

ERIE HIGHLANDS

- PUD AMENDMENT NO. 2
- PRELIMINARY PLAT NO. 4

Board of Trustees January 14, 2020

Location



Preliminary Plat No. 4



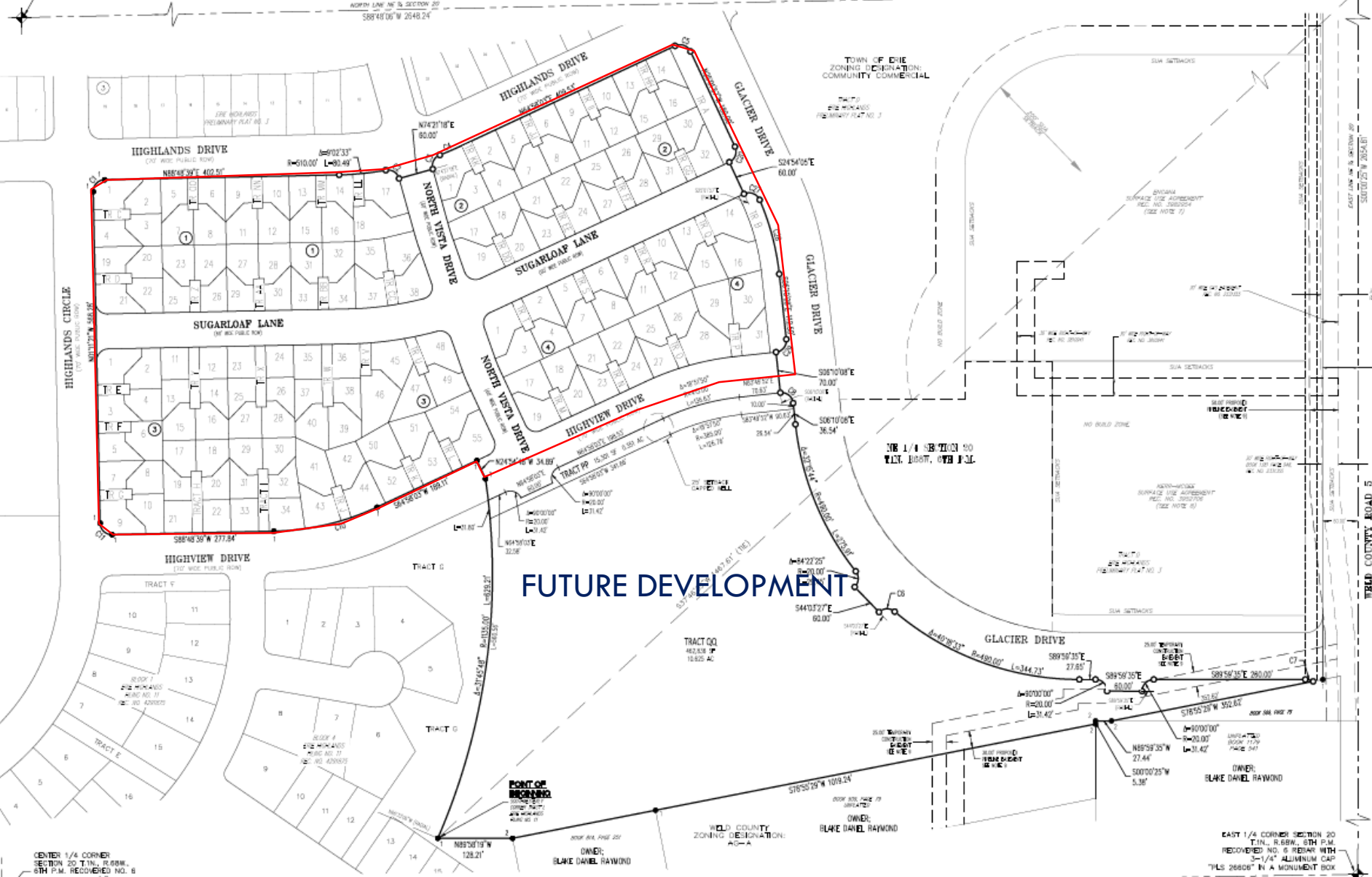
ERIE HIGHLANDS PRELIMINARY PLAT NO. 4

PP-000935-2017

NE CORNER SECTION 20
T.1N., R.6W., 6TH P.M.
RECORDED NO. 8 REAR WITH
2-1/2" ALUMINUM CAP TIES
2350" IN A MONUMENT BOX

NORTH 1/4 CORNER SECTION 20
T.1N., R.6W., 6TH P.M.
RECORDED NO. 8 REAR
WITH 2-1/2" ALUMINUM CAP
TIES 2825" IN A MONUMENT BOX

(BASIS OF BEARINGS)
NORTH LINE NE 1/4 SECTION 20
S88°48'05" W 2548.24'

