



TOWN OF ERIE

Community Development Department – Planning Division
645 Holbrook Street – PO Box 750 – Erie, CO 80516
Tel: 303.926.2770 – Fax: 303.926.2706 – Web: www.erieco.gov

LAND USE APPLICATION

Please fill in this form completely. Incomplete applications will not be processed.

STAFF USE ONLY

FILE NAME:

FILE NO:

DATE SUBMITTED:

FEES PAID:

PROJECT/BUSINESS NAME: Flatiron Meadows - Preliminary Plat Revision No. 2

PROJECT ADDRESS: Erie Parkway and N. 111th Street

PROJECT DESCRIPTION: 79 Single-family lots

LEGAL DESCRIPTION (attach legal description if Metes & Bounds)

Subdivision Name: Flatiron Meadows - Preliminary Plat Revision No. 2

Filing #: Future Lot #: Block #: Section: 23 Township: 1 North Range: 68 West

OWNER (attach separate sheets if multiple)

Name/Company: HT Flatiron LP
Contact Person: Dave Klebba
Address: 1515 Wynkoop Street, Suite 800
City/State/Zip: Denver, CO 80202
Phone: 720-932-0522 Fax: 303-573-8808
E-mail: dave.klebba@hines.com

AUTHORIZED REPRESENTATIVE

Company/Firm: Calibre Engineering, Inc.
Contact Person: Brian Moss
Address: 9090 South Ridgeline Boulevard, Suite 105
City/State/Zip: Highlands Ranch, CO 80129
Phone: 303.730.0434 Fax: 303.730.1139
E-mail: bkm@calibre.us.com

MINERAL RIGHTS OWNER (attach separate sheets if multiple)

Name/Company:
Address:
City/State/Zip:

MINERAL LEASE HOLDER (attach separate sheets if multiple)

Name/Company:
Address:
City/State/Zip:

LAND-USE & SUMMARY INFORMATION

Present Zoning: SR3 & SR4
Proposed Zoning: SR3 & SR4
Gross Acreage: 59.53 acres

Gross Site Density (du/ac): 1.6 du/ac
Lots/Units Proposed: 79
Gross Floor Area:

SERVICE PROVIDERS

Electric: Xcel Energy
Metro District: Flatiron Meadows Metro District
Water (if other than Town): Town of Erie

Gas: Xcel Energy
Fire District: Mountain View Fire Protection District
Sewer (if other than Town): Town of Erie

PAGE TWO MUST BE SIGNED AND NOTARIZED

DEVELOPMENT REVIEW FEES

ANNEXATION		SUBDIVISION	
<input type="checkbox"/> Major (10+ acres)	\$ 4000.00	<input type="checkbox"/> Sketch Plan	\$ 1000.00 + 10.00 per lot
<input type="checkbox"/> Minor (less than 10 acres)	\$ 2000.00	<input checked="" type="checkbox"/> Preliminary Plat	\$ 2000.00 + 40.00 per lot
<input type="checkbox"/> Deannexation	\$ 1000.00	<input type="checkbox"/> Final Plat	\$ 2000.00 + 20.00 per lot
COMPREHENSIVE PLAN AMENDMENT		<input type="checkbox"/> Minor Subdivision Plat	\$ 2000.00
<input type="checkbox"/> Major	\$ 3000.00	<input type="checkbox"/> Minor Amendment Plat	\$ 1000.00 + 10.00 per lot
<input type="checkbox"/> Minor	\$ 1200.00	<input type="checkbox"/> Road Vacation (constructed)	\$ 1000.00
ZONING/REZONING		<input type="checkbox"/> Road Vacation (paper)	\$ 100.00
<input type="checkbox"/> Rezoning	\$ 1700.00 + 10.00 per acre	SITE PLAN	
<input type="checkbox"/> PUD Rezoning	\$ 1700.00 + 10.00 per acre	<input type="checkbox"/> Residential	\$ 1400.00 + 10.00 per unit
<input type="checkbox"/> PUD Amendment	\$ 1700.00 + 10.00 per acre	<input type="checkbox"/> Non-Resi. (>10,000 sq. ft.)	\$ 2200.00
<input type="checkbox"/> Major PD Amendment	\$ 3700.00 + 10.00 per acre	<input type="checkbox"/> Non-Resi. (>2,000 sq. ft.)	\$ 1000.00
<input type="checkbox"/> Minor PD Amendment	\$ 500.00	<input type="checkbox"/> Non-Resi. (<2,000 sq. ft.)	\$ 200.00
SPECIAL REVIEW USE		<input type="checkbox"/> Amendment (major)	\$ 1100.00
<input type="checkbox"/> Major	\$ 1000.00	<input type="checkbox"/> Amendment (minor)	\$ 350.00
<input type="checkbox"/> Minor	\$ 400.00	VARIANCE	
<input type="checkbox"/> Oil & Gas	\$ 1200.00	SERVICE PLAN	
			\$ 10,000.00

\$5160

All fees include both Town of Erie Planning & Engineering review. These fees do not include referral agency review fees, outside consultant review fees, or review fees incurred by consultants acting on behalf of staff. See Town of Erie Municipal Code, Title 2-10-5 for all COMMUNITY DEVELOPMENT FEES.

The undersigned is fully aware of the request/proposal being made and the actions being initiated on the referenced property. The undersigned understand that the application must be found to be complete by the Town of Erie before the request can officially be accepted and the development review process initiated. The undersigned is aware that the applicant is fully responsible for all reasonable costs associated with the review of the application/request being made to the Town of Erie. Pursuant to Chapter 7 (Section 7.2.B.5) of the Unified Development Code (UDC) of the Town of Erie, applicants shall pay all costs billed by the Town for legal, engineering and planning costs incurred by staff, including consultants acting on behalf of staff, necessary for project review. By this acknowledgement, the undersigned hereby certify that the above information is true and correct.

Owner: _____ Date: _____
 Owner: _____ Date: _____
 Applicant: _____ Date: _____

STATE OF COLORADO)
) ss.
 County of _____)

The foregoing instrument was acknowledged before
 me this _____ day of _____, 20____,
 by _____.

My commission expires: _____
 Witness my hand and official seal.

 Notary Public

FLATIRON MEADOWS PLANNING AREA C
PRELIMINARY PLAT SUBMITTAL
TOWN OF ERIE, COLORADO

PROJECT NARRATIVE

APPLICANT/CLIENT:

HT FLATIRON LP
1515 WYNKOOP STREET, SUITE 800
DENVER, CO 80202
(720) 932-0522
CONTACT: DAVE KLEBBA

CONSULTANTS:

LAND PLANNER/CIVIL ENGINEER
CALIBRE ENGINEERING, INC.
9090 SOUTH RIDGELINE BLVD., SUITE 105
HIGHLANDS RANCH, CO 80129
PHONE: 303.730.0434
CONTACT: TODD A. JOHNSON

LANDSCAPE ARCHITECT
ROOT PARTNERSHIP
PHONE: 303.547.5077
CONTACT: MIKE LEUTENEKER

FLATIRON MEADOWS PLANNING AREA C

PRELIMINARY PLAT SUBMITTAL

TOWN OF ERIE, COLORADO

PRELIMINARY PLAT OVERVIEW

The Flatiron Meadows Preliminary Plat application provides detail for a portion of the development that has been reconfigured in order to provide an alternative housing option that was not previously offered. The entire development is located within the Town of Erie, Colorado. The development site is north of Arapahoe Ridge Subdivision, South of Erie Parkway and between existing North 111th Street to the west and Orchard Glen Subdivision to the east. The site is zoned Suburban Residential with an approved PUD Overlay provided as an exhibit with this submittal for reference. The intent of the Preliminary Plat is to provide preliminary grading, utility and roadway plans for improvements associated with this phase of development. The Development Agreement will work in tandem with the Final Plat and define improvements associated with the phase.

Traditional community design principles will create a vibrant neighborhood while maintaining Erie's character. The overall development generally orientates residential lots towards neighborhood parks and open space areas to encourage interaction between community residents. The area being revised is in close proximity of a planned neighborhood park and trail connections will be brought to the site. Tree lined streets, pocket parks, and trail corridors form a network of open space provide an overall framework for the development as well as a valuable recreation amenity. The property is two miles from Erie's Central Business District (CBD), and will provide support to local commercial interests.

FLATIRON MEADOWS PLANNING AREA C

PRELIMINARY PLAT SUBMITTAL

TOWN OF ERIE, COLORADO

BASIC OBJECTIVES AND CONCEPTS

The overall development of Flatiron Meadows is intended to be a complete neighborhood, with a well-connected network of public streets, diverse housing, a generous open space system, neighborhood park, fire station, and public school. The residential diversity will provide quality housing for a broad range of incomes and lifestyles. Architecture will meet and exceed standards established in the area, and will complement existing neighborhoods. The urban design principles reflected in Flatiron Meadows are consistent with Erie's Comprehensive Plan. The following principles were incorporated in the site design with this specific area adding to the development by providing diversification to the housing:

- Diverse product and architectural variation creating an extensive range of products for various lifestyles and budgets. The Proposed development will conform to the architectural variation guidelines as set forth in Section 6.7 Residential Building of the UDC.
- A balanced approach to development with an emphasis on preserving and enhancing the open space amenities with the use of buffers, product orientation, neighborhood trails and active/passive parks.
- Community wide pedestrian connectivity via regional and neighborhood trails to adjacent neighborhoods.
- Provides efficient infrastructure with convenient access to an on-site fire station and school.
- Close proximately to the Town of Erie CBD and commercial areas proposed along County Line Road and Erie Parkway.

FLATIRON MEADOWS PLANNING AREA C

PRELIMINARY PLAT SUBMITTAL

TOWN OF ERIE, COLORADO

DEVELOPMENT SUMMARY

The Flatiron Meadows Preliminary Plat includes the seventy-nine single-family lots south of Erie Parkway and east of North 111th Street. The mix of land uses within this Plat area consists of the following elements.

Residential Lots – 21.10 acres (79 Lots)

Open Space – 31.94 acres (Tracts A, B, C, D, E, and F)

- These designated areas as shown on the Preliminary Plat include a landscape buffer along North 111th Street. Tracts adjacent to the Leyner Cottonwood Ditch and the drainage corridor will include minimal landscape improvements to maintain the native vegetation and minimize the water usage. Landscape Plans define the open space improvements for this phase of the development. Detailed landscape construction documents will be provided in conjunction with each phased plat submittal to address irrigation, construction detailing, landscape grading and associated details.

Local Streets and Right-of-Way – 6.49 acres

- All streets will be designed to the Town of Erie standards and all ROW areas will be dedicated for public use.

Rural Arterial and Right-of-Way – 7.36 acres

- All streets will be designed to the Town of Erie standards and all ROW areas will be dedicated for public use. North 111th will be a rural arterial from Erie Parkway to Flatiron Meadows Boulevard.

FLATIRON MEADOWS PLANNING AREA C

PRELIMINARY PLAT SUBMITTAL

TOWN OF ERIE, COLORADO

Water Distribution

- The proposed Flatiron Meadows development is planned to be served by the Town of Erie Water Distribution System. The proposed water system complies with the Town of Erie Water Master Plan 2013. This phase will tie into the existing system in several locations to provide a water loop for this phase.

Sanitary Sewer System

- The proposed Flatiron Meadows development is planned to be served by the Town of Erie sanitary sewer system. The sanitary sewer system implements a portion of the Town of Erie Wastewater Utility Master Plan 2013. The proposed sanitary sewer outfall system ties into the Town of Erie's existing system in one location.

Utility Sources

- The proposed Flatiron Meadows development is proposing the following utility sources:
 - Electric – Xcel Energy
 - Gas – Xcel Energy
 - Telephone – Century Link
 - Cable TV – Comcast

Fire Protection

- The proposed Flatiron Meadows development is located within the Mountain View Fire Protection District (MVFPD). The community infrastructure follows the design criteria required by the MVFPD.

NORTH AMERICAN TITLE COMPANY OF COLORADO
101 University Blvd., Suite 310, Denver, CO 80206
Phone: (303)316-3400
Fax: (303)322-3696

Linda Hull, Escrow Officer, can be reached at: 303-316-3400
Cassandra Millers, Customer Service Rep, can be reached at: 303-316-3400
E-Mail Address for Loan Documents: cherrycreek@nat.com
The following changes have been made: correct number in schedule B2

OUR FILE NO.: 35100-15-07201 REVISION NO.: 9
PROPERTY ADDRESS: Vacant Land, Erie, CO

DISTRIBUTION: VIA EMAIL TO ALL PARTIES REFERENCED BELOW.

In the event we have not been provided with a valid email address at the time of distribution, an alternative method of distribution may be used.

BUYER/BORROWER

Company Name: HT Flatiron LP , a Delaware limited partnership
Street Address: 811 Main Street, Suite 4100
City, State, Zip: Houston, TX 77002
Attn: Mark Cover

LENDER

Company Name: Lennar Colorado, LLC
Street Address:
City, State, Zip:
Attn:

LISTING AGENT/BROKER

Company Name: DTZ
Street Address: 1515 Arapahoe Street, Suite 1200
City, State, Zip: Denver, CO 80202
Attn:

SELLER

Company Name: Bayou Development Corp., a Colorado corporation
Street Address: 812 Gravier Street, Suite 360
City, State, Zip: New Orleans, LA 70112
Attn: H. Hunter White, III

ATTORNEY

Company Name: RJB Lawyer, LLC
Street Address: 1543 Champa St., #400
City, State, Zip: Denver, CO 80202
Attn: Shannon Neary

ATTORNEY

Company Name: Fox Rothschild, LLP
Street Address: 1225 17th St. #2200
City, State, Zip: Denver, CO 80202
Attn: Dana Moore

ATTORNEY

Company Name: Shaun B. Rafferty Law Office LLC
Street Address: 812 Gravier Street, Suite 360
City, State, Zip: New Orleans, LA 70112
Attn:



COMMITMENT FOR TITLE INSURANCE

North American Title Insurance Company, a California corporation ("Company"), for a valuable consideration, commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the Proposed Insured named in Schedule A, as owner or mortgagee of the estate or interest in the land described or referred to in Schedule A, upon payment of the premiums and charges and compliance with the Requirements; all subject to the provisions of Schedules A and B and to the Conditions of this Commitment.

This Commitment shall be effective only when the identity of the Proposed Insured and the amount of the policy or policies committed for have been inserted in Schedule A by the Company.

All liability and obligation under this Commitment shall cease and terminate 180 days after the Effective Date or when the policy or policies committed for shall issue, whichever first occurs, provided that the failure to issue the policy or policies is not the fault of the Company.

The Company will provide a sample of the policy form upon request.

IN WITNESS WHEREOF, the Company has caused its corporate name and seal to be affixed by its duly authorized officers on the date shown in Schedule A.

