

# SUNSET PRELIMINARY PLAT

## AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO

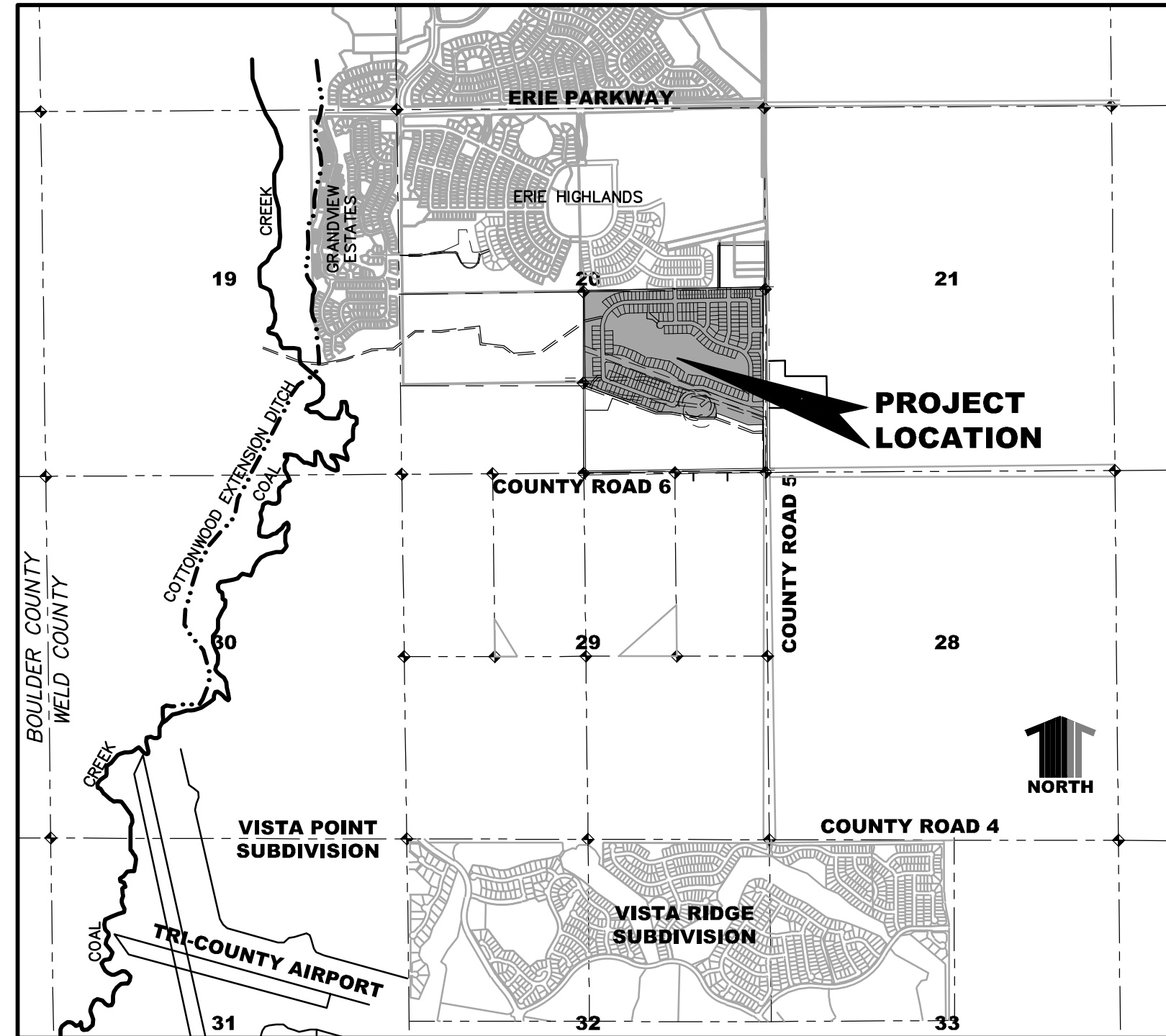
### 103.83 ACRES - 238 LOTS - 23 TRACTS PP-000838-2016

#### LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO.  
A REPLAT OF TRACT A AS DEFINED BY THE SUNSET-MINOR SUBDIVISION PLAT RECEPTION NUMBER 3916652.  
CONTAINING 4,522,901 SQUARE FEET OR 103.832 ACRES MORE OR LESS.

LAND SUMMARY CHART			
LAND USES	DWELLING UNITS	AREA/ACRES	% OF TOTAL AREA
<b>HOUSING DIVERSITY:</b>			
DUPLEX	24	2.74	2.64%
5,000 -9,999- SF LOTS	204	35.20	33.90%
10,000-39,999-SF LOTS	10	2.50	2.41%
SUB TOTAL	238	40.44	38.95%
<b>PARK LAND:</b>			
	REQUIRED	PROVIDED	
POCKET PARKS (H, R, U)	0.34	4.53	4.36%
NEIGHBORHOOD PARKS	2.03	FEE *	
COMMUNITY PARKS	3.39	BUILDING PERMIT FEE	
COMMON/LANDSCAPE AREA	0.00	4.74	4.57%
SUB TOTAL	5.76	9.27	8.93%
<b>OPEN SPACE:</b>			
	REQUIRED	PROVIDED	
CREDITED (TRACTS C AND G)	11.53	26.81	25.82%
OIL/GAS (TRACT T)		4.91	4.73%
DRAINAGE (TRACT F)		2.55	2.45%
PUBLIC ACCESS TRACTS		2.14	2.06%
SUB TOTAL	11.53	36.41	35.07%
<b>STREETS:</b>			
LOCAL ROW		17.71	17.06%
SUB TOTAL		17.71	17.06%
<b>TOTAL</b>	<b>238 DU's</b>	<b>103.83</b>	<b>100.00%</b>

\*NEIGHBORHOOD PARK LAND AND DEVELOPMENT CONSTRUCTION COST FEE.



#### VICINITY MAP

SCALE: 1"=2000'

#### BENCHMARK:

BENCHMARK JR 53 5026: USGS BRASS DISK IN TOP OF A SQUARE CONCRETE MONUMENT LOCATED 42 FEET NORTH FROM THE CENTERLINE OF WELD COUNTY ROAD 8, 33 FEET EAST-NORTHEAST FROM THE EAST RAIL, 11 FEET NORTH FROM A FENCE CORNER AND 2.5 FEET SOUTH FROM A WITNESS POST. NAVD 1988 DATUM. ELEVATION=5028.04.