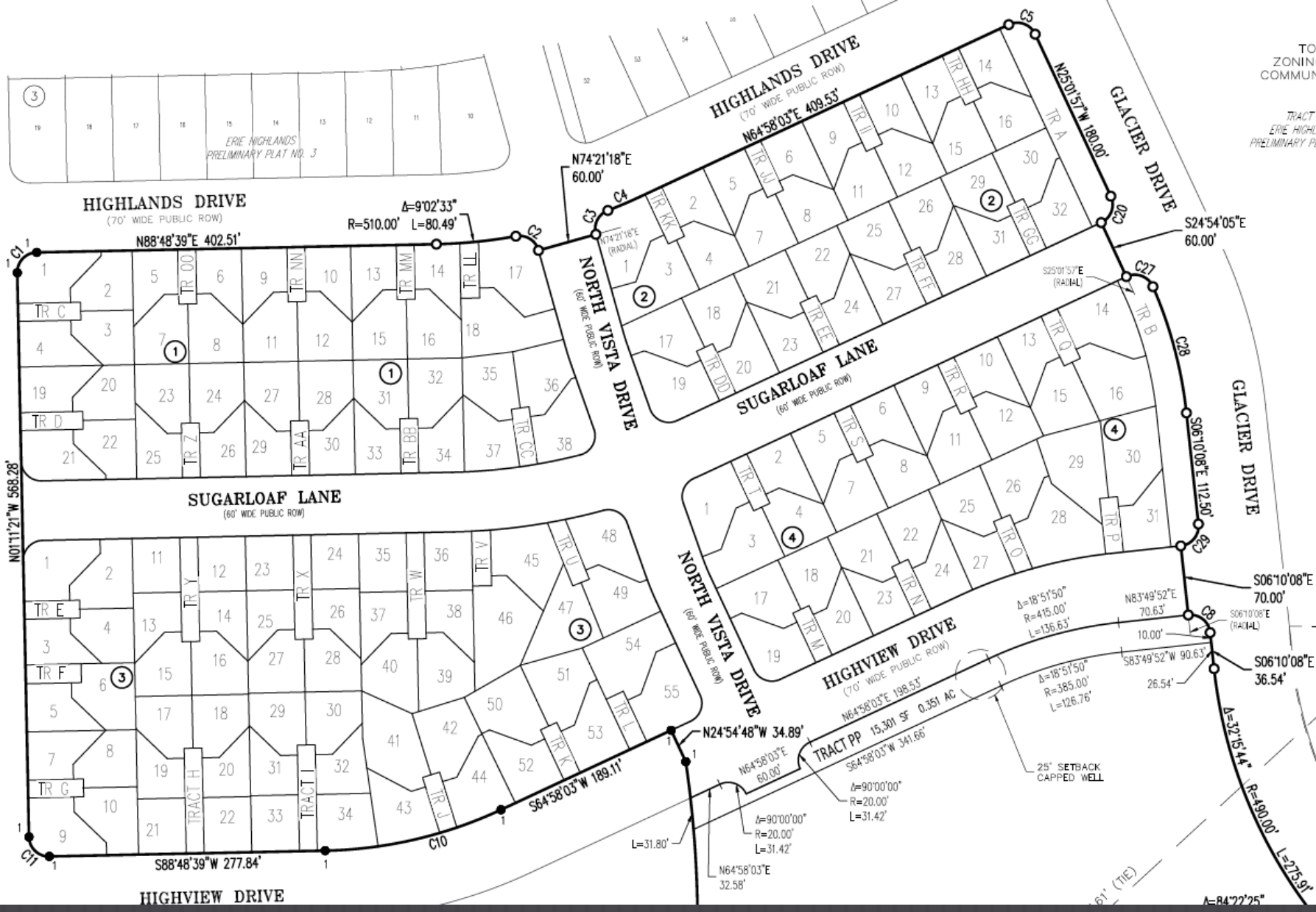


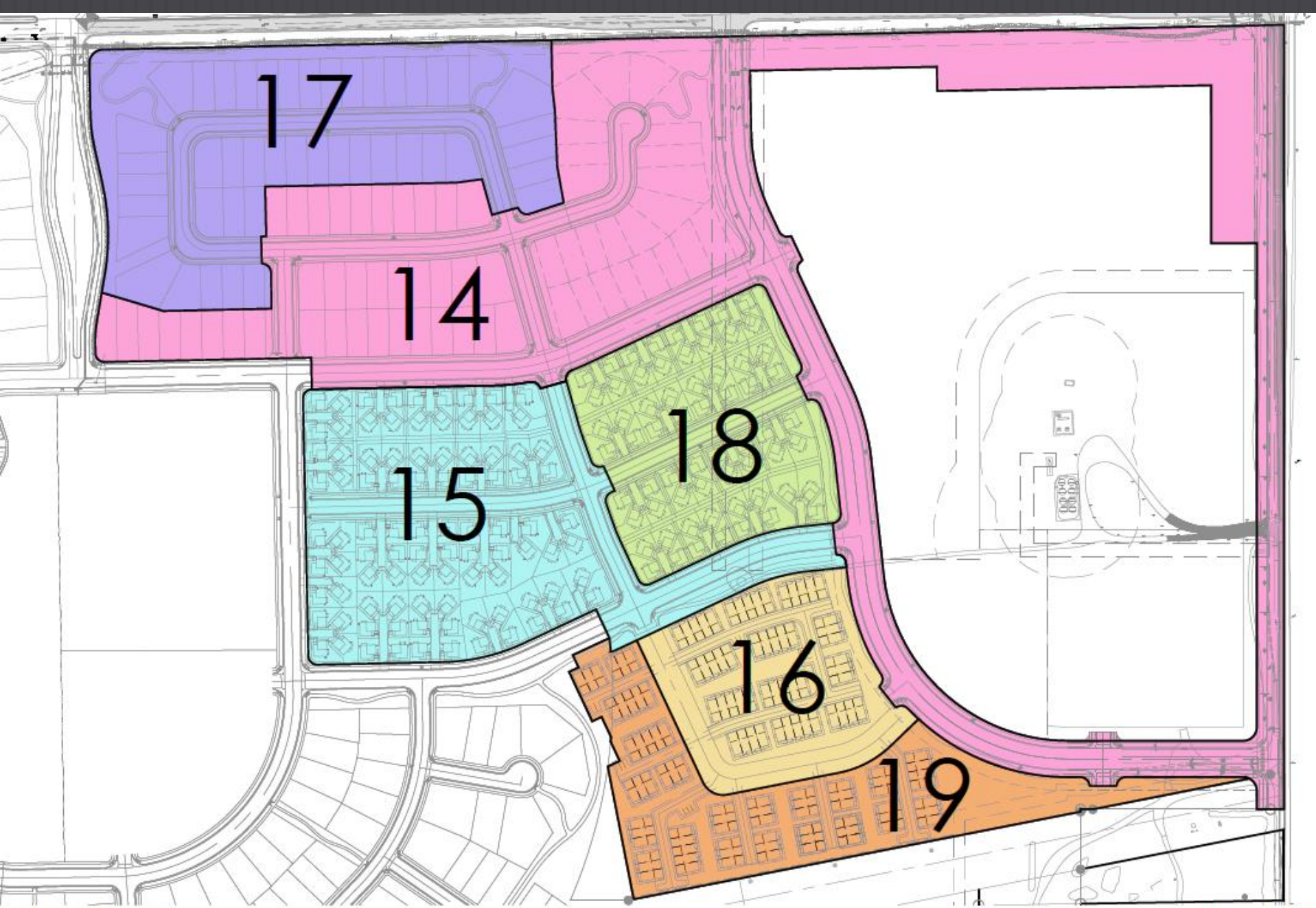
FUTURE DEVELOPMENT

CENTER 1/4 CORNER
SECTION 20 T.1N., R.6W.,
6TH P.M. RECORDED NO. 8

EAST 1/4 CORNER SECTION 20
T.1N., R.6W., 6TH P.M.
RECORDED NO. 8 REAR WITH
2-1/2" ALUMINUM CAP
TIES 2825" IN A MONUMENT BOX

TRACT D
ERIE HIGHLANDS
PRELIMINARY PLAT





Highlands
 Planning Area 8-10 Phasing Exhibit

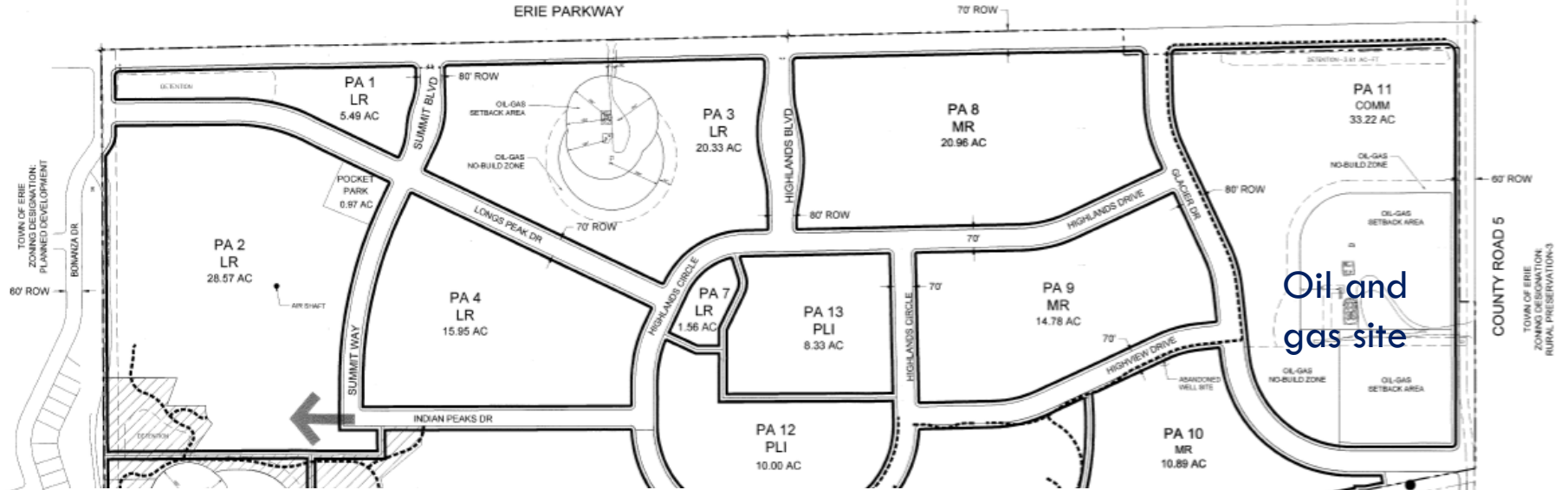
ERIE HIGHLANDS PUD ZONING MAP AMENDMENT NO. 1

A PORTION OF THE NORTH HALF OF SECTION 20,
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
305.126 ACRES
PUDA-000698-2015

PARKS & OPEN SPACE		
PARK AREA	ACRES REQUIRED	ACRES TO BE PROVIDED
COMMUNITY PARK	13.64	FEE IN LIEU
NEIGHBORHOOD PARK	8.19	8.33
POCKET PARK	1.36	1.97
OPEN SPACE (PUBLIC)	46.39	33.39 + FEE IN LIEU

DEVELOPMENT SUMMARY		
LAND USE	ACRES	% ACRES
Residential	174.99	57.3%
