



TOWN OF ERIE
Community Development Department – Planning Division
645 Holbrook Street – PO Box 750 – Erie, CO 80516
Tel: 303.926.2770 – Fax: 303.926.2706 – Web: www.erieco.gov

LAND USE APPLICATION

Please fill in this form completely. Incomplete applications will not be processed.

STAFF USE ONLY

Form fields for STAFF USE ONLY: FILE NAME, FILE NO, DATE SUBMITTED, FEES PAID

PROJECT/BUSINESS NAME: Longs Peak Sprinkler
PROJECT ADDRESS: Lot 8 Austin Industrial Park
PROJECT DESCRIPTION: 4-Unit 6912 Sq Ft Metal Building W/5512 Sq Ft of Outdoor Storage

LEGAL DESCRIPTION (attach legal description if Metes & Bounds)

Subdivision Name: Austin Industrial Park
Filing #: Lot #: 8 Block #: Section: 19 Township: 1N Range: 68W

OWNER (attach separate sheets if multiple) AUTHORIZED REPRESENTATIVE
Name/Company: Mike Amend Company/Firm: Permontes Group
Contact Person: Mike Amend Contact Person: Mickey Leyba
Address: 408 E. Geneseo Street Address: 625 Main Street
City/State/Zip: Lafayette, CO 80026 City/State/Zip: Longmont, CO 80501
Phone: 303-665-1010 Fax: 303-666-1200 Phone: 720-684-4981 Fax: 866-471-7369
E-mail: longspeaksprinklers@comcast.net E-mail: mleyba@permontesgroup.com

MINERAL RIGHTS OWNER (attach separate sheets if multiple) MINERAL LEASE HOLDER (attach separate sheets if multiple)
Name/Company: Name/Company:
Address: Address:
City/State/Zip: City/State/Zip:

LAND-USE & SUMMARY INFORMATION

Present Zoning: Light Industrial (LI) Gross Site Density (du/ac):
Proposed Zoning: # Lots/Units Proposed:
Gross Acreage: 42,200 SF Gross Floor Area: 6912 SF

SERVICE PROVIDERS

Electric: XCEL Energy Gas: XCEL Energy
Metro District: N/A Fire District: Mountain View Fire Rescue
Water (if other than Town): Sewer (if other than Town):

PAGE TWO MUST BE SIGNED AND NOTARIZED

DEVELOPMENT REVIEW FEES			
ANNEXATION		SUBDIVISION	
<input type="checkbox"/> Major (10+ acres)	\$ 4000.00	<input type="checkbox"/> Sketch Plan	\$ 1000.00 + 10.00 per lot
<input type="checkbox"/> Minor (less than 10 acres)	\$ 2000.00	<input type="checkbox"/> Preliminary Plat	\$ 2000.00 + 40.00 per lot
<input type="checkbox"/> Deannexation	\$ 1000.00	<input type="checkbox"/> Final Plat	\$ 2000.00 + 20.00 per lot
COMPREHENSIVE PLAN AMENDMENT		<input type="checkbox"/> Minor Subdivision Plat	\$ 2000.00
<input type="checkbox"/> Major	\$ 3000.00	<input type="checkbox"/> Minor Amendment Plat	\$ 1000.00 + 10.00 per lot
<input type="checkbox"/> Minor	\$ 1200.00	<input type="checkbox"/> Road Vacation (constructed)	\$ 1000.00
ZONING/REZONING		<input type="checkbox"/> Road Vacation (paper)	\$ 100.00
<input type="checkbox"/> Rezoning	\$ 1700.00 + 10.00 per acre	SITE PLAN	
<input type="checkbox"/> PUD Rezoning	\$ 1700.00 + 10.00 per acre	<input type="checkbox"/> Residential	\$ 1400.00 + 10.00 per unit
<input type="checkbox"/> PUD Amendment	\$ 1700.00 + 10.00 per acre	<input type="checkbox"/> Non-Resi. (>10,000 sq. ft.)	\$ 2200.00
<input type="checkbox"/> Major PD Amendment	\$ 3700.00 + 10.00 per acre	<input checked="" type="checkbox"/> Non-Resi. (>2,000 sq. ft.)	\$ 1000.00
<input type="checkbox"/> Minor PD Amendment	\$ 500.00	<input type="checkbox"/> Non-Resi. (<2,000 sq. ft.)	\$ 200.00
SPECIAL REVIEW USE		<input type="checkbox"/> Amendment (major)	\$ 1100.00
<input type="checkbox"/> Major	\$ 1000.00	<input type="checkbox"/> Amendment (minor)	\$ 350.00
<input checked="" type="checkbox"/> Minor	\$ 400.00	VARIANCE \$ 600.00	
<input type="checkbox"/> Oil & Gas	\$ 1200.00	SERVICE PLAN \$ 10,000.00	
All fees include both Town of Erie Planning & Engineering review. These fees do not include referral agency review fees, outside consultant review fees, or review fees incurred by consultants acting on behalf of staff. See Town of Erie Municipal Code, Title 2-10-5 for all COMMUNITY DEVELOPMENT FEES.			

The undersigned is fully aware of the request/proposal being made and the actions being initiated on the referenced property. The undersigned understand that the application must be found to be complete by the Town of Erie before the request can officially be accepted and the development review process initiated. The undersigned is aware that the applicant is fully responsible for all reasonable costs associated with the review of the application/request being made to the Town of Erie. Pursuant to Chapter 7 (Section 7.2.B.5) of the Unified Development Code (UDC) of the Town of Erie, applicants shall pay all costs billed by the Town for legal, engineering and planning costs incurred by staff, including consultants acting on behalf of staff, necessary for project review. By this acknowledgement, the undersigned hereby certify that the above information is true and correct.

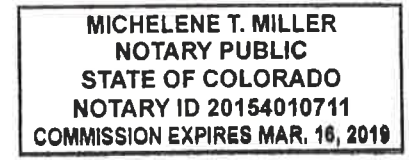
Owner: Michael T. Amend Date: 5/3/16
 Owner: _____ Date: _____
 Applicant: Michael T. Amend Date: _____

STATE OF COLORADO)
 County of Boulder) ss.

The foregoing instrument was acknowledged before me this 3rd day of May, 2016, by Michael T. Amend.

My commission expires: 3-16-19
 Witness my hand and official seal.

Micheline T. Miller
 Notary Public





SITE PLAN AND SPECIAL REVIEW USE SITE PLAN

460 Jones Court, Erie CO

Lot 8 Austin Industrial Park

PROJECT NARRATIVE

a. General project concept and purpose of the request:

The proposed building will serve as an office/warehouse and takes advantage of the inherent utility and economies that a pre-engineered steel building offers. The building is located within a light industrial development comprised of buildings of similar type and appearance. The building will be comprised of 4-units in which unit 4 will be finished at the time of construction and occupied by the property owner's Longs Peak Sprinkler business. A 5,512 SF outdoor storage area adjacent to the south property line is also proposed for the use of Longs Peak Sprinkler. The additional three units will remain unfinished until leases are secured.

b. Discuss how the proposed development is in compliance with the five approval criteria of the Municipal Code Title 10 - UDC for Site Plan review and Special Use Review

Site Plan Review – Compliance with the approval Criteria of the Municipal Code Title 10

a. The Site Plan is generally consistent with the Town's Comprehensive Master Plan;

The proposed development for Lot 8 Austin Industrial Park is consistent with the Town's Comprehensive Master Plan. The building promotes a high standard of design which will provide opportunities for quality business and employment.

b. The Site Plan is generally consistent with any previously approved subdivision plat, planned development, or any other precedent plan or land use approval as applicable;

The Longs Peak Sprinkler Site Plan is consistent with Austin Industrial Park Final Plat.

c. The Site Plan complies with all applicable development and design standards set forth in this UDC, including but not limited to the provisions in Chapter 2, Chapter 3, Chapter 4, and Chapter 6;

Longs Peak Sprinkler complies with the development and design standards set forth in the UDC for the Light Industrial zoning district.

- d. Any significant adverse impacts reasonably anticipated to result from the use will be mitigated or offset to the maximum extent reasonably practicable; and**

There will be no significant adverse impacts caused by the proposed development.

- e. The development proposed on the Site Plan and its general location is or will be compatible with the character of surrounding land uses.**

The Longs Peak Sprinkler Site Plan proposes a Light Industrial development that is compatible with the surrounding land uses. The 4-unit building will be occupied by the Land Owner's Landscape and irrigation company. The three additional units will remain unfinished until future leases are secured.

Special Review Use – Compliance with the approval Criteria of the Municipal Code Title 10

- a. The proposed use is generally consistent with the Town's Comprehensive Master Plan and all applicable provisions of this UDC and applicable State and Federal regulations;**

The proposed development for Lot 8 Austin Industrial Park is consistent with the Town's Comprehensive Master Plan. The building promotes a high standard of design which will provide opportunities for quality business and employment.

- b. The proposed use is generally consistent with the purpose and intent of the zoning district in which it is located;**

The 4-unit office/warehouse building is consistent with the purpose and intent of the Light Industrial Zoning district.

- c. The proposed use is generally consistent with any applicable use-specific standards set forth in Section 3.2;**

The office/warehouse building is consistent with the Town's use-specific standards.

- d. The proposed use is compatible with adjacent uses in terms of scale, site design, and operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts);**

The building is located within a light industrial development comprised of buildings of similar type and appearance. The proposed building is set to the interior of the development away from residential areas.

- e. Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent reasonably practicable;**

No significant adverse impacts on the natural environment are anticipated with development.

- f. Facilities and services (including sewage and waste disposal, water, gas, election, police and fire protection, and streets and transportation, as applicable) will be available to serve the subject property while maintaining adequate levels of service for existing development;**

Water and sanitary sewer services were stubbed to the property line with the overall development of Austin Industrial Park. Gas and electric is located within easements adjacent to the Jones Court right-of-way.

- g. Adequate assurances of continuing maintenance have been provided; and**

The property owner shall provide the overall maintenance for the building and site common space such as landscape areas, sidewalks, parking, drainage facilities, and parking/drive isles.

- h. Any significant adverse impacts on the natural environment will be mitigated to the maximum extent reasonably practicable.**

No significant adverse impacts on the natural environment are anticipated with development.

- c. Architecture provides visual interest consistent with community's identity, character and scale:**

The proposed building will serve as an office/warehouse and takes advantage of the inherent utility and economies that a pre-engineered steel building offers. The building is located within a light industrial development comprised of buildings of similar type and appearance. The proposed building is set to the interior of the development away from residential areas. The mass and form of the building is long and low, yielding a pleasing human scale, while maximizing the usefulness of the limited site area. Stone columns, entry canopies, and entrance patios will break up the elevations visible from the street. Earth tone colors allow the building to blend in to the generous landscaping planned for the site. The color and texture mix will provide a pleasing, warm, and welcoming feel to the pedestrian and others who approach. There will be shadow lines and visual relief provided by the projected columns and roof eave line. Overall, the proposed building along with the associated site improvements will complement and be consistent with the surrounding established community.

- d. Development schedule:**

Development shall consist of construction once final approvals of the Site Plan/Special Review Use Site plan and building permit plans are received from the town of Erie. Four (4) month duration is estimated for final completion of all site work and building construction. Construction is expected to begin fall of 2016 with an anticipated building occupancy prior to 2017.

- e. General business information:**

The 4-unit office/warehouse building will initially be occupied by Longs Peak Sprinkler. The additional 3 units will be tenant finished upon leasing. General business information for Longs Peak Sprinkle is as follows;

- Total building square footage is 5,912 SF
- Longs Peak Sprinkler will occupy Unit 4 which is 2,208 SF
- Units 2-4 will be each 1,568 SF and will be tenant finished upon leasing
- Longs Peak Sprinkler provides landscaping installation and maintenance as well as snow removal
- 6 employees may be on-site at any given time
- Business hours are typically 7:30am to 5:30 pm Monday through Friday
- Total project value is \$525K

f. Controls (location, function, and maintenance):

The property owner shall provide the overall maintenance for the building and site common space such as landscape areas, sidewalks, parking, drainage facilities, and parking/drive isles.

g. Substance of any existing or proposed covenants, special conditions, grand of easements, or other restrictions:

The Declaration of Protective Covenants for Austin Industrial Park Subdivision shall apply with the development of Lot 8. No additional covenants, grant of easements, of restrictions are proposed.

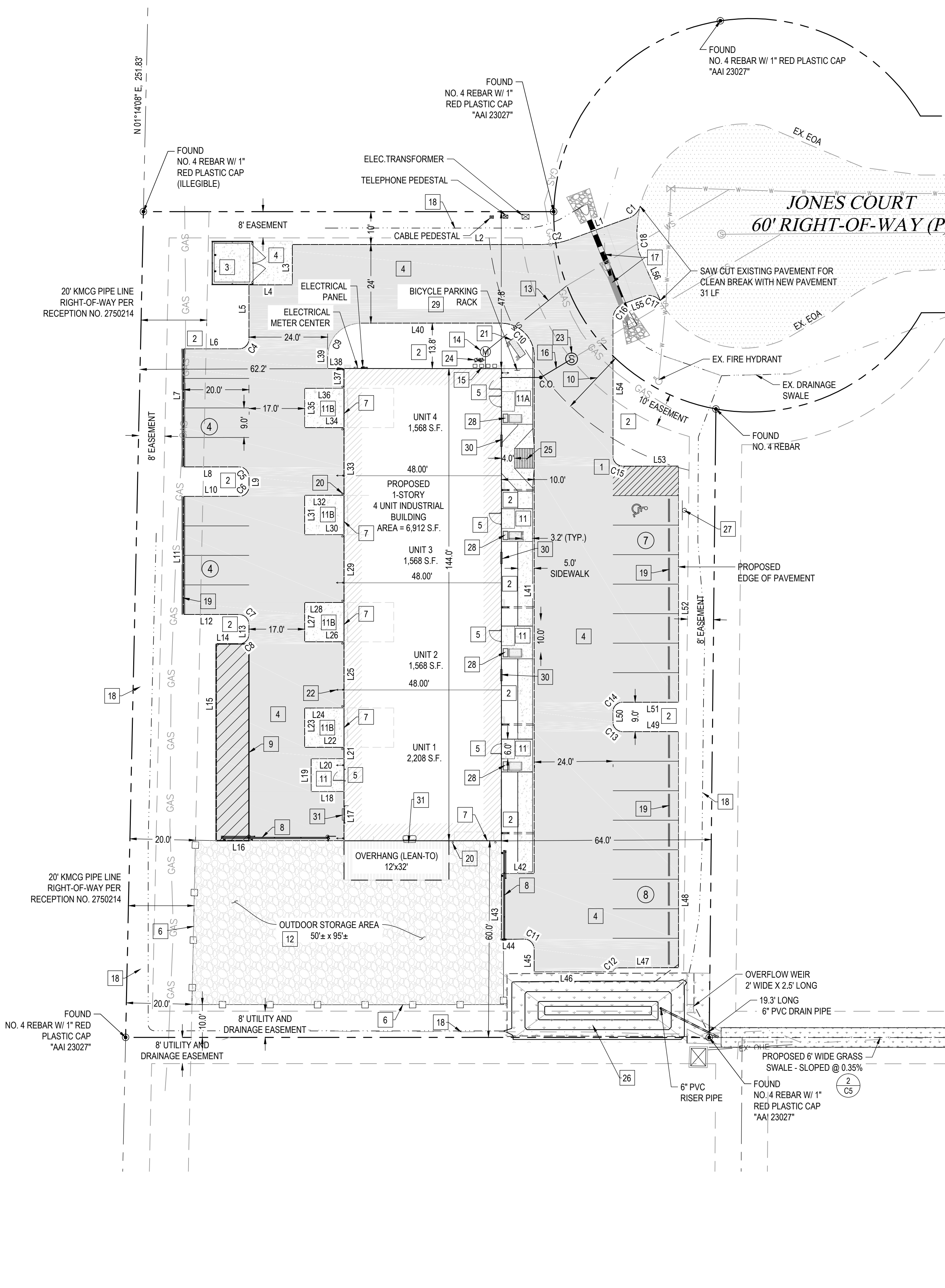
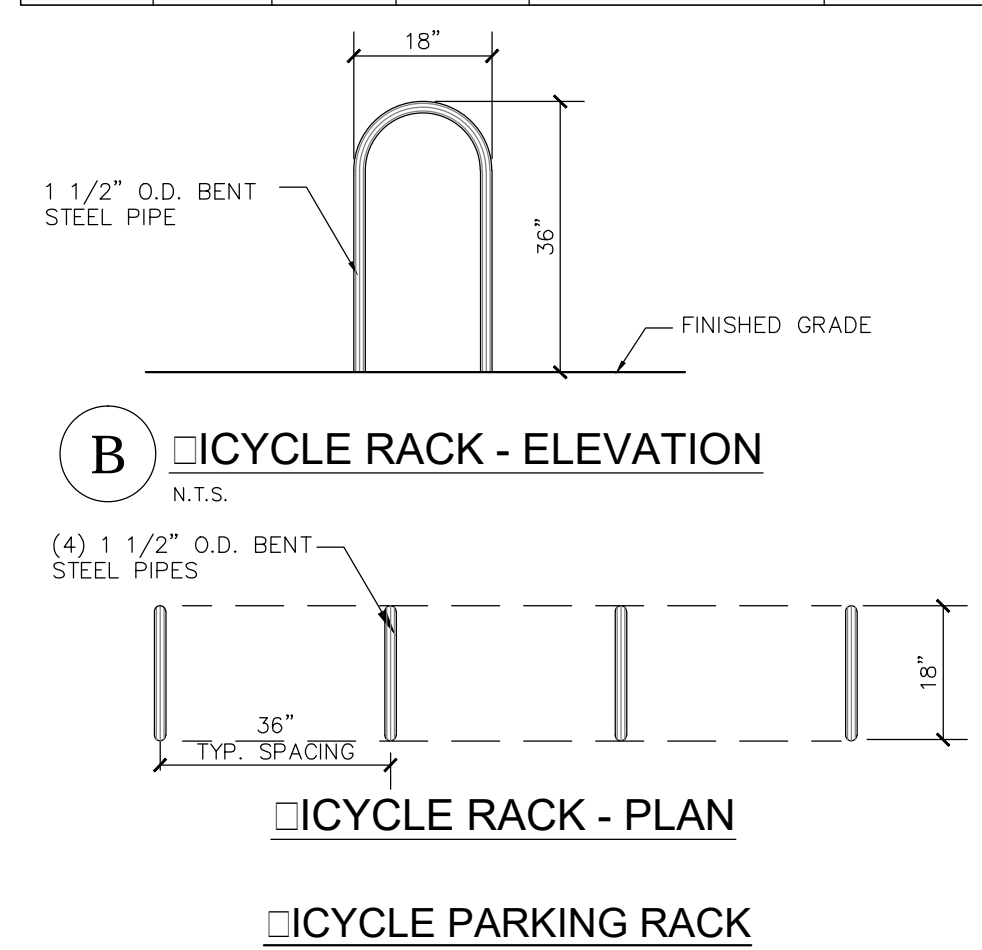
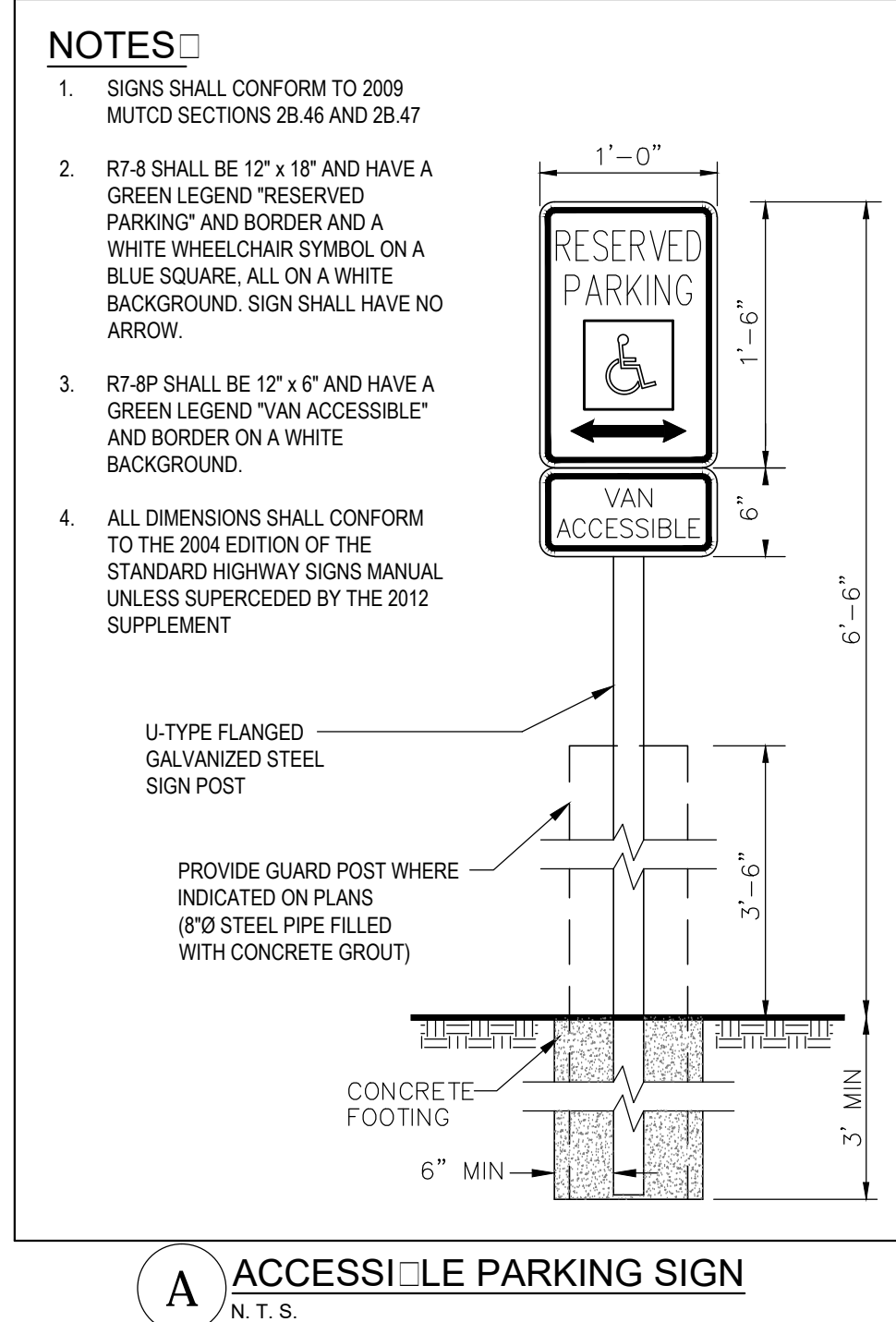
DRAWING FILE: S:\PROJECTS\197.001 LONGS PEAK SPRINKLER\3. ENGINEERING\DRAWINGS\197.001 SITE PLAN.DWG
 PLOT DATE: 1/9/2017 2:59 PM BY: STEPHEN WILLIAMS CTB: PC_2015_MONO.CTB

LOT 8, AUSTIN INDUSTRIAL PARK
 LONGS PEAK SPRINKLER, 460 JONES COURT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
 0.97± ACRES
 SITE PLAN - SP-000775-2016
 SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES
 SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016