NORTH AMERICAN TITLE INSURANCE COMPANY

BY 
Emilio Fernandez, **PRESIDENT**

ATTEST 
Jefferson E. Howeth, **SECRETARY**



COMMITMENT FOR TITLE INSURANCE CONDITIONS

1. The term mortgage, when used herein, shall include deed of trust, trust deed, or other security instrument.
2. If the Proposed Insured has or acquired actual knowledge of any defect, lien, encumbrance, adverse claim or other matter affecting the estate or interest or mortgage thereon covered by this Commitment other than those shown in Schedule B hereof, and shall fail to disclose such knowledge to the Company in writing, the Company shall be relieved from liability for any loss or damage resulting from any act of reliance hereon to the extent the Company is prejudiced by failure to so disclose such knowledge. If the proposed Insured shall disclose such knowledge to the Company, or if the Company otherwise acquires actual knowledge of any such defect, lien, encumbrance, adverse claim or other matter, the Company at its option may amend Schedule B of this Commitment accordingly, but such amendment shall not relieve the Company from liability previously incurred pursuant to paragraph 3 of these Conditions.
3. Liability of the Company under this Commitment shall be only to the named proposed Insured and such parties included under the definition of Insured in the form of policy or policies committed for and only for actual loss incurred in reliance hereon in undertaking in good faith (a) to comply with the requirements hereof, or (b) to eliminate exceptions shown in Schedule B, or (c) to acquire or create the estate or interest or mortgage thereon covered by this Commitment. In no event shall such liability exceed the amount stated in Schedule A for the policy or policies committed for and such liability is subject to the insuring provisions and Conditions and the Exclusions from Coverage of the form of policy or policies committed for in favor of the proposed Insured which are hereby incorporated by reference and are made a part of this Commitment except as expressly modified herein.
4. This Commitment is a contract to issue one or more title insurance policies and is not an abstract of title or a report of the condition of title. Any action or actions or rights of action that the proposed Insured may have or may bring against the Company arising out of the status of the title to the estate or interest or the status of the mortgage thereon covered by this Commitment must be based on and are subject to the provisions of this Commitment.
5. *The policy to be issued contains an arbitration clause. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. You may review a copy of the arbitration rules at <<http://www.alta.org/>>.*

Issued by:



1855 Gateway Boulevard, Suite 600
Concord, CA 94520

Or call us at:

Western States: 800-869-3434 Eastern States: 800-374-8475
www.natic.com



WIRING INSTRUCTIONS

("35100")

NAME OF BANK: Comerica
BRANCH ADDRESS: 333 W. Santa Clara St.
BANK LOCATION: San Jose, CA 95113
ABA ROUTING NO.: 121137522
CREDIT ACCOUNT OF: North American Title Company of Colorado
ACCOUNT NO.: 1893330108
FOR FURTHER CREDIT TO: 35100-15-07201\HT Flatiron LP , a Delaware limited partnership
Vacant Land, Erie, CO

****PLEASE NOTE: ALL FUNDS ON A CASH TRANSACTION AND ANY FUNDS TO CLOSE IN EXCESS OF \$25,000 MUST BE IN THE FORM OF A WIRE****

WE CANNOT ACCEPT AN 'ACH' TRANSFER – PLEASE MAKE SURE THAT FUNDS ARE SENT VIA 'WIRE TRANSFER'.

101 University Blvd., Suite 310
Denver, CO 80206
Phone (303)316-3400 Fax (303)322-3696



COMMITMENT FOR TITLE INSURANCE

SCHEDULE A

NORTH AMERICAN TITLE INSURANCE COMPANY

- 1. **EFFECTIVE DATE:** October 21, 2015 at 7:30 AM **FILE NO.:** 35100-15-07201
REVISION NO.: 9
- 2. **POLICY (OR POLICIES) TO BE ISSUED:**
 - (A) **ALTA Owners Policy (06/17/06)** **AMOUNT:** \$2,150,000.00
(PARCEL A)

Proposed Insured:

HT Flatiron LP, a Delaware limited partnership

- (B) **ALTA Loan Policy (06/17/06)** **AMOUNT:** \$1,051,500.00
(PARCELS B AND C)

Proposed Insured:

Lennar Colorado, LLC

- (C) **ALTA Loan Policy (06/17/06)** **AMOUNT:** \$1,797,000.00
(PARCELS D AND E)

Proposed Insured:

Lennar Colorado, LLC

- 3. **THE ESTATE OR INTEREST IN THE LAND DESCRIBED OR REFERRED TO IN THIS COMMITMENT AND COVERED HEREIN IS FEE SIMPLE AND TITLE THERETO IS AT THE EFFECTIVE DATE HEREOF VESTED IN:**

[Bayou Development Corp., a Colorado corporation and Shannon Neary and Matthew Deibel](#)

- 4. **THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:**

SEE EXHIBIT A ATTACHED HERETO

FOR INFORMATIONAL PURPOSES:

Vacant Land
Erie, CO

ISSUED BY:

NORTH AMERICAN TITLE COMPANY OF COLORADO
ISSUE DATE: OCTOBER 28, 2015

By: _____

COMMITMENT

FILE NO.: 35100-15-07201
REVISION NO.: 9

Authorized Officer or Agent

EXHIBIT A

PARCEL A:

TRACTS E, F, G and H, FLATIRON MEADOWS FILING NO. 2, TOWN OF ERIE,

COUNTY OF BOULDER,
STATE OF COLORADO.

TRACTS D-1 AND I-1 FLATIRON MEADOWS FILING NO. 4, TOWN OF ERIE,

COUNTY OF BOULDER,
STATE OF COLORADO.

TRACTS B, C, H AND REMAINDER OF TRACT I, FLATIRON MEADOWS SUBDIVISION MASTER PLAT,
TOWN OF ERIE,

COUNTY OF BOULDER,
STATE OF COLORADO.

PARCEL B:

PARCEL DESCRIPTION - PLANNING AREA A

A PARCEL OF LAND BEING ENTIRELY TRACT D-1 OF THE RECORDED PLAT, FLATIRON MEADOWS - FILING NO. 4, RECORDED UNDER RECEPTION NO. 03366220 IN THE OFFICE OF THE CLERK AND RECORDER OF BOULDER COUNTY: SITUATED IN THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN: TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO: BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID TRACT D-1

THENCE, ALONG THE BOUNDARY OF SAID TRACT D-1, THE FOLLOWING TWENTY-FIVE (25) COURSES:

1. NORTH 83°41'44" EAST, A DISTANCE OF 200.73 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 885.00 FEET;
2. EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 04°42'00", AN ARC LENGTH OF 72.60 FEET;
3. NORTH 88°23'44" EAST, A DISTANCE OF 141.77 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 66.00 FEET;
4. SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 91°46'40", AN ARC LENGTH OF 105.72 FEET;
5. SOUTH 00°10'24" WEST, A DISTANCE OF 651.87 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 66.00 FEET;
6. SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 103.67 FEET;
7. NORTH 89°49'36" WEST, A DISTANCE OF 54.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 20.00 FEET;

EXHIBIT A

8. NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 31.42 FEET;
9. NORTH 89°49'36" WEST, A DISTANCE OF 54.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 20.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 89°49'36" WEST;
10. SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 31.42 FEET TO THE BEGINNING OF A COMPOUND CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 20.00 FEET;
11. NORTH 89°49'36" WEST, A DISTANCE OF 189.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 20.00 FEET;
12. NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 31.42 FEET;
13. NORTH 89°49'36" WEST, A DISTANCE OF 54.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 20.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 89°49'36" WEST;
14. SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 31.42 FEET;
15. NORTH 89°49'36" WEST, A DISTANCE OF 185.72 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 20.00 FEET;
16. NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°19'20", AN ARC LENGTH OF 31.53 FEET;
17. SOUTH 89°56'04" WEST, A DISTANCE OF 54.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 20.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 89°30'16" WEST;
18. SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 89°40'40", AN ARC LENGTH OF 31.30;
19. NORTH 89°49'36" WEST, A DISTANCE OF 7.26 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 205.00 FEET;
20. WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 24°33'10", AN ARC LENGTH OF 87.85 FEET;
21. NORTH 01°05'37" EAST, A DISTANCE OF 226.72 FEET;
22. NORTH 29°09'32" EAST, A DISTANCE OF 44.43 FEET;
23. NORTH 34°44'22" EAST, A DISTANCE OF 194.86 FEET;
24. NORTH 12°40'57" EAST, A DISTANCE OF 125.44 FEET;
25. NORTH 45°33'55" EAST, A DISTANCE OF 315.59 FEET TO THE POINT OF BEGINNING.

EXHIBIT A

PARCEL C:

PARCEL DESCRIPTION - PLANNING AREA D

A PARCEL OF LAND BEING A PORTION OF TRACT I-1 OF THE RECORDED PLAT, FLATIRON MEADOWS - FILING NO. 4, RECORDED UNDER RECEPTION NO. 03366220 IN THE OFFICE OF THE CLERK AND RECORDER OF BOULDER COUNTY; SITUATED IN THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN; TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT I-1

THENCE, ALONG THE EASTERLY BOUNDARY OF SAID TRACT I-1, THE FOLLOWING FIVE (5) COURSES:

1. SOUTH $00^{\circ}10'24''$ WEST, A DISTANCE OF 80.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 20.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH $00^{\circ}10'24''$ WEST;

2. SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF $90^{\circ}00'00''$, AN ARC LENGTH OF 31.42 FEET;

3. SOUTH $00^{\circ}10'24''$ WEST, A DISTANCE OF 5.00 FEET;

4. NORTH $89^{\circ}49'36''$ WEST, A DISTANCE OF 110.00 FEET;

5. SOUTH $00^{\circ}10'24''$ WEST, A DISTANCE OF 785.00 FEET;

THENCE THE FOLLOWING SEVENTEEN (17) COURSES:

1. NORTH $89^{\circ}49'36''$ WEST, A DISTANCE OF 95.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 15.00 FEET;

2. SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF $90^{\circ}00'00''$, AN ARC LENGTH OF 23.56 FEET;

3. NORTH $89^{\circ}49'36''$ WEST, A DISTANCE OF 60.00 FEET;

4. NORTH $00^{\circ}10'24''$ EAST, A DISTANCE OF 25.00 FEET;

5. NORTH $89^{\circ}49'36''$ WEST, A DISTANCE OF 194.18 FEET;

6. NORTH $00^{\circ}10'24''$ EAST, A DISTANCE OF 20.00 FEET;

7. SOUTH $89^{\circ}49'36''$ EAST, A DISTANCE OF 84.18 FEET;

8. NORTH $00^{\circ}10'24''$ EAST, A DISTANCE OF 540.00 FEET;

9. NORTH $45^{\circ}10'24''$ EAST, A DISTANCE OF 13.93 FEET;

10. SOUTH $89^{\circ}54'47''$ EAST, A DISTANCE OF 100.15 FEET;

11. NORTH $00^{\circ}10'24''$ EAST, A DISTANCE OF 38.53 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 205.00 FEET;

12. NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF $37^{\circ}30'27''$, AN ARC LENGTH OF 134.20 FEET;

EXHIBIT A

13. NORTH 37°40'51" EAST, A DISTANCE OF 71.19 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 205.00 FEET;

14. NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 30°14'40", AN ARC LENGTH OF 108.21 FEET;

15. NORTH 01°05'37" EAST, A DISTANCE OF 6.73 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 205.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH 24°22'46" EAST;

16. EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 24°33'10", AN ARC LENGTH OF 87.85 FEET;

17. SOUTH 89°49'36" EAST, A DISTANCE OF 3.98 FEET TO THE POINT OF BEGINNING

PARCEL D:

PARCEL DESCRIPTION – PLANNING AREA B

A PARCEL OF LAND BEING A PORTION OF TRACT I-1 OF THE RECORDED PLAT, FLATIRON MEADOWS - FILING NO. 4, RECORDED UNDER RECEPTION NO. 03366220 IN THE OFFICE OF THE CLERK AND RECORDER OF BOULDER COUNTY; SITUATED IN THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN; TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY BOUNDARY OF SAID TRACT I-1, FROM WHICH THE SOUTH QUARTER CORNER OF SAID SECTION 23 BEARS SOUTH 32°46'08" EAST, A DISTANCE OF 1036.57 FEET;

THENCE, ALONG THE EASTERLY BOUNDARY OF SAID TRACT I-1, THE FOLLOWING THREE (3) COURSES;

1. SOUTH 00°10'24" WEST, A DISTANCE OF 300.63 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE WESTERLY HAVING A RADIUS OF 840.00 FEET;
2. SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 29°39'12", AN ARC LENGTH OF 434.74 FEET;
3. SOUTH 29°49'36" WEST, A DISTANCE OF 134.37 FEET;

THENCE THE FOLLOWING ELEVEN (11) COURSES;

1. NORTH 89°49'36" WEST, A DISTANCE OF 883.51 FEET;
2. SOUTH 00°10'24" WEST, A DISTANCE OF 10.00 FEET;
3. NORTH 89°49'36" WEST, A DISTANCE OF 170.00 FEET;
4. NORTH 44°49'36" WEST, A DISTANCE OF 21.21 FEET;
5. NORTH 00°10'24" EAST, A DISTANCE OF 270.00 FEET;

EXHIBIT A

6. NORTH 45°10'24" EAST, A DISTANCE OF 21.21 FEET;
7. SOUTH 89°49'36" EAST, A DISTANCE OF 110.00 FEET;
8. NORTH 00°10'24" EAST, A DISTANCE OF 548.00 FEET;
9. SOUTH 89°49'36" EAST, A DISTANCE OF 60.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 15.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH 89°49'36" EAST;
10. NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 23.56 FEET;
11. SOUTH 89°49'36" EAST, A DISTANCE OF 95.00 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF SAID TRACT I-1;

THENCE, ALONG SAID NORTHERLY BOUNDARY, THE FOLLOWING FIFTEEN (15) COURSES;

1. SOUTH 89°49'36" EAST, A DISTANCE OF 95.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 15.00 FEET;
2. SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 23.56 FEET;
3. SOUTH 89°49'36" EAST, A DISTANCE OF 60.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 15.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH 89°49'36" EAST;
4. NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 23.56 FEET;
5. SOUTH 89°49'36" EAST, A DISTANCE OF 190.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 15.00 FEET;
6. SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 23.56 FEET;
7. SOUTH 89°49'36" EAST, A DISTANCE OF 60.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 15.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH 89°49'36" EAST;
8. NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 23.56 FEET;
9. SOUTH 89°49'36" EAST, A DISTANCE OF 190.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 15.00 FEET;

EXHIBIT A

10. SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 23.56 FEET;
11. SOUTH 89°49'36" EAST, A DISTANCE OF 60.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 15.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH 89°49'36" EAST;
12. NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 23.56 FEET;
13. SOUTH 89°49'36" EAST, A DISTANCE OF 105.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 20.00 FEET;
14. SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 31.42 FEET;
15. SOUTH 89°49'36" EAST, A DISTANCE OF 80.00 FEET TO THE POINT OF BEGINNING.