Commercial	33.22	10.9%
School	19.02	6.2%
Parks & Open Space	53.22	17.4%
Right-of-Way	33.58	11.0%
TOTAL	305.13	

TOWN OF ERIE
ZONING DESIGNATION: LOW
DENSITY RESIDENTIAL



DEVELOPMENT STANDARDS

PLANNING AREA	ZONE DISTRICT	MIN LOT WIDTH	MIN LOT NET AREA (SF)	FRONT SETBACK	FRONT SETBACK (PORCH)	STREET SETBACK	INTERIOR LOT LINE SETBACK	REAR SETBACK	MAX. HEIGHT
PA-1	LR	60(4)	6,000	16 (2)	10	10 (1)(4)	5 (1)	20 (3)	35'
PA-2	LR	45 (4)	4,500	16 (2)	10	10 (1)(4)	5 (1)	20 (3)	35'
PA-3	LR	60 (4)	6,000	16 (2)	10	10 (1)(4)	5 (1)	20 (3)	35'
PA-4	LR	50(4)	5,000	16 (2)	10	10 (1)(4)	5 (1)	20 (3)	35'
PA-5	LR	60 (4)	6,000	16 (2)	10	10 (1)(4)	5 (1)	20 (3)	35'
PA-6	LR	45 (4)	4,500	16 (2)	10	10 (1)(4)	5 (1)	20 (3)	35'
PA-7	LR	45	4,500	15	N/A	N/A	5 (1)	5	35'
PA-8	MR	45 (4)	4,500	16 (2)	10	10 (1)(4)	5 (1)	20 (3)	35'
PA-9	MR	40 (4)	2,800	16 (2)	10	10 (1)(4)	5 (1)	10	35'

