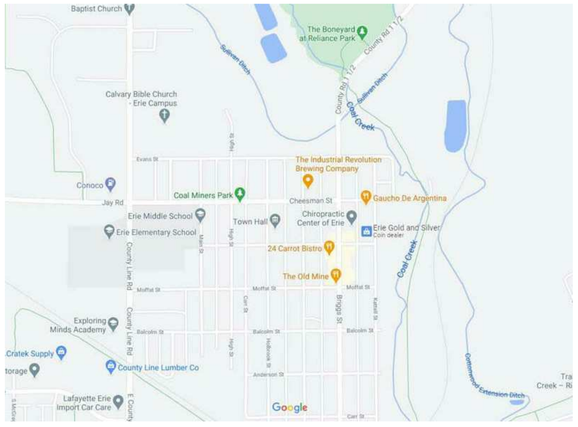
Accessible Elevator Upgrade

698 Briggs St.
Erie, CO



Vicinity Map
Not to Scale

Key Plan

Architect:

Halcyon Design LLC
PO Box 30
Frederick, CO 80530

Structural Engineer:

LT Engineering
5620 Zuni St
Denver, CO 80221

Project Information
Jurisdiction: Town of Erie

Parcel No. 146718218005

Legal Description: ERI 24462 L1 G BLK12

Subdivision: ERIE TOWN

Building Area: 6,928 s.f.

Zoning: OTR Old Town Residential

2015 International Building Code

Project Summary:
Existing building is wood-framed with exterior exit stairs at East, West, and North sides of building. Basement and Main Floors are currently unoccupied. Second Floor contains an existing tenant. The building is not sprinklered.

302 Assume Group B – Business occupancy
Table 601 Assume Type V-B construction
Table 602 No fire rating required for North exterior wall >10' fire separation distance
709.4.2 Smoke barrier required to separate area of refuge, 1 HR rated
713.4 Min. 1 hr rated fire barrier shaft enclosure for <4 stories
713.6 Exterior walls as part of shaft enclosure not required to be rated
Table 716.5 One-hour rated fire door at fire barrier
Table 104.1.2 Occupant load: 6,928 s.f. / 100 = 70 total bldg occupants
1008.4 Standby power required
1009.4 Area of refuge required
1009.6.3 30"x48" floor area, must not reduce exit width
1009.6.4 Must be separated from the rest of the story by smoke enclosure (709) or horizontal exit (1026)
1009.8 Two-way communication required at areas of refuge
1009.9 Signage requirements
- "AREA OF REFUGE" signage must include international symbol of accessibility, raised characters, and braille notation

1009.10 Directional signage required at each elevator landing
1009.11 Instructions posted at each area of refuge:
1. Persons able to use the exit stairway do so as soon as possible, unless they are assisting others.
2. Information on planned availability of assistance in the use of stair or supervised operation of elevators and how to summon such assistance.
3. Directions for use of the two-way communication system.

1010.1.2.1 Doors not required to swing in direction of egress travel when occupant load <50
1010.1.7 Threshold height at egress doors shall not exceed 1/2"
1010.1.10 Panic devices not required, this occupancy type
3006.2 Hoistway opening protection not required

See floor plans for ANSI ICC A117.1 2009 accessibility clearances.

***Owner verify path of egress from Second Floor elevator lobby to exit stair at North side of building. Future tenant finish projects on Main and Basement Levels must include path of egress from elevator lobbies to an exit stair.**

Legend

2 / A4	Section Cut
3068	Door/Window Size (3'-0" x 6'-8")
100'-0" / 100'-0" Finish Floor	Elevation Markers
	Revision Number & Cloud
C.J. C.J.	Control joint
	Compacted Soil Fill
	Gravel
	Sand
	Concrete
	Expansion Joint
	Batt Insulation
	Rigid Insulation/EPS
	Plywood or OSB
	Gypsum Board Drywall
	Wood Blocking
	Finish Carpentry

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STATE OF COLORADO
KELLY CHRISTINE DEITMAN
400181
10.5.20
LICENSED ARCHITECT

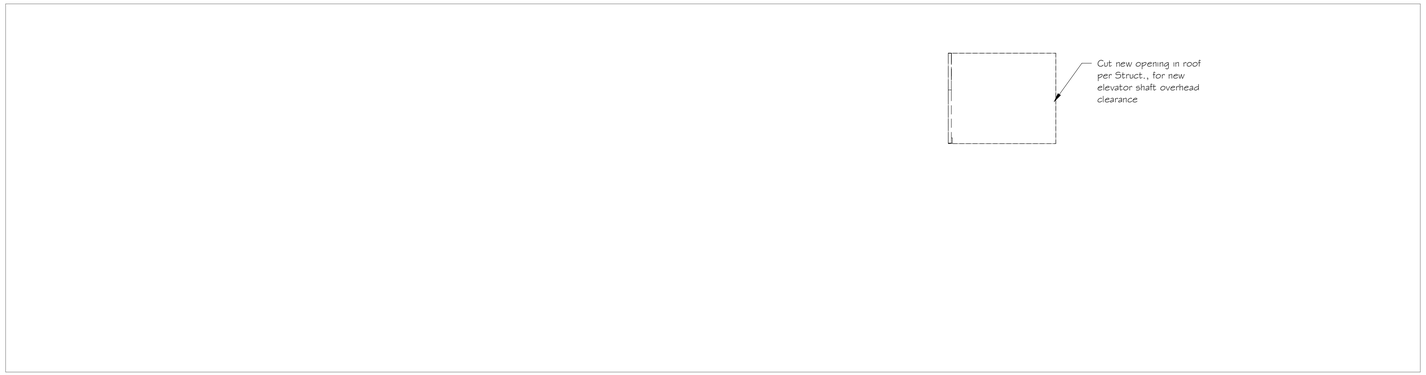
DATE
10.5.20

REVISIONS

SHEET TITLE
Cover Sheet

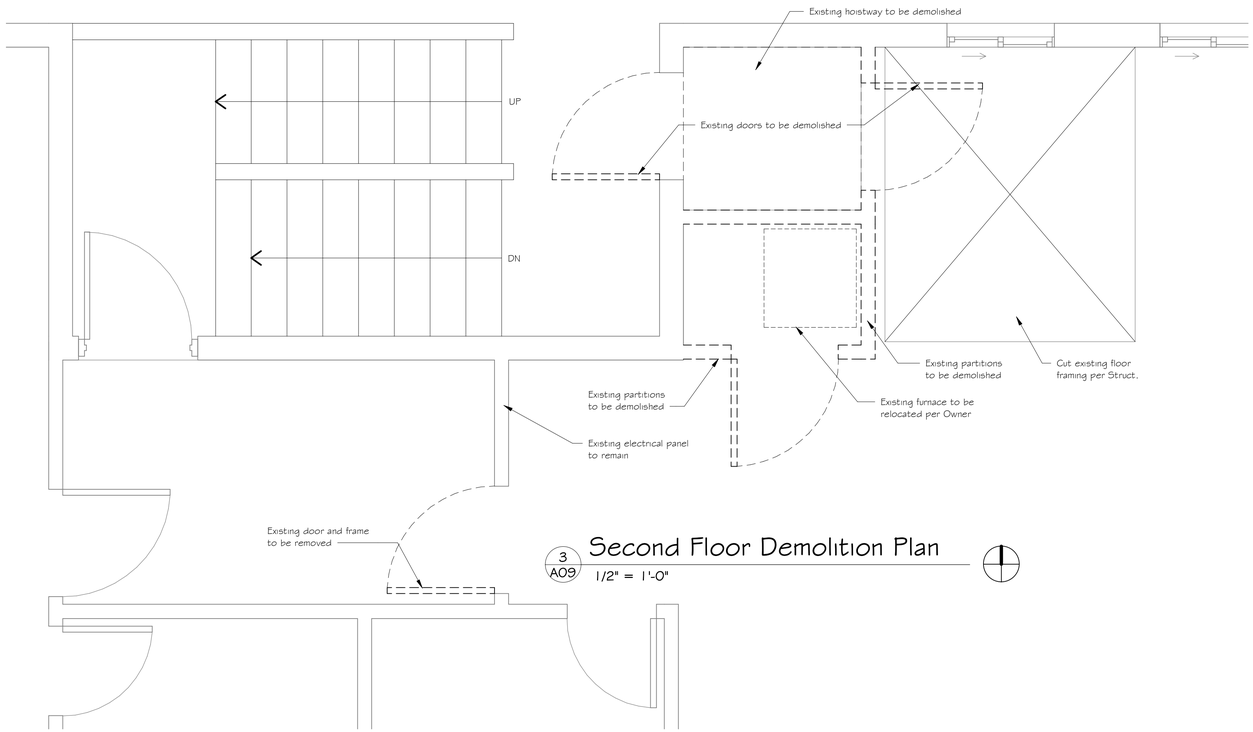
SHEET NUMBER
A00

Project No. 1946



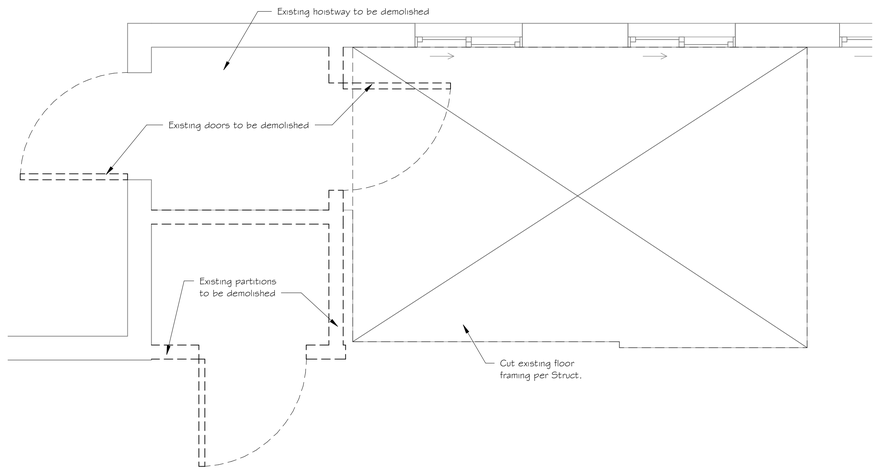
4 A09 Roof Demolition Plan

3/16" = 1'-0"



