



The Town of Erie  
645 Holbrook St.  
P.O. Box 750  
Erie, CO 80516  
(303) 926-2774

## Planning and Development

Planning

Memo

To: Layla Rosales  
From: Hannah Hippely, Senior Planner  
Date: June 1, 2020  
Re: RZ-001111-2019 Erie Highlands Rezoning  
PUDA- 01151-2020 Erie Highlands PUD Amendment No. 3  
cc: Deborah Bachelder; Mike Weiher

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Community Development has reviewed your submittal for RZ-001111-2019 Erie Highlands Rezoning and PUDA- 01151-2020 Erie Highlands PUD Amendment No. 3 applications for conformance with Municipal Code, Title 10. The applications were reviewed at the May 28, 2020 Development Review Team (DRT) meeting.

### REZONING

1. Staff can support the rezoning since all of the following criteria are met:

a. The Rezoning will promote the public health, safety, and general welfare;

The rezoning allows the implementation of the plan facilitating the development of the final area planned for development in Erie Highlands as it was intended when the zoning was applied.

b. The Rezoning is generally consistent with the Town's Comprehensive Master Plan and the purposes of this UDC;

The Town's Comprehensive Plan and UDC strive to have a diversity of housing types built within the Town. The plan for Erie Highlands accomplished these goals, the purpose of the rezoning is to modify the zone line between the LR and MR zones in order to create a more efficient site plan for PA10 located in the MR zone. The MR zone grew slightly from 56.31 Ac to 56.59 Ac., and increase of 0.28 Ac. The LR zone shrunk slightly from 163.16 Ac to 162.88 Ac., a reduction of 0.28 Ac.

c. Adequate facilities and services (including streets and transportation, water, gas, electric, police and fire protection, and sewage and waste disposal, as applicable) will be available to serve the subject property while maintaining adequate levels of service to existing development;

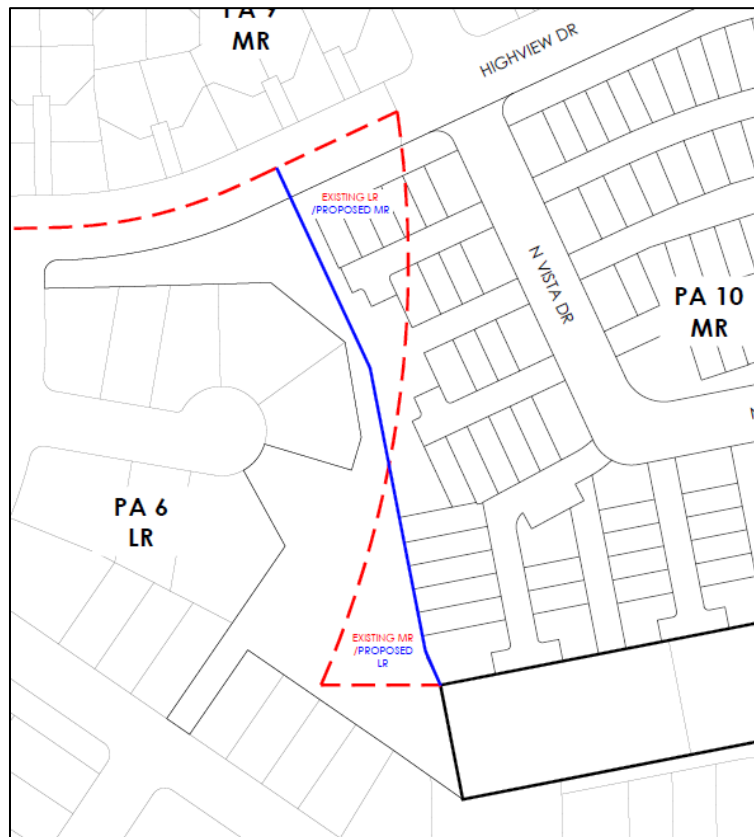
As the developer of Erie Highlands has constructed the project, the necessary facilities and services to support the development have been provided. This will continue through the final development phases and the adjustment in the zone district boundaries will not negatively impact this. The rezoning allows for an efficient lot and infrastructure layout.

d. The Rezoning is not likely to result in significant adverse impacts upon the natural environment, including air, water, noise, storm water management, wildlife, and vegetation, or such impacts will be substantially mitigated;

The area under consideration has long been planned for multifamily development and the rezoning to make a small adjustment in the boundary itself has little impact. The area being rezoned add 0.28 acre to the MR district and reduces the LR District by 0.28 acre.

e. The Rezoning is not likely to result in significant adverse impacts upon other property in the vicinity of the subject property;

The change in the zoning boundary would facilitate the development of Planning Area 10 in a more efficient manner. It does change where that development could occur. Staff has not found this change to be significant adverse impact as the resulting development will be in conformance with the long term development plan for the area. Additionally the change in location results in a more efficient and orderly development pattern overall which is a benefit to the neighborhood and the Town.



f. Future uses on the subject property will be compatible in scale with uses on other properties in the vicinity of the subject property; and

The rezoning does not impact the fact that at this location zoning changes from LR to MR which is a point where the development type changes from Single Family to what is proposed to be Duplexes. This adjacency is acceptable and is compatible development. The Town consistently strives to incorporate different housing types into developments and this is a common approach to achieving this goal.

g. The Zoning is generally consistent with the Towns' economic development goals and objectives in bring positive growth and sustainable revenues to the Town.

This minor adjustment in the zoning will allow a more efficient development pattern to result which is consistent with the Town's goals related to quality growth and development however, it is not anticipated that this small change will impact the Town's revenues or larger economic development goals.

### PUD Amendment No. 3

1. In general, the PUDA should be simplified to only address those areas of the UDC which are being modified (dimensional standards and design standards) for this development. For example, it seems that the proposed design of the townhomes can meet the existing requirements for townhomes in the UDC, why are different requirements being drafted? The same is true for fencing and landscaping. Please provide an individual rational for each modification of the standards in the UDC.
2. Given the topography change to the west and the location of alleys and parking areas please add to the PUDA the screening of these area with opaque materials that will prevent headlights from being a nuisance to adjacent neighbors.
3. Please change all use of the word 'will' to "shall".
4. The proposed setbacks are not reflective of the layout of the site and the distance between structures and the ROW. Please add this element to the PUD so it captures and highlights this attribute of this neighborhood design.

### Next Steps:

The next step for the applications is revision and resubmittal of the PUD amendment before the scheduling of public hearings for the applications can be determined. The rezoning may be moved forward to hearing either as a package with the PUD Amendment and Preliminary Plat or separately.

A Neighborhood Meeting is also required to be held before a Planning Commission hearing on the applications. All property owners within 500 feet of the subject properties must be notified of the neighborhood meeting. Staff suggests holding a new public meeting on the applications in light of the new households that have moved into the development since the last meeting.

### RESUBMITTAL

Please submit the following to the Planning & Development:

#### **Paper Copies:**

- 1 copy of the new and updated materials bound and labeled for Planning to update the binder and application materials already submitted. Provide 11x17 plans for the notebook.
- 1 copies of the complete submittal in tabbed binders labeled for the Public. Provide 11x17 plans in the notebook.

#### **Digital Copies:**

- A PDF format of the complete resubmittal materials on 1 USB flash drive with file names consistent with the Town's Users Guide. Please include autocad or shape files of the zoning maps for Town staff to update the GIS database.
  1. Town of Erie (File)



TO: Town of Erie  
Darren Champion

FROM: Plan West Inc.  
David Brehm – [dbrehm@planwest.com](mailto:dbrehm@planwest.com)

DATE: May 11, 2020

RE: Erie Highlands PUD Zoning Map Amendment  
Erie Highlands PA-10 Final Landscape Plans

Below are the Parks-related review comments:

**PUD Amendment dated March 19, 2020**

Reference Town of Erie UDC Chapter 6, 10.6.3 parks, Open Space, and Trails

- The Table on the upper left calls out 1.97 acres of Pocket park. The plan shows two pocket parks (0.97 and 1.97) for a total of 2.84 acres of pocket parks.
- The Land Use Summary on Sheet 3 lists Public Open Space Provided. These areas are not labeled on the plan. The tabulation would be clearer if these open spaces were labeled on the plan. They appear to be sub areas in each Planning Area.
- The Development Summary on the upper right corner of Sheet 2 lists Parks and Open Space as 53.22 acres. We are having a hard time understanding what is included in this number.
- PA 14 is 8.41 as park land but not included in the open space column.
- PA 13 is listed as 8.33 on the plan and 8.41 in the Land Use Summary.
- We suggest the plan and all tabulations be coordinated for consistency and clarity.

