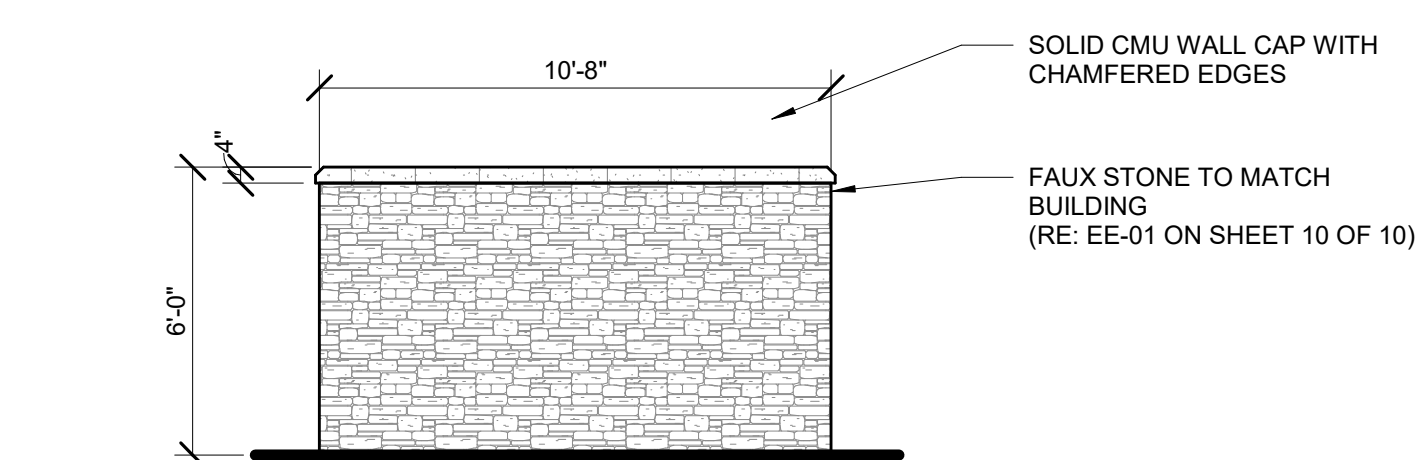
4 DTL-Autopay Station Plan
 9 OF 10 3/8\"/>