#### BASIS OF BEARINGS:

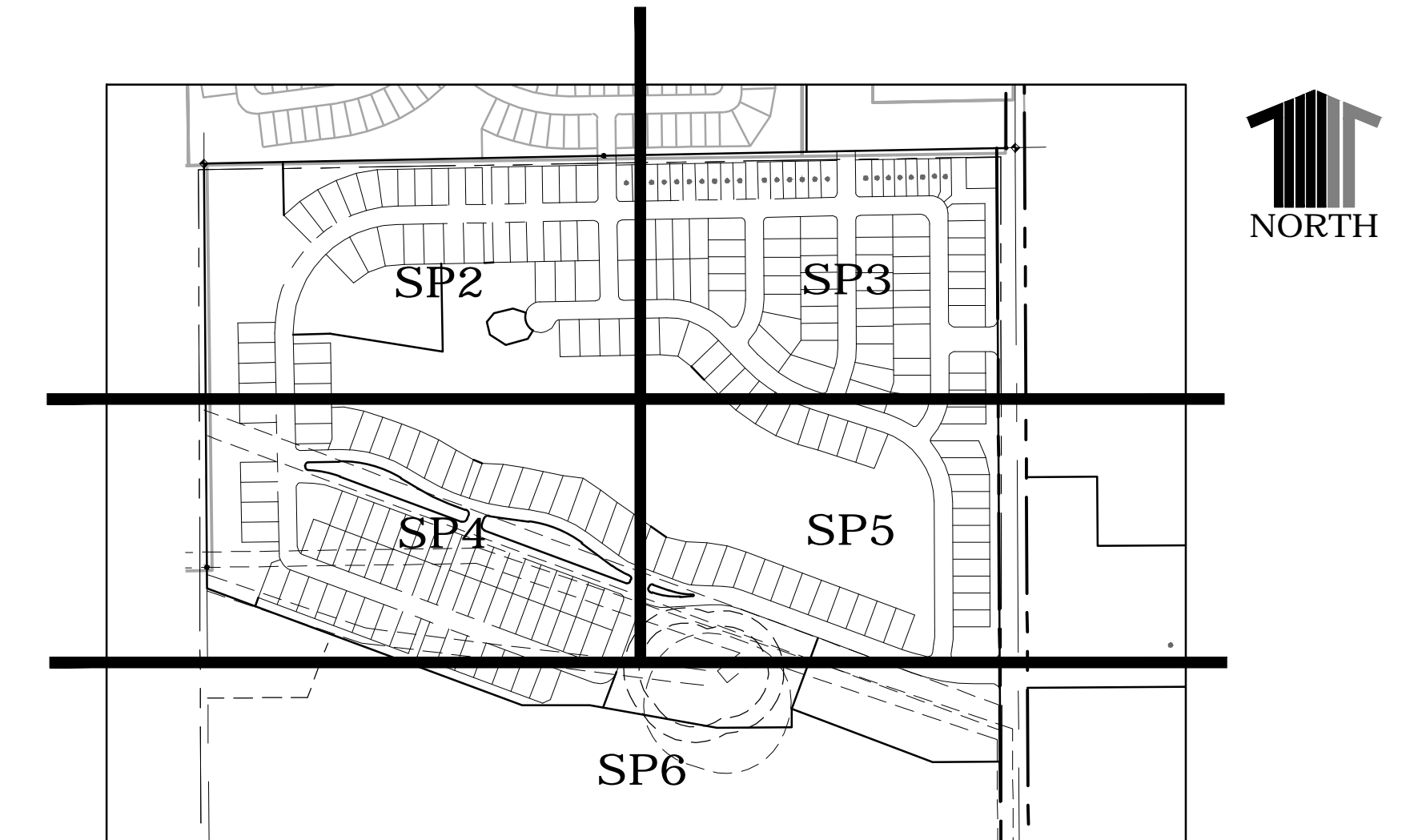
BASIS OF BEARINGS IS THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 20, BEING S89°22'52"W, AND MONUMENTED AS SHOWN.

#### NOTES:

- ALL TRACTS WITH THE EXCEPTION OF TRACT T, SHALL HAVE PUBLIC ACCESS EASEMENTS.
- AN AVIGATION EASEMENTS COVERS THE ENTIRE PROPERTY PER EASEMENT RECORDED ON 11/26/07, RECEPTION NO. 3519430.
- HOUSING DIVERSITY  
HOUSING TYPES  
1. SINGLE FAMILY  
2. NEXT GENERATION HOMES  
HOUSING VARIATION/LOT SIZES  
1. 5,000 SF TO 9,999 SF  
2. 10,000 SF TO 39,999 SF

#### SHEET INDEX

T1	1	TITLE SHEET
SP1	2	SITE PLAN/PHASING
SP2-SP7	3-8	SITE PLAN
TY1	9	TYPICAL SECTIONS
EC1	10	EXISTING CONDITIONS
GR1-GR3	11-13	GRADING PLANS
OU1	14	OFF-SITE UTILITY PLAN
OU2-OU3	15-16	OVERALL UTILITY PLAN
16 TOTAL SHEETS		



#### KEYMAP

TRACT SUMMARY CHART				
TRACT	AREA (AC.)	USE	OWNERSHIP	MAINTENANCE
TRACT A	1.146	PUBLIC ACCESS ESMT/LANDSCAPE BUFFER/DRAINAGE	METRO DISTRICT	METRO DISTRICT
TRACT B	0.602	PUBLIC ACCESS ESMT/LANDSCAPE BUFFER/DRAINAGE	METRO DISTRICT	METRO DISTRICT
TRACT C	6.238	PUBLIC ACCESS ESMT/SPINE TRAIL/OPEN SPACE/DRAINAGE	METRO DISTRICT	METRO DISTRICT
TRACT D	0.090	PUBLIC ACCESS ESMT/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT E	0.303	PUBLIC ACCESS ESMT/LANDSCAPE BUFFER/TRAIL	METRO DISTRICT	METRO DISTRICT
TRACT F	2.547	DRAINAGE	METRO DISTRICT	METRO DISTRICT
TRACT G	20.574	PUBLIC LAND DEDICATION	METRO DISTRICT	METRO DISTRICT
TRACT H	0.281	POCKET PARK	METRO DISTRICT	METRO DISTRICT
TRACT J	0.167	PUBLIC ACCESS ESMT/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT K	0.053	LANDSCAPE BUFFER	METRO DISTRICT	METRO DISTRICT
TRACT L	1.290	PUBLIC ACCESS ESMT/LANDSCAPE BUFFER	METRO DISTRICT	METRO DISTRICT
TRACT M	0.085	PUBLIC ACCESS ESMT/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT N	0.176	PUBLIC ACCESS ESMT/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT O	0.653	PUBLIC ACCESS ESMT	METRO DISTRICT	METRO DISTRICT
TRACT P	0.741	PUBLIC ACCESS ESMT	METRO DISTRICT	METRO DISTRICT
TRACT Q	0.058	PUBLIC ACCESS ESMT	METRO DISTRICT	METRO DISTRICT
TRACT R	0.439	POCKET PARK	METRO DISTRICT	METRO DISTRICT
TRACT S	0.165	PUBLIC ACCESS ESMT/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT T	4.912	OIL/GAS OPERATIONS	METRO DISTRICT	METRO DISTRICT
TRACT U	3.811	POCKET PARK	METRO DISTRICT	METRO DISTRICT
TRACT V	1.120	LANDSCAPE BUFFER/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT W	0.973	PUBLIC ACCESS ESMT/LANDSCAPE BUFFER/UTILITIES	METRO DISTRICT	METRO DISTRICT
TRACT X	0.230	LANDSCAPE BUFFER/UTILITIES	METRO DISTRICT	METRO DISTRICT
TOTAL	46.654			

#### KEY CONTACTS:

**OWNER/APPLICANT:**  
FS ERIE ESTATES, LLC.  
9754 SUNSET HILL DRIVE  
LONE TREE CO 80124  
PHONE: (303) 591-1321

**CIVIL ENGINEERING:**  
CALIBRE ENGINEERING INC.  
9090 S. RIDGELINE BLVD., SUITE 105  
HIGHLANDS RANCE, CO 80129  
PHONE: (303) 730-0434  
FAX: (303) 730-1139

**PLANNER/LANDSCAPING ARCHITECT**  
THE HENRY DESIGN GROUP  
1501 WAZEE STREET, SUITE 1-C  
DENVER, CO. 80202  
PHONE: (303) 446-2368  
FAX: (303) 446-0958

PATH: P:\FSLAND SUNSET\CADD\CIVIL\21-PRELIMINARY PLAT\21T1.DWG  
 PLOTTED BY: Brian Moss PLOT DATE: 1/24/2020 11:24 AM  
 XREFS: 21TB\_21 VICINITY MAP\_20BASE

DATE	REVISION DESCRIPTION
1/24/2020	21 VICINITY MAP_20BASE

Drawing Name 21T.dwg		 1 inch = 50 ft. Horizontal	
Job Number FSLAND SUNSET		Designer BKM	Drafter BRR
Prepared For FS ERIE ESTATES, LLC	Checked TAJ		

Calibre Engineering, Inc.  
9090 South Ridgeline Boulevard, Suite 105  
Highlands Ranch, CO 80129 (303) 730-0434  
www.calibre-engineering.com  
Construction Management Civil Engineering Surveying