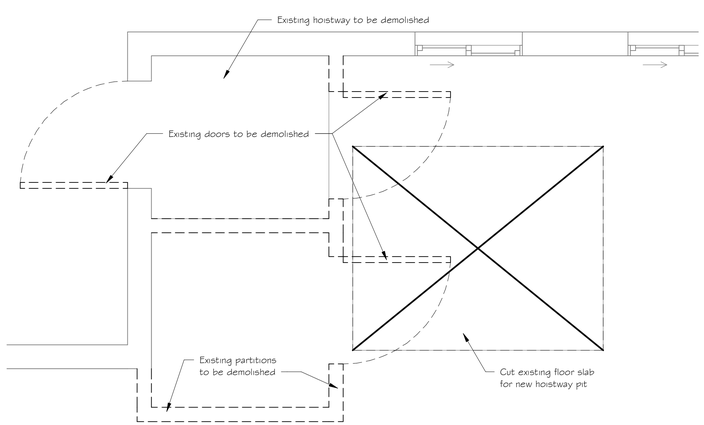
3 A09 Second Floor Demolition Plan

1/2" = 1'-0"



2 A09 Main Floor Demolition Plan

1/2" = 1'-0"



1 A09 Basement Demolition Plan

1/2" = 1'-0"

General Demolition Notes:

1. Since remodeling and renovation of an existing building requires that certain assumptions be made regarding existing conditions, and since some assumptions are not verifiable without selective demolition prior to construction, the Contractor shall verify questions, conditions and procedures with Architect and Engineer prior to commencement of new work.
2. Existing building envelope and finishes to remain except as noted, protect during construction.
3. Existing exterior windows and interior sills to remain.
4. See Mechanical, Electrical, Plumbing drawings for additional demolition items.
5. New utility work may require selective demolition of floor, wall and ceiling finishes. Patch and refinish any disturbance to existing finishes to match existing or new adjacent finishes.
6. Contractor and subcontractors are required to visit the project site to review existing conditions prior to bidding. Contractors shall be responsible for verification of all measurements in the project and no consideration will be given to changes in contract amount for dimensional differences.
7. Demolition Subcontractor shall field verify existing conditions prior to commencing Work. Any discrepancies shall be brought to the attention of the Architect prior to starting construction in area of concern. Contractor shall perform demolition in manner required to maximize efficiency of integration with required new construction and/or patching. Contractor shall remove items in a workmanship-like manner so as to insure that adjacent construction to remain shall remain intact and undamaged.
8. All demolition Work and locations identified on the demolition plans are diagrammatic in nature. Not all required demolition Work has been noted on the Drawings. The Contractor shall be responsible for the removal of all existing items required for the completion of the Work indicated in the Construction Documents or damaged as a result of the construction process.
9. Rubble, construction debris, and any contaminated or hazardous material shall be legally disposed of off-site. All material disposal cost shall be included as part of the bid items for demolition Work.
10. Contractor is responsible for identifying the presence and locations of all existing utilities in the area of the Work prior to the start of demolition and construction operations. Contractor shall preserve, intact, all utility and service lines to remain, whether noted on Drawings or otherwise.

Legend

- Existing wall to remain
- Existing wall to be demolished
- Existing window to remain
- Existing window to be demolished
- Existing door to remain
- Existing door to be demolished (and sidelights as applicable)

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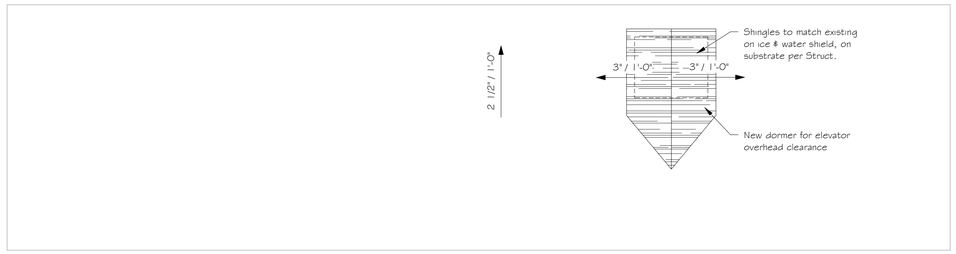
REVISIONS

SHEET TITLE
Demolition Plans

SHEET NUMBER
A09

Project No. 1946



General Plan Notes:

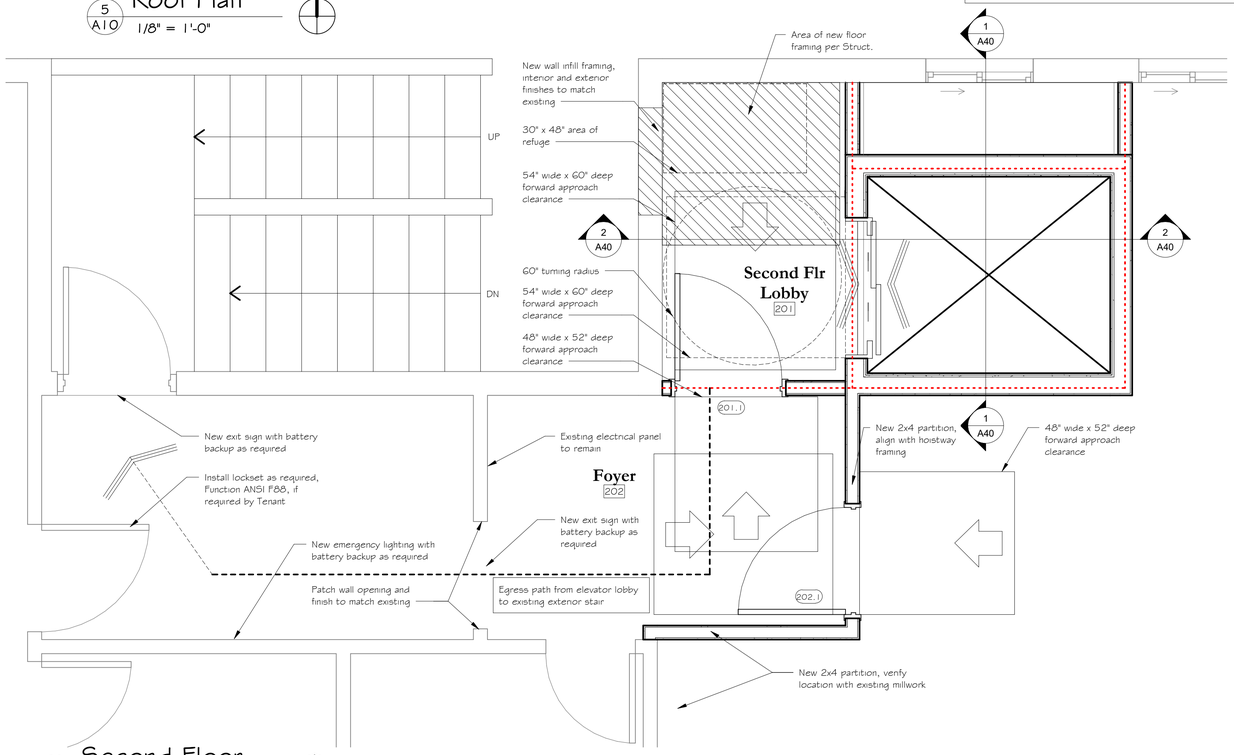
1. Provide isolation joints between slabs and all foundations and column piers to allow independent movement.
2. Field verify all rough openings and wall widths prior to ordering windows, doors and other materials. Provide rough openings for windows and doors so that trim aligns.
3. Run a continuous bead of sealant around all doors, windows and other openings and joints. Leave adjacent surfaces clean and provide backer rod where necessary.
4. Provide solid blocking in walls as required for accessories, fixtures, cabinets, shelves, equipment, etc. at locations indicated on Floor Plan and Enlarged Plans.
5. Dimensions at interior partitions are to face of stud.
6. Provide sound attenuation insulation at all interior partitions.
7. New interior partitions shall include wood studs @ 16" o.c. with 5/8" type 'X' gypsum board finish, painted. Red dotted line indicates one hour-rated wall assembly. Construct one hour-rated partitions per the UL detail, this Sheet.
8. Openings in one hour-rated assemblies shall be protected with one hour-rated doors.
9. Locate hinge side of new doors as close as possible to adjacent perpendicular partitions, typ.
10. Owner/Contractor must register project with State Elevator Inspector prior to receiving building permit.
11. New work shall include unit heaters, lighting and illuminated exit signs as required by code and as coordinated by General Contractor and Owner.
12. New floor finishes and paint colors shall be as selected by Owner.
13. See Structural Drawings for new foundation and framing design.
14. Provide new 5/8" painted gyp. bd. ceiling finish at new and framing infill areas, typ.

