



The Town of Erie
645 Holbrook St.
P.O. Box 750
Erie, CO 80516
(303) 926-2774
smoeller@erieco.gov

Planning & Development Planning

Memo

To: Dennis Dreeszen, Troy Kirschman
From: Chris LaRue, Senior Planner
Date: January 27, 2021
Re: SP-001187-2020: Vista Ridge Filing No. 6, 2nd Amendment, Lot 5 – Vista Ridge Auto Wash
SRU-001186-2020 – Special Review Use for the Auto Wash
cc: Fred Starr; Deborah Bachelder; David Pasic; Chad Schroeder; Luke Bolinger; Darren
Champion

Town staff has reviewed the SP-001187-2020 & SRU-001186-2020: Site Plan & Special Review Use for the Vista Ridge Filing No. 6, 2nd Amendment Lot 5 applications for conformance with Municipal Code, Title 10 at the January 21, 2021 Development Review Team meeting. A list of the Town staff that have commented and referral agencies that have responded are listed below. Referral comments received by the Town after the date of this memo shall be forwarded on to the applicant.

The next step for the application is revision and resubmittal for another referral and Development Review Team review. Please make the appropriate revisions to the application materials and provide written response to address each written comment from the Town staff and referral agencies.

Paper Copies:

- 2 Paper Copies of revised plans – internally distributed to: Parks, Engineering

Digital Copies (Request an upload link from Melinda Helmer, mhelmer@erieco.gov, in advance of a resubmittal):

- 1 Digital Copy of written response and all resubmittal documents. Digital copies will be distributed to the following referral agencies:
 1. Town of Erie – internally distributed to: Planning, Engineering, Stormwater, & Parks and Rec
 2. CGS
 3. FAA
 4. Merrick
 5. Mountain View Fire
 6. United Power
 7. Vector Air
 8. Vista Ridge Metropolitan District
- The following agencies provided comments that do not require an additional referral:
 1. CDOT

- 2. RTD
- 3. Xcel
- The following agencies did not provide comments:
 - 1. Century Link
 - 2. City & County of Broomfield
 - 3. Comcast
 - 4. Erie Airpark HOA
 - 5. FHU
 - 6. RTD
 - 7. Vista Ridge HOA
 - 8. Vista Ridge Commercial District Association

Planning Comments

GENERAL

- 1. A neighborhood meeting is required to be held prior to scheduling of the Site Plan and Special Review Use for Planning Commission and Board of Trustees hearings.

Please reference the Town of Erie Unified Development Code (UDC) section 10.7.2.D for neighborhood meeting specifics. You can find this section by following the below link and searching for the noted section:

<https://www.erieco.gov/DocumentCenter/View/351/Unified-Development-Code-UDC?bidId=>

Some general information:

- You, as the applicant, are responsible for mailing the notices & posting the property.
- The Town of Erie will provide the signage.
- Per the UDC, postings and mailings have to occur a minimum of 15 days prior to the meeting.
- The notice of the public meeting should be sent out to property owners within 500 feet of the outer boundary of the land subject to the application.
- Meetings should be planned to maximize the potential for attendance.

Site Plan

- 2. Refer to planning redlines on the Final Plat (**attached**) for revisions to sheets.
- 3. Please address and incorporate all referral comments.

INFORMATIONAL COMMENTS

The following comments are informational in nature and do not require a response at this time:

- 1. Special Review Use/Site plan Process: At the time that the Site Plan and SRU and associated documents are acceptable to staff, the Site Plan & SRU shall be placed on the next available Planning Commission and Board of Trustees meetings as public hearings. Prior to the PC meeting, the applicant shall be responsible for providing all items requested by staff including executed mylars and development agreement (if applicable). After approval by BOT, the Site Plan shall be signed and kept on file.

The review process is a cumulative process and dependent on various criteria. We reserve the right to provide further comment(s) and request additional information. Please contact me at 303-926-2776 or clarue@erieco.gov for further clarification. Staff is happy to schedule a virtual meeting to discuss the comments.

Sincerely,

Christopher C. LaRue
Senior Planner

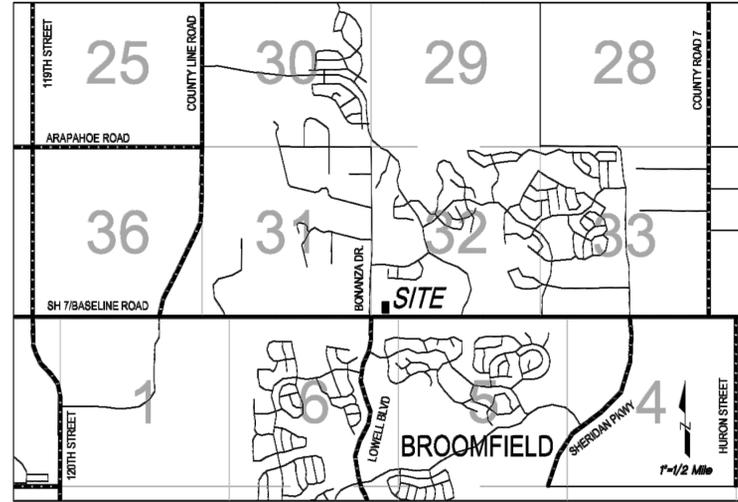
ATTACHMENTS:

1. Staff Memos:
2. Redlines
3. Referral Comments

VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
SRU AREA - 0.83 ACRES - TOTAL AREA 0.83 ACRES
SITE PLAN - SP-001187-2020
(SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)

GENERAL NOTES: ← If there are no general notes, remove this heading.



SHEET INDEX

- 1 COVER SHEET
- 2 SITE PLAN
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- 4 LANDSCAPE DETAILS
- 5 UTILITY PLAN
- 6 GRADING AND DRAINAGE PLAN
- 7 PHOTOMETRIC PLAN
- 8 LIGHT FIXTURE CUT SHEETS
- 9 SITE DETAILS
- 10 EXTERIOR ELEVATIONS

SITE DATA TABLE		
ZONE DISTRICT - PD COMMERCIAL		
SITE ADDRESS	TBD	← 530 Commons Drive
ITEM	SQUARE FOOTAGE	% OF GROSS SITE AREA
GROSS SITE AREA	36,305	100
BUILDING FOOTPRINT	4,362	12.0
PARKING/ROADS (INCLUDING PLANTED INTERIOR PARKING ISLANDS)	17,758	48.9
HARDSCAPE TOTAL	22,120	60.9
PLANTED AREA (EXCLUDING PLANTED INTERIOR PARKING ISLANDS)	13,317	36.7
EXISTING VEGETATION	0	0
TRAILS AND SIDEWALKS	868	2.4
LANDSCAPE TOTAL	14,185	39.1
OFF-STREET PARKING	REQUIRED	PROVIDED
REGULAR SPACES	REFER TO SUPPLEMENT PARKING ANALYSIS FOR REQUIRED AND PROVIDED PARKING SPACES	
HANDICAP SPACES	1	1

This is inconsistent with page 2 which lists it as 4,392 sq. ft.

Inconsistent with page 3

A Supplement parking analysis was not provided with the submittal documents. The Town will need to review this document to determine if the parking is sufficient. Per the UDC, it does not appear the parking requirement is met. UDC states 4 per bay plus stacking.

Narrative should be updated regarding the parking. It states there are 9 vacuum spaces & 2 additional spaces (11 total). There are 6 vacuum spaces, 2 pet wash spaces, & 1 handicap person space (9 total). Also remove the statements about outside storage and loading areas. A loading area is not required because the building is under 7,000 sq. ft. and outdoor storage will not be utilized.

LEGAL DESCRIPTION:

LOT 5, VISTA RIDGE FILING NO. 6, 2ND AMENDMENT

SITE PLAN APPROVAL CERTIFICATE Place a box around this certificate

THIS SITE PLAN HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORDANCE WITH APPLICABLE TOWN OF ERIE REGULATIONS.

DIRECTOR OF PLANNING & DEVELOPMENT _____ DATE _____

Add Planning Commission Chair signature line. Remove Planning Director line.

BOARD OF TRUSTEES MAYOR _____ DATE _____

the undersigned as the owner or owner's representative of the lands described herein, hereby agrees on behalf of himself/herself, their heirs, successors, and assigns to develop and maintain the property described hereon in accordance with this approved Site Plan and in compliance with the Town of Erie Unified Development Code and Municipal Code.

OWNER _____ OWNER PRINTED NAME _____

Acknowledged before me this _____ day of _____, 20____, by _____ as _____.

Witness my hand and official seal

Notary Public _____ (seal)

My commission expires: _____

AMENDMENTS

PROJECT CONTACTS:

APPLICANT AUTOWASH, L.L.P. ATTN: SKYLAR 2033 CENTRAL PARK BLVD. DENVER, CO 80228 PHONE: (303) 514-0905 CONTACT: DENNIS DREESZEN dennisdreeszen@hotmail.com	OWNER BONANZA DRIVE DEVELOPMENT CORPORATION 9750 CAMBRIDGE ST. LITTLETON, CO 80127 (303) 920-9490 jpehalski@marathon.com	ARCHITECT HOVER ARCHITECTURE 8999 S. LINCOLN ST., SUITE 201 LITTLETON, CO 80122 CONTACT: TROY KIRSCHMAN PHONE: (303) 773-2961 jkirschman@hoverarchitecture.com	CIVIL ENGINEER KELLY DEVELOPMENT SERVICES 3931 SCRUB OAK LANE LONE TREE, CO 80124 CONTACT: GREG KELLY PHONE: (303) 988-4338 greg@kellydev.com	LANDSCAPE ARCHITECT JUMP DESIGN 1733 S. CLARKSON ST. DENVER, CO 80104 CONTACT: TOM JUMP PHONE: (303) 282-0463 tom@jumppdesign.com
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DATE OF ISSUE: 11-03-20
SCALE: N.A.
DRAWN BY: AT
CHECKED BY: AT

H O V E R
ARCHITECTURE
8089 S. LINCOLN STREET
SUITE 201
LITTLETON, CO 80122
(720) 773-2801

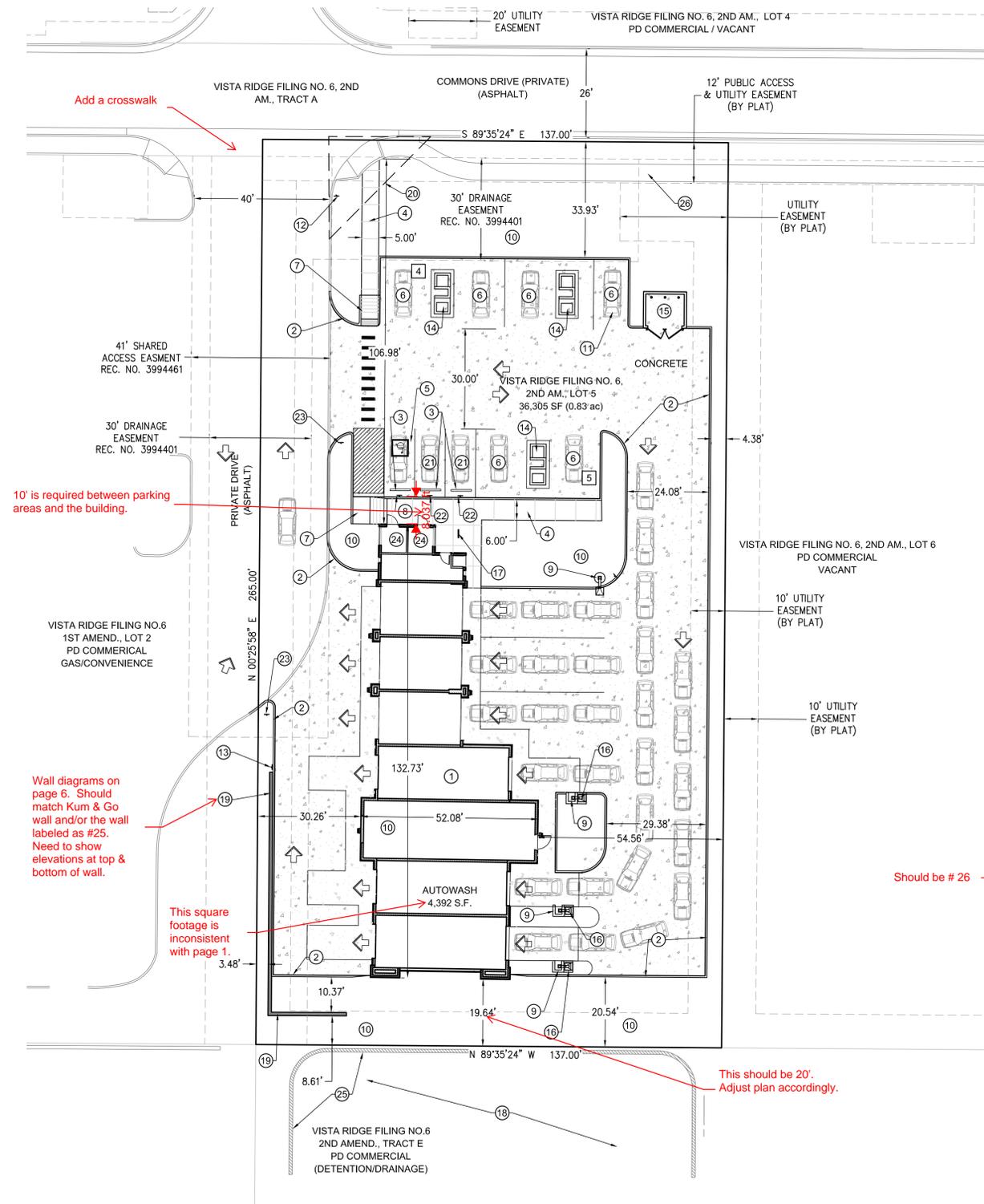
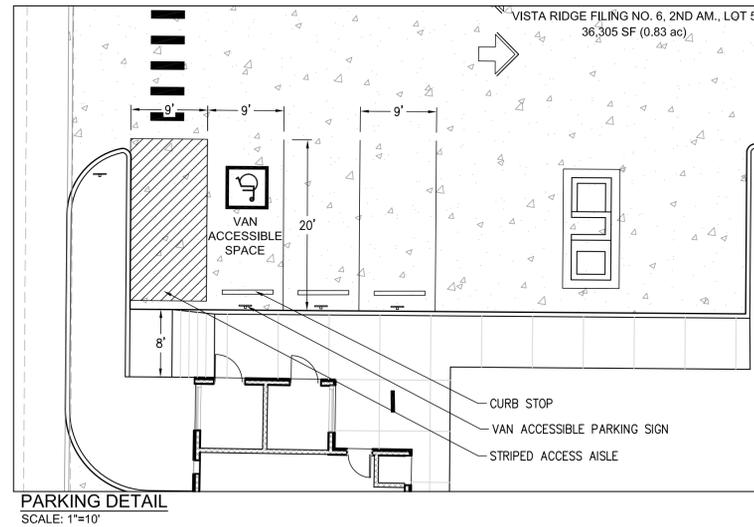
SHEET

1 OF 10

COVER SHEET

VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
SRU AREA - 0.83 ACRES - TOTAL AREA 0.83 ACRES
SITE PLAN - SP-001187-2020
(SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)



PROJECT BASIS OF BEARING:
BEARINGS ARE BASED ON THE WESTERLY LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32 BEING N00°15'14"E, 1321.02 FEET BETWEEN THE SOUTHWEST CORNER OF SECTION 32 (2.5" ALUMINUM CAP, ILLEGIBLE) AND THE SOUTH SIXTEENTH CORNER OF SECTIONS 31 AND 32 (2" ALUMINUM CAP, LS 14083).

BENCHMARK:
SE CORNER OF VISTA RIDGE FILING NO. 6 FIRST AMENDMENT, LOT 2 ON 1" PLASTIC CAP MARKED PLS 37990 SET ON 18" #4 REBAR. ELEVATION=5179.46' (NGVD29 DATUM)

SITE PLAN KEYNOTES

- ① BUILDING
- ② 6" CURB AND GUTTER
- ③ CONCRETE CURB STOP
- ④ SIDEWALK
- ⑤ 12' x 19' HANDICAP PARKING STALL
- ⑥ VACUUM PARKING STALL
- ⑦ HANDICAP ACCESSIBLE RAMP
- ⑧ HANDICAP VAN ACCESSIBLE POLE-MOUNTED SIGN
- ⑨ POLE-MOUNTED LIGHT
- ⑩ LANDSCAPE AREA
- ⑪ EMPLOYEE PARKING STALL
- ⑫ STOP SIGN
- ⑬ FIRE LANE - NO PARKING SIGN
- ⑭ VACUUM ISLAND AND TRASH CAN
- ⑮ TRASH ENCLOSURE
- ⑯ AUTOMATED PAY STATION
- ⑰ BIKE RACK
- ⑱ EXISTING DETENTION/WATER QUALITY FACILITY
- ⑲ DRY STACK BLOCK RETAINING WALL
- ⑳ 30' LANDSCAPE TRIANGLE
- ㉑ DOG WASH PARKING SPACE
- ㉒ "DOG WASH ONLY" PARKING SIGN
- ㉓ "DO NOT ENTER" SIGN
- ㉔ DOG WASH
- ㉕ OFFSITE RETAINING WALL (BY OTHERS)
- ㉖ SIDEWALK (BY OTHERS)
- ⑤ STALL COUNT

Add a crosswalk

10' is required between parking areas and the building.

Wall diagrams on page 6. Should match Kum & Go wall and/or the wall labeled as #25. Need to show elevations at top & bottom of wall.

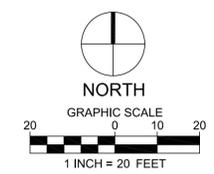
This square footage is inconsistent with page 1.

This should be 20'. Adjust plan accordingly.

Where is this on the plan? An employee space should be provided.

Should be # 26

What is the timing of the installation of this sidewalk?



DATE OF ISSUE: 11-03-20
SCALE: 1"=20'
DRAWN BY: AT
CHECKED BY: AT

H O V E R
ARCHITECTURE
8089 S. LINCOLN STREET
SUITE 201
LITTLETON, CO 80122
(720) 773-2801

SHEET

2 OF 10

SITE PLAN

VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE



A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
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SRU AREA - .83 ACRES - TOTAL AREA .83 ACRES
SITE PLAN - SP-001187-2020
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NOTES

1. ALL WORK SHALL CONFORM TO THE TOWN OF ERIE, STATE AND ALL APPLICABLE CODES AND REGULATIONS.
2. CONTACT APPROPRIATE UTILITY LOCATORS TO LOCATE ALL BURIED UTILITY LINES. FIELD-VERIFY EXISTING LOCATIONS, GRADES, AND CONDITIONS OF ALL BURIED LINES AND STRUCTURES PRIOR TO BEGINNING CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS. DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED AT HIS OWN COST WITH NO EXPENSE TO THE OWNER.
3. REFER TO THE CONSTRUCTION PLAN SET FOR RELATED PLAN INFORMATION INCLUDING ARCHITECTURAL, ENGINEERING AND ELECTRICAL DRAWINGS. ANY DISCREPANCIES THAT AFFECT THIS WORK MUST BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. IF DISCREPANCIES EXIST DO NOT PROCEED WITH CONSTRUCTION ACTIVITIES WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.
4. FIELD-VERIFY THE LOCATION OF ALL PERTINENT EXISTING & ALREADY CONSTRUCTED SITE IMPROVEMENTS PRIOR TO BEGINNING WORK. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THE INFORMATION SHOWN ON THESE PLANS.

5. REFER TO GRADING AND DRAINAGE DRAWINGS DONE BY OTHER CONSULTANTS FOR GRADES AND ELEVATIONS.

6. COORDINATE LOCATION OF IRRIGATION SLEEVING FOR INSTALLATION PRIOR TO PARKING AND WALK PAVING OPERATIONS. SEE IRRIGATION PLANS.

FINE GRADING / PREPARATION NOTES

7. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING. COORDINATE WITH GENERAL CONTRACTOR. THE TOP 4" OF LANDSCAPE AREAS SHALL BE EXISTING OR IMPORTED TOPSOIL AS NECESSARY.

8. ROUGH GRADES MUST BE REVIEWED AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO FINE GRADING AND SOIL PREPARATION OPERATIONS. ENSURE POSITIVE DRAINAGE (2% MIN. FALL) AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES IN ALL LANDSCAPE AREAS. NOTIFY OWNER'S REPRESENTATIVE IF ROUGH GRADING CONDITIONS WILL CREATE PONDING OR FLOW TOWARD FOUNDATIONS. DO NOT PLANT IN SWALE BOTTOMS OR OTHER LOCATIONS OF CONCENTRATED DRAINAGE SO AS TO BLOCK FLOWS.

9. FINE GRADE ALL LANDSCAPE AREAS TO +/- .10'. AREAS SHALL BE SETTLED AND RAKED SMOOTH. DEBRIS, ROCK, CLODS, ETC. THAT WILL NOT PASS THROUGH TYNES OF A HAND RAKE SHALL BE REMOVED FROM THE SURFACE. LANDSCAPE AREAS SHALL BE FIRM WITHOUT DEPRESSIONS PRIOR TO PLANTING. ALL FINE GRADING MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION.

10. SOIL AMENDMENT SHALL BE LOW-SALTS, FULLY-MATURED ORGANIC COMPOST, CERTIFIED FREE OF PATHOGENS. pH SHALL BE 6.0 TO 7.4 WITH A MIN. OF 30% ORGANIC MATERIAL. COMPOST SHALL BE BIOCOMP-CLASS 1 BY A1 ORGANICS 16350 WCR 76, EATON, CO 80615, OR APPROVED EQUAL. AMENDMENT FOR LANDSCAPE AREAS SHALL BE 4 C.Y. PER 1,000 S.F.

11. FOR TURF AREAS THE TOP 6" OF SUBGRADE SHALL BE TOPSOIL AND SOIL AMENDMENT MIXTURE TILLED TO A MIN. DEPTH OF 8". IN BED AREAS, THE TOP 6" OF SUBGRADE SHALL BE TOPSOIL & AMENDMENT TILLED TO A MIN. DEPTH OF 12".

