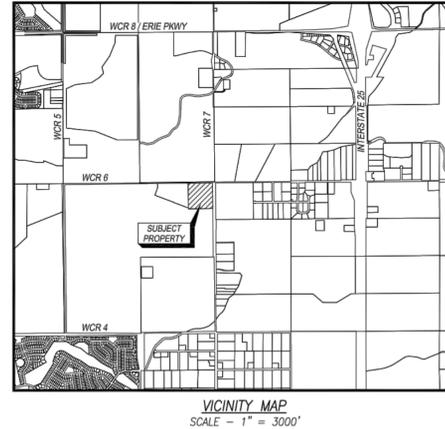


FRONT RANGE LANDFILL MINOR SUBDIVISION, 1ST AMENDMENT
 A PORTION OF THE NE ¼ OF NE ¼ OF SECTION 28, TOWNSHIP 1 NORTH, RANGE 68 WEST, 6th PRINCIPLE MERIDIAN, TOWN OF ERIE, WELD COUNTY, COLORADO.
 TOTAL AREA 8 ACRES
 SITE PLAN - SP-001053-2019
 SPECIAL REVIEW USE - SRU-001054-2019

SITE DATA SUMMARY CHART LAZY DOG SUBSTATION PROJECT ADDRESS: TO BE ISSUED ZONE DISTRICT: PUBLIC LANDS AND INSTITUTIONS		
ITEM	SQUARE FOOTAGE	% OF GROSS SITE
GROSS SITE AREA (8 ACRES)	348,480	100
GROSS DISTURBANCE AREA	246,410	
<ul style="list-style-type: none"> BUILDING FOOTPRINT (NA) ACCESS ROAD SUBSTATION YARD/EQUIPMENT AREA 	0 30,292 86,339	0% 8.7% 24.8%
HARDSCAPE TOTAL	116,631	33.5%
<ul style="list-style-type: none"> PLANTED AREA EXISTING VEGETATION (UNDISTURBED GRASSLAND) TRAILS AND SIDEWALKS (NA) DETENTION BASIN AND RIPRAP 	89,066 97,108 0 45,675	25.6% 27.9% 0% 13.1%
LANDSCAPE TOTAL (SEE SHEET 04 FOR ADDITIONAL DETAIL)	231,849	66.5%
ITEM	DESCRIPTION	
BUILDING SIZE: NA	NO OCCUPIED BUILDINGS PROPOSED	



APPLICANT
 UNITED POWER
 500 COOPERATIVE WAY
 BRIGHTON, CO 80603
 303-637-1234
 STEVE BARWICK
 IN COORDINATION WITH TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION, INC.

PLANNER
 TETRA TECH
 216 16TH ST, SUITE 1500
 DENVER, CO 80202
 303-291-6299
 JENNIFER CHESTER

SURVEYOR
 ACKLAM, INC.
 133 S. 27TH AVE.
 BRIGHTON, CO 80601
 720-685-5913
 H. LAWRENCE SINCO, PLS

SUBSTATION ENGINEER
 TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION, INC.
 1100 WEST 116TH AVENUE
 WESTMINSTER, CO 80234
 303-254-1988
 SCOTT MEREDITH

SUBSTATION ENGINEER
 UNITED POWER
 500 COOPERATIVE WAY
 BRIGHTON, CO 80603
 303-637-1391
 ROBERT MAXWELL

LANDSCAPE ARCHITECT
 REDLAND CONSULTING GROUP, INC.
 1500 WEST CANAL COURT
 LITTLETON, CO 80120
 720-283-6783 X151
 BRICE BRADLEY

SPECIAL REVIEW USE AND SITE PLAN APPROVAL CERTIFICATE

THIS SITE PLAN HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORDANCE WITH APPLICABLE TOWN OF ERIE REGULATIONS.

PLANNING COMMISSION CHAIR _____ DATE _____

BOARD OF TRUSTEES – MAYOR _____ DATE _____

THE UNDERSIGNED AS THE OWNER OR OWNER’S REPRESENTATIVE OF THE LAND’S DESCRIBED HEREIN, HEREBY AGREES ON BEHALF ON HIMSELF/HERSELF, THEIR HEIRS, SUCCESSORS, AND ASSIGNS TO DEVELOP AND MAINTAIN THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH THIS APPROVED SITE PLAN AND IN COMPLIANCE WITH THE TOWN OF ERIE UNIFIED DEVELOPMENT CODE AND MUNICIPAL CODE.

OWNER SIGNATURE _____ OWNER NAME _____

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20__

BY _____ AS _____

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

PROPERTY DESCRIPTION

ALL OF THAT PARCEL OF LAND KNOWN AS TRACT A OF FRONT RANGE LANDFILL MINOR SUBDIVISION PLAT, ACCORDING TO THE MAP OR PLAT THEREOF FILED FOR RECORD IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDER AT RECEPTION NUMBER 3722553. SAID TRACT A IS LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 28, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 28, AS MONUMENTED BY A 2 INCH ALUMINUM CAP MARKED "PLS 25937"; THENCE ALONG THE NORTH LINE OF SAID NORTHEAST ONE QUARTER OF SECTION 28, SOUTH 89°23'50" WEST, A DISTANCE OF 933.46 FEET; THENCE SOUTH 00°36'10" EAST, DEPARTING THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER OF SECTION 28, A DISTANCE OF 40.00 FEET, MORE OR LESS, TO THE NORTHWEST CORNER OF SAID TRACT A, SAID NORTHWEST CORNER ALSO BEING ON THE SOUTH LINE OF A 40.00 FOOT RIGHT-OF-WAY DEDICATED ON SAID MINOR SUBDIVISION PLAT AND THE POINT OF BEGINNING;

THENCE NORTH 89°23'50" EAST, ALONG THE NORTH LINE OF SAID TRACT A, A DISTANCE OF 833.41 FEET;

THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.15 FEET, A CENTRAL ANGLE OF 90°02'41", AND A CHORD BEARING AND DISTANCE OF SOUTH 45°34'50" EAST, 42.44 FEET;

THENCE SOUTH 00°33'29" EAST, ALONG THE EAST LINE OF SAID TRACT A, SAID LINE ALSO BEING THE WEST LINE OF A 70.00 FOOT RIGHT-OF-WAY DEDICATED ON SAID MINOR SUBDIVISION PLAT, A DISTANCE OF 863.36 FEET;

THENCE SOUTH 89°23'50" WEST, ALONG THE SOUTH LINE OF SAID TRACT A, A DISTANCE OF 863.43 FEET;

THENCE NORTH 00°33'29" WEST, ALONG THE WEST LINE OF SAID TRACT A, A DISTANCE OF 893.38 FEET TO THE POINT OF BEGINNING.

THE TOTAL AREA OF THE ABOVE DESCRIBED PARCEL IS 17.704 ACRES (771,178 SQUARE FEET) OF LAND, MORE OR LESS.

SHEET INDEX	
SHEET	TITLE
01	COVER SHEET
02	GENERAL NOTES
03	SITE PLAN
04	LANDSCAPE PLAN
05	LANDSCAPE DETAILS
06	IRRIGATION PLAN
07	UTILITY PLAN
08	GRADING/DRAINAGE PLAN
09	PHOTOMETRIC PLAN
10	PHOTOMETRIC PLAN DETAILS
11	SUBSTATION ELEVATIONS

TETRA TECH
 www.tetrattech.com
 1560 BROADWAY SUITE 1400
 DENVER, CO 80202
 PHONE: (303) 291-6299

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D	08/20/19	4TH SUBMITTAL TOWN OF ERIE REVIEW	AML

LAZY DOG SUBSTATION	Project No.: 194-6440
COVER SHEET	Designed By: ENM
	Checked By: AML
	Approved By: AML

01
 SHT 1 OF 11

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FRONT RANGE LANDFILL MINOR SUBDIVISION, 1ST AMENDMENT
 A PORTION OF THE NE ¼ OF NE ¼ OF SECTION 28, TOWNSHIP 1 NORTH, RANGE
 68 WEST, 6th PRINCIPLE MERIDIAN, TOWN OF ERIE, WELD COUNTY, COLORADO.
 TOTAL AREA 8 ACRES
 SITE PLAN - SP-001053-2019
 SPECIAL REVIEW USE - SRU-001054-2019