PARCEL E:

PARCEL DESCRIPTION – PLANNING AREA F

A PARCEL OF LAND BEING A PORTION OF TRACT I-1 OF THE RECORDED PLAT, FLATIRON MEADOWS - FILING NO. 4, RECORDED UNDER RECEPTION NO. 03366220 IN THE OFFICE OF THE CLERK AND RECORDER OF BOULDER COUNTY; SITUATED IN THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN; TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTH QUARTER CORNER OF SAID SECTION 26;

THENCE SOUTH 00°21'52" EAST, ALONG THE EAST LINE OF SAID NORTHWEST QUARTER OF SECTION 26, A DISTANCE OF 1,155.96 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 540.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH 00°21'53" EAST;

THENCE THE FOLLOWING SEVEN (7) COURSES;

1. WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 23°15'57", AN ARC LENGTH OF 219.28 FEET;
2. SOUTH 66°22'09" WEST, A DISTANCE OF 327.44 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 960.00 FEET;
3. WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 23°48'15", AN ARC LENGTH OF 398.84 FEET;
4. NORTH 89°49'36" WEST, A DISTANCE OF 460.00 FEET;
5. NORTH 00°10'24" EAST, A DISTANCE OF 128.89 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 960.00 FEET;

EXHIBIT A

6. NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 29°39'12", AN ARC LENGTH OF 496.85 FEET;

7. NORTH 29°49'36" EAST, A DISTANCE OF 931.94 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF SAID TRACT I-1;

THENCE, ALONG SAID NORTHERLY BOUNDARY, THE FOLLOWING TWO (2) COURSES;

1. SOUTH 89°49'36" EAST, A DISTANCE OF 712.29 FEET;
2. NORTH 87°59'07" EAST, A DISTANCE OF 50.02 FEET TO THE POINT OF BEGINNING.



File No.: 35100-15-07201

Revision No.: 9

Date: October 29, 2015

Property Address: Vacant Land, Erie, CO

Owner: Bayou Development Corp., a Colorado corporation and Shannon Neary and Matthew Deibel

ESTIMATE OF TITLE PREMIUMS / FEES

ALTA Owners Policy (06/17/06) (PARCEL A)	Short Term Rate	\$2,119.00
ALTA Loan Policy (06/17/06) (PARCELS B AND C)	Concurrent Loan Rate	\$150.00
ALTA Loan Policy (06/17/06) (PARCELS D AND E)	Concurrent Loan Rate	\$803.00
Colorado Form 110.1-06 (OTP Del Exc. 1, 2, and 3)		\$60.00
ALTA Endorsement 9.1-06 (Covenants, Conditions and Restrictions - Unimproved Land - Owner's Policy)		\$848.00
ALTA Endorsement 3-06 (Zoning)		\$1,060.00
ALTA Endorsement 17-06 (Access and Entry)		\$424.00
ALTA Endorsement 25-06 (Same As Survey)		\$848.00

SCHEDULE B - SECTION 1 REQUIREMENTS

The following are requirements to be complied with prior to the issuance of said policy or policies:

- A. **Payment to or for the account of the grantors or mortgagors of full consideration for the estate or interest to be insured.**
- B. **Proper instrument(s) creating the estate or interest to be insured must be executed and unless otherwise noted, all documents must be recorded in the office of the clerk and recorder of the county in which said property is located.**
- C. Partial Release of Deed of Trust, Assignment of Leases and Rents, Security Agreement, Financing Statement and Fixture Filing from Flatiron Investors, LLC, a Colorado limited liability company, to the Public Trustee of Boulder County for the benefit of Capital One, N.A., to secure an indebtedness in the principal sum of \$18,200,000.00, and any other amounts and/or obligations secured thereby, dated July 31, 2007 and recorded August 2, 2007 at [Reception No. 2873136](#).

NOTE: Amendment to Deed of Trust recorded January 3, 2008 at [Reception No. 2903136](#).

Please note that these estimated fees do not include any closing related fees.

THANK YOU FOR THE OPPORTUNITY TO SERVE YOU

101 University Blvd., Suite 310
Denver, CO 80206
Phone (303)316-3400 Fax (303)322-3696

COMMITMENT

FILE NO.: 35100-15-07201

REVISION NO.: 9

- D. Termination of Financing Statement from Flatiron Investors, LLC, Debtor, to Capital One, N.A., Secured Party, recorded August 2, 2007 at [Reception No. 2873137](#).
- E. Partial Release of Second Deed of Trust, Assignment of Leases and Rents, Security Agreement, Financing Statement and Fixture Filing from Bayou Development Corp., a Colorado corporation, to the Public Trustee of Boulder County for the benefit of Flatiron Investors, LLC, to secure an indebtedness in the principal sum of \$24,000,000.00, and any other amounts and/or obligations secured thereby, dated March 19, 2012 and recorded March 21, 2012 at [Reception No. 03211125](#).

NOTE: Supplement to Second Deed of Trust, Assignment of Leases and Rents, Security Agreement, Financing Statement and Fixture Filing recorded April 24, 2012 at [Reception No. 03218021](#).

- F. Duly executed and acknowledged Statement of Authority for Bayou Development Corp., a Colorado corporation, pursuant to C.R.S. 38-30-172.
- G. INTENTIONALLY DELETED (08/18/2015)
- H. Warranty Deed sufficient to convey the fee simple estate or interest in the land described or referred to herein, to the Proposed Insured. (PARCEL A)
- I. Deed of Trust sufficient to encumber the estate or interest in the land described or referred to herein for the benefit of the Proposed Insured. (PARCELS B AND C)
- J. [Payment of all taxes and assessments now due and payable](#).
- K. The Company requires a satisfactory statement from the association or its agent stating the amount, if any, of the unpaid common or maintenance charges against the land through the date of closing and that no liens or rights to a lien for unpaid common or maintenance charges have been sold, assigned or transferred to other parties. At that time, the Company may make additional requirements or exceptions.
- L. Execution of Company's Final Affidavit by the Purchaser(s) and Seller(s).
- M. INTENTIONALLY DELETED (10/26/2015)
- N. Duly executed and acknowledged Statement of Authority for HT Flatiron LP , a Delaware limited partnership, pursuant to C.R.S. 38-30-172.
- O. Deed of Trust sufficient to encumber the estate or interest in the land described or referred to herein for the benefit of the Proposed Insured, in the amount of \$1,797,000.00. (PARCELS D AND E)
- P. Furnish to North American Title Company of Colorado, a letter executed by the Zoning authority in and for the jurisdiction wherein the subject property is situate which states:

The Zoning classification applicable to the subject property.
That the current uses are a permitted under such Zoning classification.
That the subject property is not in violation of all applicable Zoning Ordinances.

COMMITMENT

FILE NO.: 35100-15-07201

REVISION NO.: 9

NOTE: THIS COMMITMENT IS SUBJECT TO APPROVAL BY UNDERWRITING PERSONNEL. NORTH AMERICAN TITLE RESERVES THE RIGHT TO ADD ADDITIONAL REQUIREMENTS AND/OR EXCEPTIONS UPON COMPLETION OF THE REVIEW BY SAID PERSONNEL.

COMMITMENT

FILE NO.: 35100-15-07201
REVISION NO.: 9

SCHEDULE B - SECTION 2 EXCEPTIONS

The policy or policies to be issued will contain exceptions to the following unless the same are disposed of to the satisfaction of the Company:

1. Any facts, rights, interests, or claims that are not shown by the Public Record but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
3. Any encroachment, encumbrance, violation, variation, conflict in boundary lines, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the Public Records or attaching subsequent to the effective date hereof but prior to the date the Proposed Insured acquires of record for value the estate or interest or mortgage thereon covered by this Commitment.
6. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
7. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
8. Reservation of Coal and the right of ingress and egress for the purpose of mining the same as set forth in instrument recorded February 25, 1891 in [Book 138 at Page 317](#).

Release and Quit Claim Deed recorded November 24, 1998 at [Reception No. 1874271](#).

Request for Notification of Surface Development recorded May 17, 2002 at [Reception No. 2288462](#).

Relinquishment and Quit Claim recorded July 10, 2007 at [Reception No. 2867978](#).

COMMITMENT

FILE NO.: 35100-15-07201

REVISION NO.: 9

9. Terms, agreements, provisions, conditions and obligations as contained in Oil and Gas Lease recorded November 28, 1978 at [Reception No. 311444](#) and all amendments, supplements, declarations, affidavits, agreements, assignments, extensions and notifications thereto, including but not limited to the following:
- Declaration of Unitization recorded March 17, 1992 at [Reception No. 1168173](#);
Affidavit of Extension of Oil and Gas Lease Production recorded May 15, 1997 at [Reception No. 1698739](#);
Notice of Oil and Gas Interests and Surface Use recorded January 23, 2001 at [Reception No. 2112344](#);
Partial Assignment of Oil and Gas Lease from Mary P. Young a/k/a Mary Patricia Brennan Young to Young Ventures LLLP, a Colorado LLLP, recorded January 31, 2001 at [Reception No. 2114771](#);
Assignment recorded May 17, 2006 at [Reception No. 2777205](#);
October 19, 2006 at [Reception No. 2812817](#);
Amendment recorded January 24, 2007 at [Reception No. 2831791](#);
Surface Use Agreement recorded January 25, 2007 at [Reception No. 2832176](#);
Surface Use Agreement recorded March 30, 2007 at [Reception No. 2846129](#);
Surface Use Agreement recorded April 9, 2007 at [Reception No. 2848104](#);
Assignment's recorded September 4, 2007 at [Reception No's. 2880730](#) and 2880731;
Request for Notification of Surface Development recorded October 23, 2007 at [Reception No. 2890878](#);
Request for Notification (Mineral Estate Owner) recorded December 21, 2007 at [Reception No. 2900941](#);
Assignment recorded December 21, 2009 at [Reception No. 3048862](#);
Affidavit's of Extension recorded September 30, 2011 at [Reception No's. 3179903](#) and [Reception No. 3179904](#) and [Reception No. 3179905](#);
Affidavit's of Extension recorded February 15, 2012 at [Reception No. 3202961](#) and [Reception No. 3202962](#) and [Reception No. 3202963](#) ;
Special Warranty Deed, Assignment, Bill of Sale and Conveyance recorded January 7, 2013 at Reception No. 3280638. Mineral Deed, Conveyance, Assignment, and Bill of Sale recorded November 13, 2014 at Reception No. 03412640.
10. An easement for gas or oil lines and incidental purposes granted to Western Slope Gas Company, by the instrument recorded June 24, 1982 at [Reception No. 499913](#) and Correction recorded September 16, 1996 at [Reception No. 1642602](#), located as referenced on that certain ALTA/ACSM Survey prepared by James E. Lynch, PLS 37933 on behalf of Aztec Consultants, Inc., dated July 20, 2015, last updated August 19, 2015.
11. Any tax, lien, fee or assessment by reason of inclusion of subject property in the Longmont Fire Protection District, as set forth in instrument recorded April 29, 1985 at [Reception No. 685397](#) and September 3, 1985 at [Reception No. 710155](#).
12. Terms, conditions, provisions, agreements and obligations specified under the Oil and Gas lease recorded April 25, 1991 at [Reception No. 1099323](#) and all amendments, supplements, declaration of affidavits, agreements, assignments, extensions and notifications thereto, including but not limited to the following:
- Affidavit's of Extension recorded February 15, 2012 at [Reception No. 3202961](#) and [Reception No. 3202962](#) and [Reception No. 3202963](#) .

COMMITMENT

FILE NO.: 35100-15-07201

REVISION NO.: 9

13. Any tax, lien, fee or assessment by reason of inclusion of subject property in the Erie Water and Sanitation District, as set forth in instrument recorded December 22, 1993 at [Reception No. 1375530](#).
14. Any tax, lien, fee or assessment by reason of inclusion of subject property in the Northern Colorado Water Conservancy District, as set forth in instrument recorded February 14, 1994 at [Reception No. 1394497](#) and October 8, 1994 at [Reception No. 1468332](#) and January 21, 1997 at [Reception No. 01671966](#) located as referenced on that certain ALA/ACSM Survey prepared by James E. Lynch, PLS 37933 on behalf of Aztec Consultants, Inc., dated July 20, 2015, last updated August 19, 2015.
15. INTENTIONALLY DELETED (08/13/2015)
16. Terms, conditions, provisions, agreements and obligations specified under the Grant of Easement recorded April 18, 1997 at [Reception No. 1691800](#), located as referenced on that certain ALA/ACSM Survey prepared by James E. Lynch, PLS 37933 on behalf of Aztec Consultants, Inc., dated July 20, 2015, last updated August 19, 2015.
17. Any tax, lien, fee or assessment by reason of inclusion of subject property in the Flatiron Meadows Metropolitan District, as set forth in instrument recorded December 27, 2006 at [Reception No. 2825615](#).
18. Terms, conditions, provisions, agreements and obligations specified under the Grant of Permanent Access and Utilities Easement Agreement recorded January 27, 2006 at [Reception No. 2753293](#), located as referenced on that certain ALA/ACSM Survey prepared by James E. Lynch, PLS 37933 on behalf of Aztec Consultants, Inc., dated July 20, 2015, last updated August 19, 2015.
19. Terms, agreements, provisions, conditions and obligations as set forth in Ordinance No. 18-2007 recorded July 24, 2007 at [Reception No. 2871224](#) and Ordinance No. 19-2007 recorded July 24, 2007 at [Reception No. 2871225](#) and re-recorded September 17, 2007 at [Reception No. 2883461](#).

NOTE: Flatiron Meadows PUD Overlay Map recorded June 13, 2012 at [Reception No. 03229246](#) and Flatiron Meadows PUD Overlay Map Amendment No. 1 recorded February 14, 2014 at [Reception No. 3366222](#).
20. INTENTIONALLY DELETED (08/13/2013)(COMBINED WITH EXCEPTION 19)
21. Reservation of all minerals and mineral rights, including without limitation all oil, gas, and gravel rights, and royalty interests, and any oil and gas leases, and any surface rights which are appurtenant to such minerals and mineral rights as set forth in Deed recorded August 2, 2007 at [Reception No. 2873129](#).

Quit Claim Deed recorded September 4, 2007 at [Reception No. 2880728](#).
Agreement regarding Surface Rights recorded June 18, 2012 at [Reception No. 03229890](#).
Quit Claim Deed recorded December 24, 2012 at [Reception No. 03277193](#).
22. Terms, agreements, provisions, conditions and obligations as set forth in the Resolution of Board of Directors of Flatiron Meadows Metropolitan District Boulder County, Colorado, regarding the Imposition of Development Fees, recorded August 17, 2007 at [Reception No. 2877004](#).
23. INTENTIONALLY DELETED (08/13/2015)

COMMITMENT

FILE NO.: 35100-15-07201
REVISION NO.: 9

24. All notes, notices, obligations, covenants, conditions, restrictions, ditches, rights-of-way and easements as dedicated by the plat or as shown on the plat of FLATIRON MEADOWS SUBDIVISION - MASTER PLAT, recorded March 31, 2009 at [Reception No. 2988916](#), located as referenced on that certain ALA/ACSM Survey prepared by James E. Lynch, PLS 37933 on behalf of Aztec Consultants, Inc., dated July 20, 2015, last updated August 19, 2015.
25. Terms, agreements, provisions, conditions, requirements and obligations as contained in the Master Development Agreement recorded March 31, 2009 at [Reception No. 2988917](#), Flatiron Meadows First Amended and Restated Master Development Agreement recorded March 30, 2012 at [Reception No. 03212843](#). Second Amended and Restated Master Development Agreement recorded September 9, 2015 at [Reception No. 03472486](#).
26. Terms, agreements, provisions, conditions and obligations as contained in the Grant of Permanent Avigation Easement Agreement recorded March 31, 2009 at [Reception No. 2988918](#) and June 13, 2012 at [Reception No. 03229233](#).
27. Terms, agreements, provisions, conditions, obligations and easements as contained in the Grant of Drainage Easement Agreement recorded April 24, 2012 at [Reception No. 03218336](#), located as referenced on that certain ALA/ACSM Survey prepared by James E. Lynch, PLS 37933 on behalf of Aztec Consultants, Inc., dated July 20, 2015, last updated August 19, 2015.