1 DTL-Trash Enclosure Details Plan
 9 OF 10 1/4\"/>



2 DTL-Trash Enclosure Front Elevation Plan
 9 OF 10 1/4\"/>



3 DTL-Trash Enclosure Side Elevation Plan
 9 OF 10 1/4\"/>

DATE: 02.19.21
 SCALE: As indicated
 DRAWN BY: ALW
 CHECKED BY: PEW

H O V E R
 ARCHITECTURE
 385 INVERNESS PKWY., SUITE 190
 ENGLEWOOD, CO 80112
 (720) 773-2800

PROJECT NUMBER
 7102.01

SHEET

9 OF 10

Site Details

VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN

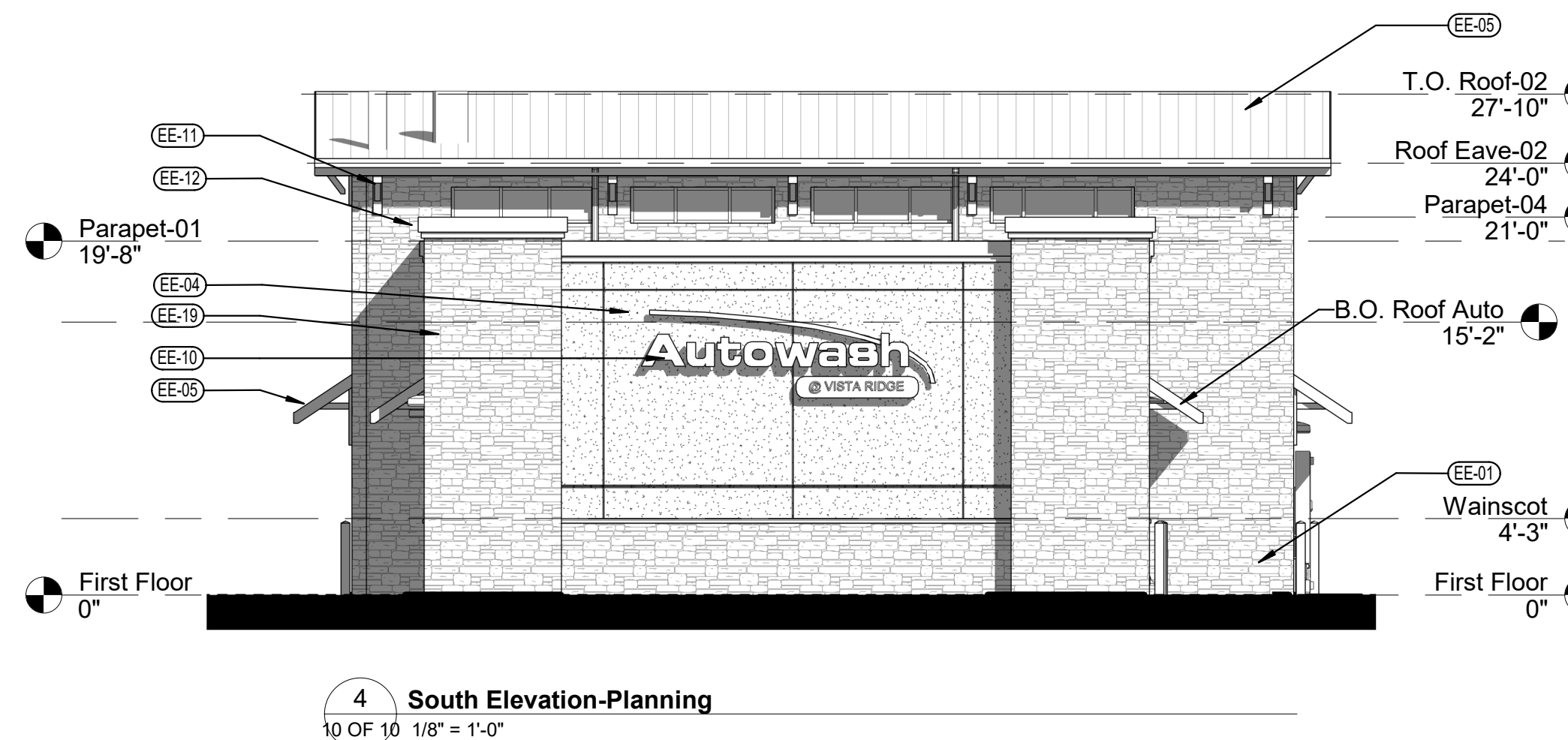
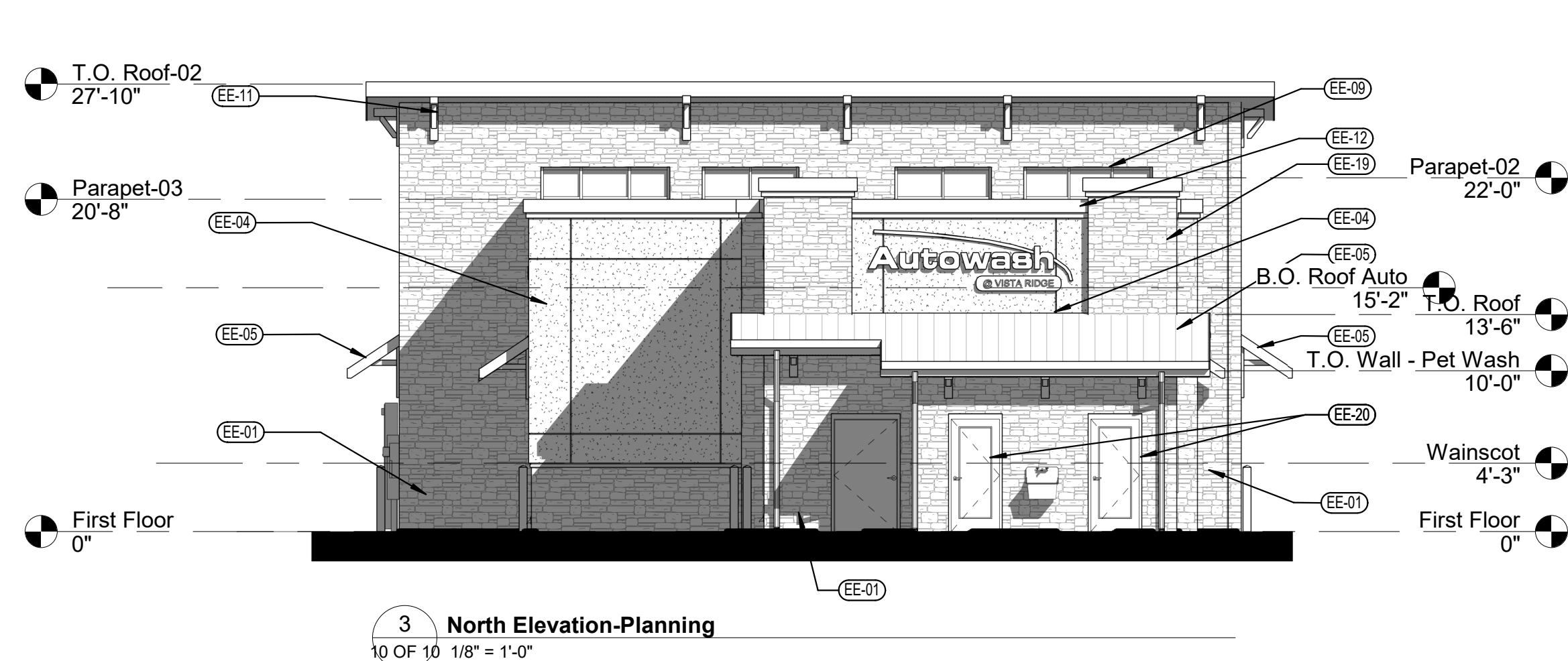
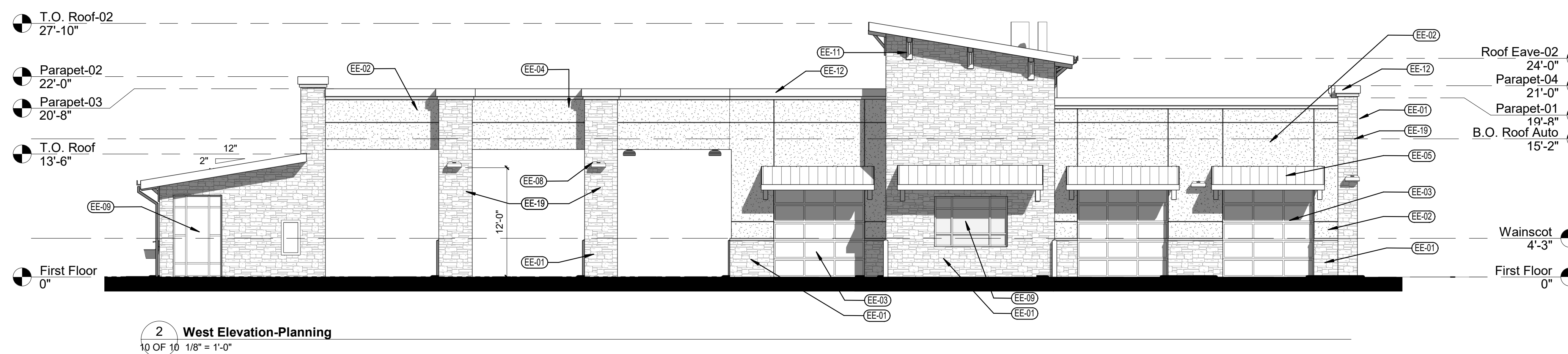
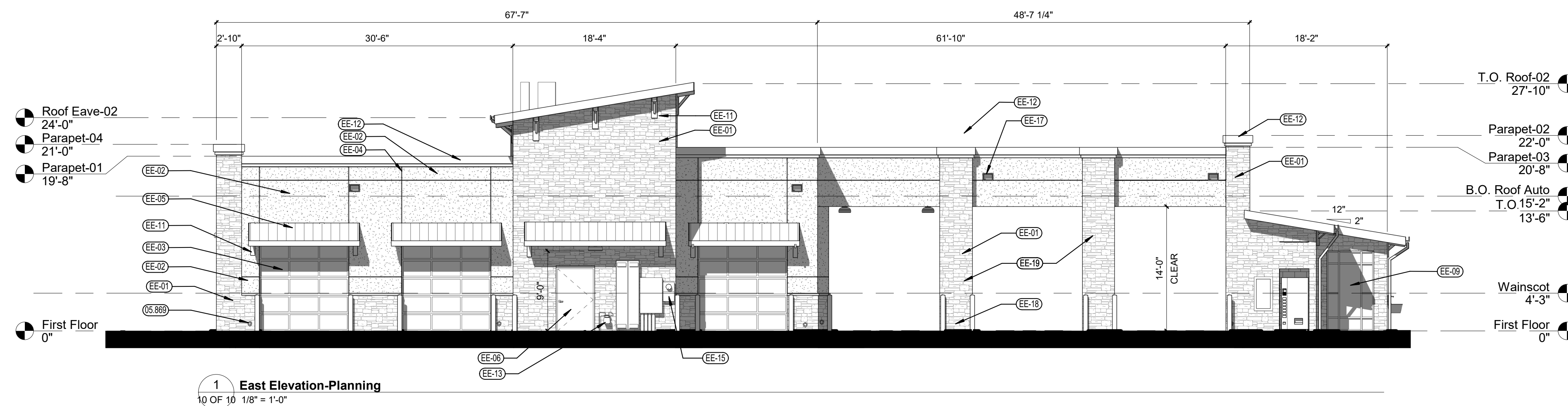
AUTOWASH AT VISTA RIDGE