Legend

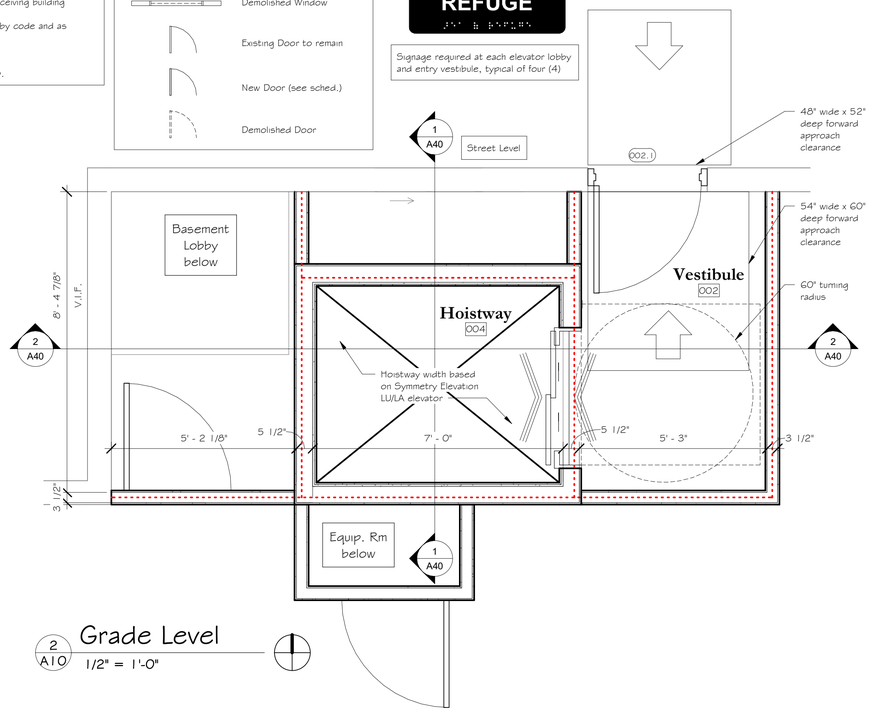
- Existing wall to remain
- New wall
- Demolished wall
- Existing window to remain
- New Window
- Demolished Window
- Existing Door to remain
- New Door (see sched.)
- Demolished Door

Signage required at each elevator lobby and entry vestibule, typical of four (4)

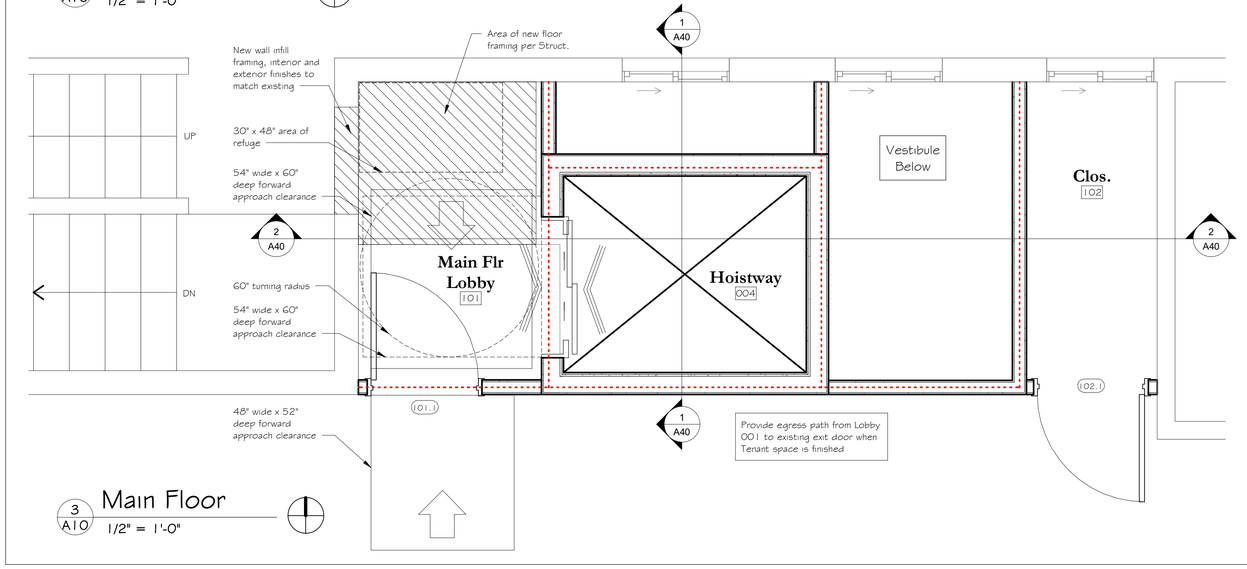
5 A10 Roof Plan
1/8" = 1'-0"



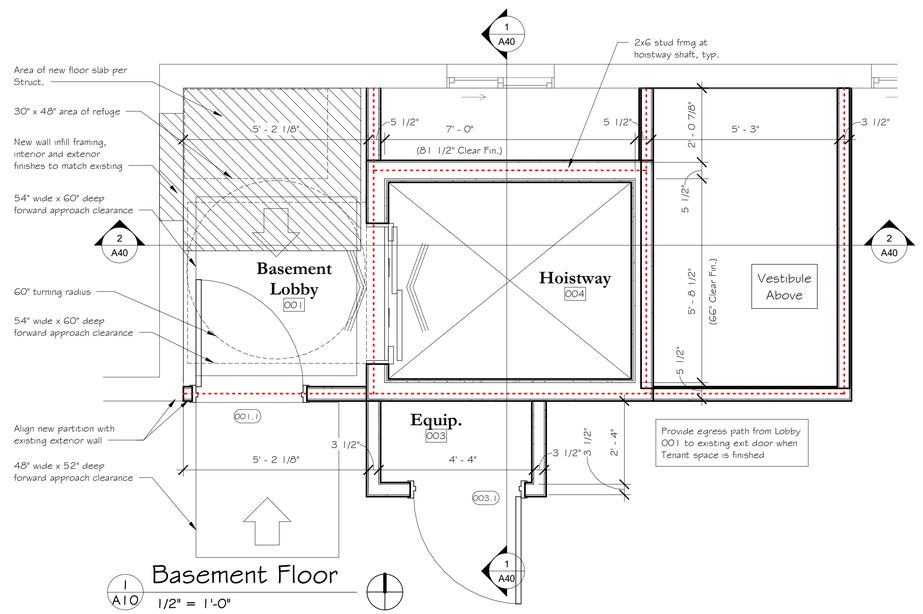
4 A10 Second Floor
1/2" = 1'-0"



2 A10 Grade Level
1/2" = 1'-0"



3 A10 Main Floor
1/2" = 1'-0"



1 A10 Basement Floor
1/2" = 1'-0"

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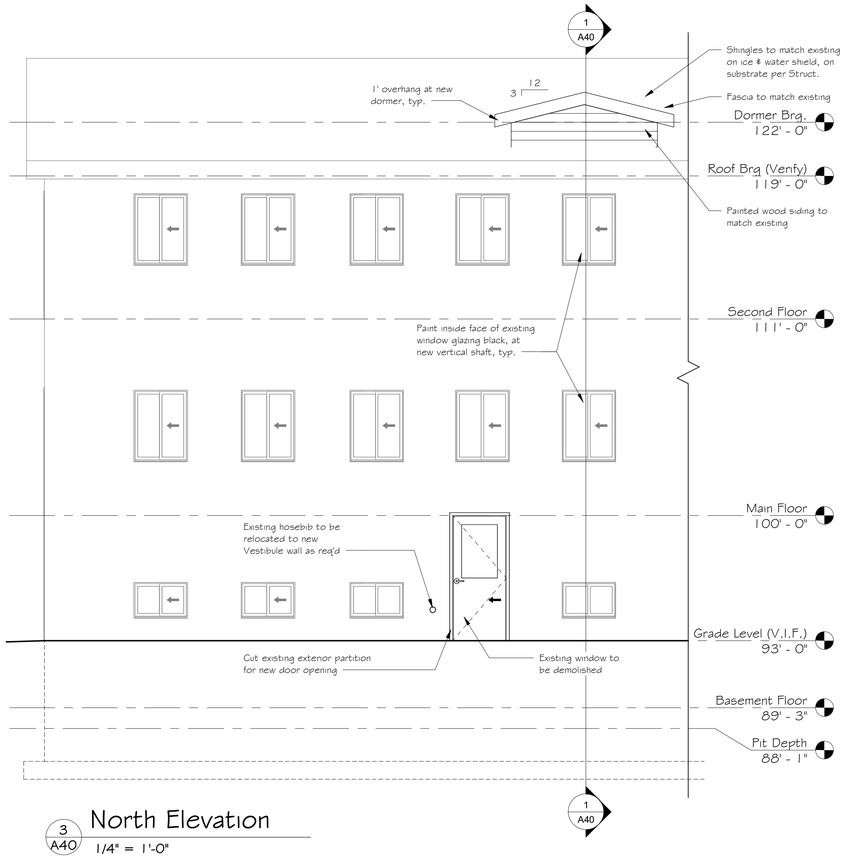
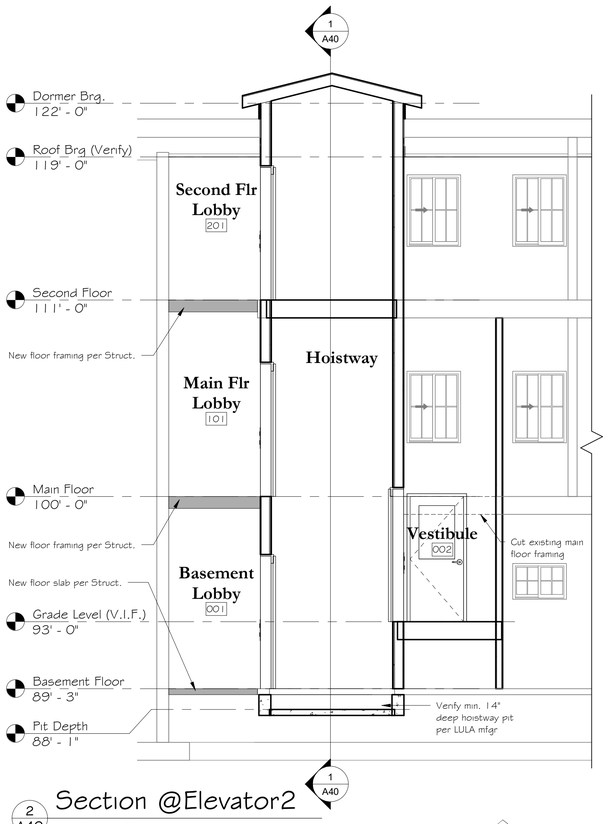
SHEET TITLE
New Work Plans