## SUNSET PRELIMINARY PLAT TITLE SHEET

Sheet <b>T1</b>	1 of 16
Date JULY 31, 2019	

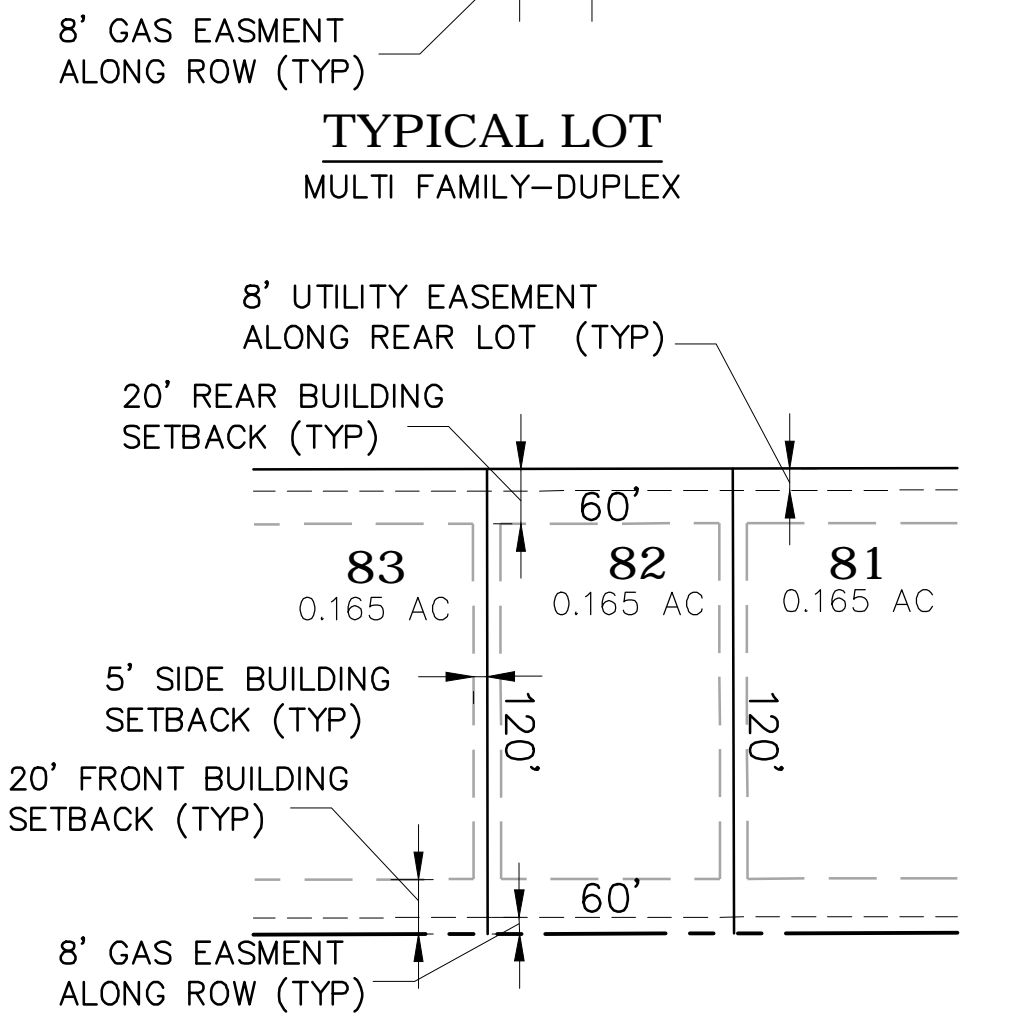
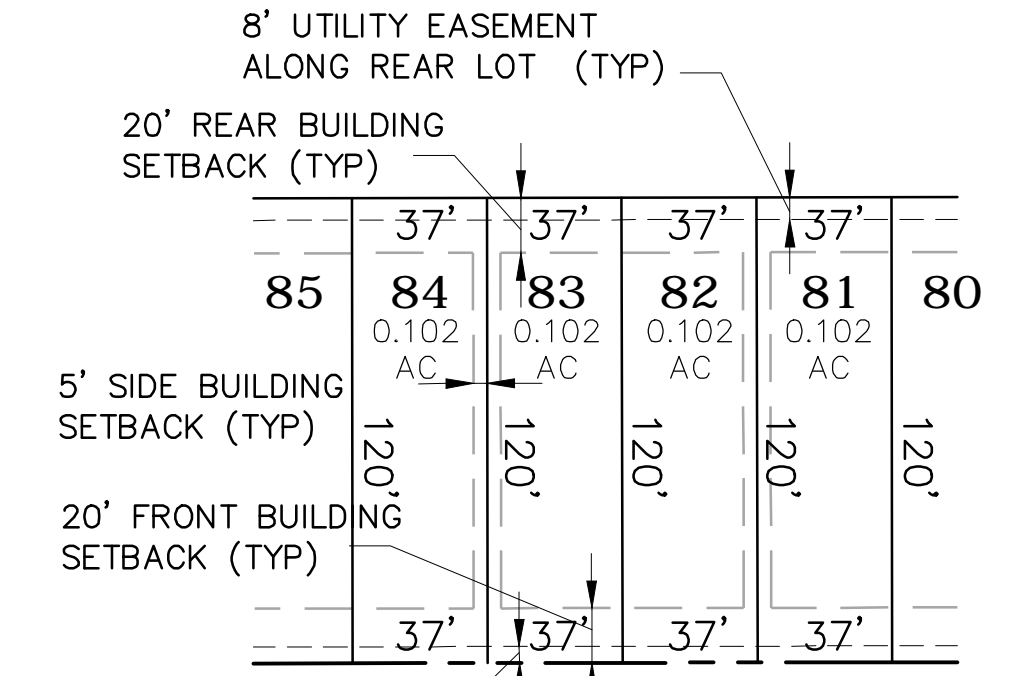
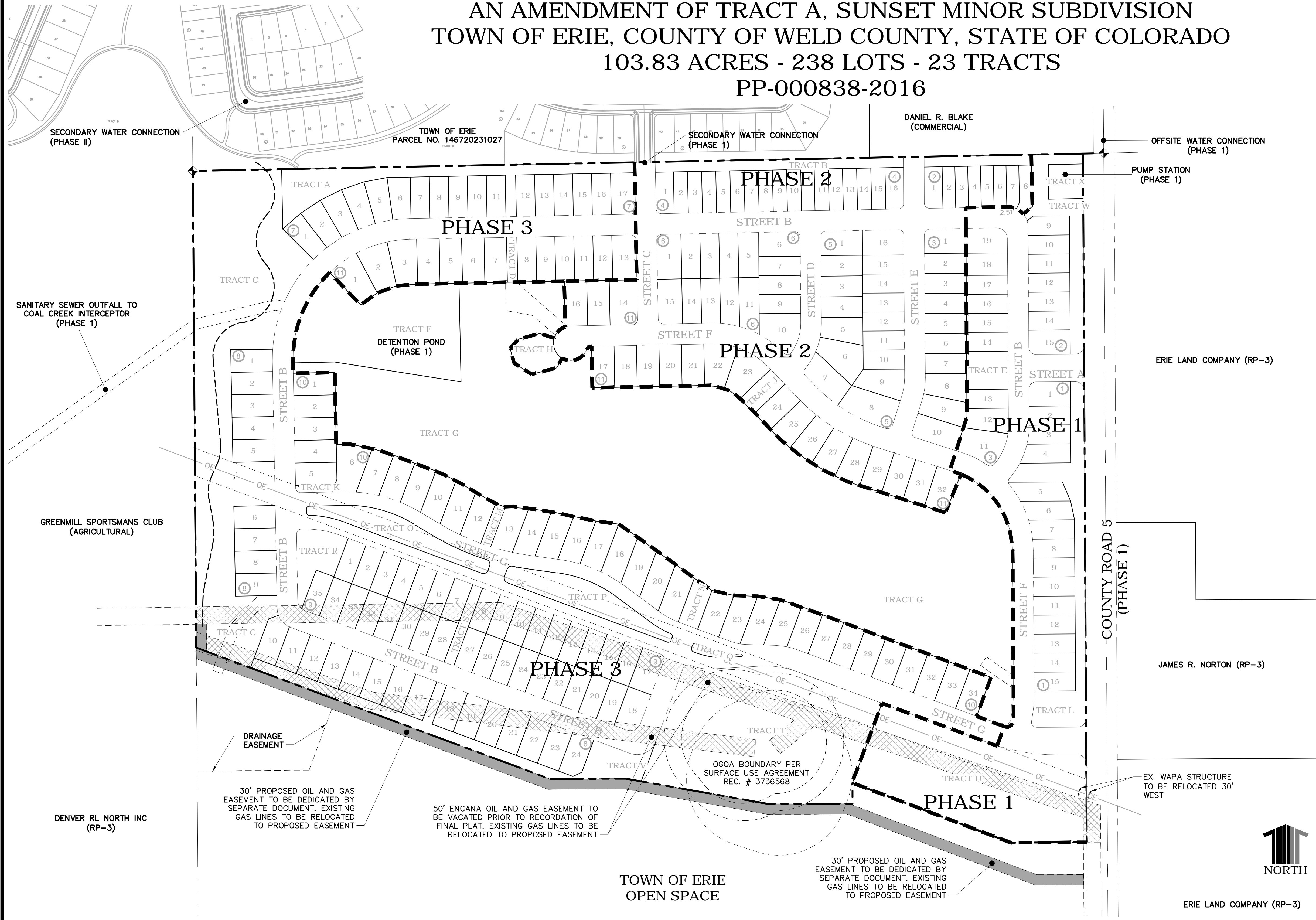
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### TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO

#### 103.83 ACRES - 238 LOTS - 23 TRACTS

#### PP-000838-2016



**LEGEND:**  
 PHASE LINE

**WAPA TRANSMISSION LINE NOTES:**

1. THE UNITED STATES ELECTRIC TRANSMISSION LINE EASEMENTS ARE RESTRICTED AREAS AND ALL CONSTRUCTION ACTIVITIES WITHIN SAID EASEMENTS SHOULD BE COORDINATED WITH WESTERN AREA POWER ADMINISTRATION, P.O. BOX 3700, LOVELAND, COLORADO 80539-3003 (970-461-7200).
2. NO TREES AND NO VEGETATION THAT EXCEEDS 10 FEET IN HEIGHT AT MATURITY IS ALLOWED WITHIN THE EASEMENT.
3. NO BUILDINGS OR OTHER STRUCTURES ARE ALLOWED WITHIN THE TRANSMISSION LINE EASEMENT AREAS.
4. A MINIMUM OVERHEAD CLEARANCE OF 16 FEET FROM THE TRANSMISSION LINE CONDUCTORS MUST BE MAINTAINED AT ALL TIMES.
5. INDUCED VOLTAGES AND CURRENTS MAY OCCUR ON THE FACILITY CONSTRUCTED OR PLACED UNDER OR NEAR HIGH VOLTAGE TRANSMISSION LINES. THE OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF PERSONNEL AND EQUIPMENT IN THEIR DESIGN, CONSTRUCTION, OPERATION AND MAINTENANCE OF THE FACILITY.
6. ANY CHANGES IN EXISTING TOPOGRAPHY MUST BE COORDINATED AND APPROVED BY WESTERN. EXCAVATION IS NOT PERMITTED WITHIN 20 FEET OF ANY TRANSMISSION LINE STRUCTURE.
7. OWNER SHALL NOT ERECT OR INSTALL FENCES ON OR ACROSS THE EASEMENT AREA WITHOUT COORDINATION AND APPROVAL BY WESTERN.

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 PLOTTED BY: Kyle Sarnford PLOT DATE: 1/13/2020 3:52 PM  
 XREFS: w-Core-PPN, 21-ANNO-TRACTS, 20EUT, 20PPN, 21-ANNO, 21-KMSP, 20BASE, 21TB

DATE	REVISION DESCRIPTION

Drawing Name	21SP1.dwg
Job Number	FSLAND SUNSET
Prepared For	FS ERIE ESTATES, LLC

Designer	BKM	Drafter	BRR	Checked	TAJ
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**SUNSET**  
 PRELIMINARY PLAT  
 SITE PLAN/PHASING PLAN

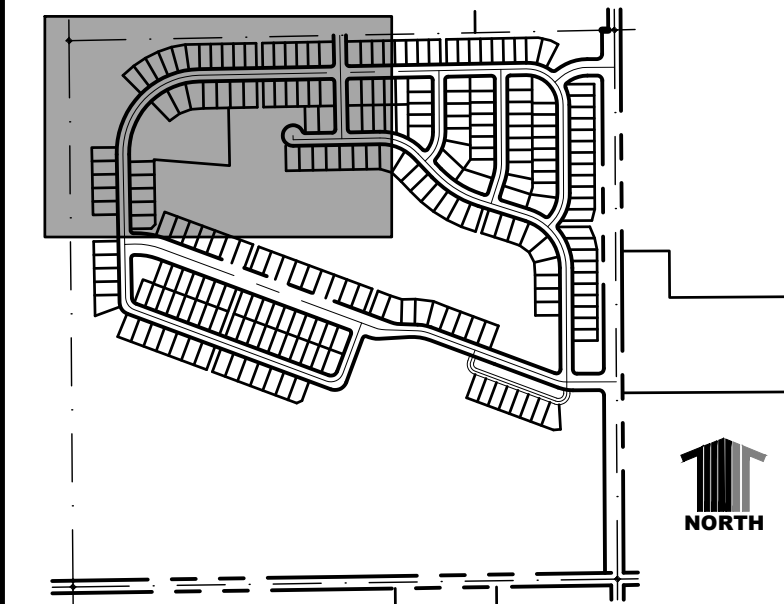
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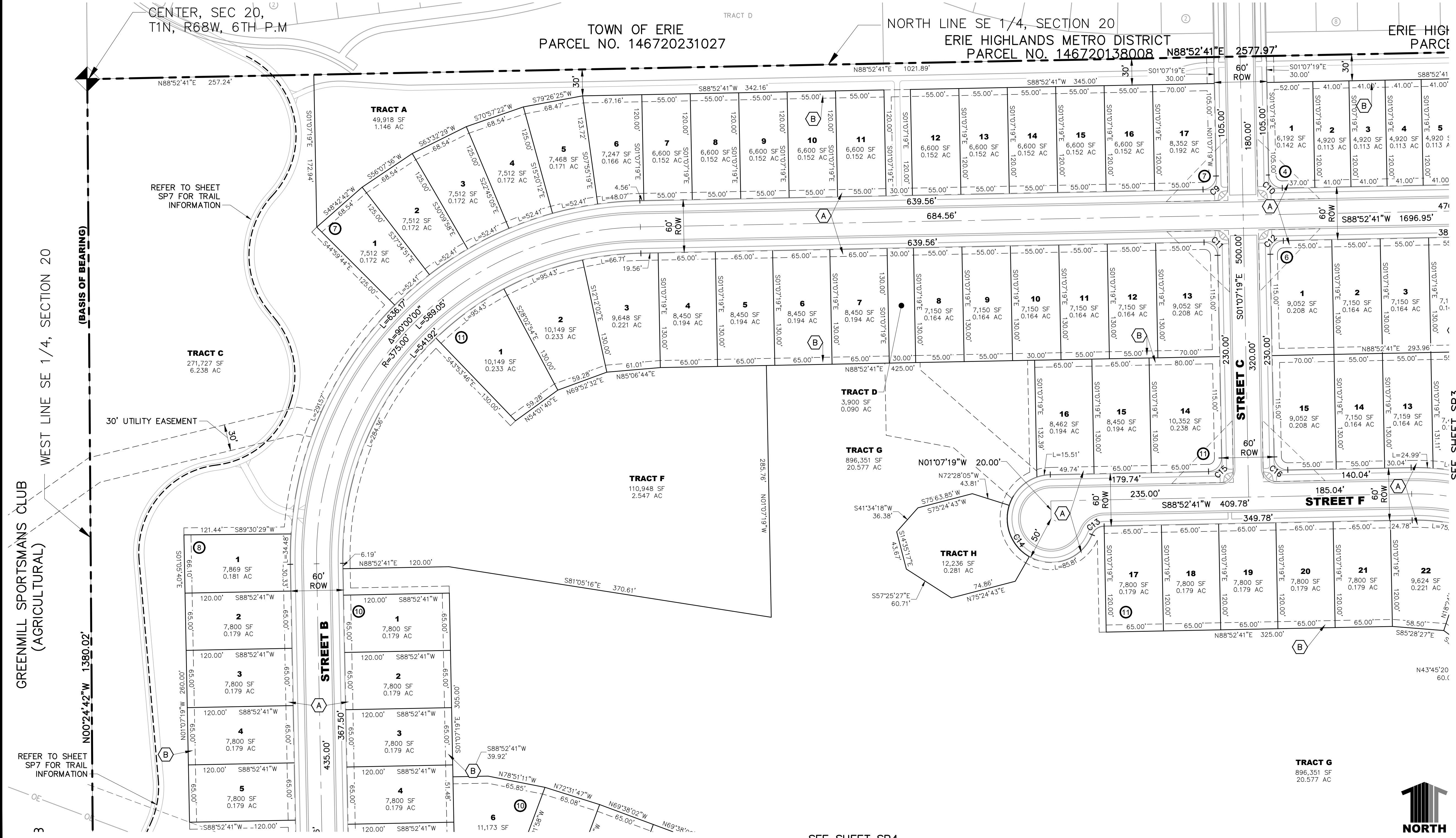
#### 103.83 ACRES - 238 LOTS - 23 TRACTS