12. IN ALL BED AREAS HOLD TOP OF SUBGRADE 3-4" BELOW ADJACENT IMPROVEMENTS TO ALLOW ROOM FOR SPECIFIED MULCH DEPTH.

EDGER

13. ALL PLANTING BEDS ARE TO BE CONTAINED BY 3/16" X 4" INTERLOCKING STEEL EDGER PAINTED GREEN OR BLACK. EDGER TO HAVE A ROLLED STEEL TOP FOR SAFETY. INSTALL PER MFR'S. RECOMMENDATIONS. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS OR WALKS. HOLD SUBGRADE FOR SOD 1" BELOW TOP OF EDGER. SHOULD EDGER CROSS SWALES OR OTHER LOCATIONS OF CONCENTRATED FLOW, USE PERFORATED EDGER OR DRILL HOLES 1" ALLOW WATER TO PASS- 3 HOLES PER LINEAR FOOT.

PLANTING NOTES

14. LAYOUT PLANT BED EDGER LINE AND STAKE INDIVIDUAL PLANT LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

15. PLANTS SHALL MEET THE MINIMUM STANDARDS OUTLINED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 (2004). ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PLANTS NOT MEETING THE SET STANDARDS WILL BE REJECTED.

16. COORDINATE STREET TREE LOCATIONS WITH NEW UTILITY LINE LOCATION/ IMPROVEMENTS PRIOR TO INSTALLATION.

17. PLANT SPECIES AND LOCATION SHOULD FOLLOW APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN THE APPLICANT MUST GET APPROVAL FROM THE OWNER'S REPRESENTATIVE.

18. ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR A PERIOD OF NOT LESS THAN 1 YEAR AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER. WARRANTY SHALL BE A ONE-TIME REPLACEMENT THAT INCLUDES PLANT MATERIAL AND LABOR COSTS.

19. PLANT QUANTITIES SHOWN SYMBOLICALLY ON THE PLAN SHALL TAKE PRECEDENCE AND BE INSTALLED OVER THOSE TOTALS IN THE PLANT LIST.

20. PLANT HOLE BACKFILL SHALL BE 1/3 TOPSOIL, 1/3 COMPOSTED AMENDMENT AND 1/3 NATIVE SOIL THOROUGHLY MIXED.

21. ALL NEWLY-PLANTED TREES, SHRUBS AND ORNAMENTAL GRASSES SHALL RECEIVE SCOTTS AGRIFORM 20-10-5 PLANTING TABLETS OR APPROVED EQUAL. AFTER PLANTINGS PERENNIAL BEDS SHALL RECEIVE GRANULAR FERTILIZER WITH A FORMULATION OF 10-10-10. APPLY PER MANUFACTURER RECOMMENDATIONS.

22. ALL PLANTING BEDS SHALL BE MULCHED WITH 3/4" TO 1.5" CRUSHED GRANITE. COLORADO ROSE BY JENSEN SUPPLY OR APPROVED EQUAL. ALL PLANTS SHALL BE MULCHED WITH 3-4" DEPTH SHREDDED RED CEDAR, NATURAL COLOR AT THEIR BASES AND/OR AS SHOWN ON PLANS. SUBMIT SAMPLES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

23. ALL PLANTING BEDS SHALL HAVE WEED BARRIER FABRIC- TYPAR PRO LANDSCAPE FABRIC, 3 OZ. OR APPROVED EQUAL AS SUPPLIED BY THE DEWITT COMPANY 905 SOUTH KINGS HIGHWAY, SIKESTON, MO 63801 800-888-9669 info@de Wittcompany.com.

24. ALL TREES IN TURF AREAS WILL HAVE A MULCH RING WITH NATURAL CEDAR FIBER MULCH AT 3-4" DEPTH AND AT LEAST 3-4" IN DIAMETER. KEEP MULCH 4-6" AWAY FROM TRUNKS.

25. TURF SHALL BE IRRIGATED TURF SHALL BE TEXAS HYBRID BLUEGRASS 'SOLAR GREEN' OR APPROVED EQUAL.

- IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPING/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN AND HEALTHY CONDITION BY THE OWNER. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, REPLACEMENT OF MULCH, WEEDING, REMOVAL OF LITTER AND THE REGULAR WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED TO MINIMIZE WATER CONSUMPTION. SHOULD ANY PLANT MATERIAL DIE, THE OWNER, SUCCESSOR, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF PLANT(S) WITHIN ONE PLANTING SEASON. REPLACEMENT OF PLANT MATERIALS SHALL OCCUR AT THE FOLLOWING RATE.

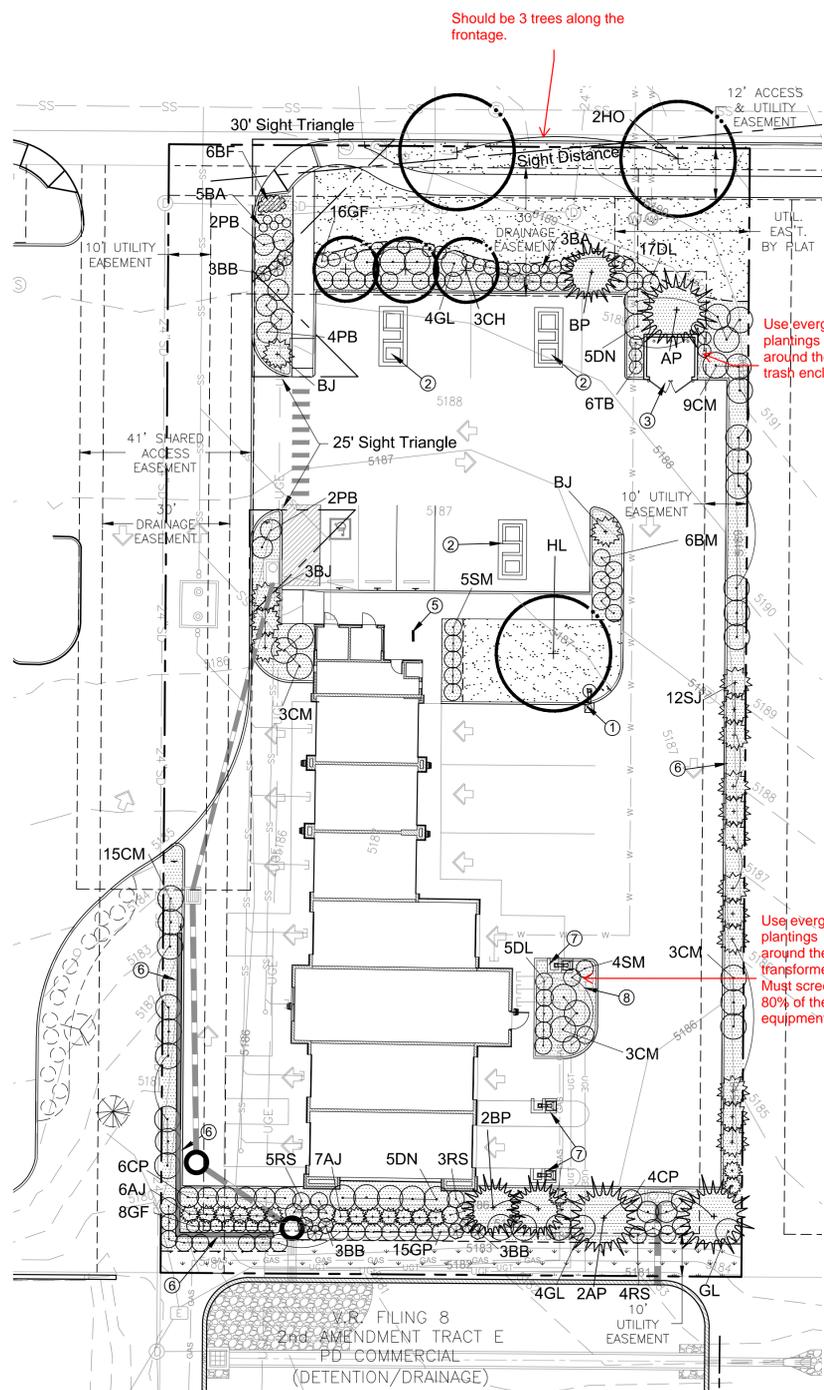
TYPE	PLANT REPLACEMENT WITHIN	
	1 YEAR	2+ YEARS
Tree - Deciduous	Increase caliper by 1"	Increase caliper by 1.5"
Tree - Coniferous	Increase height by 1.5'	Increase height by 2'
Shrub	Replace with plants of at least 1/2 mature size	Replace with plants of at least 1/2 mature size

SEED MIX

COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS LBS/ACRE
Western wheatgrass	<i>Pascopyrum smithii</i>	Arriba or Rosana	7.0
Crested wheatgrass	<i>Agropyron cristatum</i>	Ephram	4.0
Streambank wheatgrass	<i>Elymus lanceolatus</i>	Solar	4.0
Sideoats grama	<i>Bouteloua gracilis</i>	Butte, Niner or El Reno	2.0
Blue grama	<i>Bouteloua gracilis</i>	Lovington, Alma, Native or Hachita	5.0
Buffalograss	<i>Buchloe dactyloides</i>	Native, Bison or Texoka	3.0
Sand dropseed	<i>Sporobolus cryptandrus</i>	Common	1.0
Prairie Junegrass	<i>Loelera macrantha</i>	Common	3.0
Hard Fescue	<i>Festuca brevipila</i>	'Durar'	3.0
SEEDING RATE POUNDS PLS/ACRE			32.0

TYPE	PLANT REPLACEMENT WITHIN	
	1 YEAR	2+ YEARS
Tree - Deciduous	Increase caliper by 1"	Increase caliper by 1.5"
Tree - Coniferous	Increase height by 1.5'	Increase height by 2'
Shrub	Replace with plants of at least 1/2 mature size	Replace with plants of at least 1/2 mature size

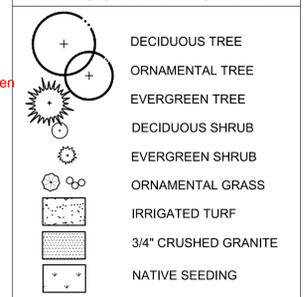
COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS LBS/ACRE
Western wheatgrass	<i>Pascopyrum smithii</i>	Arriba or Rosana	7.0
Crested wheatgrass	<i>Agropyron cristatum</i>	Ephram	4.0
Streambank wheatgrass	<i>Elymus lanceolatus</i>	Solar	4.0
Sideoats grama	<i>Bouteloua gracilis</i>	Butte, Niner or El Reno	2.0
Blue grama	<i>Bouteloua gracilis</i>	Lovington, Alma, Native or Hachita	5.0
Buffalograss	<i>Buchloe dactyloides</i>	Native, Bison or Texoka	3.0
Sand dropseed	<i>Sporobolus cryptandrus</i>	Common	1.0
Prairie Junegrass	<i>Loelera macrantha</i>	Common	3.0
Hard Fescue	<i>Festuca brevipila</i>	'Durar'	3.0
SEEDING RATE POUNDS PLS/ACRE			32.0



PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	INSTALLED SIZE	HEIGHT X SPREAD	NOTES/REMARKS
DECIDUOUS TREES						
HO	2	Quercus 'Heritage'	Heritage Oak	2.0" cal.	50'x40'	B&B, FULL HEAD & STRAIGHT, SINGLE MAIN TRUNK
HL	2	G. triacantos inermis 'Shademaster'	Shademaster Honeylocust	2.0" cal.	50'x35'	
ORNAMENTAL TREES						
CH	3	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2.0" cal.	25'x15'	B&B, full & bushy
SC	2	Malus 'Spring Snow'	Spring Snow Crabapple	2.0" cal.	20'x20'	
EVERGREEN TREES						
AP	3	Pinus nigra	Austrian Pine	6' Ht.	50'x30'	B&B; full & bushy
BP	3	Pinus heldreichii leucodermis	Bosnian Pine	6' Ht.	25'x12'	
DECIDUOUS SHRUBS						
BM	6	Caryopteris cladonensis 'Blue Mist'	Blue Mist Spirea	21-24" ht.	3.5'x4'	#5 Container
CM	27	Philadelphus lewisii 'Cheyenne'	Cheyenne Mockorange	30-36" ht.	6'x6'	#5 Container
CP	10	Ligustrum vulgare 'Cheyenne'	Cheyenne Privet	30-36" ht.	5'x6'	#5 Container
DL	22	Syringa patula 'Miss Kim'	Miss Kim Lilac	21-24" ht.	4'x4'	#5 Container
DN	10	Physocarpus opulifolius 'Diabolo'	Diabolo Ninebark	30-36" ht.	6'x6'	#5 Container
GF	27	Spirea japonica 'Goldflame'	Goldflame Spirea	15-18" ht.	3'x3'	#5 Container
GL	9	Rhus aromatica 'Gro-low'	Gro-low Sumac	15-18" ht.	2-3'x6'	#5 Container
GP	15	Potentilla fruticosa 'Gold Coronation'	Gold Coronation Potentilla	21-24" ht.	2'x4'	#5 Container
PB	8	Prunus besseyi 'Pawnee Buttes'	Pawnee Buttes Sandcherry	9-12" ht.	5'x6'	#5 Container
RS	12	Perovskia atriplicifolia	Russian Sage	21-24" ht.	5'x6'	#5 Container
SM	9	Philadelphus x 'Snowbelle'	Snowbelle Mockorange	21-24" ht.	4'x4'	#5 Container
TB	6	Frangula alnus 'Columaris'	Tallhedge Buckthorn	36-42" ht.	12'x3'	#5 Container
EVERGREEN SHRUBS						
AJ	15	Juniperus chinensis 'Armstrong'	Armstrong Juniper	24-30" ht.	18" x6'	#5 Container
BJ	5	Juniperus sabina 'Buffalo'	Buffalo Juniper	9-12" ht.	4'x4'	#5 Container
SJ	12	Juniperus chinensis 'Spartan'	Spartan Juniper	3-4' ht.	6'x10'	#5 Container
ORNAMENTAL GRASSES & PERNNIALS						
BA	8	Helictotrichon sempervirens	Blue Avena Grass	12-15" ht.	3'x3'	#1 Container
BB	9	Andropogon gerardii 'Windwalker'	Windwalker Big Bluestem	24-30" ht.	4'x3'	#5 Container
BF	6	Gaillardia x grandiflora 'Goblin'	Dwarf Blanketflower	9-12" ht.	1.5'x1.5'	#1 Container

LANDSCAPE LEGEND



SITE ELEMENTS KEY

- 1 20' HT. AEROMAX LED LIGHT & BASE; FULL-CUTOFF. COLOR: BLACK
- 2 VACUUM ISLAND AND TRASH CAN
- 3 TRASH ENCLOSURE
- 4 AUTOMATED PAY STATION
- 5 BIKE RACK- SPORTSWORKS HD INVERTED-U
- 6 DRY STACK BLOCK RETAINING WALL
- 7 PAY STATION & 20' HT. AEROMAX LED LIGHT & BASE; FULL-CUTOFF COLOR: BLACK
- 8 ELECTRIC TRANSFORMER

SEE SHEET 4 FOR NOTES & DETAILS.

SITE AREAS

SITE AREA	SQ. FT.	PERCENT
SITE AREA	36,305 SF	
BUILDING	4,362 SF	12%
HARDSCAPE	17,758 SF	48.9%
LANDSCAPE	14,185 SF	39.1%

LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED
LANDSCAPE	5,446 SF (15%)	14,185 SF
TREES 1/1000 SF	14.1	15
SHRUBS	95	192

Update the landscape requirements table to include the parking lot requirements. 1 tree per 15 spaces and 1 shrub per space are required. See Section 10.6.4.E.8. Parking landscaping requirements are in addition to the other landscaping requirements.

DATE OF ISSUE:	11.03.20
SCALE:	1"=20'
DRAWN BY:	JDC
CHECKED BY:	TJ



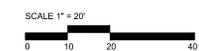
SHEET

3 OF 10

LANDSCAPE PLAN

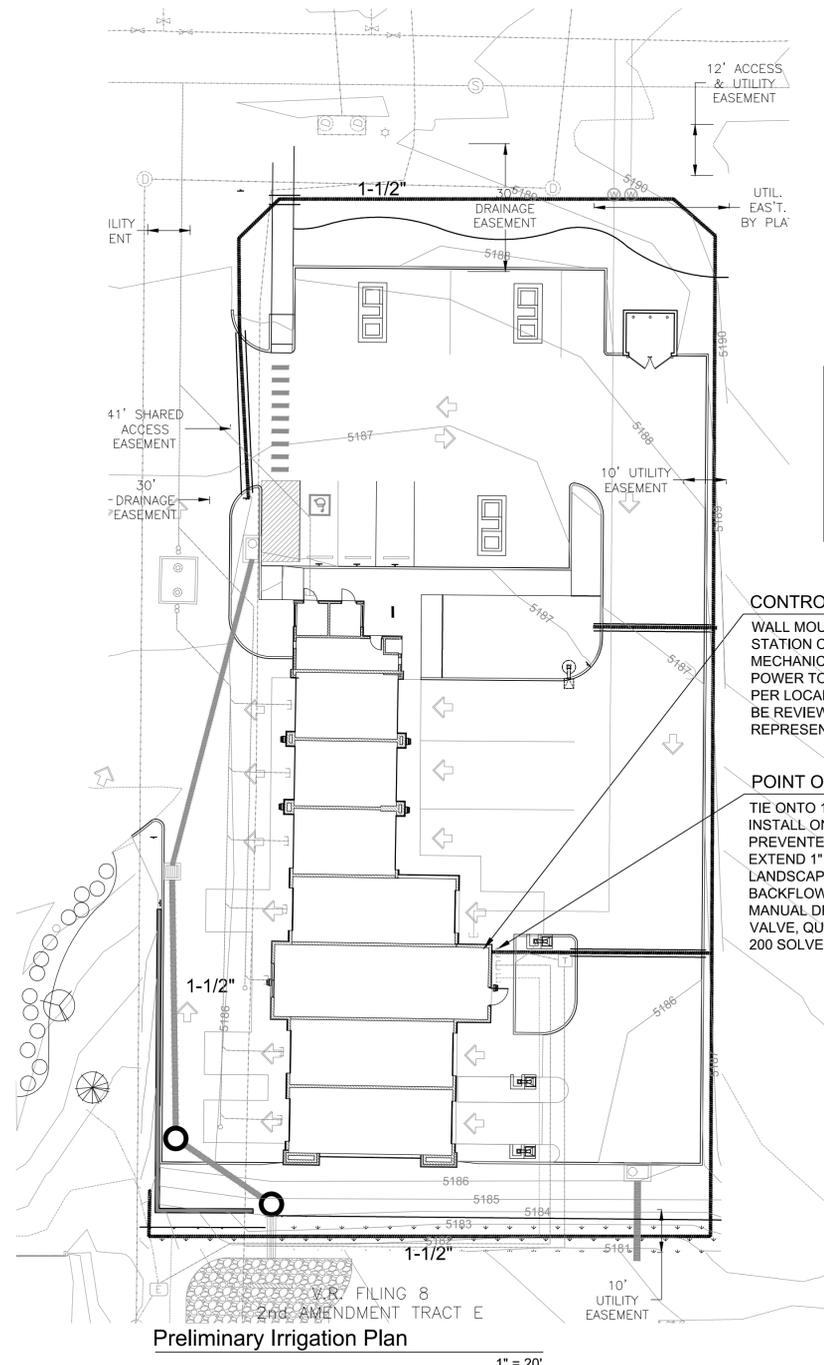


PLANNING & LANDSCAPE ARCHITECTURE
Jump Design Company
1733 S. Clarkson Street
Denver, Colorado 80210
303.282.0463 fax 282.0473



VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
SRU AREA - .83 ACRES - TOTAL AREA .83 ACRES
SITE PLAN - SP-001187-2020
(SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)

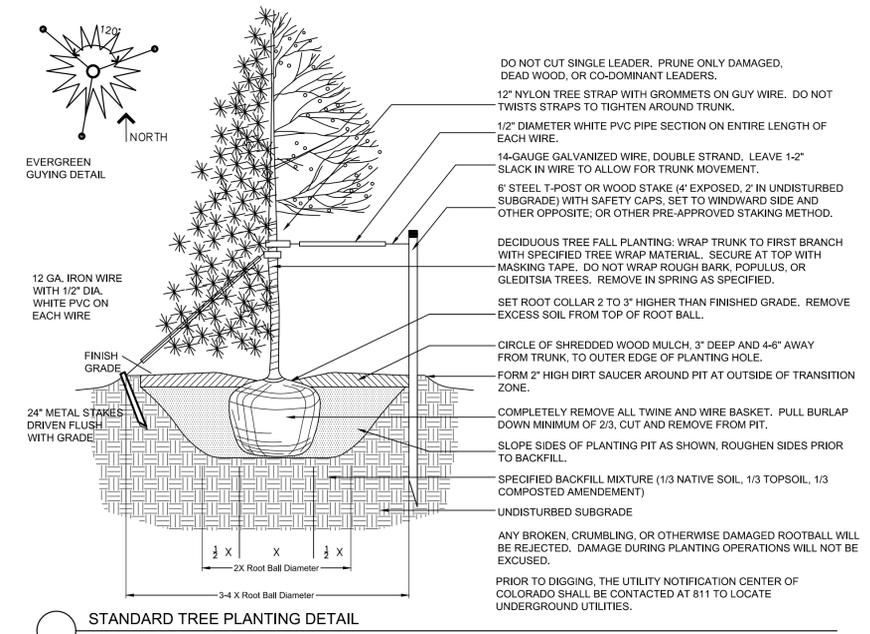


Place symbol from legend on the plan to identify the locations as well.