GENERAL NOTES - GRADING

1. ALL CONSTRUCTION ACTIVITIES THAT DISTURBS ONE OR MORE ACRES OF LAND, AS WELL AS ACTIVITIES THAT DISTURB LESS THAN ONE ACRE OF LAND, BUT IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT, MUST COMPLY WITH BOTH LOCAL AND STATE REGULATIONS REGARDING STORMWATER DRAINAGE ON CONSTRUCTION SITES. OWNERS OR CONTRACTORS MUST OBTAIN A COLORADO STORMWATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) AND EITHER A PUBLIC IMPROVEMENT PERMIT OR A GRADING AND STORMWATER QUALITY PERMIT FROM THE TOWN OF ERIE. CONTRACTOR SHALL:
 - A. MAINTAIN A COPY OF THE STORM WATER MANAGEMENT PLAN (SWMP) ONSITE AT ALL TIMES. THE SWMP MUST BE MAINTAINED AND MADE AVAILABLE TO TOWN OF ERIE INSPECTORS UPON REQUEST.
 - B. INSTALL AND MAINTAIN EROSION, SEDIMENT, AND MATERIALS MANAGEMENT CONTROL BMPs AS SPECIFIED IN THE SWMP.
 - C. INSPECT ALL BEST MANAGEMENT PRACTICES (BMPs) AT LEAST EVERY FOURTEEN (14) DAYS AND WITHIN TWENTY FOUR (24) HOURS AFTER ANY PRECIPITATION OR SNOWMELT EVENT THAT CAUSES SURFACE RUNOFF.
 - D. MAINTAIN INSPECTION AND MAINTENANCE RECORDS OF BMPs ONSITE WITH THE SWMP. COPIES OF THESE REPORTS SHALL BE PROVIDED TO THE TOWN OF ERIE ENGINEERING STAFF.
 - E. BASED ON INSPECTIONS PERFORMED BY THE PERMIT HOLDER OR BY TOWN PERSONNEL, MODIFICATIONS TO THE SWMP WILL BE NECESSARY IF AT ANY TIME THE SPECIFIED BMPs DO NOT MEET THE OBJECTIVES OF THE PERMIT. ALL MODIFICATIONS SHALL BE COMPLETED AS SOON AS PRACTICABLE AFTER THE REFERENCED INSPECTION, AND SHALL BE RECORDED ON THE OWNER'S COPY OF THE SWMP.
 - F. THE OPERATOR SHALL AMEND THE SWMP WHENEVER THERE IS A SIGNIFICANT CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR DISCHARGE OF POLLUTANTS TO THE RECEIVING WATERS, OR IF THE SWMP PROVES TO BE INEFFECTIVE IN ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - G. INSTALLATION AND MAINTENANCE OF BMPs SHALL BE SUPERVISED BY PERSONNEL CERTIFIED IN EROSION AND SEDIMENT CONTROL.
2. ALL SITE GRADING (EXCAVATION, EMBANKMENT, AND COMPACTION) SHALL CONFORM TO THE RECOMMENDATIONS OF THE LATEST SOILS INVESTIGATION FOR THIS PROPERTY AND SHALL FURTHER BE IN CONFORMANCE WITH THE TOWN OF ERIE "STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS", LATEST EDITION.
3. ALL GRADING AND FILLING OPERATIONS SHALL BE OBSERVED, INSPECTED AND TESTED BY A LICENSED SOILS ENGINEER. ALL TEST RESULTS SHALL BE SUBMITTED TO THE TOWN OF ERIE ENGINEERING STAFF.
4. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID ANY DAMAGE TO EXISTING FOLIAGE THAT LIES IN THE PROJECT AREA UNLESS DESIGNATED FOR REMOVAL AND SHALL BE LIABLE FOR SUCH DAMAGE AT HIS/HER EXPENSE.
5. TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE RE-VEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSION ELEMENTS.
6. TEMPORARY VEGETATION SHALL BE INSTALLED ON ALL DISTURBED AREAS WHERE PERMANENT SURFACE IMPROVEMENTS ARE NOT SCHEDULED FOR IMMEDIATE INSTALLATION. SEEDING WILL BE DONE ACROSS THE SLOPE FOLLOWING THE CONTOURS. VEGETATION SHALL CONFORM TO THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS. PROJECT SCHEDULING SHOULD TAKE ADVANTAGE OF SPRING OR FALL PLANTING SEASONS FOR NATURAL GERMINATION. SEEDED AREAS SHALL BE IRRIGATED IN ACCORDANCE WITH THE TOWN OF ERIE'S STANDARDS AND SPECIFICATIONS.
7. AT ALL TIMES, A WATER TRUCK SHALL BE ON-SITE AND THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN FUGITIVE DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE OWNER/DEVELOPER SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTY.
8. FILL SLOPES SHALL BE COMPACTED BY MEANS OF SHEEPSFOOT COMPACTOR OR OTHER SUITABLE EQUIPMENT. COMPACTING SHALL CONTINUE UNTIL SLOPES ARE STABLE AND THERE IS NOT AN APPRECIABLE AMOUNT OF LOOSE SOIL ON THE SLOPES.
9. TEMPORARY CUT/FILL SLOPES SHALL ABIDE BY THE SOILS REPORT. PERMANENT SLOPES SHALL BE AS SHOWN ON PLANS.
10. DEPTH OF MOISTURE-DENSITY CONTROL SHALL BE FULL DEPTH ON ALL EMBANKMENT AND SIX (6) INCHES ON THE BASE OF CUTS AND FILLS.
11. OUTLET SIDES OF ALL STORM PIPES SHALL BE GRADED TO DRAIN AND SHALL HAVE SUFFICIENT EROSION PROTECTION.
12. THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE SITE GEOTECHNICAL ENGINEER WHEN THE GRADING OPERATION IS READY FOR EACH OF THE FOLLOWING INSPECTIONS:
 - A. INITIAL INSPECTION WHEN THE PERMITTEE IS READY TO BEGIN WORK, BUT NOT LESS THAN TWO (2) DAYS BEFORE ANY GRADING OR GRUBBING IS STARTED.
 - B. AFTER THE NATURAL GROUND OR BEDROCK IS EXPOSED AND PREPARED TO RECEIVE FILL, BUT BEFORE FILL IS PLACED.
 - C. EXCAVATION INSPECTION AFTER THE EXCAVATION IS STARTED BUT BEFORE THE VERTICAL DEPTH OF THE EXCAVATION EXCEEDS TEN (10) FEET.
 - D. FILL INSPECTION AFTER THE FILL PLACEMENT IS STARTED, BUT BEFORE THE FILL EXCEEDS TEN (10) FEET.

CALL BEFORE YOU DIG:



UTILITY NOTIFICATION CENTER OF COLORADO, 16361 TABLE MOUNTAIN PKWY, GOLDEN, CO 80403

TWO DAYS NOT TO INCLUDE THE DAY OF NOTICE NUMBER OF DAYS IN ADVANCE OF A DIGGING PROJECT THAT YOU NEED TO NOTIFY THE ONE CALL CENTER OF YOUR INTENT TO DIG.

TETRA TECH ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL OR VERTICAL). THE EXISTING UTILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

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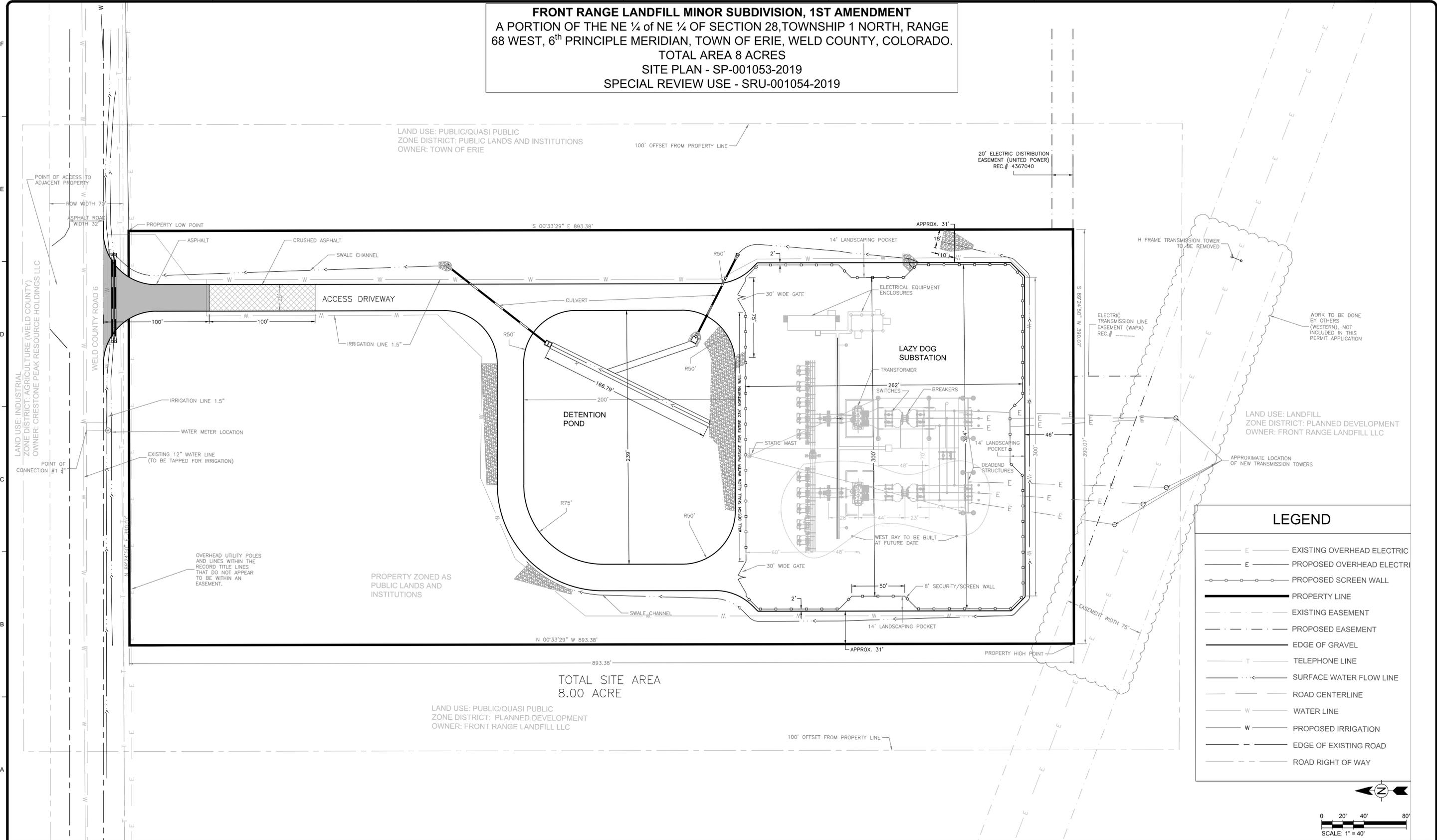
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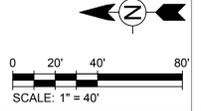
LAZY DOG SUBSTATION	
GENERAL NOTES	

Project No.:	194-6440
Designed By:	ENM
Checked By:	AML
Approved By:	AML
02	
SHT 2 OF 11	