**Final Landscape Plans Dated, April 15, 2020**

- The Site plan Final Landscape Plans for PA-10 do not include parks. Parks are provided in separate planning areas within the Erie Highlands PUD.
- The landscape plans appear to be thorough and complete.

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Let me know if you have any questions or need additional information.

End of Comments

# ERIE HIGHLANDS PUD ZONING MAP AMENDMENT NO. 3

A PART OF THE NORTHEAST QUARTER OF SECTION 20,  
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO  
305.126 ACRES  
PUDA-001151-2020



**OVERALL BOUNDARY DESCRIPTION:**

ALL THOSE CERTAIN PORTIONS OF ERIE HIGHLANDS FILING NO. 1, AS RECORDED UNDER RECEPTION NO. 4044915, AND ERIE HIGHLANDS FILING NO. 1, 1st AMENDMENT AS RECORDED UNDER RECEPTION NO. 4108023, AND ERIE HIGHLANDS FILING NO. 2, AS RECORDED UNDER RECEPTION NO. 4108025, AND ERIE HIGHLANDS FILING NO. 3, AS RECORDED UNDER RECEPTION NO. 4128216, AND ERIE HIGHLANDS FILING NO. 4, AS RECORDED UNDER RECEPTION NO. 4128218, OF THE RECORDS OF THE WELD COUNTY CLERK AND RECORDER'S OFFICE, SITUATED IN THE NORTH HALF OF SECTION 20, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND BEING A PART OF THE NORTH HALF OF SECTION 20, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**BEGINNING** AT THE NORTHWEST CORNER OF SAID SECTION 20, AND CONSIDERING THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 20 TO BEAR NORTH 88°48'39" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE ALONG SAID NORTH LINE, NORTH 88°48'39" EAST, A DISTANCE OF 2,648.08 FEET TO THE NORTH QUARTER CORNER OF SAID SECTION 20;

THENCE ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 20, NORTH 88°48'09" EAST, A DISTANCE OF 2648.24 FEET TO THE NORTHEAST CORNER OF SAID SECTION 20;

THENCE ALONG THE EAST LINE OF SAID NORTHEAST QUARTER, SOUTH 00°00'25" WEST, A DISTANCE OF 1720.04 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF THAT PARCEL OF LAND DESCRIBED IN DEED RECORDED IN BOOK 509 AT PAGE 79, IN THE OFFICE OF THE CLERK AND RECORDER OF WELD COUNTY;

THENCE DEPARTING SAID EAST LINE AND ALONG SAID NORTHERLY BOUNDARY, SOUTH 78°55'29" WEST, A DISTANCE OF 430.59 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF THAT PARCEL OF LAND DESCRIBED IN DEED RECORDED IN BOOK 1179 AT PAGE 541, IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY BOUNDARY, NORTH 89°59'35" WEST, A DISTANCE OF 27.44 FEET TO THE NORTHWEST CORNER OF SAID PARCEL;

THENCE ALONG THE WESTERLY BOUNDARY OF SAID PARCEL, SOUTH 00°00'25" WEST, A DISTANCE OF 5.38 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF SAID PARCEL DESCRIBED IN BOOK 509 AT PAGE 79;

THENCE ALONG SAID NORTHERLY BOUNDARY, SOUTH 78°55'29" WEST, A DISTANCE OF 769.24 FEET TO THE NORTHEASTERLY CORNER OF THAT PARCEL OF LAND DESCRIBED IN DEED RECORDED IN BOOK 814 AT PAGE 251, IN SAID RECORDS;

THENCE ALONG THE NORTHERLY, WESTERLY AND SOUTHERLY BOUNDARIES OF SAID PARCEL THE FOLLOWING THREE (3) COURSES:

- 1) SOUTH 78°55'29" WEST, A DISTANCE OF 250.00 FEET;
- 2) SOUTH 11°04'31" EAST, A DISTANCE OF 125.00 FEET;
- 3) NORTH 78°55'29" EAST, A DISTANCE OF 250.00 FEET TO THE SOUTHWESTERLY CORNER OF SAID PARCEL DESCRIBED IN BOOK 509 AT PAGE 79;

THENCE ALONG THE SOUTHERLY BOUNDARY OF SAID PARCEL, NORTH 78°55'29" EAST, A DISTANCE OF 744.76 FEET TO A POINT ON THE WESTERLY BOUNDARY OF SAID PARCEL DESCRIBED IN BOOK 1179 AT PAGE 541;

THENCE ALONG SAID WESTERLY BOUNDARY, SOUTH 00°00'25" WEST, A DISTANCE OF 76.02 FEET TO THE NORTHEASTERLY CORNER OF THAT PARCEL OF LAND DESCRIBED IN DEED RECORDED IN BOOK 1044 AT RECEPTION NO. 1983198, IN SAID RECORDS;

THENCE ALONG THE NORTHERLY BOUNDARY OF SAID PARCEL, SOUTH 89°05'08" WEST, A DISTANCE OF 225.15 FEET TO THE NORTHWESTERLY CORNER OF SAID PARCEL;

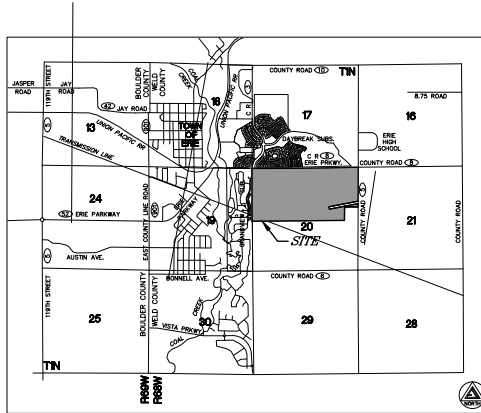
THENCE ALONG THE WESTERLY BOUNDARY OF SAID PARCEL, SOUTH 00°00'21" WEST, A DISTANCE OF 650.47 FEET TO THE SOUTHWESTERLY CORNER OF SAID PARCEL AND A POINT ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 20;

THENCE ALONG SAID SOUTH LINE, SOUTH 89°05'07" WEST, A DISTANCE OF 1,962.78 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 20;

THENCE ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 20, SOUTH 89°05'29" WEST, A DISTANCE OF 2640.94 FEET TO THE WEST QUARTER CORNER OF SAID SECTION 20;

THENCE ALONG THE WEST LINE OF SAID NORTHWEST QUARTER, NORTH 00°21'43" WEST, A DISTANCE OF 2628.51 FEET TO THE **POINT OF BEGINNING**

CONTAINING AN AREA OF 305.126 ACRES, (13,291,297 SQUARE FEET), MORE OR LESS.



VICINITY MAP  
SCALE: 1"=3000'

- NOTES:
1. THIS PUD ZONING MAP MODIFIED THE STANDARDS SET FORTH IN THE TOWN OF ERIE UDC AS PROVIDED FOR IN SECTION 10.2.7.D.
  2. IN THE EVENT THAT THERE IS ANY DISCREPANCY BETWEEN THE CODE AND THIS PUD, THE PUD SHALL CONTROL. ANY PROVISIONS THAT ARE NOT SPECIFICALLY ADDRESSED IN THIS PUD ZONING MAP SHALL COMPLY WITH THE CODE.
  3. THE MAXIMUM NUMBER OF UNITS ALLOWED IN THIS PUD IS 978.
  4. DISTANCES ON THIS MAP ARE GROUND DISTANCES EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
  5. AMENDMENT NO.2 ADDS SHEET 4 AND MODIFIES/ADDS DETAILS WHICH RELATE ONLY TO PLANNING AREA 9 AND MAKES NO CHANGES TO OTHER PLANNING AREAS IN THE PUD.
  5. AMENDMENT NO.3 ADDS SHEET 5 AND MODIFIES/ADDS DETAILS WHICH RELATE ONLY TO PLANNING AREA 10.