LINE #	LENGTH	DIRECTION	START POINT (N,E)	END POINT (N,E)
L1	19.43	N70°01'07"E	(1254689.07, 3126334.36)	(1254695.71, 3126352.62)
L2	75.96	S89°59'35"E	(1254687.58, 3126249.85)	(1254687.57, 3126325.81)
L3	12.30	N00°00'25"E	(1254675.28, 3126249.85)	(1254687.58, 3126249.85)
L4	13.25	N89°59'35"W	(1254675.28, 3126249.85)	(1254675.28, 3126236.60)
L5	16.54	N00°00'25"E	(1254658.74, 3126236.59)	(1254675.28, 3126236.60)
L6	17.00	S89°59'35"E	(1254655.74, 3126216.59)	(1254655.74, 3126233.59)
L7	36.00	N00°00'25"E	(1254619.74, 3126216.59)	(1254655.74, 3126216.59)
L8	17.00	N89°59'35"W	(1254619.74, 3126233.59)	(1254619.74, 3126216.59)
L9	3.00	N00°00'25"E	(1254613.74, 3126236.59)	(1254616.74, 3126236.59)
L10	17.00	S89°59'35"E	(1254610.74, 3126216.59)	(1254610.74, 3126233.59)
L11	36.00	N00°00'25"E	(1254574.74, 3126216.59)	(1254610.74, 3126216.59)
L12	17.00	N89°59'35"W	(1254574.74, 3126233.58)	(1254574.74, 3126216.58)
L13	3.00	N00°00'25"E	(1254568.74, 3126236.58)	(1254574.74, 3126236.58)
L14	7.00	S89°59'35"E	(1254565.74, 3126226.58)	(1254565.74, 3126233.58)
L15	60.00	N00°00'25"E	(1254505.74, 3126226.58)	(1254565.74, 3126226.58)
L16	39.00	N89°59'35"W	(1254505.74, 3126265.58)	(1254505.74, 3126226.58)
L17	15.00	S00°00'25"W	(1254520.74, 3126265.58)	(1254505.74, 3126265.58)
L18	10.00	S89°59'35"E	(1254520.74, 3126265.58)	(1254520.74, 3126265.58)
L19	10.00	S00°00'25"W	(1254530.74, 3126255.58)	(1254520.74, 3126255.58)
L20	10.00	N89°59'35"W	(1254530.74, 3126265.58)	(1254530.74, 3126255.58)
L21	3.49	S00°00'25"W	(1254534.23, 3126265.58)	(1254530.74, 3126265.58)
L22	12.00	S89°59'35"E	(1254534.23, 3126265.58)	(1254534.23, 3126265.58)
L23	12.00	S00°00'25"W	(1254546.23, 3126253.58)	(1254534.23, 3126253.58)
L24	12.00	N89°59'35"W	(1254546.23, 3126265.58)	(1254546.23, 3126253.58)
L25	20.16	S00°00'25"W	(1254566.40, 3126265.58)	(1254546.23, 3126265.58)
L26	12.00	S89°59'35"E	(1254566.40, 3126265.58)	(1254566.40, 3126265.58)
L27	12.00	S00°00'25"W	(1254578.40, 3126253.59)	(1254566.40, 3126253.58)
L28	12.00	N89°59'34"W	(1254578.40, 3126265.59)	(1254578.40, 3126253.59)
L29	20.67	S00°00'20"W	(1254599.06, 3126265.59)	(1254578.40, 3126265.59)
L30	12.00	S89°59'35"E	(1254599.07, 3126253.59)	(1254599.06, 3126265.59)

LINE #	LENGTH	DIRECTION	START POINT (N,E)	END POINT (N,E)
L31	12.00	S00°00'25"W	(1254611.07, 3126253.59)	(1254599.07, 3126253.59)
L32	12.00	N89°59'35"W	(1254611.06, 3126265.59)	(1254611.07, 3126253.59)
L33	20.67	S00°00'25"W	(1254631.73, 3126265.59)	(1254611.06, 3126265.59)
L34	12.00	S89°59'35"E	(1254631.73, 3126253.59)	(1254631.73, 3126265.59)
L35	12.00	S00°00'25"W	(1254643.73, 3126253.59)	(1254631.73, 3126253.59)
L36	12.00	N89°59'35"W	(1254643.73, 3126265.59)	(1254643.73, 3126253.59)
L37	6.01	N00°00'43"E	(1254643.73, 3126265.59)	(1254649.74, 3126265.59)
L38	5.00	S89°59'33"E	(1254649.74, 3126260.59)	(1254649.74, 3126265.59)
L39	3.84	S00°00'25"W	(1254653.58, 3126260.59)	(1254649.74, 3126260.59)
L40	43.00	N89°59'35"W	(1254663.57, 3126313.60)	(1254663.57, 3126270.60)
L41	154.00	N00°00'25"E	(1254495.73, 3126323.58)	(1254649.73, 3126323.59)
L42	10.00	N90°00'00"E	(1254495.73, 3126313.58)	(1254495.73, 3126323.58)
L43	20.04	N00°00'25"E	(1254475.69, 3126313.57)	(1254495.73, 3126313.58)
L44	7.00	S89°39'25"W	(1254475.73, 3126320.57)	(1254475.69, 3126313.57)
L45	7.00	N00°00'25"E	(1254465.73, 3126323.57)	(1254472.73, 3126323.57)
L46	24.00	N89°59'35"W	(1254465.73, 3126347.57)	(1254465.73, 3126323.57)
L47	18.50	N89°59'37"W	(1254466.99, 3126367.57)	(1254466.99, 3126349.07)
L48	72.00	S00°00'25"W	(1254538.99, 3126367.58)	(1254466.99, 3126367.57)
L49	17.00	S89°59'35"E	(1254538.99, 3126350.58)	(1254538.99, 3126367.58)
L50	3.00	S00°00'25"W	(1254544.99, 3126347.58)	(1254544.99, 3126347.58)
L51	17.00	N89°59'35"W	(1254547.99, 3126367.58)	(1254544.99, 3126350.58)
L52	72.00	S00°00'25"W	(1254619.99, 3126367.59)	(1254547.99, 3126367.58)
L53	17.00	S89°59'35"E	(1254619.99, 3126350.59)	(1254619.99, 3126367.59)
L54	41.78	S00°00'19"W	(1254664.85, 3126347.60)	(1254623.07, 3126347.60)
L55	6.16	S70°03'08"W	(1254671.65, 3126356.68)	(1254669.55, 3126350.89)
L56	16.71	S23°59'12"E	(1254685.51, 3126355.42)	(1254670.23, 3126362.17)

CURVE #	RADIUS	LENGTH	DELTA	STARTING POINT (N,E)	END POINT (N,E)
C1	5.58	4.99	51°13'32"	(1254695.71, 3126352.62)	(1254699.25, 3126355.91)
C2	25.00	8.72	19°59'18"	(1254687.57, 3126325.81)	(1254689.07, 3126334.36)
C4	3.00	4.71	90°00'00"	(1254655.74, 3126233.59)	(1254658.74, 3126236.59)
C5	3.00	4.71	90°00'00"	(1254616.74, 3126236.59)	(1254619.74, 3126233.59)
C6	3.00	4.71	90°00'00"	(1254610.74, 3126233.59)	(1254613.74, 3126236.59)
C7	3.00	4.71	90°00'00"	(1254571.74, 3126236.58)	(1254574.74, 3126233.58)
C8	3.00	4.71	90°00'00"	(1254565.74, 3126233.58)	(1254568.74, 3126236.58)
C9	10.00	15.71	90°00'00"	(1254663.57, 3126270.60)	(1254653.58, 3126260.59)
C10	10.00	15.71	90°00'00"	(1254663.57, 3126323.59)	(1254663.57, 3126313.60)
C11	3.00	4.71	90°00'00"	(1254472.73, 3126323.57)	(1254475.73, 3126320.57)
C12	1.55	2.12	78°42'24"	(1254466.99, 3126349.07)	(1254465.73, 3126347.57)
C13	3.00	4.71	90°00'00"	(1254541.99, 3126347.58)	(1254538.99, 3126350.58)
C14	3.00	4.71	90°00'00"	(1254547.99, 3126350.58)	(1254544.99, 3126347.58)
C15	3.00	4.71	89°59'37"	(1254622.99, 3126347.59)	(1254619.99, 3126350.59)
C16	5.00	6.11	70°02'44"	(1254669.55, 3126350.89)	(1254664.85, 3126347.60)
C17	4.54	6.12	77°15'05"	(1254670.23, 3126362.17)	(1254671.65, 3126356.68)
C18	33.13	13.84	23°59'19"	(1254699.25, 3126355.91)	(1254685.51, 3126355.42)



- SITE NOTES**
- PROPERTY IS ZONED "LIGHT INDUSTRIAL" (LI).
 - THERE ARE NO MAJOR DRAINAGE WAYS AFFECTING THE SITE.
 - THE SITE DOES NOT LIE WITHIN 100-YR FLOODPLAIN.
 - OWNER/CONTRACTOR MUST OBTAIN PERMITS FROM THE COLORADO DEPT. OF HEALTH, WATER QUALITY CONTROL DIVISION PERMIT ENFORCEMENT SECTION, AND THE TOWN OF ERIE PRIOR TO CLEARING, GRADING, OR EXCAVATION.
 - TREE PRESERVATION METHODS SHALL INCLUDE THOSE LISTED IN THE UNIFIED DEVELOPMENT CODE - SECTION 106.4 - E AS APPLICABLE.

PARKING BREAKDOWN

REQUIRED:	23 OPEN SPACES
PROVIDED:	22 OPEN SPACES 1 ACCESSIBLE SPACES 23 TOTAL SPACES

LOADING BERTH

REQUIRED:	1 OPEN SPACE
PROVIDED:	1 OPEN SPACE

- SITE PLAN FLAG NOTES**
- VAN-ACCESSIBLE HANDICAP PARKING WITH SIGNS
 - LANDSCAPE ISLAND
 - ENCLOSED DUMPSTER W/ 12' SWING GATE & CONCRETE PAD
 - PAVEMENT SECTION TO BE A FLEXIBLE ASPHALT SECTION OR RIGID CONCRETE SECTION AS RECOMMENDED IN THE "GEOTECHNICAL ENGINEERING STUDY AND PAVEMENT THICKNESS DESIGN PROPOSED AUSTIN INDUSTRIAL PARK BUILDING 460 JONES COURT ERIE, CO." PREPARED BY KUMAR & ASSOCIATES, INC., DATED JUNE 24, 2016.
 - ACCESS MAN DOOR (TYP.)
 - PERIMETER FENCING
 - 12' X 16' OVERHEAD SLIDING DOOR
 - 14' SWING GATE
 - 10' X 60' LOADING BERTH
 - 20' BUILDING SETBACK
 - 10'X10' CONCRETE PAD
 - 15'X10' CONCRETE PAD
 - 12'X10' CONCRETE PAD
 - OUTDOOR STORAGE AREA TO BE RECYCLED ASPHALT OR RECYCLED CONCRETE
 - 1" WATER SERVICE
 - 1" WATER METER
 - NATURAL GAS SERVICE METERS
 - 4" SANITARY SEWER SERVICE
 - 15" RCP STORM PIPE W/ FES TO BE REMOVED & REPLACED
 - DRAINAGE SWALE
 - PARKING ASPHALT CURB STOP
 - BOLLARDS LOCATED ON EACH END OF OVERHEAD DOORS (10 TOTAL)
 - FLAGSTONE MONUMENT SIGN (APPROXIMATELY 4x6)
 - ROOF DRAINS (10 TOTAL)
 - FLOW METER/ SAMPLING STATION
 - REDUCED PRESSURE ASSEMBLY
 - CURB RAMP TYPE 1 DETAIL SW5
 - WATER QUALITY POND
 - ACCESSIBLE PARKING SIGN
 - PLANTER BOX AND SITTING BENCH
 - BICYCLE PARKING RACK
 - APPROXIMATE LOCATION OF FUTURE ACHEATER LOCATION (3'-6" WIDE X 15' HIGH) (1' - 10 1/2" FROM GROUND)
 - ACHEATER LOCATION

PERMONTESGROUP
 625 Main Street
 Longmont, CO 80501
 T: (720) 684-4981
 F: (866) 563-9212
 www.permontesgroup.com

MIKE AMEND
SITE PLAN
 LOT 8, AUSTIN INDUSTRIAL PARK
 460 JONES COURT, ERIE, CO

DESIGNED BY: ML
 DRAWN BY: SDW
 CHECKED BY: ML
 APPROVED BY: JHP

PROJECT NO.: 197.001
 DATE: 05.10.2016
 SCALE: AS SHOWN

SHEET NO. **C2**
 SHEET 2 OF 10

SCALE: 1" = 20'

THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION

COMMUNITY DEVELOPMENT - TOWN OF ERIE
 TOWN REVIEW COMMENTS
 11-2-16
 07-28-16
 DATE
 REVISION
 LOCK

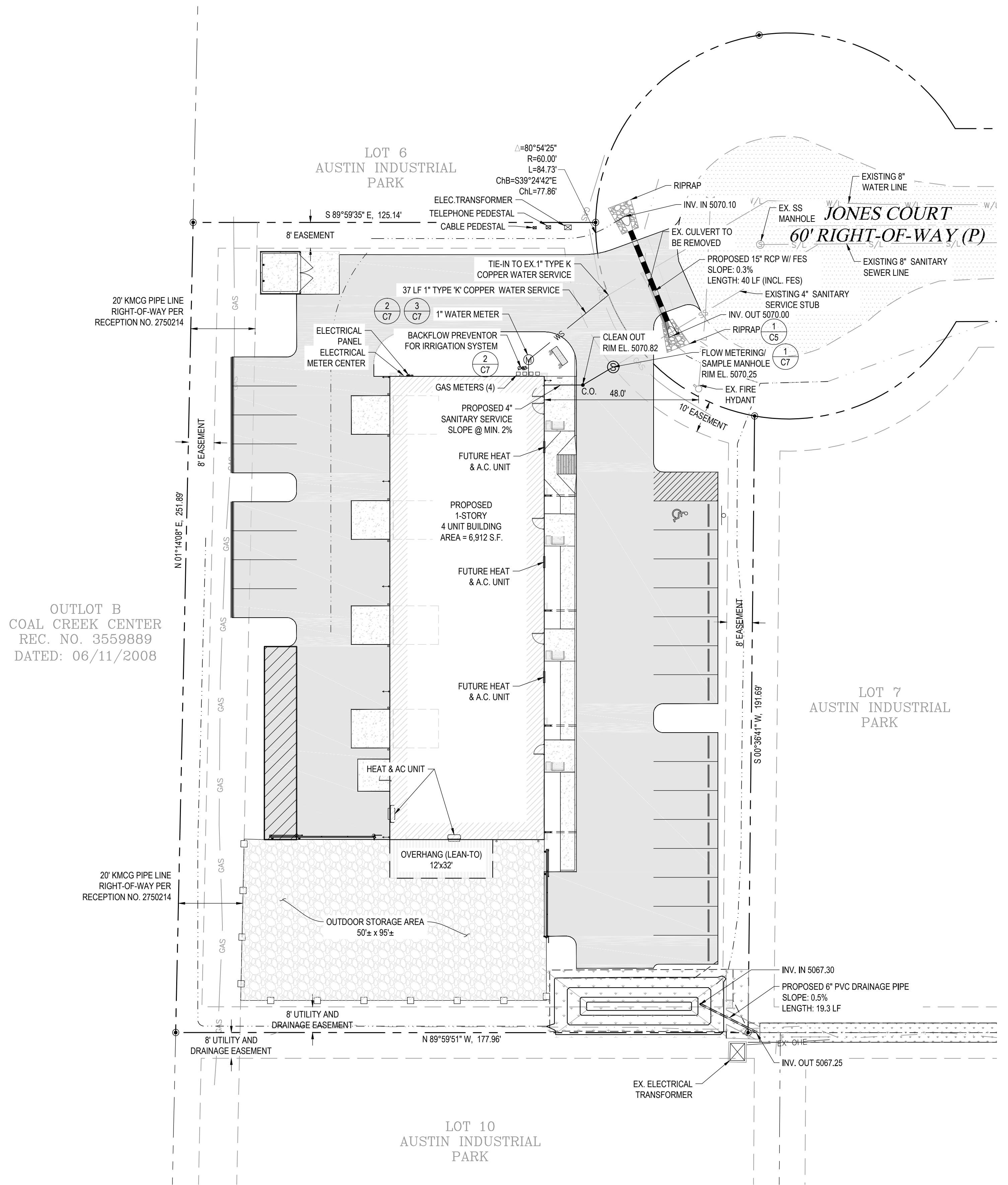
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 UNIVERSITY OF COLORADO
 811
 Know what's below.
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PREPARED FOR: MIKE AMEND
 SHEET TITLE: SITE PLAN

DRAWING FILE: S:\PROJECTS\197.001 LONGS PEAK SPRINKLER\3. ENGINEERING\DRAWINGS\197.001 UTILITY PLANDWG PLOT DATE: 1/9/2017 2:48 PM BY: STEPHEN WILLIAMS CTB: PC_2015_MONO.CTB

LOT 8, AUSTIN INDUSTRIAL PARK

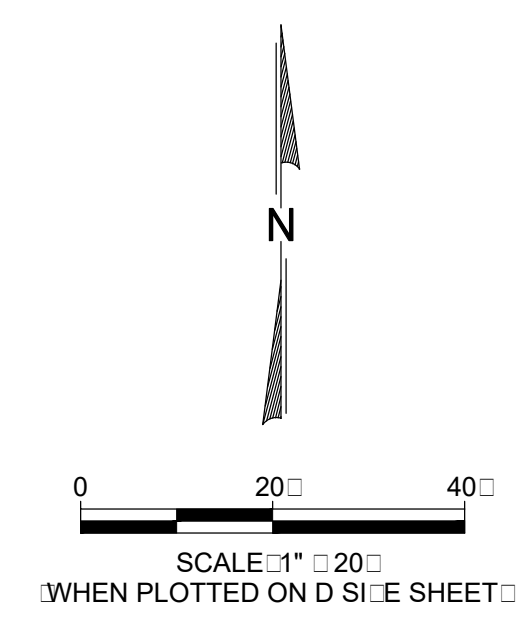
LONGS PEAK SPRINKLER, 460 JONES COURT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
 0.97± ACRES
 SITE PLAN - SP-000775-2016
 SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES
 SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016



GENERAL NOTES

- CONTRACTOR SHALL CONFIRM ALL EXISTING UTILITIES LOCATIONS AND INFORM PERMONTES GROUP, INC. OF ANY CONFLICTS A MINIMUM OF 5 DAYS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE PER TOWN OF ERIE STANDARDS & SPECIFICATIONS, LATEST EDITION.
- THE BUILDING LIGHTING SHALL BE AIMED AT THE BUILDING SO THAT LIGHT DOES NOT DRIFT OFF THE SITE.
- CONTRACTOR TO COORDINATE DRY UTILITIES WITH APPROPRIATE AGENCIES.
- CONTRACTOR SHALL PROVIDE NECESSARY MEASURES TO ADEQUATELY PROTECT THE EXISTING GAS MAINS AND OTHER UTILITIES DURING ALL SITE CONSTRUCTION ACTIVITIES.

OUTLOT B
 COAL CREEK CENTER
 REC. NO. 3559889
 DATED: 06/11/2008



THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION

REV.	DATE	DESCRIPTION
1	07/28/16	TOWN REVIEW COMMENTS
2	11/2/16	COMMUNITY DEVELOPMENT - TOWN OF ERIE

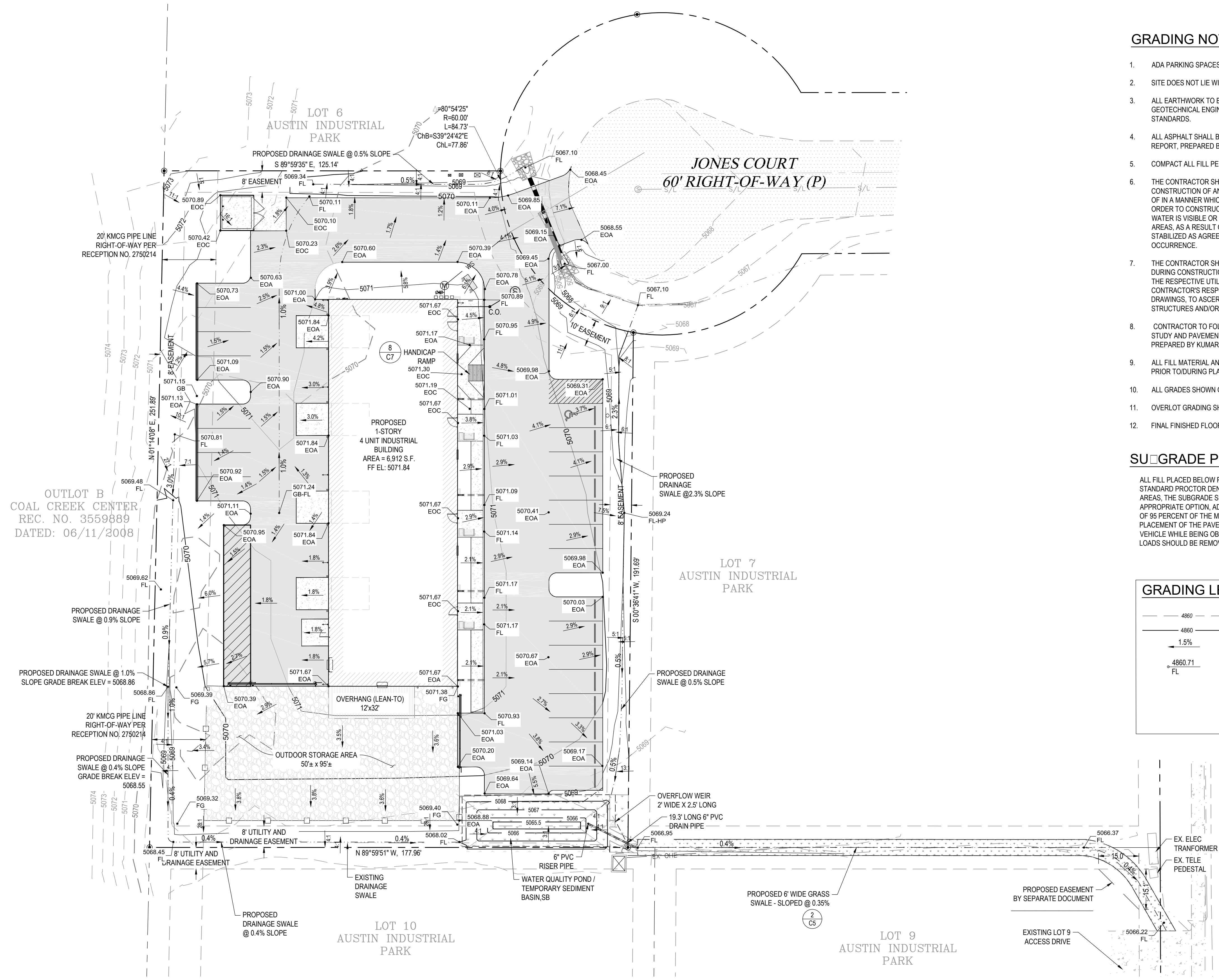


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 www.permontesgroup.com
 625 Main Street
 Longmont, CO 80501

PREPARED FOR: **MIKE AMEND**
 SHEET TITLE: **UTILITY PLAN**
LOT 8, AUSTIN INDUSTRIAL PARK
460 JONES COURT, ERIE, CO

DESIGNED BY:	ML
DRAWN BY:	SDW
CHECKED BY:	ML
APPROVED BY:	JHP
PROJECT NO.:	197.001
DATE:	05.10.2016
SCALE:	AS SHOWN
SHEET NO.	C
SHEET	1 OF 10

LOT 8, AUSTIN INDUSTRIAL PARK
 LONGS PEAK SPRINKLER, 460 JONES COURT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
 0.97± ACRES
 SITE PLAN - SP-000775-2016
 SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES
 SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016



GRADING NOTES

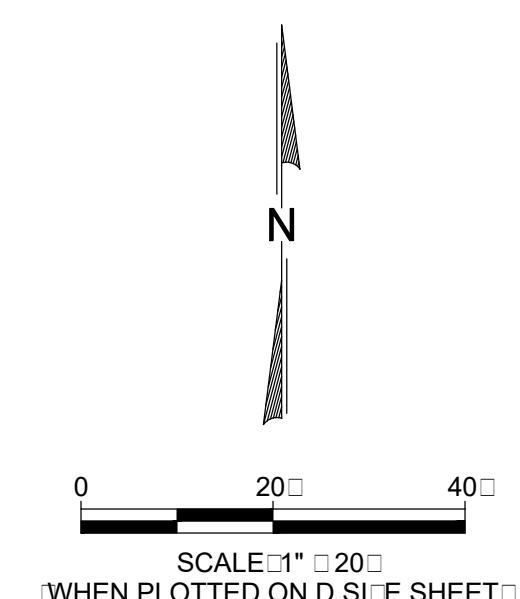
- ADA PARKING SPACES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE AT ANY POINT.
- SITE DOES NOT LIE WITHIN 100-YR FLOODPLAIN PER FIRM PANEL NO. 08013C04435, DATED DECEMBER 18, 2012.
- ALL EARTHWORK TO BE INSTALLED IN ACCORDANCE WITH RECOMMENDATIONS SPECIFIED IN THE SOILS REPORT, GEOTECHNICAL ENGINEERING REPORT, PREPARED BY KUMAR & ASSOCIATES, DATED MAY, 2016, AND THE TOWN OF ERIE STANDARDS.
- ALL ASPHALT SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SPECIFIED IN THE GEOTECHNICAL ENGINEERING REPORT, PREPARED BY KUMAR & ASSOCIATES, DATED MAY, 2016.
- COMPACT ALL FILL PER SOILS ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUND WATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUND WATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ABUTTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. NO CONCRETE SHALL BE PLACED WHERE GROUND WATER IS VISIBLE OR UNTIL THE GROUND WATER TABLE HAS BEEN LOWERED BELOW THE IMPROVEMENTS. ANY UNSTABLE AREAS, AS A RESULT OF GROUND WATER, ENCOUNTERED DURING THE CONSTRUCTION OF THE IMPROVEMENTS SHALL BE STABILIZED AS AGREED UPON BY THE CONTRACTOR, THE TOWN, AND THE DESIGN ENGINEER AT THE TIME OF THEIR OCCURRENCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND REPAIR OF UTILITIES ENCOUNTERED DURING CONSTRUCTION, WHETHER SHOWN ON THESE PLANS OR NOT. CONTRACTOR SHALL CONTACT REPRESENTATIVES OF THE RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD LOCATED PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS OF EXISTING STRUCTURES AND UTILITIES SHOWN ON THE DRAWINGS, TO ASCERTAIN WHETHER ANY STRUCTURES AND UTILITIES MAY EXIST, AND REPAIR AND/OR REPLACE ANY STRUCTURES AND/OR UTILITIES THAT ARE DAMAGED BY THE CONTRACTOR.
- CONTRACTOR TO FOLLOW ALL RECOMMENDATIONS FROM THE GEOTECHNICAL REPORT, "GEOTECHNICAL ENGINEERING STUDY AND PAVEMENT THICKNESS DESIGN PROPOSED AUSTIN INDUSTRIAL PARK BUILDING 460 JONES COURT ERIE, CO." PREPARED BY KUMAR & ASSOCIATES, INC., DATED JUNE 24, 2016.
- ALL FILL MATERIAL AND PLACEMENT OF FILL BELOW THE BUILDINGS TO BE REVIEWED AND APPROVED BY SOILS ENGINEER PRIOR TO DURING PLACEMENT. COMPACTION TO BE IN ACCORDANCE WITH SOILS REPORT DESIGN STANDARDS.
- ALL GRADES SHOWN ON THIS PLAN ARE TO FINISHED GRADE.
- OVERLOT GRADING SHALL BE TO SUBGRADE OF THE BUILDINGS AND ASPHALT PARKING LOT.
- FINAL FINISHED FLOOR ELEVATION SHALL NOT EXCEED MINIMUM FINISHED FLOOR ELEVATION BY MORE THAN TWO (2) FEET.