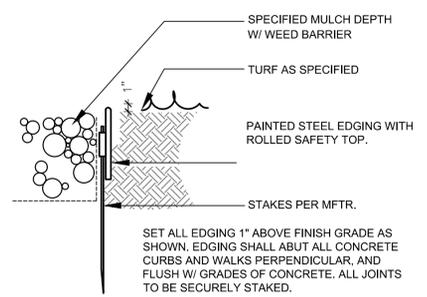
IRRIGATION LEGEND	
	POINT OF CONNECTION / BACKFLOW PREVENTER
	CONTROLLER
	PVC MAINLINE- 1-1/2"
	2-1/2" SLEEVING

CONTROLLER LOCATION
WALL MOUNT ONE HUNTER PRO-C SERIES 16 STATION CONTROLLER AT INDICATED LOCATION IN MECHANICAL ROOM. EXTEND 120 VOLT ELECTRICAL POWER TO CONTROLLER LOCATION AND CONNECT PER LOCAL CODE. LOCATION OF CONTROLLER SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

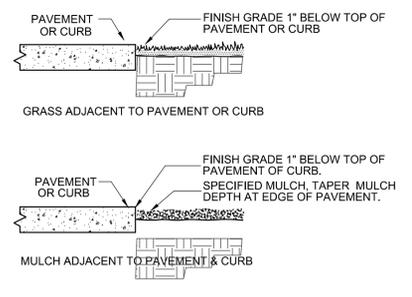
POINT OF CONNECTION
TIE ONTO 1" COPPER IRRIGATION STUB-OUT AND INSTALL ONE 1" REDUCED PRESSURE BACKFLOW PREVENTER, INVERTED 3/4" BOILER DRAIN AND EXTEND 1" K COPPER (18"-24" DEPTH) TO EXTERIOR LANDSCAPE AREA. AT FINAL LOCATION OF BACKFLOW WITHIN LANDSCAPE AREA INSTALL 3/4" MANUAL DRAIN VALVE, 1" GATE VALVE, 1" MASTER VALVE, QUICK COUPLING VALVE AND EXTEND CLASS 200 SOLVENT WELD PVC MAINLINE AS SHOWN.



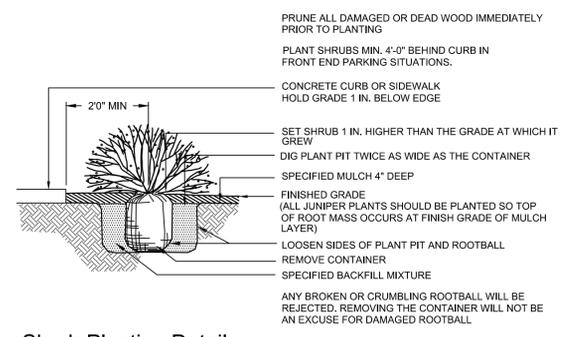
- DO NOT CUT SINGLE LEADER. PRUNE ONLY DAMAGED, DEAD WOOD, OR CO-DOMINANT LEADERS.
- 12" NYLON TREE STRAP WITH GROMMETS ON GUY WIRE. DO NOT TWIST STRAPS TO TIGHTEN AROUND TRUNK.
- 1/2" DIAMETER WHITE PVC PIPE SECTION ON ENTIRE LENGTH OF EACH WIRE.
- 14-GAUGE GALVANIZED WIRE, DOUBLE STRAND. LEAVE 1-2" SLACK IN WIRE TO ALLOW FOR TRUNK MOVEMENT.
- 6" STEEL T-POST OR WOOD STAKE (4" EXPOSED, 2" IN UNDISTURBED SUBGRADE) WITH SAFETY CAPS. SET TO WINDWARD SIDE AND OTHER OPPOSITE. OR OTHER PRE-APPROVED STAKING METHOD.
- DECIDUOUS TREE FALL PLANTING: WRAP TRUNK TO FIRST BRANCH WITH SPECIFIED TREE WRAP MATERIAL. SECURE AT TOP WITH MASKING TAPE. DO NOT WRAP ROUGH BARK, POPULUS, OR GLEDITSIA TREES. REMOVE IN SPRING AS SPECIFIED.
- SET ROOT COLLAR 2 TO 3" HIGHER THAN FINISHED GRADE. REMOVE EXCESS SOIL FROM TOP OF ROOT BALL.
- CIRCLE OF SHREDDED WOOD MULCH, 3" DEEP AND 4-6" AWAY FROM TRUNK, TO OUTER EDGE OF PLANTING HOLE.
- FORM 2" HIGH DIRT SAUCER AROUND PIT AT OUTSIDE OF TRANSITION ZONE.
- COMPLETELY REMOVE ALL TWINE AND WIRE BASKET. PULL BURLAP DOWN MINIMUM OF 2/3, CUT AND REMOVE FROM PIT.
- SLOPE SIDES OF PLANTING PIT AS SHOWN, ROUGHEN SIDES PRIOR TO BACKFILL.
- SPECIFIED BACKFILL MIXTURE (1/3 NATIVE SOIL, 1/3 TOPSOIL, 1/3 COMPOSTED AMENDMENT)
- UNDISTURBED SUBGRADE
- ANY BROKEN, CRUMBLING, OR OTHERWISE DAMAGED ROOTBALL WILL BE REJECTED. DAMAGE DURING PLANTING OPERATIONS WILL NOT BE EXCUSABLE.
- PRIOR TO DIGGING, THE UTILITY NOTIFICATION CENTER OF COLORADO SHALL BE CONTACTED AT 811 TO LOCATE UNDERGROUND UTILITIES.



Landscape Edger



Typical Construction Edges



Shrub Planting Detail
NOT TO SCALE

DATE OF ISSUE: 11.03.20
SCALE:
DRAWN BY: JDC
CHECKED BY: TJ

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SUITE 201
LITTLETON, CO 80122
(720) 773-2800

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4 OF 10

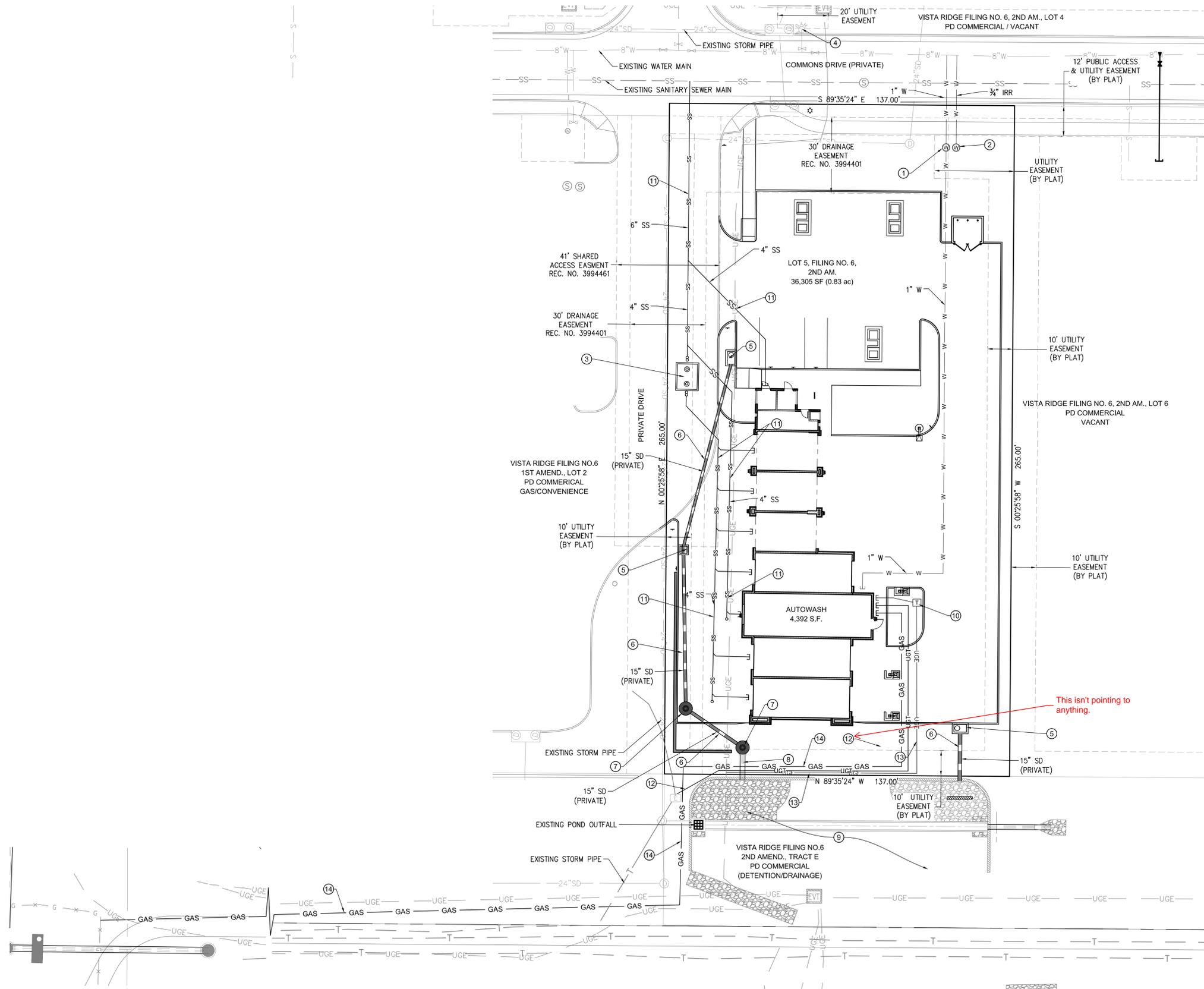
LANDSCAPE DETAILS



PLANNING & LANDSCAPE
ARCHITECTURE
Jump Design Company
1733 S. Clarkson Street
Denver, Colorado 80210
303.982.0462 Fax 303.9473

VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
SRU AREA - 0.83 ACRES - TOTAL AREA 0.83 ACRES
SITE PLAN - SP-001187-2020
(SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)



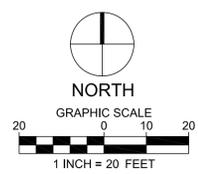
UTILITY PLAN KEY NOTES

- ① PROPOSED 1" DOMESTIC WATER METER
- ② PROPOSED 3/4" IRRIGATION METER
- ③ PROPOSED SAND OIL INTERCEPTOR
- ④ EXISTING FIRE HYDRANT
- ⑤ PROPOSED STORM SEWER INLET (PRIVATE)
- ⑥ PROPOSED 18" STORM SEWER PIPE (PRIVATE)
- ⑦ PROPOSED 5' DIA. STORM SEWER MANHOLE (PRIVATE)
- ⑧ PROPOSED 18" STORM PIPE (BY OTHERS)
- ⑨ PROPOSED DETENTION/WATER QUALITY POND (BY OTHERS)
- ⑩ PROPOSED ELECTRICAL TRANSFORMER LOCATION
- ⑪ PROPOSED SANITARY SEWER SERVICE
- ⑫ PROPOSED TELECOM SERVICE
- ⑬ PROPOSED ELECTRICAL SERVICE
- ⑭ PROPOSED GAS SERVICE

EXISTING	UTILITY PLAN LEGEND	PROPOSED
---	EASEMENT	---
---	PROPERTY LINE	---
---	ADJ. PROPERTY LINE	---
---	R.O.W. LINE	---
---	SIGHT TRIANGLE	---
---	SECTION LINE	---
---	SECTION CORNER	---
---	GAS LINE	---
---	UNDERGROUND TELEPHONE	---
---	FIBER OPTIC	---
---	UNDERGROUND CABLE	---
---	FIRE HYDRANT	---
---	8" WATER MAIN	---
---	16" WATER MAIN	---
---	WATER METER	---
---	WATER SERVICE	---
---	WATER VALVE	---
---	TRANSFORMER	---
---	UNDERGROUND ELECTRIC	---
---	LIGHTPOLE	---
---	SANITARY CLEANOUT	---
---	8" SANITARY MAIN	---
---	SANITARY MANHOLE	---
---	SANITARY SERVICE	---
---	STORM INLET	---
---	STORM MANHOLE	---
---	BACK OF CURB	---
---	CONCRETE HATCH	---
---	EDGE OF PAVEMENT / PAN	---
---	FLOWLINE	---
---	SIDEWALK	---
---	SIDEWALK HATCH	---
---	PAVEMENT MARKING	---
---	TRAFFIC SIGN	---
---	BOLLARD	---
---	LIGHT POLE	---

PROJECT BASIS OF BEARING:
BEARINGS ARE BASED ON THE WESTERLY LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32 BEING N00°15'14"E, 1321.02 FEET BETWEEN THE SOUTHWEST CORNER OF SECTION 32 (2.5" ALUMINUM CAP, ILLEGIBLE) AND THE SOUTH SIXTEENTH CORNER OF SECTIONS 31 AND 32 (2" ALUMINUM CAP, LS 14083).

BENCHMARK:
SE CORNER OF VISTA RIDGE FILING NO. 6 FIRST AMENDMENT, LOT 2 ON 1" PLASTIC CAP MARKED PLS 37990 SET ON 18" #4 REBAR. ELEVATION=5179.46' (NGVD29 DATUM)



DATE OF ISSUE: 11-03-20
SCALE: 1"=20'
DRAWN BY: AT
CHECKED BY: AT

HOVER ARCHITECTURE
8089 S. LINCOLN STREET
SUITE 201
LITTLETON, CO 80122
(720) 773-2801

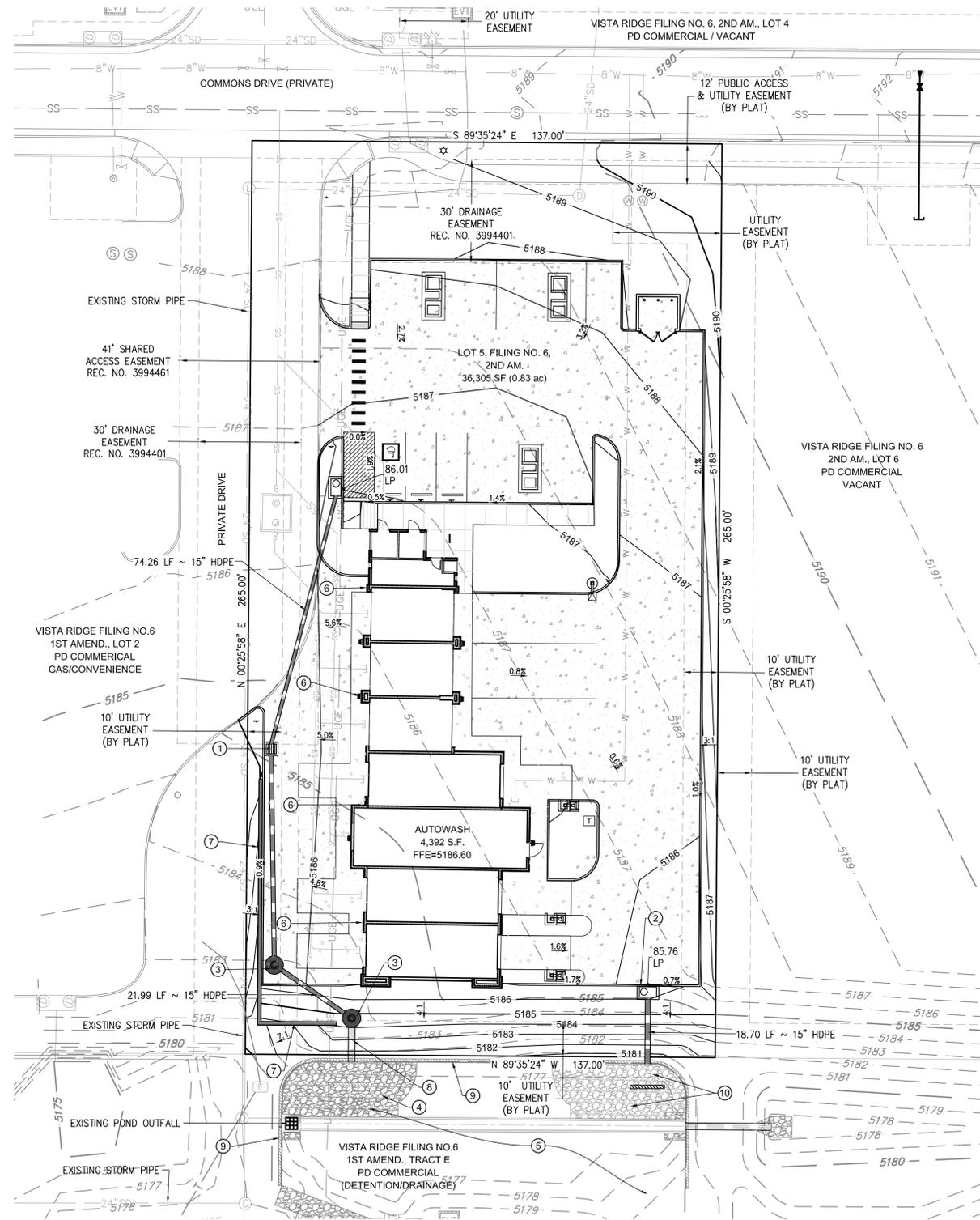
SHEET

5 OF 10

UTILITY PLAN

VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
SRU AREA - 0.83 ACRES - TOTAL AREA 0.83 ACRES
SITE PLAN - SP-001187-2020
(SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)



PROJECT BASIS OF BEARING:

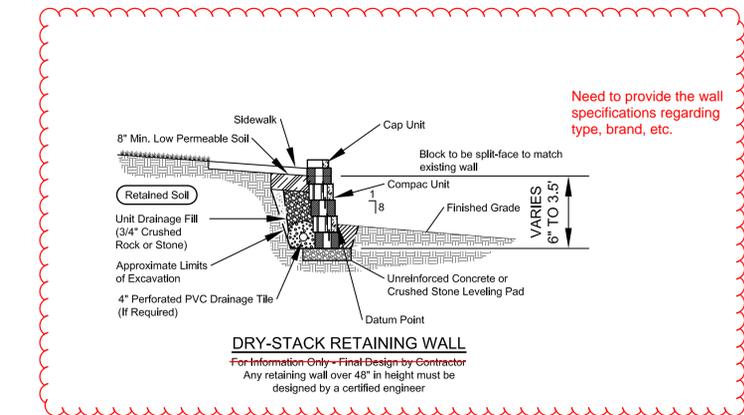
BEARINGS ARE BASED ON THE WESTERLY LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32 BEING N00°15'14"E, 1321.02 FEET BETWEEN THE SOUTHWEST CORNER OF SECTION 32 (2.5" ALUMINUM CAP, ILLEGIBLE) AND THE SOUTH SIXTEENTH CORNER OF SECTIONS 31 AND 32 (2" ALUMINUM CAP, LS 14083).

BENCHMARK:

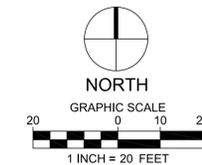
SE CORNER OF VISTA RIDGE FILING NO. 6 FIRST AMENDMENT, LOT 2 ON 1" PLASTIC CAP MARKED PLS 37990 SET ON 18" #4 REBAR. ELEVATION=5179.46' (NGVD29 DATUM)

GRADING AND DRAINAGE PLAN KEY NOTES

- ① PROPOSED TYPE C INLET
- ② PROPOSED 5' TYPE R INLET
- ③ PROPOSED 5' DIA. MANHOLE
- ④ PROPOSED RIPRAP OUTFALL (BY OTHERS)
- ⑤ PROPOSED DETENTION/WATER QUALITY POND (BY OTHERS)
- ⑥ ROOF DOWNSPOUT LOCATION
- ⑦ PROPOSED BLOCK RETAINING WALL
- ⑧ STORM SEWER PIPE (BY OTHERS)
- ⑨ PROPOSED BLOCK RETAINING WALL (BY OTHERS)
- ⑩ PROPOSED RIPRAP FOREBAY



EXISTING	UTILITY PLAN LEGEND	PROPOSED
---	EASEMENT	---
---	PROPERTY LINE	---
---	ADJ. PROPERTY LINE	---
---	R.O.W. LINE	---
---	SIGHT TRIANGLE	---
---	SECTION LINE	---
---	SECTION CORNER	---
---	GAS LINE	---
---	UNDERGROUND TELEPHONE	---
---	FIBER OPTIC	---
---	UNDERGROUND CABLE	---
---	FIRE HYDRANT	---
---	8" WATER MAIN	---
---	16" WATER MAIN	---
---	WATER METER	---
---	WATER SERVICE	---
---	WATER VALVE	---
---	TRANSFORMER	---
---	UNDERGROUND ELECTRIC	---
---	LIGHTPOLE	---
---	SANITARY CLEANOUT	---
---	8" SANITARY MAIN	---
---	SANITARY MANHOLE	---
---	SANITARY SERVICE	---
---	STORM INLET	---
---	STORM MANHOLE	---
---	BACK OF CURB	---
---	CONCRETE HATCH	---
---	EDGE OF PAVEMENT / PAN	---
---	FLOWLINE	---
---	SIDEWALK	---
---	SIDEWALK HATCH	---
---	PAVEMENT MARKING	---
---	TRAFFIC SIGN	---
---	BOLLARD	---
---	LIGHT POLE	---
---	MONUMENT SIGN	---
---	MAJOR CONTOUR	---
---	MINOR CONTOUR	---
---	1.0% DRAINAGE FLOW ARROWS	---



DATE OF ISSUE: 11-03-20
SCALE: 1"=20'
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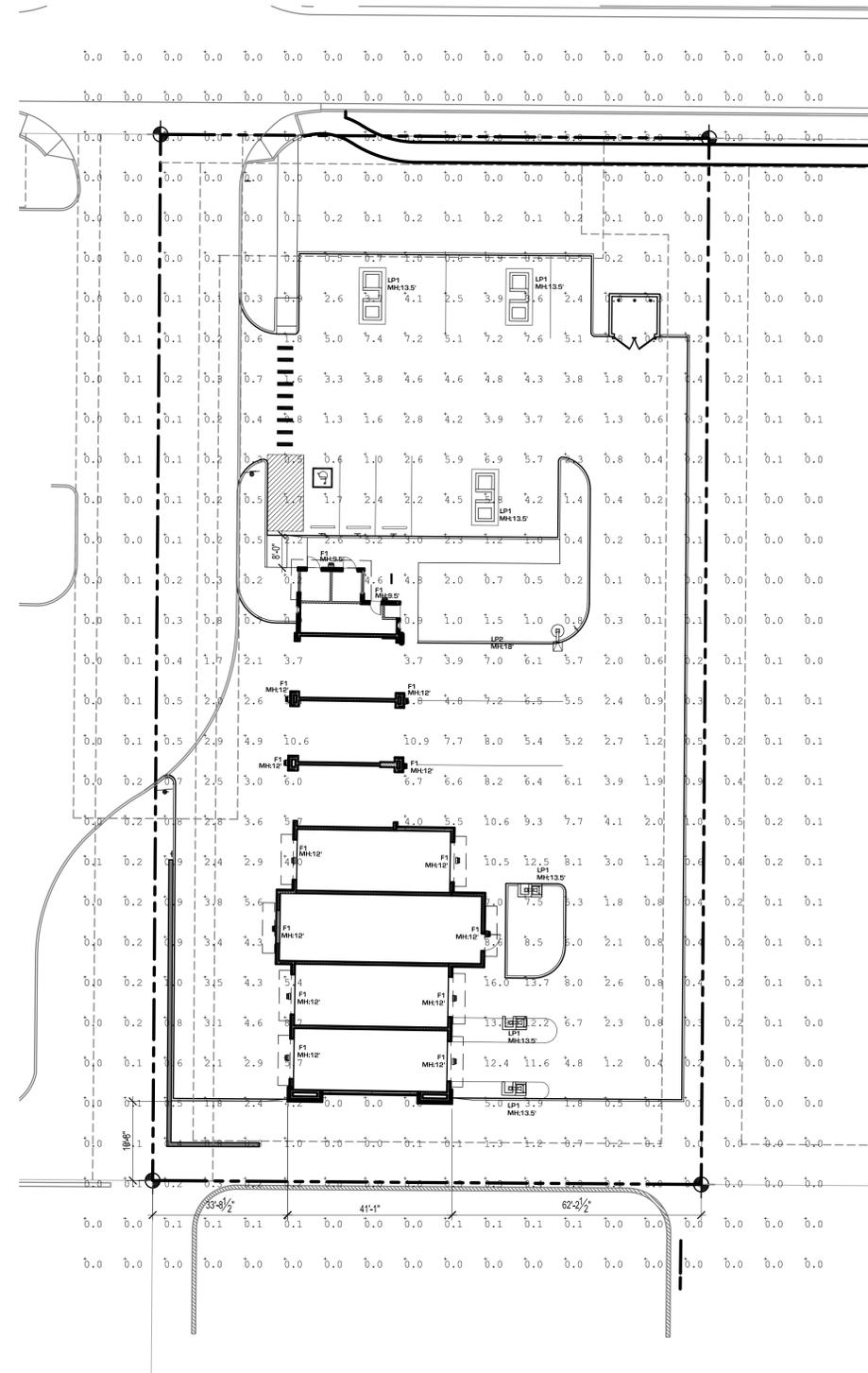
SHEET

6 OF 10

GRADING AND
DRAINAGE PLAN

VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
SRU AREA - 0.82 ACRES - TOTAL AREA 0.82 ACRES
SITE PLAN - SP-001187-2020
(SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)

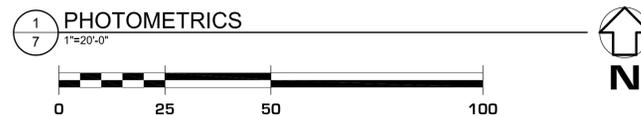


Add notes from page 8 here as well.