NOTE: Ordinance No. 04-2014 recorded January 23, 2014 at [Reception No. 3363242](#).

28. Easements, notes, terms, conditions, provisions, agreements and obligations as shown on the plat of Flatiron Meadows - Filing No. 1 recorded June 13, 2012 at [Reception No. 3229244](#).

NOTE: Ratification of Plat recorded June 18, 2012 at [Reception No. 3229893](#).

NOTE: Ordinance No. 29-2012 Series of 2012 recorded October 17, 2012 at [Reception No. 3260150](#).

29. Terms, conditions, provisions, agreements and obligations specified under the Flatiron Meadows Filing No. 1 Development Agreement recorded June 13, 2012 at [Reception No. 3229245](#).

30. INTENTIONALLY DELETED (08/13/2015)(COMBINED WITH EXCEPTION 19)

31. Terms, agreements, provisions, obligations, covenants, conditions, restrictions, easements, assessment and lien rights, as set forth in Master Declaration of Covenants, Conditions and Restrictions for Flatiron Meadows Master Association, Inc., recorded June 18, 2012 at [Reception No. 3229945](#) and any and all amendments, supplements, assignments or annexations thereto.

NOTE: First Supplement recorded November 26, 2012 at [Reception No. 3269337](#), Second Supplement recorded May 24, 2013 at [Reception No. 3314682](#), Third Supplement recorded November 4, 2013 at [Reception No. 3351130](#), Fourth Supplement recorded August 6, 2014 at [Reception No. 3395801](#).

NOTE: Declaration of Address for Foreclosure Notification recorded September 17, 2014 at [Reception No. 03402971](#).

NOTE: Partial Assignment of Declarant Rights recorded November 26, 2012 at [Reception No. 3269476](#).

COMMITMENT

FILE NO.: 35100-15-07201

REVISION NO.: 9

32. Terms, conditions, provisions, agreements and obligations specified under the Leyner-Cottonwood Consolidated Ditch Co. and Flatiron Investors, LLC Crossing Agreement recorded September 21, 2012 at [Reception No. 3253543](#).
33. INTENTIONALLY DELETED (08/13/2015)
34. Terms, conditions, provisions, agreements and obligations specified under the Agreement between Leyner Cottonwood Consolidated Ditch Company and Bayou Development Corp. recorded February 21, 2013 at [Reception No. 3291445](#).
35. Easements, notes, terms, conditions, provisions, agreements and obligations as shown on the plat of Flatiron Meadows - Filing No. 2 recorded May 22, 2013 at [Reception No. 3313537](#), located as referenced on that certain ALA/ACSM Survey prepared by James E. Lynch, PLS 37933 on behalf of Aztec Consultants, Inc., dated July 20, 2015, last updated August 19, 2015.
36. Terms, conditions, provisions, agreements and obligations specified under the Flatiron Meadows Filing No. 2 Development Agreement recorded May 21, 2013 at [Reception No. 3313538](#).
37. Terms, conditions, provisions, agreements and obligations specified under the Agreement Between Leyner Cottonwood Consolidated Ditch Company and Bayou Development Corp. recorded November 15, 2013 at [Reception No. 3353036](#).

NOTE: First Amendment Agreement between Leyner Cottonwood Consolidated Ditch Company and Bayou Development Corp. recorded March 6, 2014 at [Reception No. 3369108](#).
38. Terms, conditions, provisions, agreements and obligations specified under the Memorandum of Resolution of Flatiron Meadows Metropolitan District Establishing Development Fee recorded December 18, 2013 at [Reception No. 3358046](#).
39. Terms, conditions, provisions, agreements and obligations specified under the Grant of Permanent Access and Utilities Easement Agreement recorded January 23, 2014 at [Reception No. 3363243](#), located as referenced on that certain ALA/ACSM Survey prepared by James E. Lynch, PLS 37933 on behalf of Aztec Consultants, Inc., dated July 20, 2015, last updated August 19, 2015. (C)
40. Terms, conditions, provisions, agreements and obligations specified under the Grant of Permanent Access and Utilities Easement Agreement recorded February 14, 2014 at [Reception No. 3366219](#), located as referenced on that certain ALA/ACSM Survey prepared by James E. Lynch, PLS 37933 on behalf of Aztec Consultants, Inc., dated July 20, 2015, last updated August 19, 2015. (C)
41. All easements, notes, notices, obligations, covenants, conditions, restrictions, ditches and rights-of-way as shown on the plat of FLATIRON MEADOWS SUBDIVISION - FILING NO. 4 , recorded February 14, 2014 at [Reception No. 3366220](#), located as referenced on that certain ALA/ACSM Survey prepared by James E. Lynch, PLS 37933 on behalf of Aztec Consultants, Inc., dated July 20, 2015, last updated August 19, 2015.
42. Terms, conditions, provisions, agreements and obligations specified under the Flatiron Meadows Filing No. 4 Development Agreement recorded February 14, 2014 at [Reception No. 3366221](#).
43. INTENTIONALLY DELETED (08/13/2015)(COMBINED WITH EXCEPTION 19)

COMMITMENT

FILE NO.: 35100-15-07201

REVISION NO.: 9

44. An easement for utility lines and incidental purposes granted to Public Service Company of Colorado, by the instrument recorded May 14, 2014 at [Reception No. 3380169](#), located as referenced on that certain ALA/ACSM Survey prepared by James E. Lynch, PLS 37933 on behalf of Aztec Consultants, Inc., dated July 20, 2015, last updated August 19, 2015.
45. An easement for utility lines and incidental purposes granted to Public Service Company of Colorado, by the instrument recorded May 14, 2014 at [Reception No. 3380170](#), located as referenced on that certain ALA/ACSM Survey prepared by James E. Lynch, PLS 37933 on behalf of Aztec Consultants, Inc., dated July 20, 2015, last updated August 19, 2015.
46. An easement for utility lines and incidental purposes granted to Public Service Company of Colorado, by the instrument recorded May 14, 2014 at [Reception No. 3380173](#), located as referenced on that certain ALA/ACSM Survey prepared by James E. Lynch, PLS 37933 on behalf of Aztec Consultants, Inc., dated July 20, 2015, last updated August 19, 2015.
47. Terms, conditions, provisions, agreements and obligations specified under the Memorandum of Agreement of Sale recorded May 22, 2014 at [Reception No. 3381256](#).
48. An easement for utility lines and incidental purposes granted to Public Service Company of Colorado, by the instrument recorded July 8, 2014 at [Reception No. 3390225](#), located as referenced on that certain ALA/ACSM Survey prepared by James E. Lynch, PLS 37933 on behalf of Aztec Consultants, Inc., dated July 20, 2015, last updated August 19, 2015.
49. INTENTIONALLY DELETED (10/26/2015)
50. Terms, conditions, provisions, agreements and obligations specified under the Declaration of Address for Foreclosure Notification recorded September 17, 2014 at [Reception No. 3402971](#).
51. Moved to Exception 9.
52. Any existing leases or tenancies, and any parties claiming an interest by, through or under said leases or tenancies.

NOTE: This Exception will be deleted upon receipt of affidavit from seller at the time of Closing.

NOTE: The standard printed Exceptions No. 1, 2, 3 and 5 will be deleted from the ALTA Owner's Policy when issued upon payment of the applicable premium and satisfaction of the Requirements.

NOTE: Upon verification of payment of the 2014 year taxes and assessments, standard printed Exception No. 6 will be amended to read as follows.

Taxes and assessments for the year 2015 and subsequent years, a lien, not yet due or payable.

NOTE: The standard printed Exception No. 7 will be amended to read as follows:

Water rights, claiming or title to water, whether or not shown by the Public Records.

NOTE: Upon satisfaction of all Requirements and payment of the applicable premium, Exception No. 4 will be amended to read as follows:

COMMITMENT

FILE NO.: 35100-15-07201

REVISION NO.: 9

Exception No. 4 is deleted as to any liens resulting from services, labor or material contracted for or furnished at the request of or on behalf of Bayou Development Corp., a Colorado corporation and Shannon Neary and Matthew Deibel. North American Title Company of Colorado and North American Title Insurance Company shall have no liability for any liens arising from services, labor or material contracted for or furnished at the request of or on behalf of HINES INTERESTS LIMITED PARTNERSHIP, a Delaware limited partnership.

NOTE: The Company has no liability under this Commitment until Schedule A is amended to state the specific name of the insured Lender. The Company reserves the right to make additional requirements and/or exceptions.

DISCLOSURE STATEMENT

1. Pursuant to C.R.S. 30-10-406(3)(a), all documents received for recording or filing in the Clerk and Recorder's office shall contain a top margin of at least one inch and a left, right and bottom margin of at least one-half of an inch. The Clerk and Recorder will refuse to record or file any document that does not conform to the requirements of this section.
2. If this transaction includes a sale of the property and the price exceeds \$100,000.00, the seller must comply with the disclosure/withholding provisions of C.R.S. 39-22-604.5 (nonresident withholding).
3. Colorado Division of Insurance Regulation 3-5-1 requires that "every title entity shall be responsible for all matters which appear of record prior to the time of recording whenever the title entity conducts the closing and is responsible for recording or filing of legal documents resulting from the transaction which was closed." Provided that North American Title Company of Colorado conducts the closing of the insured transaction and is responsible for recording the legal documents from the transaction, Exception No. 5 will not appear on the Owner's Policy and the Lender's Policy when issued.
4. Pursuant to C.R.S. 10-11-122, notice is hereby given that: a) the subject real property may be located in a special taxing district; b) a certificate of taxes due listing each taxing jurisdiction shall be obtained from the county treasurer or the county treasurer's authorized agent; c) information regarding special districts and the boundaries of such districts may be obtained from the board of county commissioners, the county clerk and recorder, or the county assessor.
5. Pursuant to C.R.S. 10-11-123, notice is hereby given:

This notice applies to owner's policy commitments containing a mineral severance instrument exception, or exceptions, in Schedule B, Section 2.

- A. That there is recorded evidence that a mineral estate has been severed, leased, or otherwise conveyed from the surface estate and that there is a substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property; and
 - B. That such mineral estate may include the right to enter and use the property without the surface owner's permission.
6. Pursuant to Colorado Division of Insurance Regulation 3-5-1, affirmative mechanic's lien protection for the Owner may be available (typically by deletion of Exception No. 4 of Schedule B, Section 2 of the Commitment from the Owner's Policy to be issued) upon compliance with the following conditions:
 - A. The land described in Schedule A of this commitment must be a single family residence which includes a condominium or townhouse unit.
 - B. No labor or materials have been furnished by mechanics or material-men for purposes of construction on the land described in Schedule A of this Commitment within the past 6 months.
 - C. The Company must receive an appropriate affidavit indemnifying the Company against unfiled mechanic's and material-men's liens.
 - D. The Company must receive payment of the appropriate premium.
 - E. If there has been construction, improvements or major repairs undertaken on the property to be purchased within six months prior to the Date of the Commitment, the requirements to obtain coverage for unrecorded liens will include: disclosure of certain construction information; financial information as to the seller, the builder and or the contractor; payment of the appropriate premium, fully executed indemnity agreements satisfactory to the Company, and any additional requirements as may be necessary after an examination of the aforesaid information by the Company.

No coverage will be given under any circumstances for labor or material for which the insured has contracted for or agreed to pay.

7. Pursuant to C.R.S. 38-35-125(2) no person or entity that provides closing and settlement services for a real estate transaction shall disburse funds as a part of such services until those funds have been received and are available for immediate withdrawal as a matter of right.
8. C.R.S. 39-14-102 requires that a Real Property Transfer Declaration accompany any conveyance document presented for recording in the State of Colorado. Said declaration shall be completed and signed by either the grantor or the grantee.
9. Pursuant to C.R.S. 10-1-128(6)(a), it is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado Division of Insurance within the Department of Regulatory Agencies.
10. NOTHING HEREIN CONTAINED WILL BE DEEMED TO OBLIGATE THE COMPANY TO PROVIDE ANY OF THE COVERAGES REFERRED TO HEREIN UNLESS THE ABOVE CONDITIONS ARE FULLY SATISFIED.

FACTS

WHAT DOES NORTH AMERICAN TITLE GROUP, INC. FAMILY OF COMPANIES DO WITH YOUR PERSONAL INFORMATION?

Why?	Financial companies choose how they share your personal information. Federal law gives consumers the right to limit some, but not all, sharing. Federal law also requires us to tell you how we collect, share, and protect your personal information. Please read this notice carefully to understand what we do.
What?	<p>The types of personal information we collect and share depend on the product or service you have with us. This information can include:</p> <ul style="list-style-type: none">• Social Security number and income• transaction history and payment history• purchase history and account balances <p>When you are <i>no longer</i> our customer, we continue to share your information as described in this notice.</p>
How?	All financial companies need to share customers' personal information to run their everyday business. In the section below, we list the reasons financial companies can share their customers' personal information; the reasons North American Title Group, Inc. Family of Companies ("NATG") choose to share; and whether you can limit this sharing.