FRONT RANGE LANDFILL MINOR SUBDIVISION, 1ST AMENDMENT
 A PORTION OF THE NE ¼ OF NE ¼ OF SECTION 28, TOWNSHIP 1 NORTH, RANGE 68 WEST, 6th PRINCIPLE MERIDIAN, TOWN OF ERIE, WELD COUNTY, COLORADO.
 TOTAL AREA 8 ACRES
 SITE PLAN - SP-001053-2019
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LEGEND	
	EXISTING OVERHEAD ELECTRIC
	PROPOSED OVERHEAD ELECTRIC
	PROPOSED SCREEN WALL
	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EDGE OF GRAVEL
	TELEPHONE LINE
	SURFACE WATER FLOW LINE
	ROAD CENTERLINE
	WATER LINE
	PROPOSED IRRIGATION
	EDGE OF EXISTING ROAD
	ROAD RIGHT OF WAY



SITE PLAN NOTES:

- THE FEMA 100-YEAR FLOODPLAIN IS NOT WITHIN THE PROPERTY BOUNDARY
- NO MAJOR DRAINAGE WAYS WITHIN PROPERTY BOUNDARIES
- NEAREST MAJOR DRAINAGE WAY IS APPROXIMATELY 1000' SOUTH OF PROPERTY
- LAZY DOG SUBSTATION IS A PRIVATE FACILITY AND WILL REQUIRE NO PARKING SPACES
- MAINTENANCE VEHICLES WILL PARK ON GRAVEL AREA INSIDE FENCE WHEN ON SITE
- FOR GRADING CONTOURS SEE SHEET 08 GRADING AND DRAINAGE PLAN
- NATIONAL ELECTRIC SAFETY CODE MANDATES THAT HIGH VOLTAGE WARNING SIGNS ARE POSTED AT THE FACILITY. THESE SIGNS ARE APPROXIMATELY 2' X 2' IN SIZE AND WILL BE PLACED AT EACH GATE AND ALONG EACH SIDE OF THE SCREEN WALL. SIGNS WILL ALSO BE PLACED ON EACH GATE IDENTIFYING THE SUBSTATION NAME AND PROVIDING CONTACT INFORMATION FOR UNITED POWER AND TRI-STATE.

TETRA TECH
 www.tetrattech.com
 216 16TH STREET #1500
 DENVER, CO 80202
 PHONE: (303) 291-6299

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LAZY DOG SUBSTATION	
Project No.:	194-6440
Designed By:	ENM
Checked By:	AML
Approved By:	AML

03
 SHT 3 OF 11
 Bar Measures 1 inch

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FRONT RANGE LANDFILL MINOR SUBDIVISION, 1ST AMENDMENT
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LANDSCAPE NOTES

- ORGANIC SOIL AMENDMENTS: IN ALL DISTURBED AREAS TO BE LANDSCAPED, WITHIN THE LIMIT OF DEVELOPED AREA, THE CONTRACTOR WILL TILL FOUR (4) CUBIC YARDS OF ORGANIC SOIL AMENDMENT, TO A DEPTH OF SIX (6) INCHES, FOR EACH 1,000 SQUARE FEET OF SOIL PREPARATION, INCLUDING ALL NATIVE SEED, TREE, AND SHRUB PLANTING BEDS IN THEIR ENTIRETY, AS WELL AS ALL TREE LAWNS AND RIGHT-OF-WAYS ADJACENT TO THE PROPERTY. UNDISTURBED AREAS ARE TO BE PROTECTED IN PLACE AND LEFT UNDISTURBED. FOR PROPOSED PLANT MATERIAL OUTSIDE THE LIMIT OF DEVELOPED AREA, AMEND THE BACKFILL SOIL PER THE TREE AND SHRUB DETAIL.
- THE ORGANIC SOIL AMENDMENT SHALL BE A CLASS I OR II COMPOST THAT MEETS THE U.S. COMPOSTING COUNCIL'S TESTING REQUIREMENTS. THE COMPOST MUST BE PRODUCED AT A COMPOSTING FACILITY THAT MEETS U.S. EPA 40 CFR 503.13 REQUIREMENTS (TABLES 1 & 3 LEVELS) FOR THE PRODUCTION AND MARKETING OF CLASS A MATERIAL FOR UNRESTRICTED USE AND DISTRIBUTION.
 - A-1 ORGANICS (EATON, CO, 970-454-3492) BIOCOMP CLASS 1 COMPOST OR APPROVED EQUAL.
- ORGANIC FERTILIZER AND SOIL CONDITIONERS: CONTRACTOR WILL UTILIZE GRANULAR ENDO MYCORRHIZAE, BIOSOL FORTE (7-2-1), AND MENEFFEE GRANULAR HUMATE, OR APPROVED EQUAL, AS PART OF THE PLANTING PROCESS FOR ALL TREES, SHRUBS, AND SEEDED AREAS. FOLLOW APPLICATION RATES AS SPECIFIED BY THE MANUFACTURERS AVAILABLE APPLICATION INSTRUCTION SHEETS OR AS INSTRUCTED BY THE OWNER OR THEIR REPRESENTATIVES. ASSUME POOR SOILS WHEN DETERMINING APPLICATION RATES.
 - RECOMMENDED SUPPLIER: ROCKY MOUNTAIN BIO PRODUCTS, 10801 E. 54TH AVENUE DENVER, CO 80239
- ROCK MULCH:
 - REFER TO THE TYPICAL INTERIOR SOUTH YARD SECTION ON SHEET 09 OF THE CIVIL SET FOR MATERIAL SPECIFICATIONS AND INSTALLATION METHODS.
- WEED BARRIER FABRIC: TO BE A NONWOVEN GEOTEXTILE COMPOSED OF POLYPROPYLENE FIBERS.
 - RECOMMENDED PRODUCT: MIRAFI 140N, TYPAR 3341, POLYSPUN 300 OR APPROVED EQUAL.
- WOOD MULCH: MULCH FOR AROUND TREES AND SHRUBS WILL BE "CASCADE CEDAR MULCH", A DISTINCTIVE LOOKING WOOD MULCH MEDIUM BROWN IN APPEARANCE WITH A FINE TEXTURED "HAIR-LIKE" LOOK. THE WOOD FIBERS WILL BE APPROXIMATELY 1 ½" - 3 ½" IN LENGTH AND BE UNIFORM IN APPEARANCE.
 - MINIMUM DEPTH OF MULCH WILL BE THREE (3) INCHES AROUND THE BASE OF EACH PLANT.
- LANDSCAPE EDGER: EDGER TO BE 3/16"x6" HOT-DIPPED GALVANIZED METAL EDGING WITH AN INTEGRATED HOT-DIPPED GALVANIZED TAPERED METAL STAKING SYSTEM (4 STAKES PER SECTION), COLOR: BLACK.
 - RECOMMENDED PRODUCT: PRO-STEEL - PS3-13 (3/16") OR APPROVED EQUAL.
- IRRIGATION: ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN ADEQUATE AND COMPLETE-COVERAGE AUTOMATIC WATER-EFFICIENT IRRIGATION SYSTEM AS PROVIDED IN SUBSECTION 6.4.E.3 OF THE TOWN OF ERIE UNIFIED DEVELOPMENT CODE, TITLE 10.
 - WATER EFFICIENCY IN IRRIGATION DESIGN (SUBSECTION 6.4.E.3): ALL REQUIRED LANDSCAPING SHALL BE IRRIGATED AS REQUIRED FOR PLANT ESTABLISHMENT AND MAINTENANCE. IRRIGATION SYSTEMS SHALL BE DESIGNED TO ACHIEVE WATER EFFICIENCY AS A MAJOR GOAL AND IS ENCOURAGED TO GENERALLY CONFORM TO THE IRRIGATION DESIGN GUIDELINES SET FORTH IN SUBSECTION 4.4.A OF THE PUBLICATION "WATER-EFFICIENT LANDSCAPE DESIGN: A MODEL ORDINANCE FOR COLORADO COMMUNITIES" PUBLISHED BY THE COLORADO DEPARTMENT OF LOCAL AFFAIRS (2004 AND AS AMENDED).
 - THE IRRIGATION DESIGN INTENT FOR THIS SITE IS TO DRIP IRRIGATE THE SHRUBS AND TREES USING POLY DRIP TUBING (3/4" MINIMUM WIDTH) WITH XERI-BUG DRIP EMITTERS OR APPROVED EQUAL. A WEATHER SENSING DEVICE, MASTER CONTROL VALVE AND FLOW SENSOR WILL BE USED TO MAXIMIZE SYSTEM EFFICIENCIES. NATIVE SEED WILL BE INSTALLED PER CDOT STANDARD SPECIFICATIONS, DIVISION 200, SECTION 212 SEEDING, FERTILIZER, SOIL CONDITIONER, AND SODDING (CURRENT EDITION) AND ALLOWED TO ESTABLISH UTILIZING NATURAL PRECIPITATION. CONTRACTOR WILL WARRANTY SEED INSTALLATION WORK UNTIL 70% COVERAGE IS ACHIEVED.
- THE LANDSCAPED AREAS, INCLUDING ALL ADJACENT ROW LANDSCAPE, WILL BE MAINTAINED BY THE DEVELOPER OR ASSIGNS.
- THE FACILITY IS PRIVATE AND WILL REQUIRE NO PARKING SPACES.
- SCREENING REQUIREMENTS FOR THE SUBSTATION AS REQUIRED PER MUNICIPAL CODE TITLE 10-UDC CHAPTER 6 WILL BE MET USING AN 8" SCREEN WALL WITH PLANTING POCKETS AND LANDSCAPING. THE SCREENING IS FURTHER DEPICTED ON THE PHOTOGRAPHIC SIMULATIONS AS THE FINISHED FACILITY WOULD BE SCREENED FROM WELD COUNTY ROADS 6 AND 7.