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
+	6	LP1	SINGLE	N.A.	1.000	XASU-FT-LED-64-HO-NW
+	1	LP2	SINGLE	N.A.	1.000	XAMU-FT-LED-128-HO-NW-HSS
+	14	F1	SINGLE	N.A.	1.000	XPWS3-FT-LED-28-350-NW-UE

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Entire Site	Illuminance	Fc	1.44	16.0	0.0	N.A.	N.A.

DATE OF ISSUE: 11.02.20
SCALE: 1"=20'-0"
DRAWN BY: JTK
CHECKED BY: JTK



VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
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SRU AREA - 0.82 ACRES - TOTAL AREA 0.82 ACRES
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LED PATRIOT® WALL SCONCE (XPWS3)



DOE LIGHTING FACTS
Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for specific ceiling ratings.

LIGHT OUTPUT - XPWS3		Distribution Lumens (Nominal)	
Mounting Height (ft)	Beam Spread (ft)	Typical Type I	Typical Type II
3	3.0	1000	1000
4	4.0	1300	1300
5	5.0	1600	1600
6	6.0	1900	1900
7	7.0	2200	2200
8	8.0	2500	2500
9	9.0	2800	2800
10	10.0	3100	3100
11	11.0	3400	3400
12	12.0	3700	3700
13	13.0	4000	4000
14	14.0	4300	4300
15	15.0	4600	4600
16	16.0	4900	4900
17	17.0	5200	5200
18	18.0	5500	5500
19	19.0	5800	5800
20	20.0	6100	6100
21	21.0	6400	6400
22	22.0	6700	6700
23	23.0	7000	7000
24	24.0	7300	7300
25	25.0	7600	7600
26	26.0	7900	7900
27	27.0	8200	8200
28	28.0	8500	8500
29	29.0	8800	8800
30	30.0	9100	9100

LED Chips are frequently specified therefore values may increase.

Also available in traditional light sources

LED PATRIOT® WALL SCONCE (XPWS3)

LUMINAIRE ORDERING INFORMATION
TYPICAL ORDER EXAMPLE: **XPWS3 FT LED 48 450 CW UE WHT BB**

Profile	Distribution	Light Level (ft)	# of LEDs	Color Temperature	Input Voltage	Finish	Optional Controls	Optional Sensor/Options
XPWS3	WHT - Wide Throw (30°)	LED	48	300-3500K (5000K)	120-277VAC	Black (303) / White (120-277)	None	None
XPWS3	FW - Forward Throw	LED	48	300-3500K (5000K)	120-277VAC	Black (303) / White (120-277)	None	None
XPWS3	FW - Forward Throw	LED	48	300-3500K (5000K)	120-277VAC	Black (303) / White (120-277)	None	None

ACCESSORY ORDERING INFORMATION¹ (Accessories are field installed)

Description	Order Number	Description	Order Number
XPWS3 Occupancy Sensor	XPWS3-OS	XPWS3-OS-200 Double Mount	XPWS3-OS-200
XPWS3 SW-Black Junction Box (Available in 300 volt only)	XPWS3-JB-K	XPWS3-OS-200 Double Mount	XPWS3-OS-200
XPWS3-OS-200 Junction Box	XPWS3-JB-W	XPWS3-OS-200 Double Mount	XPWS3-OS-200
XPWS3-OS-200 Junction Box	XPWS3-JB-W	XPWS3-OS-200 Double Mount	XPWS3-OS-200
XPWS3-OS-200 Junction Box	XPWS3-JB-W	XPWS3-OS-200 Double Mount	XPWS3-OS-200

DOE LIGHTING FACTS
Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for specific ceiling ratings.

Lighting Facts Summary:
 - **Light Output:** 3400 lumens (at 11' height)
 - **Beam Spread:** 11.0 ft
 - **Mounting Height:** 11.0 ft
 - **Input Voltage:** 120-277VAC
 - **Color Temperature:** 3000K-5000K
 - **Finish:** Black (303) / White (120-277)
 - **Optional Controls:** None
 - **Optional Sensor/Options:** None

Also add these notes to page 7.

NOTE
ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUT OFF.

Add a note requiring all light poles to be round.

Add another note limiting light pole height to 25'.

FIXTURE F1

LED AREA LIGHTS - AEROMAX™ SMALL (XASU)

DOE LIGHTING FACTS
Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for specific ceiling ratings.

LIGHT OUTPUT - XASU		Distribution Lumens (Nominal)	
Mounting Height (ft)	Beam Spread (ft)	Typical Type I	Typical Type II
3	3.0	1000	1000
4	4.0	1300	1300
5	5.0	1600	1600
6	6.0	1900	1900
7	7.0	2200	2200
8	8.0	2500	2500
9	9.0	2800	2800
10	10.0	3100	3100
11	11.0	3400	3400
12	12.0	3700	3700
13	13.0	4000	4000
14	14.0	4300	4300
15	15.0	4600	4600
16	16.0	4900	4900
17	17.0	5200	5200
18	18.0	5500	5500
19	19.0	5800	5800
20	20.0	6100	6100
21	21.0	6400	6400
22	22.0	6700	6700
23	23.0	7000	7000
24	24.0	7300	7300
25	25.0	7600	7600
26	26.0	7900	7900
27	27.0	8200	8200
28	28.0	8500	8500
29	29.0	8800	8800
30	30.0	9100	9100

LED Chips are frequently specified therefore values may increase.

PROJECT INFORMATION:
 Project Name: _____ Fixture Type: _____
 Catalog # _____

LED AREA LIGHTS - AEROMAX™ MEDIUM (XAMU)

DOE LIGHTING FACTS
Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for specific ceiling ratings.

LIGHT OUTPUT - XAMU		Distribution Lumens (Nominal)	
Mounting Height (ft)	Beam Spread (ft)	Typical Type I	Typical Type II
3	3.0	1000	1000
4	4.0	1300	1300
5	5.0	1600	1600
6	6.0	1900	1900
7	7.0	2200	2200
8	8.0	2500	2500
9	9.0	2800	2800
10	10.0	3100	3100
11	11.0	3400	3400
12	12.0	3700	3700
13	13.0	4000	4000
14	14.0	4300	4300
15	15.0	4600	4600
16	16.0	4900	4900
17	17.0	5200	5200
18	18.0	5500	5500
19	19.0	5800	5800
20	20.0	6100	6100
21	21.0	6400	6400
22	22.0	6700	6700
23	23.0	7000	7000
24	24.0	7300	7300
25	25.0	7600	7600
26	26.0	7900	7900
27	27.0	8200	8200
28	28.0	8500	8500
29	29.0	8800	8800
30	30.0	9100	9100

LED Chips are frequently specified therefore values may increase.

PROJECT INFORMATION:
 Project Name: _____ Fixture Type: _____
 Catalog # _____

FIXTURE LP1

LED AREA LIGHTS - AEROMAX™ MEDIUM (XAMU)

DOE LIGHTING FACTS
Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for specific ceiling ratings.

LIGHT OUTPUT - XAMU		Distribution Lumens (Nominal)	
Mounting Height (ft)	Beam Spread (ft)	Typical Type I	Typical Type II
3	3.0	1000	1000
4	4.0	1300	1300
5	5.0	1600	1600
6	6.0	1900	1900
7	7.0	2200	2200
8	8.0	2500	2500
9	9.0	2800	2800
10	10.0	3100	3100
11	11.0	3400	3400
12	12.0	3700	3700
13	13.0	4000	4000
14	14.0	4300	4300
15	15.0	4600	4600
16	16.0	4900	4900
17	17.0	5200	5200
18	18.0	5500	5500
19	19.0	5800	5800
20	20.0	6100	6100
21	21.0	6400	6400
22	22.0	6700	6700
23	23.0	7000	7000
24	24.0	7300	7300
25	25.0	7600	7600
26	26.0	7900	7900
27	27.0	8200	8200
28	28.0	8500	8500
29	29.0	8800	8800
30	30.0	9100	9100

LED Chips are frequently specified therefore values may increase.

PROJECT INFORMATION:
 Project Name: _____ Fixture Type: _____
 Catalog # _____

FIXTURE LP2

LED AREA LIGHTS - AEROMAX™ MEDIUM (XAMU)

DOE LIGHTING FACTS
Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for specific ceiling ratings.

LIGHT OUTPUT - XAMU		Distribution Lumens (Nominal)	
Mounting Height (ft)	Beam Spread (ft)	Typical Type I	Typical Type II
3	3.0	1000	1000
4	4.0	1300	1300
5	5.0	1600	1600
6	6.0	1900	1900
7	7.0	2200	2200
8	8.0	2500	2500
9	9.0	2800	2800
10	10.0	3100	3100
11	11.0	3400	3400
12	12.0	3700	3700
13	13.0	4000	4000
14	14.0	4300	4300
15	15.0	4600	4600
16	16.0	4900	4900
17	17.0	5200	5200
18	18.0	5500	5500
19	19.0	5800	5800
20	20.0	6100	6100
21	21.0	6400	6400
22	22.0	6700	6700
23	23.0	7000	7000
24	24.0	7300	7300
25	25.0	7600	7600
26	26.0	7900	7900
27	27.0	8200	8200
28	28.0	8500	8500
29	29.0	8800	8800
30	30.0	9100	9100

LED Chips are frequently specified therefore values may increase.

PROJECT INFORMATION:
 Project Name: _____ Fixture Type: _____
 Catalog # _____

DATE OF ISSUE: 11.02.20
 SCALE: N.T.S.
 DRAWN BY: JTK
 CHECKED BY: JTK

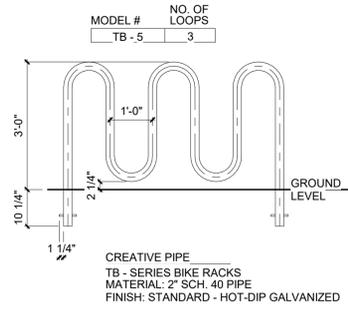
HOWER ARCHITECTURE
 8920 BARONS BLVD SUITE 102
 HIGHLANDS RANCH, CO 80129
 (720) 773-2800

VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN

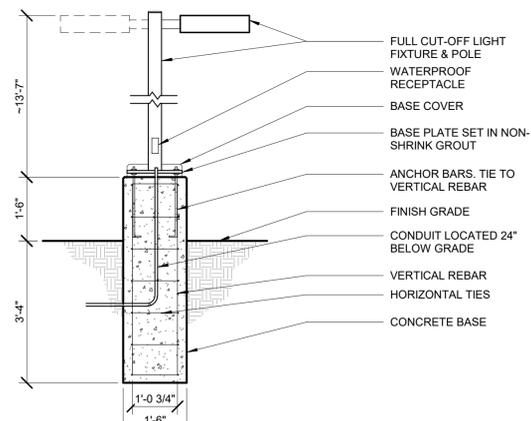
AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32; TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDAN
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
 SRU AREA - 0.82 ACRES - TOTAL AREA 0.82 ACRES
 SITE PLAN - SP-001187-2020
 (SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)

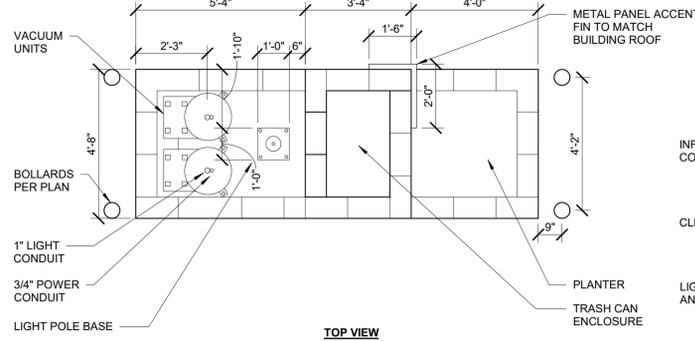
Smooth face CMU is not used on the main building. The previous site plan had this finished with stone to match the building. Update the plans to depict the stone material on the vacuum and pay stations.



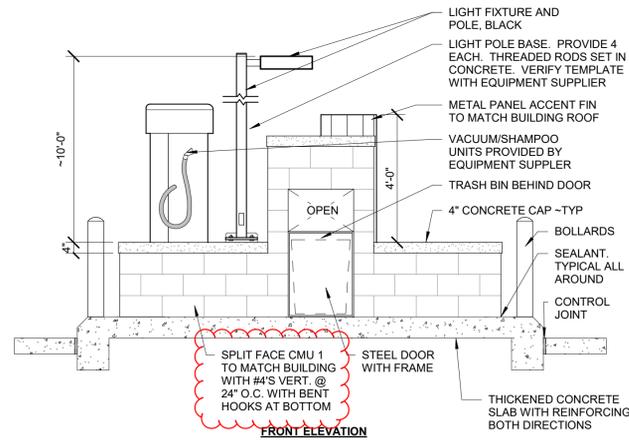
6 BIKE RACK
9 OF 10 1/2" = 1'-0"



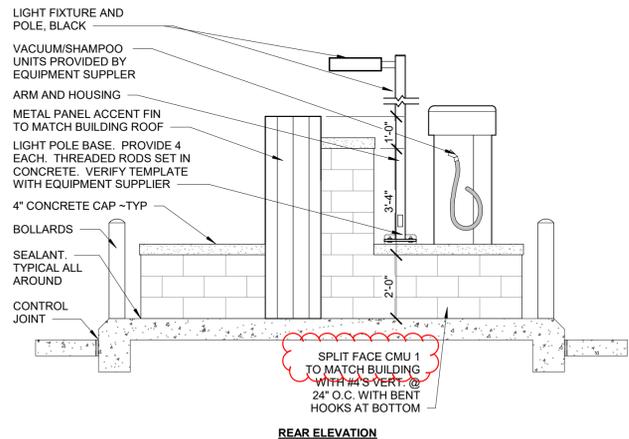
7 DTL-Site Light Pole Plan
9 OF 10 1/2" = 1'-0"



TOP VIEW

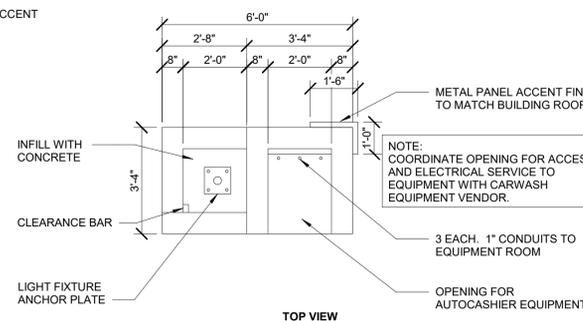


FRONT ELEVATION

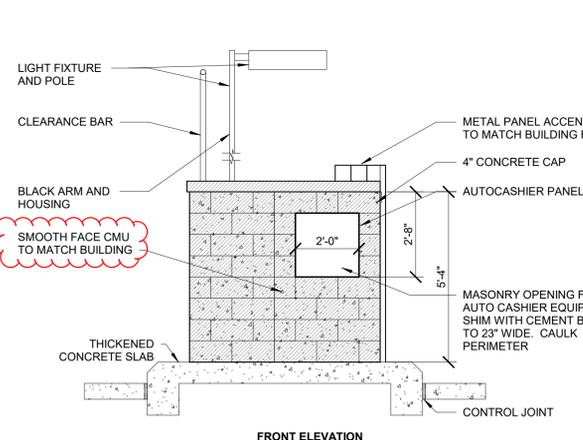


REAR ELEVATION

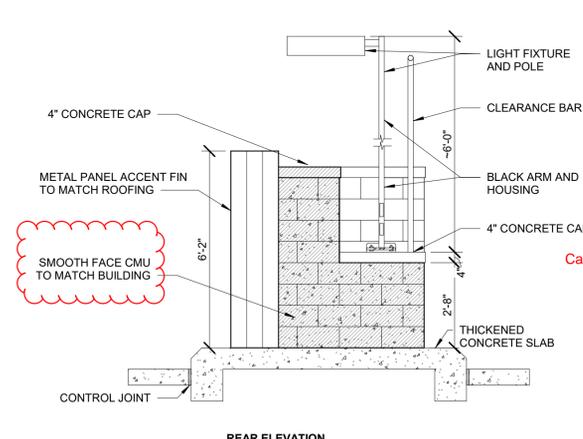
5 DTL-Vacuum Island Station Plan
9 OF 10 3/8" = 1'-0"



TOP VIEW

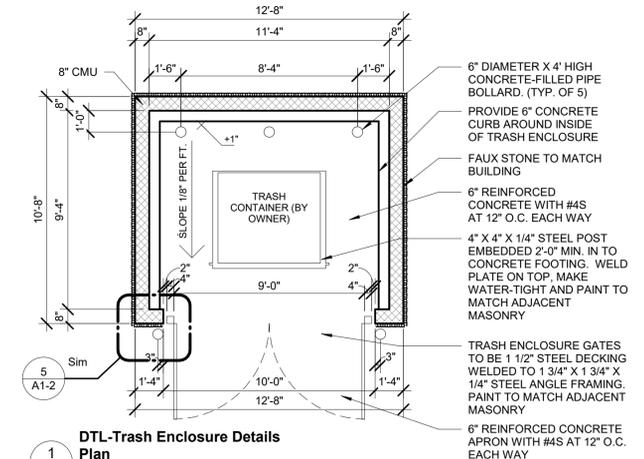


FRONT ELEVATION

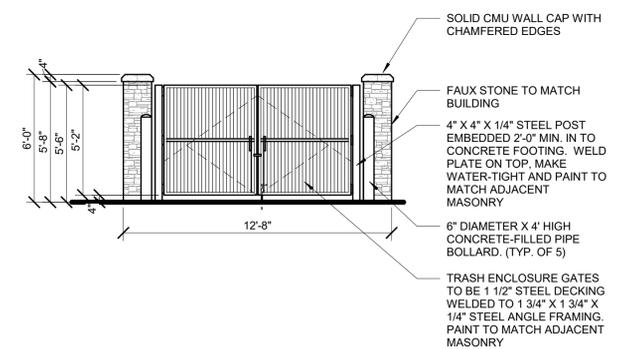


REAR ELEVATION

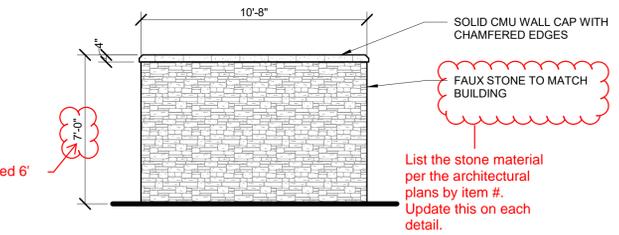
4 DTL-Autopay Station Plan
9 OF 10 3/8" = 1'-0"



DTL-Trash Enclosure Details Plan
9 OF 10 1/4" = 1'-0"



DTL-Trash Enclosure Front Elevation Plan
9 OF 10 1/4" = 1'-0"



DTL-Trash Enclosure Side Elevation Plan
9 OF 10 1/4" = 1'-0"