Reasons we can share your personal information	Does NATG share?	Can you limit this sharing?
For our everyday business purposes— such as to process your transactions, maintain your account(s), respond to court orders and legal investigations, or report to credit bureaus	Yes	No
For our marketing purposes— to offer our products and services to you	Yes	No
For joint marketing with other financial companies	No	We don't share
For our affiliates' everyday business purposes— information about your transactions and experiences	Yes	No
For our affiliates' everyday business purposes— information about your creditworthiness	No	We don't share
For our affiliates to market to you	No	We don't share
For nonaffiliates to market to you	No	We don't share

Questions?	Call 1 (888) 444-7766, extension 6585
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Who we are	
Who is providing this notice?	The North American Title Group, Inc. Family of Companies (identified below), such as home owners insurance and home mortgage companies.
What we do	
How does NATG protect my personal information?	To protect your personal information from unauthorized access and use, we use security measures that comply with federal law. These measures include computer safeguards and secured files and buildings.
How does NATG collect my personal information?	We collect your personal information, for example, when you <ul style="list-style-type: none"> • apply for financing or provide employment information • provide account information or show your government issued ID • give us your contact information We also collect your personal information from others, such as credit bureaus, affiliates or other companies.
Why can't I limit all sharing?	Federal law gives you the right to limit only <ul style="list-style-type: none"> • sharing for affiliates' everyday business purposes—information about your creditworthiness • affiliates from using your information to market to you • sharing for nonaffiliates to market to you
Definitions	
Affiliates	Companies related by common ownership or control. They can be financial and nonfinancial companies. <ul style="list-style-type: none"> • <i>Our affiliates include the companies listed below.</i>
Nonaffiliates	Companies not related by common ownership or control. They can be financial and nonfinancial companies. <ul style="list-style-type: none"> • <i>Nonaffiliates we share with can include collection agencies, IT service providers, companies that perform marketing services on our or their own behalf, consumer reporting agencies, and others.</i> • <i>NATG does not share with nonaffiliates so they can market to you.</i>
Joint marketing	A formal agreement between nonaffiliated financial companies that together market financial products or services to you. <ul style="list-style-type: none"> • <i>NATG doesn't jointly market.</i>

Our Affiliates. The North American Title Group, Inc. Family of Companies is:

North American Title Company
North American Title Insurance Company
North American Title Alliance, LLC
North American Title Florida Alliance, LLC
North American Services, LLC
North American Title Agency

North American Abstract Agency
NASSA, LLC
North American Title, LLC
North American Advantage Insurance Services, LLC
North American National Title Solutions, LLC
North American Exchange Company

ALTA/ACSM LAND TITLE SURVEY

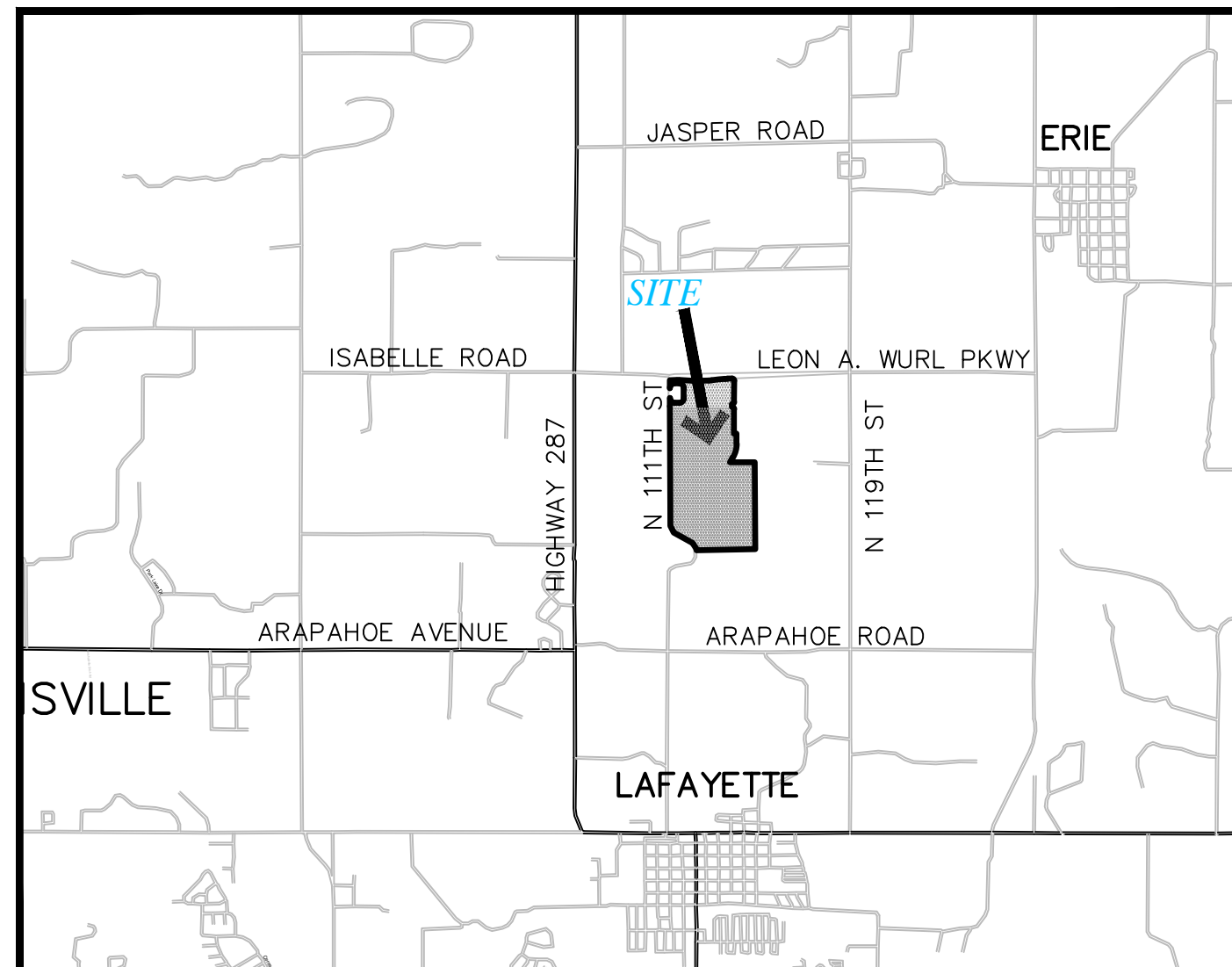
A PARCEL LOCATED IN THE SOUTHWEST QUARTER OF SECTION 23 AND THE NORTHWEST QUARTER OF SECTION 26,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

LEGAL DESCRIPTION (PER TITLE COMMITMENT)

TRACTS E, F AND H,
FLATIRON MEADOWS FILING NO. 2, TOWN OF ERIE,
COUNTY OF BOULDER,
STATE OF COLORADO.

TRACTS D-1 AND I-1
FLATIRON MEADOWS FILING NO. 4, TOWN OF ERIE,
COUNTY OF BOULDER,
STATE OF COLORADO.

TRACTS B, C, H AND REMAINDER OF TRACT I,
FLATIRON MEADOWS SUBDIVISION MASTER PLAT, TOWN OF ERIE,
COUNTY OF BOULDER,
STATE OF COLORADO.



VICINITY MAP
SCALE 1" = 1000'

FLOOD ZONE

THE SUBJECT PROPERTY SHOWN HEREIN LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANELS NO. 08013C0437J AND 08013C0439J, MAP REVISED DECEMBER 18, 2012, EXCEPT THAT AREA LABELED HEREON AS ZONE AE, SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD.

BASIS OF BEARINGS

THE NORTH LINE LINE OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M., MONUMENTED AS SHOWN HEREON AND HAVING A BEARING OF N88°23'44"E.

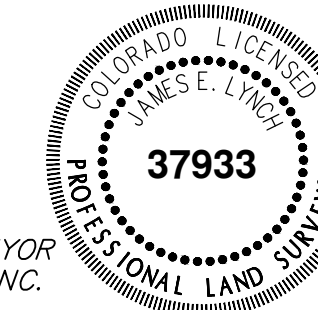
SURVEYOR'S STATEMENT

TO: HT FLATIRON LP
BAYOU DEVELOPMENT CORP., A COLORADO CORPORATION AND
SHANNON NEARY AND MATTHEW DEIBEL
NORTH AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 6(b), 8, 11(b) 13, 14, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 17, 2015.

DATE OF PLAT OR MAP: AUGUST 19, 2015

JAMES E. LYNCH, PLS NO. 37933
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.



STATUTE OF LIMITATIONS

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

INDEXING STATEMENT

DEPOSITED THIS _____ DAY OF _____, 2015, AT _____, M., IN BOOK _____ OF THE COUNTY SURVEYOR'S LAND SURVEY/RIGHT-OF-WAY SURVEYS AT PAGE(S) _____, RECEPTION NUMBER _____.

COUNTY SURVEYOR/DEPUTY COUNTY SURVEYOR

GENERAL NOTES

- THE FIELD WORK FOR THIS SURVEY WAS PERFORMED BY AN AZTEC CONSULTANTS, INC. SURVEY CREW AND COMPLETED ON JULY 15, 2015.
- PER C.R.S. 38-51-106, "ALL LINEAL UNITS DEPICTED ON THIS LAND SURVEY PLAT ARE U.S. SURVEY FEET. ONE METER EQUALS 39.37/12 U.S. SURVEY FEET, EXACTLY ACCORDING TO THE NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY."
- THIS SURVEY DOES NOT CERTIFY TO SUBSURFACE FEATURES, IMPROVEMENTS, UTILITIES, PIPE SIZES OR BURIED LINES OF ANY TYPE. LOCATIONS DEPICTED HEREIN ARE DERIVED FROM OBSERVED SURFACE EVIDENCE AND UTILITY LOCATE MARKINGS BY DIVERSIFIED UNDERGROUND INC., PRIOR TO FIELD SURVEY.
- THERE WERE NO POSTED ADDRESSES FOR THE SUBJECT PARCELS AT THE TIME OF THIS SURVEY.
- GROSS LAND AREA:

	SQUARE FEET	ACRES
TRACT D-1	565,544	12.983
TRACT I-1	9,049,858	207.756
TRACT C	920,185	21.125
TOTAL	10,535,587	241.864
- THE SUBJECT PARCELS ARE ZONED SR, SUBURBAN RESIDENTIAL DISTRICT, PER THE TOWN OF ERIE ZONING MAP.

FRONT SETBACK	20 OR 25 FEET
STREET SETBACK	10 OR 20 FEET
REAR SETBACK	20 OR 25 FEET
MAXIMUM BUILDING HEIGHT	35 FEET

PER THE FLATIRON MEADOWS PUD OVERLAY MAP (ITEM 43 ON SHEET 2).
- THERE WAS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.
- NO EVIDENCE OF CHANGES IN STREET RIGHT-OF-WAY LINES WAS AVAILABLE AT THE TIME OF THIS SURVEY. THERE WAS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THIS SURVEY.
- THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT THE TIME OF THIS SURVEY.
- NO WETLANDS WERE DELINEATED AT THE TIME OF THIS SURVEY.

SCALE	N.T.S.	DATE
DATE	APPRV	DATE
DATE	BY	DATE
REVISION DESCRIPTION	BY	DATE

300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com

AZTEC
CONSULTANTS, INC.

ALTA/ACSM LAND TITLE SURVEY
SW1/4 23, NW1/4 26, T1N, R69W, 6TH P.M.
ERIE, COLORADO
PREPARED FOR
CALIBRE ENGINEERING
9090 S. RIDGELINE BLVD., SUITE 105, HIGHLANDS RANCH, CO 80129

ALTA/ACSM LAND TITLE SURVEY

A PARCEL LOCATED IN THE SOUTHWEST QUARTER OF SECTION 23 AND THE NORTHWEST QUARTER OF SECTION 26,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

TITLE COMMITMENT NOTES

NORTH AMERICAN TITLE INSURANCE COMPANY FILE NO. 35100-15-07201, REVISION NO. 2, WITH AN EFFECTIVE DATE OF AUGUST 12, 2015. THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY AZTEC CONSULTANTS, INC. TO DETERMINE OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS OF PUBLIC RECORD.

ITEM NUMBERS BELOW REFER TO THOSE ITEMS AS LISTED IN SCHEDULE B - SECTION 2 OF SAID TITLE COMMITMENT. ITEM NUMBERS 1-7 AND 52 ARE STANDARD EXCEPTIONS NOT TO BE ADDRESSED AS A PART OF THIS SURVEY.

(TC #) INDICATES THE NUMBER TO WHICH THE SCHEDULE B-2 ITEM CORRESPONDS IN RELATION TO THE SUBJECT PROPERTY.

(TC #8) RESERVATION OF COAL AND THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF MINING THE SAME AS SET FORTH IN INSTRUMENT RECORDED FEBRUARY 25, 1991 IN BOOK 138 AT PAGE 317. RELEASE AND QUIT CLAIM DEED RECORDED NOVEMBER 24, 1998 AT RECEPTION NO. 1874271. REQUEST FOR NOTIFICATION OF SURFACE DEVELOPMENT RECORDED MAY 17, 2002 AT RECEPTION NO. 2288462. RELINQUISHMENT AND QUIT CLAIM RECORDED JULY 10, 2007 AT RECEPTION NO. 2867978.
NO PLOTTABLE ELEMENTS.

(TC #9) TERMS, AGREEMENTS, PROVISIONS, CONDITIONS AND OBLIGATIONS AS CONTAINED IN OIL AND GAS LEASE RECORDED NOVEMBER 28, 1978 AT RECEPTION NO. 311444 AND ALL AMENDMENTS, SUPPLEMENTS, DECLARATIONS, AFFIDAVITS, AGREEMENTS, ASSIGNMENTS, EXTENSIONS AND NOTIFICATIONS THERE TO, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
DECLARATION OF UNITIZATION RECORDED MARCH 17, 1992 AT RECEPTION NO. 1168173;
AFFIDAVIT OF EXTENSION OF OIL AND GAS LEASE PRODUCTION RECORDED MAY 15, 1997 AT RECEPTION NO. 1698739;
NOTICE OF OIL AND GAS INTERESTS AND SURFACE USE RECORDED JANUARY 23, 2001 AT RECEPTION NO. 2112344;
PARTIAL ASSIGNMENT OF OIL AND GAS LEASE FROM MARY P. YOUNG A/K/A MARY PATRICIA BRENNAN YOUNG TO YOUNG VENTURES LLLP, A COLORADO LLLP, RECORDED JANUARY 31, 2001 AT RECEPTION NO. 2114771;
ASSIGNMENT RECORDED MAY 17, 2006 AT RECEPTION NO. 2777205; OCTOBER 19, 2006 AT RECEPTION NO. 2812817;
AMENDMENT RECORDED JANUARY 24, 2007 AT RECEPTION NO. 2831791;
SURFACE USE AGREEMENT RECORDED JANUARY 25, 2007 AT RECEPTION NO. 2832176;
SURFACE USE AGREEMENT RECORDED MARCH 30, 2007 AT RECEPTION NO. 2846129;
SURFACE USE AGREEMENT RECORDED APRIL 9, 2007 AT RECEPTION NO. 2848104;
ASSIGNMENT'S RECORDED SEPTEMBER 4, 2007 AT RECEPTION NO'S. 2880730 AND 2880731;
REQUEST FOR NOTIFICATION OF SURFACE DEVELOPMENT RECORDED OCTOBER 23, 2007 AT RECEPTION NO. 2890878;
REQUEST FOR NOTIFICATION (MINERAL ESTATE OWNER) RECORDED DECEMBER 21, 2007 AT RECEPTION NO. 2900941;
ASSIGNMENT RECORDED DECEMBER 21, 2009 AT RECEPTION NO. 3048862;
AFFIDAVIT'S OF EXTENSION RECORDED SEPTEMBER 30, 2011 AT RECEPTION NO'S. 3179903 AND RECEPTION NO. 3179904 AND RECEPTION NO. 3179905;
AFFIDAVIT'S OF EXTENSION RECORDED FEBRUARY 15, 2012 AT RECEPTION NO. 3202961 AND RECEPTION NO. 3202962 AND RECEPTION NO. 3202963;
SPECIAL WARRANTY DEED, ASSIGNMENT, BILL OF SALE AND CONVEYANCE RECORDED JANUARY 7, 2013 AT RECEPTION NO. 03280638. MINERAL DEED, CONVEYANCE, ASSIGNMENT, AND BILL OF SALE RECORDED NOVEMBER 13, 2014 AT RECEPTION NO. 03412640.
NO PLOTTABLE ELEMENTS.