ACKS

--- OIL & GAS- NO-BUILD ZONE



Scale: 1"=200'

0 100 200 400

Oil and gas site

WELD COUNTY ZONING DESIGNATION AG-A

COUNTY ROAD 5
TOWN OF ERIE
ZONING DESIGNATION
RURAL PRESERVATION-3

TOWN OF ERIE
ZONING DESIGNATION
PLANNED DEVELOPMENT

60' ROW

BOMARZA DR

ERIE PARKWAY

70' ROW

SUMMIT BLVD

SUMMIT WAY

INDIAN PEAKS DR

LONGS PEAK DR

HIGHLANDS CIRCLE

HIGHLANDS CIRCLE

HIGHLANDS CIRCLE

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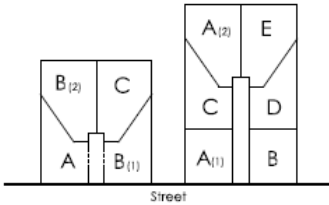
HIGHLANDS CIRCLE

HIGHLANDS CIRCLE

HIGHLANDS CIRCLE

1. Architectural Variety

- A. Street Fronting Lots
 - I. No identical model plan elevation shall be repeated directly across any street from the same model plan and elevation.
 - II. No identical model plan elevation shall be repeated more than once within every 4 lots on the same side of any street.
 - III. A minimum of 3 alternative elevations for each model plan shall be submitted to the Town for review.
- B. Within the Motorcourts
 - I. No more than two (2) of the same model are permitted within a motorcourt.
 - II. If two (2) of the same model do exist within the same motorcourt, they shall be of different elevations.



MOTORCOURT VARIETY EXHIBIT

Scale: NTS

2. Architectural Character - Each model plan and elevation shall demonstrate the following design attributes

- A. Models on Street Side Lots
 - I. Each Front, Street Side, and Street Rear Elevation shall include a minimum of two windows (or one window and one door) per floor. Acceptable minimum window size shall be a single window 4 sq ft minimum or a group of windows within the same room totaling 4 sq ft. Windows on the Front and Street Side Elevations shall have windows laid out in a pattern that reflects rhythm, balance, symmetry, and intentional design.
 - II. Each Street Side Elevation shall include a covered wrap around porch.
 - III. Each Interior Rear and Interior Side Elevation shall include a minimum of 20 sf of window area which may include windows within doors.
 - IV. Each Front Elevation shall include more than one wall plane.
 - V. The main roof shall extend beyond the primary façade by a minimum of one foot.
- B. Models on Middle Lots
 - I. Each Front and Street Rear Elevation shall include a minimum of two windows (or one window and one door) per floor. Acceptable minimum window size shall be a single window 4 sq ft minimum or a group of windows within the same room totaling 4 sq ft.
 - II. Each Interior Rear and Interior Side Elevation shall include a minimum of 20 sf of window area which may include doors.
 - III. Each Front Elevation shall include more than one wall plane.
 - IV. The main roof shall extend beyond the primary façade by a minimum of one foot.
- C. Models on Rear of Cul De Sac Lots
 - I. Each Front and Rear Elevation shall include a minimum of two windows (or one window and one door) per floor. Acceptable minimum window size shall be a single window 4 sq ft or a group of windows within the same room totaling 4 sq ft.
 - II. Interior Side Elevations shall include a minimum of 20 sf of window area which may include doors.
 - III. Each Front Elevation shall include more than one wall plane.
 - IV. Windows are required in the garage door.
 - V. The main roof shall extend beyond the primary façade by a minimum of one foot.

- D. Enhanced Elevation

An elevation of the home that faces a street, park, trail corridor or open space area shall provide an "Enhanced Elevation." An "Enhanced Elevation" shall provide three or more of the following design enhancements listed below in addition to those elements required above. Application of the design enhancement shall be applied in a manner that is consistent with the style of the home. Side and rear elevation design enhancements shall be consistent with the design elements of the front elevation.

 - I. A change in wall plane by providing one or more of the following options:
 - a. An additional wall plane change. Minimum six feet in width and one foot projection.
 - b. A projecting or cantilevered living space.
 - c. A bay or boxed window.
 - d. A porch, patio, or deck that is covered.
 - II. The use of architectural detail elements such as shutters, vents, awnings or gable brackets, exposed rafter tails, corbels, trellis, trellises, columns or pilasters, decorative variations in the style of the same material, etc. which in combination, create an enhanced architectural style.
 - III. The use of two or more exterior cladding materials that can include materials such as masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, or other material. The second material shall cover a minimum of 15% of the façade.

- E. Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. (No exposed 4"x6" posts shall be allowed more than 36 inches above the ground). Columns supporting upper story decks should be 8"x8" minimum finished.

- F. Materials
 - I. All exterior materials shall be of high quality, used in applications and treated appropriately to provide an attractive and long lasting appearance.
 - II. Masonry cladding shall be used only in locations where its mass is logical and appropriate. In instances where masonry wraps the exterior corner of the home the masonry should continue to a natural transition point such as an inside corner of a projecting wall, a column, a fence line, a door or window or other logical joint.

ERIE HIGHLANDS PUD ZONING MAP AMENDMENT NO. 2

A PART OF THE NORTHEAST QUARTER OF SECTION 20,
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

305,126 ACRES
PUDA-000934-2017

3. Motorcourt Design

- A. The motorcourt, which includes the driveway on the shared tract and the private garage aprons on private lots, shall be colored pavers installed in a decorative pattern.