#### PP-000838-2016



**KEYMAP**  
LEGEND:  
 (A) 8' UTILITY EASEMENT ADJACENT TO ALL RIGHT-OF-WAY  
 (B) 8' UTILITY EASEMENT ADJACENT TO ALL REAR PROPERTY LINES

CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA
C1	39.27'	25.00'	90°00'00"
C2	39.27'	25.00'	90°00'00"
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C8	23.35'	15.00'	89°11'31"
C9	23.56'	15.00'	90°00'00"
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C11	23.56'	15.00'	90°00'00"
C12	23.56'	15.00'	90°00'00"
C13	17.64'	15.00'	67°22'48"
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C16	23.56'	15.00'	90°00'00"
C17	26.49'	15.00'	101°11'32"
C18	21.84'	15.00'	83°24'50"
C19	23.56'	15.00'	90°00'00"
C20	23.56'	15.00'	90°00'00"
C21	21.79'	15.00'	83°13'23"
C22	21.17'	15.00'	80°52'32"
C23	23.56'	15.00'	90°00'00"
C24	23.56'	15.00'	90°00'00"
C25	69.35'	58.00'	68°30'44"
C26	38.26'	32.00'	68°30'44"
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DATE	REVISION DESCRIPTION

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1	0E

Drawing Name 21SP1.dwg	 1 inch = 60 ft. Horizontal		
Job Number FSLAND SUNSET	Designer BKM	Drafter BRR	Checked TAJ
Prepared For FS ERIE ESTATES, LLC			

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**SUNSET**  
**PRELIMINARY PLAT**  
**SITE PLAN**

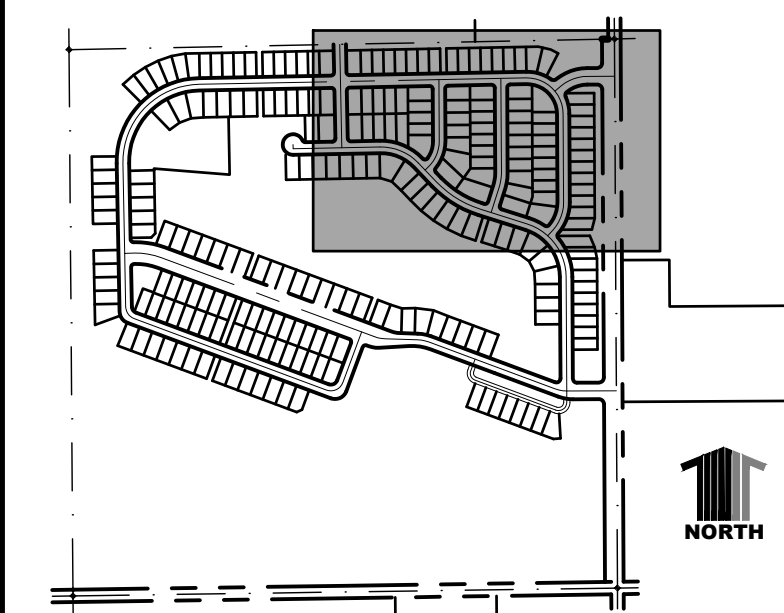
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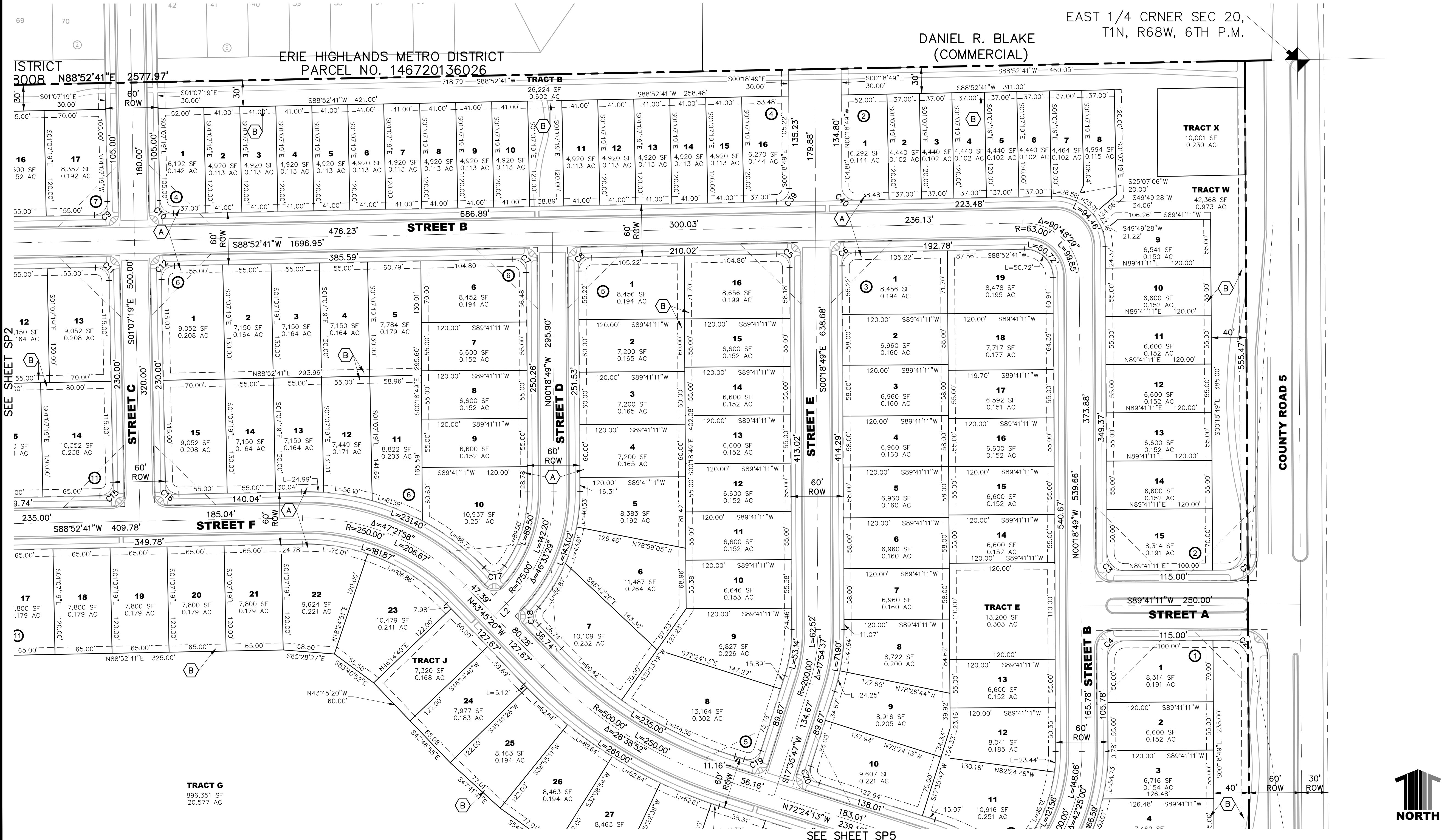
### TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO

#### 103.83 ACRES - 238 LOTS - 23 TRACTS

#### PP-000838-2016



**KEYMAP**  
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DATE	REVISION DESCRIPTION

Drawing Name 21SP1.dwg	0 30 60 120
Job Number FSLAND SUNSET	1 inch = 60 ft. Horizontal
Prepared For FS ERIE ESTATES, LLC	Designer BKM
	Drafter BRR
	Checked TAJ

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## SUNSET

### PRELIMINARY PLAT

### SITE PLAN

Sheet  
**SP3**  
of  
16

Date  
JULY 31, 2019

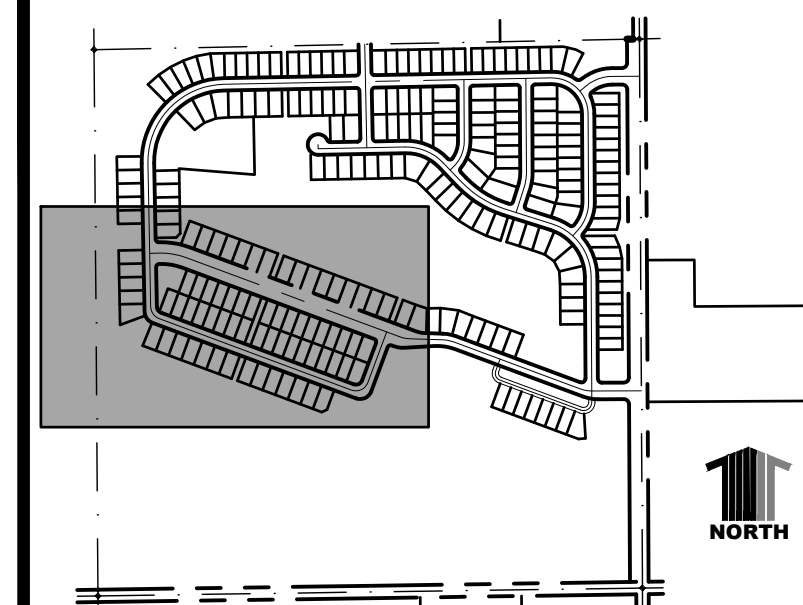
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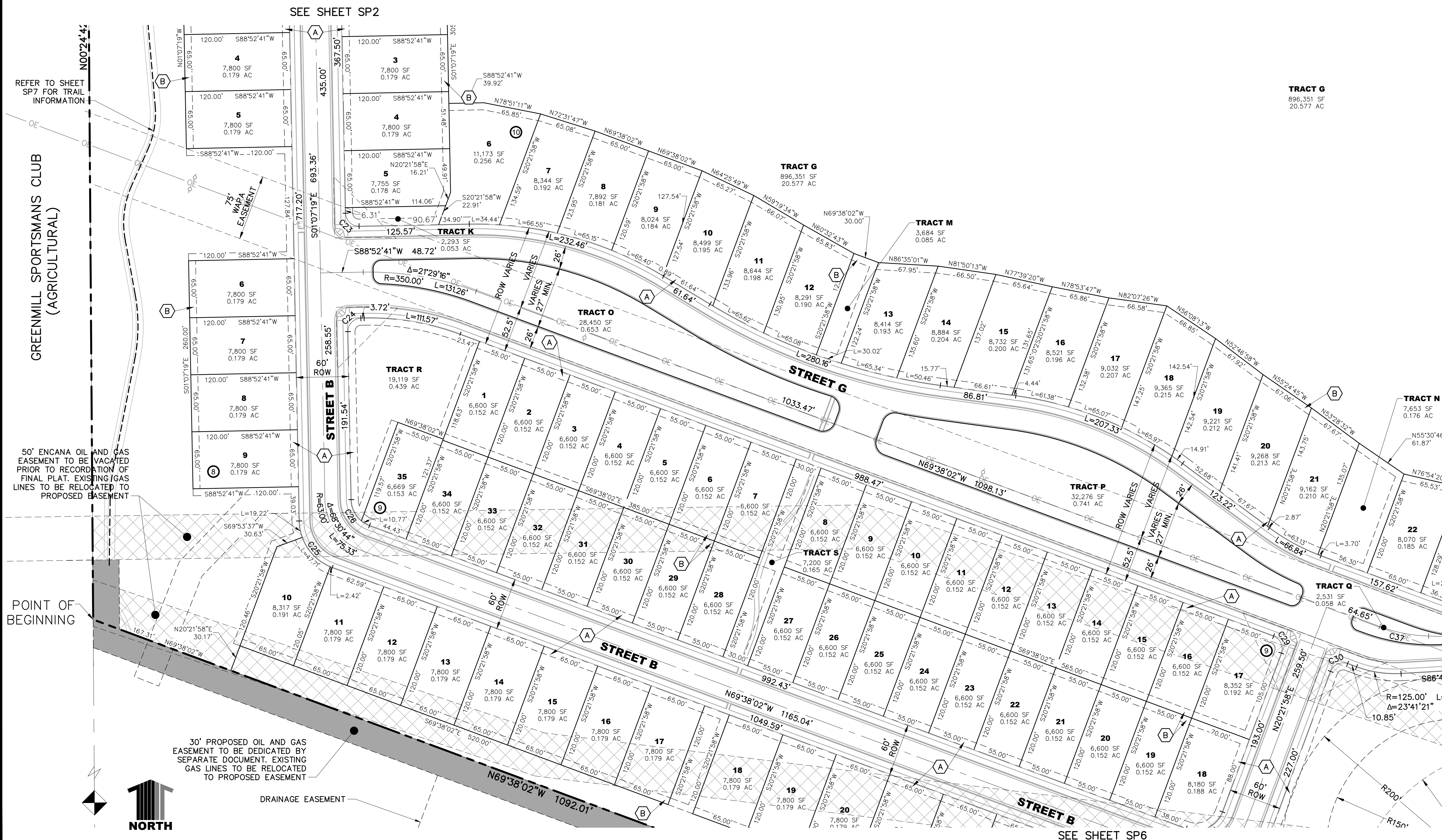
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#### KEYMAP

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DATE	REVISION DESCRIPTION

Drawing Name: 21SP1.dwg  
 Job Number: FSLAND SUNSET  
 Prepared For: FS ERIE ESTATES, LLC  
 Designer: BMK  
 Drafter: BRR  
 Checked: TAJ

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**SUNSET**  
**PRELIMINARY PLAT**  
**SITE PLAN**