CHAPTER 6: DEVELOPMENT AND DESIGN STANDARDS, SECTION 10.6.4 LANDSCAPING, SCREENING FENCING, 7. NONRESIDENTIAL, b. LANDSCAPE IMPROVEMENTS
 A MINIMUM OF 15 PERCENT OF THE GROSS SITE AREA SHALL BE LANDSCAPED.

GROSS DISTURBANCE AREA	MINIMUM LANDSCAPE AREA (15%)		PROVIDED LANDSCAPE AREA (36.1%)	MINIMUM SHRUBS 1 / 150 SF	MINIMUM TREES 1 / 1,000 SF
	1 YEAR	2+ YEARS			
246,410 SF	36,962 SF	89,066 SF	247	37	

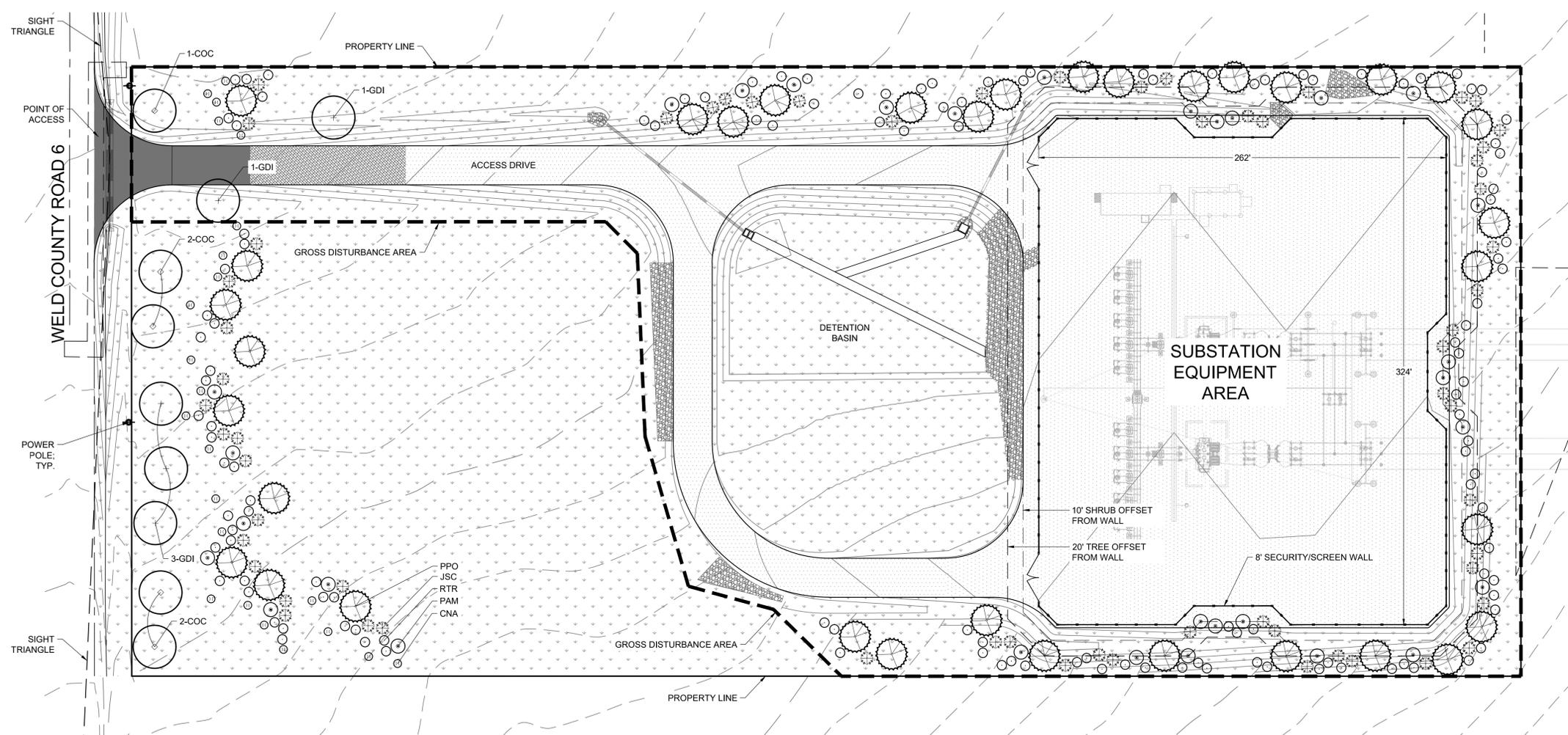
LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN AND HEALTHY CONDITION BY THE OWNER. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, REPLACEMENT OF MULCH, WEEDING, REMOVAL OF LITTER AND THE REGULAR WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED TO MINIMIZE WATER CONSUMPTION. SHOULD ANY PLANT MATERIAL DIE, THE OWNER, SUCCESSOR, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF PLANT(S) WITHIN ONE PLANTING SEASON. REPLACEMENT OF PLANT MATERIALS SHALL OCCUR AT THE FOLLOWING RATE.

TYPE	PLACEMENT REPLACEMENT WITHIN	
	1 YEAR	2+ YEARS
TREE - DECIDUOUS	INCREASE CALIPER BY 1"	INCREASE CALIPER BY 1.5"
TREE - CONIFEROUS	INCREASE HEIGHT BY 1.5'	INCREASE HEIGHT BY 2'
SHRUB	REPLACE WITH PLANTS OF AT LEAST ½ MATURE SIZE	REPLACE WITH PLANTS OF AT LEAST ½ MATURE SIZE

PLANT LEGEND

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTE
DECIDUOUS TREES					
COC	5	CELTIS OCCIDENTALIS	WESTERN HACKBERRY	2.5" CAL	B&B
GDI	5	GYNMOCLADUS DIOICUS	KENTUCKY COFFEETREE	2.5" CAL	B&B
TOTAL:	10				
EVERGREEN TREES					
PPO	35	PINUS NIGRA	AUSTRIAN PINE	6"	B&B
TOTAL:	35				
DECIDUOUS SHRUBS					
CNA	23	CHRYSOETHAMNUS NAUSEOSUS	RABBITBRUSH	#5	
PAM	31	PRUNUS AMERICANA	AMERICAN PLUM	#5	
RTR	131	RHUS TRILOBATA	THREE-LEAF SUMAC	#5	
TOTAL:	185				
EVERGREEN SHRUBS					
JSC	62	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	#5	
TOTAL:	62				

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND THE LANDSCAPE LEGEND, THE PLANT MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.



LEGEND

- PROPERTY LINE
- GROSS DISTURBANCE AREA
- 20' TREE CANOPY OFFSET FROM WALL
- EXISTING UNDERGROUND WATER LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- PROPOSED CONTOURS
- EXISTING CONTOURS
- ASPHALT
- CRUSHED ASPHALT
- CRUSHED GRAVEL
- NATIVE SEED
- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUBS

NOTE: SEE SHEET 05 FOR SECURITY/SCREEN WALL AND PLANTING DETAILS.

0 20' 40' 80'
SCALE: 1" = 40'

8/25/2019 4:25:01 PM - L:\2018\18017 - LAZY DOG SUBSTATION\CADD\SHSHEET SETS\18017-LANDSCAPE PLAN\DWG - BRICE BRADLEY

NOTE:
 IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPING/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

LANDSCAPE ARCHITECT:

 720.283.6783 Office
 1500 West Canal Court, Littleton, Colorado 80120
 REDLAND.COM

TETRA TECH
 www.tetrattech.com
 1560 BROADWAY SUITE 1400
 DENVER, CO 80202
 PHONE: (303) 291-6299

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A	01/29/19	1ST SUBMITTAL TO TOWN OF ERIE	ENM
B	02/22/19	2ND SUBMITTAL REFERRAL AGENCY REVIEW	ENM
C	05/31/19	3RD SUBMITTAL REFERRAL AGENCY RESPONSE	AML
D	08/23/19	4TH SUBMITTAL TOWN OF ERIE REVIEW	BB

LAZY DOG SUBSTATION

LANDSCAPE PLAN

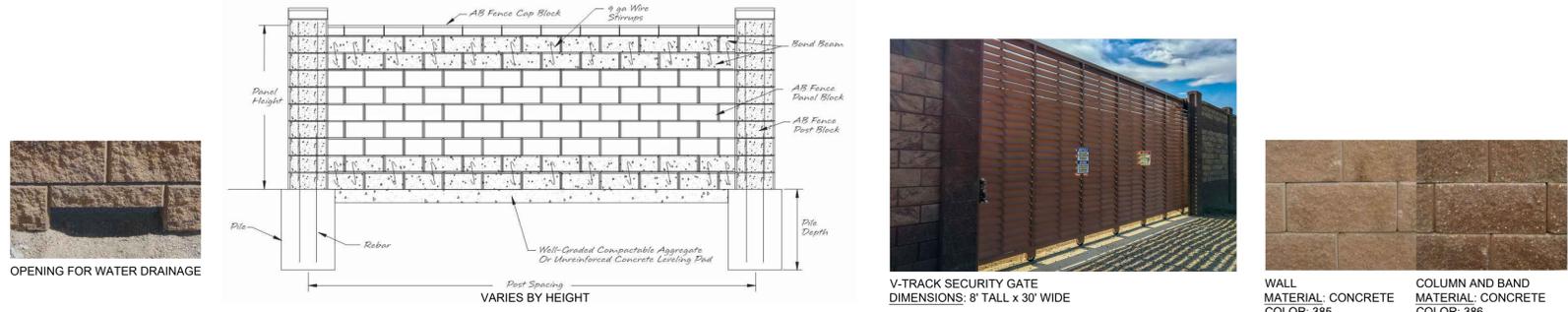
Project No.: 194-6440
 Designed By: BB
 Checked By: JC, LD
 Approved By: JC, LD