4. Orientation of Dwellings

- A. Each residential lot shall be provided with lot frontage on the motorcourt which provides access to a public street.
- B. Dwellings in middle and rear of cul-de-sac lots shall be oriented towards the motorcourt with both the primary pedestrian door and garage facing the motorcourt.
- C. Dwellings on street side lots shall have the primary pedestrian door facing the street and the garage door shall face the motorcourt.

5. Garages

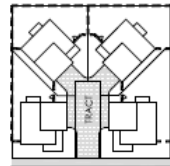
- A. Regulations for garages shall be applied to non-living space and/or storage areas within garages whether used for storage of automobiles or other items.
- B. All garages will face the motorcourt.
- C. The width of a garage shall not exceed 67% of the width of the front elevation.

6. Front Porches

- A. A front porch that is a minimum of 50 square feet and five feet in depth inclusive of the front stoop is required on all models not adjacent to the street.
- B. Street Side models shall include a wrap-around porch that extends a minimum of 12 feet wide on the side with a minimum depth of five feet. The porch shall be a minimum of 100 square feet inclusive of the front stoop.

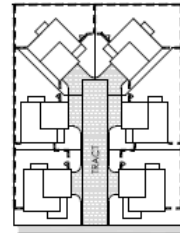
7. Fencing

- A. Fences must be located as shown in the exhibits below.
- B. Fences adjacent to open spaces, trails, and tracts will be open fence style.



4 PACK FENCING EXHIBIT

Scale: NTS

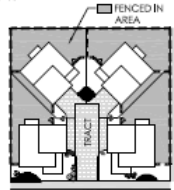


6 PACK FENCING EXHIBIT

Scale: NTS

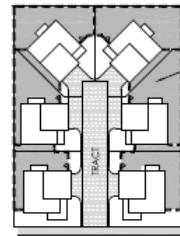
8. Rear and Side Yard Landscaping

- A. 50% of the combined side and rear yards, identified as the fenced in area below, shall be either landscaped with live plant material or paving material which creates patio. The other 50% of the area shall be landscaped in a way that covers bare dirt with rock, mulch or other material suitable to prevent erosion, suppress weeds, and provide an attractive and long lasting appearance.



4 PACK REAR YARD EXHIBIT

Scale: NTS

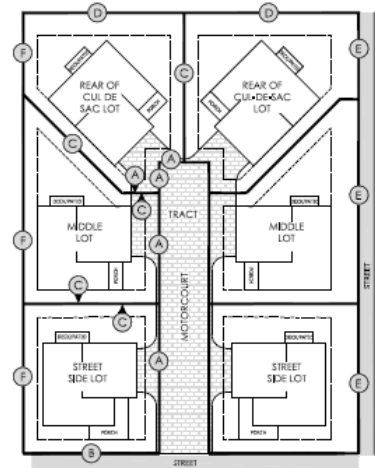


6 PACK REAR YARD EXHIBIT

Scale: NTS

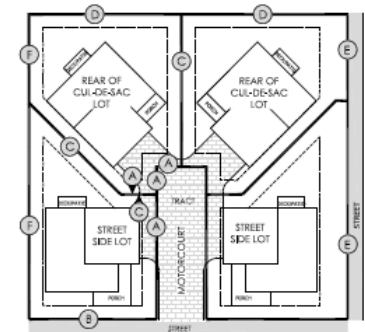
DEVELOPMENT STANDARDS - PA9									
ZONE DISTRICT	MIN LOT WIDTH	MIN LOT/NET AREA (±F)	A) FRONT SETBACK	(B) (1) STREET SIDE SETBACK	(K) INTERIOR SIDE SETBACK	(D) R/R SETBACK	(E) S/REET BEAR SETBACK	(F) INTERIOR REAR SETBACK	MAX. HEIGHT
MBF	45'	2,500	5'	5'	5'	8'	10'	5'	8'

(1) Drains are allowed to encroach into the street side setback.
(2) Necessary Sit Actions are not permitted.