(TC #10) AN EASEMENT FOR GAS OR OIL LINES AND INCIDENTAL PURPOSES GRANTED TO WESTERN SLOPE GAS COMPANY, BY THE INSTRUMENT RECORDED JUNE 24, 1982 AT RECEPTION NO. 499913 AND CORRECTION RECORDED SEPTEMBER 16, 1996 AT RECEPTION NO. 1642802.
THE EASEMENT DESCRIBED IN THE ABOVE DOCUMENTS IS SHOWN HEREON.

(TC #11) ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE LONGMONT FIRE PROTECTION DISTRICT, AS SET FORTH IN INSTRUMENT RECORDED APRIL 29, 1985 AT RECEPTION NO. 685397 AND SEPTEMBER 3, 1985 AT RECEPTION NO. 710155.
NO PLOTTABLE ELEMENTS.

(TC #12) TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE OIL AND GAS LEASE RECORDED APRIL 25, 1991 AT RECEPTION NO. 1099323 AND ALL AMENDMENTS, SUPPLEMENTS, DECLARATION OF AFFIDAVITS, AGREEMENTS, ASSIGNMENTS, EXTENSIONS AND NOTIFICATIONS THERE TO, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: AFFIDAVIT'S OF EXTENSION RECORDED FEBRUARY 15, 2012 AT RECEPTION NO. 3202961 AND RECEPTION NO. 3202962 AND RECEPTION NO. 3202963.
NO PLOTTABLE ELEMENTS.

(TC #13) ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE ERIE WATER AND SANITATION DISTRICT, AS SET FORTH IN INSTRUMENT RECORDED DECEMBER 22, 1993 AT RECEPTION NO. 1375530.
NO PLOTTABLE ELEMENTS.

(TC #14) ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE NORTHERN COLORADO WATER CONSERVANCY DISTRICT, AS SET FORTH IN INSTRUMENT RECORDED FEBRUARY 14, 1994 AT RECEPTION NO. 1394497 AND OCTOBER 8, 1994 AT RECEPTION NO. 1468332 AND JANUARY 21, 1997 AT RECEPTION NO. 01671966 LOCATED AS REFERENCED ON THAT CERTAIN ALA/ACSM SURVEY PREPARED BY JAMES E. LYNCH, PLS 37933 ON BEHALF OF AZTEC CONSULTANTS, INC., DATED JULY 20, 2015, LAST UPDATED AUGUST 19, 2015.
THE EASEMENT DESCRIBED IN THE DOCUMENT RECORDED UNDER RECEPTION NO. 1468332 IS SHOWN HEREON. THERE ARE NO PLOTTABLE ELEMENTS IN THE REMAINING DOCUMENTS DESCRIBED ABOVE.

(TC #15) INTENTIONALLY DELETED (08/13/2015)

(TC #16) TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE GRANT OF EASEMENT RECORDED APRIL 18, 1997 AT RECEPTION NO. 1691800 LOCATED AS REFERENCED ON THAT CERTAIN ALA/ACSM SURVEY PREPARED BY JAMES E. LYNCH, PLS 37933 ON BEHALF OF AZTEC CONSULTANTS, INC., DATED JULY 20, 2015, LAST UPDATED AUGUST 19, 2015.
THE EASEMENT DESCRIBED IN THE ABOVE DOCUMENT IS SHOWN HEREON.

(TC #17) ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE FLATIRON MEADOWS METROPOLITAN DISTRICT, AS SET FORTH IN INSTRUMENT RECORDED DECEMBER 27, 2006 AT RECEPTION NO. 2825615.
NO PLOTTABLE ELEMENTS.

(TC #18) TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE GRANT OF PERMANENT ACCESS AND UTILITIES EASEMENT AGREEMENT RECORDED JANUARY 27, 2006 AT RECEPTION NO. 2753293 LOCATED AS REFERENCED ON THAT CERTAIN ALA/ACSM SURVEY PREPARED BY JAMES E. LYNCH, PLS 37933 ON BEHALF OF AZTEC CONSULTANTS, INC., DATED JULY 20, 2015, LAST UPDATED AUGUST 19, 2015.
THE EASEMENT DESCRIBED IN THE ABOVE DOCUMENT IS SHOWN HEREON.

(TC #19) TERMS, AGREEMENTS, PROVISIONS, CONDITIONS AND OBLIGATIONS AS SET FORTH IN ORDINANCE NO. 18-2007 RECORDED JULY 24, 2007 AT RECEPTION NO. 2871224 AND ORDINANCE NO. 19-2007 RECORDED JULY 24, 2007 AT RECEPTION NO. 2871225 AND RE-RECORDED SEPTEMBER 17, 2007 AT RECEPTION NO. 2883461.
NOTE: FLATIRON MEADOWS PUD OVERLAY MAP RECORDED JUNE 13, 2012 AT RECEPTION NO. 03229246 AND FLATIRON MEADOWS PUD OVERLAY MAP AMENDMENT NO. 1 RECORDED FEBRUARY 14, 2014 AT RECEPTION NO. 3366222.
NO PLOTTABLE ELEMENTS.

(TC #20) INTENTIONALLY DELETED (08/13/2015)(COMBINED WITH EXCEPTION 19)

(TC #21) RESERVATION OF ALL MINERALS AND MINERAL RIGHTS, INCLUDING WITHOUT LIMITATION ALL OIL, GAS, AND GRAVEL RIGHTS, AND ROYALTY INTERESTS, AND ANY OIL AND GAS LEASES, AND ANY SURFACE RIGHTS WHICH ARE APPURTENANT TO SUCH MINERALS AND MINERAL RIGHTS AS SET FORTH IN DEED RECORDED AUGUST 2, 2007 AT RECEPTION NO. 2873129. QUIT CLAIM DEED RECORDED SEPTEMBER 4, 2007 AT RECEPTION NO. 2880728. AGREEMENT REGARDING SURFACE RIGHTS RECORDED JUNE 18, 2012 AT RECEPTION NO. 03229890. QUIT CLAIM DEED RECORDED DECEMBER 24, 2012 AT RECEPTION NO. 03277193.
NO PLOTTABLE ELEMENTS.

(TC #22) TERMS, AGREEMENTS, PROVISIONS, CONDITIONS AND OBLIGATIONS AS SET FORTH IN THE RESOLUTION OF BOARD OF DIRECTORS OF FLATIRON MEADOWS METROPOLITAN DISTRICT BOULDER COUNTY, COLORADO, REGARDING THE IMPOSITION OF DEVELOPMENT FEES, RECORDED AUGUST 17, 2007 AT RECEPTION NO. 2877004.
NO PLOTTABLE ELEMENTS.

(TC #23) INTENTIONALLY DELETED (08/13/2015)

(TC #24) ALL NOTES, NOTICES, OBLIGATIONS, COVENANTS, CONDITIONS, RESTRICTIONS, DITCHES, RIGHTS-OF-WAY AND EASEMENTS AS SHOWN ON THE PLAT OR AS SHOWN ON THE PLAT OF FLATIRON MEADOWS SUBDIVISION - MASTER PLAT, RECORDED MARCH 31, 2009 AT RECEPTION NO. 2988916 LOCATED AS REFERENCED ON THAT CERTAIN ALA/ACSM SURVEY PREPARED BY JAMES E. LYNCH, PLS 37933 ON BEHALF OF AZTEC CONSULTANTS, INC., DATED JULY 20, 2015, LAST UPDATED AUGUST 19, 2015.
THE AFFECTS OF THE ABOVE PLAT ARE SHOWN HEREON.

(TC #25) TERMS, AGREEMENTS, PROVISIONS, CONDITIONS, REQUIREMENTS AND OBLIGATIONS AS CONTAINED IN THE MASTER DEVELOPMENT AGREEMENT RECORDED MARCH 31, 2009 AT RECEPTION NO. 2988917, FLATIRON MEADOWS FIRST AMENDED AND RESTATED MASTER DEVELOPMENT AGREEMENT RECORDED MARCH 30, 2012 AT RECEPTION NO. 03212843.
NO PLOTTABLE ELEMENTS.

(TC #26) TERMS, AGREEMENTS, PROVISIONS, CONDITIONS AND OBLIGATIONS AS CONTAINED IN THE GRANT OF PERMANENT AVIGATION EASEMENT AGREEMENT RECORDED MARCH 31, 2009 AT RECEPTION NO. 2988918 AND JUNE 13, 2012 AT RECEPTION NO. 03229233.
THE EASEMENT DESCRIBED IN THE ABOVE DOCUMENTS IS A BLANKET EASEMENT OVER THE ENTIRE SUBJECT PARCELS.

(TC #27) TERMS, AGREEMENTS, PROVISIONS, CONDITIONS, OBLIGATIONS AND EASEMENTS AS CONTAINED IN THE GRANT OF DRAINAGE EASEMENT AGREEMENT RECORDED APRIL 24, 2012 AT RECEPTION NO. 03218336 LOCATED AS REFERENCED ON THAT CERTAIN ALA/ACSM SURVEY PREPARED BY JAMES E. LYNCH, PLS 37933 ON BEHALF OF AZTEC CONSULTANTS, INC., DATED JULY 20, 2015, LAST UPDATED AUGUST 19, 2015.
NOTE: ORDINANCE NO. 04-2014 RECORDED JANUARY 23, 2014 AT RECEPTION NO. 3363242.
THE EASEMENT DESCRIBED IN THE ABOVE DOCUMENTS IS A BLANKET EASEMENT OVER TRACT D-1 AND IS SHOWN HEREON.

(TC #28) EASEMENTS, NOTES, TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS AS SHOWN ON THE PLAT OF FLATIRON MEADOWS - FILING NO. 1 RECORDED JUNE 13, 2012 AT RECEPTION NO. 3229244.
NOTE: RATIFICATION OF PLAT RECORDED JUNE 18, 2012 AT RECEPTION NO. 3229893.
NOTE: ORDINANCE NO. 29-2012 SERIES OF 2012 RECORDED OCTOBER 17, 2012 AT RECEPTION NO. 3260150.
THE DOCUMENT DESCRIBED ABOVE DOES NOT AFFECT THE SUBJECT PARCELS.

(TC #29) TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE FLATIRON MEADOWS FILING NO. 1 DEVELOPMENT AGREEMENT RECORDED JUNE 13, 2012 AT RECEPTION NO. 3229245.
THE DOCUMENT DESCRIBED ABOVE DOES NOT AFFECT THE SUBJECT PARCELS.

(TC #30) INTENTIONALLY DELETED (08/13/2015)(COMBINED WITH EXCEPTION 19)

(TC #31) TERMS, AGREEMENTS, PROVISIONS, OBLIGATIONS, COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ASSESSMENT AND LIEN RIGHTS, AS SET FORTH IN MASTER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR FLATIRON MEADOWS MASTER ASSOCIATION, INC., RECORDED JUNE 18, 2012 AT RECEPTION NO. 3229945 AND ANY AND ALL AMENDMENTS, SUPPLEMENTS, ASSIGNMENTS OR ANNEXATIONS THERETO. NOTE: FIRST SUPPLEMENT RECORDED NOVEMBER 26, 2012 AT RECEPTION NO. 3269337, SECOND SUPPLEMENT RECORDED MAY 24, 2013 AT RECEPTION NO. 3314682, THIRD SUPPLEMENT RECORDED NOVEMBER 4, 2013 AT RECEPTION NO. 3351130, FOURTH SUPPLEMENT RECORDED AUGUST 6, 2014 AT RECEPTION NO. 3395801. NOTE: DECLARATION OF ADDRESS FOR FORECLOSURE NOTIFICATION RECORDED SEPTEMBER 17, 2014 AT RECEPTION NO. 03402971. NOTE: PARTIAL ASSIGNMENT OF DECLARANT RIGHTS RECORDED NOVEMBER 26, 2012 AT RECEPTION NO. 3269476.
NO PLOTTABLE ELEMENTS.

(TC #32) TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE LEYNER-COTTONWOOD CONSOLIDATED DITCH CO. AND FLATIRON INVESTORS, LLC CROSSING AGREEMENT RECORDED SEPTEMBER 21, 2012 AT RECEPTION NO. 3253543.
NO PLOTTABLE ELEMENTS.

(TC #33) INTENTIONALLY DELETED (08/13/2015)

(TC #34) TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE AGREEMENT BETWEEN LEYNER COTTONWOOD CONSOLIDATED DITCH COMPANY AND BAYOU DEVELOPMENT CORP. RECORDED FEBRUARY 21, 2013 AT RECEPTION NO. 3291445.
NO PLOTTABLE ELEMENTS.

(TC #35) EASEMENTS, NOTES, TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS AS SHOWN ON THE PLAT OF FLATIRON MEADOWS - FILING NO. 2 RECORDED MAY 22, 2013 AT RECEPTION NO. 3313537 LOCATED AS REFERENCED ON THAT CERTAIN ALA/ACSM SURVEY PREPARED BY JAMES E. LYNCH, PLS 37933 ON BEHALF OF AZTEC CONSULTANTS, INC., DATED JULY 20, 2015, LAST UPDATED AUGUST 19, 2015.
THE AFFECTS OF THE ABOVE PLAT ARE SHOWN HEREON.

(TC #36) TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE FLATIRON MEADOWS FILING NO. 2 DEVELOPMENT AGREEMENT RECORDED MAY 21, 2013 AT RECEPTION NO. 3313538.
THE DOCUMENT DESCRIBED ABOVE DOES NOT AFFECT THE SUBJECT PARCELS.

(TC #37) TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE AGREEMENT BETWEEN LEYNER COTTONWOOD CONSOLIDATED DITCH COMPANY AND BAYOU DEVELOPMENT CORP. RECORDED NOVEMBER 15, 2013 AT RECEPTION NO. 3353036.
NOTE: FIRST AMENDMENT AGREEMENT BETWEEN LEYNER COTTONWOOD CONSOLIDATED DITCH COMPANY AND BAYOU DEVELOPMENT CORP. RECORDED MARCH 6, 2014 AT RECEPTION NO. 3369108.
NO PLOTTABLE ELEMENTS.

(TC #38) TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE MEMORANDUM OF RESOLUTION OF FLATIRON MEADOWS METROPOLITAN DISTRICT ESTABLISHING DEVELOPMENT FEE RECORDED DECEMBER 18, 2013 AT RECEPTION NO. 3358046.
THE DOCUMENT DESCRIBED ABOVE DOES NOT AFFECT THE SUBJECT PARCELS.

(TC #39) TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE GRANT OF PERMANENT ACCESS AND UTILITIES EASEMENT AGREEMENT RECORDED JANUARY 23, 2014 AT RECEPTION NO. 3363243 LOCATED AS REFERENCED ON THAT CERTAIN ALA/ACSM SURVEY PREPARED BY JAMES E. LYNCH, PLS 37933 ON BEHALF OF AZTEC CONSULTANTS, INC., DATED JULY 20, 2015, LAST UPDATED AUGUST 19, 2015. (C)
THE EASEMENT DESCRIBED IN THE ABOVE DOCUMENT IS SHOWN HEREON.