SHEET NUMBER
A10

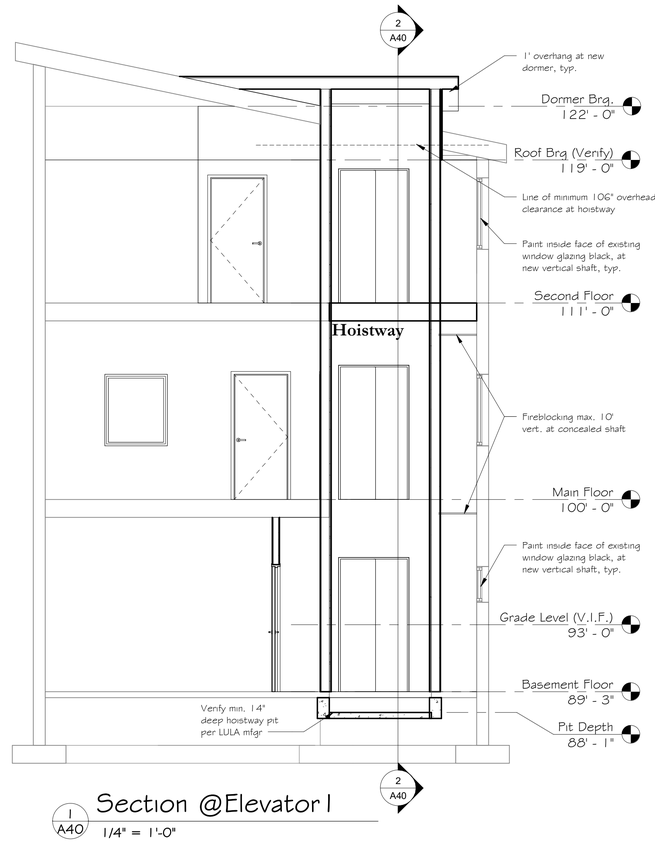
Project No. 1946



3 A40 North Elevation
1/4" = 1'-0"



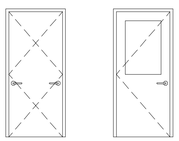
2 A40 Section @Elevator2
1/4" = 1'-0"



1 A40 Section @Elevator1
1/4" = 1'-0"

Door Schedule

I.D.	Function	Type	Width	Height	Thickness	Door Material	Door Finish	Glazing	Frame Material	Frame Finish	Hardware Set	ANSI Function	Comments
001.1	Interior	A	3' - 0"	7' - 0"	1 3/4"	Wood	Stained		H.M.	Painted	01	F75	60 Min. rated
002.1	Exterior	B	3' - 0"	7' - 0"	1 3/4"	Insul Metal	Painted	Tempered	H.M.	Painted	02	F84	
003.1	Interior	A	3' - 0"	7' - 0"	1 3/4"	Wood	Stained		H.M.	Painted	03	F86	
101.1	Interior	A	3' - 0"	7' - 0"	1 3/4"	Wood	Stained		H.M.	Painted	01	F75	60 Min. rated
102.1	Interior	A	3' - 0"	7' - 0"	1 3/4"	Wood	Stained		H.M.	Painted	04	F75	
201.1	Interior	A	3' - 0"	7' - 0"	1 3/4"	Wood	Stained		H.M.	Painted	01	F75	60 Min. rated
202.1	Interior	A	3' - 0"	7' - 0"	1 3/4"	Wood	Stained		H.M.	Painted	05	F88	



Type 'A'

Type 'B'

Door Types
1/4" = 1'-0"

Hardware Sets

Group 01 (Lobby Doors 001.1, 101.1, 201.1)
3 ea Hinges
1 ea Passage Set
1 ea Closer w/ stop
1 ea Kickplate
1 ea Gasketing

Group 02 (Exterior Door 002.1)
3 ea Hinges
1 ea Lockset
1 ea Closer w/stop
1 ea Gasketing
1 ea Threshold
1 ea Door Bottom
1 ea Drip Guard

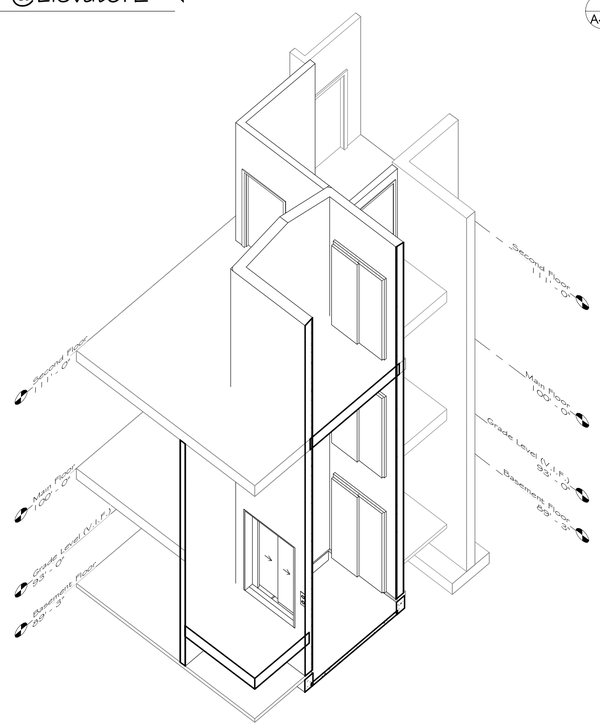
Group 03 (Equip. Door 003.1)
3 ea Hinges
1 ea Lockset
1 ea Closer
3 ea Silencers

Group 04 (Closet Door 102.1)
3 ea Hinges
1 ea Passage Set
1 ea Wall Stop
3 ea Silencers

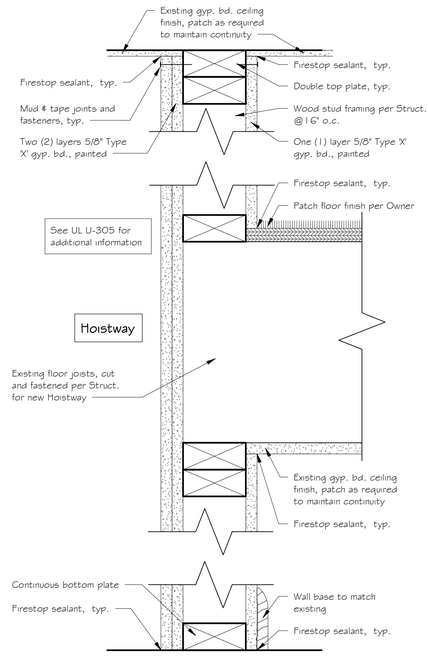
Group 05 (Equip. Door 202.1)
3 ea Hinges
1 ea Lockset
1 ea Closer
1 ea Wall Stop
3 ea Silencers

Hardware General Notes:
1. Interior hardware finish shall match existing. Exterior door hardware shall be stainless steel US26D.
2. Provide three (3) hinges for swing doors 4 1/2" x 4 1/2" ball bearing, with non-removable pins for outswinging exterior doors. Install heavy weight hinges at restroom and exterior doors, medium weight hinges for other doors.
3. All doors shall have locksets or passage sets with lever handles, for scheduled function. Locksets to have cores to match existing. Verify core and keying with Owner.
4. Lever locksets and passage sets shall be Grade 1 cylindrical locks, Falcon 'B' Series standard duty cylindrical locks, or similar, with Dane lever trim.
5. Install adjustable closers on interior side of doors as scheduled, with heavy duty arms for parallel applications. Provide LCN 4040 Series closers with stop function to limit swing to either 90 degree or 170 degree opening as scheduled.
6. Provide wall stops adjacent to interior doors without closers, Hager 251W concave style, or similar.
7. Provide silicone weatherstripping, thresholds and door sweeps on all exterior swinging doors. Door sweeps shall be Pemko 32155N surface applied, or similar.
8. Install silencer buttons on all interior doors, three (3) per frame.