04
 SHT 4 OF 11

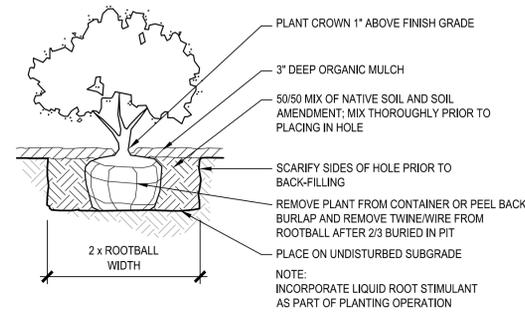
Bar Measures 1 inch

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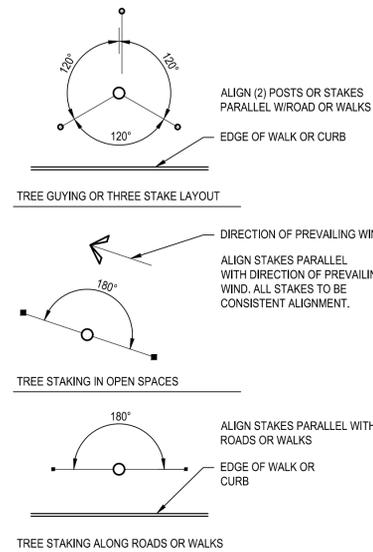
FRONT RANGE LANDFILL MINOR SUBDIVISION, 1ST AMENDMENT
 A PORTION OF THE NE ¼ OF NE ¼ OF SECTION 28, TOWNSHIP 1 NORTH, RANGE 68 WEST, 6th PRINCIPLE MERIDIAN, TOWN OF ERIE, WELD COUNTY, COLORADO.
 TOTAL AREA 8 ACRES
 SITE PLAN - SP-001053-2019
 SPECIAL REVIEW USE - SRU-001054-2019



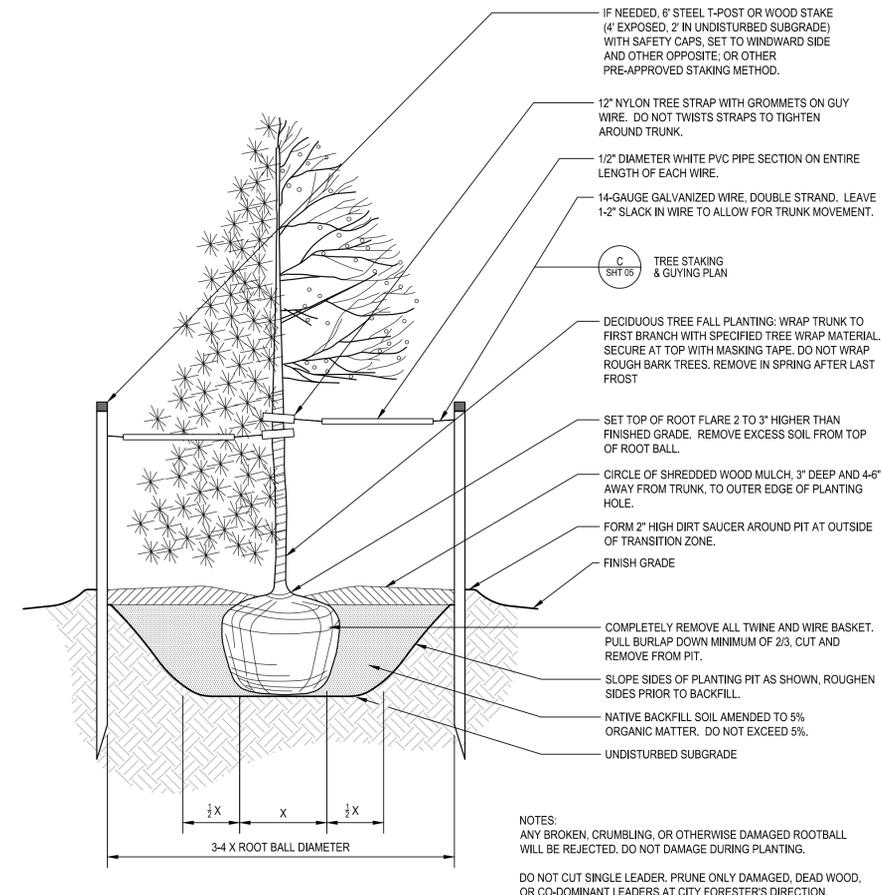
A SECURITY/SCREEN WALL AND GATE ALLAN BLOCK (AB) FENCE SYSTEM
 SCALE: N.T.S



B SHRUB PLANTING
 SCALE: N.T.S



C TREE STAKING AND GUYING PLAN
 SCALE: N.T.S



D TREE PLANTING
 SCALE: N.T.S

8/22/2019 9:08:22 AM - L2018118017 - LAZY DOG SUBSTATION/CADD/SHEET SETS/18017-LANDSCAPE PLAN/DWG - BRICE BRADLEY

LANDSCAPE ARCHITECT:
40 YEARS
Redland
 WHERE GREAT PLACES BEGIN
 720.283.4783 Office
 1500 West Canal Court, Littleton, Colorado 80120
 REDLAND.COM

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LAZY DOG SUBSTATION

LANDSCAPE DETAILS

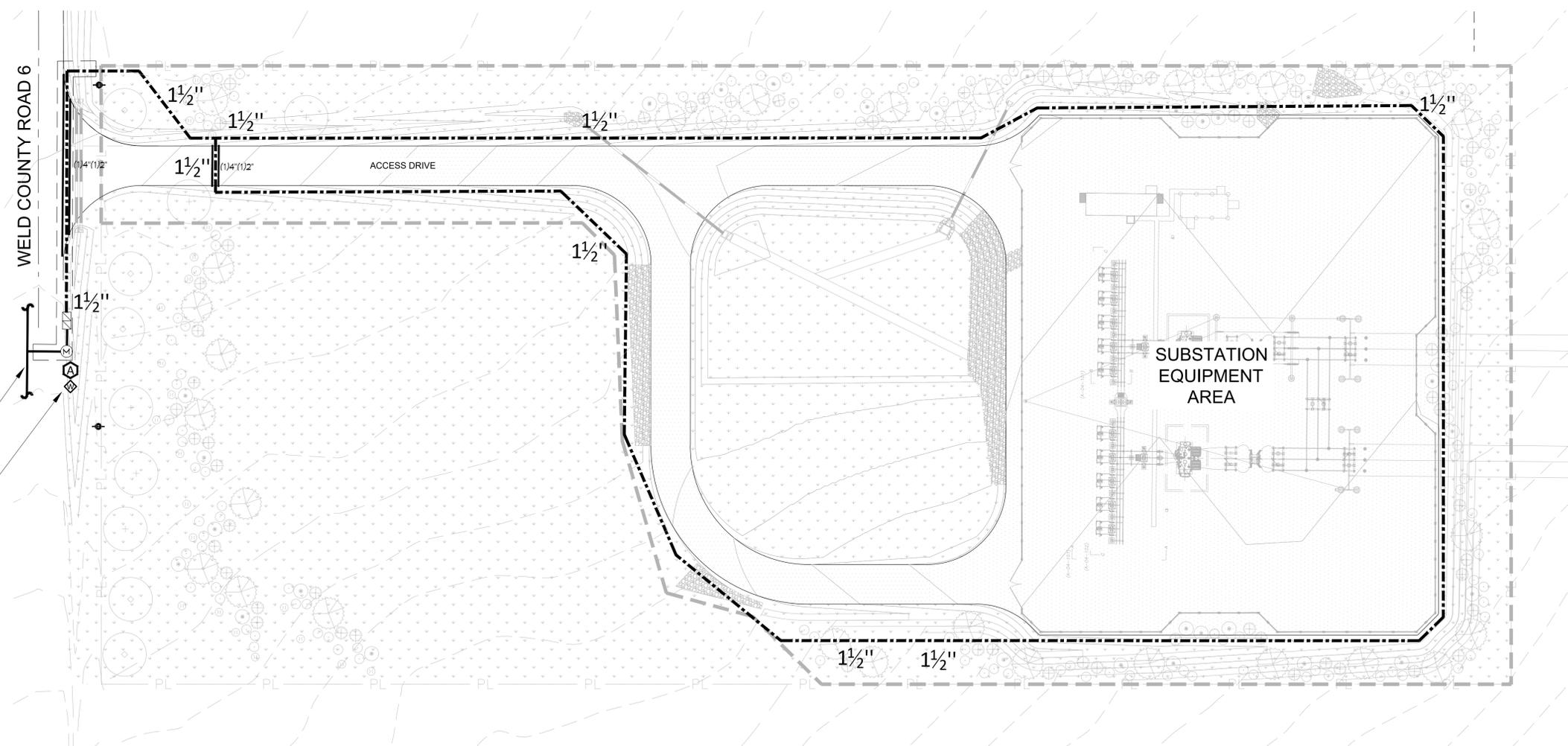
Project No.: 194-6440
 Designed By: BB
 Checked By: JC, LD
 Approved By: JC, LD

05
 SHT 5 OF 11

Bar Measures 1 Inch

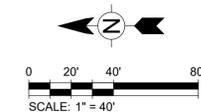
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POINT OF CONNECTION #1 - 3/4"
 PEAK FLOW REQUIREMENT: 10 GPM
 REQUIRED STATIC PRESSURE: 75 PSI MIN.
CONTROLLER LOCATION "A"

IRRIGATION SCHEDULE	
SYMBOL	DESCRIPTION
	ELECTRIC CONTROLLER
	PVC MAINLINE - 2-1/2" OR SMALLER
	PVC SLEEVING
	WATER METER