(TC #40) TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE GRANT OF PERMANENT ACCESS AND UTILITIES EASEMENT AGREEMENT RECORDED FEBRUARY 14, 2014 AT RECEPTION NO. 3366219 LOCATED AS REFERENCED ON THAT CERTAIN ALA/ACSM SURVEY PREPARED BY JAMES E. LYNCH, PLS 37933 ON BEHALF OF AZTEC CONSULTANTS, INC., DATED JULY 20, 2015, LAST UPDATED AUGUST 19, 2015. (C)
THE EASEMENT DESCRIBED IN THE ABOVE DOCUMENT IS SHOWN HEREON.

(TC #41) ALL EASEMENTS, NOTES, NOTICES, OBLIGATIONS, COVENANTS, CONDITIONS, RESTRICTIONS, DITCHES AND RIGHTS-OF-WAY AS SHOWN ON THE PLAT OF FLATIRON MEADOWS SUBDIVISION - FILING NO. 4, RECORDED FEBRUARY 14, 2014 AT RECEPTION NO. 3366220 LOCATED AS REFERENCED ON THAT CERTAIN ALA/ACSM SURVEY PREPARED BY JAMES E. LYNCH, PLS 37933 ON BEHALF OF AZTEC CONSULTANTS, INC., DATED JULY 20, 2015, LAST UPDATED AUGUST 19, 2015.
THE AFFECTS OF THE ABOVE PLAT ARE SHOWN HEREON.

(TC #42) TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE FLATIRON MEADOWS FILING NO. 4 DEVELOPMENT AGREEMENT RECORDED FEBRUARY 14, 2014 AT RECEPTION NO. 3366221.
NO PLOTTABLE ELEMENTS.

(TC #43) INTENTIONALLY DELETED (08/13/2015)(COMBINED WITH EXCEPTION 19)

(TC #44) AN EASEMENT FOR UTILITY LINES AND INCIDENTAL PURPOSES GRANTED TO PUBLIC SERVICE COMPANY OF COLORADO, BY THE INSTRUMENT RECORDED MAY 14, 2014 AT RECEPTION NO. 3380169 LOCATED AS REFERENCED ON THAT CERTAIN ALA/ACSM SURVEY PREPARED BY JAMES E. LYNCH, PLS 37933 ON BEHALF OF AZTEC CONSULTANTS, INC., DATED JULY 20, 2015, LAST UPDATED AUGUST 19, 2015.
THE EASEMENT DESCRIBED IN THE ABOVE DOCUMENT IS SHOWN HEREON.

(TC #45) AN EASEMENT FOR UTILITY LINES AND INCIDENTAL PURPOSES GRANTED TO PUBLIC SERVICE COMPANY OF COLORADO, BY THE INSTRUMENT RECORDED MAY 14, 2014 AT RECEPTION NO. 3380170 LOCATED AS REFERENCED ON THAT CERTAIN ALA/ACSM SURVEY PREPARED BY JAMES E. LYNCH, PLS 37933 ON BEHALF OF AZTEC CONSULTANTS, INC., DATED JULY 20, 2015, LAST UPDATED AUGUST 19, 2015.
THE EASEMENT DESCRIBED IN THE ABOVE DOCUMENT IS SHOWN HEREON.

(TC #46) AN EASEMENT FOR UTILITY LINES AND INCIDENTAL PURPOSES GRANTED TO PUBLIC SERVICE COMPANY OF COLORADO, BY THE INSTRUMENT RECORDED MAY 14, 2014 AT RECEPTION NO. 3380173 LOCATED AS REFERENCED ON THAT CERTAIN ALA/ACSM SURVEY PREPARED BY JAMES E. LYNCH, PLS 37933 ON BEHALF OF AZTEC CONSULTANTS, INC., DATED JULY 20, 2015, LAST UPDATED AUGUST 19, 2015.
THE EASEMENT DESCRIBED IN THE ABOVE DOCUMENTS IS SHOWN HEREON.

(TC #47) TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE MEMORANDUM OF AGREEMENT OF SALE RECORDED MAY 22, 2014 AT RECEPTION NO. 3381256.
NO PLOTTABLE ELEMENTS.

(TC #48) AN EASEMENT FOR UTILITY LINES AND INCIDENTAL PURPOSES GRANTED TO PUBLIC SERVICE COMPANY OF COLORADO, BY THE INSTRUMENT RECORDED JULY 8, 2014 AT RECEPTION NO. 3390225 LOCATED AS REFERENCED ON THAT CERTAIN ALA/ACSM SURVEY PREPARED BY JAMES E. LYNCH, PLS 37933 ON BEHALF OF AZTEC CONSULTANTS, INC., DATED JULY 20, 2015, LAST UPDATED AUGUST 19, 2015.
THE EASEMENT DESCRIBED IN THE ABOVE DOCUMENT IS SHOWN HEREON.

(TC #49) AN EASEMENT FOR UTILITY LINES AND INCIDENTAL PURPOSES GRANTED TO PUBLIC SERVICE COMPANY OF COLORADO, BY THE INSTRUMENT RECORDED JULY 8, 2014 AT RECEPTION NO. 3390224.
THE EASEMENT DESCRIBED IN THE ABOVE DOCUMENT DOES NOT FALL WITHIN THE SUBJECT PARCELS.

(TC #50) TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE DECLARATION OF ADDRESS FOR FORECLOSURE NOTIFICATION RECORDED SEPTEMBER 17, 2014 AT RECEPTION NO. 3402971.
NO PLOTTABLE ELEMENTS.

(TC #51) MOVED TO EXCEPTION 9.

SCALE	N.T.S.
DATE	8/19/2015
BY	
DATE	
APPR	
REVISION DESCRIPTION	

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Fax: (303) 713-1897
www.aztecconsultants.com



ALTA/ACSM LAND TITLE SURVEY
SW1/4 23, NW1/4 26, T1N, R69W, 6TH P.M.
ERIE, COLORADO

PREPARED FOR
CALIBRE ENGINEERING
9090 S. RIDGELINE BLVD., SUITE 105, HIGHLANDS RANCH, CO 80129

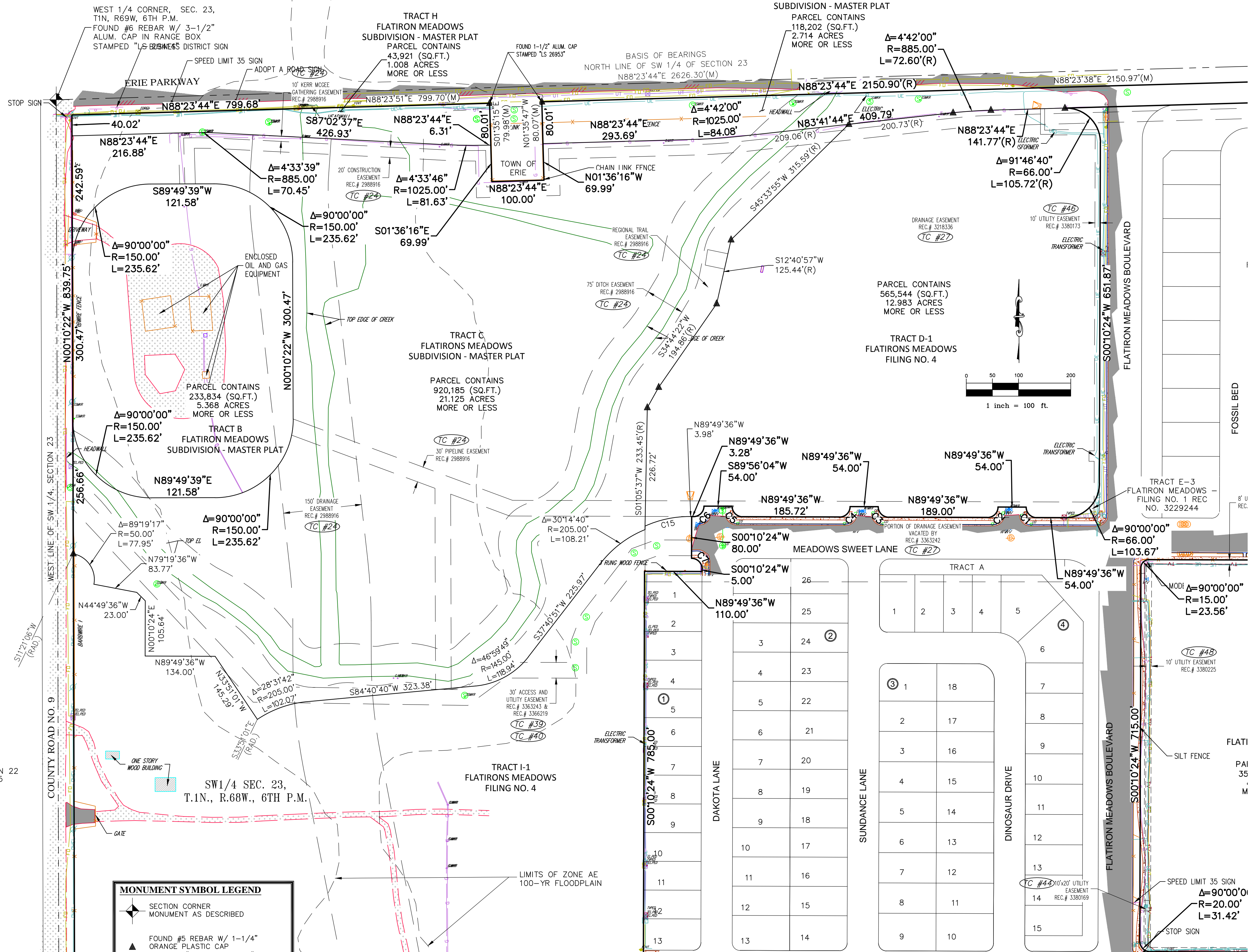
SHEET
2
OF 6 SHEETS

23415-18
JOB NO.

ALTA/ACSM LAND TITLE SURVEY

A PARCEL LOCATED IN THE SOUTHWEST QUARTER OF SECTION 23 AND THE NORTHWEST QUARTER OF SECTION 26,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

- ### LEGEND
- SANITARY CLEANOUT
 - SANITARY MANHOLE
 - SANITARY MKR POST
 - SANITARY UNDERGROUND RIPRAP
 - STORM LINE UNDERGROUND
 - STORM INLET
 - STORM FES
 - STORM MANHOLE
 - WATER FIRE HYDRANT
 - WATER LINE MKR
 - WATER LINE UNDERGROUND
 - WATER MANHOLE
 - WATER VALVE
 - ELECTRIC METER
 - ELECTRIC PEDESTAL
 - ELECTRIC POLE
 - ELECTRIC TRANSFORMER
 - ELECTRIC UNDERGROUND
 - ELECTRIC OVERHEAD
 - GUY WIRE
 - LIGHT POLE
 - ELECTRIC VAULT
 - TELEPHONE LINE UNDERGROUND
 - TELEPHONE PEDESTAL
 - FIBER OPTIC UNDERGROUND
 - FIBER OPTIC MKR
 - FIBER OPTIC VAULT
 - CABLE TV PEDESTAL
 - GAS LINE UNDERGROUND
 - GAS MKR POST
 - VENT PIPE
 - GRADE BREAK
 - TOP OF SLOPE
 - FENCE
 - GATE
 - HANDICAP RAMP
 - SIDEWALK
 - DRIVEWAY
 - EDGE ASPHALT
 - EDGE CONCRETE
 - EDGE ROAD
 - CURB TOP BACK
 - FLOWLINE
 - PAN
 - BOLLARD
 - GUARD RAIL
 - SIGN
 - BUILDING
 - COLUMN
 - WALL
- ### TYPICAL
- TOP BACK OF CURB
 - SIDEWALK
 - HANDICAP RAMP



SEE SHEET 4

SCALE	DATE	BY	REVISION DESCRIPTION
1"=100'	8/19/2015	JRW	
		JEL	

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ALTA/ACSM LAND TITLE SURVEY

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SCALE	1"=100'
DATE	8/19/2015
APPV	
REVISION DESCRIPTION	
DATE	
BY	

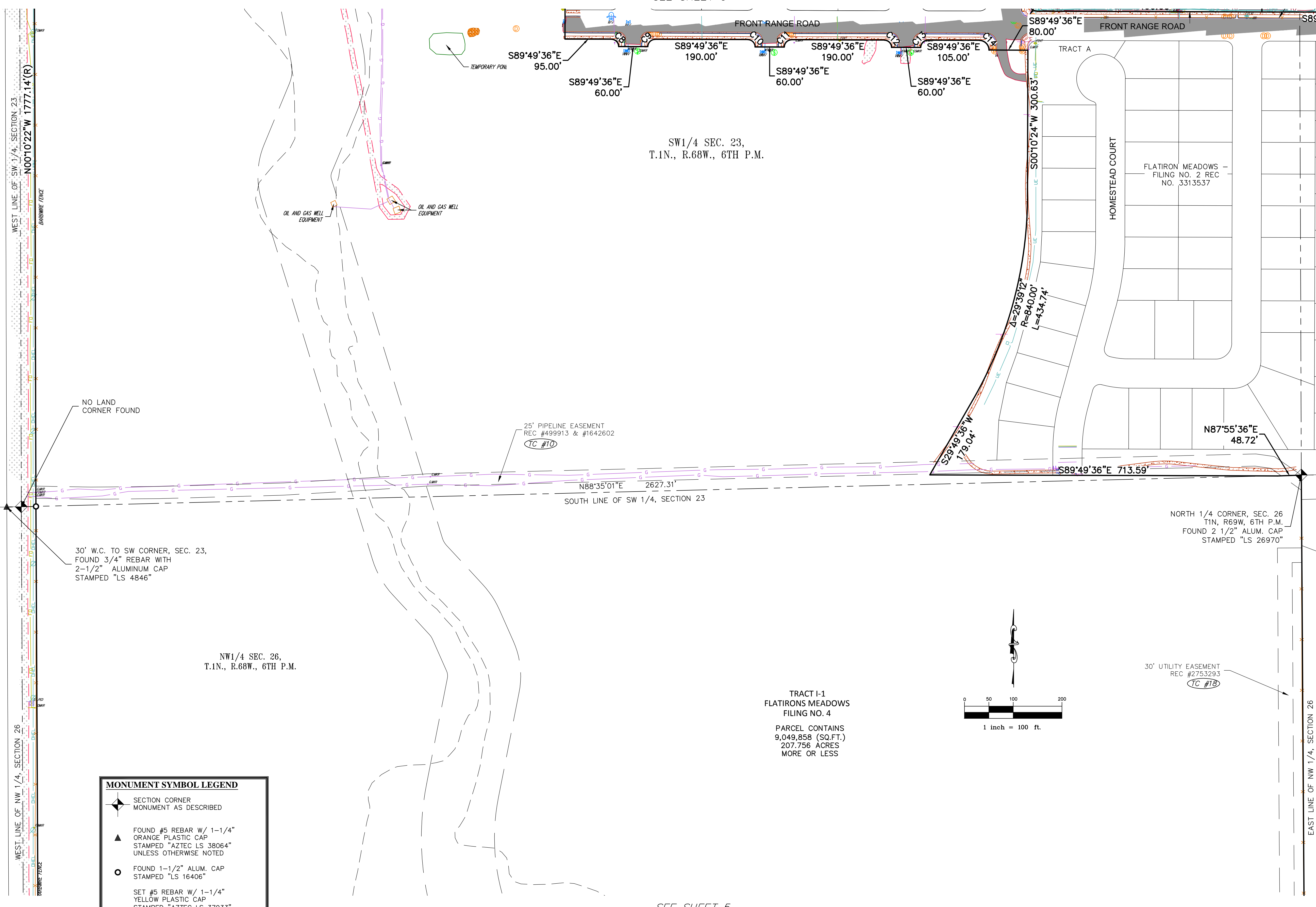
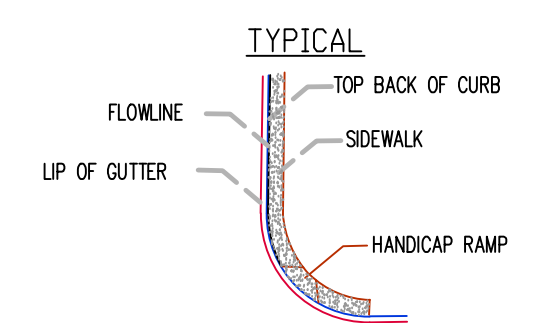
AZTEC
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SW1/4 23, NW1/4 26, T1N, R69W, 6TH P.M.