Door & Window General Notes:
1. Field verify all rough openings and wall widths prior to ordering doors, windows and hardware.
2. Door & window suppliers shall be responsible for bidding & supplying tempered and fire-rated units as required by code, including but not limited to those scheduled and/or illustrated.
3. All exit doors to be operable from inside without the use of a key or special knowledge or effort. Use of flush bolts or surface bolts on exit doors is prohibited.
4. Caulk all around window and door frames, typ.
5. See Floor Plan for wall thickness and frame throat widths, G.C. coordinate.
6. Rough openings measured from inside face of framing, typ.
7. Metal doors shall be Ceco Legion polystyrene units with min. U-0.35 or R-2.8, where required to be insulated.
8. Interior door frames shall be Ceco 18 ga. hollow metal frames, or sim.. Paint frames in color as selected by Owner.
9. Interior wood doors shall be solid core, 5-ply wood veneer, flush style, stained in color as selected by Owner.



5 A40 Hoistway 3D Section



4 A40 1-HR Wall Detail
3" = 1'-0"

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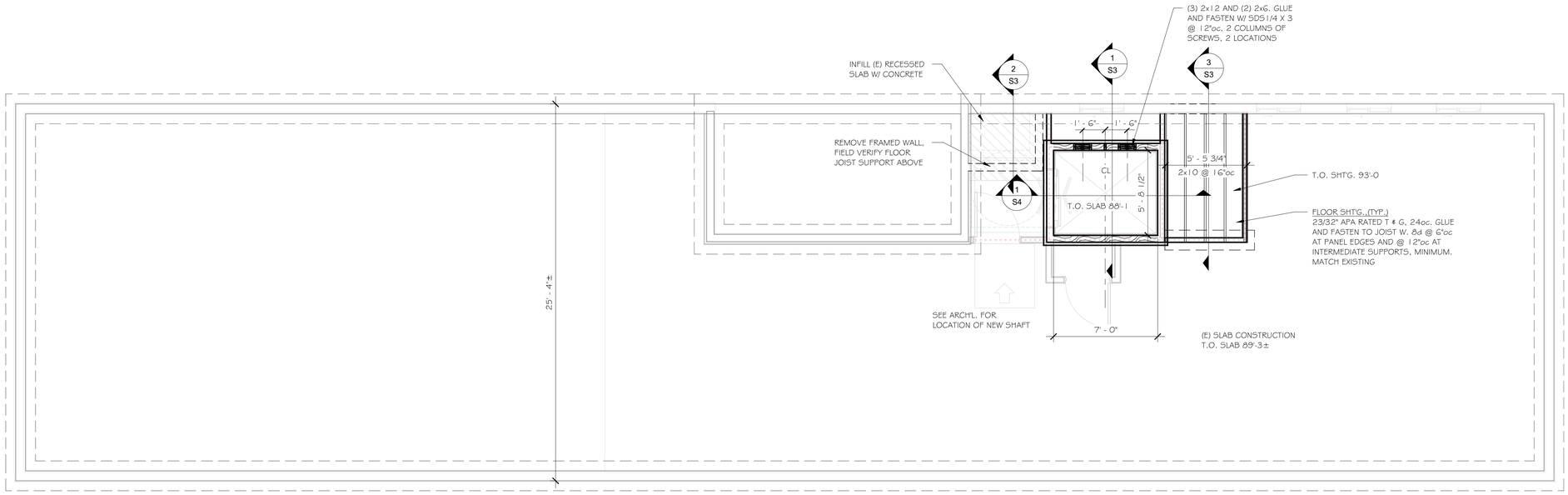
REVISIONS

SHEET TITLE
Elevation, Sections & Details

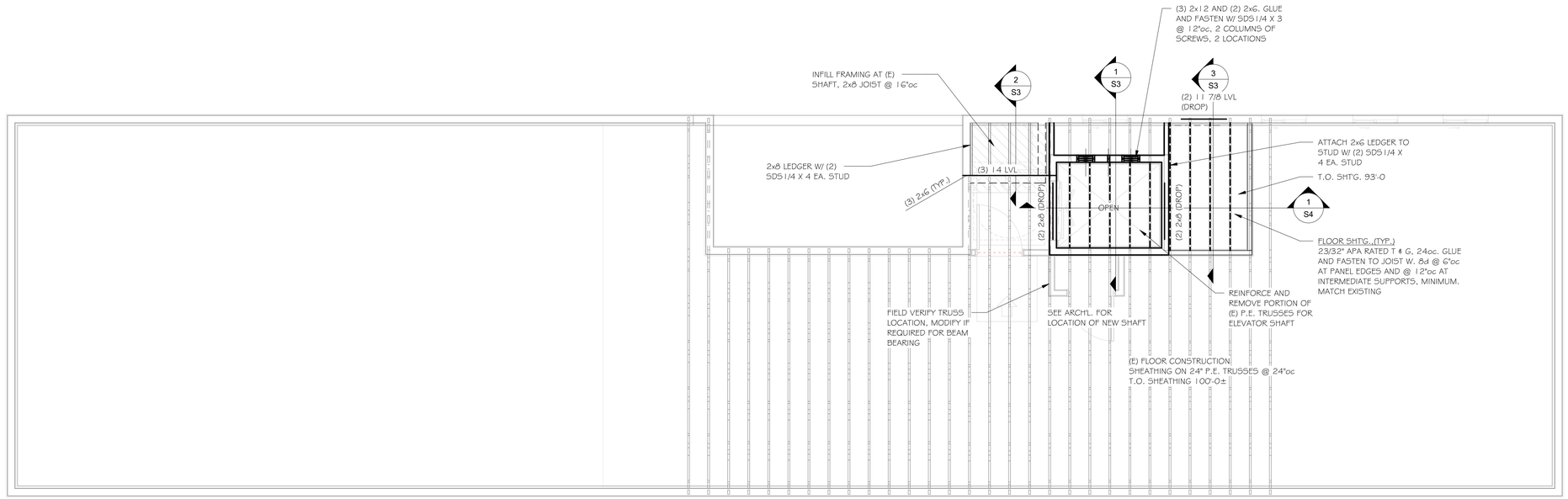
SHEET NUMBER
A40

Project No. 1946



FOUNDATION PLAN

1/4" = 1'-0"



MAIN LEVEL FRAMING PLAN

1/4" = 1'-0"

LT engineering, LLC
Structural Consultants
5620 Zuni Street
Denver, CO 80221
T: 303.477.3861
M: 720.319.0503
lesanntyson@msn.com

COLORADO LICENSED LESLIE A. TYSON 29922 10.05.2020 PROFESSIONAL ENGINEER

STAMP INVALID WITHOUT ORIGINAL SIGNATURE AND DATE

Accessible Elevator Upgrade
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Erie, CO

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DATE
10.05.2020

REVISIONS

SHEET TITLE
FOUNDATION AND FRAMING PLAN

SHEET NUMBER
S1

Project No. 1946

GENERAL NOTES: 698 Briggs St.
Erie, CO
DESIGN LOADS: 2015 IBC, Town of Erie Amendments

Floor Loading:	
Dead Load	15 psf
Live Load Office	60 psf
Live Load Lobby	100 psf
Roof Loading:	
Dead Load	15 psf
Live Load	20 psf
Roof Snow Loading:	
Ground Load, Pg	35 psf
Flat Roof Load, Pf	30 psf (balanced load)
Exposure Factor, Ce	1.0
Importance Factor, I	1.0
Thermal Factor, Ct	1.0
Wind Design Data:	
Basic Wind Speed, V3s (ULT)	115 mph
Importance Factor, I	1.0 (Risk Category II)
Wind Exposure	C
Components/Cladding	±25 psf
Earthquake Design Data:	
Seismic Design Category	B

OVERALL NOTES:
a. All materials and workmanship shall conform to governing building code.
b. Plans, sections, and details are not to be scaled for determination of quantities, lengths, or fit of materials.
c. Principal openings are shown on the drawings. See Architectural, Mechanical, and Electrical drawings for sleeves, curbs, inserts, etc.
d. Unless noted otherwise = U.N.O.
e. Discrepancies between drawings/specifications shall be confirmed with Structural engineer and the Architect.

FOUNDATION DESIGN:
a. All assumed values shall be verified by the Geotechnical Engineer and summarized in a written report, prior to construction, during excavation.
b. Design of individual and continuous footings is based on an assumed maximum allowable bearing pressure of 1,500 lbs, per square foot (dead load plus full live load), placed on the natural undisturbed soil, or compacted structural fill, below frost depth.
c. Soils are assumed to be free draining and non-expansive.