SU-GRADE PREPARATION

ALL FILL PLACED BELOW PAVEMENTS SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM STANDARD PROCTOR DENSITY WITHIN ±2 PERCENT OF THE OPTIMUM MOISTURE CONTENT. IN CUT AND FILL AREAS, THE SUBGRADE SHOULD BE SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES OR AS DESCRIBED IN THE APPROPRIATE OPTION, ADJUSTED TO NEAR OPTIMUM MOISTURE CONTENT AND RECOMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM STANDARD PROCTOR DENSITY AS DETERMINED BY ASTM D698. PRIOR TO PLACEMENT OF THE PAVEMENT, THE SUBGRADE SHOULD BE PROOF ROLLED WITH A HEAVY, PNEUMATIC TIRRED VEHICLE WHILE BEING OBSERVED BY THE GEOTECHNICAL ENGINEER. AREAS WHICH DEFORM UNDER WHEEL LOADS SHOULD BE REMOVED AND REPLACED.

GRADING LEGEND

	EXISTING CONTOURS
	PROPOSED CONTOURS
	FINISHED GRADE SLOPE
	PROPOSED SURFACE ELEVATION SPOT GRADE DESCRIPTIONS
	EOA EDGE OF ASPHALT
	EOC EDGE OF CONCRETE
	FG FINISHED GRADE
	FL FLOW LINE
	FF FINISHED FLOOR
	HP LP HIGH POINT / LOW POINT
	G GRADE - REAK



THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION

11.2.16	07.21.16	1	COMMUNITY DEVELOPMENT - TOWN OF ERIE	REVISION	LOCK
2	1	1	TOWN REVIEW COMMENTS	DESCRIPTION	
			REV.	DATE	



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PREPARED FOR: **MIKE AMEND**
 SHEET TITLE: **GRADING PLAN**
LOT 8, AUSTIN INDUSTRIAL PARK
460 JONES COURT, ERIE, CO

DESIGNED BY:	ML
DRAWN BY:	SDW
CHECKED BY:	ML
APPROVED BY:	JHP
PROJECT NO.:	197.001
DATE:	05.10.2016
SCALE:	AS SHOWN
SHEET NO.:	C4
	SHEET 4 OF 10

DRAWING FILE: S:\PROJECTS\197.001 LONGS PEAK SPRINKLER\3. ENGINEERING\DRAWINGS\197.001 GRADING PLAN.DWG PLOT DATE: 1/9/2017 2:50 PM BY: STEPHEN WILLIAMS CTB: PC_2015_MONO.CTB

LOT 8, AUSTIN INDUSTRIAL PARK

LONGS PEAK SPRINKLER, 460 JONES COURT

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M

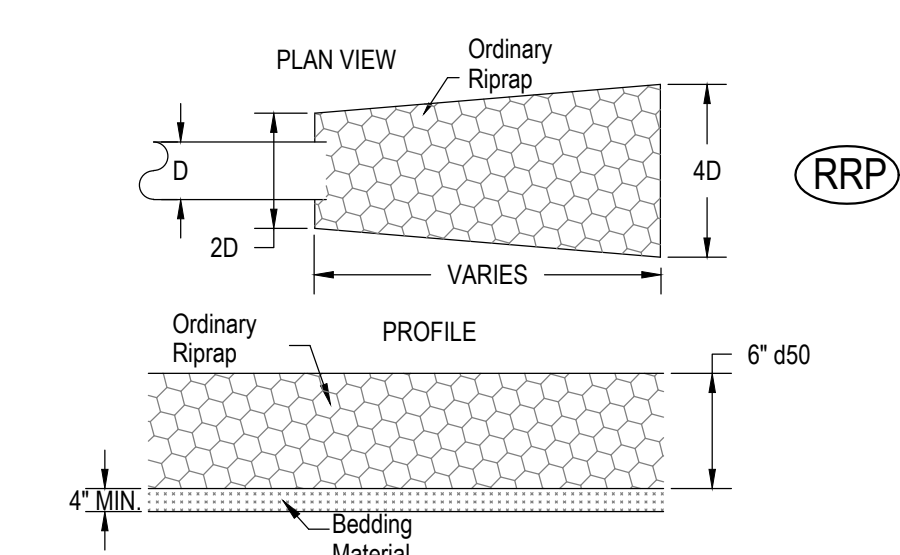
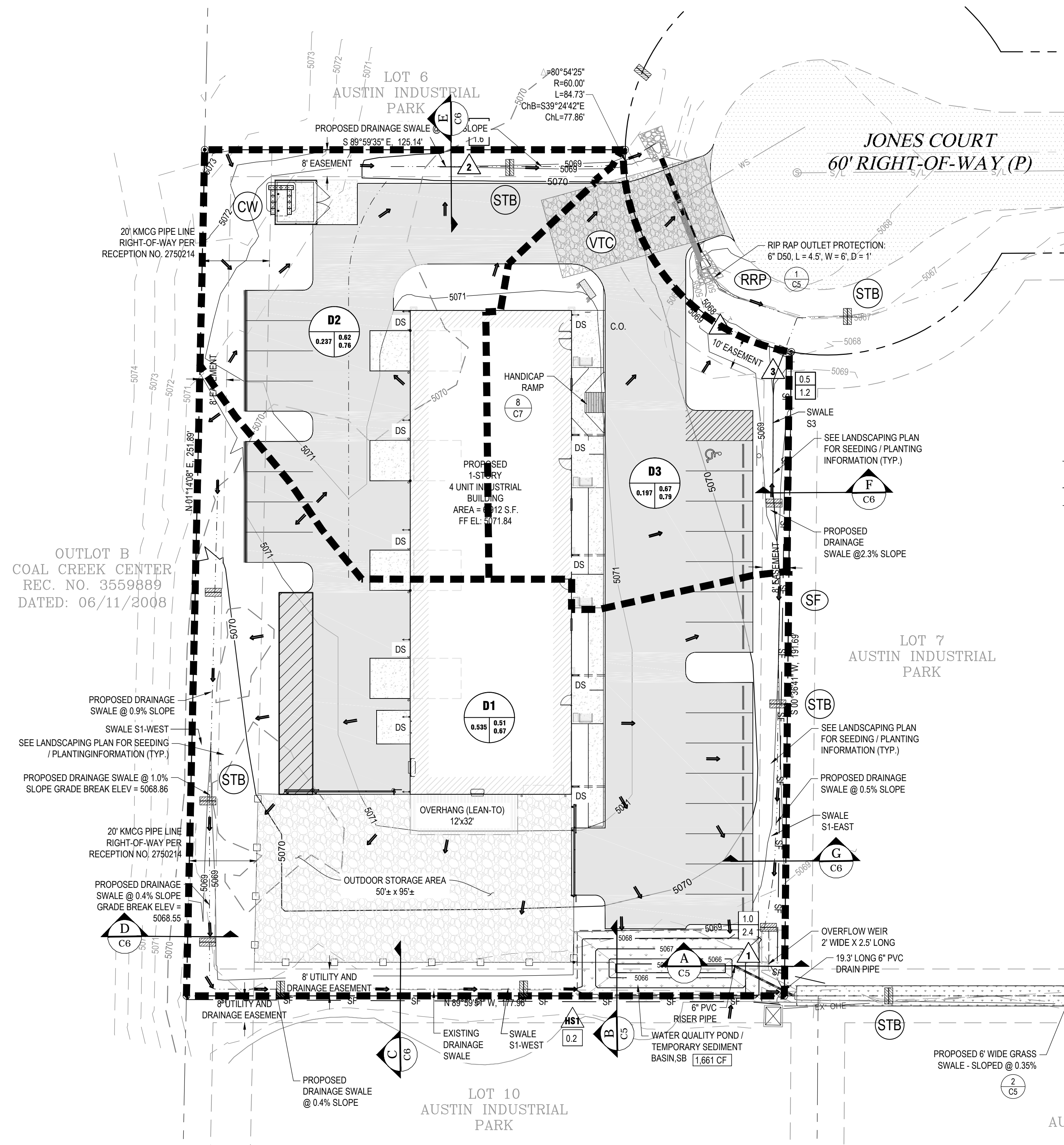
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

0.97± ACRES

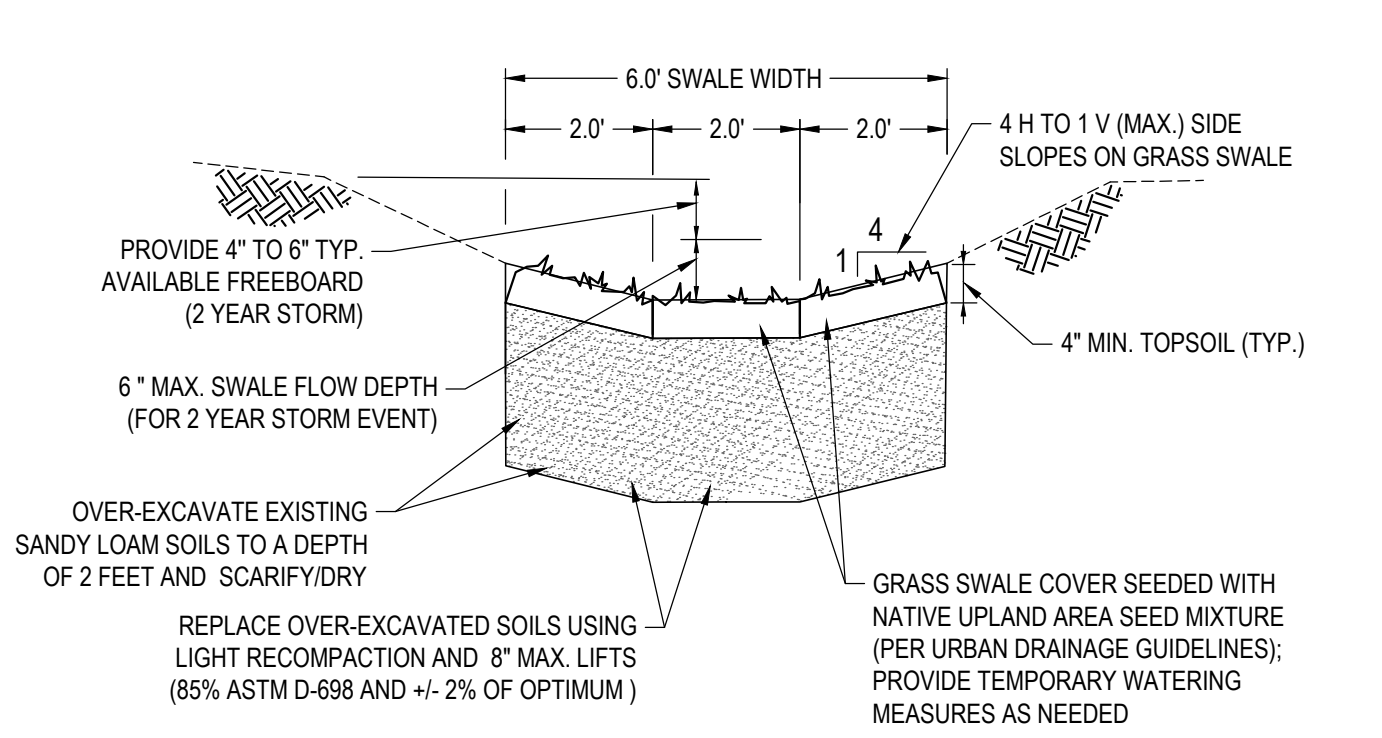
SITE PLAN - SP-000775-2016

SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES

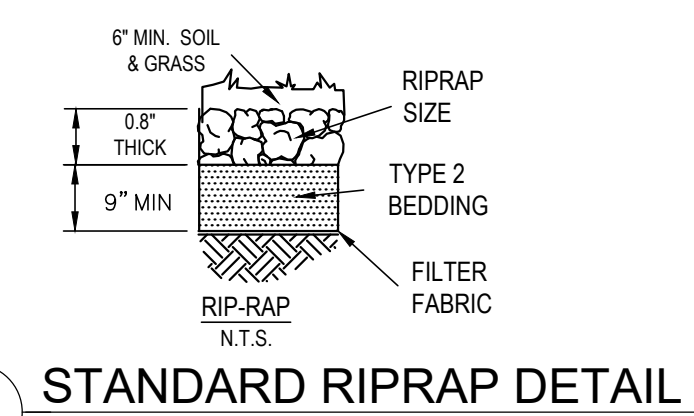
SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016



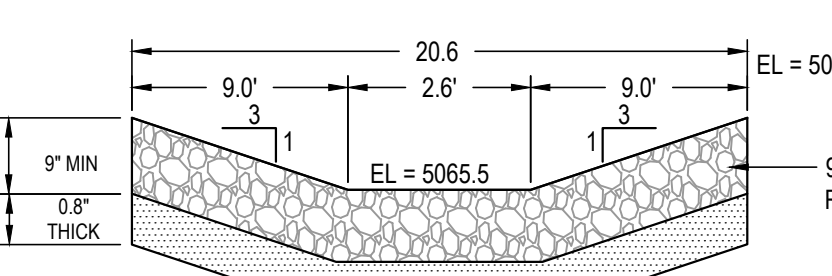
1 RIP RAP OUTLET PROTECTION



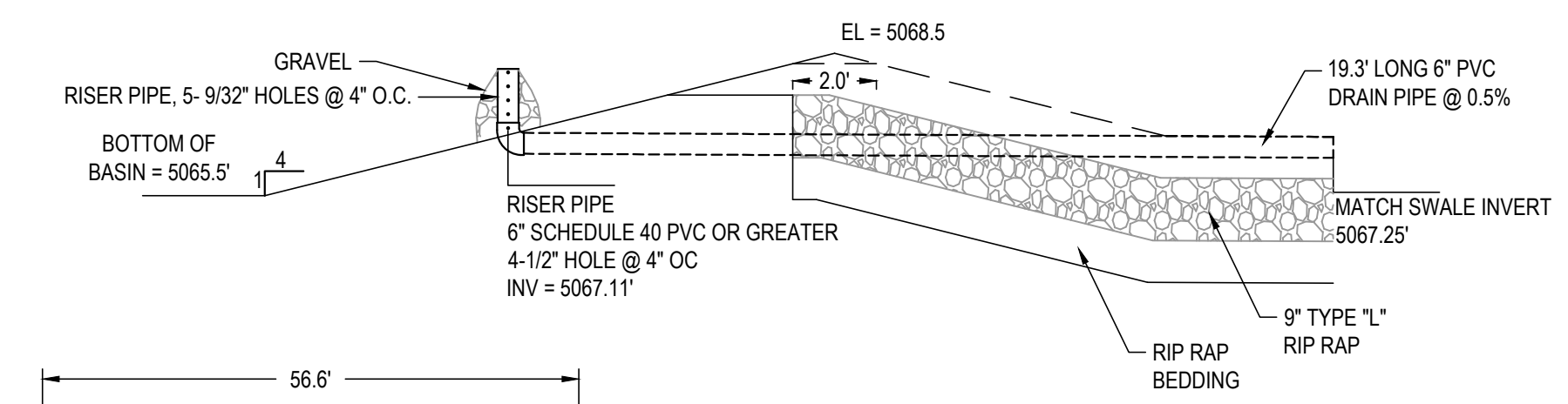
2 OFFSITE GRASS SWALE OUTFALL



3 STANDARD RIPRAP DETAIL



SECTION B



SECTION A

4 WATER QUALITY POND DETAIL

EROSION CONTROL LEGEND	
EXISTING CONTOUR (1')	--- 5074
PROPOSED CONTOUR (1')	--- 5075
SILT FENCE	SF
RIP RAP OUTLET PROTECTION	RRP
CURB INLET PROTECTION	CIP
INLET PROTECTION	IP
CONCRETE WASHOUT BASIN	CW
VEHICLE TRACKING CONTROL	VTC
STRAW BALE DAM	STB

VEHICLE TRACKING CONTROL (VTC) SHALL BE USED DURING ALL PHASES OF CONSTRUCTION AT CONTRACTOR'S AND TOWN OF ERIE INSPECTOR'S DISCRETION.

DRAINAGE LEGEND	
DESIGN POINT	SYMBOLS
BASIN DESIGNATION	HISTORIC BASIN BOUNDARY
RUNOFF COEFFICIENT (MINOR 5-YEAR)	DEVELOPED BASIN BOUNDARY
RUNOFF COEFFICIENT (MAJOR 100-YEAR)	PROPOSED DRAINAGE SWALE
AREA (ACRES)	PROPOSED DRAINAGE SLOPE
SLOPE ARROW	DRAIN SPOUT
0.0	PEAK INITIAL (5 YEAR) STORM DISCHARGE (CFS)
1.2	PEAK MAJOR (100 YEAR) STORM DISCHARGE (CFS)

- ### DRAINAGE DETENTION AREA NOTES
- NO BUILDING, STRUCTURE, OR FILL WILL BE PLACED IN THE DETENTION AREAS AND NO CHANGES OR ALTERATIONS AFFECTING THE HYDRAULIC CHARACTERISTICS OF THE DETENTION AREAS WILL BE MADE WITHOUT THE APPROVAL OF THE TOWN.
 - PERMISSION TO REPRODUCE THESE PLANS IS HEREBY GIVEN TO THE TOWN FOR PURPOSES ASSOCIATED WITH PLAN REVIEW, APPROVAL, PERMITTING, INSPECTION AND CONSTRUCTION OF WORK.
 - THERE ARE NO MAJOR DRAINAGE WAYS AFFECTING THE SITE.
 - THE SITE DOES NOT LIE WITHIN 100-YR FLOODPLAIN.
 - OWNER/CONTRACTOR MUST OBTAIN PERMITS FROM THE COLORADO DEPT. OF HEALTH, WATER QUALITY CONTROL DIVISION PERMIT ENFORCEMENT SECTION, AND THE TOWN OF ERIE PRIOR TO CLEARING, GRADING, OR EXCAVATION.

- ### EROSION CONTROL CONSTRUCTION NOTES
- AT ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT, EROSION AND SEDIMENT CONTROL SYSTEMS SHALL BE MAINTAINED TO PREVENT DAMAGING FLOWS ON THE SITE AND IN THE WATERSHED BELOW THE SITE. CONTROL SYSTEMS SHALL BE INSTALLED PRIOR TO STRIPPING OF NATIVE VEGETATIVE COVER AND AS GRADING PROGRESSES. CONTROL SYSTEMS SHALL INCLUDE, AS A MINIMUM, STRAW BALE SEDIMENT TRAPS (OR EQUIVALENT) ALONG NATURAL DRAINAGE-WAYS PRIOR TO GRADING, AND UTILIZATION OF DESIGNED STORM DETENTION BASINS PRIOR TO FINAL GRADING REVEGETATION. THE MINIMUM STORAGE CAPACITIES FOR THE TWO SEDIMENT BASINS ARE INDICATED ON THIS DRAWING.
 - ALL SEDIMENT TRAPS WILL BE CLEANED AND MAINTAINED TO PROVIDE ADEQUATE PROTECTION FROM SOIL LOSS UNTIL A TIME WHEN THE TOWN DETERMINES THEY ARE NO LONGER NEEDED.
 - THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING MEASURES TO PREVENT EROSION OF DISTURBED SOIL BY WINDS.
 - CONTRACTOR SHALL OBTAIN PERMITS FROM THE COLORADO DEPT. OF HEALTH, WATER QUALITY CONTROL DIVISION PERMIT ENFORCEMENT SECTION, AND THE TOWN OF ERIE PRIOR TO CLEARING, GRADING, OR EXCAVATION.
 - THE CONSTRUCTION EROSION SEDIMENT CONTROL PLAN MAY BE MODIFIED BY THE STATE OF COLORADO HEALTH DEPARTMENT OR AUTHORIZED REPRESENTATIVE AS FIELD CONDITIONS WARRANT.
 - CONTRACTOR TO MONITOR AND MAINTAIN VEHICLE TRACKING CONTROL PAD. IF MUD AND DIRT BECOMES A PROBLEM ON THE ROADWAY MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, ADDITIONAL AGGREGATE AND CLEANING OF STREETS.
 - WHERE AREAS ARE TO BE LEFT BARE FOR EXTENDED PERIODS, SEED WITH FOOTHILL SEED MIXTURE.
 - ALL EROSION CONTROL METHODS NEED TO BE INSTALLED AND APPROVED BY THE TOWN OF ERIE INSPECTOR PRIOR TO ANY CONSTRUCTION.
 - CONCRETE WASHOUT SHOULD BE PROPERLY DISPOSED OF OFF-SITE.
 - TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.