DATE: 11.02.20
 SCALE: As indicated
 DRAWN BY: PEW
 CHECKED BY: JTK

H O V E R
 ARCHITECTURE
 8920 BARRONS BLVD
 SUITE 102
 HIGHLANDS RANCH, CO 80129
 (720) 773-2800

PROJECT NUMBER
 7102.01

SHEET
 9 OF 10

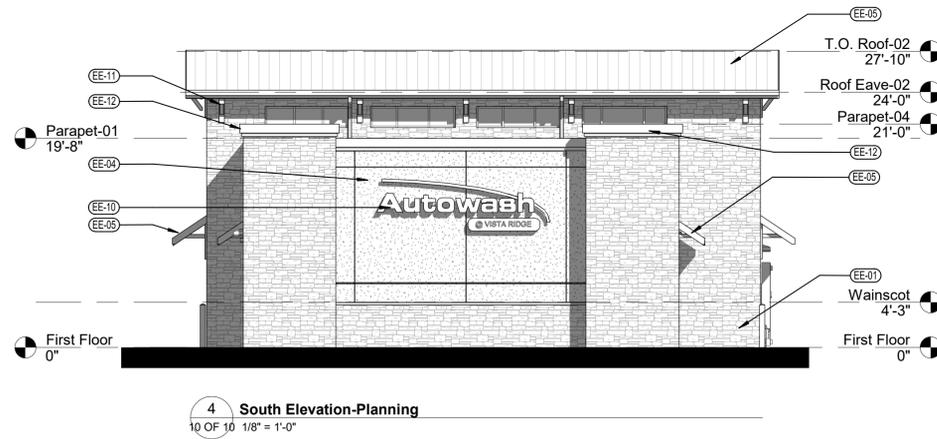
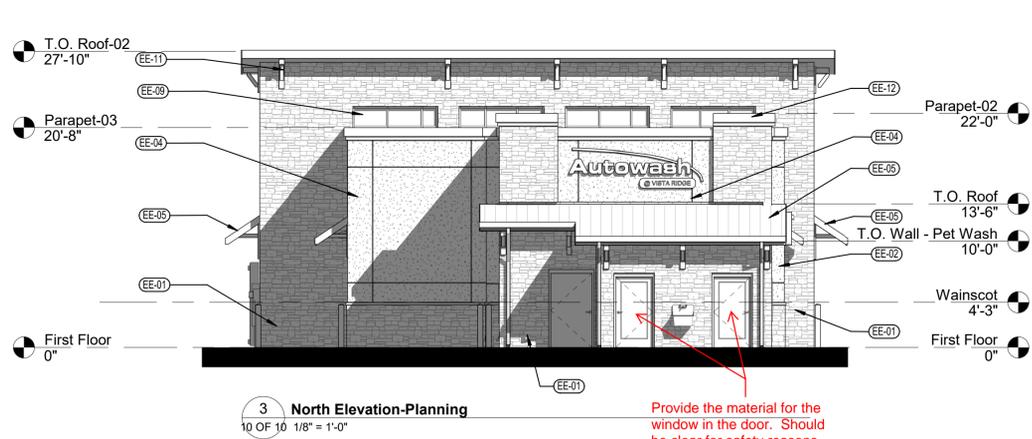
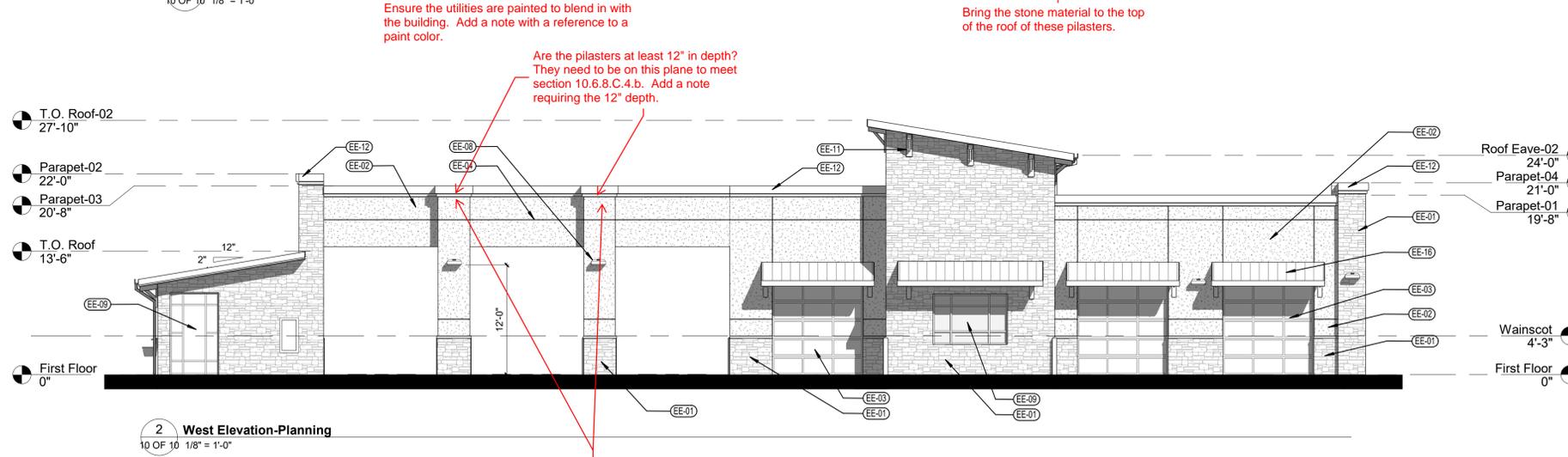
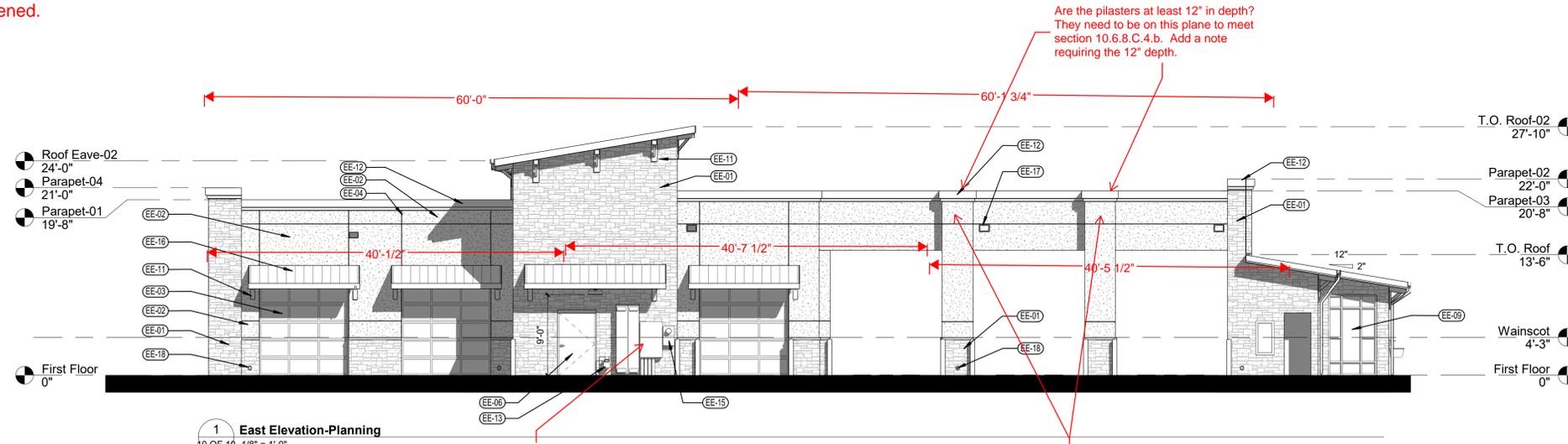
Site Details

VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN

AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32; TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDAN
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
 SRU AREA - 0.82 ACRES - TOTAL AREA 0.82 ACRES
 SITE PLAN - SP-001187-2020
 (SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)

Rooftop mechanical should be shown dashed in to ensure it is appropriately screened.



Key Value	Keynote Text
EE-01	FAUX STONE VENEER, CULTURED STONE, CHARDONNAY COUNTRY LEDGESTONE.
EE-02	STUCCO, EL REY, COLOR: 817 DRY RIVER.
EE-03	SECTIONAL OVERHEAD DOOR - CLEAR ANODIZED & POLYCARBONATE PANELS.
EE-04	STUCCO REVEAL, TYPICAL.
EE-05	STANDING SEAM METAL ROOF, BERRIDGE, COLOR: TERRA-COTTA.
EE-06	METAL MAN DOOR - PAINT MATTE BLACK.
EE-08	DECORATIVE LIGHT FIXTURE - MATTE BLACK.
EE-09	POLYCARBONATE PANELS IN CLEAR ANODIZED ALUMINUM FRAMING.
EE-10	INTERNALLY ILLUMINATED WALL SIGN, FINAL DESIGN BY SIGN VENDOR.
EE-11	WOOD CORBEL, STAINED.
EE-12	STUCCO CORNICE, EL REY, COLOR: 1630 CASTLE.
EE-13	GAS METER.
EE-15	ELECTRICAL SERVICE ENTRANCE.
EE-16	AWNING WITH STANDING SEAM METAL ROOF, BERRIDGE, COLOR: TERRA-COTTA.
EE-17	THROUGH WALL SCUPPER.
EE-18	THROUGH WALL LAMB'S TONGUE.

NOTE:
 THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREON ARE INTENDED TO DEMONSTRATE HOW ALL HVAC AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED ACCORDING TO THE TOWN OF ERIE, UNIFIED DEVELOPMENT CODE REQUIREMENTS. IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE THAT THIS APPROVED SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS, REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES, OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE APPROVED SCREENING MAY RESULT IN DELAY OF FINAL INSPECTIONS AND/OR ISSUANCE OF CERTIFICATE OF OCCUPANCY.

DATE: 11.02.20
 SCALE: 1/8" = 1'-0"
 DRAWN BY: JTK
 CHECKED BY: JTK

H O V E R
 ARCHITECTURE
 8920 BARRONS BLVD
 SUITE 102
 HIGHLANDS RANCH, CO 80129
 (720) 773-2800

PROJECT NUMBER
 7102.01
 SHEET

10 OF 10
 EXTERIOR
 ELEVATIONS

11/2/2020 1:04:36 PM

Chris LaRue

From: bradley.sheehan@state.co.us
Sent: Tuesday, December 22, 2020 12:27 PM
To: Melinda Helmer
Cc: Marilyn Cross - CDOT; Jeff Kloska - CDOT
Subject: Re: Referral Review - Vista Ridge Autowash

Thank you for referring the development proposal for our review. The site is part of the overall development that we have previously reviewed. CDOT has no comments or concerns.

On Thu, Dec 17, 2020 at 2:22 PM Melinda Helmer <mhelmer@erieco.gov> wrote:

Good Afternoon,

Please see the attached link for referral documents for the above noted project: <https://erieco.sharefile.com/d-sc9b6f506c789449d8647d632ab7c9706>

Referral comments are due back by January 19, 2021. Staff DRT is scheduled for January 21, 2021

If you have any questions, please let us know.

Regards,



Melinda Helmer, CMC | Planning Technician
Town of Erie | Planning & Development
645 Holbrook Street | P.O. Box 750 | Erie, CO 80516
Phone: 303-926-2770 | Fax: 303-926-2706

www.erieco.gov/plannng | [Facebook](#) | [Twitter](#) | [LinkedIn](#)

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www.codot.gov www.cotrip.org

Please note that CDOT Region 1 Permits is now at 2829 W. Howard Pl., Denver, CO 80204, 2nd floor

Brad Sheehan P.E.
Colorado Department of Transportation
Access Engineer Region 1
2829 W. Howard Pl.,
Denver, CO 80204
2nd floor
303-512-4271

COLORADO GEOLOGICAL SURVEY

1801 Moly Road
Golden, Colorado 80401



Karen Berry
State Geologist

January 15, 2021

Chris LaRue
Town of Erie
Planning & Development
developmentreferral@erieco.gov

Location:
SW SW SW Section 32,
T1N, R68W, 6th P.M.
40.0009, -105.0353

**Subject: Lot 1, Vista Ridge Filing 6, 2nd Amendment – Autowash
Site Plan SP-001187-2020 / Special Review Use SRU-001186-2020
Town of Erie, Weld County, CO; CGS Unique No. WE-18-0023-2**

Dear Chris:

Colorado Geological Survey has reviewed the Lot 1, Vista Ridge Filing 6, 2nd Amendment special review use and site plan resubmittal for an Autowash car wash and dog wash on approximately 0.82 acre located northeast of Bonanza Drive and SH7/Baseline, immediately east of the existing Kum & Go gas station and convenience store. CGS reviewed the overall Vista Ridge Filing 6, 2nd Amendment minor subdivision plat on June 13, 2017. No geologic or geotechnical information was included with the current referral, so our previous comments remain valid:

According to available historic coal mine maps, the site is not known to be undermined. It does not contain, nor is it exposed to, any geologic hazards that would preclude the proposed site plan and use. **CGS therefore has no objection to approval.**

The Vista Ridge area is underlain by extremely highly expansive clay soils and claystone bedrock. A lot-specific geotechnical investigation is recommended to characterize soil and bedrock engineering properties such as density, strength, water content, and swell/consolidation potential; make recommendations for mitigating collapsible, expansive, and otherwise problematic soils and bedrock; determine the depth and extent of any required overexcavation; and make preliminary design recommendations for subgrade preparation, foundations, floor systems, subsurface drainage, pavements, etc.

Thank you for the opportunity to review and comment on this project. If you have questions or require further review, please call me at 303-384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read "Jill Carlson".

Jill Carlson, C.E.G.
Engineering Geologist

Chris LaRue

From: Matz, Michael B (FAA) <michael.b.matz@faa.gov>
Sent: Friday, December 18, 2020 2:09 PM
To: Bruce, Linda (FAA); Melinda Helmer
Cc: Sweeney, John (FAA)
Subject: RE: Referral Review - Vista Ridge Autowash

Hello Melinda,

We don't see any land compatibility issues surrounding the proposed Car Wash project near Highway 7 and Bonanza Dr.

However, please ensure that the Developer or City submits an airspace study through iOE/AAA so that the project may be evaluated for obstructions and hazards to air navigation.

Please see below for the link to the website to submit the airspace study:

<https://oeaaa.faa.gov/oeaaa/external/portal.jsp>

Once an airspace determination is made, we can follow-up (if needed) to resolve any comments or objections made by the various FAA Lines of Business. There is a 45-day comment period after submittal.

Thanks for the opportunity to review,

Mike Matz

Project Manager/Compliance Specialist
FAA Denver Airports District Office
26805 E. 68th Ave., Suite 224
Denver, CO 80249
(303) 342-1251



From: Matz, Michael B (FAA)
Sent: Friday, December 18, 2020 12:29 PM
To: Bruce, Linda (FAA) <linda.bruce@faa.gov>; Melinda Helmer <mhelmer@erieco.gov>
Subject: RE: Referral Review - Vista Ridge Autowash

Good Afternoon Melinda,

I will take a look at the proposed carwash location and also pass this along to our Colorado Planner (John Sweeney).

We will let you know if we have any comments.

Thank you,

Mike Matz

Project Manager/Compliance Specialist
FAA Denver Airports District Office
26805 E. 68th Ave., Suite 224
Denver, CO 80249
(303) 342-1251



From: Bruce, Linda (FAA) <linda.bruce@faa.gov>
Sent: Thursday, December 17, 2020 5:49 PM
To: Melinda Helmer <mhelmer@erieco.gov>
Cc: Matz, Michael B (FAA) <michael.b.matz@faa.gov>
Subject: RE: Referral Review - Vista Ridge Autowash

Hi Melinda,

I've changed jobs within the FAA and am no longer working on airport planning and land use issues. For land use referrals, you'll now need to contact the Compliance Specialist at FAA's Denver Airports District Office. His name is Mike Matz and I've copied him on this reply. His phone number is (303) 342-1251.

Linda Bruce

Airport Certification Safety Inspector
Federal Aviation Administration
Northwest Mountain Region
ANM-628, Safety and Standards Branch

(303) 342-1264
26805 E. 68th Ave., Suite 224
Denver, CO 80249



Advancing the safest, most efficient airport system in the world

From: Melinda Helmer <mhelmer@erieco.gov>
Sent: Thursday, December 17, 2020 2:17 PM
To: Chad Schroeder <cschroeder@erieco.gov>; Darren Champion <dchampion@erieco.gov>; Luke Bolinger <lbolinger@erieco.gov>; Matt Spinner <mspinner@erieco.gov>; Edward Kotlinski <ekotlinski@erieco.gov>; Andy Ulmer <aulmer@erieco.gov>; Ben Pratt <bpratt@erieco.gov>; Jason Hurd <jason@vectorair.net>; Terry Munson <terrym@vectorair.net>; Bruce, Linda (FAA) <linda.bruce@faa.gov>; CGS_LUR@mines.edu;

January 19, 2021

Town of Erie, Engineering Division
P.O. Box 750
645 Holbrook Street
Erie, Colorado 80516



2480 W. 26th Avenue, Unit B225
Denver, Colorado 80211
Tel: +1 303-964-3333
Fax: +1 303-964-3355
www.merrick.com

RE: AUTOWASH AT VISTA RIDGE DRAINAGE REVIEW

Dear Engineering Division:

We have reviewed the Autowash at Vista Ridge submittal received on December 17, 2020. The submittal included the Phase III Drainage Report for Autowash at Vista Ridge prepared by Kelly Development Services, dated July 22, 2020, the Drainage Compliance Letter for Autowash at Vista Ridge, dated June 26, 2017, and the Vista Ridge Filing No. 6, 2nd Amendment, Lot 5 Site Plans (Autowash at Vista Ridge) by Hover Architecture, dated November 3, 2020. We have the following comments to offer:

Phase III Drainage Report: Autowash at Vista Ridge

Report

1. Please sign and seal the Engineer's Certification with the next submittal.
2. The Coal Creek and Rock Creek Major Drainageway Plan by Respec (2014 MDP) and Erie Outfall System Planning Preliminary Design: Town of Erie and Weld County by Love and Associates (2007 OSP) are applicable to the project location and were included in the references, however, the report was not updated to discuss these studies. In addition, the 2007 OSP was updated by Merrick in 2020 and should be referenced. In the report, discuss any impacts, constraints, and/or required drainage patterns per these references.
3. There are conflicting statements regarding runoff in the interim condition compared to the fully developed condition. Correct the report to state that the Basin B runoff will be less in the interim condition versus the fully developed condition.
4. Provide a discussion to compare the anticipated conditions per the Phase III Drainage Report for Vista Ridge Filing No. 6, 2nd Amendment, by Hurst and Associates, revised January 31, 2020 (2020 Vista Ridge Filing No. 6 drainage report) to the proposed conditions tributary to Detention Pond D, such as how much peak runoff from the site was anticipated, the proposed percent imperviousness, and the tributary drainage area. Additionally, discuss any components of the Detention Pond (i.e., east forebay) that are proposed as part of this project.
5. Based on the Basin Runoff Rate Calculations from the 2020 Vista Ridge Filing No. 6 drainage report, the 5-year runoff from the proposed site is greater than what was anticipated. Per Comment 7a below, provide an analysis of the proposed storm system, including the existing 18" pipe, to verify the capacity is acceptable for the proposed conditions.
6. Provide flows for the 5-year storm event for offsite basins in the Basin Runoff Summary Table.

7. Define the published year for the Town of Erie Standards and Specifications that are being used. Note that the most recent 2020 Vista Ridge Filing No. 6 drainage report used the rainfall per the current Erie Standards which is less than the rainfall used by this study.

Drainage Plan

8. The existing topography appears to have changed, likely due to overlot grading for the development. Sub-basin OS-2 needs to be re-delineated based on the updated grading.
9. Provide a scale for the drawing.
10. Correct the C-values shown on the basin symbol for Basin C to agree with the values calculated on the "Composite 'C' Factors (Developed)" Worksheet in Appendix 1 of the report.
11. The forebay/riprap on the east side of the Detention Pond D (near Design Point 2) is shown as existing. The Grading and Drainage Plan in the Site Plan Set indicates that this riprap forebay is proposed as part of this project. Additionally, no riprap is shown in that location on Sheet 5 of the Vista Ridge Filing 6, 2nd Amendment Construction Plans (1/31/20) by Hurst. If the riprap forebay is existing, provide highlighted reference documents. If it is proposed, show that it is proposed (i.e., darker hatching) on the Drainage Plan as well as the Grading and Drainage Plan in the Site Pla Set and provide calculations for the riprap and forebay.
12. The report states that the "outfall storm sewers from the site...have been designed by Hurst and Associates." However, the drainage plan states that the outfall pipe from Design Point 2 (Basin B) is included as part of this design. Clarify which is correct and update as necessary.

Appendix 1

13. Calculate the runoff for the 5-year storm event in the interim condition.

Appendix 2

14. We have the following comments for the storm sewer model:
 - a. Provide a storm sewer analysis for the 5-year storm event.
 - b. Provide a schematic of the storm systems for the hydraulic analysis. Include manhole and inlet labels.
 - c. A slope of 1.0% for the pipe from Inlet DP 1 is not consistent with the description in the report. The analysis, report and plans must all agree. Correct as needed.
 - d. Correct the flow for Inlet DP 2 to agree with the value calculated in Appendix 1.
 - e. Verify that the pipe lengths for all pipes agree with the construction plans.
15. The Circular Conduit Flow worksheets were not reviewed as the information is redundant to the storm system hydraulic analysis referenced in the comment above.

Appendix 3

16. No comments.

Drainage Compliance Letter: Autowash at Vista Ridge

17. The discussion regarding the comparison of design flows for the detention pond and the proposed flows from the site, should be included in the Phase III Drainage Report rather than being a separate document.

Autowash Site Plan

18. On Sheet 5 Utility Plan, we have the following comments:

- f. Correct Note 6 to agree with the label shown on the plan for the “15” SD (Private).”
- g. Clarify if the 18” RCP outfall pipe is existing or not. If it is existing, correct Notes 8 and 9 to indicate that the storm pipe and detention pond are existing. If it is not existing, then clarify who will be required to construct these and when, and how the timing of construction is coordinated with the development of the Autowash site (i.e., the Pond D must be constructed prior to, or consecutively with, the Autowash site).
- h. Note 5 does not indicate that two different inlet types are proposed. Use labels or notes to identify which inlets are Type R inlets and which are Type 13 Combination inlets.