CAST-IN-PLACE CONCRETE:
a. All concrete design is based on the "Building Code Requirements for Reinforced Concrete" (ACI 318/318R) and ACI 301.
b. All structural concrete shall have minimum 28-day compressive strength(s):

Footings	3,500 psi
Walls	4,000 psi
Slabs	4,000 psi

c. Concrete shall be proportioned uti lizing Type II cement Concrete susceptible to freezing shall be formulated for maximum frost resistance in accordance with the ACI Manual of Concrete Practice.
d. Contractor shall notify engineer of cold joint locations prior to or during concrete forming.
e. Cold weather and/or hot weather concreting procedures shall be provided, if conditions warrant, as recommended in the ACI Manual of Concrete Practice.
f. All exposed edges and corners shall be chamfered 3/4".
g. All anchor bolts for beam and column bearing plates shall be placed with setting templates.
h. Joints not shown shall be made and located to least impair strength and appearance of structure as approved by the Architect. No horizontal joints shall be permitted in concrete except where they normally occur or where noted.
i. All construction joints shall be prepared by roughening the surface of the concrete in an approved manner such that the aggregate shall be exposed uniformly, leaving no laitance, loosened particles or damaged concrete.
j. Refer to mechanical and electrical drawings for location of all pipes, conduits, etc.
k. Pipe or ducts one-third the slab or wall thickness shall not be placed in structural concrete unless specifically detailed.
l. Pipe may pass through structural concrete in sleeves, but not be embedded therein.
m. Provide continuous shear keys at vertical cold joints and where shown on drawings.
n. Concrete reinforcement shall be accurately placed and adequately supported before concrete is placed. It shall be secured against displacement within tolerances permitted in Section 1907.5.2 of the I.B.C.

REINFORCING STEEL:

Reinforcing Bars	ASTM A615-79, Grade 60
Welded Reinf. Bars	ASTM A706-82a, Grade 60
Welded Wire Fabric	ASTM A-185

a. All detailing, fabrication, and placement of reinforcing steel shall be in accordance with the ACI Manual of Concrete Practice.
b. At reinforcing steel splices in concrete, lap bars 53 diameters. At reinforcing steel splices in masonry, lap bars 48 diameters. Lap welded wire fabric one full panel and tie together. At corners, make horizontal bars continuous or provide corner bars.
c. Around openings and steps in walls, provide (2) #5, extending 2'-0 beyond edge of opening or step in all directions. At re-entrant corners without control joints in slabs-on-grade, provide (2) #4 x 4'-0" diagonal in slab. At re-entrant corners in slabs-on-deck, provide (2) #3 x 4'-0" diagonal in slab.
d. Except as noted on the drawings, minimum concrete protection for reinforcement shall be in accordance with ACI 318/318R.

FIELD VERIFICATION:
a. Contractor shall thoroughly inspect and survey existing structure to verify dimensions, elevations, framing, etc. which affect the work shown on the drawings.
b. Report any variations or discrepancies to the Architect and the Structural Engineer before proceeding.
c. Existing foundation shall be field verified to be shallow footings. Foundations for addition shall match existing.

STRUCTURAL STEEL:
a. Structural steel shall be detailed, fabricated, and erected in accordance with AISC Specification for Structural Steel Buildings - Allowable Stress Design and Plastic Design - 15th Edition, and "Code of Standard Practice", current edition.
b. Structural steel shall conform to the following grades:
- W- & WT- Shapes ---------- ASTM A992
- Pipe ---------- ASTM A53 Gr. B
- Plates & Angles ---------- ASTM A36
- HSS ---------- ASTM A500 Gr. B
c. All bolts shall conform to ASTM A325 except anchor bolts which shall conform to ASTM A307. Bolt size shall be 3/4", unless noted otherwise on the drawings.
d. Unless shown otherwise on the drawings, framed beam connections shall consist of pairs of 1/4" angles using the maximum number of bolts called for in the AISC Specification for Structural Steel Buildings - Allowable Stress Design and Plastic Design 15th Edition.
e. All welding shall be done by a certified welder in accordance with AISC and AWS specifications and recommendations.
f. Headed anchor studs (H.A.S.) shall be attached to structural elements with a welding machine approved by the stud manufacturer, in accordance with the manufacturer's welding specifications.
g. Delay painting within 3" of field welds until welds are completed.
h. All drive pins shall be 0.145" diameter Hilti X-DNI (or approved equal). Drive pins shall have 1 1/2" min embedment in concrete base material. Drive pins shall penetrate completely through steel base material.

STRUCTURAL ERECTION AND BRACING REQUIREMENTS:
a. The structural drawings illustrate the completed structure with all elements in their final positions, properly supported and braced.
b. The Contractor, in the proper sequence, shall provide shoring and bracing as may be required during construction to achieve the final completed structure.
c. Observation visits to the site by the Structural Engineer shall not include inspection of the shoring and bracing elements.

GROUT:
a. All grout beneath column base plates shall be non-shrink, "Embeco","Five-Star" or equal. All exposed grout, such as at machinery base plates shall be non-shrink, non-metallic, "Five-Star", or equal.

STRUCTURAL WOOD FRAMING:
a. All wood members shall be in compliance with and shall have the design properties as listed in the recent NDS for Wood Construction for the wood species and grades specified on the structural drawings.
b. Lumber grades shall be as follows:

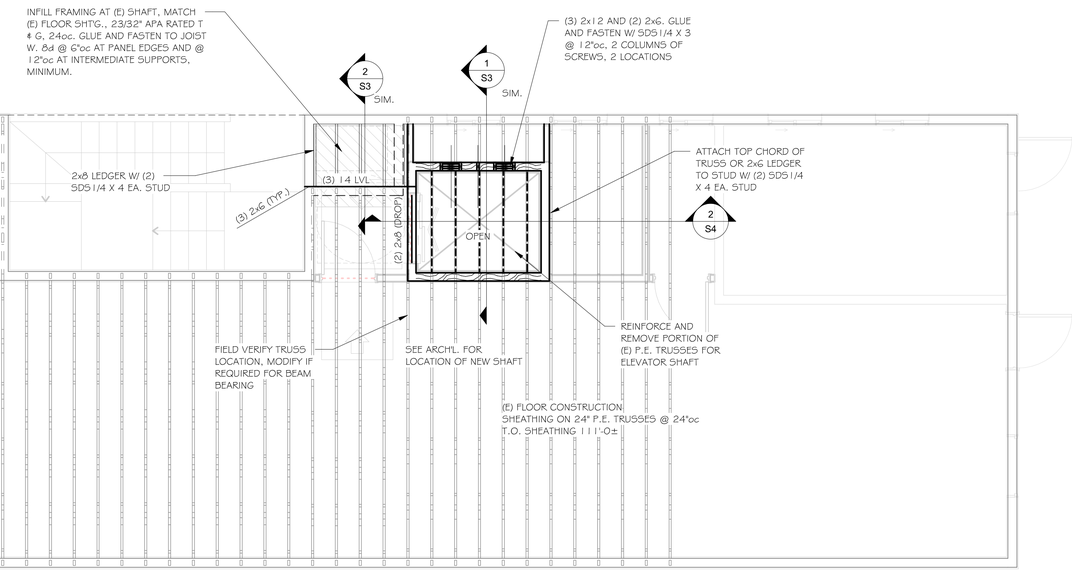
Member	2x to 4x lumber	Studs	5x and larger
Species	Hem-Fir S4S	Hem-Fir S4S	Hem-Fir S4S
Grade	No. 2 or better	No. 2 or better	No. 1 or better
Fb	850 psi	850 psi	975 psi
Ft	525 psi	525 psi	525 psi
Fv	150 psi	150 psi	140 psi
Fc⊥	405 psi	405 psi	405 psi
Fc	1,300 psi	1,300 psi	750 psi
E	1,300 ksi	1,300 ksi	1,300 ksi

c. Top and bottom plates shall be Hem-Fir No. 2 or better.
d. Columns / multiple studs in bearing walls supporting all beams shall occur continuously through each floor level down to the foundation or another support beam. Solid squash blocking shall also be provided within the floor joists spaces beneath these columns/multiple studs. Blocking of area equivalent to column above shall be provided.
e. 2x blocking shall be placed between joists or rafters at all supports. U.N.O.
f. All wood in contact with concrete or masonry, or exposed to soil or weather, shall be pressure treated
g. All bolts shall be retightened prior to application of gypsum wallboard, plywood, etc.
h. All bolts bearing on wood shall have washers under head and/or nut.