6 PACK DEFINITIONS KEY

Scale: NTS



4 PACK DEFINITIONS KEY

Scale: NTS



PROJECT NAME

ERIE HIGHLANDS PUD ZONING MAP AMENDMENT NO. 2 TOWN OF ERIE, COLORADO

SHEET TITLE

PUD NOTES/EXHIBITS

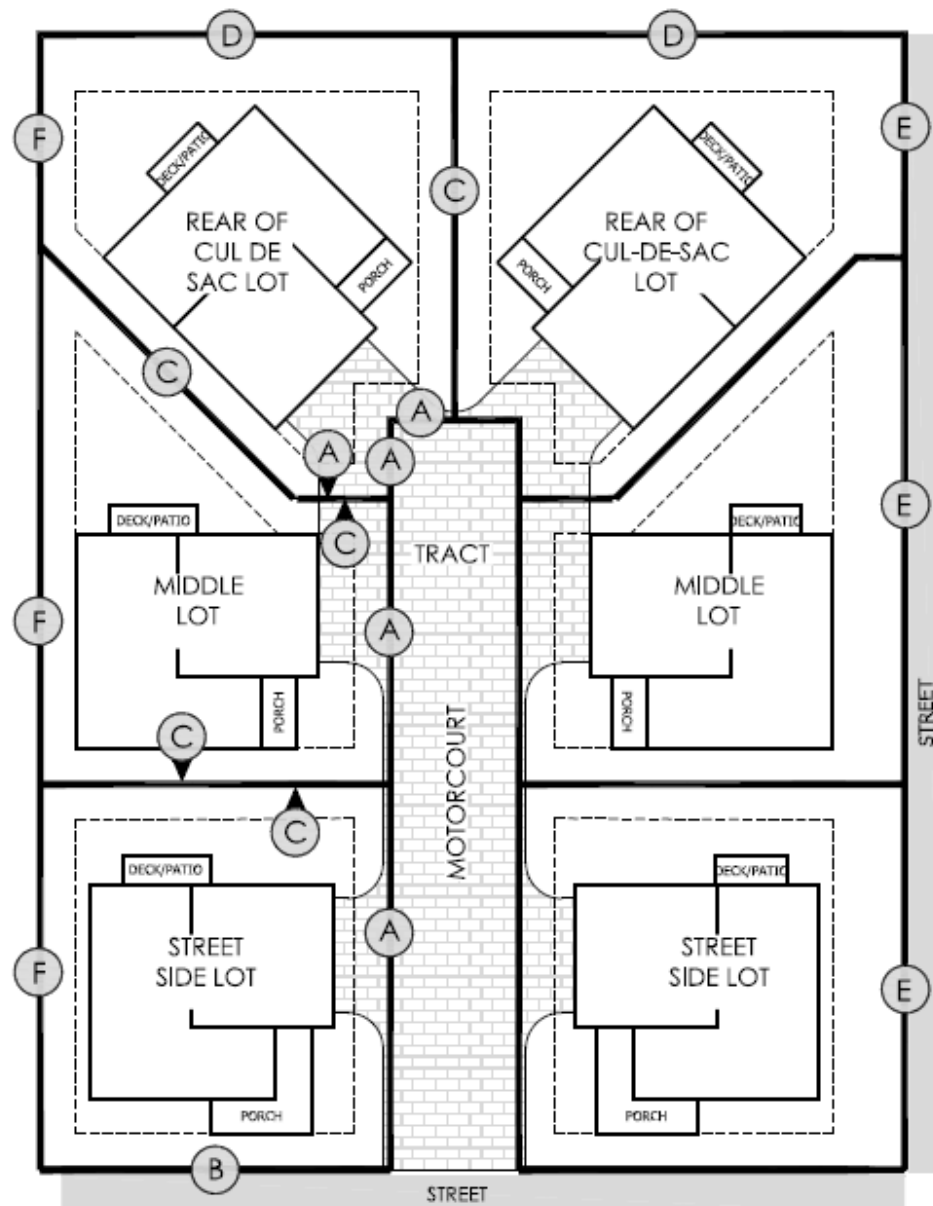
SHEET NUMBER

4

SHEET 4 OF 4

October 15, 2018

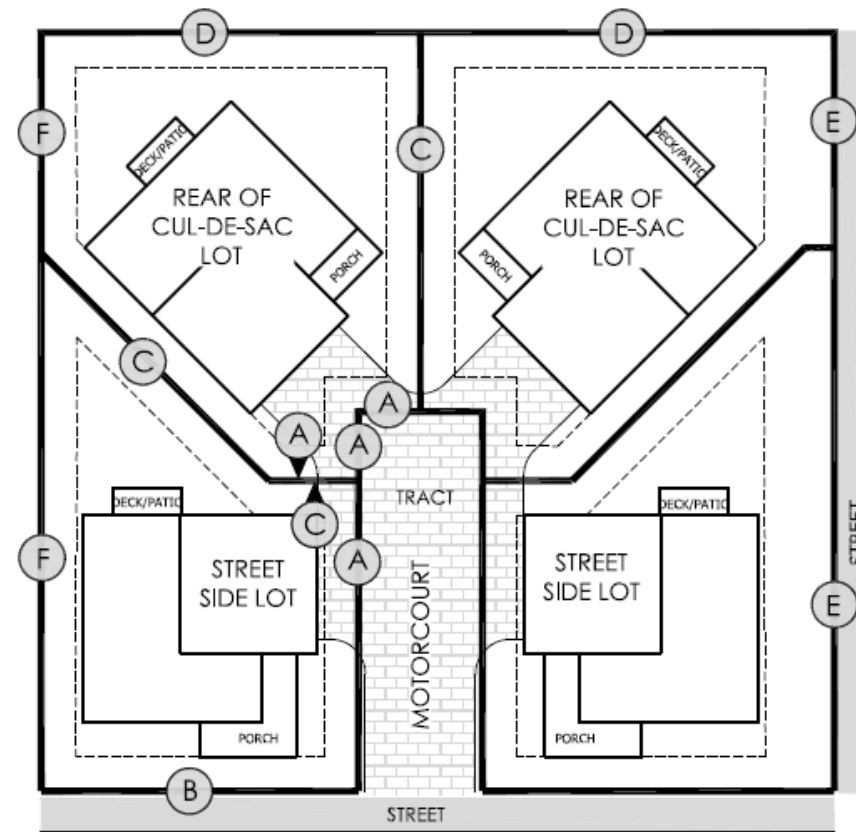
Development Pattern



4. Orientation of Dwellings



- A. Each residential lot shall be provided with lot frontage on the motorcourt which provides access to a public street.
- B. Dwellings in middle and rear of cul-de-sac lots shall be oriented towards the motorcourt with both the primary pedestrian door and garage facing the motorcourt.
- C. Dwellings on street side lots shall have the primary pedestrian door facing the street and the garage door shall face the motorcourt.