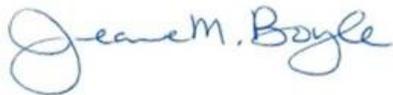
19. On Sheet 6 Grading and Drainage Plan, we have the following comments:

- i. Provide a label to indicate the Type 13 Combination Inlet.
- j. Label the size, length, and material of pipe that exists from Drainage Point 3 (the Type C Inlet).
- k. The report indicates that RCP will be used, not HDPE for the 15” pipes. Clarify which is correct and update the appropriate documents, including calculations. Note that RCP must be used within all right-of-ways.

20. Details must be provided for the inlets and forebay(s).

21. Provide profiles for each of the storm sewer systems according to Section 161.03.05 Storm Drainage Construction Details of the Town Standards and Specifications.

Sincerely,
Merrick & Company



Jeanne M. Boyle, PE, CFM



Theresa Ring, PE



MOUNTAIN VIEW FIRE RESCUE

3561 N. Stagecoach Road • Longmont, CO 80504

(303) 772-0710 • FAX (303) 651-7702

December 22, 2020

Mr. Chris LaRue
Erie Community Development Services
P.O. Box 750
Erie, CO 80516

Dear Mr. LaRue:

I have reviewed the plans for the Autowash proposed for construction on Lot 1 of Vista Ridge Filing 6 (Case Number: SP-001187-2020) and shall make the following comments:

- The building appears to be about 4,400 square foot. In accordance with Appendix B of the International Fire Code, the required fire flow for the building is 1,750 gallons per minute, measured at a residual pressure of 20 pounds per square inch. The Fire District recognizes the required fire flow is available from the existing fire hydrant shown on the plans.
- Fire apparatus access to the building appears to be adequate as indicated on the plans. Fire apparatus access roads must be designed and maintained to support the imposed loads of fire apparatus (75,000 pounds).
- Building construction plans and the final site plan showing a code analysis which includes, the gross square footage of the building, the building construction type, and occupancy classification(s) must be submitted to the Fire District for review and approval before building permits may be issued.

Nothing in this review is intended to authorize or approve of any aspect of this project that does not comply with all applicable codes and standards. We appreciate being involved in the planning process. Should you have any questions, please contact me at 720-678-9890.

Sincerely,



LuAnn Penfold
Fire Prevention Specialist

lp12.16.20

Chris LaRue

From: Clayton Woodruff <Clayton.Woodruff@RTD-Denver.com>
Sent: Thursday, January 7, 2021 10:13 AM
To: Development Referral
Subject: RE-SP-001187-2020 / SRU-001186-2020

The RTD has no comment on this project



C. Scott Woodruff

Engineer III

Regional Transportation District
1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202

o 303.299.2943 | m 303-720-2025
clayton.woodruff@rtd-denver.com



Your Touchstone Energy® Cooperative

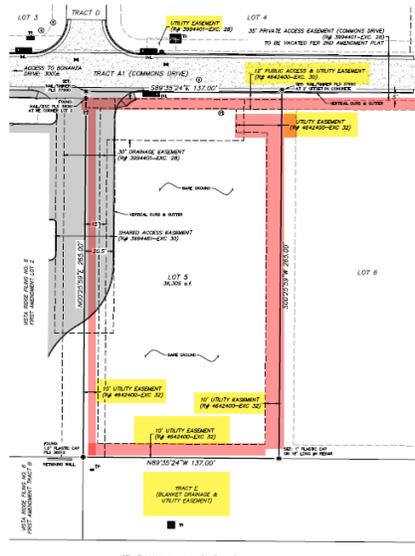
January 18, 2021

Town of Erie Planning Department
645 Holbrook Street – P.O. Box 750
Erie, CO 80516

Re: SP-001187-2020/SRU-001186-2020 - Lot 1, Vista Ridge Flg 6, 2nd Amdt – Autowash

Dear Chris LaRue:

On behalf of United Power, Inc., thank you for inviting us to review and comment on the Vista Ridge Autowash. After review of the information, United Power has existing underground service going south under Commons Drive into the parcel then it veers west and continues south through the parcel then veers east to transformer located just north of Hwy 7 see design picture below. Also, according to the Plat there is concrete sidewalk on the northwest side of the parcel where it is denoted a 10' UE on the plat, is this correct? See copy of plat below. All of this is contingent upon United Power's ability to maintain all existing rights, facilities/equipment, and existing easements. This request should not hinder our ability for future expansion, including all present and any future accommodations for electrical distribution.



Please note, the property owner/developer/contractor must submit an application along with CAD data for new electric service via <https://www.unitedpower.com/construction>. United Power would like to work with these persons early in the construction process on getting an electric design prepared so that we can request any additional easements needed and hopefully have those easements dedicated on the plat rather than obtaining separate document(s). Obtaining easements via a separate document can be time consuming and could cause delays.

As a Reminder: No permanent structures are acceptable within the dry utility easement(s); United Power considers any structure that impedes the access, maintenance, and safety of our facilities a permanent structure. No exceptions will be allowed, and any encroachments could result in penalties.

Service will be provided according to the rules, regulations, and policies in effect by United Power at the time service is requested. We look forward to safely and efficiently providing reliable electric power and outstanding service.

Thank you,

Veronica L Garcia

Veronica L. Garcia
United Power, Inc.
Right of Way Agent II
O: 303-637-1344 | Email: platreferral@unitedpower.com

Chris LaRue

From: Terry Munson <terrym@vectorair.net>
Sent: Tuesday, December 29, 2020 3:33 PM
To: Melinda Helmer
Subject: Re: Referral Review - Vista Ridge Autowash

Dear Melinda,

This project, due to the proximity to the runway at the Erie Municipal Airport, **REQUIRES** an Obstruction Evaluation/Airspace Analysis to be performed to confirm that the project, including the height of structures, does not interfere with airspace reserved for the safe operation of aircraft at the airport.

The FAA states that any person/organization who intends to sponsor any construction or alteration within 20,000 ft of a public use or military airport which exceeds a 100:1 surface from any point on the runway of each airport with its longest runway more than 3,200 ft must notify the Administrator of the FAA.

Please refer to FAA Form 7460-1 [FAA Form 7460-1 Notice of Proposed Construction or Alteration](#) and Form 7460-2 [FAA Form 7460-2, SUPPLEMENTAL NOTICE](#) for additional information.

In the event that any construction project requires construction equipment, i.e, cranes, pumps, etc., that exceeds the height of the construction project, the equipment must be flagged during the day and lighted if in place at night. In addition, the Airport Manager requires 48 hours prior notification of the installation of the equipment so that the appropriate NOTAMs (Notice to Airmen) can be put in place.

Regards,



Jason Hurd
Airport manager
Erie Municipal Airport

On 12/17/2020 2:17 PM, Melinda Helmer wrote:

Good Afternoon,

Please see the attached link for referral documents for the above noted project: <https://erieco.sharefile.com/d-sc9b6f506c789449d8647d632ab7c9706>

Referral comments are due back by January 19, 2021. Staff DRT is scheduled for January 21, 2021

If you have any questions, please let us know.

Regards,

Chris LaRue

From: Judy Leyshon <jleyshon@sdmsi.com>
Sent: Tuesday, January 19, 2021 2:55 PM
To: Melinda Helmer; Chris LaRue
Cc: Matt Cohrs; Nick Moncada
Subject: RE: Referral Review - Vista Ridge Autowash
Attachments: Referral Card - Autowash.docx; Autowash Vista Ridge Real Estate LLC Vista Rdige FLG 6 2nd amendment.pdf; Filing 6, 2nd Amendment SDF calculations for each lot (commercial) 2021.xlsx; Reso No. 2020-11-04; Increase of System Dev Fees Recorded 01.06.21.pdf

Hi Melinda

Please see attached for this referral.

Regards,

Judy L. Leyshon

District Manager



141 Union Boulevard, Suite 150

Lakewood, CO 80228-1898

jleyshon@sdmsi.com

Work: 303-987-0835

The information contained in this electronic communication and any document attached hereto or transmitted herewith is confidential and intended for the exclusive use of the individual or entity named above. If the reader of this message is not the intended recipient or the employee or agent responsible for delivering it to the intended recipient, you are hereby notified that any examination, use, dissemination, distribution or copying of this communication or any part thereof is strictly prohibited. If you have received this communication in error, please immediately notify the sender by reply e-mail and destroy this communication. Thank you.

From: Melinda Helmer <mhelmer@erieco.gov>
Sent: Thursday, December 17, 2020 2:17 PM
To: Chad Schroeder <cschroeder@erieco.gov>; Darren Champion <dchampion@erieco.gov>; Luke Bolinger <lbolinger@erieco.gov>; Matt Spinner <mspinner@erieco.gov>; Edward Kotlinski <ekotlinski@erieco.gov>; Andy Ulmer <aulmer@erieco.gov>; Ben Pratt <bpratt@erieco.gov>; Jason Hurd <jason@vectorair.net>; Terry Munson <terrym@vectorair.net>; Bruce, Linda (FAA) <linda.bruce@faa.gov>; CGS_LUR@mines.edu; bradley.sheehan@state.co.us; jeff.kloska@state.co.us; Cross - CDOT, Marilyn <marilyn.cross@state.co.us>; engineering@RTD-Denver.com; United Power Plat Referral <platreferral@UnitedPower.com>; christopher.janoski@centurylink.com; greg_ellsworth@comcast.net; WSTMWR_MDSubmissions@comcast.com; coloradorightofway@xcelenergy.com; George, Donna L <Donna.L.George@xcelenergy.com>; Jeanne Boyle <Jeanne.Boyle@Merrick.com>; Charles.Buck <Charles.Buck@FHUENG.COM>; LuAnn Penfold <lpenfold@mvfpd.org>; Judy Leyshon <jleyshon@sdmsi.com>; David Cummings <dj_cummings@yahoo.com>; James R. Spehalski, P.E. (jspehalski@marathonlc.com) <jspehalski@marathonlc.com>; Patricia Miller <millerpatricia262@gmail.com>; planningapps@broomfield.org

Cc: Chris LaRue <clarue@erieco.gov>

Subject: Referral Review - Vista Ridge Autowash

Good Afternoon,

Please see the attached link for referral documents for the above noted project: <https://erieco.sharefile.com/d-sc9b6f506c789449d8647d632ab7c9706>

Referral comments are due back by January 19, 2021. Staff DRT is scheduled for January 21, 2021

If you have any questions, please let us know.

Regards,



Melinda Helmer, CMC | Planning Technician

Town of Erie | Planning & Development

645 Holbrook Street | P.O. Box 750 | Erie, CO 80516

Phone: 303-926-2770 | Fax: 303-926-2706

www.erieco.gov/plannng | [Facebook](#) | [Twitter](#) | [LinkedIn](#)

Erie, Colorado - the BEST place to raise a family!

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VISTA RIDGE METROPOLITAN DISTRICT

141 Union Boulevard, Suite 150
Lakewood, Colorado 80228-1898
Tel: 303-987-0835 • 800-741-3254
Fax: 303-987-2032

January 19, 2021

To Whom it may concern:

I am in receipt of the referral for Autowash Vista Ridge Real Estate LLC., Lot 1 Vista Ridge Flg 6.2nd amendment. This email shall serve as notification that a one-time System Development Fee is due to the District in the amount of \$14,950.39 (at the 2021 rate). For your convenience, attached is the Fee Schedule Summary. Also attached is the District's most recent Fee Resolution.

Please note that this Fee (if unpaid) may be subject to a 5% increase each year January 1st, plus a \$3,000 per gross acre penalty, plus interest.

Payment should be remitted to: Vista Ridge Metropolitan District; 141 Union Blvd., Suite 150, Lakewood, CO 80228.

I am happy to answer any questions you may have to provide further documentation if necessary.

Sincerely,



Judy Leyshon
District Manager
Special District Management Services, Inc.

System Development Fee Schedule / Summary

Filing No. 6, Second Amendment Final Plat

Gross Area **21.04** acres

2021 System Development Fee \$15,987.82 per gross acre

\$ 336,383.73

	Acres	Total %	Fee
Lot 1	0.82	4.4444%	\$14,950.39
Lot 2	1.23	6.6667%	\$22,425.58
Lot 3	1.11	6.0163%	\$20,237.72
Lot 4	1.25	6.7751%	\$22,790.23
Lot 5	1.44	7.8049%	\$26,254.34
Lot 6	1.97	10.6775%	\$35,917.40
Lot 7	10.63	57.6152%	\$193,808.08
	<u>18.45</u>	100.0000%	<u>\$336,383.73</u>

Tract A	1.250
Tract B	0.470
Tract C	0.540
Tract D	0.330
	<u>2.590</u>

Total Gross Acreage **21.040**

RESOLUTION NO. 2020-11-04

**RESOLUTION OF THE BOARD OF DIRECTORS OF THE VISTA RIDGE
METROPOLITAN DISTRICT REGARDING THE INCREASE OF SYSTEM
DEVELOPMENT FEES**

A. Vista Ridge Metropolitan District (the “**District**”) is a quasi-municipal corporation and political subdivision of the State of Colorado.

B. The District is empowered to provide for the design, acquisition, construction, installation, and financing of certain water, sanitary sewer and storm drainage, street, park and recreation, transportation, and television relay and translation system improvements and services within the boundaries of the district (the “**Improvements**”).

C. The District is authorized pursuant to Section 32-1-1001(1)(j)(I), C.R.S. to fix fees and charges for services and facilities provided by the District.

D. On May 28, 2001, the District approved and adopted that certain Resolution Regarding the Imposition of System Development Fees, whereby the District imposed a System Development Fee of \$10,000 per Gross Acre, as defined in the resolution, which fee may be increased from time to time at the discretion of the District.

E. On December 14, 2016, the District issued \$2,750,000 Revenue Refunding Bonds, Series 2016 (the “**2016 Series Bonds**”).

F. The District is authorized to pledge the revenue from fees for the payment of any indebtedness of the District which, until paid, shall constitute a perpetual lien on and against the property served.

G. The District previously adopted Resolution No. 2019-11-04, Resolution of the Board of Directors of the Vista Ridge Metropolitan District Regarding the Increase of System Development Fees, which increased the System Development Fee to \$15,987.82 per Gross Acre.

H. The District has determined that, to meet the costs of servicing the 2016 Series Bonds, it is necessary to further increase the System Development Fees.

I. Unless previously paid, the System Development Fees shall apply to all property within the District’s boundaries of the District. A legal description of the property within the District’s boundaries for which System Development Fees have not been paid as of the date of this Resolution, is set forth in **Exhibit A**, attached hereto and incorporated herein by this reference (the “**Property**”).

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF DIRECTORS OF THE VISTA RIDGE METROPOLITAN DISTRICT, WELD COUNTY, COLORADO:

1. The Board of Directors hereby finds, determines and declares that it is in the best interest of the District and its inhabitants to exercise its power by increasing the System Development Fees to \$15,987.82 per Gross Acre.

2. The Board of Directors hereby finds, determines and declares that it is in the best interest of the District and its inhabitants to pledge the revenues from the System Development Fees to payment of the 2016 Series Bonds or any other indebtedness of the District.

3. The District hereby imposes a System Development Fee of \$15,987.82 per Gross Acre of land within the boundaries of the District, as applied to the parcels in the Planning Areas within the Property described in **Exhibit B**, attached hereto and incorporated herein by this reference.

4. To the extent not previously paid, all owners of Property within the District, other than governmental owners, shall be assessed and charged a System Development Fee for use of the District's services and facilities, calculated as follows:

(a) After approval by the Town of Erie of the creation of lots by subdivision within a Planning Area, the System Development Fee shall be imposed and collected in such Planning Area in accordance with an allocation of the amount due per Gross Acre as calculated by the District Manager. An example of such calculation is attached to this Resolution as **Exhibit C** and is incorporated herein by this reference.

(b) If the System Development Fee is not paid prior to or contemporaneous with the issuance of a building permit, the owners of Property within the District shall be charged, and the District shall calculate, impose and collect an additional \$3,000.00 per Gross Acre, plus interest on the total System Development Fee due, including the amount due under this subsection, as set forth in Section 6 below.

5. The System Development Fee shall be due and payable for each Lot at the time of issuance of a building permit.

6. Any unpaid System Development Fees shall constitute a statutory and perpetual lien against the Property pursuant to Section 32-1-1001(1)(j)(I), C.R.S., such lien being a charge imposed for the provision of the services and facilities to the Property. The lien shall be perpetual in nature as defined by the laws of the State of Colorado on the Property and shall run with the land. This Resolution shall be recorded in the offices of the Clerk and Recorder of Weld County, Colorado.

7. Failure to make a payment of the System Development Fees due hereunder shall constitute a default in the payment of such System Development Fees. Upon a default, interest shall accrue on such total amount of System Development Fees due at the rate of 18% per annum and the District shall be entitled to institute such remedies and collection proceedings as may be authorized under Colorado law, including but not limited to foreclosure of the District's perpetual lien. The defaulting property owner shall pay all costs, including attorney's fees, incurred by the

District in connection with the foregoing. In foreclosing its lien, the District will enforce the lien only to the extent necessary to collect unpaid System Development Fees and costs.

8. Judicial invalidation of any of the provisions of this Resolution or of any paragraph, sentence, clause, phrase or word herein, or the application thereof in any given circumstances, shall not affect the validity of the remainder of this Resolution, unless such invalidation would act to destroy the intent of essence of this Resolution.

9. The District does hereby covenant that it will not adopt a Resolution reducing the amount of the System Development Fees set forth herein and shall assess, levy, collect and enforce the payment of the System Development Fees until such time as the 2016 Series Bonds are fully paid or refunded.

10. The System Development Fees set forth herein are hereby approved and adopted by this Resolution of the Board of Directors of Vista Ridge Metropolitan District, and are effective as of January 1, 2021.

11. Any questions regarding imposition of the System Development Fee or to acquire the fee amount due as it relates to a particular lot or tract should be directed to the District's Manager, Judy L. Leyshon, at Special District Management Services, Inc., 141 Union Blvd., Suite 150, Lakewood, Colorado 80228; 303-987-0835.

[SIGNATURE PAGE FOLLOWS]

[SIGNATURE PAGE FOR RESOLUTION NO. 2020-11- 04

VISTA RIDGE METROPOLITAN
DISTRICT

By: 
President

Attest:

By: 
Secretary

EXHIBIT A

**Legal Description of the Property within the District's Boundaries for which fees
are still due.**

Lot 12 Vista Ridge Filing No. 14, Fifth Amendment Minor Subdivision, Town of Erie, County
of Weld, State of Colorado, Reception No. 4514378, Recording Date 08/14/2019

EXHIBIT B**Planning Areas within the District**

System Development Fee Schedule

Planning Area	Gross Area (AC)	System Development Fee (\$/AC)	Total Parcel Fee (\$)	Land Use Designation
1-1	18.05	\$15,987.62	\$288,576.54	Estate
1-2 (N)	1.52	\$15,987.62	\$24,301.18	Estate
1-2 (S)	1.09	\$15,987.62	\$17,426.51	Estate
2-1	20.16	\$15,987.62	\$322,310.42	Low
2-2	4.49	\$15,987.62	\$71,784.41	Low
2-3	19.23	\$15,987.62	\$307,441.93	Low
2-4	18.87	\$15,987.62	\$301,686.39	Low
2-5	15.57	\$15,987.62	\$248,927.24	Low
2-6	16.50	\$15,987.62	\$263,795.73	Low
2-7	12.31	\$15,987.62	\$196,807.60	Low
2-8	5.57			Open Space
2-9	11.38	\$15,987.62	\$181,939.12	Low
3-1	25.50	\$15,987.62	\$407,684.31	Low/Medium
3-2	40.27	\$15,987.62	\$643,821.46	Low/Medium
3-3	53.46	\$15,987.62	\$854,698.17	Low/Medium
4-1	54.14	\$15,987.62	\$865,569.75	Medium
4-2	48.49	\$15,987.62	\$775,239.69	Medium
4-3	13.12	\$15,987.62	\$209,757.57	Medium
5-1	26.11	\$15,987.62	\$417,436.76	High
5-2	32.62	\$15,987.62	\$521,516.16	High
5-3	18.60	\$15,987.62	\$297,369.73	High
6-1	23.85	\$15,987.62	\$381,304.74	Multi - Family
7-1	26.20	\$15,987.62	\$418,875.64	Commercial
7-2	13.68	\$15,987.62	\$218,710.64	Commercial
7-3	55.73	\$15,987.62	\$890,990.06	Commercial
7-4	8.38	\$15,987.62	\$133,976.26	Commercial

Total**584.89****\$9,261,948.02**

EXHIBIT C

Example of Calculation of System Development Fee Per Lot

System Development Fee Schedule/Summary
Filing No. 1A, 2nd Amendment Final Plat *

System Development Fee Schedule / Summary				
Filing No. 1A, 2nd Amendment Final Plat				
			Gross Area	3.900 acres
			2021 System Development Fee	<u>\$15,987.82</u> per acre
			Gross System Development Fee	\$ 62,352.50
Prorata % including Tract				
	SF	Acres	A, B & C	Fee
Lot 1	14,517	0.333	10.72%	\$6,682.30
Lot 2	15,176	0.348	11.20%	\$6,985.65
Lot 3	12,277	0.282	9.06%	\$5,651.21
Lot 4	34,515	0.792	25.48%	\$15,887.56
Lot 5	17,765	0.408	13.11%	\$8,177.38
Lot 6	9,405	0.216	6.94%	\$4,329.20
Lot 7	8,160	0.187	6.02%	\$3,756.12
Lot 8	11,413	0.262	8.43%	\$5,253.50
Lot 9	12,230	0.281	9.03%	\$5,629.58
	<u>135,458</u>	<u>3.110</u>	<u>100.00%</u>	<u>\$62,352.50</u>
Tract A	25,509	0.586		
Tract B	6,652	0.153		
Tract C	<u>3,445</u>	<u>0.079</u>		
	<u>35,606</u>	<u>0.817</u>		
		3.927		

**Fee may need to be adjusted once Subdivision Plat is approved. Fee is subject to annual determination by the Board of Directors of the District.