REV.	DATE	DESCRIPTION
1	07/28/16	TOWN REVIEW COMMENTS
2	11/2/16	COMMUNITY DEVELOPMENT - TOWN OF ERIE

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PREPARED FOR: MIKE AMEND

SHEET TITLE: DRAINAGE EROSION CTRL PLAN

LOT 8, AUSTIN INDUSTRIAL PARK
460 JONES COURT, ERIE, CO

DESIGNED BY	ML
DRAWN BY	SDW
CHECKED BY	ML
APPROVED BY	
PROJECT NO.	197.001
DATE	05/10/2016
SCALE	AS SHOWN
SHEET NO.	C5
SHEET 5 OF 10	

SCALE: 1" = 20'
PLOTTED ON D S I E SHEET

THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION

DRAWING FILE: S:\PROJECTS\197.001 LONGS PEAK SPRINKLER\3. ENGINEERING\DRAWINGS\197.001 GRADING PLAN.DWG
 PLOT DATE: 1/9/2017 2:50 PM
 BY: STEPHEN WILLIAMS
 CTB: PC_2015_MONO.CTB

LOT 8, AUSTIN INDUSTRIAL PARK
 LONGS PEAK SPRINKLER, 460 JONES COURT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
 0.97± ACRES
 SITE PLAN - SP-000775-2016
 SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES
 SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016

EMERGENCY SPILLWAY □ RIPRAP AT FOOT OF □ERM									
BASIN	Q100 (cfs)	TOP OF BERM (ft)	WIDTH OF SPILLWAY (ft)	DEPTH OF SPILLWAY (ft)	SPILLWAY INVERT (ft)	LENGTH (ft)	WIDTH (ft)	THICKNESS (ft)	VELOCITY (fps)
SB	2.40	5069.25	4.50	0.50	5068.75	4.5	13.5	0.8	0.15

DEVELOPED RUNOFF											
S	P	Ar	I	TOC	C5	C10	C100	Q5	Q10	Q100	
1	D1	0.5:5	56	12	0.51	0.56	0.67	1.0	1.0	2.4	
2	D2	0.2:74	68	6	0.62	0.67	0.76	0.7	0.9	1.6	
	D	0.1969	75	9	0.67	0.71	0.79	0.5	0.7	1.2	
TOTAL DEVELOPED RUNOFF							2.2	2.9	5.2		

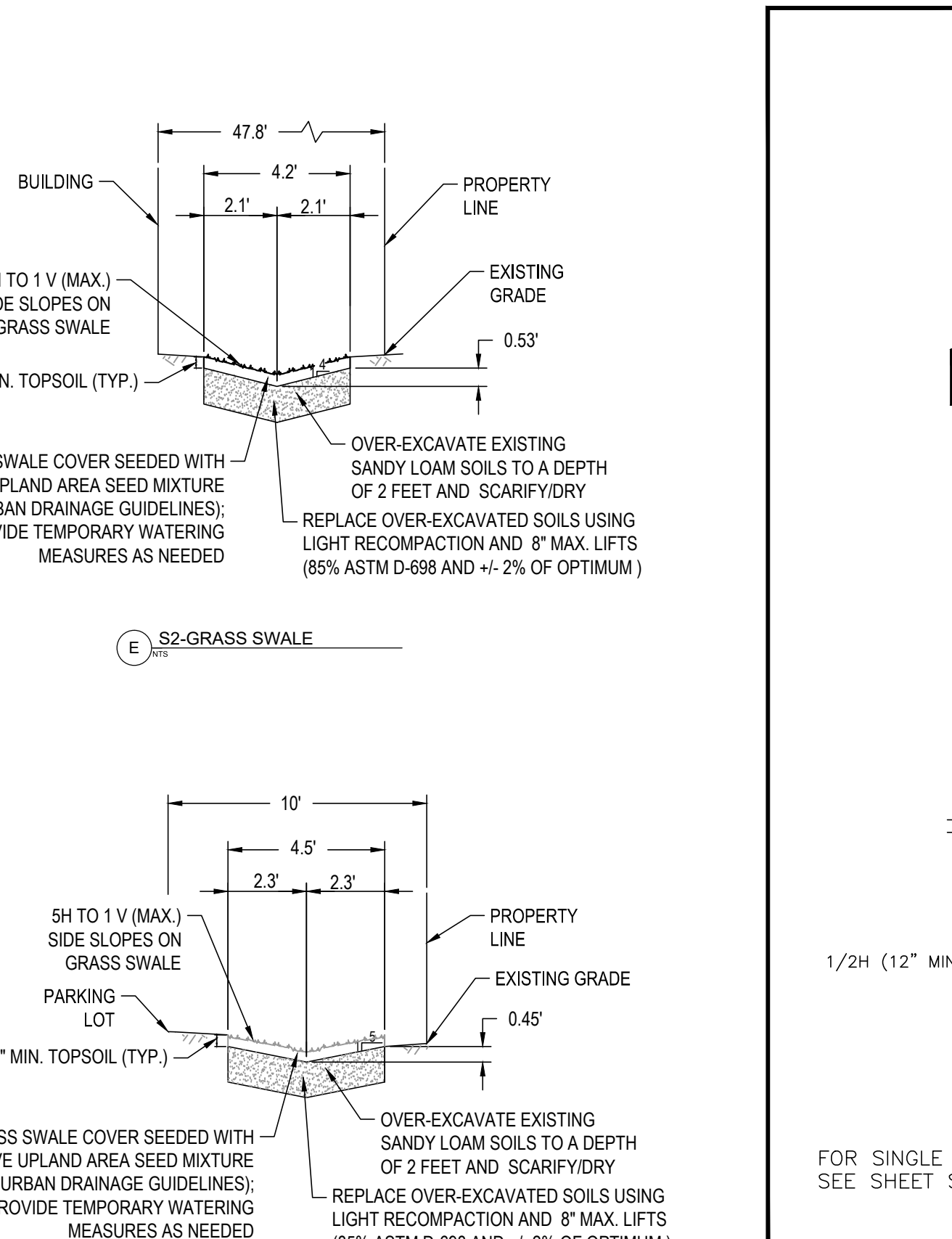
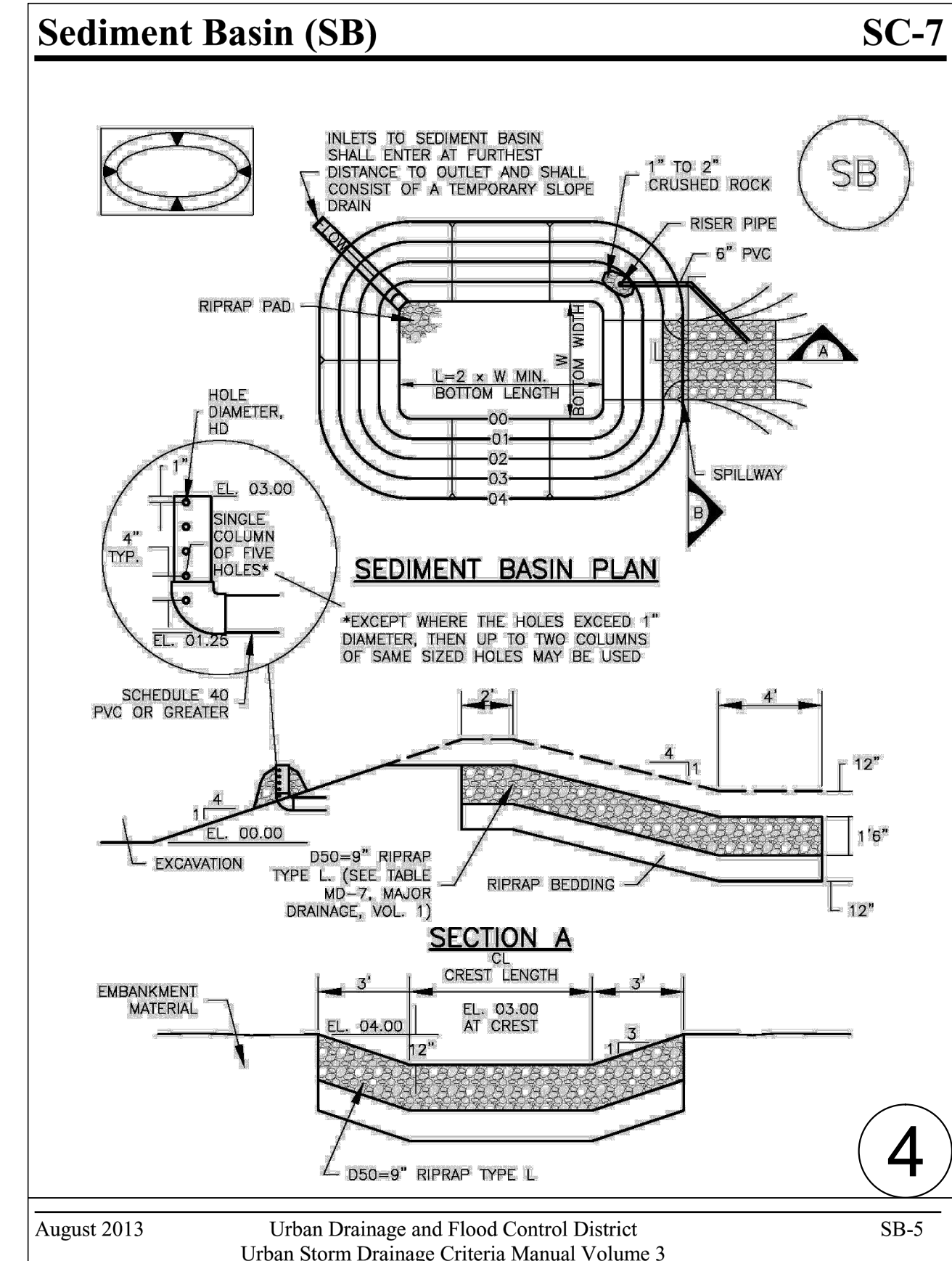
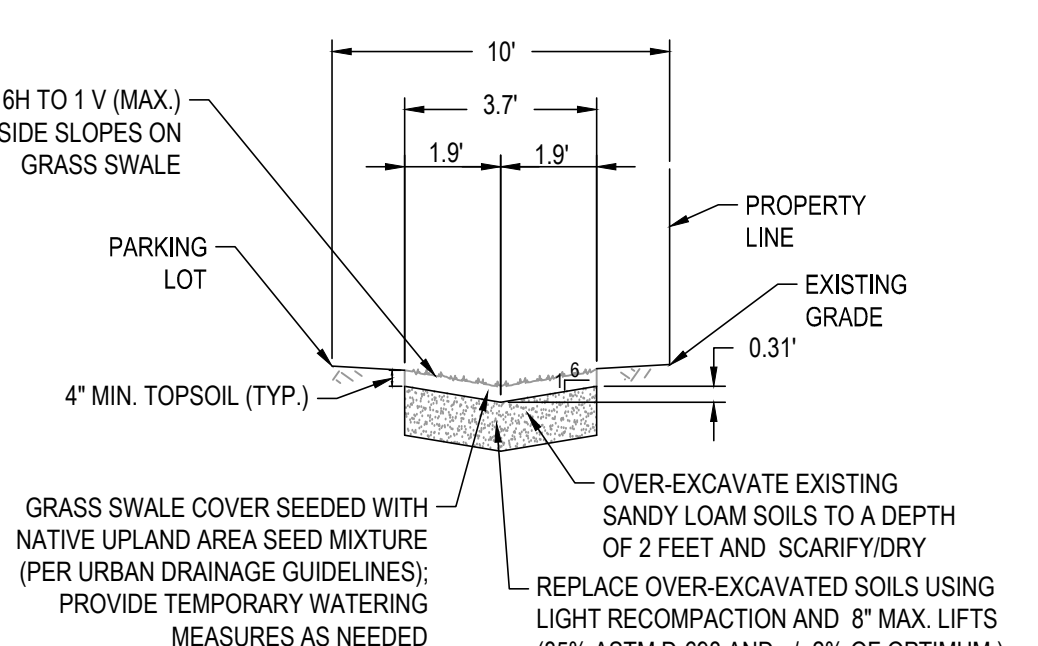
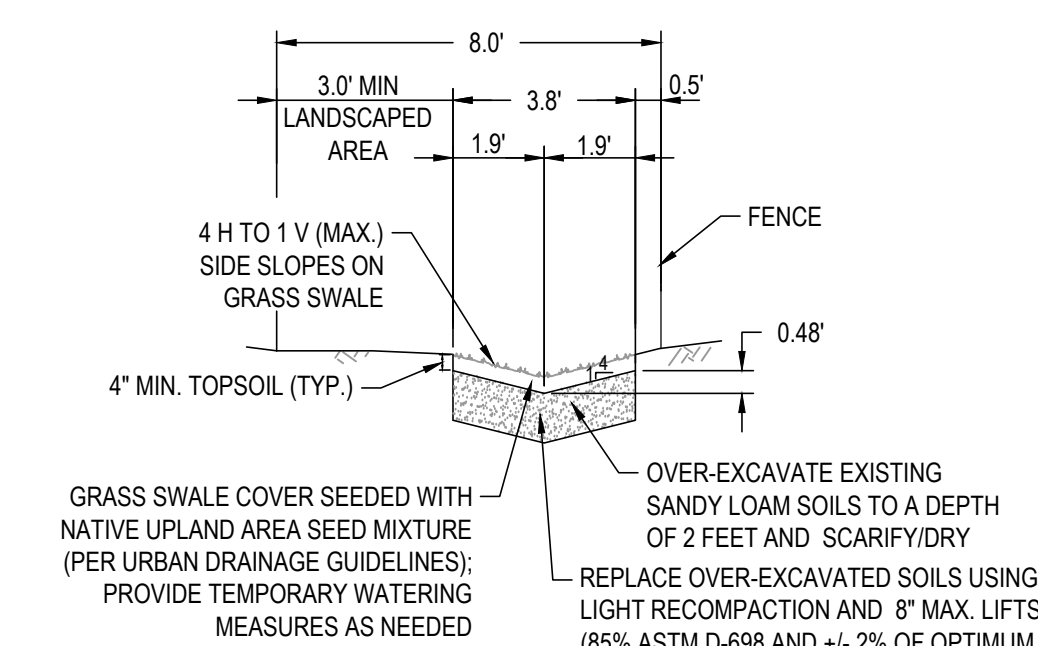
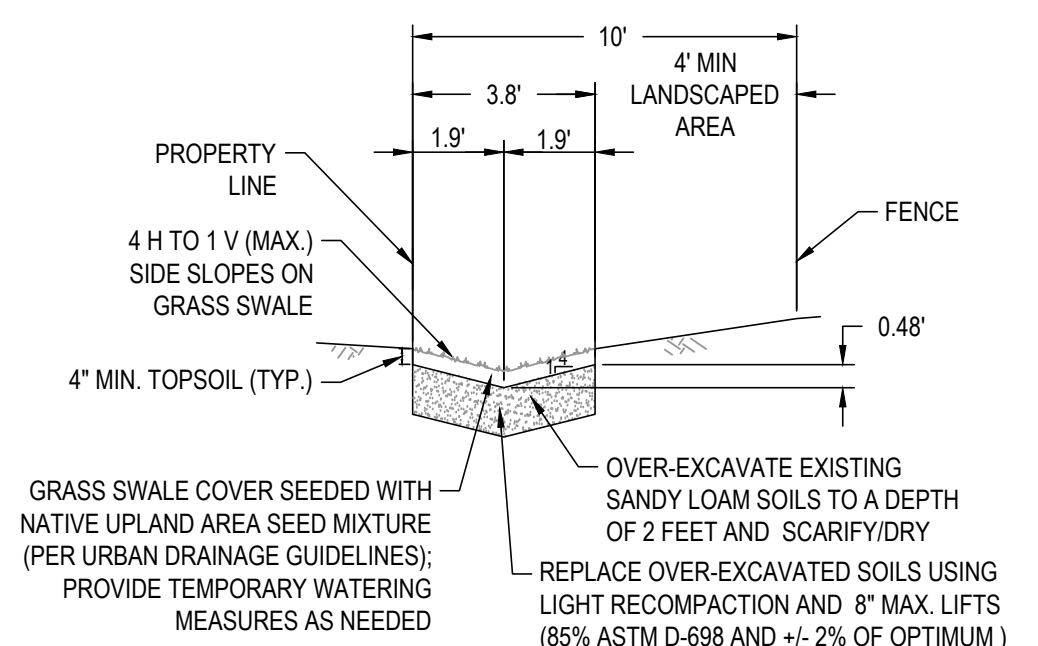
RIP RAP					
PIPE	LOCATION	LENGTH (ft)	WIDTH (ft)	THICKNESS (ft)	VELOCITY (fps)
6" PIPE	SEDIMENT BASIN	1.5	1.5	0.8	1.23
18" PIPE	DRIVEWAY CULVERT	4.5	4.5	0.8	3.11

WQCV		
REQUIRED	AC-FT	PROVIDED
CU-FT	AC-FT	SB CU-FT
1,035	0.024	1,661

SEDIMENT BASIN VOLUME		
REQUIRED	AC-FT	PROVIDED
CU-FT	AC-FT	SB CU-FT
3,488	0.08	1,661

PROPOSED OFFSITE SWALE CAPACITY (WQ1)		
STUDY POINT	BASIN	Q5 (cfs)
1	D1	1.0
WQ1	OFFSITE	0.8
REQUIRED:		1.8 cfs
PROVIDED:		1.9 cfs

SWALE CHARACTERISTICS								
Basin	Location	Design Q	Time	Long. Slope	Side Slope	Velocity	Depth	Top Width
#	Name	(cfs)	(min)	%	(h:v)	(fps)	(ft)	(ft)
D1	S1-East	0.5	8.2	0.50	5:1	0.49	0.45	4.5
D1	S1-West	0.5	9.1	0.50	4:1	0.54	0.48	3.8
D2	S2	0.7	2.4	0.50	4:1	0.61	0.52	4.2
D3	S3	0.5	1.3	2.30	6:1	0.87	0.31	3.7
Existing Swale	Offsite	1.9	4.5	0.35	4:1	0.82	0.75	6.0



CONSTRUCTION SEQUENCE FOR EROSION □ SEDIMENT CONTROL PRACTICES FOR SINGLE LOT

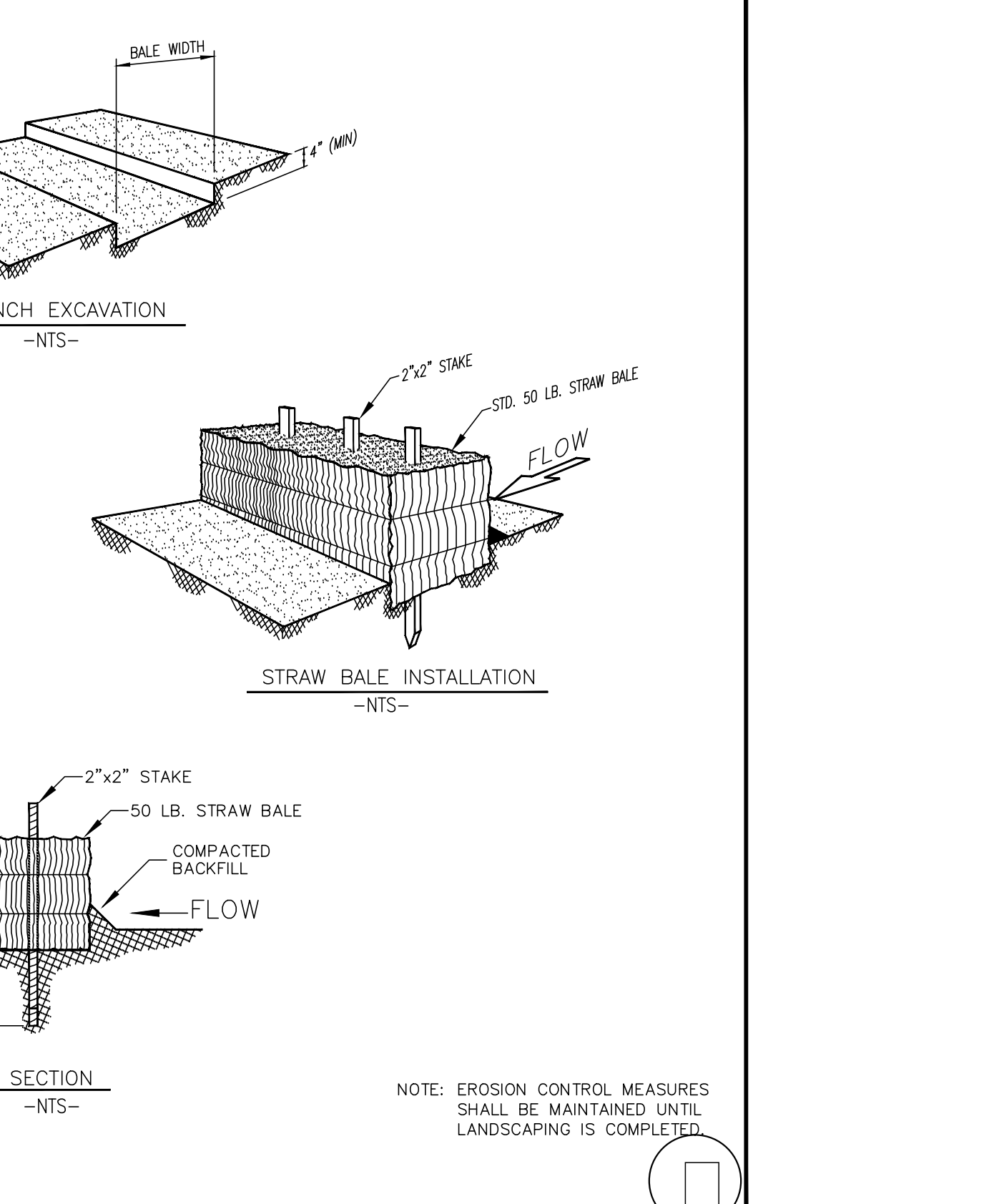
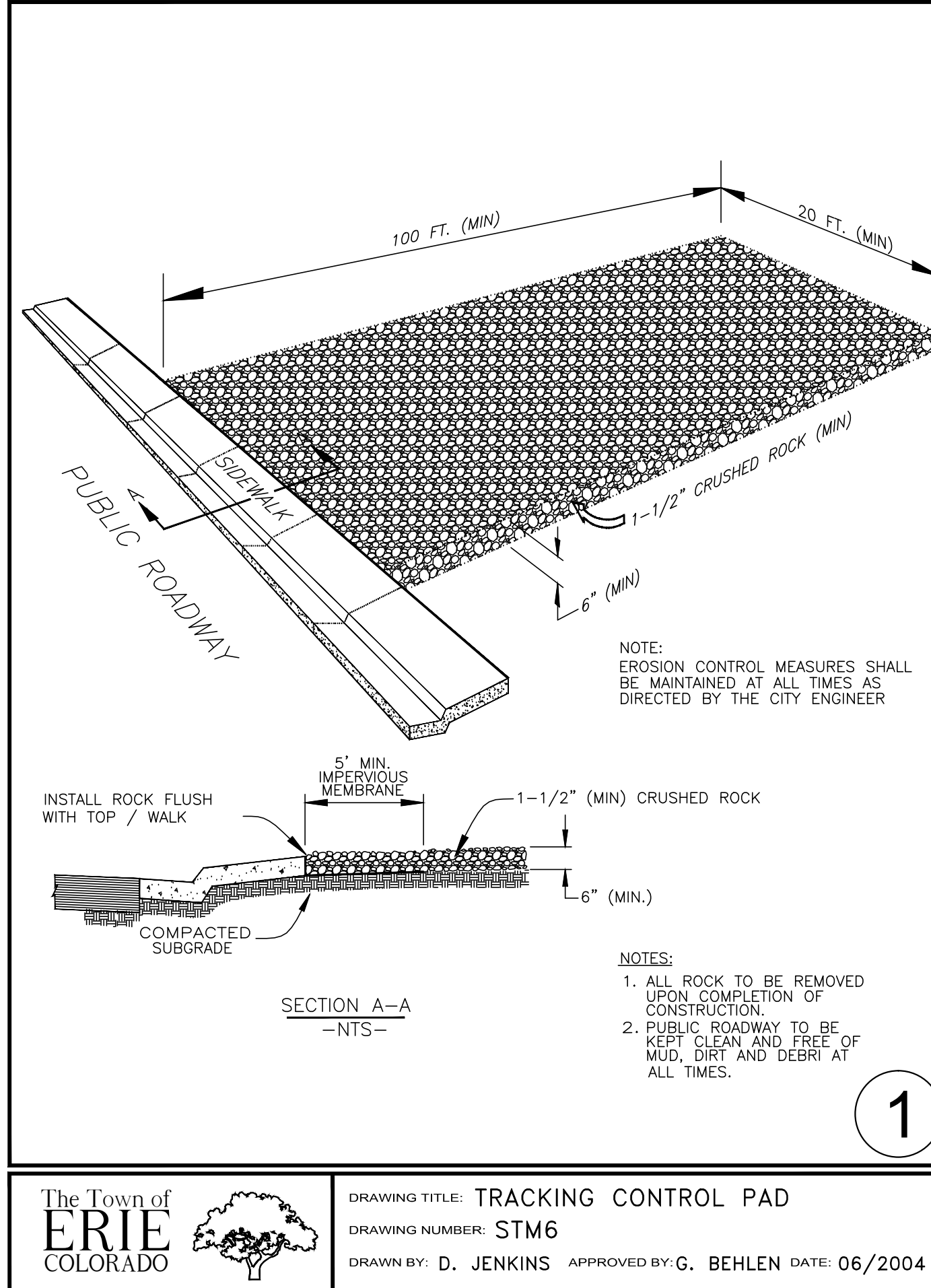
- INSTALL PERIMETER EROSION AND SEDIMENT CONTROLS**
IDENTIFY THE AREAS WHERE SEDIMENT LADEN RUNOFF COULD LEAVE THE CONSTRUCTION SITE, AND INSTALL PERIMETER CONTROLS TO MINIMIZE THE POTENTIAL FOR OFF-SITE SEDIMENTATION. IT IS IMPORTANT THAT PERIMETER CONTROLS ARE IN PLACE BEFORE ANY LOT EXCAVATION ACTIVITIES BEGIN.
PREFERRED METHODS
 - PROTECT DOWN-SLOPE AREAS WITH VEGETATIVE FILTER STRIPS
 - PROTECT DOWN-SLOPE AREAS WITH SILT FENCES AND OTHER APPROPRIATE PRACTICES
 - INSTALL STABLE CONSTRUCTION TRAFFIC ENTRANCE
- PREPARE THE SITE FOR CONSTRUCTION**
PREPARE THE SITE FOR CONSTRUCTION AND FOR INSTALLATION OF UTILITIES. NOTIFY ALL CONTRACTORS ESPECIALLY THE EXCAVATION CONTRACTOR OF AREAS TO BE PROTECTED.
PREFERRED METHOD
 - SALVAGE AND STOCKPILE TOPSOIL OR SUBSOIL
- BUILD STRUCTURES AND CONNECT UTILITIES**
CONSTRUCT THE HOME AND CONNECT THE UTILITIES.
- MAINTAIN CONTROL PRACTICES**
MAINTAIN ALL EROSION AND SEDIMENT CONTROL PRACTICES UNTIL CONSTRUCTION IS COMPLETED AND THE LOT IS STABILIZED.
- RE-VEGETATE BUILDING SITE**
IMMEDIATELY AFTER ALL OUTSIDE CONSTRUCTION ACTIVITIES ARE COMPLETED, STABILIZE THE LOT WITH SOD, SEED AND/OR MULCH.
METHODS
 - REDISTRIBUTE THE STOCKPILED SUBSOIL AND TOPSOIL
 - SEED OR SOD AREAS
 - MULCH NEWLY SEEDED AREAS
- REMOVE REMAINING TEMPORARY CONTROL MEASURES**
ONCE THE SOD AND/OR VEGETATION IS WELL ESTABLISHED, REMOVE ANY REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES.