**SURVEYOR'S CERTIFICATE**

I, TONY PEALL, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PUD ZONING MAP TRULY AND CORRECTLY REPRESENTS THE ABOVE DESCRIBED LEGAL DESCRIPTION.

I ATTEST TO THE ABOVE ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

TONY PEALL

COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR # \_\_\_\_\_

**PLANNING COMMISSION CERTIFICATE**

THIS PUD ZONING MAP WAS REVIEWED BY THE PLANNING COMMISSION ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

CHAIRPERSON \_\_\_\_\_

DATE \_\_\_\_\_

**BOARD OF TRUSTEES APPROVAL CERTIFICATE**

THIS PUD ZONING MAP IS TO BE KNOWN AS THE "ERIE HIGHLANDS PUD ZONING MAP AMENDMENT NO. 2" AND IS APPROVED AND ACCEPTED BY ORDINANCE NO. \_\_\_\_\_, PASSED AND ADOPTED AT THE REGULAR MEETING OF THE BOARD OF TRUSTEES OF ERIE, COLORADO, HELD ON \_\_\_\_\_, 20\_\_.

MAYOR \_\_\_\_\_

ATTEST \_\_\_\_\_

TOWN CLERK

**CLERK & RECORDER CERTIFICATE**

STATE OF COLORADO )

COUNTY OF WELD ) ss. )

I DO HEREBY CERTIFY THAT THIS PUD ZONING MAP WAS FILED IN MY OFFICE ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D. AND WAS RECORDED AT RECEPTION NUMBER \_\_\_\_\_.

\_\_\_\_\_ COUNTY CLERK AND RECORDER

**SHEET INDEX**

- 1 COVER
- 2 PUD PLAN
- 3 PUD NOTES
- 4-5 PUD NOTES/EXHIBITS

**APPLICANT / OWNER**

CLAYTON PROPERTIES GROUP II, INC.  
4908 TOWER ROAD  
DENVER, CO 80249  
(303) 486-8500  
CONTACT: BRUCE RAU

**PLANNER**

TERRACINA DESIGN  
10200 E. GIRARD AVE.  
SUITE A-314  
DENVER, CO 80231  
(303) 632-8867  
CONTACT: LAYLA ROSALES

**ENGINEER**

CORE CONSULTANTS  
1950 WEST LITTLETON BLVD.  
SUITE 109  
LITTLETON, COLORADO 80120  
(303) 703-4444  
CONTACT: DAVID FORBES

**SURVEYOR**

AZTEC CONSULTANTS  
300 E. MINERAL AVENUE, SUITE 122  
LITTLETON, COLORADO 80122  
(303) 713-1898  
CONTACT: TONY PEALL

PROJECT NAME

ERIE HIGHLANDS  
PUD ZONING MAP AMENDMENT NO. 3  
TOWN OF ERIE, COLORADO

SHEET TITLE

COVER SHEET

SHEET NUMBER

1

SHEET 1 OF 5

March 19, 2020

# ERIE HIGHLANDS PUD ZONING MAP AMENDMENT NO. 3

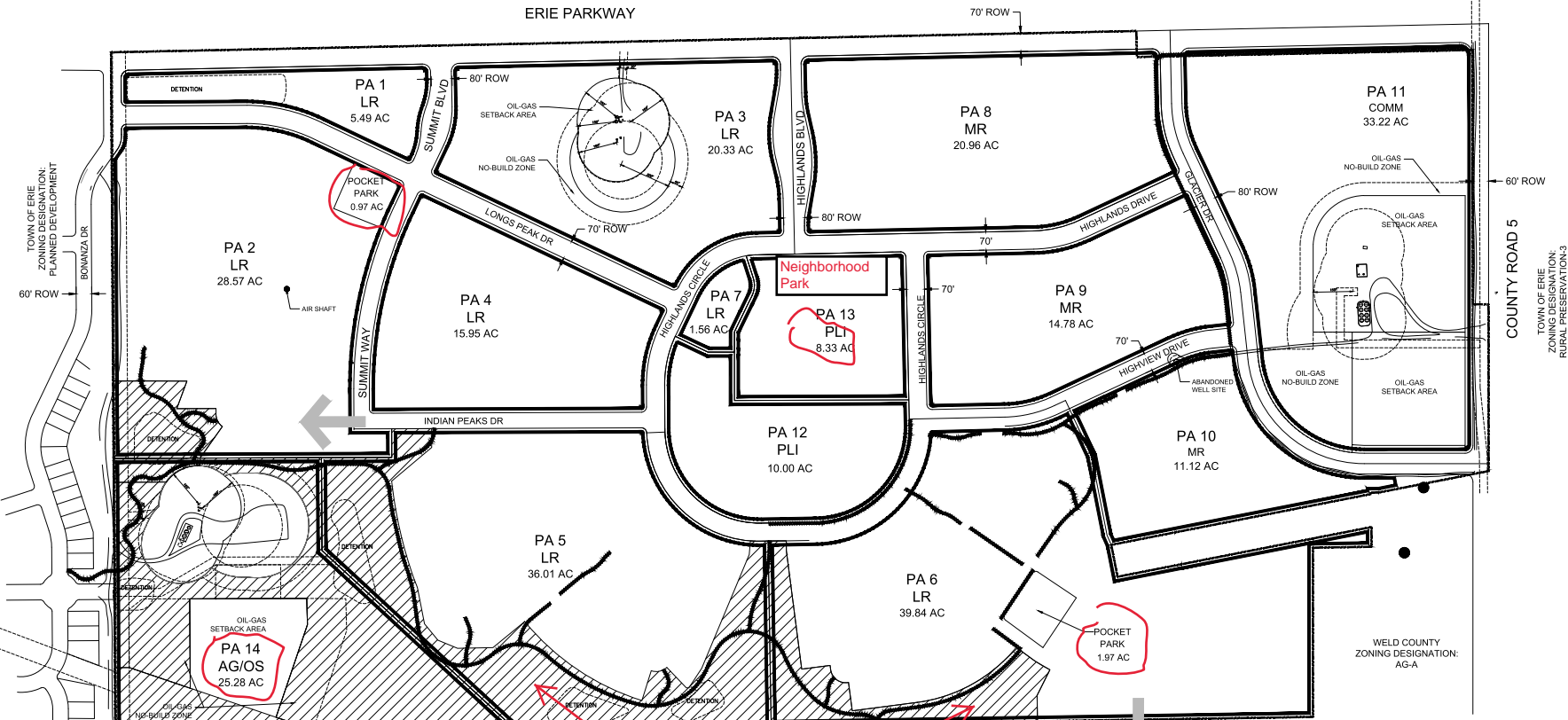
A PART OF THE NORTHEAST QUARTER OF SECTION 20,  
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

305.126 ACRES  
PUDA-001151-2020

PARKS & OPEN SPACE		
PARK AREA	ACRES REQUIRED	ACRES TO BE PROVIDED
COMMUNITY PARK	13.64	FEE IN LIEU
NEIGHBORHOOD PARK	8.19	8.33
POCKET PARK	1.36	1.97
OPEN SPACE (PUBLIC)	46.39	33.39 + FEE IN LIEU

TOWN OF ERIE  
ZONING DESIGNATION: LOW  
DENSITY RESIDENTIAL

DEVELOPMENT SUMMARY		
LAND USE	ACRES	% ACRES
Residential	174.99	57.3%
Commercial	33.22	10.9%
School	10.02	3.3%
Parks & Open Space	53.22	17.4%
Right-of-Way	33.68	11.0%
<b>TOTAL</b>	<b>305.13</b>	



**PA 5 and 6  
16.33 Acres Total**

- LEGEND**
- OPEN SPACE (PUBLIC)
  - TRAIL CONNECTIONS
  - OIL & GAS- SUA SETBACKS
  - OIL & GAS- NO-BUILD ZONE



PROJECT NAME

ERIE HIGHLANDS  
PUD ZONING MAP AMENDMENT NO. 3  
TOWN OF ERIE, COLORADO

SHEET TITLE

PUD PLAN

SHEET NUMBER

**2**

SHEET 2 OF 5

March 19, 2020



# ERIE HIGHLANDS PUD ZONING MAP AMENDMENT NO. 3

A PART OF THE NORTHEAST QUARTER OF SECTION 20,  
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

305.126 ACRES  
PUDA-001151-2020

## ARCHITECTURAL STANDARDS-SINGLE FAMILY RESIDENTIAL DETACHED - PA 1-8

### 1. Architectural Variety and Character

#### a. Architectural Variety

##### i. Design Standards

- No identical model plan elevation shall be repeated directly across any street from the same model plan and elevation.
- No identical model plan elevation shall be repeated more than once within every 4 lots on the same side of any street.
- A minimum of 3 alternative elevations for each model plan shall be submitted to the Town for review.