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 SRU AREA - 0.82 ACRES - TOTAL AREA 0.82 ACRES
 SITE PLAN - SP-001187-2020
 (SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)

EXTERIOR ELEVATION KEYNOTES

Key Value	Keynote Text
05.869	THROUGH WALL LAMBS TOUNGE, PT-1.
EE-01	FAUX STONE VENEER, CULTURED STONE, CHARDONNAY COUNTRY LEDGESTONE.
EE-02	STUCCO, EL REY, COLOR: 817 DRY RIVER.
EE-03	SECTIONAL OVERHEAD DOOR - CLEAR ANODIZED & POLYCARBONATE PANELS.
EE-04	STUCCO REVEAL, TYPICAL.
EE-05	STANDING SEAM METAL ROOF, BERRIDGE, COLOR: TERRA-COTTA.
EE-06	METAL MAN DOOR - PAINT MATTE BLACK.
EE-08	DECORATIVE LIGHT FIXTURE - MATTE BLACK.
EE-09	POLYCARBONATE PANELS IN CLEAR ANODIZED ALUMINUM FRAMING.
EE-10	INTERNALLY ILLUMINATED WALL SIGN, FINAL DESIGN BY SIGN VENDOR.
EE-11	WOOD CORBEL, STAINED.
EE-12	STUCCO CORNICE, EL REY, COLOR: 1630 CASTLE.
EE-13	GAS METER, PAINT SHERWIN WILLIAMS SW 6122 CAMELBACK.
EE-15	ELECTRICAL SERVICE ENTRANCE AAND DISTRIBUTION PANELS, PAINT SHERWIN WILLIAMS SW 6122 CAMELBACK.
EE-17	THROUGH WALL SCUPPER.
EE-18	THROUGH WALL LAMBS TOUNGE.
EE-19	STONE PILASTERS TO BE A MINIMUM OF 12" IN DEPTH FROM THE WALL PLANE BEHIND THEM.
EE-20	ANODIZED ALUMINUM STOREFRONT DOOR WITH 1" INSULATED CLEAR GLAZING.

- NOTES:**
1. THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREON ARE INTENDED TO DEMONSTRATE HOW ALL HVAC AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED ACCORDING TO THE TOWN OF ERIE, UNIFIED DEVELOPMENT CODE REQUIREMENTS. IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE THAT THIS APPROVED SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS, REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES, OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE APPROVED SCREENING MAY RESULT IN DELAY OF FINAL INSPECTIONS AND/OR ISSUANCE OF CERTIFICATE OF OCCUPANCY.
 2. THERE IS NO ROOFTOP MECHANICAL EQUIPMENT BEING PROPOSED ON THIS PROJECT AT THIS TIME THAT WOULD REQUIRE SCREENING.
 3. ALL UTILITIES ARE TO BE PAINTED TO MATCH THE MATERIAL BEHIND THEM, SEE KEYNOTES FOR DESCRIPTIONS.



DATE: 05.03.21
 SCALE: 1/8" = 1'-0"
 DRAWN BY: ALW
 CHECKED BY: PEW



PROJECT NUMBER: 7102.01
 SHEET: 10 OF 10

EXTERIOR ELEVATIONS

5/3/2021 4:36:39 PM