Sheet  
**SP4**  
 of  
 16  
 Date  
 JULY 31, 2019

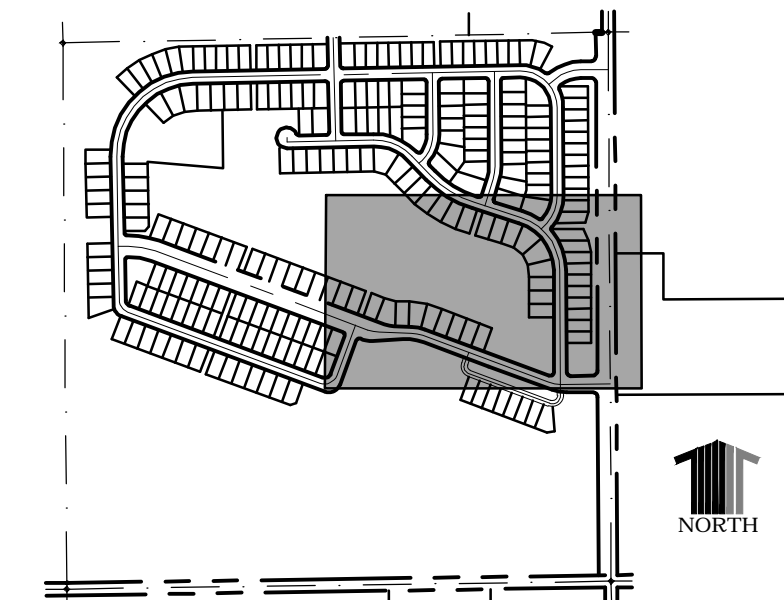
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- (A) 8' UTILITY EASEMENT ADJACENT TO ALL RIGHT-OF-WAY
- (B) 8' UTILITY EASEMENT ADJACENT TO ALL REAR PROPERTY LINES

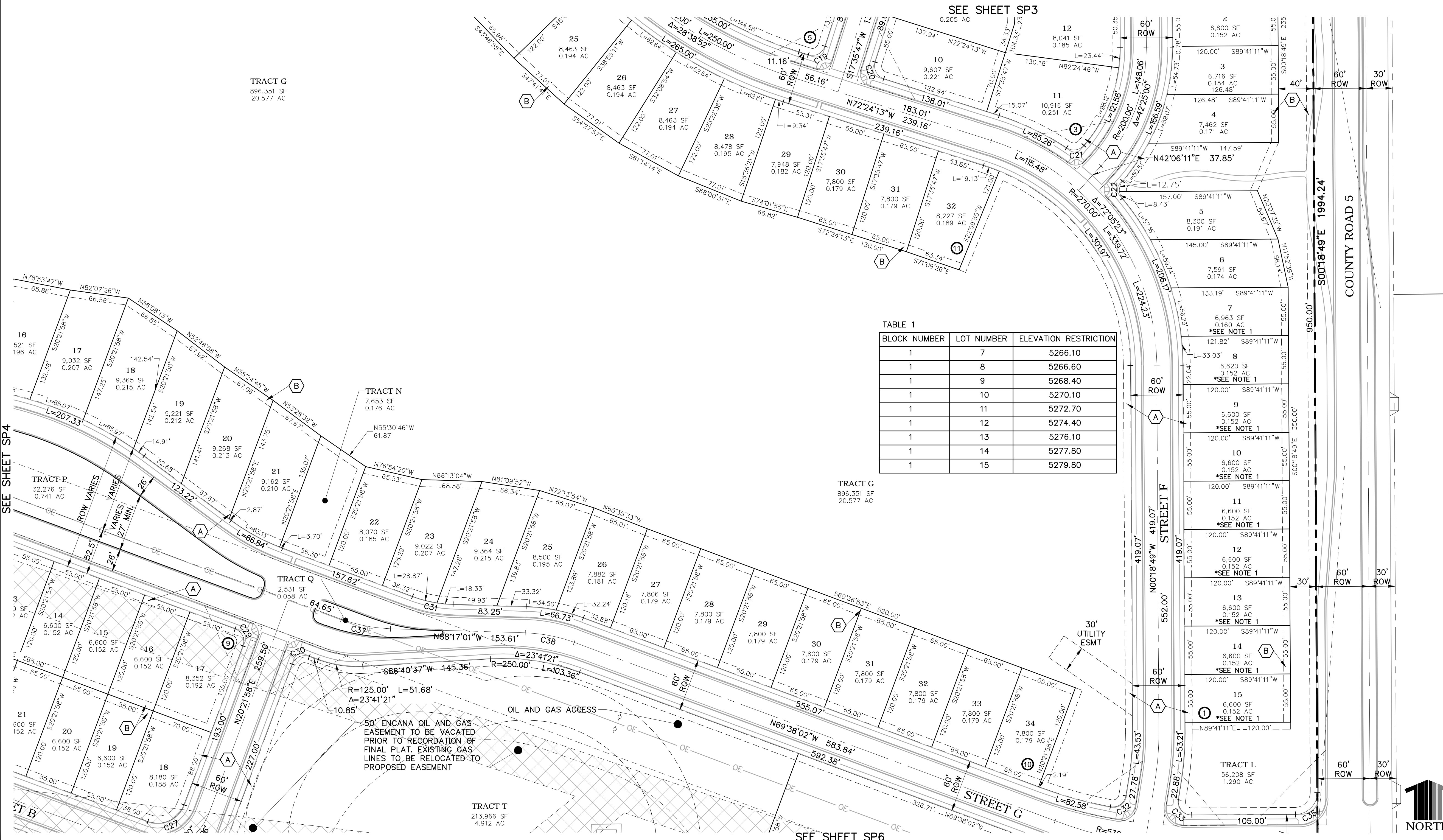
NOTES  
1. LOTS WITH \* HAVE HOUSE HEIGHT RESTRICTIONS AS DEFINED IN TABLE 1.

#### CURVE TABLE

CURVE NO.	LENGTH	RADIUS	DELTA
C1	39.27'	25.00'	90°00'00"
C2	39.27'	25.00'	90°00'00"
C3	31.42'	20.00'	90°00'00"
C4	31.42'	20.00'	90°00'00"
C5	23.77'	15.00'	90°48'29"
C6	23.35'	15.00'	89°11'31"
C7	23.77'	15.00'	90°48'29"
C8	23.35'	15.00'	89°11'31"
C9	23.56'	15.00'	90°00'00"
C10	23.56'	15.00'	90°00'00"
C11	23.56'	15.00'	90°00'00"
C12	23.56'	15.00'	90°00'00"
C13	17.64'	15.00'	67°22'48"
C14	215.88'	50.00'	247°22'48"
C15	23.56'	15.00'	90°00'00"
C16	23.56'	15.00'	90°00'00"
C17	26.49'	15.00'	101°11'32"
C18	21.84'	15.00'	83°24'50"
C19	23.56'	15.00'	90°00'00"
C20	23.56'	15.00'	90°00'00"
C21	21.79'	15.00'	83°13'23"
C22	21.17'	15.00'	80°52'32"
C23	23.56'	15.00'	90°00'00"
C24	23.56'	15.00'	90°00'00"
C25	69.35'	58.00'	68°30'44"
C26	38.26'	32.00'	68°30'44"
C27	50.27'	32.00'	90°00'00"
C28	91.11'	58.00'	90°00'00"
C29	23.56'	15.00'	90°00'00"
C30	23.56'	15.00'	90°00'00"
C31	47.20'	145.00'	18°38'58"
C32	24.01'	15.00'	91°43'33"
C33	26.11'	15.00'	99°44'55"
C34	206.63'	572.50'	20°40'47"
C35	39.27'	25.00'	90°00'00"
C36	39.27'	25.00'	90°00'00"
C37	56.96'	175.00'	18°38'58"
C38	56.96'	175.00'	18°38'58"
C39	23.35'	15.00'	89°11'31"
C40	23.77'	15.00'	90°48'29"

TABLE 1

BLOCK NUMBER	LOT NUMBER	ELEVATION RESTRICTION
1	7	5266.10
1	8	5266.60
1	9	5268.40
1	10	5270.10
1	11	5272.70
1	12	5274.40
1	13	5276.10
1	14	5277.80
1	15	5279.80



PATH: P:\FSLAND SUNSET\CADD\CIVIL\21-PPRE\PRELIMINARY PLAT\21SP1.DWG  
 PLOTTED BY: Brian Moss PLOT DATE: 1/30/2020 3:15 PM  
 XREFS: w-Core-PPN, 21ANNO-TRACTS, 20EUT, 20PPN, 21ANNO, 21KMSPP, 20BASE, 21TB.