#### b. Architectural Character

Each single family detached model plan and elevation shall demonstrate the following design attributes:

##### i. Design Standards

- Each elevation shall include a minimum of two windows (or one window and one door) per floor.
- Each front and rear elevation shall include more than one wall plane. Articulation that adds shadow and visual interest is encouraged.
- A variety of roof forms should be used. Single unbroken roof pitches should be avoided, except where a single roof treatment is an essential element of the Architectural Style. (e.g. Mansard)
- The main roof should extend beyond the primary façade by a minimum of one foot.
- An elevation of the home that faces a street, park, trail corridor or open space area shall provide an "Enhanced Elevation". An "Enhanced Elevation" shall provide three or more of the following design enhancements listed in (1) through (5) below. Application of the design enhancement shall be applied in a manner that is consistent with the style of the home. Side and rear elevation design enhancements shall be consistent with the design elements of the front elevation.
  - The addition of one window unit.
  - A change in wall plane by providing one or more of the following options:
    - An additional wall plane change. Minimum six feet in width and one foot projection.
    - A projecting or cantilevered living space.
    - A bay or boxed window.
  - A covered porch or deck.
  - The addition of architectural detail elements such as: shutters, eave brackets, exposed rafter tails, corbels, lintels, trellises, columns or pilasters.
- The use of a minimum of two exterior cladding materials that can include materials such as masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other decorative siding treatment.

- Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. (No exposed 4"x4" posts shall be allowed more than 36 inches above the ground). Columns supporting upper story decks should be 8"x8" minimum finished.

##### ii. Materials

- All exterior materials shall be of high quality, used in applications and treated appropriately to provide an attractive and long lasting appearance.
- When masonry cladding is used in locations where its mass is logical and appropriate. In instances where masonry wraps the exterior corner of the home the masonry should continue to a natural transition point such as an inside corner of a projecting wall, a column, a door or window or other logical point. In cases where no such feature exists near the corner, the masonry wrap shall extend at least six feet from the corner.

### 2. Orientation of Dwellings to the Street

Each residence shall have at least one primary pedestrian doorway for access to the dwelling unit facing and generally visible from the front lot line of the property, and within twelve feet of the most forward plane of the ground level living space. On corner lots, the pedestrian doorway may face any adjacent street. An exception shall be made for alley-loaded single-family detached dwelling units that do not have street frontage but do front onto a park, or landscaped common area. In such case where the dwelling unit does not have street frontage, one primary pedestrian doorway shall be oriented toward a common pedestrian walk that connects to a street.

### 3. Garages

These regulations for garages shall be applied to non-living space or storage areas within garages whether used for storage of automobiles or other items.

#### a. Diversity of Garage Orientation:

A. Except for garages oriented to alleys, all single family homes shall provide garages that meet one of the requirements below, and a variety in garage orientation by providing a minimum of two of the following garage orientations on any subdivision filing.

- Recessed garage; where the primary garage door generally faces the front lot line and the garage is recessed a minimum of two feet behind the most forward plane of the main floor living space or a front porch.
- Projecting garages; where the primary garage door generally faces the front lot line and the garage projects no more than fifteen feet from the front door.
- Side loaded garages.
- Garages recessed a minimum of two feet beneath a second floor living space.

#### b. Width / Façade Ratio

The width of a front loaded garage shall not exceed 65% of the width of the front elevation.

#### c. Three or More Car Garage Orientation

The third of more bay of any three or more garage shall either:

- Have a different orientation from the first two; or
- Shall be recessed behind the first two by at least two feet when having the same orientation; or
- Shall be tandem to the first two.

### 4. Front Stoop

For model plans with a front stoop; the front stoop shall include the platform and stairs that are generally in front of a door that can be covered or uncovered. The maximum width of a covered front stoop shall be three feet in width from the side of the front door. Covered platforms that exceed three feet in width from the side of the front door shall be considered a front porch.

### 5. Front Porches

For model plans with a front porch; the front porch shall be a minimum size of fifty square feet, excluding the stoop with a minimum depth of five feet.

### DEVELOPMENT STANDARDS

PLANNING AREA	ZONE DISTRICT	MIN LOT WIDTH	MIN LOT NET AREA (SF)	FRONT SETBACK	FRONT SETBACK (PORCH)	STREET SETBACK	INTERIOR LOT LINE SETBACK	REAR SETBACK	MAX. HEIGHT
PA-1	LR	60'(4)	6,000	16'(2)	10'	10'(1)(4)	5'(1)	20'(3)	35'
PA-2	LR	45'(4)	4,500	16'(2)	10'	10'(1)(4)	5'(1)	20'(3)	35'
PA-3	LR	60'(4)	6,000	16'(2)	10'	10'(1)(4)	5'(1)	20'(3)	35'
PA-4	LR	50'(4)	5,000	16'(2)	10'	10'(1)(4)	5'(1)	20'(3)	35'
PA-5	LR	60'(4)	6,000	16'(2)	10'	10'(1)(4)	5'(1)	20'(3)	35'
PA-6	LR	45'(4)	4,500	16'(2)	10'	10'(1)(4)	5'(1)	20'(3)	35'
PA-7	LR	45'	4,500	15'	N/A	N/A	5'(1)	5'	35'
PA-8	MR	45'(4)	4,500	16'(2)	10'	10'(1)(4)	5'(1)	20'(3)	35'

- Permitted encroachments. Side setbacks shall allow for encroachments up to twelve(12) inches beyond the building foundation for window wells and above grade features including eaves, counterforts, fireplace box out, stoops, bay windows, room cantilevers and overhangs provided that the living space of the projection does not exceed six (6) feet in width. There shall be no more than two above grade encroachments per elevation totaling no more than twenty (20) sf.
- Front loaded garages shall be set back twenty (20) feet. A sixteen(16) foot front setback allowed with side loaded garage.
- Unenclosed covered patios may project up to eight (8) feet into a rear setback. The projection shall be at least five feet from the property line.
- The minimum lot width shall be measured from the front setback line and shall be increased on corner lots to accommodate the additional side on street setback.

### LAND USE SUMMARY

TRACT	ZONE DISTRICT	AREA (ACRES)	PRIMARY USE	DWELLING UNITS	PUBLIC OPEN SPACE PROVIDED
<b>LOW DENSITY RESIDENTIAL</b>					
PA 1	LR	5.49	SFD	7	
PA 2	LR	28.57	SFD	125	2.896
PA 3	LR	20.33	SFD	37	
PA 4	LR	15.95	SFD	86	
PA 5	LR	36.01	SFD	84	16.633
PA 6	LR	39.84	SFD	146	
PA 7	LR	1.46	AMENITY	0	
SUBTOTAL		147.65			
RIGHT OF WAY		17.02			
SUBTOTAL		164.67		485	19.53
<b>MEDIUM DENSITY RESIDENTIAL</b>					
PA 8	MR	20.96	SFD	120	
PA 9	MR	14.79	SFD	170	
PA 10	MR	11.12	TH/APT	203	
SUBTOTAL		46.87			
RIGHT OF WAY		10.33			
SUBTOTAL		57.20		493	
<b>COMMUNITY COMMERCIAL</b>					
PA 11		33.22	COMM		
SUBTOTAL		33.22			
RIGHT OF WAY		6.33			
SUBTOTAL		39.55			
<b>PUBLIC LAND AND INSTITUTIONS</b>					
PA 12		10.02	SCHOOL		
PA 13		8.47	N PARK		
SUBTOTAL		18.43			
<b>AGRICULTURAL / OPEN SPACE</b>					
PA 14		25.28	OPEN SPACE		13.86
SUBTOTAL		25.28			
TOTAL		305.13		978	33.39