ERIE COLORADO

DRAWING TITLE: EROSION CONTROL SEQUENCE SINGLE LOT

DRAWING NUMBER: STM7

DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004



ERIE COLORADO

DRAWING TITLE: SILT FENCE EROSION BARRIER

DRAWING NUMBER: STM4

DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004

ERIE COLORADO

DRAWING TITLE: STRAW BALE EROSION BARRIER

DRAWING NUMBER: STM5

DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004

	COMMUNITY DEVELOPMENT - TOWN OF ERIE	TOWN REVIEW COMMENTS	DATE	REVISION / LOCK
2	11/2/16	1	07/28/16	REV.

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DESIGNED BY: ML	PROJECT NO.: 197.001
DRAWN BY: SDW	DATE: 05/10/2016
CHECKED BY: ML	SCALE: AS SHOWN
APPROVED BY:	SHEET NO. C6
PREPARED FOR: MIKE AMEND	SHEET 6 OF 10

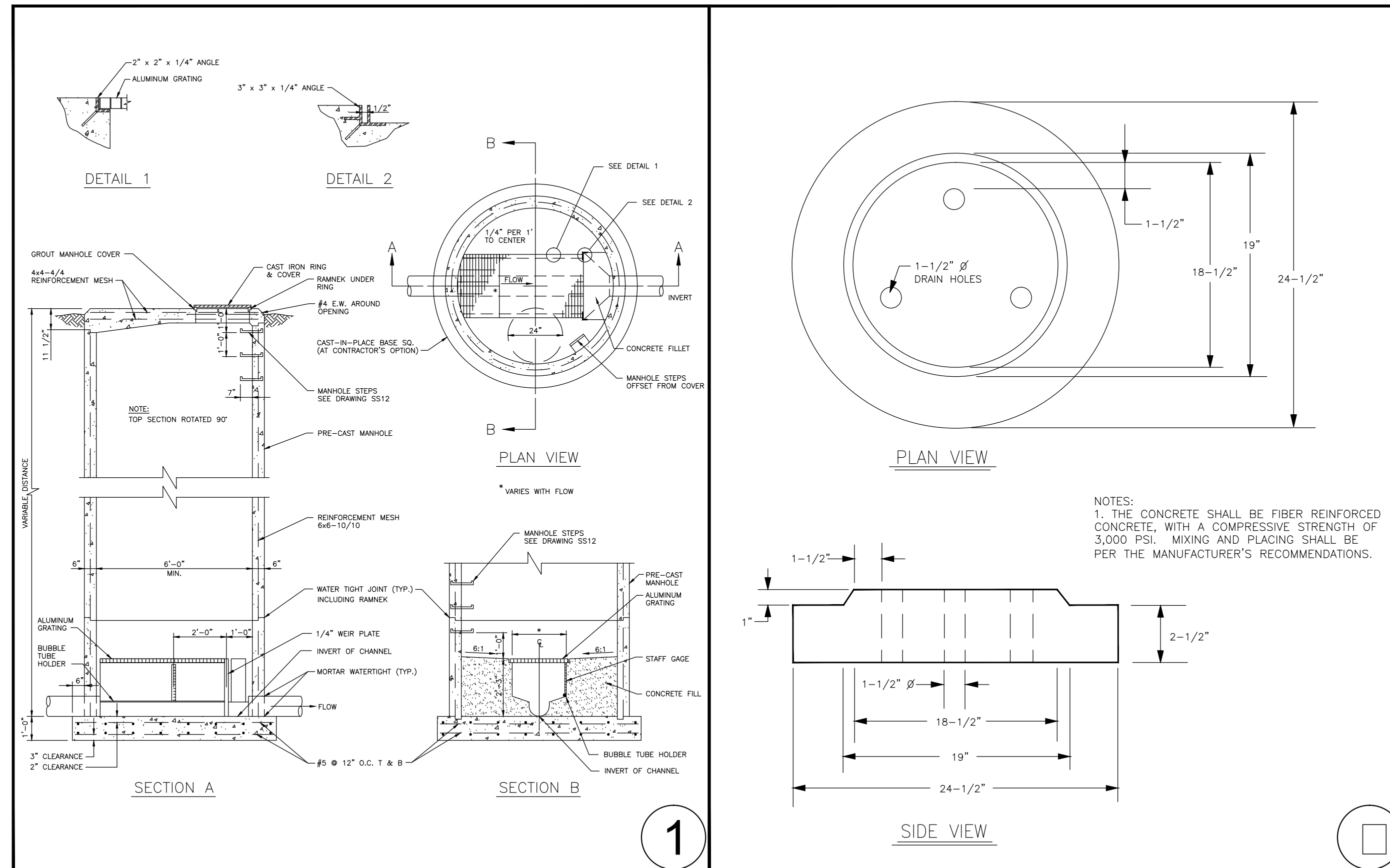
DRAINAGE □ ER CONTROL NOTES
 LOT 8, AUSTIN INDUSTRIAL PARK
 460 JONES COURT, ERIE, CO

THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION

DRAWING FILE: S:\PROJECTS\197.001 LONGS PEAK SPRINKLER\3. ENGINEERING\DRAWINGS\DETAILS.DWG PLOT DATE: 1/9/2017 2:51 PM BY: STEPHEN WILLIAMS CTB: PC_2015_MONO.CTB

LOT 8, AUSTIN INDUSTRIAL PARK

LONGS PEAK SPRINKLER, 460 JONES COURT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
 0.97± ACRES
 SITE PLAN - SP-000775-2016
 SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES
 SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016

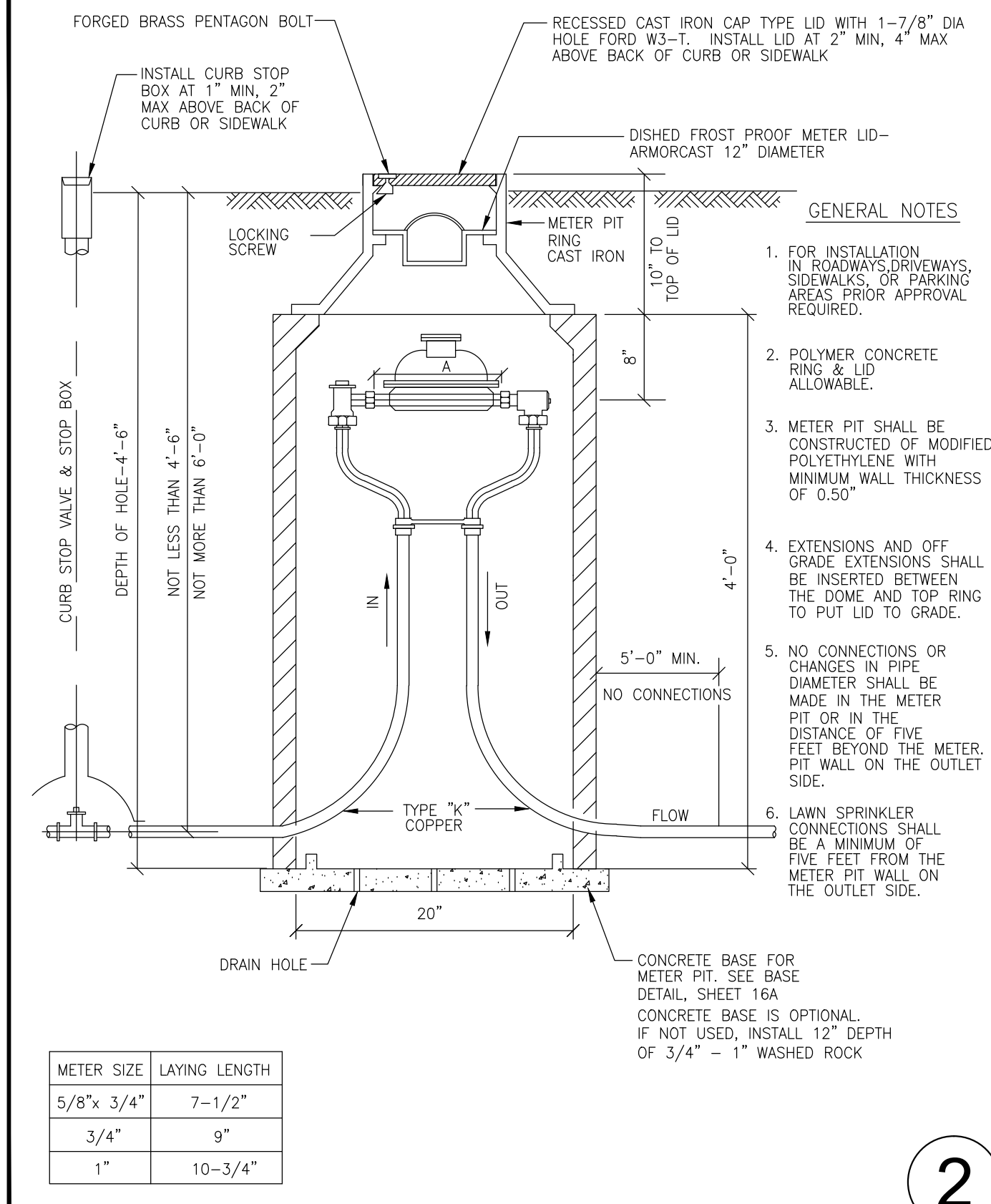


The Town of
ERIE
COLORADO

DRAWING TITLE: FLOW METERING AND SAMPLING STATION
 DRAWING NUMBER: SS2
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 01/2009

The Town of
ERIE
COLORADO

DRAWING TITLE: CONCRETE BASE FOR METER PIT
 DRAWING NUMBER: W14B (2 OF 2)
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004

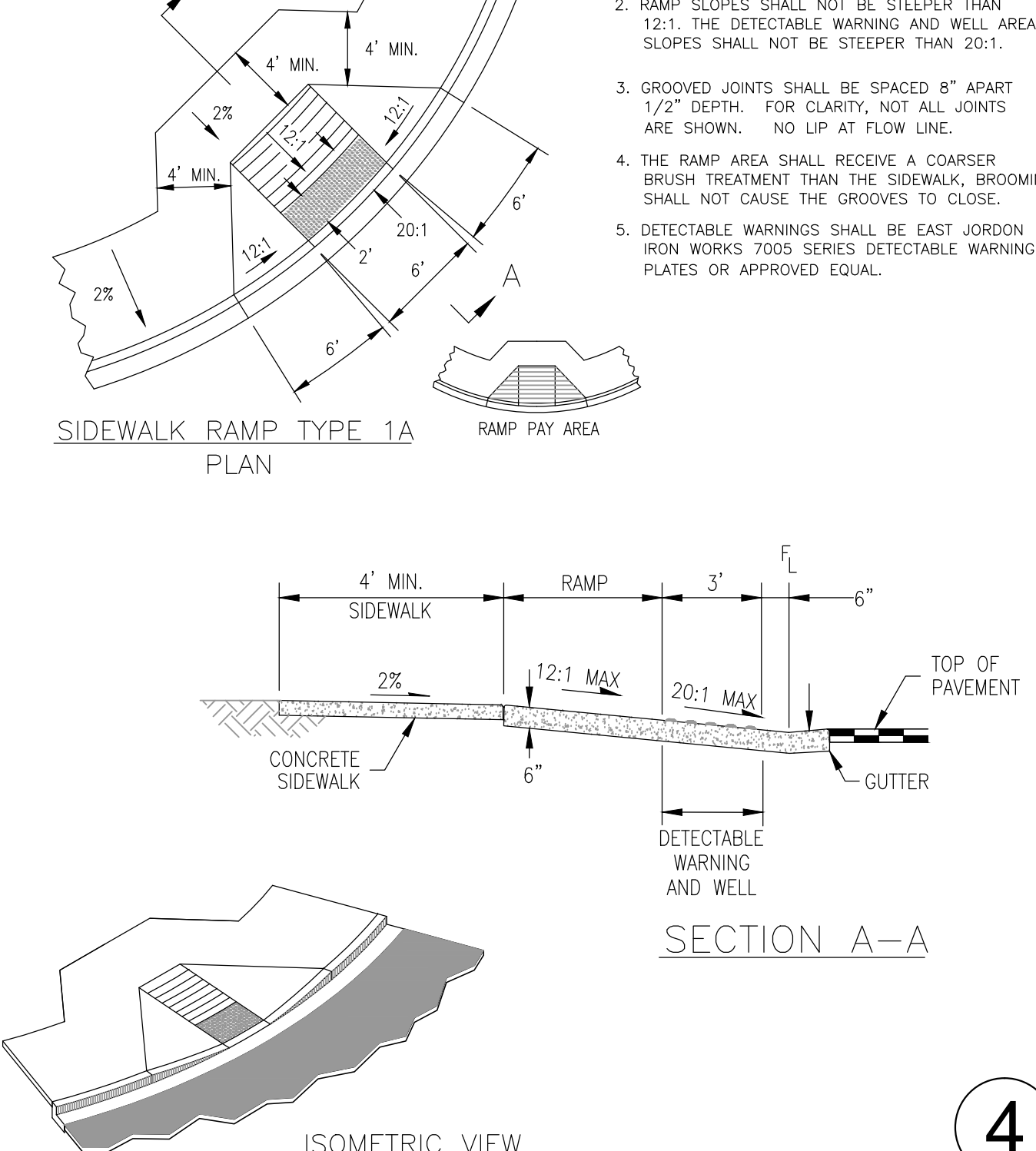


The Town of
ERIE
COLORADO

DRAWING TITLE: OUTSIDE SETTING FOR 5/8" x 3/4", 3/4" & 1" METER
 DRAWING NUMBER: W14A (1 OF 2)
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004

The Town of
ERIE
COLORADO

DRAWING TITLE: CURB RAMP TYPE 1 ATTACHED WALK
 DRAWING NUMBER: SW5
 DRAWN BY: C. GERATY APPROVED BY: G. BEHLEN DATE: 04/2016



The Town of
ERIE
COLORADO

DRAWING TITLE: CURB RAMP TYPE 1 ATTACHED WALK
 DRAWING NUMBER: SW5
 DRAWN BY: C. GERATY APPROVED BY: G. BEHLEN DATE: 04/2016

REV.	DATE	DESCRIPTION
1	07/28/16	TOWN REVIEW COMMENTS
2	11/2/16	COMMUNITY DEVELOPMENT - TOWN OF ERIE



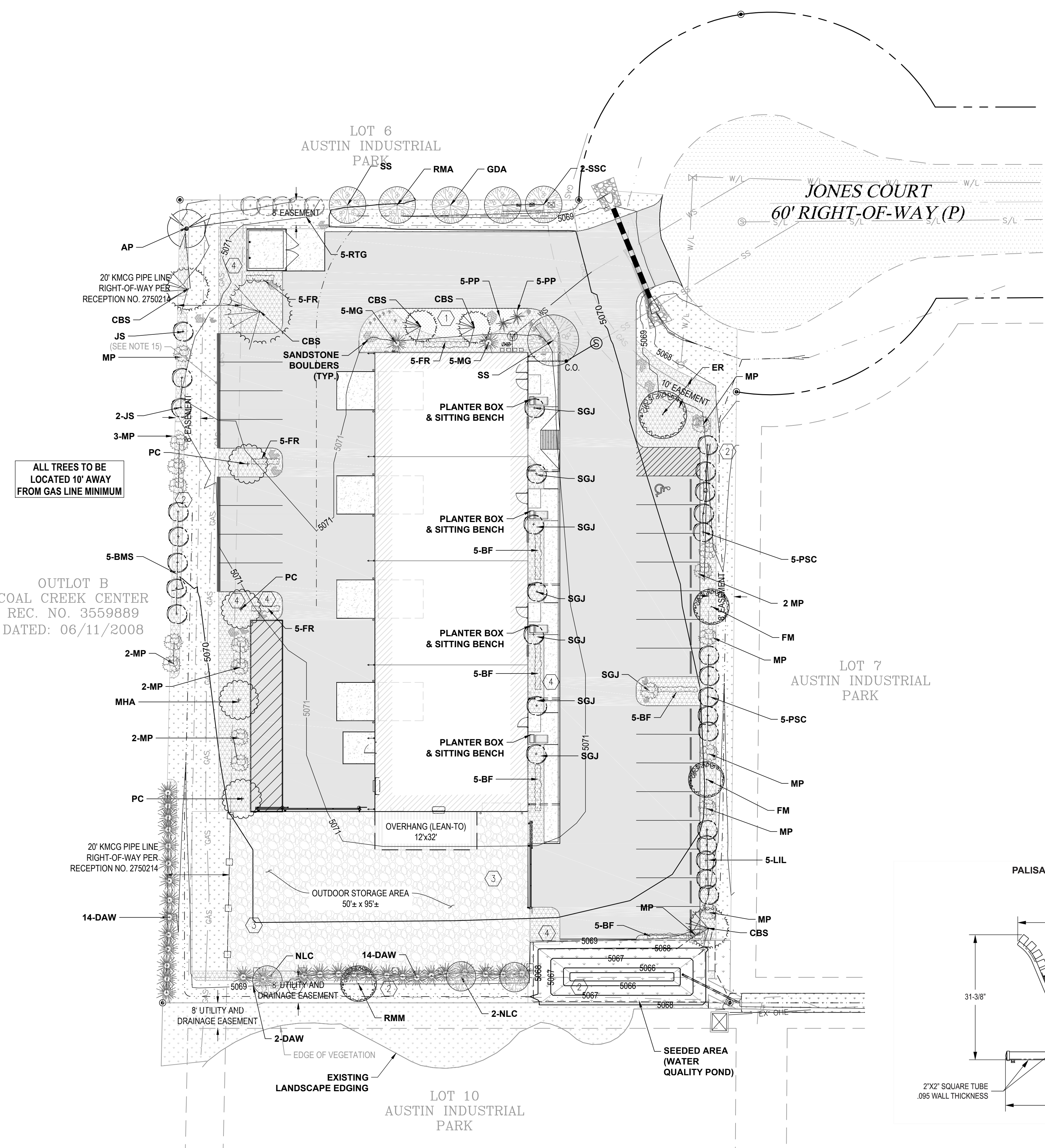
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 www.permontesgroup.com
 625 Main Street
 Longmont, CO 80501

PREPARED FOR: MIKE AMEND
 SHEET TITLE: DETAILS - CIVIL DETAILS I
 LOT 8, AUSTIN INDUSTRIAL PARK
 460 JONES COURT, ERIE, CO

DESIGNED BY:	ML
DRAWN BY:	SDW
CHECKED BY:	ML
APPROVED BY:	
PROJECT NO.:	197.001
DATE:	4/28/2016
SCALE:	AS SHOWN
SHEET NO.:	C7
SHEET 7 OF 10	

LOT 8, AUSTIN INDUSTRIAL PARK
 LONGS PEAK SPRINKLER, 460 JONES COURT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
 0.97± ACRES
 SITE PLAN - SP-000775-2016
 SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES
 SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016

PLOT DATE: 1/9/2017 2:52 PM BY: STEPHEN WILLIAMS CTB: PC_2015_MONO.CTB
 DRAWING FILE: S:\PROJECTS\197.001 LONGS PEAK SPRINKLER\3. ENGINEERING\DRAWINGS\197.001 LANDSCAPE PLAN.DWG



PLAN NOTES

- ALL PLANTS ARE SHOWN AT APPROXIMATELY 75% MATURE SIZE.
- AL PROPOSED CONTOURS ARE INDICATED ON LANDSCAPE PLAN @ 1' INTERVALS. NO GRADES EXCEED 3:1.
- ALL EXISTING TREES AND SHRUBS SHALL BE PROTECTED DURING CONSTRUCTION PER TOWN OF ERIE STANDARDS AND SPECIFICATIONS SEC. 102.
- ALL PLANT MATERIALS SHALL MEET THE SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE AND SHALL WIRE, TWINE, BURLAP, AND OR OTHER CONTAINMENT MATERIAL REMOVED FROM ROOT BAL AND TRUNK PRIOR TO PLANTING.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE AT THE TIME OF CONSTRUCTION DUE TO MATERIAL AVAILABILITY AND/ OR SITE CONDITIONS. QUALITY AND NUMBER OF PLANTS AND GENERAL COMPLIANCE WITH THESE APPROVED LANDSCAPE PLANS SHALL BE MAINTAINED.
- TREES SHALL NOT BE PLANTED WITHIN 10' OF ANY SEWER, WATER OR GAS LINE. TREE PLANTING SHALL BE COORDINATED WITH XCEL ENERGY. LOCATION OF ALL UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO ANY PLANTING.
- AFTER CLEARING AND GRUBBING THE SITE, TOPSOIL REMOVED DURING THE COURSE OF CONSTRUCTION SHALL BE STOCKPILED ON SITE FOR REUSE AND SHALL BE PROTECTED FROM WIND AND OTHER EROSION. SUBGRADE WORK TO ALLOW A MINIMUM 6" DEPTH OF TOPSOIL. SUBGRADE TO BE SCARIFIED TO A MINIMUM DEPTH OF 6" AND TOPSOIL, AND SOIL AMENDMENTS AS SPECIFIED HEREIN, SHALL BE THOROUGHLY BLENDED WITH THE LANDSCAPED AND REVEGETATED AREAS AT A RATE OF AT LEAST FIVE (5) CUBIC YARDS PER 1,000 SQ. FT. OF LANDSCAPED AREA AND THREE (3) CUBIC YARDS PER 1,000 SQ. FT. OF REVEGETATED NATIVE AREA. INCREASE AMOUNT OF ORGANIC AMENDMENTS IF NEEDED PER SOILS TESTS. ORGANIC SOIL AMENDMENTS TO BE CERTIFIED AS CLASS 1 COMPOST PER TOE-S&S SEC. 1022.01.
- SHRUB PLANTING BEDS SHALL BE MULCHED WITH 3"-5" ROCK COBBLES TO A MINIMUM DEPTH OF 4" OVER PERMEABLE WEED BARRIER FABRIC. ORNAMENTAL GRASSES, PERENNIALS AND GROUND COVERS SHALL BE MULCHED WITH SHREDDED BARK TO A MINIMUM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC. TREE PLANTING RINGS TO LIKEWISE RECEIVE SHREDDED BARK MULCH AS ABOVE. MULCH TO BE SEPARATED FROM SOD AND DRYLAND GRASS AREAS WITH 3/16"x6" GREEN COLORED STEEL EDGER.
- UNLESS NOTED OTHERWISE, ALL NEWLY GRADED AREAS AND OTHER AREAS DISTURBED BY CONSTRUCTION OPERATIONS ARE TO BE SEEDDED WITH A DRYLAND GRASS MIX PER THE PLANT SCHEDULE AT LEFT OF EITHER THE DRILLED SEEDING METHOD AS SPECIFIED IN TOE-S&S SEC. 1033.01.02 2500 LBS/ACRE OF VIRGIN WOOD CELLULOSE FIBER. HYDRO-MULCHED INCLUDING 150 LBS/ACRE ORGANIC TACKIFIER - COVERAGE TO BE 100% AND ANY THIN AREAS WHERE SOIL IS VISIBLE SHALL RECEIVE ADDITIONAL MULCH.
- ALL LANDSCAPED AREAS WILL BE IRRIGATED. PLANT MATERIALS (TREES, SHRUBS, ORNAMENTAL GRASSES, PERENNIALS AND GROUND COVER) WILL BE COVERED BY A DRIP SYSTEM AND TURF AREAS WILL BE COVERED BY SPRAY HEADS. DRYLAND GRASSES WILL HAVE A TEMPORARY IRRIGATION SYSTEM TO ESTABLISH GROWTH. THE IRRIGATION SYSTEM SHALL BE INSTALLED WILL INCORPORATE IRRIGATION MEASURES AND SCHEDULING THAT PROVIDE FOR WATER CONSERVATION. IRRIGATION PLANS WILL BE SUBMITTED BY A LANDSCAPE CONTRACTOR TO THE TOWN OF ERIE FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- ALL TREES SHALL BE STAKED FOR ONE YEAR AND STAKES REMOVED AFTER THE YEAR IS OVER.
- REQUIREMENTS OF THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS FOR LANDSCAPE INSTALLATION AND MAINTENANCE SHALL BE ADHERED TO. AS-BUILT DRAWINGS SHALL BE PROVIDED TO THE TOWN PER TOE S&S SEC. 222.00 (CONSTRUCTION ACCEPTANCE PROCEDURE).
- IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPING/SCREENING MAY BE REQUIRED BASED ON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.
- THE ARCHITECT SHALL INSPECT AND SIGN-OFF ON INSTALLATION OF ALL TREES, SHRUBS, SEEDING AND IRRIGATION.