8/23/2019 11:58:49 AM - T: 16700-6799 JOBS16761-LAZY DOG SUBSTATION-IRR-DD-REV 3 DWG - JILL BERSANO

KDI
HydroSystems
 Irrigation Consulting & Water Management
 860 Tabor Street, Suite 200 Lakewood, Colorado 80401
 o: 303.980.5327 www.hydrosystemsmdi.com

LANDSCAPE ARCHITECT:
Redland
 726 261 6763 Office
 1500 West Grand Court, Littleton, Colorado 80120
 REDLAND.COM

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 www.tetrattech.com
 216 16TH STREET #1500
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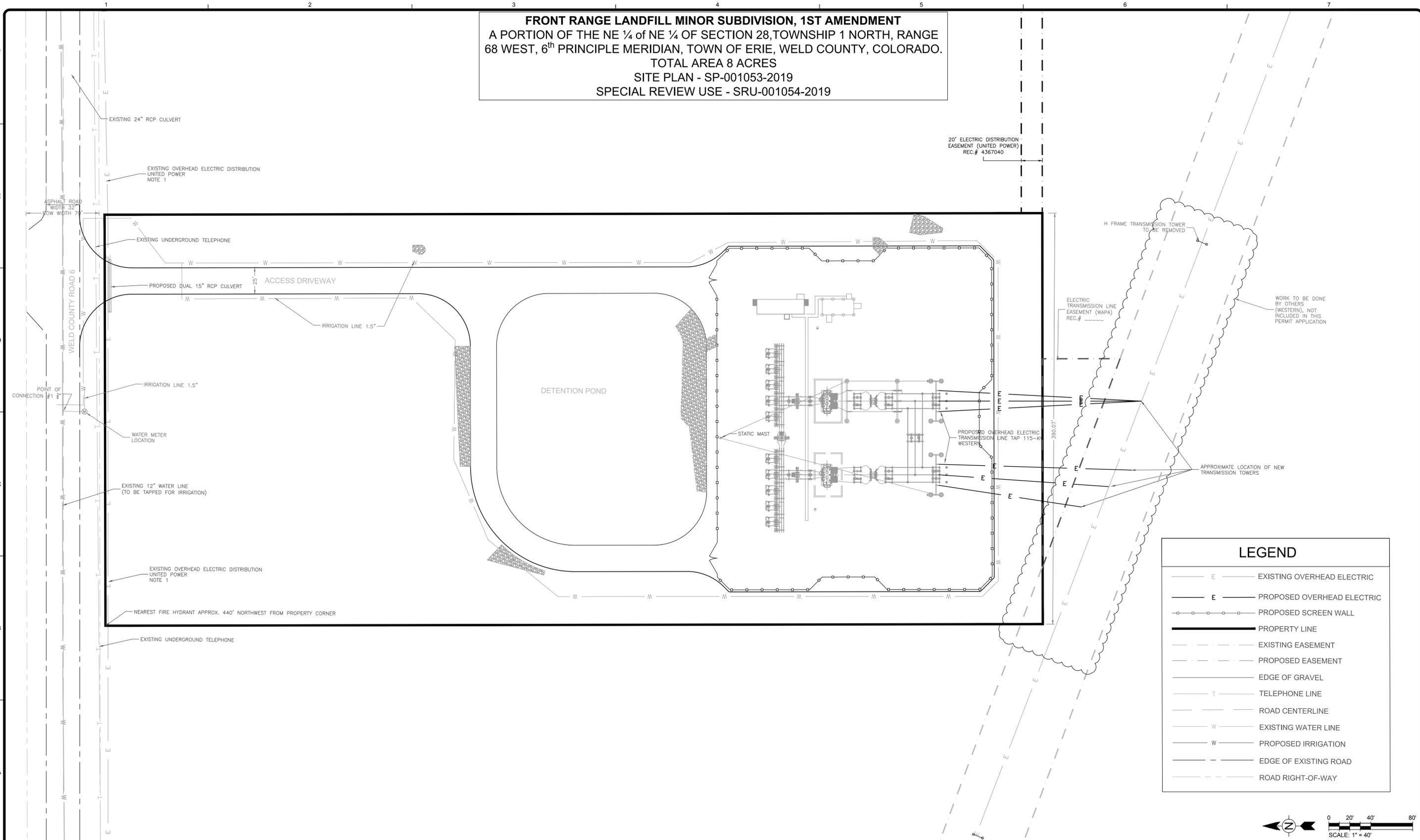
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D	08/23/19	4TH SUBMITTAL TOWN OF ERIE REVIEW	JSB

LAZY DOG SUBSTATION	
IRRIGATION PLAN	

Project No.:	194-6440
Designed By:	JSB
Checked By:	JSB
Approved By:	KJD
06	
SHT 06 OF 11	

FRONT RANGE LANDFILL MINOR SUBDIVISION, 1ST AMENDMENT
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LEGEND	
	EXISTING OVERHEAD ELECTRIC
	PROPOSED OVERHEAD ELECTRIC
	PROPOSED SCREEN WALL
	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EDGE OF GRAVEL
	TELEPHONE LINE
	ROAD CENTERLINE
	EXISTING WATER LINE
	PROPOSED IRRIGATION
	EDGE OF EXISTING ROAD
	ROAD RIGHT-OF-WAY

- UTILITY PLAN NOTES:**
- OVERHEAD UTILITY POLES AND LINES ARE 2' WITHIN THE PROPERTY LINE THAT DOES NOT APPEAR TO BE WITHIN AN EASEMENT
 - NO MANHOLES, STORM SEWER, OR SANITARY SEWER IN PROJECT VICINITY
 - NEAREST FIRE HYDRANT IS APPROXIMATELY 440' NORTHWEST OF THE PROPERTY BOUNDARY AT THE CRESTONE PEAKS FACILITY
 - SCREENING REQUIREMENTS FOR THE SUBSTATION AS REQUIRED PER MUNICIPAL CODE TITLE 10-UDC CHAPTER 6 WILL BE MET USING A 8' SCREEN WALL WITH PLANTING POCKETS AND LANDSCAPING
 - NEAREST FIRE HYDRANT APPROX. 440' NORTHWEST FROM PROPERTY CORNER

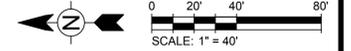
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LAZY DOG SUBSTATION
UTILITY PLAN

Project No.:	194-6440
Designed By:	ENM
Checked By:	AML
Approved By:	AML
07	
SHT 7 OF 11	

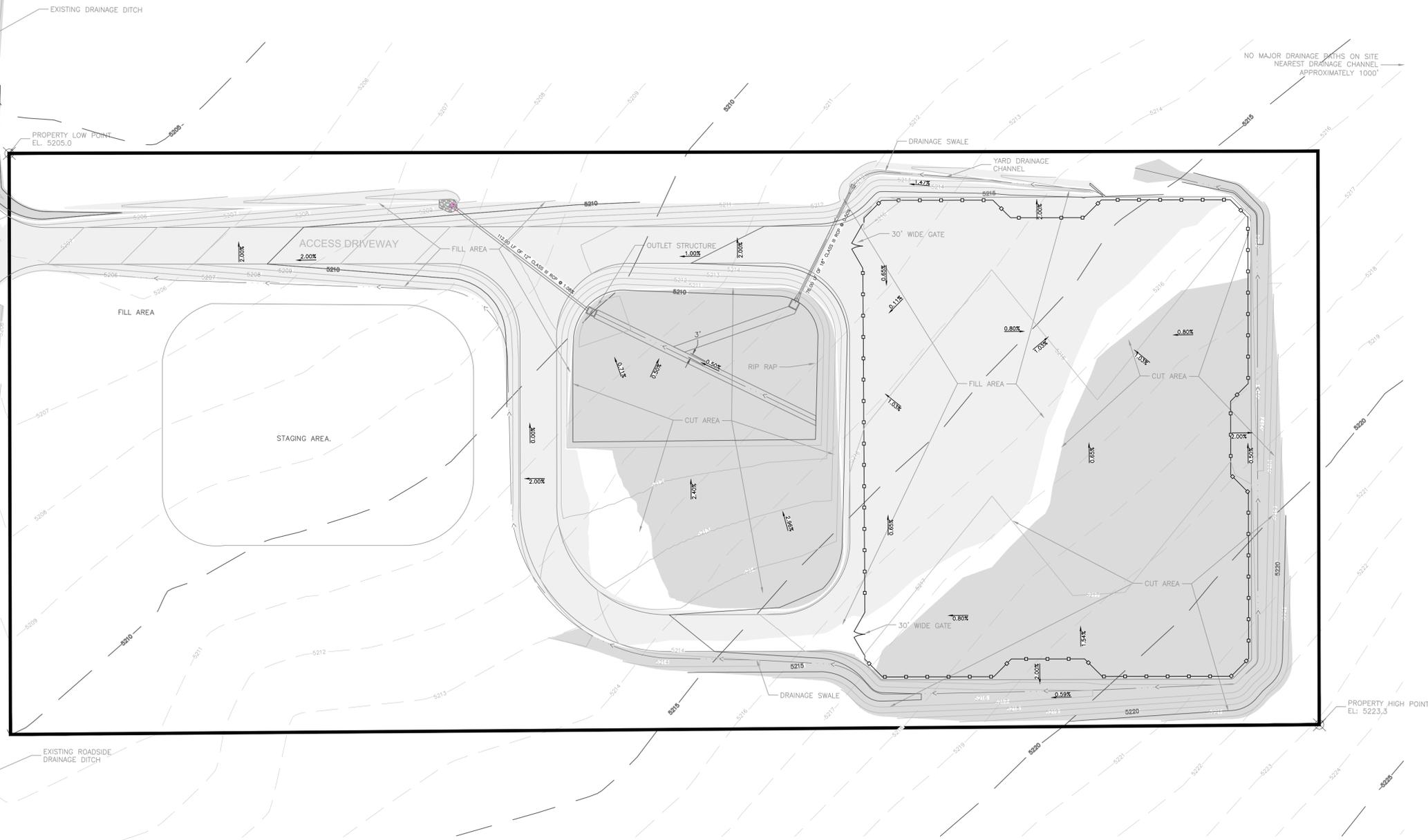


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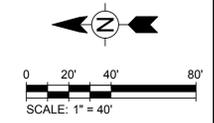
Bar Measures 1 inch