### NOTES

- Density: Dwelling units may be transferred between planning areas in the same zone district as long as the maximum density allowed within that zone district is not exceeded.
- Erie Parkway: Thirty (30) foot landscape buffer not required when a local road is directly adjacent. (i.e. frontage road condition). Thirty (30)foot landscape buffer is required when lots abut Erie Parkway right of way.
- Fencing along Erie Parkway shall not exceed six feet in height which may include opaque fencing in straight runs limited to approximately 600 feet in length without a break and shall be limited to 30% of the total frontage of Erie Parkway. Masonry columns shall not exceed six feet in height with a four inch cap and shall be provided on corners of lots a minimum of every three lots for all opaque fencing along Erie Parkway.
- Double frontage lots abutting collector or local roads shall be an additional 10 feet in depth. A twenty (20) foot landscape buffer will be provided along local and collector roads abutting double frontage lots.
- Planning areas shown with apartments and townhomes land use designation shall be allowed to develop with lower density uses including single family attached and detached as long as the minimum housing diversity requirements and minimum gross density for the zone district are met.
- The trail along Highview Drive within PA-6 and PA-10 shall be located within a landscape tract and meander.



PROJECT NAME

ERIE HIGHLANDS  
PUD ZONING MAP AMENDMENT NO. 3  
TOWN OF ERIE, COLORADO

SHEET TITLE

PUD NOTES

SHEET NUMBER

3

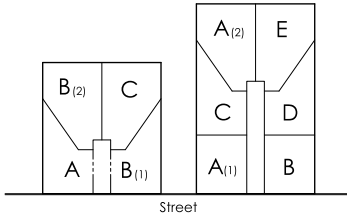
SHEET 3 OF 5

March 19, 2020



DESIGN STANDARDS - PA 9

1. Architectural Variety
- A. Street Fronting Lots
  - i. No identical model plan elevation shall be repeated directly across any street from the same model plan and elevation.
  - ii. No identical model plan elevation shall be repeated more than once within every 4 lots on the same side of any street.
  - iii. A minimum of 3 alternative elevations for each model plan shall be submitted to the Town for review.
- B. Within the Motorcourts
  - i. No more than two (2) of the same model are permitted within a motorcourt.
  - ii. If two (2) of the same model do exist within the same motorcourt, they shall be of different elevations.



MOTORCOURT VARIETY EXHIBIT

Scale: NTS

2. Architectural Character - Each model plan and elevation shall demonstrate the following design attributes:
  - A. All Street Side Models shall meet the following:
    - i. Each Front, Street Side, and Street Rear Elevation shall include a minimum of two windows (or one window and one door) per floor. Acceptable minimum window size shall be a single window 4 sq ft minimum or a group of windows within the same room totaling 4 sq ft. Windows on the Front and Street Side Elevations shall have windows laid out in a pattern that reflects rhythm, balance, symmetry, and intentional design.
    - ii. Each Street Side Elevation shall include a covered wrap around porch.
    - iii. Each Interior Rear and Interior Side Elevation shall include a minimum of 20 sf of window area which may include windows within doors.
    - iv. Each Front Elevation shall include more than one wall plane.
    - v. The main roof shall extend beyond the primary façade by a minimum of one foot.

- B. All Middle Lot Elevations shall meet the following:
  - i. Each Front and Street Rear Elevation shall include a minimum of two windows (or one window and one door) per floor. Acceptable minimum window size shall be a single window 4 sq ft minimum or a group of windows within the same room totaling 4 sq ft.
  - ii. Each Interior Rear and Interior Side Elevation shall include a minimum of 20 sf of window area which may include doors.
  - iii. Each Front Elevation shall include more than one wall plane.
  - iv. The main roof shall extend beyond the primary façade by a minimum of one foot.

- C. All Rear of Cul De Sac Models shall meet the following:
  - i. Each Front and Rear Elevation shall include a minimum of two windows (or one window and one door) per floor. Acceptable minimum window size shall be a single window 4 sq ft or a group of windows within the same room totaling 4 sq ft.
  - ii. Interior Side Elevations shall include a minimum of 20 sf of window area which may include doors.
  - iii. Each Front Elevation shall include more than one wall plane.
  - iv. Windows are required in the garage door.
  - v. The main roof shall extend beyond the primary façade by a minimum of one foot.
- D. Enhanced Elevation
 

An elevation of the home that faces a street, park, trail corridor or open space area shall provide an "Enhanced Elevation." An "Enhanced Elevation" shall provide three or more of the following design enhancements listed below in addition to those elements required above. Application of the design enhancement shall be applied in a manner that is consistent with the style of the home. Side and rear elevation design enhancements shall be consistent with the design elements of the front elevation.

  - i. A change in wall plane by providing one or more of the following options:
    - a. An additional wall plane change. Minimum six feet in width and one foot projection.
    - b. A projecting or cantilevered living space.
    - c. A bay or boxed window.
  - ii. A porch, patio, or deck that is covered.
  - iii. The use of architectural detail elements such as: shutters, vents, eave and/or gable brackets, exposed rafter tails, corbels, lintels, trellises, columns or pilasters, decorative variations in the style of the same material, etc. which in combination, create an enhanced architectural style.
  - iv. The use of two or more exterior cladding materials that can include materials such as masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other material. The second material shall cover a minimum of 15% of the façade.

- E. Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. (No exposed 4"x4" posts shall be allowed more than 36 inches above the ground). Columns supporting upper story decks should be 8"x8" minimum finished.

- F. Materials
  - i. All exterior materials shall be of high quality, used in applications and treated appropriately to provide an attractive and long lasting appearance.
  - ii. Masonry cladding shall be used only in locations where its mass is logical and appropriate. In instances where masonry wraps the exterior corner of the home the masonry should continue to a natural transition point such as an inside corner of a projecting wall, a column, a fence line, a door or window or other logical point.

# ERIE HIGHLANDS PUD ZONING MAP AMENDMENT NO. 3

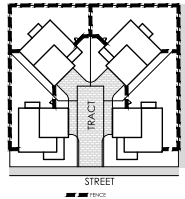
A PART OF THE NORTHEAST QUARTER OF SECTION 20,  
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

305.126 ACRES  
PUDA-001151-2020

3. Motorcourt Design
  - A. The motorcourt, which includes the driveway on the shared tract and the private garage aprons on private lots, shall be colored pavers installed in a decorative pattern.
4. Orientation of Dwellings
  - A. Each residential lot shall be provided with lot frontage on the motorcourt which provides access to a public street.
  - B. Dwellings in middle and rear of cul-de-sac lots shall be oriented towards the motor court with both the primary pedestrian door and garage facing the motorcourt.
  - C. Dwellings on street side lots shall have the primary pedestrian door facing the street and the garage door shall face the motorcourt.
5. Garages
  - A. Regulations for garages shall be applied to non-living space and/or storage areas within garages whether used for storage of automobiles or other items.
  - B. All garages will face the motorcourt.
  - C. The width of a garage shall not exceed 67% of the width of the front elevation

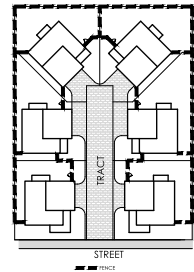
6. Front Porches
  - A. A front porch that is a minimum of 50 square feet and five feet in depth inclusive of the front stoop is required on all models not adjacent to the street.
  - B. Street Side models shall include a wrap-around porch that extends a minimum of 12 feet wide on the side with a minimum depth of five feet. The porch shall be a minimum of 100 square feet inclusive of the front stoop.

7. Fencing
  - A. Fences must be located as shown in the exhibits below.
  - B. Fences adjacent to open spaces, trails, and tracts will be open fence style.