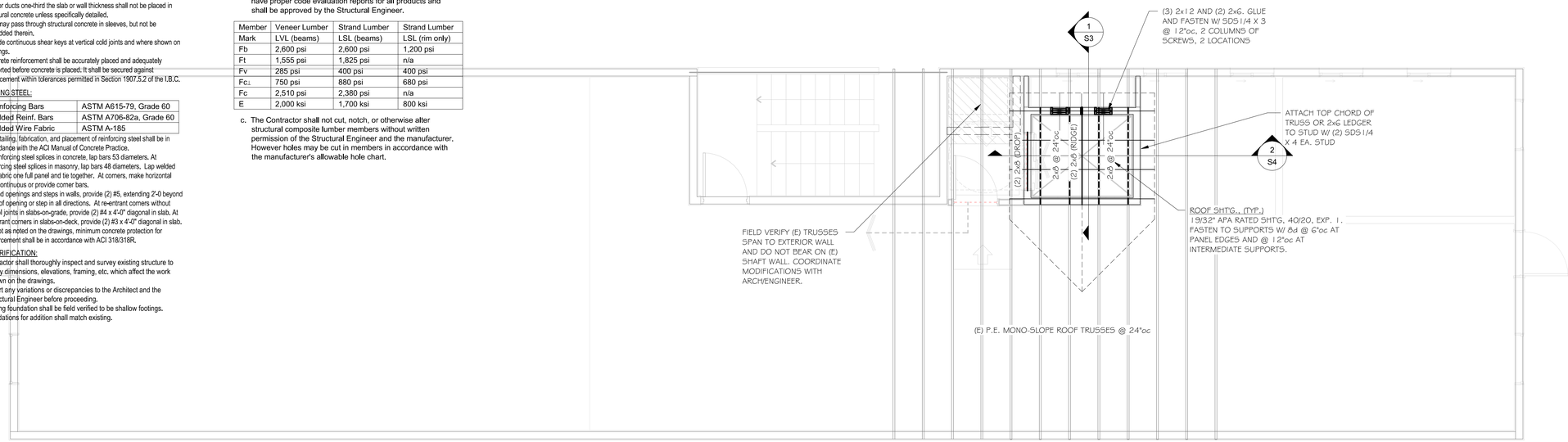
STRUCTURAL COMPOSITE LUMBER:
a. Structural capacities of structural composite lumber shall be in conformance with section 2303.1.9 of the I.B.C.
b. Manufacturer of structural composite lumber products shall have proper code evaluation reports for all products and shall be approved by the Structural Engineer.

Member	Veneer Lumber	Strand Lumber	Strand Lumber
Mark	LVL (beams)	LSL (beams)	LSL (rim only)
Fb	2,600 psi	2,600 psi	1,200 psi
Ft	1,555 psi	1,825 psi	n/a
Fv	285 psi	400 psi	400 psi
Fc⊥	750 psi	880 psi	680 psi
Fc	2,510 psi	2,380 psi	n/a
E	2,000 ksi	1,700 ksi	800 ksi

c. The Contractor shall not cut, notch, or otherwise alter structural composite lumber members without written permission of the Structural Engineer and the manufacturer. However holes may be cut in members in accordance with the manufacturer's allowable hole chart.



SECOND LEVEL FRAMING PLAN
1/4" = 1'-0"



ROOF FRAMING PLAN
1/4" = 1'-0"

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10.05.2020

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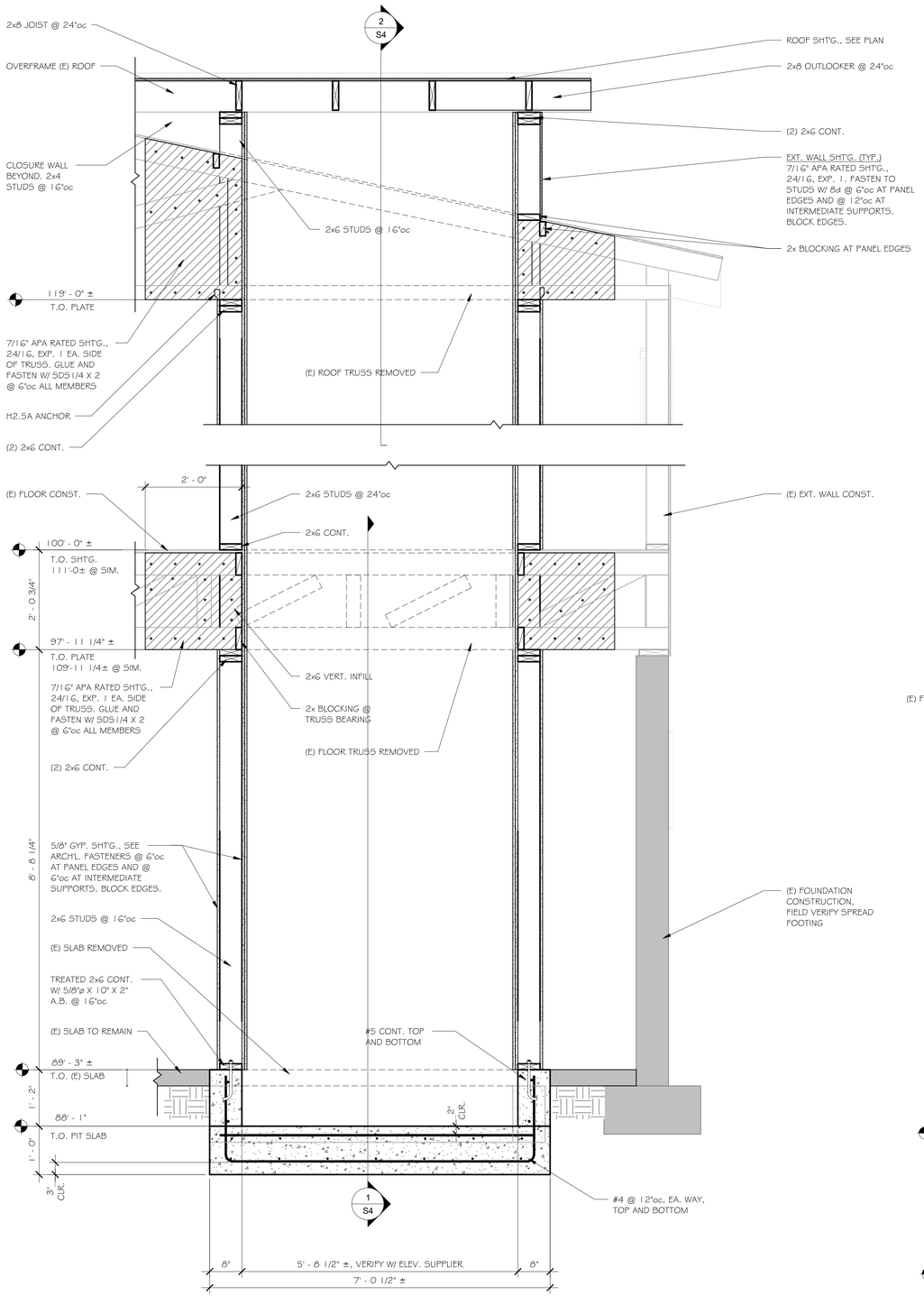
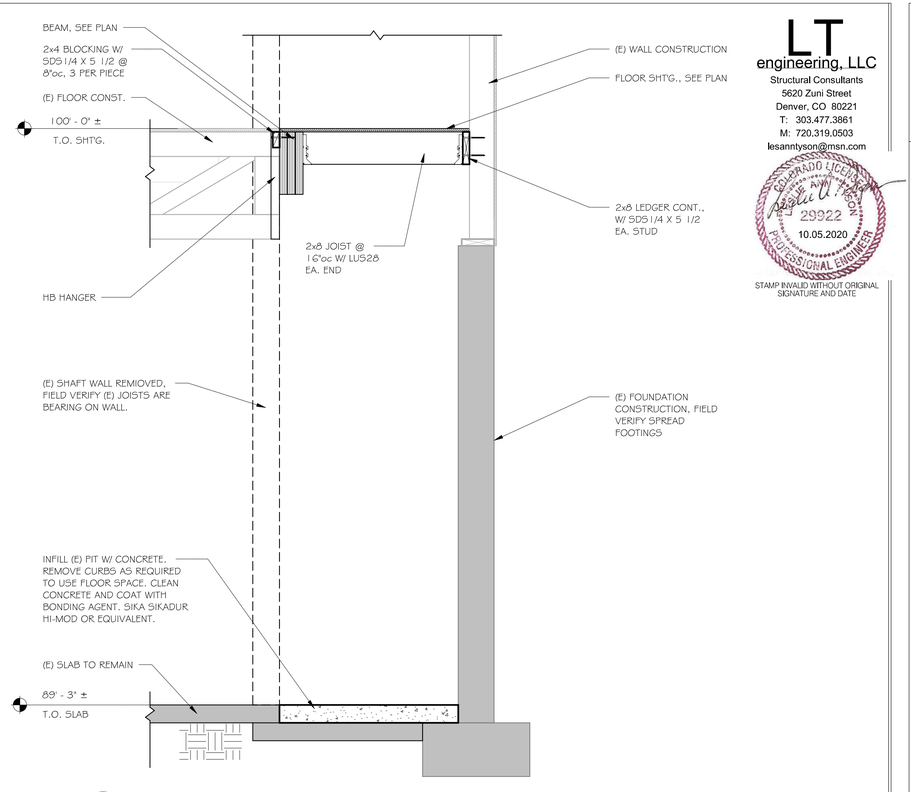
SHEET TITLE
FRAMING PLANS