Buyer/Owner shall verify current System Development Fee by contacting the District Manager:

Judy Leyshon
Special District Management Services, Inc.
303-987-0835
jleyshon@sdmsi.com

Chris LaRue

From: Schoborg, Brittany R <Brittany.R.Schoborg@xcelenergy.com>
Sent: Wednesday, December 23, 2020 3:16 PM
To: Development Referral
Subject: RE: Referral Review - Vista Ridge Autowash

There are no Transmission engineering encroachment concerns from Xcel Energy regarding this project.

Thanks,

Brittany Schoborg

Xcel Energy
Contract Agent, Siting & Land Rights
1800 Larimer Street, Suite 400, Denver, CO 80202
P: 303.571-7291 C: 303.507.9927
E: brittany.r.schoborg@xcelenergy.com

From: Melinda Helmer <mhelmer@erieco.gov>
Sent: Thursday, December 17, 2020 2:17 PM
To: Chad Schroeder <cschroeder@erieco.gov>; Darren Champion <dchampion@erieco.gov>; Luke Bolinger <lbolinger@erieco.gov>; Matt Spinner <mspinner@erieco.gov>; Edward Kotlinski <ekotlinski@erieco.gov>; Andy Ulmer <aulmer@erieco.gov>; Ben Pratt <bpratt@erieco.gov>; Jason Hurd <jason@vectorair.net>; Terry Munson <terrym@vectorair.net>; Bruce, Linda (FAA) <linda.bruce@faa.gov>; CGS_LUR@mines.edu; bradley.sheehan@state.co.us; jeff.kloska@state.co.us; Cross - CDOT, Marilyn <marilyn.cross@state.co.us>; engineering@RTD-Denver.com; United Power Plat Referral <platreferral@UnitedPower.com>; christopher.janoski@centurylink.com; greg_ellsworth@comcast.net; WSTMWR_MDSubmissions@comcast.com; Colorado Right of Way <coloradorightofway@xcelenergy.com>; George, Donna L <Donna.L.George@xcelenergy.com>; Jeanne Boyle <Jeanne.Boyle@Merrick.com>; Charles.Buck <Charles.Buck@FHUENG.COM>; LuAnn Penfold <lpenfold@mvfpd.org>; Judy Leyshon <jleyshon@sdmsi.com>; David Cummings <dj_cummings@yahoo.com>; James R. Spehalski, P.E. (jspehalski@marathonlc.com) <jspehalski@marathonlc.com>; Patricia Miller <millerpatricia262@gmail.com>; planningapps@broomfield.org
Cc: Chris LaRue <clarue@erieco.gov>
Subject: Referral Review - Vista Ridge Autowash

EXTERNAL - STOP & THINK before opening links and attachments.

Good Afternoon,

Please see the attached link for referral documents for the above noted project: <https://erieco.sharefile.com/d-sc9b6f506c789449d8647d632ab7c9706>

Referral comments are due back by January 19, 2021. Staff DRT is scheduled for January 21, 2021

If you have any questions, please let us know.

Regards,



The Town of Erie
645 Holbrook St.
P.O. Box 750
Erie, CO 80516
(303) 926-2774
clarue@erieco.gov

Planning & Development Planning

Memo

To: Dennis Dreeszen, Troy Kirschman
From: Chris LaRue, Senior Planner
Date: April 14, 2021
Re: SP-001187-2020: Vista Ridge Filing No. 6, 2nd Amendment, Lot 5 – Vista Ridge Auto Wash
SRU-001186-2020 – Special Review Use for the Auto Wash – 2nd Round Reivew
cc: Fred Starr; Deborah Bachelder; David Pasic; Chad Schroeder; Luke Bolinger; Darren
Champion

Town staff has reviewed the SP-001187-2020 & SRU-001186-2020: Site Plan & Special Review Use for the Vista Ridge Filing No. 6, 2nd Amendment Lot 5 applications for conformance with Municipal Code, Title 10 at the April 8, 2021 Development Review Team meeting. A list of the Town staff that have commented and referral agencies that have responded are listed below. Referral comments received by the Town after the date of this memo shall be forwarded on to the applicant.

The next step for the application is revision and resubmittal for another referral and Development Review Team review. Please make the appropriate revisions to the application materials and provide written response to address each written comment from the Town staff and referral agencies.

Paper Copies:

- 1 Paper Copy of revised plans – internally distributed to: Engineering

Digital Copies (Request an upload link from Melinda Helmer, mhelmer@erieco.gov, in advance of a resubmittal):

- 1 Digital Copy of written response and all resubmittal documents. Digital copies will be distributed to the following referral agencies:
 1. Town of Erie – internally distributed to: Planning, Engineering, Stormwater, & Parks and Rec
 2. FAA
 3. Merrick (please coordinate these comments with Chad Schroeder)
 4. Vector Air
- The following agencies provided comments that do not require an additional referral:
 1. Building
 2. CGS
 3. Mountain View Fire
- The following agencies did not provide comments:

1. CDOT
2. Century Link
3. City & County of Broomfield
4. Comcast
5. Erie Airpark HOA
6. FHU
7. RTD
8. United Power
9. Vista Ridge Metropolitan District
10. Vista Ridge HOA
11. Vista Ridge Commercial District Association
12. Xcel Energy

Planning Comments

GENERAL

1. Please ensure the utility easements are appropriately labeled on the site plan.
2. Please note, the Town anticipates greatly shortening next round of review given the limited amount of comments remaining. This will depend upon the current workload at the time of submittal, and the amount of comments to be provided by engineering.

Site Plan

1. Refer to planning redlines on the Site Plan (**attached**) for revisions to sheets.
2. Please address and incorporate all referral comments.

INFORMATIONAL COMMENTS

The following comments are informational in nature and do not require a response at this time:

1. Special Review Use/Site plan Process: At the time that the Site Plan and SRU and associated documents are acceptable to staff, the Site Plan & SRU shall be placed on the next available Planning Commission and Board of Trustees meetings as public hearings. Prior to the PC meeting, the applicant shall be responsible for providing all items requested by staff including executed mylars and development agreement (if applicable). After approval by BOT, the Site Plan shall be signed and kept on file.

The review process is a cumulative process and dependent on various criteria. We reserve the right to provide further comment(s) and request additional information. Please contact me at 303-926-2776 or clarue@erieco.gov for further clarification. Staff is happy to schedule a virtual meeting to discuss the comments.

Sincerely,

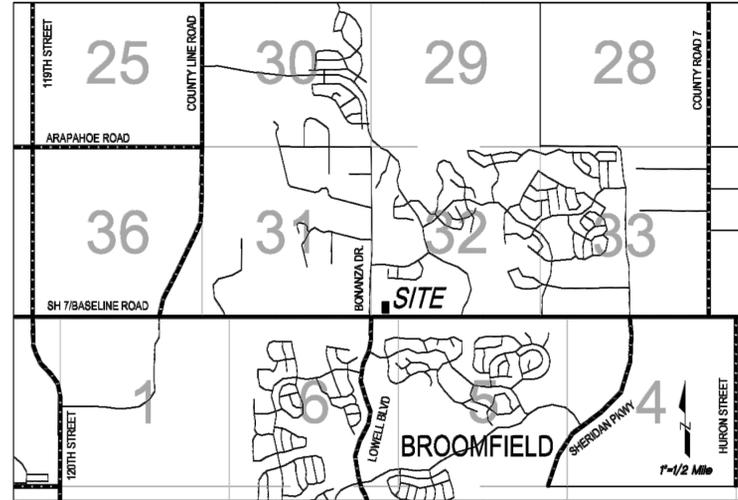
Christopher C. LaRue
Senior Planner

ATTACHMENTS:

1. Staff Memos:
2. Redlines
3. Referral Comments

VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
SRU AREA - 0.83 ACRES - TOTAL AREA 0.83 ACRES
SITE PLAN - SP-001187-2020
(SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)



VICINITY MAP
1"=1/2 MILE

- SHEET INDEX**
- 1 COVER SHEET
 - 2 SITE PLAN
 - 3 LANDSCAPE PLAN
 - 4 LANDSCAPE DETAILS
 - 5 UTILITY PLAN
 - 6 GRADING AND DRAINAGE PLAN
 - 7 PHOTOMETRIC PLAN
 - 8 LIGHT FIXTURE CUT SHEETS
 - 9 SITE DETAILS
 - 10 EXTERIOR ELEVATIONS

LEGAL DESCRIPTION:
LOT 5, VISTA RIDGE FILING NO. 6, 2ND AMENDMENT

SITE PLAN APPROVAL CERTIFICATE

THIS SITE PLAN HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORDANCE WITH APPLICABLE TOWN OF ERIE REGULATIONS.

PLANNING COMMISSION CHAIR _____ DATE _____

BOARD OF TRUSTEES MAYOR _____ DATE _____

the undersigned as the owner or owner's representative of the lands described herein, hereby agrees on behalf of himself/herself, their heirs, successors, and assigns to develop and maintain the property described hereon in accordance with this approved Site Plan and in compliance with the Town of Erie Unified Development Code and Municipal Code.

OWNER _____ OWNER PRINTED NAME _____

Acknowledged before me this _____ day of _____, 20____,
by _____ as _____.

Witness my hand and official seal _____ (seal)

Notary Public _____

My commission expires: _____

SITE DATA TABLE		
ZONE DISTRICT - PD COMMERCIAL		
SITE ADDRESS	530 COMMONS DRIVE	
ITEM	SQUARE FOOTAGE	% OF GROSS SITE AREA
GROSS SITE AREA	36,305	100
BUILDING FOOTPRINT	4,392	12.1
PARKING/ROADS (INCLUDING PLANTED INTERIOR PARKING ISLANDS)	17,758	48.9
HARDSCAPE TOTAL	22,150	61.0
PLANTED AREA (EXCLUDING PLANTED INTERIOR PARKING ISLANDS)	13,287	36.6
EXISTING VEGETATION	0	0
TRAILS AND SIDEWALKS	868	2.4
LANDSCAPE TOTAL	14,155	39.0
OFF-STREET PARKING	REQUIRED	PROVIDED
STANDARD SPACES	1	
DOG WASH (ANIMAL CARE) - 1/600 S.F.	1	
EMPLOYEE	2	8
TOTAL STANDARD SPACES		
STACKING SPACES		
AUTOMATIC WASH BAYS - 6 SP./BAY	18	34
SELF-SERVE WASH BAYS - 3 SP./BAY	9	
TOTAL STACKING SPACES	27	
ACCESSIBLE PARKING SPACES	1	1

Different than landscaping plan

Provide an actual analysis in a separate exhibit/report. Include within the analysis and justifications for the parking being requested. You should also include the a discussion on the amount of on-site employees reporting to the facility every day as those spaces would not be available to customers. It would be helpful to use other locations as examples. How does what is being proposed compare to those other locations? How many spaces do the other locations have, and are they needed each day. Talk about how this is not a full service car wash and the parking needs are different.

Please do update the narrative as well. this will be shared with our boards and needs to be consistent with the site plan.

AMENDMENTS

PROJECT CONTACTS:

APPLICANT AUTOWASH LLLP ATTN: SKYLAR 2033 CENTRAL PARK BLVD. DENVER, CO 80228 PHONE: (303) 514-0905 CONTACT: DENNIS DREESZEN dennisdreeszen@hotmail.com	OWNER BONANZA DRIVE DEVELOPMENT CORPORATION 9750 CAMBRIDGE ST. LITTLETON, CO 80127 (303) 920-5400 jpehalak@marathonic.com	ARCHITECT HOVER ARCHITECTURE 8999 S. LINCOLN ST., SUITE 201 LITTLETON, CO 80122 CONTACT: TROY KIRSCHMAN PHONE: (720) 773-2961 jkirschman@hoverarchitecture.com	CIVIL ENGINEER KELLY DEVELOPMENT SERVICES 3931 SCRUB OAK LANE LONE TREE, CO 80124 CONTACT: GREG KELLY PHONE: (303) 998-4338 greg@kellydev.com	LANDSCAPE ARCHITECT JUMP DESIGN 1733 S. CLARKSON ST. DENVER, CO 80104 CONTACT: TOM JUMP PHONE: (303) 282-0463 tom@jumpdesign.com
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DATE OF ISSUE: 02-22-21
SCALE: N.A.
DRAWN BY: AT
CHECKED BY: AT

HOVER ARCHITECTURE
8089 S. LINCOLN STREET
SUITE 201
LITTLETON, CO 80122
(720) 773-2801

SHEET
1 OF 10
COVER SHEET

VISTA RIDGE FILING NO. 6, 2ND AMENDMENT, LOT 5 SITE PLAN AUTOWASH AT VISTA RIDGE



A PORTION OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
SRU AREA - .83 ACRES - TOTAL AREA .83 ACRES
SITE PLAN - SP-001187-2020
(SPECIAL REVIEW USE SITE PLAN - SRU-001186-2020)

NOTES

1. ALL WORK SHALL CONFORM TO THE TOWN OF ERIE, STATE AND ALL APPLICABLE CODES AND REGULATIONS.

2. CONTACT APPROPRIATE UTILITY LOCATORS TO LOCATE ALL BURIED UTILITY LINES. FIELD-VERIFY EXISTING LOCATIONS, GRADES, AND CONDITIONS OF ALL BURIED LINES AND STRUCTURES PRIOR TO BEGINNING CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS. DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED AT HIS OWN COST WITH NO EXPENSE TO THE OWNER.

3. REFER TO THE CONSTRUCTION PLAN SET FOR RELATED PLAN INFORMATION INCLUDING ARCHITECTURAL, ENGINEERING AND ELECTRICAL DRAWINGS. ANY DISCREPANCIES THAT AFFECT THIS WORK MUST BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. IF DISCREPANCIES EXIST DO NOT PROCEED WITH CONSTRUCTION ACTIVITIES WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.

4. FIELD-VERIFY THE LOCATION OF ALL PERTINENT EXISTING & ALREADY CONSTRUCTED SITE IMPROVEMENTS PRIOR TO BEGINNING WORK. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THE INFORMATION SHOWN ON THESE PLANS.

5. REFER TO GRADING AND DRAINAGE DRAWINGS DONE BY OTHER CONSULTANTS FOR GRADES AND ELEVATIONS.

6. COORDINATE LOCATION OF IRRIGATION SLEEVING FOR INSTALLATION PRIOR TO PARKING AND WALK PAVING OPERATIONS. SEE IRRIGATION PLANS.

FINE GRADING / PREPARATION NOTES

7. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING. COORDINATE WITH GENERAL CONTRACTOR. THE TOP 4" OF LANDSCAPE AREAS SHALL BE EXISTING OR IMPORTED TOPSOIL AS NECESSARY.

8. ROUGH GRADES MUST BE REVIEWED AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO FINE GRADING AND SOIL PREPARATION OPERATIONS. ENSURE POSITIVE DRAINAGE (2% MIN. FALL) AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES IN ALL LANDSCAPE AREAS. NOTIFY OWNER'S REPRESENTATIVE IF ROUGH GRADING CONDITIONS WILL CREATE PONDING OR FLOW TOWARD FOUNDATIONS. DO NOT PLANT IN SWALE BOTTOMS OR OTHER LOCATIONS OF CONCENTRATED DRAINAGE SO AS TO BLOCK FLOWS.

9. FINE GRADE ALL LANDSCAPE AREAS TO +/- .10'. AREAS SHALL BE SETTLED AND RAKED SMOOTH. DEBRIS, ROCK, CLODS, ETC. THAT WILL NOT PASS THROUGH TYNES OF A HAND RAKE SHALL BE REMOVED FROM THE SURFACE. LANDSCAPE AREAS SHALL BE FIRM WITHOUT DEPRESSIONS PRIOR TO PLANTING. ALL FINE GRADING MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION.

10. SOIL AMENDMENT SHALL BE LOW-SALTS, FULLY-MATURED ORGANIC COMPOST, CERTIFIED FREE OF PATHOGENS. pH SHALL BE 6.0 TO 7.4 WITH A MIN. OF 30% ORGANIC MATERIAL. COMPOST SHALL BE BIOCOMP-CLASS 1 BY A1 ORGANICS 16350 WCR 76, EATON, CO 80615, OR APPROVED EQUAL. AMENDMENT FOR LANDSCAPE AREAS SHALL BE 4 C.Y. PER 1,000 S.F.

11. FOR TURF AREAS THE TOP 6" OF SUBGRADE SHALL BE TOPSOIL AND SOIL AMENDMENT MIXTURE TILLED TO A MIN. DEPTH OF 8". IN BED AREAS, THE TOP 6" OF SUBGRADE SHALL BE TOPSOIL & AMENDMENT TILLED TO A MIN. DEPTH OF 12".

12. IN ALL BED AREAS HOLD TOP OF SUBGRADE 3-4" BELOW ADJACENT IMPROVEMENTS TO ALLOW ROOM FOR SPECIFIED MULCH DEPTH.

EDGER

13. ALL PLANTING BEDS ARE TO BE CONTAINED BY 3/16" X 4" INTERLOCKING STEEL EDGER PAINTED GREEN OR BLACK. EDGER TO HAVE A ROLLED STEEL TOP FOR SAFETY. INSTALL PER MFR'S. RECOMMENDATIONS. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS OR WALKS. HOLD SUBGRADE FOR SOD 1" BELOW TOP OF EDGER. SHOULD EDGER CROSS SWALES OR OTHER LOCATIONS OF CONCENTRATED FLOW, USE PERFORATED EDGER OR DRILL HOLES 1" ALLOW WATER TO PASS- 3 HOLES PER LINEAR FOOT.

PLANTING NOTES

14. LAYOUT PLANT BED EDGER LINE AND STAKE INDIVIDUAL PLANT LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

15. PLANTS SHALL MEET THE MINIMUM STANDARDS OUTLINED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 (2004). ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PLANTS NOT MEETING THE SET STANDARDS WILL BE REJECTED.

16. COORDINATE STREET TREE LOCATIONS WITH NEW UTILITY LINE LOCATION/ IMPROVEMENTS PRIOR TO INSTALLATION.

17. PLANT SPECIES AND LOCATION SHOULD FOLLOW APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN THE APPLICANT MUST GET APPROVAL FROM THE OWNER'S REPRESENTATIVE.

18. ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR A PERIOD OF NOT LESS THAN 1 YEAR AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER. WARRANTY SHALL BE A ONE-TIME REPLACEMENT THAT INCLUDES PLANT MATERIAL AND LABOR COSTS.

19. PLANT QUANTITIES SHOWN SYMBOLICALLY ON THE PLAN SHALL TAKE PRECEDENCE AND BE INSTALLED OVER THOSE TOTALS IN THE PLANT LIST.

20. PLANT HOLE BACKFILL SHALL BE 1/3 TOPSOIL, 1/3 COMPOSTED AMENDMENT AND 1/3 NATIVE SOIL THOROUGHLY MIXED.

21. ALL NEWLY-PLANTED TREES, SHRUBS AND ORNAMENTAL GRASSES SHALL RECEIVE SCOTTS AGRIFORM 20-10-5 PLANTING TABLETS OR APPROVED EQUAL. AFTER PLANTINGS PERENNIAL BEDS SHALL RECEIVE GRANULAR FERTILIZER WITH A FORMULATION OF 10-10-10. APPLY PER MANUFACTURER RECOMMENDATIONS.

MULCH

22. ALL PLANTING BEDS SHALL BE MULCHED WITH 3/4" TO 1.5" CRUSHED GRANITE. COLORADO ROSE BY JENSEN SUPPLY OR APPROVED EQUAL. ALL PLANTS SHALL BE MULCHED WITH 3-4" DEPTH SHREDDED RED CEDAR, NATURAL COLOR AT THEIR BASES AND/OR AS SHOWN ON PLANS. SUBMIT SAMPLES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

23. ALL PLANTING BEDS SHALL HAVE WEED BARRIER FABRIC- TYPAR PRO LANDSCAPE FABRIC, 3 OZ. OR APPROVED EQUAL AS SUPPLIED BY THE DEWITT COMPANY 905 SOUTH KINGS HIGHWAY, SIKESTON, MO 63801 800-888-9669 info@de Wittcompany.com.