4 PACK FENCING EXHIBIT

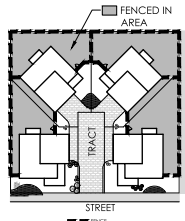
Scale: NTS



6 PACK FENCING EXHIBIT

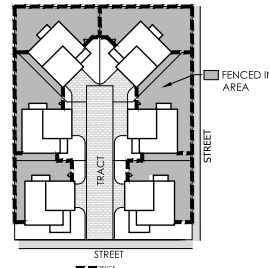
Scale: NTS

8. Rear and Side Yards
  - A. 50% of the combined side and rear yards, identified as the fenced in area below, shall be either landscaped with live plant material or paving material which creates patio. The other 50% of the area shall be landscaped in a way that covers bare dirt with rock, mulch or other material suitable to prevent erosion, suppress weeds, and provide an attractive and long lasting appearance.



4 PACK REAR YARD EXHIBIT

Scale: NTS

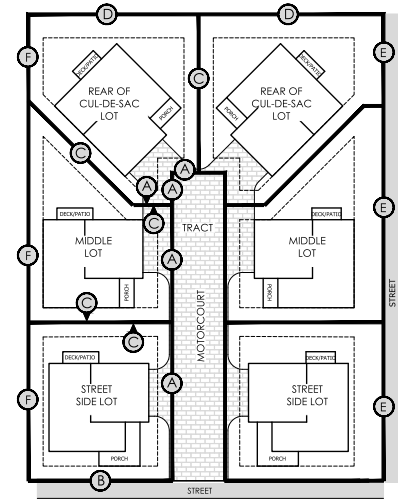


6 PACK REAR YARD EXHIBIT

Scale: NTS

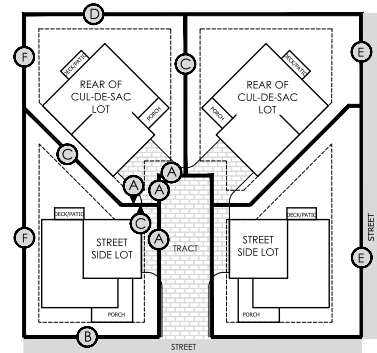
DEVELOPMENT STANDARDS - PA9									
ZONE DISTRICT	MIN LOT WIDTH (3)	MIN LOT NET AREA (SF)	(A) FRONT SETBACK	(B) <sup>1</sup> STREET SIDE SETBACK	(C) INTERIOR SIDE SETBACK	(D) REAR SETBACK	(E) STREET REAR SETBACK	(F) INTERIOR REAR SETBACK	MAX. HEIGHT
MR	45'	2,500	5'	5'	5'	8'	10'	5'	35'

1) Stairs are allowed to encroach into the street side setback.  
2) Accessory Structures are not permitted.  
3) Lot width measured from street side front setback.



6 PACK DEFINITIONS KEY

Scale: NTS



4 PACK DEFINITIONS KEY

Scale: NTS



PROJECT NAME

ERIE HIGHLANDS  
PUD ZONING MAP AMENDMENT NO. 3  
TOWN OF ERIE, COLORADO

SHEET TITLE

PUD  
NOTES/EXHIBITS

SHEET NUMBER

4

SHEET 4 OF 5

March 19, 2020

# ERIE HIGHLANDS PUD ZONING MAP AMENDMENT NO. 3

A PART OF THE NORTHEAST QUARTER OF SECTION 20,  
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

305.126 ACRES  
PUDA-001151-2020

## DESIGN STANDARDS PA-10

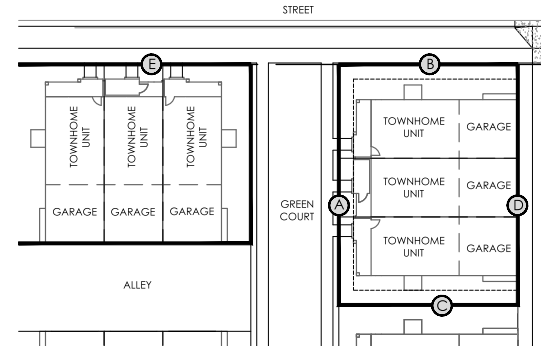
1. Architectural Character
  - A. Design Standards
    - i. Elevations of a multi-family building visible from streets or common open space shall display a similar level of quality and architectural detailing. The majority of a building's architectural features and treatments shall be used on these visible elevations.
2. Architectural Variety
 

Architectural features shall comply with either A or B below:

  - A. Individual dwelling units may be differentiated within a building through 2 or more of the following methods:
    - Use of distinct color variation between individual units
    - Use of distinct variations in materials between individual units
    - Use of distinct variations in architectural style or features, such as a porch or similar feature between individual units
    - Use of distinct variations in roof form
    - A variation in the plane of the front facade to provide a minimum 3 foot variation between individual dwelling units
  - B. If individual units are not differentiated within a building then the facades of the entire building shall be articulated thru the incorporation of 2 or more of the following:
    - Balconies
    - Bay or box windows
    - Insets or other relief in the wall plane
    - Porches
    - Dormers
    - Variations in materials
    - Variations in roof forms
3. Orientation of Dwellings
  - A. Each residential lot shall be provided with lot frontage on a street or greencourt which provides access to a public street.
4. Garages
  - A. All garages will face the alley.
5. Fencing
  - E. Fences adjacent to open spaces and trails will be open fence style.
6. Landscaping
  - A. Street Side Yards
    - i. 50% of the side yard shall be landscaped with live plant material. The other 50% of the area shall be landscaped in a way that covers bare dirt with rock, mulch or other material suitable to prevent erosion, suppress weeds, and provide an attractive and long lasting appearance.
  - B. Interior Side Yards
    - i. Side yards shall be landscaped in a way that covers bare dirt with rock, mulch or other material suitable to prevent erosion, suppress weeds, and provide an attractive and long lasting appearance.
  - C. Front Yards including Greencourts
    - i. 75% of the gross front yard including greencourts shall be landscaped with live plant material
  - D. Alleys
    - i. To break up the appearance of long expanses of garages, the use of planting area on either side of the alley where the alley intersects with a public street shall be employed.

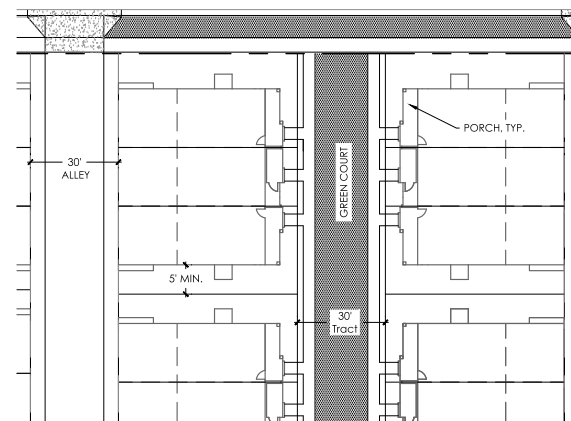
DEVELOPMENT STANDARDS - PA10								
ZONE DISTRICT	MIN LOT WIDTH	MIN LOT NET AREA (SF)	(A) FRONT SETBACK	(B) STREET SIDE SETBACK	(C) INTERIOR SIDE SETBACK <sup>2</sup>	(D) REAR	(E) STREET FRONT	MAX. HEIGHT
MR	N/A	1,200	5'	10'	5'	0'	5'	35'

- 1) Accessory Structures are not permitted.
- 2) Zero lot line setbacks shall be permitted for attached buildings provided that the building meets the zone district interior lot line setback on the side of the building that is not attached.



TOWNHOUSE DEFINITIONS KEY  
Scale: NTS

- LOT LINES  
 (A) FRONT  
 (B) STREET SIDE  
 (C) INTERIOR SIDE  
 (D) REAR  
 (E) STREET FRONT
- LOT LINE  
 - - - - - SETBACK BOUNDARY



TOWNHOME GREENCOURT TYPICAL  
Scale: NTS



PROJECT NAME

ERIE HIGHLANDS  
PUD ZONING MAP AMENDMENT NO. 3  
TOWN OF ERIE, COLORADO

SHEET TITLE

PUD  
NOTES/EXHIBITS

SHEET NUMBER

5

SHEET 5 OF 5

March 19, 2020

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June 2, 2020

Community Development Dept.  
645 Holbrook  
Erie, CO 80516

Re: Erie Highlands Planning Area 10

Dear Community Development

You asked for comments regarding Erie Highlands Planning Area 10. Below are our comments, but they have probably all been previously addressed in other Planning Areas of Erie Highlands.