DESIGN INTENT

THIS LANDSCAPE PLAN FOLLOWS THE EXISTING CONCEPTS OF THE SURROUNDING PROPERTIES. PROPOSED PLANT MATERIALS SUPPORT LOW WATER USE AND EASE OF MAINTENANCE. PROPOSED SHRUBS AND GRASSES WILL PROVIDE YEAR ROUND INTEREST AND THE PLANTS SELECTED ARE APPROPRIATE FOR THE WATER AVAILABILITY AND CLIMATE OF NORTHERN COLORADO. THE PROPOSED IRRIGATION SYSTEM WILL MINIMIZE EXCESS RUNOFF THROUGH UTILIZING DRIP IRRIGATION, TIMING, AUTOMATIC SHUTOFFS, AND RAIN SENSORS.

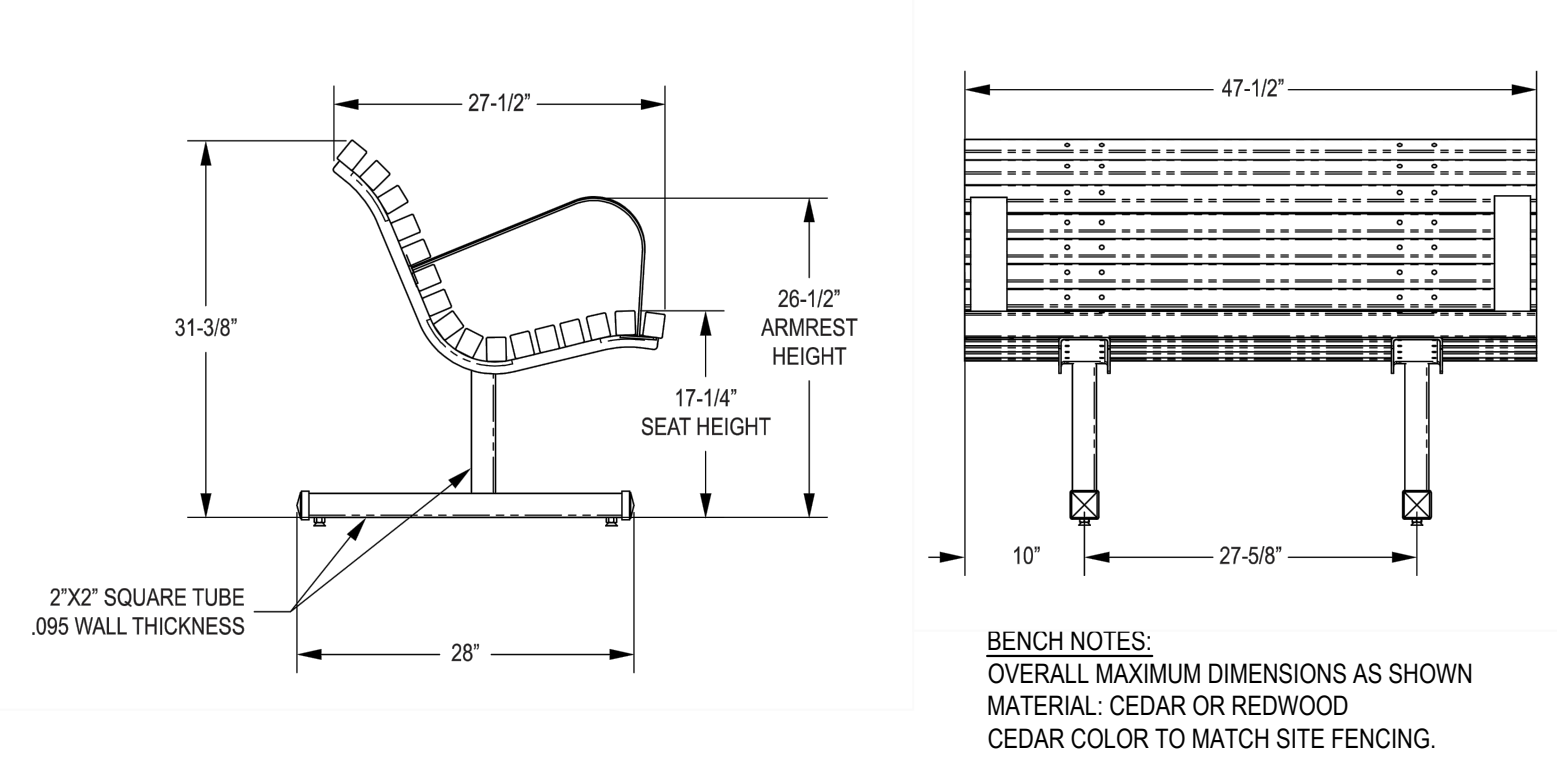
GROUND COVER LANDSCAPE

1	IRRIGATED TURF:	287 SF
4	MULCH BED WITH DRIPLINE:	6,242 SF
TOTAL		6,529 SF

GROUND COVER NON-LANDSCAPE

2	NATIVE SEED NATIVE SEED-R.O.W.	5,514 SF 905 SF
3	CRUSHED ASPHALT OR CRUSHED STONE:	5,300 SF
5	SEEDDED IN WATER QUALITY POND:	1,326 SF
TOTAL		13,045 SF

PALISADE WOOD BENCH

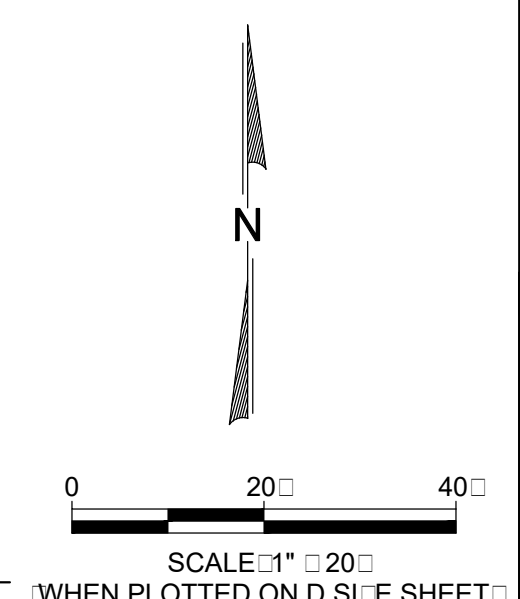


1 BENCH DETAIL (TYP.)
 C2 NTS



WOODEN PLANTER BOX NOTES:
 OVERALL MAXIMUM DIMENSIONS - 16" HIGH x 32" WIDE x 18" DEEP
 INSIDE MAXIMUM DIMENSIONS - 12" HIGH x 30" WIDE x 16" DEEP
 MATERIAL: CEDAR OR REDWOOD
 CEDAR COLOR TO MATCH SITE FENCING.

2 PLANTER BOX DETAIL (TYP.)
 C2 NTS



THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION

2	11/23/16	COMMUNITY DEVELOPMENT - TOWN OF ERIE
1	07/28/16	TOWN REVIEW COMMENTS
		DATE
		REV.
		DESCRIPTION
		REVISION
		LOCK



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 www.permontesgroup.com
 625 Main Street
 Longmont, CO 80501

PREPARED FOR: **MIKE AMEND**
 SHEET TITLE: **LANDSCAPE PLAN**
LOT 8, AUSTIN INDUSTRIAL PARK
460 JONES COURT, ERIE, CO

DESIGNED BY:	ML
DRAWN BY:	SDW
CHECKED BY:	ML
APPROVED BY:	JHP
PROJECT NO.:	197.001
DATE:	05.10.2016
SCALE:	AS SHOWN
SHEET NO.:	C8
	SHEET 8 OF 10

DRAWING FILE: S:\PROJECTS\197.001 LONGS PEAK SPRINKLER\3. ENGINEERING\DRAWINGS\197.001 LANDSCAPE PLAN.DWG PLOT DATE: 1/9/2017 2:53 PM BY: STEPHEN WILLIAMS CTB: PC_2015_MONO.CTB

LOT 8, AUSTIN INDUSTRIAL PARK

LONGS PEAK SPRINKLER, 460 JONES COURT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
 0.97± ACRES
 SITE PLAN - SP-000775-2016
 SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES
 SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016

PLANT SCHEDULE:

SYMBOL	ABBREVIATION	QUANTITY	COMMON/ BOTANICAL NAME	PLANTING SIZE	APPROX. FULL GROWTH	COMMENTS
DECIDUOUS TREES						
	ER	1	EASTERN REDBUD CERCIS CANADENSIS	2" GAL-B&B	30'Hx20'S	OPEN SPACE TREES
	RMM	1	ROCKY MOUNTAIN MAPLE ACER GLOBRUM	2" GAL-B&B	20'Hx15'S	OPEN SPACE TREES
	FM	2	FREEMAN MAPLE ACER X FREEMANII	2" GAL-B&B	75'Hx45'S	OPEN SPACE TREES
	SS	2	SHADBLow SERVICEBERRY AMELANCHIER CANADENSIS	2" GAL-B&B	30'Hx20'S	OPEN SPACE TREES
ORNAMENTAL TREES						
	MHA	1	MONROVIA'S HONEYCRISP APPLE MALUS HONEYCRISP	2" GAL-B&B	25'Hx20'S	STREET BUFFER TREES
	RMA	1	RED MCINTOSH APPLE MALUS MCINTOSH	2" GAL-B&B	25'Hx20'S	OPEN SPACE TREES
	GDA	1	MULLIN'S STARK GOLDEN DELICIOUS MALUS YELLOW DELICIOUS	2" GAL-B&B	25'Hx20'S	OPEN SPACE TREES
	PC	3	PROFUSION CRABAPPLE MALUS PROFUSION RADIANT	2" GAL-B&B	30'Hx20'S	OPEN SPACE TREES
	SSC	2	'SPRING SNOW' CRABAPPLE MALUS SPRING SNOW	2" GAL-B&B	30'Hx20'S	OPEN SPACE TREES
	NLC	3	NARROWLEAF COTTONWOOD POPULUS ANGUSTIFOLIA	2" GAL-B&B	40'Hx30'S	OPEN SPACE TREES
EVERGREEN TREES						
	CBS	5	COLORADO BLUE SPRUCE PICEA PUNGENS GLAUCA	6-8 FT. TALL	50'Hx 20'S	
	AP	1	AUSTRIAN PINE PINUS NIGRA	4-6 FT. TALL	50'Hx 30'S	
		23	TOTAL TREES			
SHRUBS						
	BMS	5	"BLUE MIST" SPIREA (FLOWERING) CARYOPTERIS X CLANDONENSIS	5 GAL	3'H X 3'S	
	RTG	5	RED TWIG DOGWOOD CORNUS SERICEA	5 GAL	4'H X 4'S	
	JS	3	JAPANESE SPIREA SPIREA JAPONICA	5 GAL	3'H X 3'S	
	PSC	10	PURPLELEAF SANDCHERRY PRUNIS CISTERNA	5 GAL	4'H X 4'S	
	DAW	31	DWARF ARCTIC WILLOW SALIX PURPUREA	5 GAL	4'H X 4'S	
	LIL	10	COMMON LILAC SYRINGA VULGARIS	5 GAL	4'H X 4'S	
	SGJ	10	SEA OF GOLD JUNIPER JUNIPERUS X MEDIA	5 GAL	4'H X 4'S	
	SJ	8	SAVIN JUNIPER JUNIPERUS SABRINA	5 GAL	1'H X 8'S	
	MP	18	MUGO PINE PINUS MUGO	5 GAL	3'H X 6'S	
		86	TOTAL SHRUBS			
ORNAMENTAL GRASSES						
	FR	20	FEATHER REED/ KARL FORSTER CALAMAGROSTIS X ACUTIFLORA KARL FORSTER	1 GAL	3'H X 2'S	
	PP	10	PAMPAS CORTADERIA SELLOANA	1 GAL	8'H X 1'S	
	BF	25	BLUE FESCUE FESTUCA GLAUCA 'ELIJAH BLUE'	1 GAL	2'H X 1'S	
	MG	10	MAIDEN GRASS MISCANTHUS	1 GAL	2'H X 1'S	
		65	TOTAL GRASSES			

LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN AND HEALTHY CONDITION BY THE OWNER. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, REPLACEMENT OF MULCH, WEEDING, REMOVAL OF LITTER AND THE REGULAR WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED TO MAXIMIZE WATER CONSUMPTION. SHOULD ANY PLANT MATERIAL DIE, THE OWNER, SUCCESSOR, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF PLANT(S) WITHIN ONE PLANTING SEASON. REPLACEMENT OF PLANT MATERIALS SHALL OCCUR AT THE FOLLOWING RATE:

TYPE	PLANT REPLACEMENT WITHIN	
	1 YEAR	2+ YEARS
Tree - Deciduous	Increase caliper by 1"	Increase caliper by 1.5"
Tree - Coniferous	Increase height by 1.5'	Increase height by 2'
Shrub	Replace with plants of at least 1/2 mature size	Replace with plants of at least 1/2 mature size

MIXED GRASS PRAIRIE NATIVE SEED MIXTURE: FOR USE IN OPEN SPACE NATIVE SEEDING AT LEAST 10 FEET AWAY FROM ROAD AND TRAIL EDGES.

COMMON NAME	SCIENTIFIC NAME	VARIETY	OZ/ACRE	PLS LBS/ACRE
BUFFALO GRASS	BUCHLOE DACTYLODES	NATIVE		3
SIDEOATS GRAMA	BOUTELLOA CURTIPENDULA	BUTTE		5
PRAIRIE SANDREED	LOISENELLIA	GOSHEN		1
BLUE GRAMA	CHONDROSTUM GRACILE	LOVINGTON		3
WESTERN WHEATGRASS	PASCOPHYRUM SMITHII	ARRIBA		5
LITTLE BLUESTEM	SCHIZACHRYTUM SCOPARIUM	PASTURA		4
ALKALI SACATON	SPOROBOLELLIS ABOIDES	COMMON		1
SAND DROPSIED	SPOROBOLELLIS CRIPPTANDBRUS	COMMON		1
SWITCHGRASS	PANICUM VIRGATUM	BLACKWELL		1
FRINGED SAGE*	ARTEMISIA FRIGIDA	COMMON		5
PURPLE PRAIRIE CLOVER*	DALLEA PURPUREA	COMMON		6
BLANKETFLOWER*	GALLIARDA ARISTATA	COMMON		6
GAYFEATHER*	HATRIA PUNCTATA	COMMON		4
COMMON NAME	SCIENTIFIC NAME	VARIETY	OZ/ACRE	PLS LBS/ACRE
BLUE FLAX*	LIDUM PERENNE	COMMON		3
TANNY ASTER*	MACHAERANTHERA TANACETIFOLIA	COMMON		3
PRAIRIE CONEFLOWER*	RATIBIDA COLUMNIFERA	COMMON		3
OUNCES			26	1,625
SEEDING RATE POUNDS PLS/ACRE				29,625

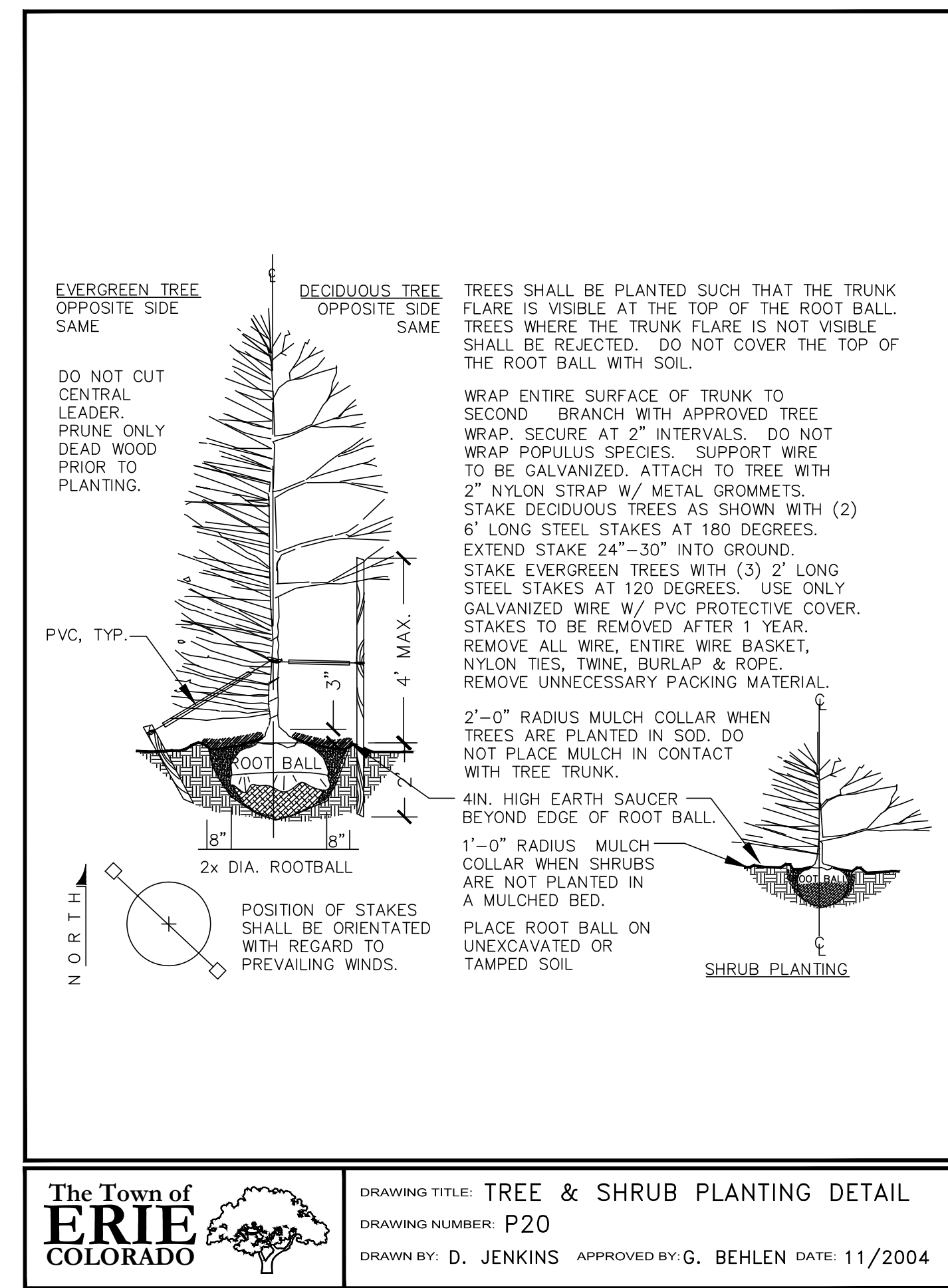
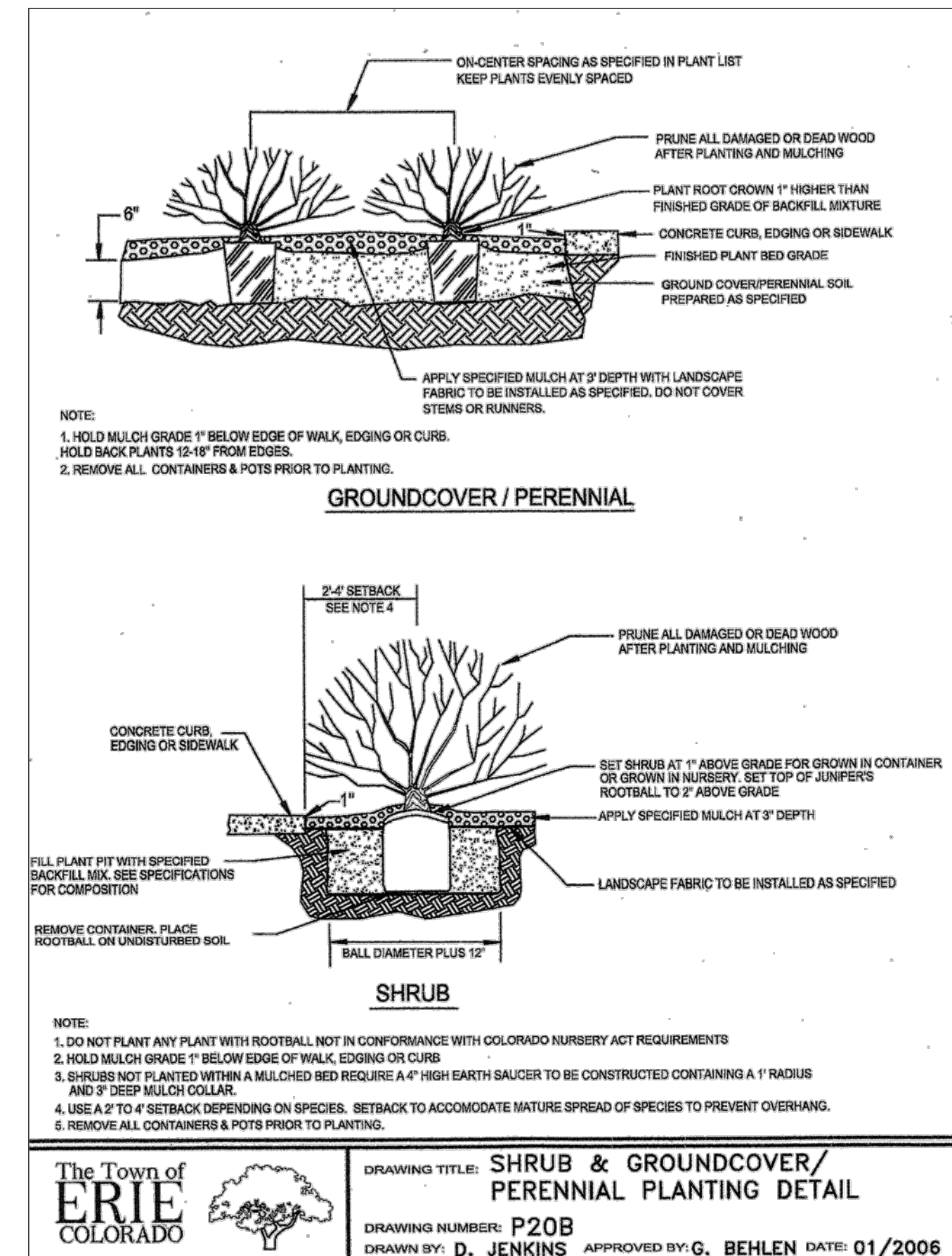


TABLE OF LANDSCAPING REQUIREMENTS:

REQUIREMENT REFERENCE	REQUIREMENT	QUANTITY	LANDSCAPE AREA REQUIRED	LANDSCAPE AREA PROVIDED	TREES REQUIRED	TREES PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
SECTION 10-6-4 E 1.a	1 TREE PER 40 LF OF STREET FRONTAGE	84 LF			2	2		
SECTION 10-6-4 E 7.b	15% GROSS SITE AREA LANDSCAPED	42,200 SF	6,330 SF	6,529 SF				
SECTION 10-6-4 E 7.c.1	1 TREE PER 1000 SF OF LS AREA OUTSIDE PARKING AND R.O.W. REQUIREMENT	6,529 SF			7	8		
SECTION 10-6-4 E 7.c.8	1 SHRUB PER 150 SF OF LS AREA OUTSIDE PARKING AND R.O.W. REQUIREMENT	6,529 SF					44	58
SECTION 10-6-4 G 10	1 TREE PER 150 SF OF SCREENING AREA	1,120SF			7	4	30	30
SECTION 10-6-4 E 8.a.1	1 TREE PER 15 PARKING SPACES	23			2	7		
SECTION 10-6-4 E 8.a.8	1 SHRUB PER PARKING SPACES	23					23	57
SECTION 10-6-2 C 6	1.5 TIMES THE CALIBER SIZE OF TREE BEING REMOVED W/ TREES OF MINIM 2" CALIBER	0						
TOTAL					11	21	95	145

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND THE LANDSCAPE LEGEND, THE PLANT MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.



11/23/16	07/28/16	COMMUNITY DEVELOPMENT - TOWN OF ERIE	REVISION	LOCK
2	1	TOWN REVIEW COMMENTS	DATE	
			DESCRIPTION	

UNCC
UNIVERSITY OF NORTHERN COLORADO

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PREPARED FOR: MIKE AMEND

SHEET TITLE: LANDSCAPING SCHEDULES

PROJECT NO.: 197.001

DATE: 05/10/2016

SCALE: AS SHOWN

SHEET NO. C9

SHEET 9 OF 10

LOT 8, AUSTIN INDUSTRIAL PARK

LONGS PEAK SPRINKLER, 460 JONES COURT

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M.

TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

0.97 ± ACRES

SITE PLAN - SP-000775-2016

SRU AREA - 0.97 ± ACRES - TOTAL AREA 0.97 ± ACRES

SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016



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SUBMITTED FOR:		
NO.	DATE	DESCRIPTION
11-23-2016		PER TOWN COMMENTS

Universe® Collection Medium LED – UCM

TYPE

ORDERING INFORMATION

1	2	3	4	5	6	7	8	9	10
UCM	ANG	T4-32LED	SK	700	DB	SCP	120-277		WMA20
MODEL	Hood	Distribution	CCT	Lumen Package	Finish	Options	Control	Voltage	Mounting

1. MODEL
UCM Universe medium without luminous element
 UCM-WND Universe medium with luminous window
 UCM-SR Universe medium with luminous solid rings
 UCM-VSL Universe medium with luminous vertical slots
 UCM-LUM Universe medium with luminous rings

2. HOOD (May choose one)
 FLR Flared hood
 FLR-ST5 Flared hood in natural brushed stainless steel
 FLR-COP Flared hood in natural brushed copper
ANG Angled hood
 ANG-ST5 Angled hood in natural brushed stainless steel
 ANG-COP Angled hood in natural brushed copper
 STR Straight hood
 STR-ST5 Straight hood in natural brushed stainless steel
 STR-COP Straight hood in natural brushed copper
 BEL Bell hood
 BEL-ST5 Bell hood in natural brushed stainless steel
 BEL-COP Bell hood in natural brushed copper
 SKB Skirted bell hood
 SKB-ST5 Skirted bell hood in natural brushed stainless steel
 SKB-COP Skirted bell hood in natural brushed copper

3. DISTRIBUTION
 MicroCore Precision aimed optics
 T2-32LED Type 2
 T3-32LED Type 3
T4-32LED Type 4
 T5-32LED Type 5
 TX-32LED Custom 1

4. COLOR TEMPERATURE
 3K 3000K
 400K 4000K
5K 5000K
 27K 2700K
 35K 3500K
 AM >60 nm monochromatic amber 1

5. LUMEN PACKAGE
700 71 watts
 450 48 watts
 XMA Custom wattage or drive current 1

6. FINISH
 WH Acrylic White
 BL Black
 BLT Matte Black
 DB Dark Bronze
 DGN Dark Green
 TT Titanium
 WDB Weathered Bronze
 MDB Bronze Metallic
 VBU Venetian Blue
 CRT Corten
 MAL Matte Aluminum
 MG Medium Gray
 AGN Antique Green
 LG Light Gray
 RAL Premium Color
 CLUSTOM * Contact Factory

7. OPTIONS (May choose as noted)
 FLD Flat clear glass lens 1
 SAG Sag clear glass lens 1
 HSS House Side shield for Type 4
 SLC Unit (luminous) element
 R80 80 CRI minimum 1
 BL Blue inner lens
 GRN Green inner lens

8. CONTROLS – (May choose as noted)
 WIR wIScape connectivity
 WIRSC wIScape connectivity, integral motion sensor
 SCP Integral photo-control and motion sensor 1
 SCPREMOTE Handheld commissioning tool 1

9. VOLTAGE
120-277 120-277 VAC input
 347 347 VAC input
 480 480 VAC input

POLE MOUNT
 SLA2 SLA3
 SLA4 SLA4-2
 SLA7 SLA7-2
 SLA7(S) SLA7(S)-2
 SLA8(S) SLA8(S)-2
 SLA9 SLA9
 SLA10 SLA10
 SLA10-2 SLA10-2
 SLA16 SLA16
 SLA16-2 SLA16-2
 SLA17 SLA17
 SLA17(S) SLA17(S)
 SLA18-2 SLA18-2
 SLA20 SLA20
 SLA20-2 SLA20-2
 SLA20A SLA20A
 SLA20B-2 SLA20B-2
 SLA20C-2 SLA20C-2
 SLA20D SLA20D
 SLA24 SLA24
 SLA24-2 SLA24-2
 SLA24(S) SLA24(S)
 TRA4 TRA4
 TRA7 TRA7
 TRA7-2 TRA7-2
 TRA8 TRA8
 TRA8-2 TRA8-2
 TRA9 TRA9

WALL MOUNT
 WMA4 WMA5
 WMA6 WMA6
 WMA8 WMA8
 WMA9 WMA9
 WMA10 WMA10
 WMA11 WMA11
 WMA12 WMA12
 WMA16 WMA16
 WMA18 WMA18
 WMA22 WMA22
 WMA24 WMA24
 WMA37 WMA37
 WMA39 WMA39

ARCHITECTURAL AREA LIGHTING
 16555 East Gale Ave. | City of Industry | CA 91745
 P 626-968-5666 | F 626-969-2695 | www.aal.net
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JOB TYPE
 NOTES: FULL CUT-OFF FIXTURE

Universe® Collection Medium LED – UCM

TYPE

FEATURES

- DLC qualified
- Up to 1000' wireless communication
- Motion sensing up to 40' mounting height
- Superior BUG ratings
- Types II, III, IV, V and custom distributions
- IP66, 3G vibration housing
- 20kV/10kA surge suppression
- 2700 – 5000K CCT
- >360 nm Amber
- Custom lumen packages
- Integral thermal protection
- 0-10V dimmable
- 13 standard powder coat finishes

SPECIFICATIONS

CONFIGURATION	UCM-ANG	UCM-WND-ANG	UCM-SR-ANG	UCM-VSL-ANG	UCM-LUM-ANG
DIAMETER	20.50mm	20.50mm	20.50mm	20.50mm	20.50mm
HEIGHT	14.7/27.3mm	20.5/52.0mm	21.7/52.6mm	20.5/52.1mm	20.6/52.0mm
WEIGHT	18.25 lbs/8.28kg	21.75 lbs/9.89kg	25.25 lbs/11.3kg	22.25 lbs/10.1kg	24.25 lbs/11.1kg
EPA	60	72	74	72	74

CONFIGURATION	UCM-BEL	UCM-WND-BEL	UCM-SR-BEL	UCM-VSL-BEL	UCM-LUM-BEL
DIAMETER	24.8/10mm	24.8/10mm	24.8/10mm	24.8/10mm	24.8/10mm
HEIGHT	19.8/40.1mm	21.6/45.3mm	21.6/45.3mm	19.8/40.1mm	21.6/45.3mm
WEIGHT	20.25 lbs/9.20kg	23.5 lbs/10.6kg	27 lbs/12.2kg	24.25 lbs/11.1kg	26 lbs/11.8kg
EPA	73	85	87	85	86

CONFIGURATION	UCM-FLR	UCM-WND-FLR	UCM-SR-FLR	UCM-VSL-FLR	UCM-LUM-FLR
DIAMETER	22.50mm	22.50mm	22.50mm	22.50mm	22.50mm
HEIGHT	14.5/28.9mm	19.8/50.0mm	20.1/51.0mm	19.8/50.0mm	20.20mm
WEIGHT	18.5 lbs/8.4kg	21.75 lbs/9.87kg	25.25 lbs/11.5kg	21.75 lbs/9.8kg	24.25 lbs/11.1kg
EPA	53	65	67	65	67

CONFIGURATION	UCM-STR	UCM-WND-STR	UCM-SR-STR	UCM-VSL-STR	UCM-LUM-STR
DIAMETER	24.8/10mm	24.8/10mm	24.8/10mm	24.8/10mm	24.8/10mm
HEIGHT	14.5/28.9mm	19.8/50.0mm	20.1/51.0mm	19.8/50.0mm	20.20mm
WEIGHT	20 lbs/9.07kg	23.25 lbs/10.58kg	26.75 lbs/12.13kg	23.75 lbs/10.77kg	25.75 lbs/11.68kg
EPA	59	71	73	71	73

CONFIGURATION	UCM-SKB	UCM-WND-SKB	UCM-SR-SKB	UCM-VSL-SKB	UCM-LUM-SKB
DIAMETER	24.8/10mm	24.8/10mm	24.8/10mm	24.8/10mm	24.8/10mm
HEIGHT	19.7/50.0mm	23.9/60.7mm	24.7/61.5mm	23.9/60.7mm	24.7/61.5mm
WEIGHT	20.5 lbs/9.29kg	23.75 lbs/10.77kg	27 lbs/12.2kg	24.25 lbs/11.1kg	26.25 lbs/11.9kg
EPA	90	103	105	103	105

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Universe® Collection Medium LED – UCM

TYPE

LUMINAIRE PERFORMANCE

Optical System	Secondary Lens or Shield	Distribution	Light Engine	3K				5K				Drive Current (mA)	System Watts		
				Delivered Lumens	Efficacy (lm/W)	BUG Rating	Beam Spread	Delivered Lumens	Efficacy (lm/W)	BUG Rating	Beam Spread				
MicroCore	No Lens (Standard)	TYPE 2	T2-32LED	6186	87	1.0	2.2	6561	92	1.0	2.2	6570	92	810	71
		TYPE 3	T3-32LED	6188	87	1.0	2.2	6542	92	1.0	2.2	6550	92	810	71
		TYPE 4	T4-32LED	6381	86	1.0	2.2	6449	91	1.0	2.2	6467	91	810	71
		TYPE 5	T5-32LED	6227	88	3.0	2.2	6556	93	3.0	2.2	6626	93	810	71
		TYPE 6	T6-32LED--HSS	4485	63	0.0	2.2	4768	87	0.0	2.2	4791	87	810	71
MicroCore	House Side Shield	TYPE 2	T2-32LED	4627	86	1.0	2.2	4630	103	2.0	2.2	4844	101	450	47
		TYPE 3	T3-32LED	4570	85	1.0	2.2	4791	100	1.0	2.2	4855	101	450	47
		TYPE 4	T4-32LED	4570	97	1.0	2.2	4791	102	1.0	2.2	4855	100	450	47
		TYPE 5	T5-32LED	4602	98	3.0	2.2	4825	103	3.0	2.2	4839	103	450	47
		TYPE 6	T6-32LED--HSS	3366	72	0.0	2.2	3529	75	0.0	2.2	3539	74	450	47

SENSOR DETECTION RANGE

COVERAGE	SENSOR MOUNTING HEIGHT												RATIO
	8'	10'	12'	14'	16'	18'	20'	25'	30'	35'	40'	12.5'	
SCP	22	25	30	35	40	45	50	55	60	65	70	75	
WIRSC	16	20	24	28	32	36	40	N/A	N/A	N/A	N/A	1.2	

LED COLOR

Ordering Code	CCT		
	3K	4K	5K
3K	3000	4000	5000
CR Minimum	70	70	70
SP Ratio	1.2	1.5	1.8

Consult factory for Amber, Turtle Friendly, Gull Coast and Observatory applications.

TM-21 LIFETIME CALCULATION

Optical System	Ordering Code	Ambient Environment °C	Projected Lumen Maintenance (% vs. Xhrs)							Reported L70
			15	25	50	60	100			
MicroCore	32LED	15	98	98	97	96	94			
		25	98	97	96	96	93			
		50	96	95	93	92	89			
		60	96	95	93	92	89			

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ELECTRICAL CHARACTERISTICS

Optical System	Ordering Code	LED Drive mA	System Drive mA	Line Voltage VAC	Amps AC	Min. Power Factor	Max THD (%)	Operating Temp. Range	Dimming Range	Source current out of 0-10V purple wire		Absolute voltage range on 0-10V purple wire	
										Min	Max	Min	Max
MicroCore	Without Luminous Element	700	650	71	220	0.6	0.3	0.2	0.1	0.1	0.1	0.1	
	WND/SR/VSL/LUM	450	450	47	220	0.6	0.3	0.2	0.1	0.1	0.1	0.1	
	WND/SR/VSL/LUM	450	450	51	220	0.4	0.2	0.1	0.1	0.1	0.1	0.1	

SENSOR DETECTION RANGE

COVERAGE	SENSOR MOUNTING HEIGHT												RATIO
	8'	10'	12'	14'	16'	18'	20'	25'	30'	35'	40'	12.5'	
SCP	22	25	30	35	40	45	50	55	60	65	70	75	
WIRSC	16	20	24	28	32	36	40	N/A	N/A	N/A	N/A	1.2	

LED COLOR

Ordering Code	CCT		
	3K	4K	5K
3K	3000	4000	5000
CR Minimum	70	70	70
SP Ratio	1.2	1.5	1.8

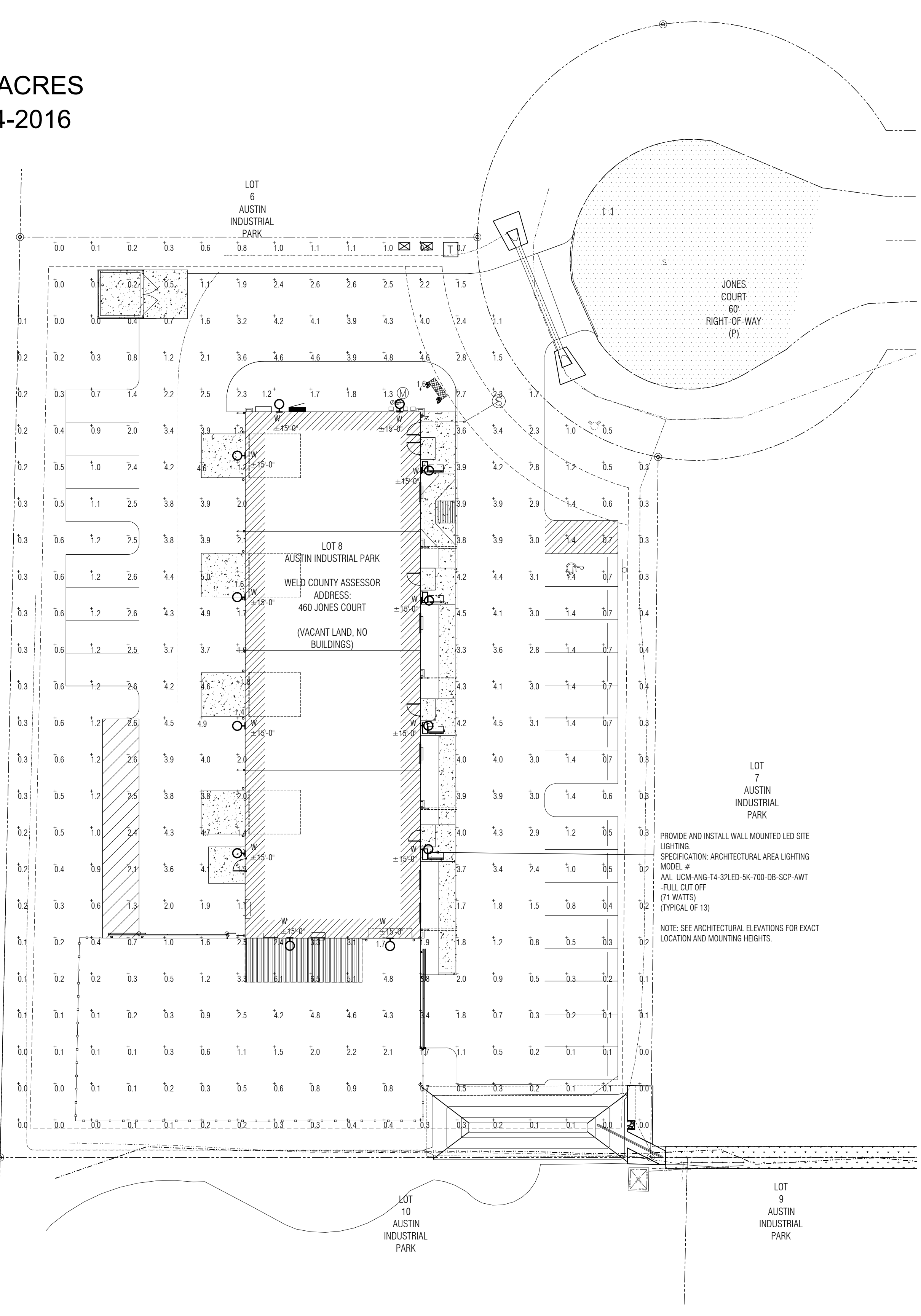
Consult factory for Amber, Turtle Friendly, Gull Coast and Observatory applications.

TM-21 LIFETIME CALCULATION

Optical System	Ordering Code	Ambient Environment °C	Projected Lumen Maintenance (% vs. Xhrs)							Reported L70
			15	25	50	60	100			
MicroCore	32LED	15	98	98	97	96	94			
		25	98	97	96	96	93			
		50	96	95	93	92	89			
		60	96	95	93	92	89			

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ELECTRICAL PHOTOMETRIC SITE PLAN

SCALE: 1" = 20'

Luminaire Schedule

Symbol	Label	Total Lamp Lumens	LLF	Description
W	W	N.A.	0.900	AAL UCM-ANG-T4-32LED-SK-700-DB-SCP-AWT

Calculation Summary

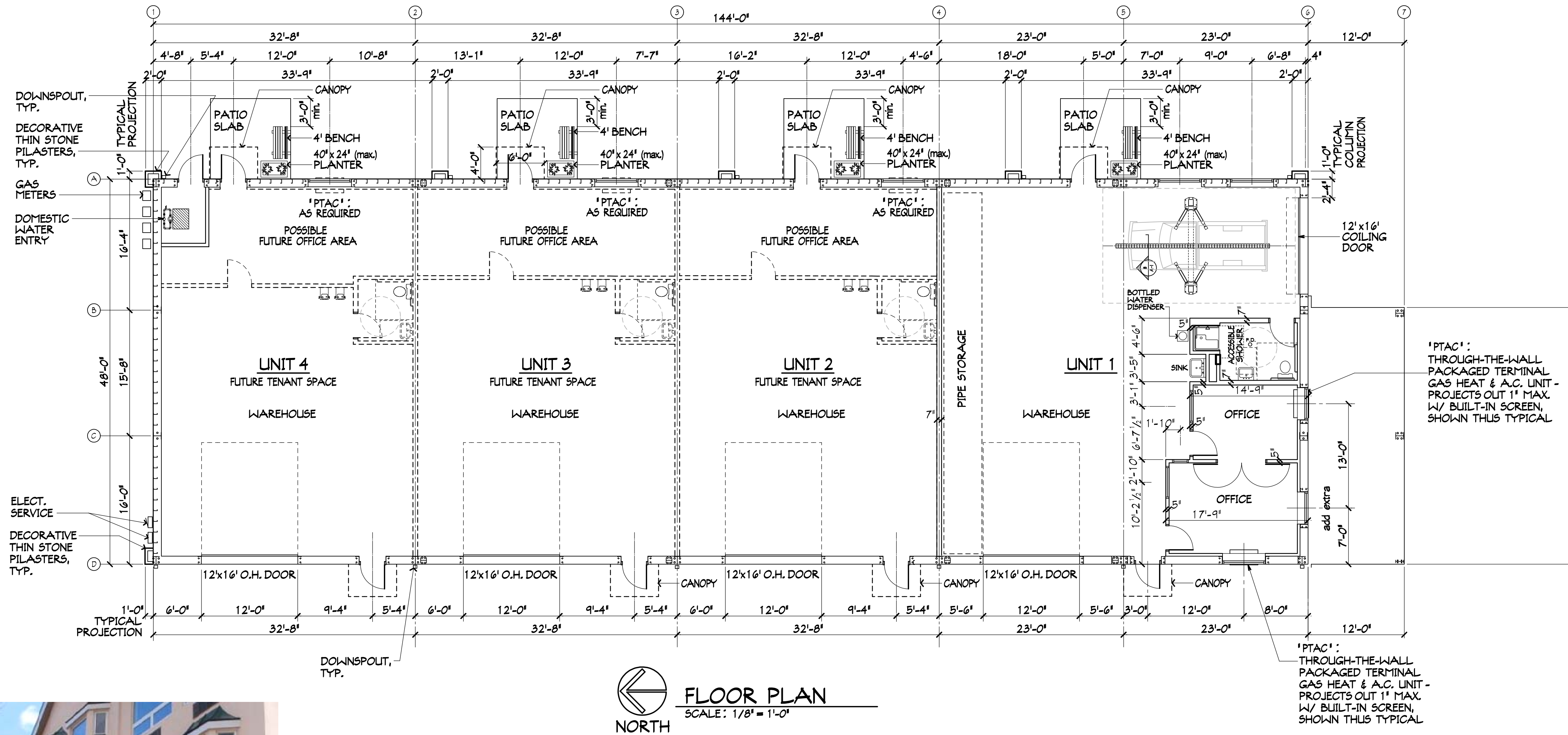
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground_Planar	Planar	Illuminance	Fc	1.67	6.5	0.0	N.A.

LONGS PEAK SPRINKLER
460 JONES COURT
ERIE, COLORADO

LOT 8, AUSTIN INDUSTRIAL PARK

LONGS PEAK SPRINKLER, 460 JONES COURT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M.
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

0.97± ACRES
 SITE PLAN - SP - 000775-2016
 SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES
 SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016



EXAMPLE - PACKAGED TERMINAL GAS HEAT & AC UNIT (can be added as required)

 NORTH
FLOOR PLAN
 SCALE: 1/8" = 1'-0"

CHESLEY ALEXANDER - ARCHITECT
 13719 WEST 59th DRIVE
 ARVADA, COLORADO 80004
 PHONE: (303) 988-9482

OFFICE/WAREHOUSE
LONGS PEAK SPRINKLER
 460 JONES COURT
 ERIE, COLORADO

DESIGNED: CDA
 DRAWN: CDA
 CHECKED: CDA
 DATE: 08/23/16

REVISIONS:

FIRESTONE INFORMATION BLOCK	
FLOOR PLAN SHEET	
Name of Submittal:	Longs Peak Sprinkler
Type of Submittal:	SPECIAL REVIEW USE
Filing Number:	
Preparation Date:	5/10/2016
Revisions Date:	7/28/16 TOWN REVIEW COMMENTS
Revisions Date:	12/9/16 TOWN REVIEW COMMENTS
Revisions Date:	
SHEET 11 of 13	

PROJECT: 16293

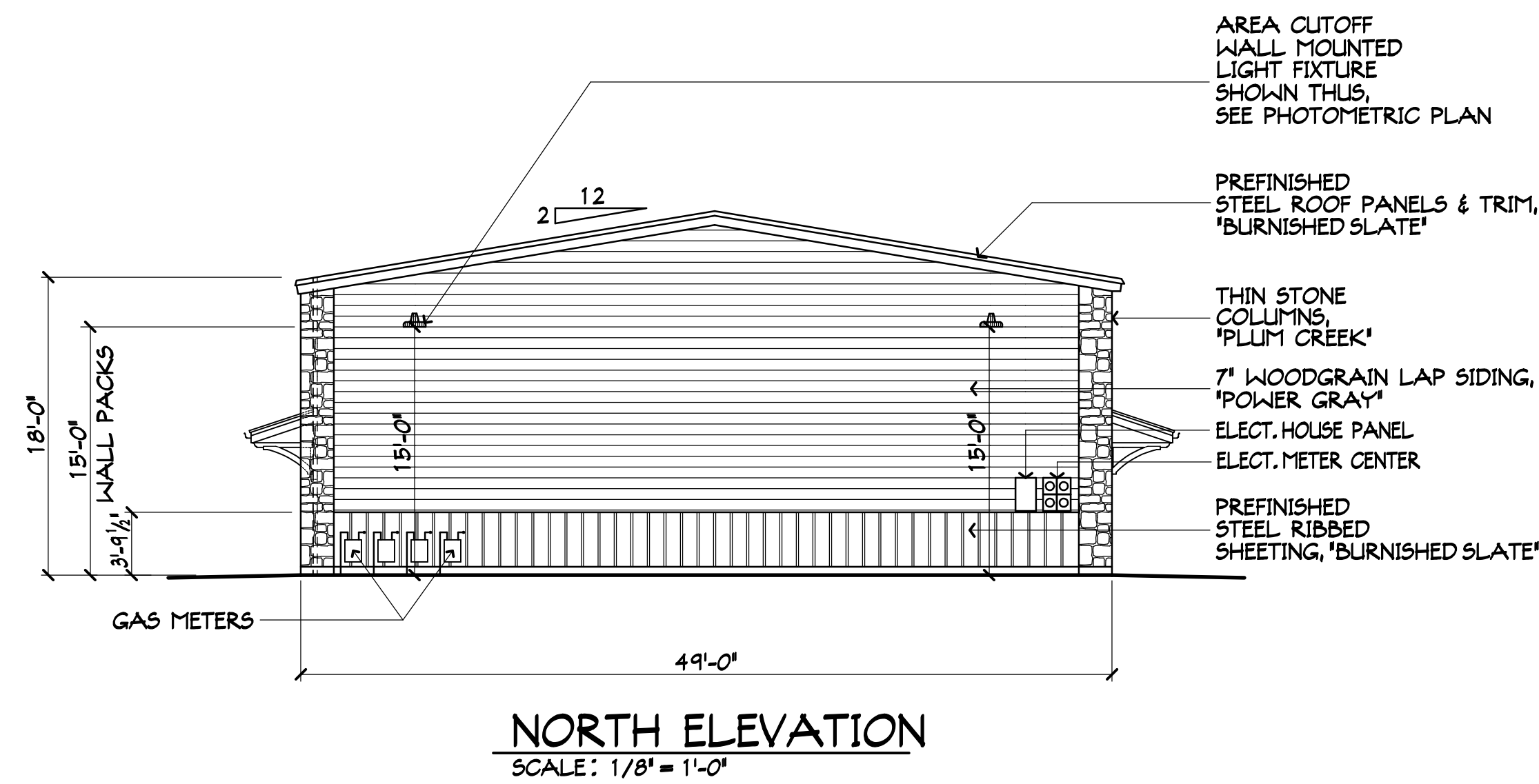
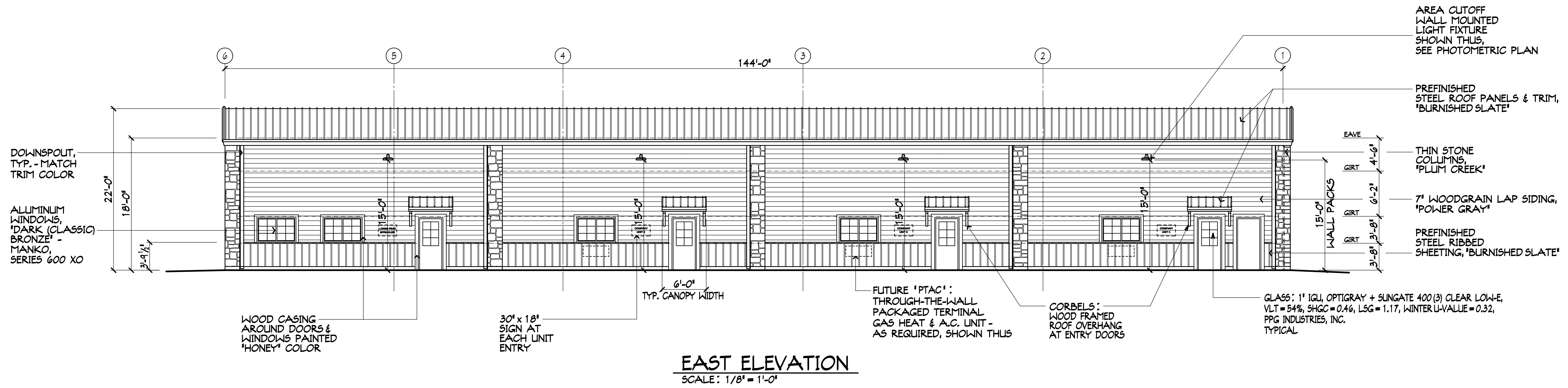
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A-1