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LEGEND

- PROPOSED SCREEN WALL
- PROPERTY LINE
- EDGE OF GRAVEL
- SURFACE WATER FLOW LINE
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- CUT AREA
- FILL AREA



- GRADING AND DRAINAGE PLAN NOTES:**
- APPROXIMATE CONTOURS ARE SHOWN
 - GRADE TO DRAIN
 - FOR GRADING GENERAL NOTES SEE SHEET 02 GENERAL NOTES
 - NO RETAINING WALLS ON-SITE
 - SEE DRAINAGE STUDY FOR DETAILED INFORMATION (APPENDIX C)
 - NO KNOWN GEOLOGIC HAZARDS EXIST ON-SITE (APPENDIX D)

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LAZY DOG SUBSTATION
 GRADING AND DRAINAGE PLAN

Project No.:	194-6440
Designed By:	ENM
Checked By:	AML
Approved By:	AML

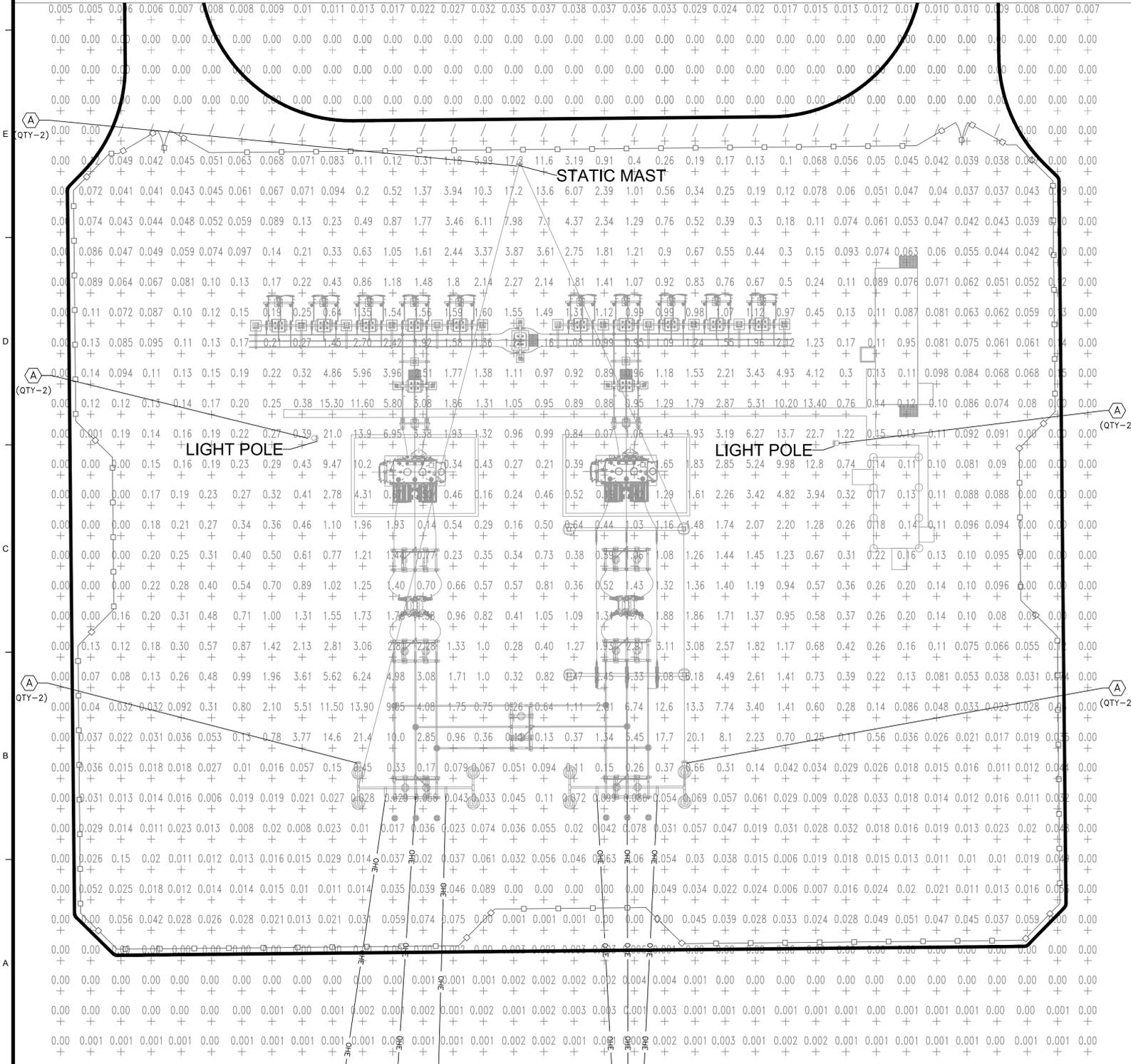
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8/20/2019 3:02:08 PM - P:\DENVER\OFFICE\ENGINEERING\194\194\LAZY DOG SUBSTATION\CAD\194-6440 GRADING AND DRAINAGE PLAN.DWG - LIN/L - ANDREW

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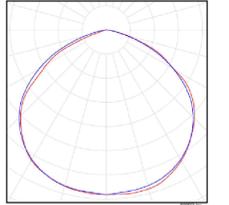
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**Lazy Dog Substation /
Luminaire parts list**

A- Lazy Dog Substation Light

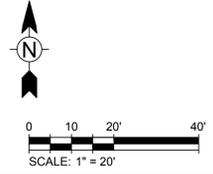
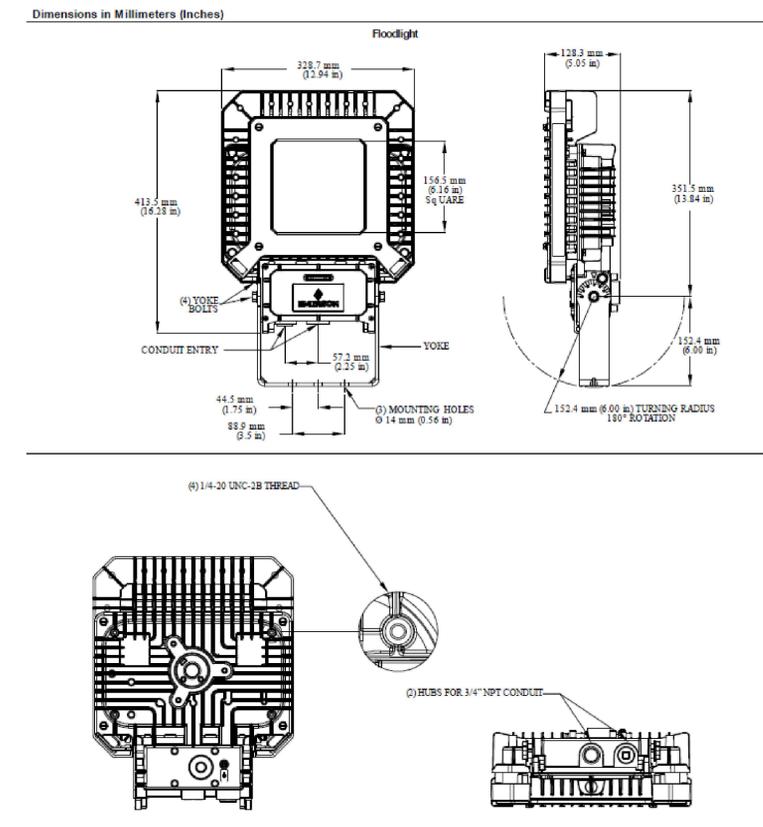
Quantity	Luminaire (Luminous emittance)
10	Appleton - IAMLGL8CG6 IND. AREAMASTER LED 19500 LUMENS NEMA 7X 7 CLEAR GLASS Luminous emittance 1 Fitting: 1xIND. AREAMASTER LED 19500 LUMENS NEMA 7X 7 CLEAR GLASS Absolute photometry Luminaire luminous flux: 19902 lm Power: 156.0 W Luminous efficacy: 127.6 lm/W
	Colorimetric data 1xIND. AREAMASTER LED 19500 LUMENS NEMA 7X 7 CLEAR GLASS: CCT 5181 K, CRI 86



Total lamp luminous flux: 199020 lm, Total luminaire luminous flux: 199020 lm, Total Load: 1560.0 W, Luminous efficacy: 127.6 lm/W

LEGEND

	PROPOSED OVERHEAD ELECTRIC
	PROPOSED SCREEN WALL
	EDGE OF GRAVEL



PHOTOMETRIC PLAN NOTES:
 1. LUMINAIRE MEASUREMENTS ARE IN FOOTCANDLES (FC)
 2. THE ELEVATION OF LIGHTING FIXTURES IS 20'
 3. THE CALCULATION SURFACE LEVEL IS 3.3' ABOVE GROUND.
 4. SUBSTATION LIGHT PAIRS ARE SIDE BY SIDE WITH 0 DEGREE APART
 5. ALL LIGHTING SHALL BE CONCEALED OF SHIELDED WITH AN IESNA FULL CUT-OFF STYLE FIXTURE WITH AN ANGLE NOT EXCEEDING 90 DEGREES.