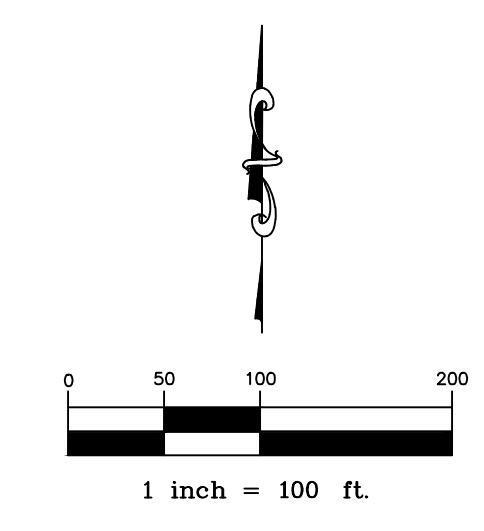
PREPARED FOR
ERIE, COLORADO
CALIBRE ENGINEERING
8090 S. RIDGELINE BLVD., SUITE 105, HIGHLANDS RANCH, CO 80129

- ### LEGEND
- SANITARY CLEANOUT
 - SANITARY MANHOLE
 - SANITARY MKR POST
 - SANITARY UNDERGROUND
 - RIPRAP
 - STORM LINE UNDERGROUND
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 - GUY WIRE
 - LIGHT POLE
 - ELECTRIC VAULT
 - TELEPHONE LINE UNDERGRC
 - TELEPHONE PEDESTAL
 - FIBER OPTIC UNDERGROUND
 - FIBER OPTIC MKR
 - FIBER OPTIC VAULT
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 - EDGE CONCRETE
 - EDGE ROAD
 - CURB TOP BACK
 - FLOWLINE
 - PAN
 - BOLLARD
 - GUARD RAIL
 - SIGN
 - BUILDING
 - COLUMN
 - WALL



MONUMENT SYMBOL LEGEND

- SECTION CORNER MONUMENT AS DESCRIBED
- FOUND #5 REBAR W/ 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC LS 38064" UNLESS OTHERWISE NOTED
- FOUND 1-1/2" ALUM. CAP STAMPED "LS 16406"
- SET #5 REBAR W/ 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC LS 37933"
- (R) RECORDED BEARING AND DISTANCE
- (M) MEASURED BEARING AND DISTANCE



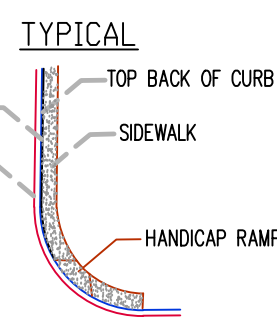
ALTA/ACSM LAND TITLE SURVEY

A PARCEL LOCATED IN THE SOUTHWEST QUARTER OF SECTION 23 AND THE NORTHWEST QUARTER OF SECTION 26,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
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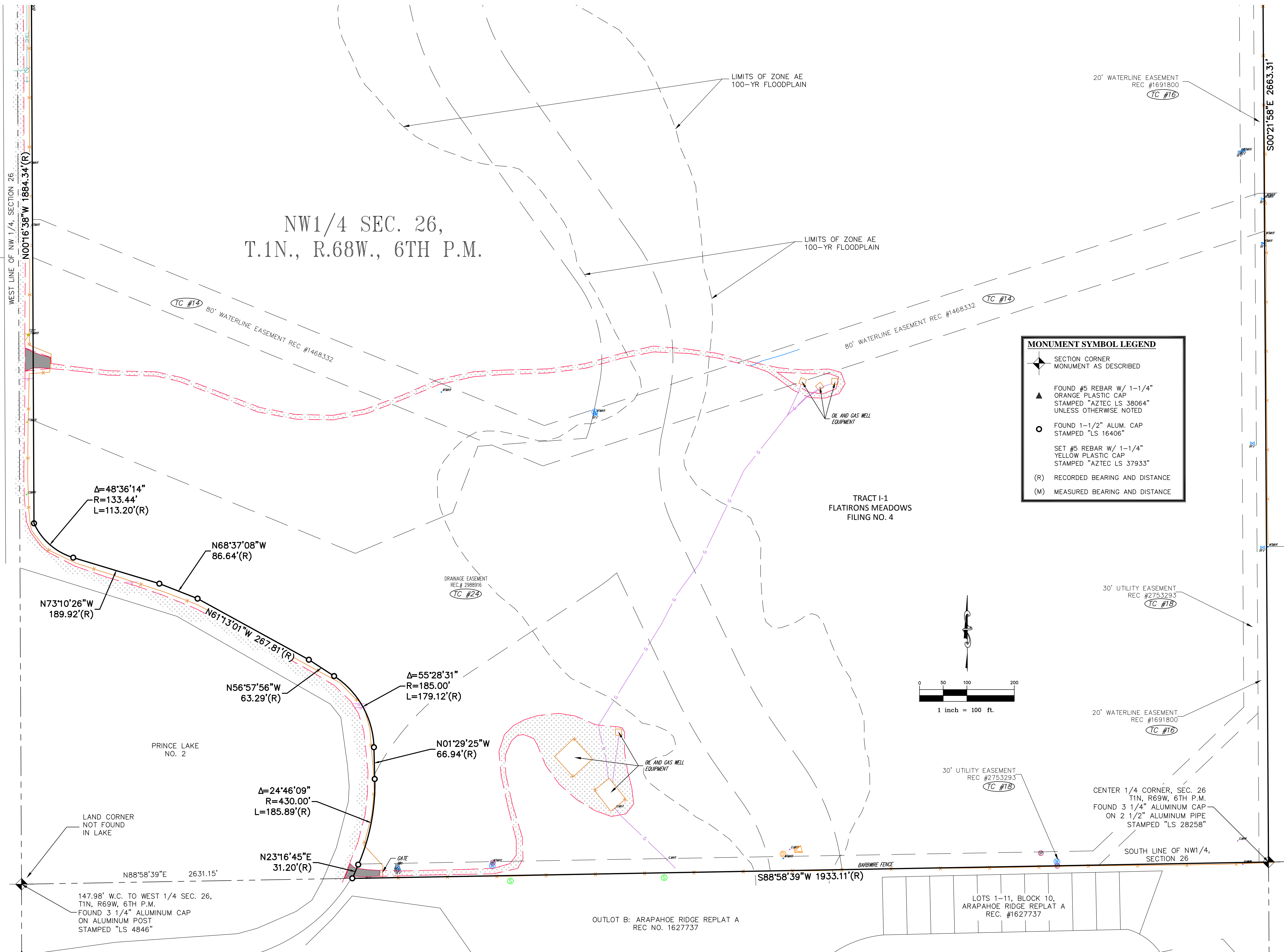
SEE SHEET 4

LEGEND

- SANITARY CLEANOUT
- SANITARY MANHOLE
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- SANITARY UNDERGROUND
- RIPRAP
- STORM LINE UNDERGROUND
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- BOLLARD
- GUARD RAIL
- SIGN
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- COLUMN
- WALL



UNPLATTED
SE $\frac{1}{4}$, NE $\frac{1}{4}$ LESS
30 ACRE RES. &
1.42 ACRES IN NE $\frac{1}{4}$, SE $\frac{1}{4}$
SECTION 27



SCALE	1"=100'	DATE	8/19/2015
APPV		DATE	
BY		DATE	
REVISION	DESCRIPTION	DATE	

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ALTA/ACSM LAND TITLE SURVEY
SW1/4 23, NW1/4 26, T1N, R69W, 6TH P.M.
ERIE, COLORADO

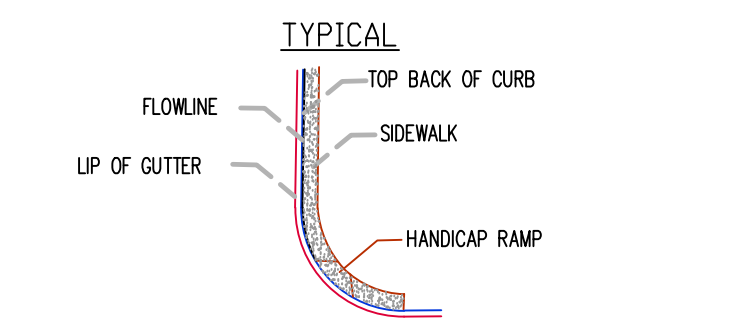
PREPARED FOR
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9090 S. RIDGELINE BLVD., SUITE 105, HIGHLANDS RANCH, CO 80129

SHEET	5
OF	6 SHEETS
23415-18	
JOB NO.	

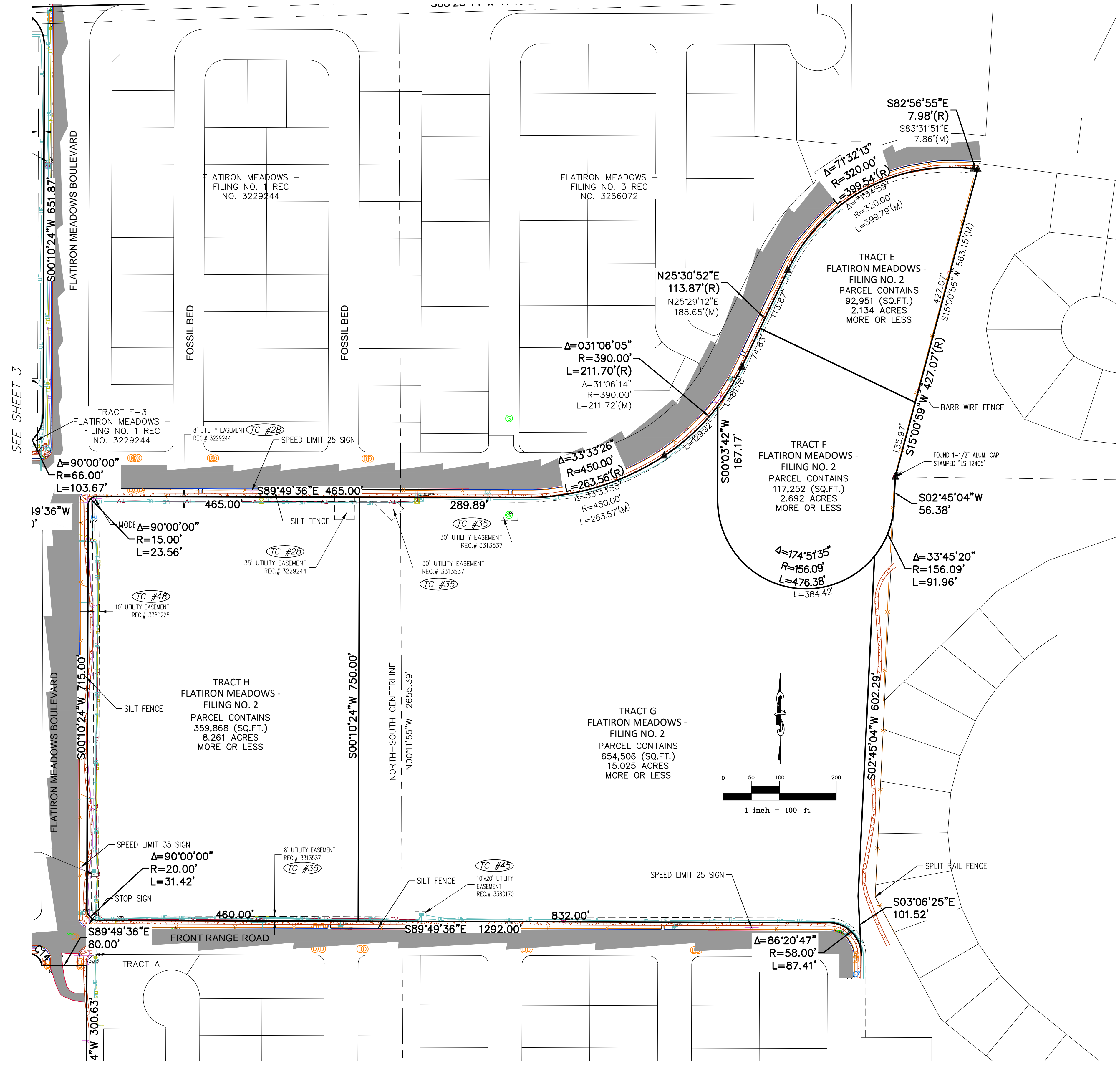
ALTA/ACSM LAND TITLE SURVEY

A PARCEL LOCATED IN THE SOUTHWEST QUARTER OF SECTION 23 AND THE NORTHWEST QUARTER OF SECTION 26,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
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- ### LEGEND
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 - EDGE ROAD
 - CURB TOP BACK
 - FLOWLINE
 - PAN
 - BOLLARD
 - GUARD RAIL
 - SIGN
 - BUILDING
 - COLUMN
 - WALL



- ### MONUMENT SYMBOL LEGEND
- SECTION CORNER MONUMENT AS DESCRIBED
 - FOUND #5 REBAR W/ 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC LS 38064" UNLESS OTHERWISE NOTED
 - FOUND 1-1/2" ALUM. CAP STAMPED "LS 16406"
 - SET #5 REBAR W/ 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC LS 37933"
 - (R) RECORDED BEARING AND DISTANCE
 - (M) MEASURED BEARING AND DISTANCE



SCALE	1"=100'
DATE	8/19/2015
APPV	
BY	
DATE	
REVISION DESCRIPTION	

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ERIE, COLORADO

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CALIBRE ENGINEERING
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