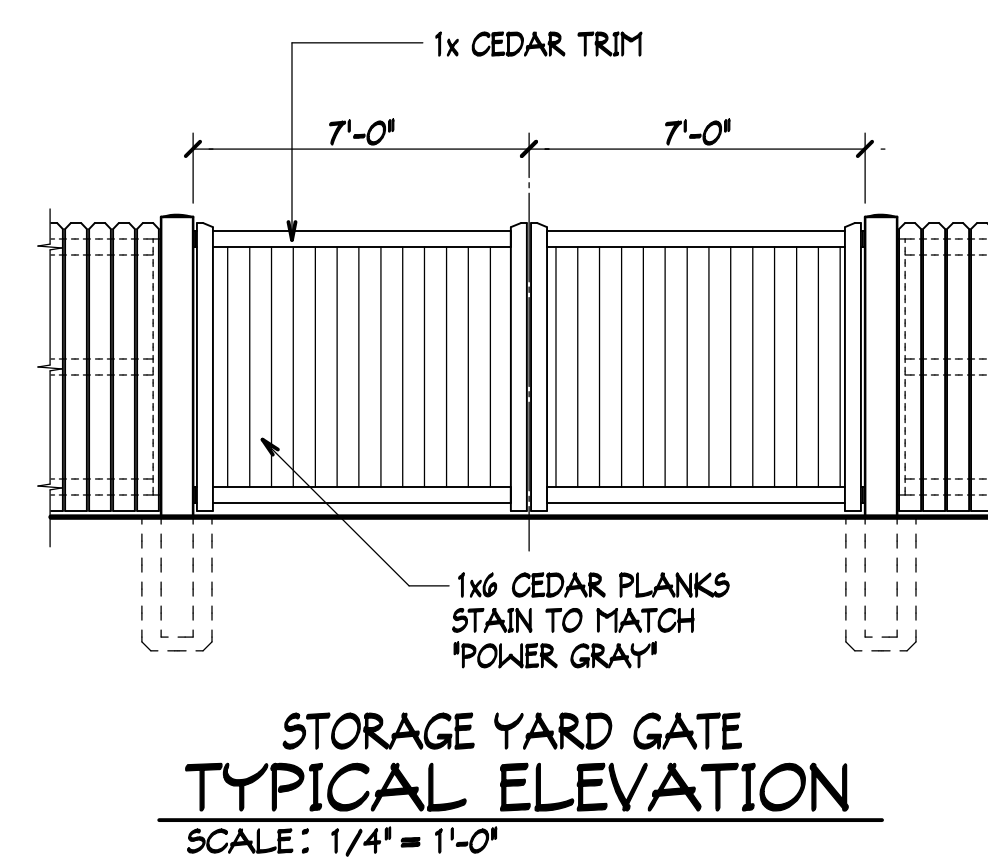
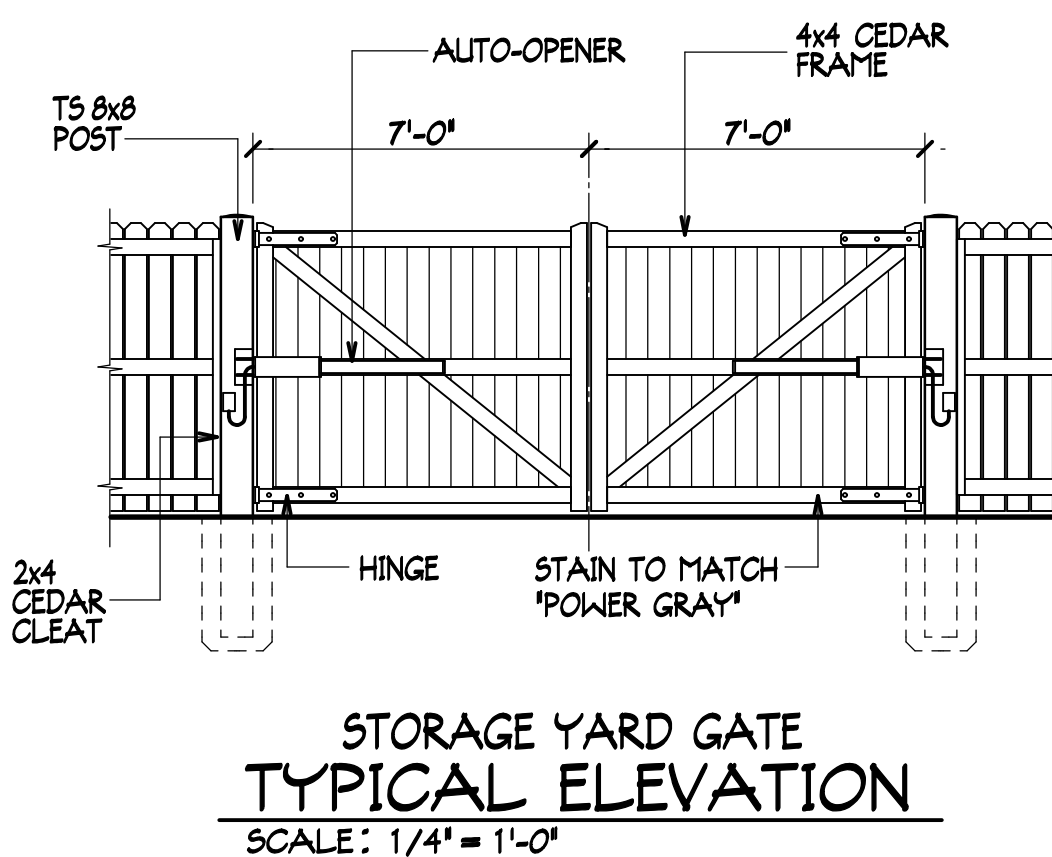
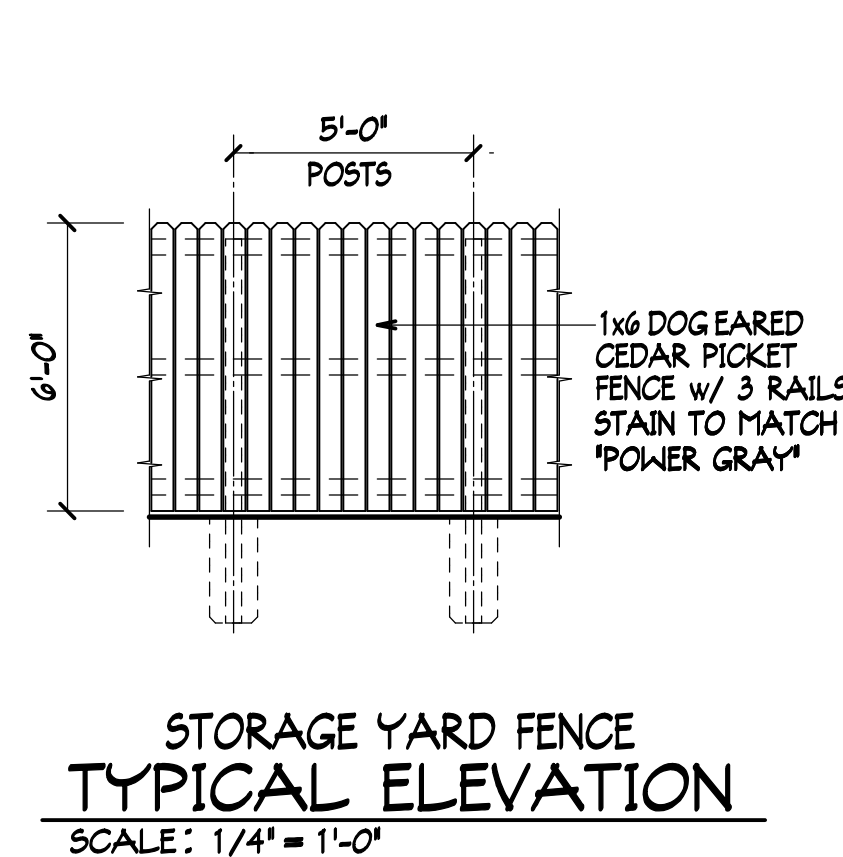
SHEET 11 OF 13

LOT 8, AUSTIN INDUSTRIAL PARK

LONGS PEAK SPRINKLER, 460 JONES COURT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M.
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
 0.97 ± ACRES
 SITE PLAN - SP - 000775-2016
 SRU AREA - 0.97 ± ACRES - TOTAL AREA 0.97 ± ACRES
 SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016



THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREON ARE INTENDED TO DEMONSTRATE HOW ALL HVAC AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED ACCORDING TO TOWN OF ERIE, UNIFIED DEVELOPMENT CODE REQUIREMENTS. IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE THAT THIS APPROVED SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE APPROVED SCREENING MAY RESULT IN DELAY OF FINAL INSPECTIONS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



CHESLEY ALEXANDER - ARCHITECT
 13719 WEST 59th DRIVE
 ARVADA, COLORADO 80004
 PHONE: (303) 988-9482

OFFICE/WAREHOUSE
 LONGS PEAK SPRINKLER
 460 JONES COURT
 ERIE, COLORADO

DESIGNED: CDA
 DRAWN: CDA
 CHECKED: CDA
 DATE: 08/23/16

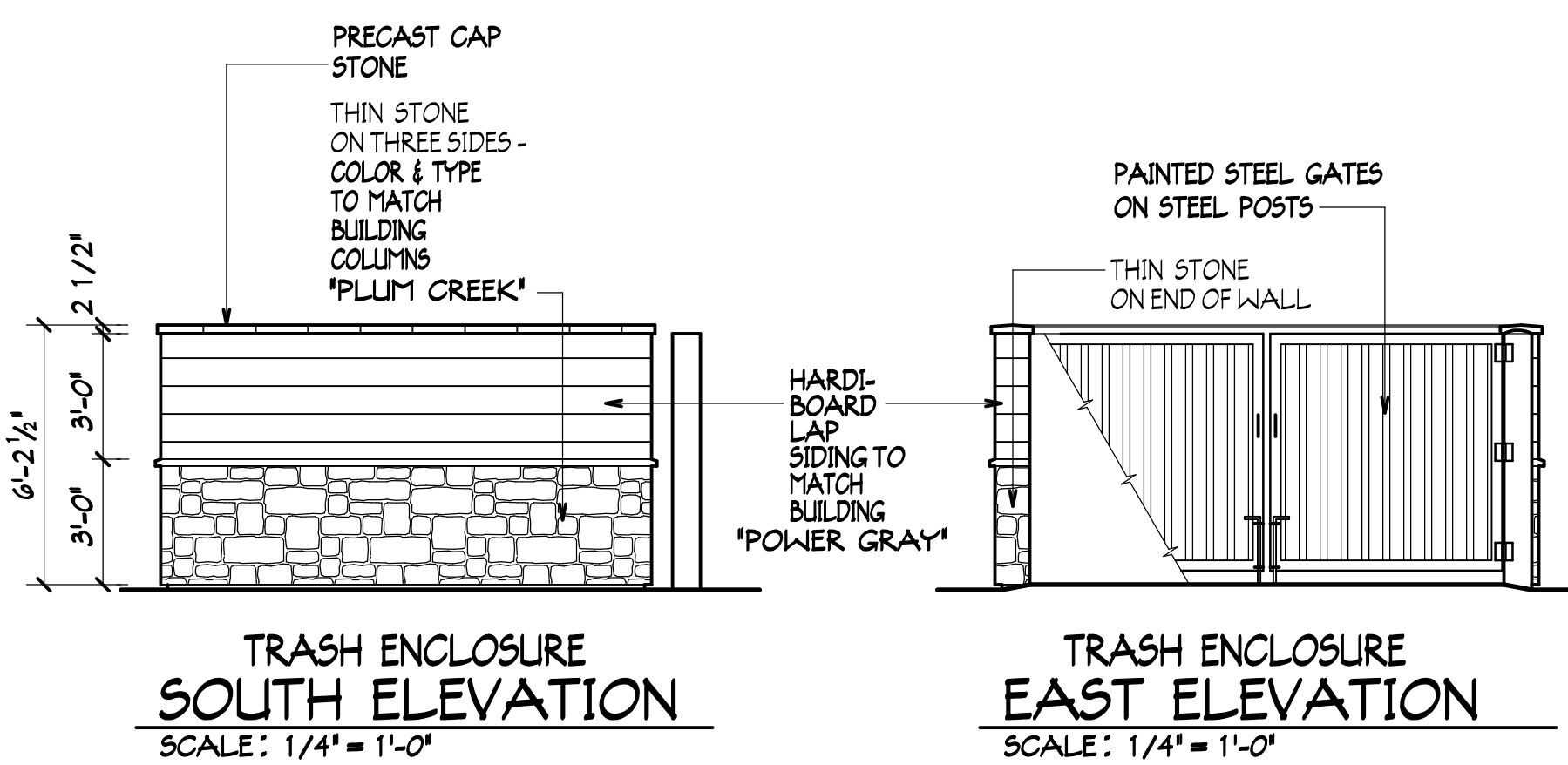
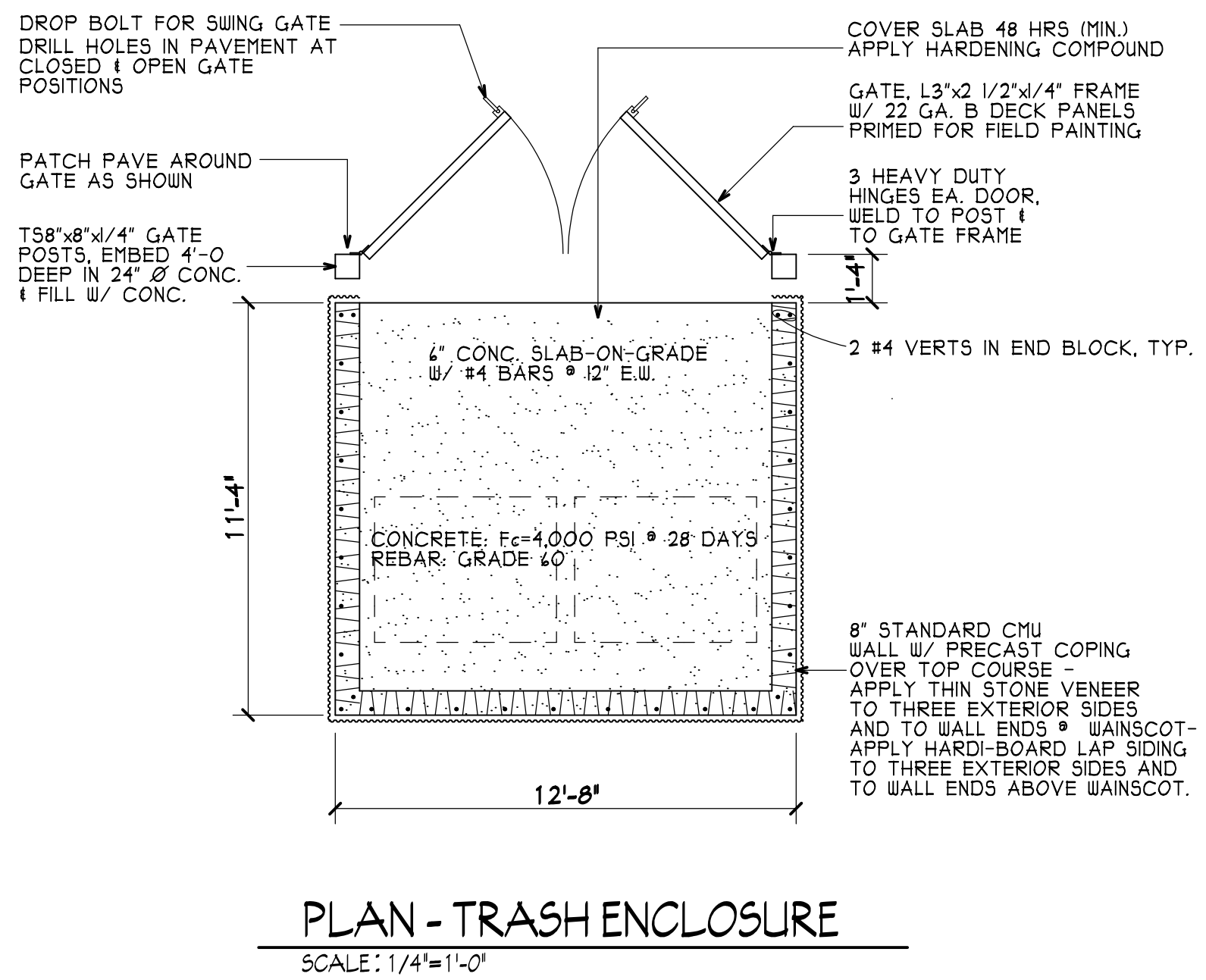
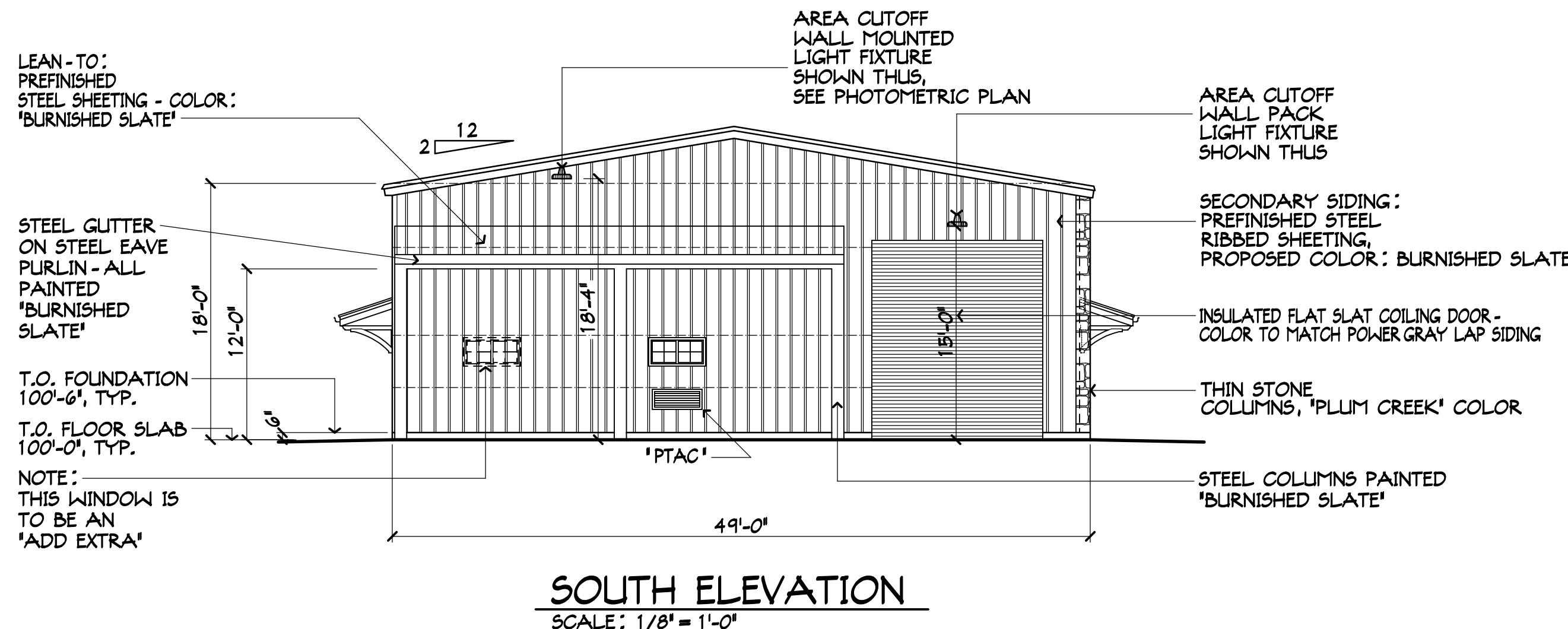
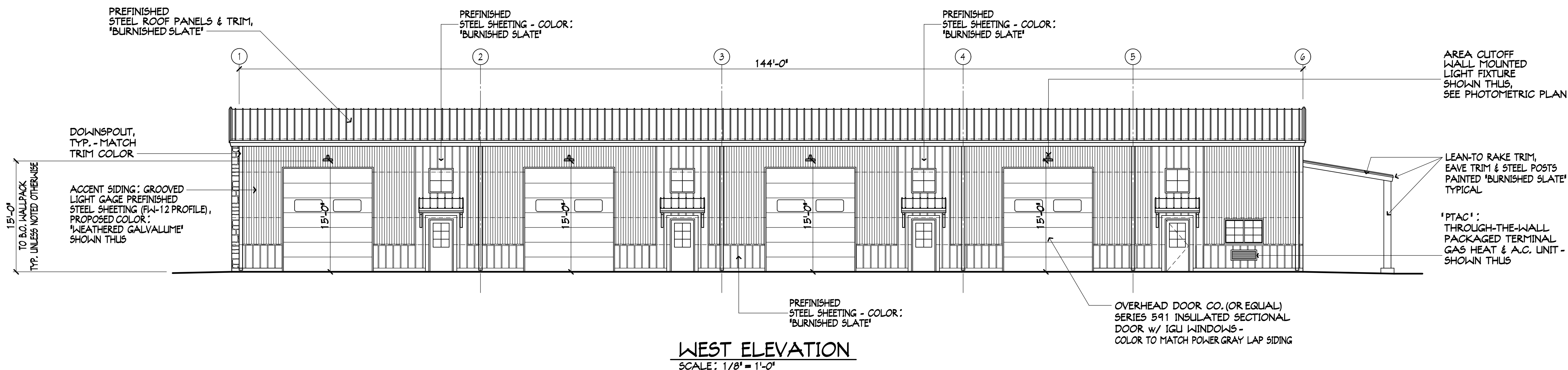
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ELEVATIONS SHEET	
Name of Submittal:	Longs Peak Sprinkler
Type of Submittal:	SPECIAL REVIEW USE
Filing Number:	
Preparation Date:	5/10/2016
Revisions Date:	7/28/16 TOWN REVIEW COMMENTS
Revisions Date:	12/30/16 TOWN REVIEW COMMENTS
Revisions Date:	
SHEET	12 of 13

PROJECT: 16293
 DRAWING
A-2
 SHEET 12 OF 13

CHESLEY ALEXANDER C:\D:\a\CAD\Drawings\12193 - Longs Peak

LOT 8, AUSTIN INDUSTRIAL PARK

LONGS PEAK SPRINKLER, 460 JONES COURT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M.
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
 0.97± ACRES
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 SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES
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Revisions Date:	

PROJECT: 16293
 DRAWING
A-3
 SHEET 3 OF 6

CHESLEY ALEXANDER C:\data\CADD\Drawings\16293-LongsPeak