The Town should assure that the property has been included into both the Northern Colorado Water Conservancy District ("NCWCD") and its Municipal Subdistrict prior to the Town providing water service to the property.

It is unlikely, but if the property is currently in the Left Hand Water District, it should be excluded from that District prior to the approval of the final plat for any subdivision of the property. Said exclusion can provide confirmation that Left Hand will continue to provide water service until such time as the Town provides water service to the property.

The Town should not provide sanitary sewer service to the property until such time as it provides water service. This is necessary for the Town to properly account for the sanitary sewer return flows to the Town's wastewater and reuse systems.

It should also be determined whether there are any appurtenant decreed surface water rights that should be conveyed to the Town. If so, the Applicant should comply with Town Municipal Code Section 8-1-9 regarding dedication of water rights.

Finally, all non-tributary ground water rights should be dedicated to the Town.

Erie, CO 80516

Page 2

I apologize that these comments are a bit late and please contact me with any questions or comments.

Sincerely,

VRANESH AND RAISCH, LLP

A handwritten signature in blue ink that reads "Paul J. Zilis". The signature is written in a cursive style with a large, looping initial "P".

Paul J. Zilis, Esq.

PJZ:

Cc: Todd Fessenden



The Town of Erie  
645 Holbrook St.  
P.O. Box 750  
Erie, CO 80516  
(303) 926-2774  
smoeller@erieco.gov

## Planning & Development Planning

Memo

**To:** Layla Rosales  
**From:** Shannon Moeller, Senior Planner  
**Date:** November 10, 2020  
**Re:** PUDA- 01151-2020 Erie Highlands PUD Amendment No. 3  
**cc:** Mike Weiher, Terracina Design; Fred Starr; Deborah Bachelder; David Pasic; Tyler Burhenn; Luke Bolinger; Patrick Hammer; Darren Champion

---

Town staff has reviewed the resubmittal of the PUDA-01151-2020 Erie Highlands PUD Amendment No. 3 application for conformance with Municipal Code, Title 10 at the November 5, 2020 Development Review Team meeting. A list of the Town staff that have commented and referral agencies that have responded are listed below. Referral comments received by the Town after the date of this memo shall be forwarded on to the applicant.

The next step for the application is revision and resubmittal for another referral and Development Review Team review before the scheduling of public hearings for the applications can be determined. Please make the appropriate revisions to the application materials and provide written response to address each written comment from the Town staff and referral agencies.

Note: Generally, staff recommends that the rezoning and PUD Amendment be moved forward to hearing prior to the Preliminary Plat. Staff has found that this sequence creates more clarity in the process as the decision on the rezoning/PUDA create the standards that are the basis for the Preliminary Plat.

Digital Copies:

- 1 Digital Copy of written response and all resubmittal documents. Digital copies will be distributed to the following referral agencies:
  1. Town of Erie – internally distributed to: Planning
  
- The following agencies provided comments that do not require a response:
  1. Plan West
  2. RTD

Planning Comments

**PUD AMENDMENT NO. 3**

1. Please refer to redlines for specific comments on the PUD document (**attached**).

## **NEIGHBORHOOD MEETING**

Staff acknowledges that the summary of the neighborhood meeting held on July 21, 2020 fulfills the requirements for a neighborhood meeting to be held before a Planning Commission hearing per Section 10.7.2.D. Please note that generally, the Board of Trustees has expressed concern about the effectiveness of gathering neighborhood input if a neighborhood meeting is held far in advance of a public hearing. Staff may recommend that an additional neighborhood meeting is held if the timing of the public hearing will significantly exceed six months after the neighborhood meeting.

## **INFORMATIONAL COMMENTS**

The following comments are informational in nature and do not require a response at this time:

1. **Review Process:** At the time that the PUDA and Rezoning are acceptable to staff, the items shall be placed on the next available Planning Commission meeting as a public hearing. Prior to the hearing, the applicant shall be responsible for providing all items requested by staff. After the PC hearing, a Board of Trustees hearing is required. If the BOT approves the items, the PUDA and Rezoning documents shall be recorded. Following an approval on the PUDA and Rezoning, the Preliminary Plat would follow on subsequent PC and BOT hearings. Staff has found that this sequence creates more clarity in the process as the decision on the rezoning/PUDA create the standards that are the basis for the Preliminary Plat.

The review process is a cumulative process and dependent on various criteria. We reserve the right to provide further comment(s) and request additional information. Please contact me at 303-926-2774 or [smoeller@erieco.gov](mailto:smoeller@erieco.gov) for further clarification. Staff is happy to schedule a virtual meeting to discuss the comments.

Sincerely,

Shannon Moeller, AICP  
Senior Planner

## **ATTACHMENTS:**

1. Redlines: Planning (PUDA)
2. Referral Comments: Plan West, RTD

# ERIE HIGHLANDS PUD ZONING MAP AMENDMENT NO. 3

A PART OF THE NORTHEAST QUARTER OF SECTION 20,  
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

305.126 ACRES  
PUDA-001151-2020

## DESIGN STANDARDS PA-10

1. Architectural Character
  - A. Design Standards
    - i. Elevations of a multi-family building visible from streets or common open space shall display a similar level of quality and architectural detailing. The majority of a building's architectural features and treatments shall be used on these visible elevations.
2. Architectural Variety
 

Architectural features shall comply with either A or B below:

  - A. Individual dwelling units may be differentiated within a building through 2 or more of the following methods:
    - Use of distinct color variation between individual units
    - Use of distinct variations in materials between individual units
    - Use of distinct variations in architectural style or features, such as a porch or similar feature between individual units
    - Use of distinct variations in roof form
    - A variation in the plane of the front facade to provide a minimum 3 foot variation between individual dwelling units
  - B. If individual units are not differentiated within a building then the facades of the entire building shall be articulated thru the incorporation of 2 or more of the following:
    - Balconies
    - Bay or box windows
    - Insets or other relief in the wall plane
    - Porches
    - Dormers
    - Variations in materials
    - Variations in roof forms
3. Garages
  - A. All garages shall face the alley.
4. Landscaping
  - A. Alleys
    - i. To break up the appearance of long expanses of garages, the use of planting area on either side of the alley where the alley intersects with a public street shall be employed.
    - ii. To screen headlights, the use of opaque planting materials at the ends of alleys, where visible to the public, shall be employed.
5. Orientation of Dwellings
  - A. Each residential lot shall be provided with lot frontage on a street, greencourt or pedestrian circulation system which provide access to a public street.

The intent of the previous staff comment was to ensure that alleys facing toward single-family homes on adjacent properties would be adequately screened from headlights. The wording "where visible to the public" is vague and does not clearly address how this applies to private single-family homes. Please remove "where visible to the public" from the wording or propose an alternate wording. Additionally, the proposed planting materials should be shown on the landscape plans to ensure adequate space is provided for the plant materials.

Add dashed lines delineating setbacks

Lot Lines should be BOLD to match Key

Label - D?

Label - C?

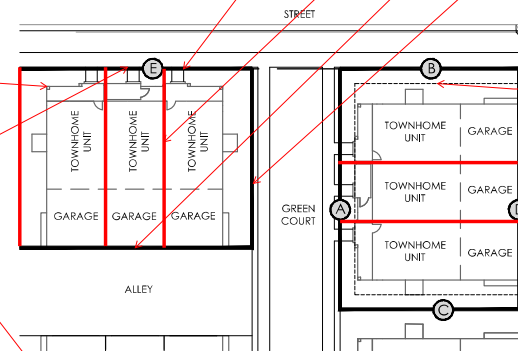
Street Side Setback (B) is listed as 15' which doesn't appear consistent with what is shown for the dashed lines. Please clarify or revise dashed lines.

Are there encroachments, porches and/or window wells in setbacks? Please clarify standards around these items.

Refer to Section 10.4.2 of the Erie UDC for encroachments that are generally allowed and any deviations need to be written into the PUD.

Please clarify how porches factor into the proposed front setbacks and right of way to structure requirements.