SHEET NUMBER
S2

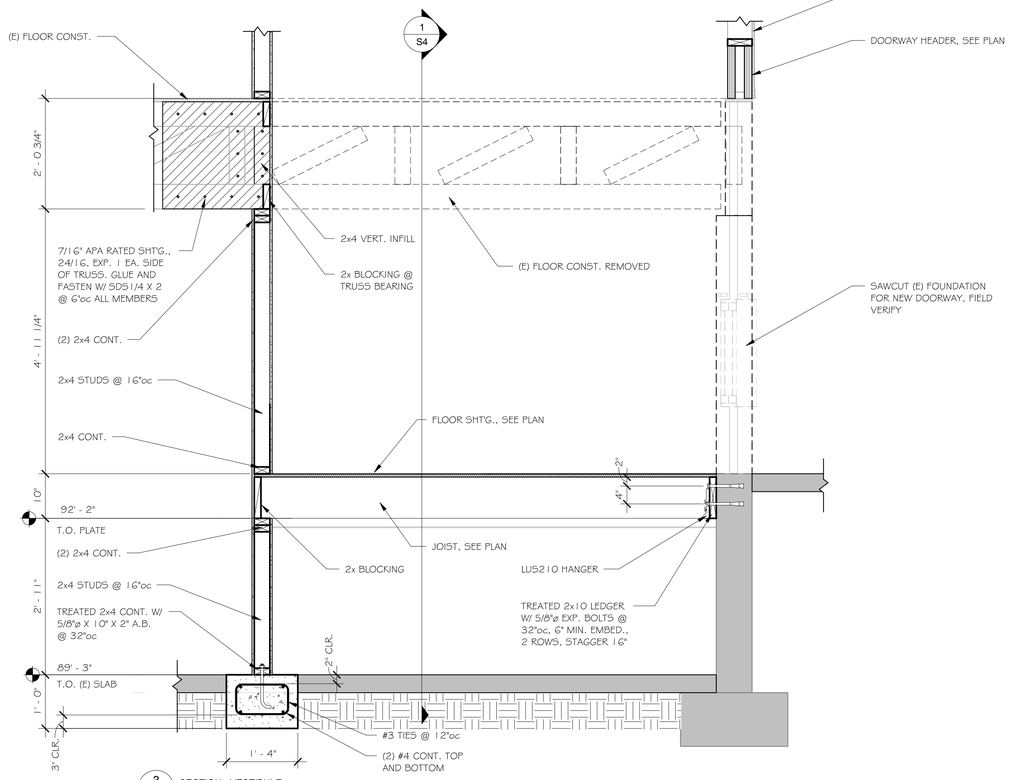
Project No. 1946



1 S3 SECTION - ELEVATOR SHAFT
3/4" = 1'-0"



2 S3 SECTION - (E) SHAFT INFILL
3/4" = 1'-0"



3 S3 SECTION - VESTIBULE
3/4" = 1'-0"

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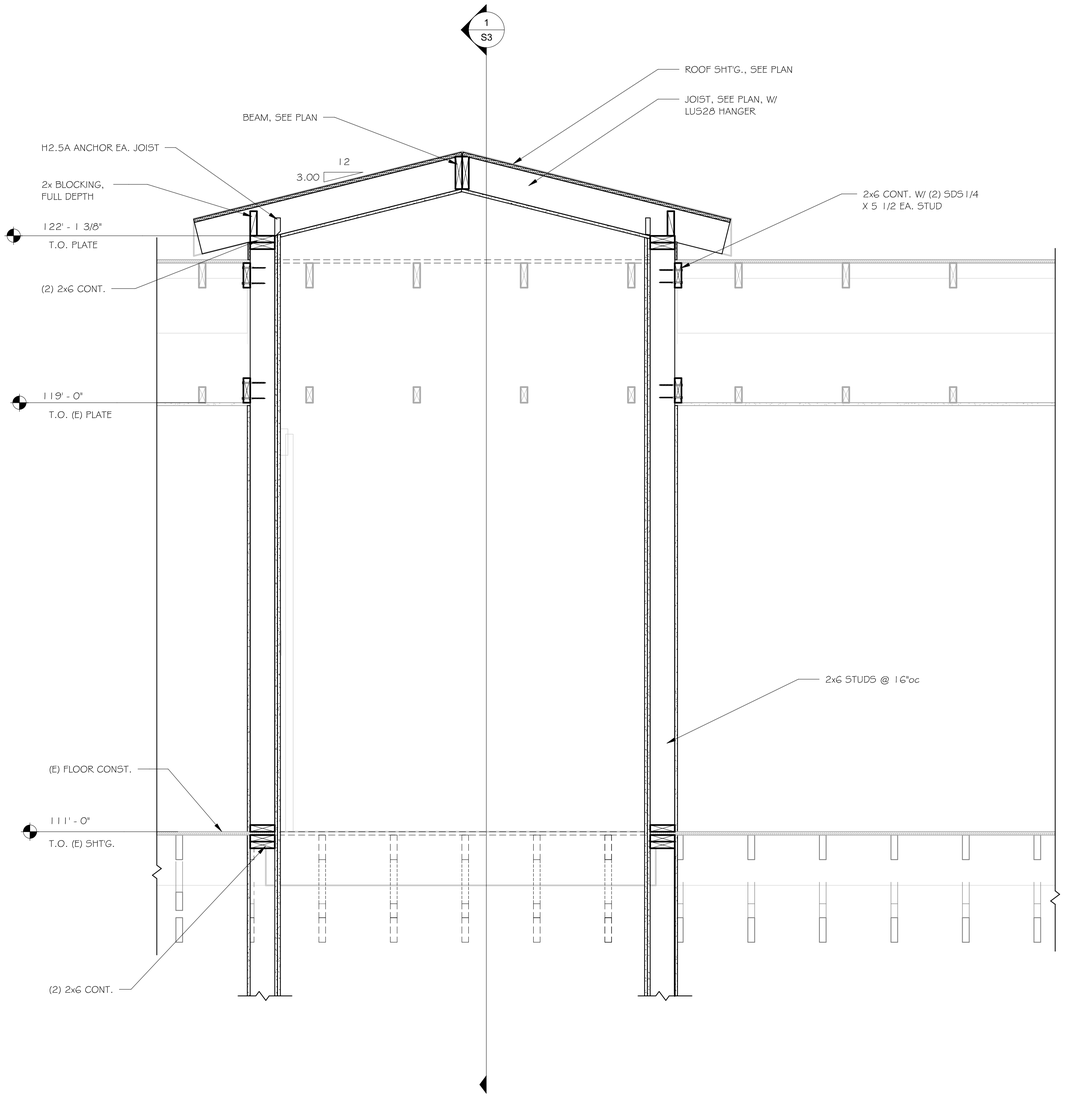
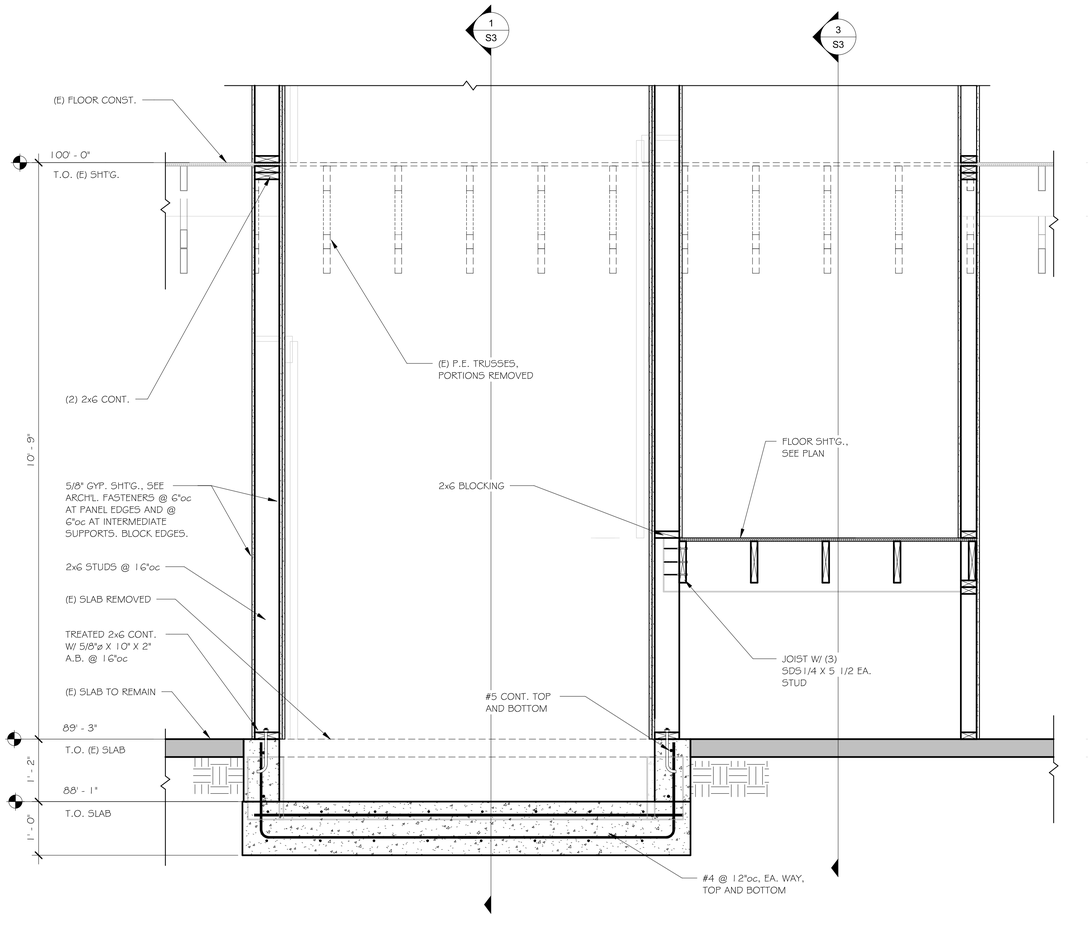


2 S4 SECTION - TRANSVERSE UPPER
3/4" = 1'-0"



1 S4 SECTION - TRANSVERSE LOWER
3/4" = 1'-0"

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