Development Standards



LOT LINES

- (A) FRONT
- (B) STREET SIDE
- (C) INTERIOR SIDE
- (D) REAR
- (E) STREET REAR
- (F) INTERIOR REAR

-  LOT LINE
-  SETBACK BOUNDARY

DEVELOPMENT STANDARDS - PA9

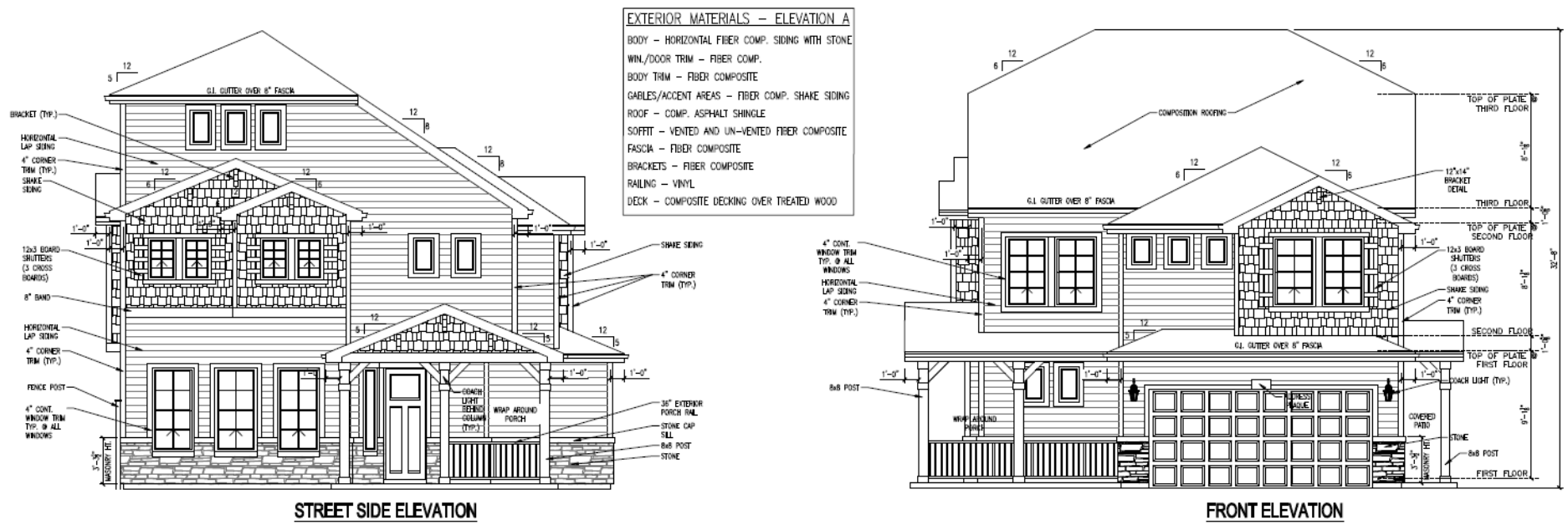
ZONE DISTRICT	MIN LOT WIDTH	MIN LOT NET AREA (SF)	(A) FRONT SETBACK	(B) ¹ STREET SIDE SETBACK	(C) INTERIOR SIDE SETBACK	(D) REAR SETBACK	(E) STREET REAR SETBACK	(F) INTERIOR REAR SETBACK	MAX. HEIGHT
MR	45'	2,500	5'	5'	5'	8'	10'	5'	35'

1) Stairs are allowed to encroach into the street side setback.

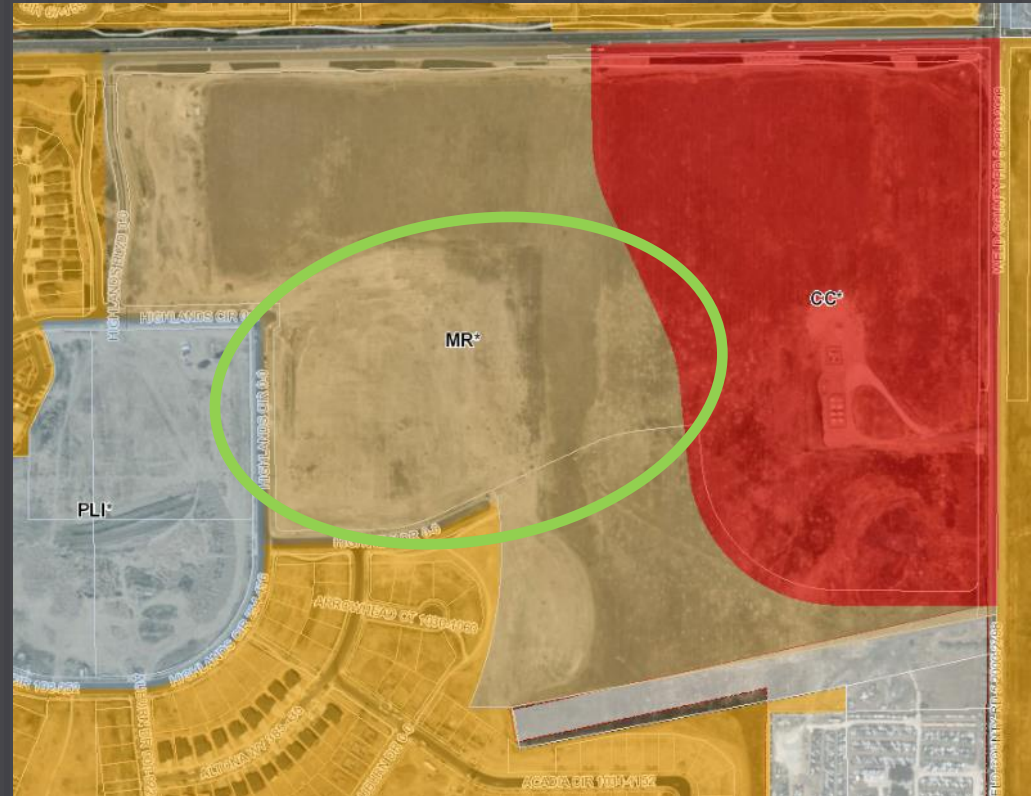
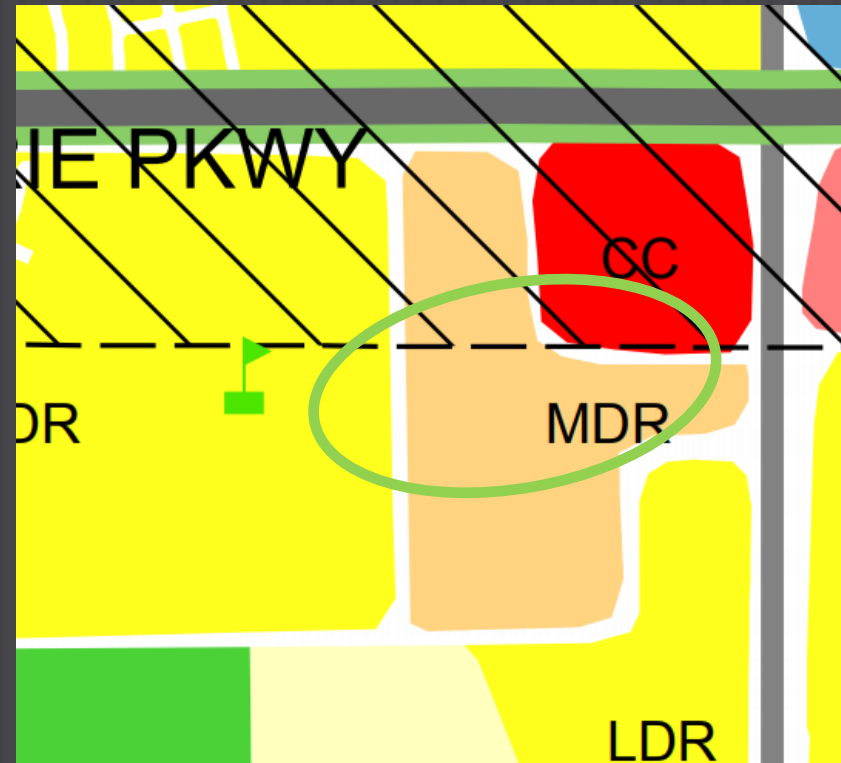
2) Accessory Structures are not permitted.