This side appears to be both a Street Front (E) and a Right of Way to Structure (10') setback. It's unclear that the 10' setback is met. Please label "Right of Way to Structure" in the chart (F?) and include in the diagram for clarity.



TOWNHOUSE DEFINITIONS KEY

Scale: NTS

- LOT LINES
- (A) FRONT
  - (B) STREET SIDE
  - (C) INTERIOR SIDE
  - (D) REAR
  - (E) STREET FRONT
- LOT LINE
- SETBACK BOUNDARY

DEVELOPMENT STANDARDS - PA10									
ZONE DISTRICT	MIN LOT WIDTH	MIN LOT NET AREA (SF)	(A) FRONT SETBACK	(B) STREET SIDE SETBACK	(C) INTERIOR SIDE SETBACK <sup>2</sup>	(D) REAR	(E) STREET FRONT	RIGHT OF WAY TO STRUCTURE	MAX. HEIGHT
MR	N/A	1,200	5'	15'	5'	0'	5'	10'	35'

- 1) Accessory Structures are not permitted.
- 2) Zero lot line setbacks shall be permitted for attached buildings provided that the building meets the zone district interior lot line setback on the side of the building that is not attached.

Refer to Section 10.4.2 of the Erie UDC for encroachments that are generally allowed and any deviations need to be written into the PUD, such as:

1. Please clarify if any encroachments shall be permitted into front and side setbacks, for example, for above-grade features including eaves and overhangs and the amount of the allowed encroachment if it is different than the UDC.
2. Please clarify if window wells shall be permitted in side setbacks beyond what is permitted in the UDC, the amount of the permitted encroachment and any requirement for window well covers (if applicable).
3. Clarify how porches relate to these setbacks if it is different than the UDC.





TO: Town of Erie  
Darren Champion

FROM: Plan West Inc.  
David Brehm – [dbrehm@planwest.com](mailto:dbrehm@planwest.com)  
Allison Hibbs – [ahibbs@planwest.com](mailto:ahibbs@planwest.com)

DATE: October 22, 2020

RE: Erie Highlands PUD Zoning Map Amendment  
Erie Highlands PA-10 Final Landscape Plans

Below are the Parks-related review comments:

**PUD Amendment dated Oct 6, 2020**

Reference Town of Erie UDC Chapter 6, 10.6.3 parks, Open Space, and Trails

- Plans and tabulations appear to be coordinated for consistency and clarity.
- No further comments

**Final Landscape Plans Dated, April 15, 2020**

- No further comments

---

Let me know if you have any questions or need additional information.

End of Comments

**From:** Clayton Woodruff <Clayton.Woodruff@RTD-Denver.com>  
**Sent:** Thursday, October 22, 2020 9:35 AM  
**To:** Development Referral <developmentreferral@erieco.gov>  
**Subject:** RE - PUD Erie Highlands Planning Area 10

Shannon

The RTD has no comment on this project

Thanks,



**C. Scott Woodruff**

**Engineer III**

Regional Transportation District  
1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202

o 303.299.2943 | m 303-720-2025

[clayton.woodruff@rtd-denver.com](mailto:clayton.woodruff@rtd-denver.com)

# ERIE HIGHLANDS PUD ZONING MAP AMENDMENT NO. 3

A PART OF THE NORTHEAST QUARTER OF SECTION 20,  
 TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

305.126 ACRES  
 PUDA-001151-2020

Please add the language below to clarify what sections of the code are being modified.

## DESIGN STANDARDS PA-10

The Standards presented here are intended to modify the following sections of the Unified Development Code:

1. Architectural Character - Section 10.6.7.F.1.d.ii.(A)
  - A. Design Standards
    - i. Elevations of a multi-family building visible from streets or common open space shall display a similar level of quality and architectural detailing. The majority of a building's architectural features and treatments shall be used on these visible elevations.
2. Architectural Variety - Section 10.6.7.F.1.e.ii.(B)(2)
  - A. Architectural features shall comply with either A or B below:
    - Use of distinct color variation between individual units
    - Use of distinct variations in materials between individual units
    - Use of distinct variations in architectural style or features, such as a porch or similar feature between individual units
    - Use of distinct variations in roof form
    - A variation in the plane of the front facade to provide a minimum 3 foot variation between individual dwelling units
  - B. If individual units are not differentiated within a building then the facades of the entire building shall be articulated thru the incorporation of 2 or more of the following:
    - Balconies
    - Bay or box windows
    - Insets or other relief in the wall plane
    - Porches
    - Dormers
    - Variations in materials
    - Variations in roof forms
3. Garages - Section 10.6.7.F.2.b
  - A. All garages shall face the alley.
4. Landscaping - Section 10.6.7.F.3
  - A. Alleys
    - i. To break up the appearance of long expanses of garages, the use of planting area on either side of the alley where the alley intersects with a public street shall be employed.
    - ii. To screen headlights, the use of opaque planting materials at the ends of alleys shall be employed as necessary.

Please confirm 2' will be adequate for planned window wells

As the UDC architectural standards require a minimum 12" roof overhang, staff recommends including this encroachment language which also allows the encroachments to be closer than 5' to the property line which is the closest permitted by the UDC.

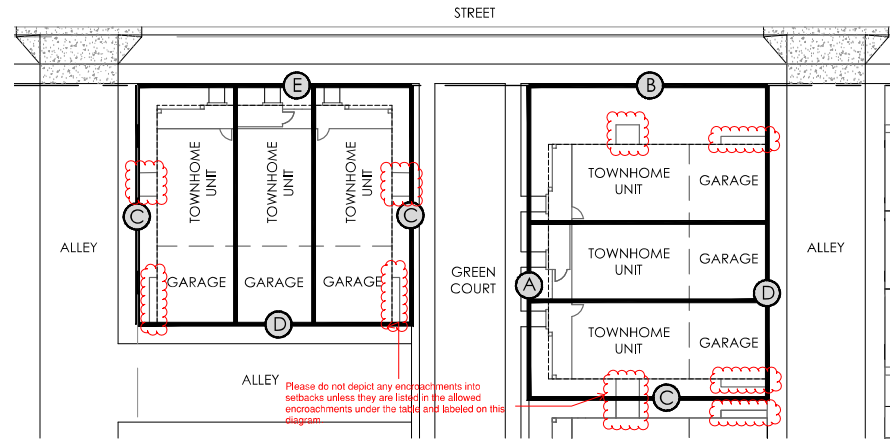
Please note that it is not permitted for rear garages at a 0' setback to have an eave overhang cross the property line into the alley. If garages are built at 0', no rear roof overhang would be permitted.

Please add superscripted #s as relevant:

3, 5      3, 4, 5      2, 3, 4, 5

DEVELOPMENT STANDARDS - PA10								
ZONE DISTRICT	MIN LOT WIDTH	MIN LOT NET AREA (SF)	(A) FRONT SETBACK	(B) STREET SIDE SETBACK	(C) INTERIOR SIDE SETBACK*	(D) REAR	(E) STREET FRONT	MAX. HEIGHT
MR	N/A	1,200	5'	15'	5'	0'	5'	35'

- 1) Accessory Structures are not permitted.
- 2) ~~Zero~~ Lot line setbacks shall be permitted for attached buildings provided that the building meets the zone district interior lot line setback on the side of the building that is not attached.
- 3) Covered porches may not encroach front or side setbacks.
- 4) Window wells may project not more than two (2) feet into side setback provided window wells are at least three (3) feet from side lot line.
- 5) Above grade eaves and roof overhangs may project up to two (2) feet into front and side setbacks provided they are at least three (3) feet from the property line.



### TOWNHOUSE DEFINITIONS KEY

Scale: NTS

- LOT LINES
- (A) FRONT
- (B) STREET SIDE
- (C) INTERIOR SIDE
- (D) REAR
- (E) STREET FRONT
- LOT LINE
- SETBACK BOUNDARY

PROJECT NAME

ERIE HIGHLANDS  
 PUD ZONING MAP AMENDMENT NO. 3  
 TOWN OF ERIE, COLORADO

SHEET TITLE

PUD  
 NOTES/EXHIBITS

SHEET NUMBER

5

SHEET 5 OF 5

February 16, 2021