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LAZY DOG SUBSTATION

PHOTOMETRIC PLAN

Project No.: 194-6440
 Designed By: ENM
 Checked By: AML
 Approved By: AML

09
 SHT 9 OF 11

Bar Measures 1 inch

8/20/2019 1:47:23 PM - P:\DENVER OFFICE\ENGINEERING\STATE\LAZY DOG SUBSTATION\CAD\194-6440 PHOTOMETRIC PLAN.DWG - LINTZ, ANDREW

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FRONT RANGE LANDFILL MINOR SUBDIVISION, 1ST AMENDMENT
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Round Tapered Steel Poles

NEC/CEC:
 Rated for Ordinary (Unclassified) Locations

Applications

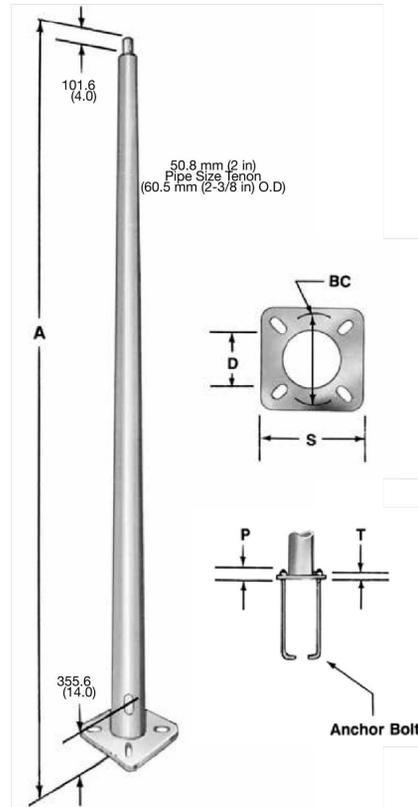
- To mount single or multiple luminaires to heights from 6.1 to 11.9 m (20 to 39 ft).

Features

- 50.8 mm (2 in) pipe size tenon accepts a single luminaire, or 2, 3, or 4 luminaires with appropriate pole-top mounting bracket.
- Shafts are tapered, one-section design of 11 gauge commercial quality steel with a minimum yield strength of 55,000 psi after fabrication.
- Base plates are of structural quality hot-rolled steel with guaranteed minimum yield strength of 36,000 psi.
- A 76.2 x 127.0 mm (3 in x 5 in) or 101.6 x 152.4 mm (4 in x 6 in) reinforced handhole with cover and grounding lug 55.6 mm (14 in) above the pole base is standard.
- Anchor bolts are furnished complete with nuts and washers, and are of 55,000 psi steel.

Options

- For bronze powder coat finish (to match Appleton fixtures) add Suffix **-EPX**.
- For galvanized finish add **-GAL**.
- If no finish option is noted in part number, bronze powder coat will be used.



Appleton

POLES/HANGERS: NEC/CEC ORDINARY LOCATION ARCHITECTURAL

Dimensions may vary. Consult your local sales representative for specifications

Mounting Height m (ft) A	Shaft Size ②	Base Size mm (in) S ①	Bolt Circle mm (in) BC	Base Thickness mm (in) T ①	Bolt Proj. mm (in) P ①	Tube Diameter mm (in) D	Anchor Bolt Dia. x Lgth. mm (in)	Max. Proj Area Sq.M (Sq.Ft) ③	Catalog Number ④
6.1 (20)	165.1 x 94.0 x 6.1 (6.5 x 3.7 x 20')	266.7 to 279.4 (10.5 to 11.0)	①	25.4 (1.0)	57.2 (2.25)	165.1 (6.5)	25.4 x 1016 (1 x 40)	1.74 (18.7)	G-PRTH-20

① Dimensions may vary—Consult your local sales representative for specifications.
 ② Shaft bottom [MM. Dia.(In. Dia.)] x shaft top [MM. Dia. (In.Dia.)] x shaft length to tenon.
 ③ Calculated for winds of 160 KPH/100 MPH.
 ④ Anchor bolts and templates are preshipped upon request.

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LAZY DOG SUBSTATION

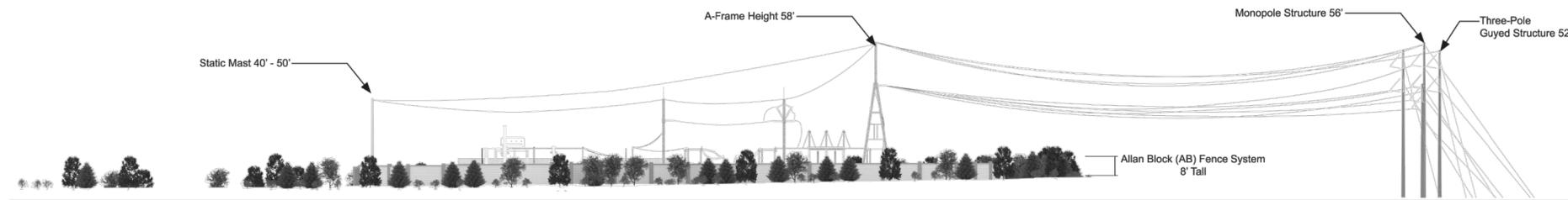
PHOTOMETRIC PLAN DETAILS

Project No.: 194-6440
 Designed By: ENM
 Checked By: AML
 Approved By: AML

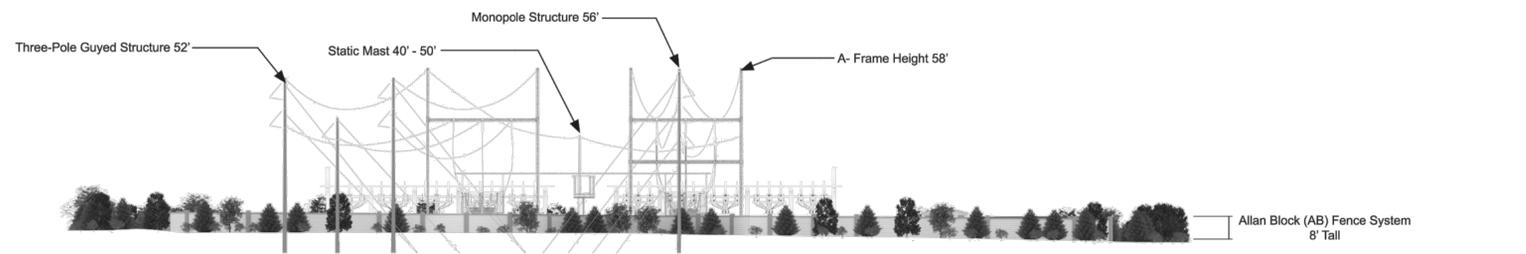
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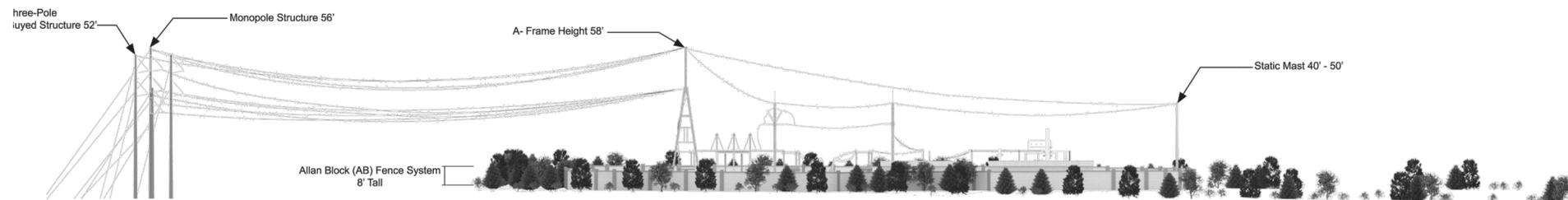
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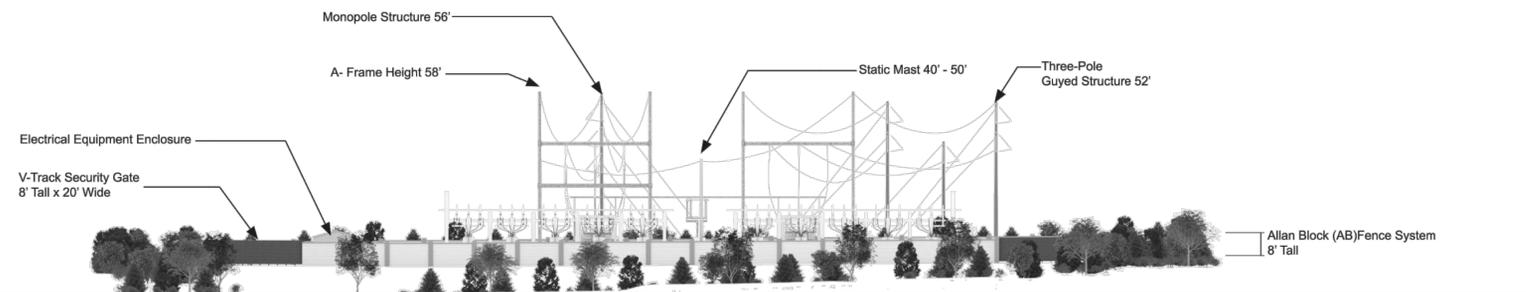
1 Site Plan View (West)



2 Site Plan View (South)



3 Weld County Rd 7 (East)



4 Weld County Rd 6 (North)

SUBSTATION ELEVATION NOTES:
 1. COLOR RENDERINGS OF THE SUBSTATION ELEVATIONS ARE INCLUDED IN THE SITE PLAN AND SPECIAL USE REVIEW PERMIT APPLICATIONS APPENDICES

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LAZY DOG SUBSTATION

 SUBSTATION ELEVATIONS

Project No.: 194-6440
 Designed By: ENM
 Checked By: AML
 Approved By:

8/26/2019 11:18:10 AM - P:\DENVER OFFICE\ENGINEERING\TRISTATE\LAZY DOG SUBSTATION\CAD\194-6440 SUBSTATION ELEVATIONS.DWG - LINTZ, ANDREW