Development Character

1. Architectural Variety
2. Architectural Character
 - Defined for different types of lots
 - Enhanced Elevations
3. Motorcourt Design
5. Garages
6. Front Porches
7. Fencing
8. Rear and Side Yard Landscaping



Comprehensive Plan and Zoning



PUD Zoning: Approval Criteria

- a. The PUD Rezoning is consistent with the Purpose of the PUD Overlay District in Section 2.7.D.1;
- b. The PUD Rezoning will promote the public health, safety, and general welfare;
- c. The PUD Rezoning is consistent with the Town's Comprehensive Master Plan and the purposes of this UDC;
- d. The PUD Rezoning is generally consistent with the PUD standards in Subsection 2.7.D.2;
- e. Adequate facilities and services (including roads and transportation, water, gas, electric, police and fire protection, and sewage and waste disposal, as applicable) will be available to serve the subject property while maintaining adequate levels of service to existing development;
- f. The PUD Rezoning is not likely to result in significant adverse impacts upon the natural environment, including air, water, noise, storm water management, wildlife, and vegetation, or such impacts will be substantially mitigated;

PUD Zoning: Approval Criteria

- g. The PUD Rezoning is not likely to result in significant adverse impacts to significant scenic and historic features as identified in plans adopted by the Town;
- h. The PUD Rezoning is not likely to result in significant adverse impacts upon other property in the vicinity of the subject property;
- i. Proposed uses on the subject property will be compatible in scale with uses on other properties in the vicinity of the subject property;
- j. The proposed phasing of the development is appropriate and the development can be substantially completed within the time period specified in the schedule of the development or Development Agreement submitted by the applicant; and
- k. The PUD Plan provides public benefit(s).

Preliminary Plat: Approval Criteria

- a. The subdivision is generally consistent with the Town's Comprehensive Master Plan.
- b. The subdivision is generally consistent with and implements the intent of the specific zoning district in which it is located.
- c. The general layout of lots, streets, driveways, utilities, drainage facilities, and other services within the proposed subdivision is designed to meet the Town's standards related to health and safety and in a way that minimizes the amount of land disturbance, maximizes the amount of open space in the development, preserves existing trees/vegetation and riparian areas, protects critical wildlife habitat, and otherwise accomplishes the purposes and intent of this UDC.
- d. The subdivision complies with all applicable use, development, and design standards set forth in Chapters 3, 5 and 6 of this UDC that have not otherwise been modified or waived pursuant to this Chapter or this UDC. Applicants shall refer to the Development Standards in Chapter 5 of this UDC and shall consider them in the layout of the subdivision in order to avoid creating lots or patterns of lots in the subdivision that will make compliance with such development and design standards difficult or infeasible.
- e. The subdivision complies with all applicable regulations, standards, requirements, or plans of the Federal or State governments and other relevant jurisdictions, including but not limited to wetlands, water quality, erosion control, and wastewater regulations.

Preliminary Plat: Approval Criteria

- f. The subdivision will not result in significant adverse impacts on the natural environment, including air, water, noise, storm water management, wildlife, and vegetation, or such impacts will be substantially mitigated.
- g. The subdivision shall be integrated and connected, where appropriate, with adjacent development through street connections, sidewalks, trails, and similar features.
- h. The subdivision will not result in significant adverse impacts on adjacent properties, or such impacts will be substantially mitigated.
- i. Adequate and sufficient public safety, transportation, utility facilities and services, recreation facilities, parks, and schools are available to serve the subject property, while maintaining sufficient levels of service to existing development.
- j. As applicable, the proposed phasing plan for development of the subdivision is rational in terms of available infrastructure capacity.

Planning Commission – December 5, 2018

Recommended Approval at the public hearing.

Staff recommends that the Board of Trustees approve the application, including the following condition:

1. Technical corrections to the Erie Highlands PUD Zoning Map Amendment No. 2 shall be made to the Town's satisfaction.

Staff recommends that the Board of Trustees approve the application, with the following conditions:

The proposed Erie Highlands Planned Unit Development Amendment No. 2 must be approved and shall be followed in the development of the Property;

At the time of final plat, Applicant shall executed a detailed Development Agreement;

Approval of a final plat is contingent upon the Town accepting Final Landscape and Irrigation Plans, all outstanding comments from Town Parks and Recreation shall be addressed at the time of final plat application.

Approval of a final plat is contingent upon the Town accepting Final Construction Documents, all outstanding comments from Town Engineering shall be addressed at the time of final plat application.

Easements and any associated agreement related to the shared use of and access to private property shall be shown the final plat and finalized prior to recordation of a final plat.