TURF

25. TURF SHALL BE IRRIGATED TURF SHALL BE TEXAS HYBRID BLUEGRASS 'SOLAR GREEN' OR APPROVED EQUAL.

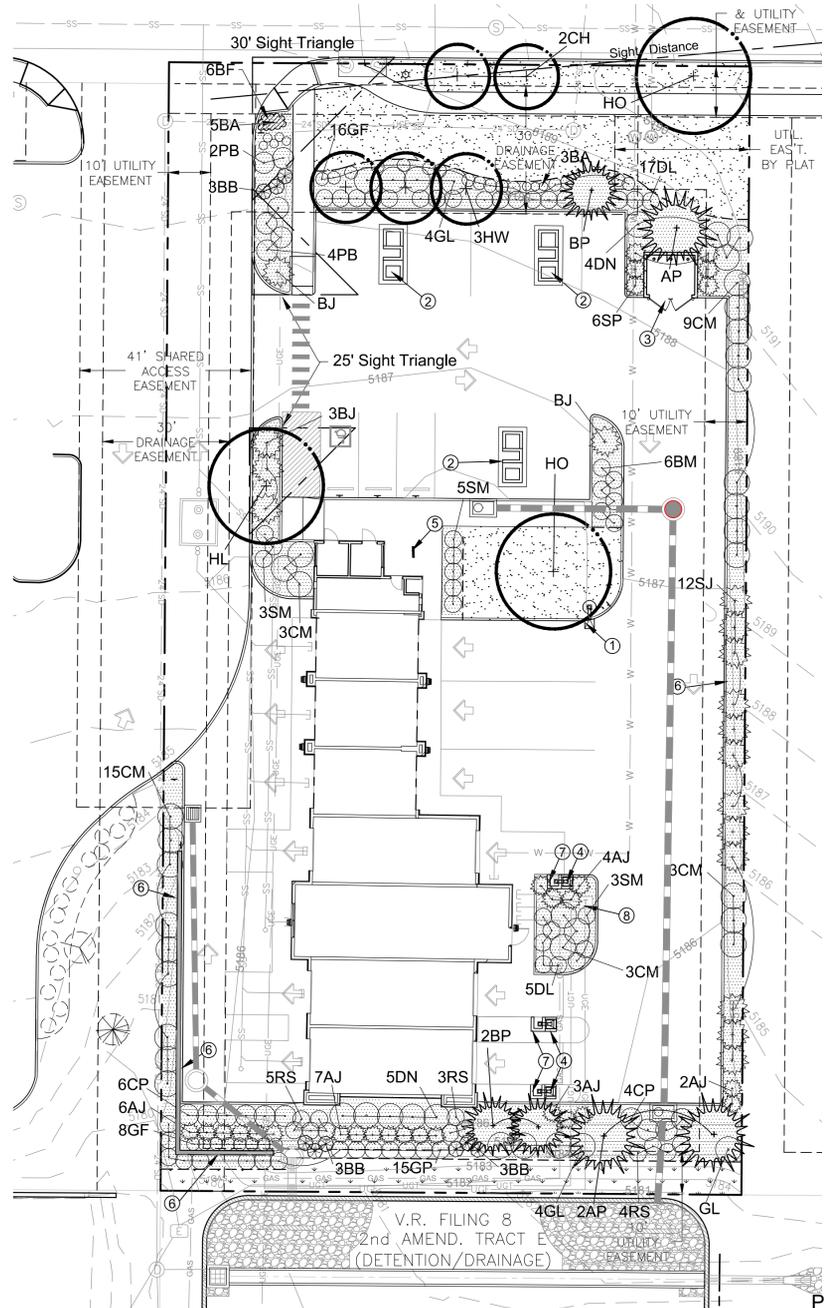
IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPING/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN AND HEALTHY CONDITION BY THE OWNER. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, REPLACEMENT OF MULCH, WEEDING, REMOVAL OF LITTER AND THE REGULAR WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED TO MINIMIZE WATER CONSUMPTION. SHOULD ANY PLANT MATERIAL DIE, THE OWNER, SUCCESSOR, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF PLANT(S) WITHIN ONE PLANTING SEASON. REPLACEMENT OF PLANT MATERIALS SHALL OCCUR AT THE FOLLOWING RATE.

TYPE	PLANT REPLACEMENT WITHIN	
	1 YEAR	2+ YEARS
Tree - Deciduous	Increase caliper by 1"	Increase caliper by 1.5"
Tree - Coniferous	Increase height by 1.5'	Increase height by 2'
Shrub	Replace with plants of at least 1/2 mature size	Replace with plants of at least 1/2 mature size

SEED MIX

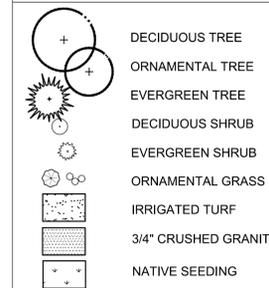
COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS LBS/ACRE
Western wheatgrass	<i>Pascopyrum smithii</i>	Arriba or Rosana	7.0
Crested wheatgrass	<i>Agropyron cristatum</i>	Ephram	4.0
Streambank wheatgrass	<i>Elymus lanceolatus</i>	Sodar	4.0
Sideoats grama	<i>Bouteloua gracilis</i>	Butte, Niner or El Reno	2.0
Blue grama	<i>Bouteloua gracilis</i>	Native, Lovington, Alma, Native or Hachita	5.0
Buffalograss	<i>Buchloe dactyloides</i>	Native, Bison or Texoka	3.0
Sand dropseed	<i>Sporobolus cryptandrus</i>	Common	1.0
Prairie Junegrass	<i>Loelera macrantha</i>	Common	3.0
Hard Fescue	<i>Festuca brevipila</i>	'Durar'	3.0
SEEDING RATE POUNDS PLS/ACRE			32.0



PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	INSTALLED SIZE	HEIGHT X SPREAD	NOTES/REMARKS
DECIDUOUS TREES						
HO	2	Quercus 'Heritage'	Heritage Oak	2.0" cal.	50'x40'	B&B, FULL HEAD & STRAIGHT, SINGLE MAIN TRUNK
HL	2	G. triacantos inermis 'Shademaster'	Shademaster Honeylocust	2.0" cal.	50'x35'	
ORNAMENTAL TREES						
CH	2	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2.0" cal.	25'x15'	
HW	3	Acer tartaricum 'Hot Wings'	Hot Wings Maple	2.0" cal.	20'x15-20'	
SC	2	Malus 'Spring Snow'	Spring Snow Crabapple	2.0" cal.	20'x20'	
EVERGREEN TREES						
AP	3	Pinus nigra	Austrian Pine	6' Ht.	50'x30'	B&B; full & bushy
BP	3	Pinus heldreichii leucodermis	Bosnian Pine	6' Ht.	25'x12'	B&B; full & bushy
DECIDUOUS SHRUBS						
BM	6	Caryopteris cladonensis 'Blue Mist'	Blue Mist Spirea	21-24" ht.	3.5'x4'	#5 Container
CM	27	Philadelphus lewisii 'Cheyenne'	Cheyenne Mockorange	30-36" ht.	6'x6'	#5 Container
CP	10	Ligustrum vulgare 'Cheyenne'	Cheyenne Privet	30-36" ht.	5'x6'	#5 Container
DL	22	Syringa patula 'Miss Kim'	Miss Kim Lilac	21-24" ht.	4'x4'	#5 Container
DN	9	Physocarpus opulifolius 'Diabolo'	Diabolo Ninebark	30-36" ht.	6'x6'	#5 Container
GF	27	Spirea japonica 'Goldflame'	Goldflame Spirea	15-18" ht.	3'x3'	#5 Container
GL	9	Rhus aromatica 'Gro-low'	Gro-low Sumac	15-18" ht.	2-3'x6'	#5 Container
GP	15	Potentilla fruticosa 'Gold Coronation'	Gold Coronation Potentilla	21-24" ht.	2'x4'	#5 Container
PB	8	Prunus besseyi 'Pawnee Buttes'	Pawnee Buttes Sandcherry	9-12" ht.	5'x6'	#5 Container
RS	12	Perovskia atriplicifolia	Russian Sage	21-24" ht.	5'x6'	#5 Container
SM	11	Philadelphus x 'Snowbelle'	Snowbelle Mockorange	21-24" ht.	4'x4'	#5 Container
TB	6	Frangula alnus 'Columnaris'	Tallhedge Buckthorn	36-42" ht.	12'x3'	#5 Container
EVERGREEN SHRUBS						
AJ	24	Juniperus chinensis 'Armstrong'	Armstrong Juniper	24-30" ht.	18" x6"	#5 Container
BJ	5	Juniperus sabinia 'Sierra Spreader'	Sierra Spreader Juniper	9-12" ht.	4'x4"	#5 Container
SJ	12	Juniperus chinensis 'Spartan'	Spartan Juniper	3-4" ht.	5'x6"	#5 Container
SP	6	Juniperus chinensis 'Spartan'	Spartan Juniper	3-4" ht.	15'x5"	#5 Container
ORNAMENTAL GRASSES & PERENNIALS						
BA	8	Helictotrichon sempervirens	Blue Avena Grass	12-15" ht.	3'x3"	#1 Container
BB	9	Andropogon gerardii 'Windwalker'	Windwalker Big Bluestem	24-30" ht.	4'x3"	#5 Container
BF	6	Gaillardia x grandiflora 'Goblin'	Dwarf Blanketflower	9-12" ht.	1.5'x1.5"	#1 Container

LANDSCAPE LEGEND



SITE ELEMENTS KEY

- ① 20" HT. AEROMAX LED LIGHT & BASE; FULL-CUTOFF. COLOR: BLACK
- ② VACUUM ISLAND AND TRASH CAN
- ③ TRASH ENCLOSURE
- ④ AUTOMATED PAY STATION
- ⑤ BIKE RACK- SPORTSWORKS HD INVERTED-U
- ⑥ DRY STACK BLOCK RETAINING WALL
- ⑦ PAY STATION & 20" HT. AEROMAX LED LIGHT & BASE; FULL-CUTOFF COLOR: BLACK
- ⑧ ELECTRIC TRANSFORMER

SEE SHEET 4 FOR NOTES & DETAILS.

SITE AREAS

SITE AREA	36,305 SF	
BUILDING	4,392 SF	12.1%
HARDSCAPE	17,758 SF	48.9%
LANDSCAPE	14,155 SF	39.0%

LANDSCAPE REQUIREMENTS

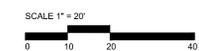
	REQUIRED	PROVIDED
LANDSCAPE	5,446 SF (15%)	14,155 SF
TREES 1/1000 SF	14.1	15
SHRUBS	95	194

PARKING LOT LANDSCAPE REQ'S.

TOTAL #:	8 STANDARD & DOG WASH SPACES	
REQUIRED / PROVIDED		
TREES (1/15) =	1	1
SHRUBS (1/SPACE) =	8	8



PLANNING & LANDSCAPE ARCHITECTURE
Jump Design Company
1733 S. Clarkson Street
Denver, Colorado 80210
303.282.0463 fax 282.0473



DATE OF ISSUE: 02.22.21
SCALE: 1"=20'
DRAWN BY: JDC
CHECKED BY: TJ



SHEET

Chris LaRue

From: Andy Ulmer
Sent: Thursday, March 18, 2021 9:48 AM
To: Melinda Helmer
Subject: RE: Referral Resubmittal - Vista Ridge Autowash Site Plan/Special Review Use

Hi Melinda, the site plan looks ok from a building code point of view – thank you, Andy



Andy Ulmer | Deputy Chief Building Official
Town of Erie | Planning & Development
645 Holbrook St | P.O. Box 750 | Erie, CO 80516
Phone: 303-926-2788 | Fax: 303-926-2704
www.erieco.gov/building | [Customer Self-Service Portal](#)

Erie, Colorado - the BEST place to raise a family!

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*******NOTICE*******

Town Hall is requiring all visitors to wear a facial covering / mask and practice social distancing. Please access services remotely whenever possible. Please submit building permit applications and contractor licenses electronically through the CSS Portal or email to bldgfx@erieco.gov. For more information and recent updates, please visit our main website at <https://www.erieco.gov/110/Building-Division> or the Town website at <https://www.erieco.gov/AlertCenter.aspx?AID=COVID19-Order-Resources-Closures-2>

Thank you!

From: Melinda Helmer
Sent: Wednesday, March 17, 2021 8:38 PM
To: Chad Schroeder <cschroeder@erieco.gov>; Misty Hall <mhall@erieco.gov>; Darren Champion <dchampion@erieco.gov>; Luke Bolinger <lbolinger@erieco.gov>; Matt Spinner <mspinner@erieco.gov>; Edward Kotlinski <ekotlinski@erieco.gov>; Andy Ulmer <aulmer@erieco.gov>; CGS_LUR@mines.edu; Matz, Michael B (FAA) <michael.b.matz@faa.gov>; Sweeney, John (FAA) <John.Sweeney@faa.gov>; Jeanne Boyle <Jeanne.Boyle@Merrick.com>; LuAnn Penfold <lpenfold@mvfpd.org>; United Power Plat Referral <platreferral@UnitedPower.com>; Jason Hurd <jason@vectorair.net>; Terry Munson <terrym@vectorair.net>; jleyshon@sdmsi.com
Subject: Referral Resubmittal - Vista Ridge Autowash Site Plan/Special Review Use

Good Evening,

COLORADO GEOLOGICAL SURVEY

1801 Moly Road
Golden, Colorado 80401



Karen Berry
State Geologist

April 6, 2021

Chris LaRue
Town of Erie
Planning & Development
developmentreferral@erieco.gov

Location:
SW SW SW Section 32,
T1N, R68W, 6th P.M.
40.0009, -105.0353

**Subject: Lot 1, Vista Ridge Filing 6, 2nd Amendment – Autowash
Site Plan SP-001187-2020 / Special Review Use SRU-001186-2020
Town of Erie, Weld County, CO; CGS Unique No. WE-18-0023-3**

Dear Chris:

Colorado Geological Survey has reviewed the Lot 1, Vista Ridge Filing 6, 2nd Amendment site plan and special review use resubmittal. The resubmittal documents include a Geotechnical Engineering Study, Proposed Vista Ridge Carwash, Bonanza Drive and Highway 7, Erie, Colorado (Kumar & Associates Project No. 18-8-186, June 6, 2018).

Kumar's recommendations for mitigating the site's expansive clay soils and shallow, highly expansive claystone bedrock are valid. Specifically, Kumar recommends a drilled or helical pier foundation, and floor slabs should bear on a minimum of four feet of non-expansive structural fill, or structurally-supported floors should be used. **Provided Kumar's recommendations are adhered to, CGS has no objection to site plan approval.**

Thank you for the opportunity to review and comment on this project. If you have questions or require further review, please call me at 303-384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read "Jill Carlson".

Jill Carlson, C.E.G.
Engineering Geologist

Chris LaRue

From: Matz, Michael B (FAA) <michael.b.matz@faa.gov>
Sent: Monday, March 22, 2021 1:02 PM
To: Development Referral
Cc: Sweeney, John (FAA); Bruce, Linda (FAA); Melinda Helmer
Subject: Referral Resubmittal - Vista Ridge Autowash Site Plan/Special Review Use

Good Afternoon,

As mentioned in the previous round of comments, we don't see any land compatibility issues surrounding the proposed Car Wash project near Highway 7 and Bonanza Dr.

However, please provide the case number for the airspace case that was submitted for the construction of the car wash on 2/18/2021.

Thanks for the opportunity to review,

Mike Matz

Project Manager/Compliance Specialist
FAA Denver Airports District Office
26805 E. 68th Ave., Suite 224
Denver, CO 80249
(303) 342-1251



April 6, 2021

Town of Erie, Engineering Division
P.O. Box 750
645 Holbrook Street
Erie, Colorado 80516

RE: AUTOWASH AT VISTA RIDGE DRAINAGE REVIEW

Dear Engineering Division:

We have reviewed the Autowash at Vista Ridge submittal received on March 17, 2021. The submittal included the Phase III Drainage Report for Autowash at Vista Ridge prepared by Kelly Development Services, dated February 15, 2021, the Site Construction Plans for Autowash at Vista Ridge by Kelly Development Services, dated February 22, 2021 and the Vista Ridge Filing No. 6, 2nd Amendment, Lot 5 Site Plans (Autowash at Vista Ridge) by Hover Architecture, dated February 22, 2021. We have the following comments to offer:

Phase III Drainage Report: Autowash at Vista Ridge

Report

1. From the response to comments, we understand that the 5-year storm event is slightly greater in the proposed condition than in the Hurst design. The 18" RCP to the pipe has been analyzed and provides the required capacity which is acceptable.
2. The report mentions that the difference in flow rate for the 100-year storm event is "mostly attributed to the acreage of the Hurst B2 basin (0.93 acres) versus the Autowash site (0.83 acres)." From comparing the two drainage maps, it appears that the Autowash analysis did not include the Detention Pond D area in the analysis but did include areas along the north and west boundary that were originally part of Hurst Basin B1. Therefore, the flow originating from the Detention Pond D area has not been considered in the Autowash design. The report also mentions that "many jurisdictions have adopted a percent imperviousness of 100% for detention ponds." This means that there is approximately 0.2 acres (as measured from the Autowash Drainage Plan) of 100% imperviousness that flow into Detention Pond D that was not considered in the analysis. Analyze the pond area as part of the Autowash proposed site. If a highlighted excerpt can be provided showing that Hurst used 2% imperviousness, the analysis for the proposed site may also use 2% imperviousness.

Drainage Plan

3. From the Detailed Grading Plan (Sheet C1.4), the portion of Sub-basin C located north of Design Point 3 will drain offsite to the west and would not be intercepted by the inlet at Design Point 3. Revise the grading as needed to intercept runoff at the Design Point 3 inlet for all of Basin C.



4. Correct the C-values shown on the basin symbol for Sub-basin B to agree with the values calculated on the “Composite ‘C’ Factors (Developed)” Worksheet in Appendix 1 of the report.
5. Remove the errant label for Note 3 in Sub-basin C.
6. The Drainage Plan says the Manhole on Storm Sewer Line B is a 4’ diameter manhole. The Construction Plans show that manhole as both a 5’ diameter MH (on Sheet C1.4) and a 4’ diameter MH (on Sheet C1.5). Update the documents to match.

Appendix 1

No comments.

Appendix 2

7. The inlet at Design Point 3 is not in a sump condition. Runoff that bypasses this inlet would flow offsite. Therefore, revise the grading to make this a sump condition. Also see Comment 3 above.
8. For the Inlet Calculations at Design Point 3, the Required Peak Flow for the 5-year event is lower than the flow calculated in Appendix 1. Update the inlet spreadsheet to match the flow calculated in Appendix 1.
9. We have the following comments for the storm sewer model:
 - a. Manning’s n value shall be 0.010 for HDPE pipe per Town of Erie Standards and Specifications Table 800-5.
 - b. Describe the assumed tailwater condition for the hydraulic analysis.
10. We have the following comments on the Forebay Sizing for Basin A & B worksheet:
 - a. The forebay shall be sized for the interim condition, not the final condition due to the higher flows for the interim condition.
 - b. The forebay volume appears to be sized for the flow from Basin A only. Correct the volume to size the forebay for both Basins A and B.
 - c. The resulting WQCV is unreasonably small. Check the calculation and correct as needed. Also, define the final minimum forebay volume and compare to the actual volume provided.

Appendix 3

No comments.

Site Construction Plans

11. On Sheet C1.4, label the size of riprap for the proposed forebay.
12. On Sheet C1.4, in the southwest corner of the site, the top of wall elevations are lower than the proposed adjacent grades on the east side, especially by MH-3. Fix the wall elevations to contain the proposed fill in the southwest corner of the site.

In addition, the bottom of wall elevations are proposed to be lower than the existing grades on the west side of the wall which does not appear to be necessary and creates a swale along the bottom of the wall which is not desired. Revise the bottom of wall elevations to match existing grades. Matching existing grades will also help to maintain cover over the existing 24” storm sewer pipe that runs parallel to the wall.



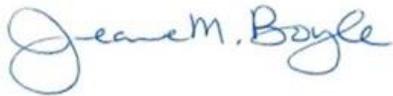
13. On Sheet C1.5, the length of the pipe between MH-2 and MH-3 on Storm Sewer Profile Line B does not match the length provided in Appendix 2. Fix to match.

Site Plans

14. Make revisions as needed to match the revised plans per the above comments.

Please let us know if you have any questions.

Sincerely,
Merrick & Company



Jeanne M. Boyle, PE, CFM



Theresa Ring, PE



Chris LaRue

From: LuAnn Penfold <lpenfold@mvfpd.org>
Sent: Tuesday, March 23, 2021 12:26 PM
To: Development Referral
Subject: SP-001187-2020 & SRU-001186-2020

I do not have any additional comments to my letter dated 12-22-2020.

Thank you for including us in the planning process.

LuAnn Penfold, Fire Prevention Specialist

Mountain View Fire Rescue
3561 N. Stagecoach Road, Longmont, CO 80504
720-678-9890 | lpenfold@mvfpd.org | www.mvfpd.org





Erie Municipal Airport
395 Airport Drive
Erie, CO 80516
303.664.0633
877.629.8600

fly@vectorair.net
www.vectorair.net

March 30, 2021

Town of Erie
645 Holbrook Street
Erie, CO 80516

Attn: Chris LaRue

RE: Lot 1, Vista Ridge Flg 6, 2nd Amdt - Autowash

Dear Chris,

This project, due to the proximity to the runway at the Erie Municipal Airport, **REQUIRES** an Obstruction Evaluation/Airspace Analysis to be performed to confirm that the project, including the height of structures, does not interfere with airspace reserved for the safe operation of aircraft at the airport.

The FAA states that any person/organization who intends to sponsor any construction or alteration within 20,000 ft of a public use or military airport which exceeds a 100:1 surface from any point on the runway of each airport with its longest runway more than 3,200 ft must notify the Administrator of the FAA.

Please refer to FAA Form 7460-1 [FAA Form 7460-1 Notice of Proposed Construction or Alteration](#) and Form 7460-2 [FAA Form 7460-2, SUPPLEMENTAL NOTICE](#) for additional information.

In the event that any construction project requires construction equipment, i.e. cranes, pumps, etc., that exceeds the height of the construction project, the equipment must be flagged during the day and lighted if in place at night. In addition, the Airport Manager requires 48 hours prior notification of the installation of the equipment so that the appropriate NOTAMs (Notice to Airmen) can be put in place.

Regards,

A handwritten signature in black ink, appearing to read 'Jason Hurd', is written over a faint, light-colored signature line.

Jason Hurd
Airport manager
Erie Municipal Airport

Chris LaRue

From: Chris LaRue
Sent: Monday, June 28, 2021 5:14 PM
To: Aubrey Romberger
Cc: Phil Walz; David Farnsworth
Subject: FW: Vista ridge autowash
Attachments: 2021-06-18 SW Comments.docx; Post Construction Design Standards - FINAL.docx

Hello:

Please see the e-mail below and attached comments. These comments are minor in nature. Please update the plans as necessary and send us a final PDF check. I'll send over the projected public hearing schedule to you tomorrow.

Thank you,



Chris LaRue | Senior Planner
Town of Erie | Planning & Development
645 Holbrook Street | P.O. BOX 750 | Erie, CO 80516
Phone: 303-926-2776 | Fax: 303-926-2706
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From: Chad Schroeder <cschroeder@erieco.gov>
Sent: Monday, June 28, 2021 3:38 PM
To: Chris LaRue <clarue@erieco.gov>
Subject: RE: Vista ridge autowash

Hello,

Misty had some storm water comments, attached.

I had nothing else to add.

Thanks,

Chad

From: Chris LaRue <clarue@erieco.gov>
Sent: Monday, June 28, 2021 11:24 AM
To: Chad Schroeder <cschroeder@erieco.gov>
Subject: Vista ridge autowash

Good morning Chad:

I'm not going to have any further comments on the Autowash. I was wondering what you thought on your end? This will need to go to the PC and BOT.

Thank you!



Chris LaRue | Senior Planner
Town of Erie | Planning & Development
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Phone: 303-926-2776 | Fax: 303-926-2706
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