DATE	REVISION	DESCRIPTION
	1	

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Drawing Name 21SP1.dwg		Job Number FSLAND SUNSET		Prepared For FS ERIE ESTATES, LLC	
Designer BMK	Drafter BRR	Checked TAJ			



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**SUNSET  
PRELIMINARY PLAT  
SITE PLAN**

Sheet <b>SP5</b>	6 of 16
Date JULY 31, 2019	



# SUNSET PRELIMINARY PLAT

## AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION

### TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO

#### 103.83 ACRES - 238 LOTS - 23 TRACTS

##### PP-000838-2016

**TRAIL GEOMETRY:**

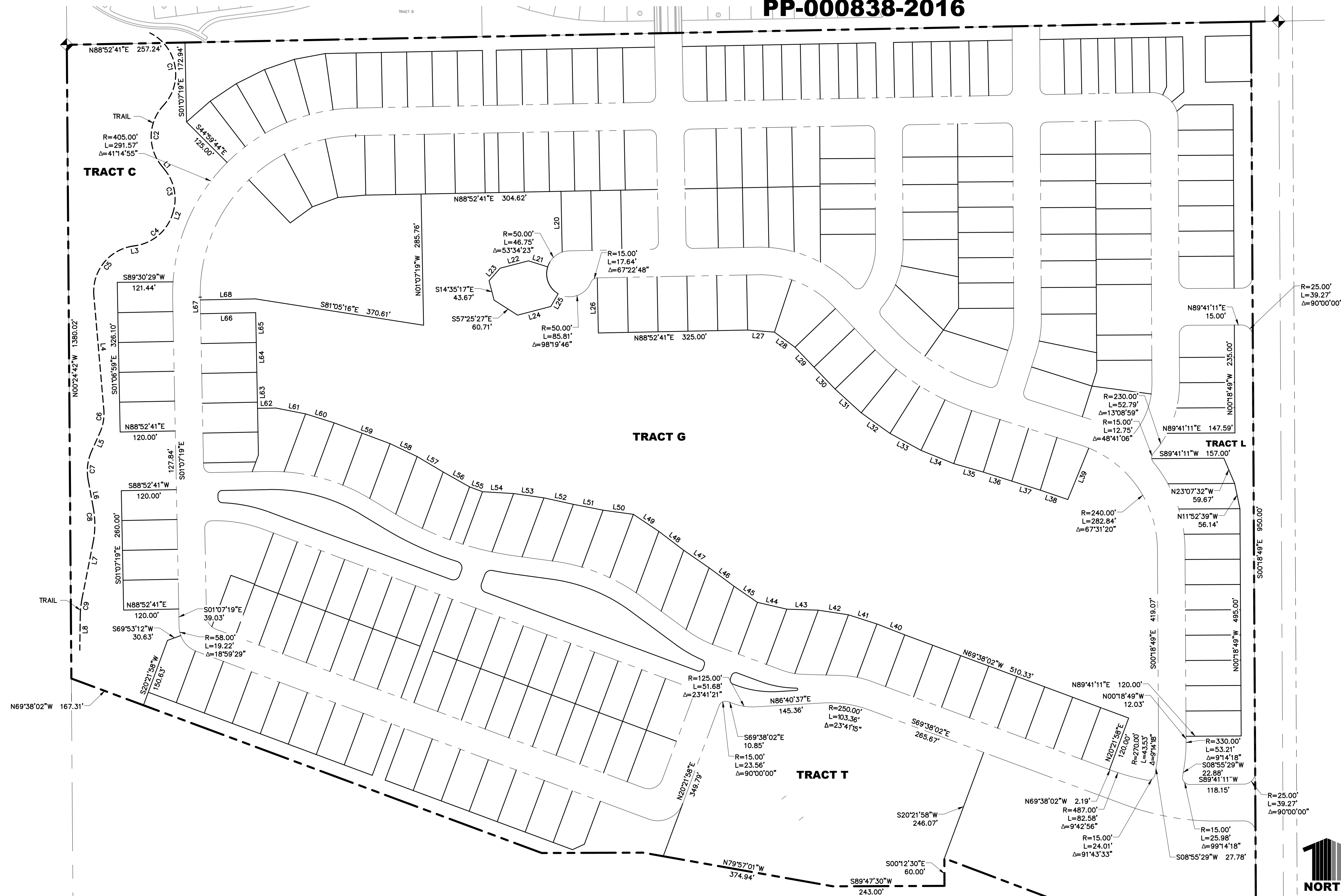
LINE TABLE		
TAG	LENGTH	DIRECTION
L1	12.53'	S38°52'17"E
L2	3.52'	S18°07'45"W
L3	1.64'	S82°41'54"W
L4	249.48'	S05°00'18"E
L5	45.10'	S24°06'20"W
L6	63.21'	S10°21'26"E
L7	125.34'	S11°08'00"W
L8	75.59'	S00°47'07"W

CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA
C1	186.37'	100.00'	106°47'04"
C2	142.36'	100.00'	81°33'49"
C3	99.48'	100.00'	57°00'02"
C4	112.69'	100.00'	64°34'09"
C5	153.07'	100.00'	87°42'12"
C6	50.81'	100.00'	29°06'38"
C7	63.16'	105.00'	34°27'46"
C8	75.02'	200.00'	21°29'26"
C9	36.12'	200.00'	10°20'53"

**TRACT G GEOMETRY:**

LINE TABLE		
TAG	LENGTH	DIRECTION
L20	132.39'	S01°07'19"E
L21	43.81'	S72°28'05"E
L22	63.85'	N75°24'43"E
L23	36.38'	N41°34'18"E
L24	74.86'	S75°24'43"W
L25	32.00'	S29°49'39"W
L26	120.00'	S01°07'19"E
L27	58.50'	S85°28'27"E
L28	55.50'	S53°40'52"E
L29	60.00'	S43°45'20"E
L30	65.98'	S43°46'55"E
L31	77.01'	S47°41'41"E
L32	77.01'	S54°27'57"E
L33	77.01'	S61°14'14"E
L34	77.01'	S68°00'31"E
L35	66.82'	S74°01'55"E
L36	65.00'	S72°24'13"E
L37	65.00'	S72°24'13"E
L38	63.34'	S71°09'26"E
L39	120.99'	N22°09'50"E
L40	74.68'	N68°35'33"W
L41	65.07'	N72°13'54"W
L42	66.34'	N81°09'52"W
L43	68.58'	N88°13'04"W
L44	65.53'	N76°54'20"W
L45	61.87'	N55°30'46"W
L46	67.67'	N53°28'32"W
L47	67.06'	N55°24'45"W
L48	67.92'	N52°46'58"W
L49	66.85'	N56°08'13"W

LINE TABLE		
TAG	LENGTH	DIRECTION
L50	66.58'	N82°07'26"W
L51	65.86'	N78°53'47"W
L52	65.64'	N77°39'20"W
L53	66.50'	N81°50'13"W
L54	67.95'	N86°35'01"W
L55	30.00'	N69°38'02"W
L56	65.83'	N60°32'43"W
L57	66.07'	N59°19'34"W
L58	65.27'	N64°25'49"W
L59	130.00'	N69°38'02"W
L60	65.08'	N72°31'47"W
L61	65.85'	N78°51'11"W
L62	39.92'	N88°52'41"E
L63	78.52'	N01°07'19"W
L64	65.00'	N01°07'19"W
L65	65.00'	N01°07'19"W
L66	120.00'	S88°52'41"W
L67	30.00'	N01°07'19"W
L68	120.00'	N88°52'41"E



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DATE	REVISION DESCRIPTION

Drawing Name: 21SP1.dwg  
 Job Number: FS LAND SUNSET  
 Prepared For: FS ERIE ESTATES, LLC  
 Designer: BKM  
 Drafter: BRR  
 Checked: TAJ  
 Scale: 1 inch = 120 ft. Horizontal

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**SUNSET  
PRELIMINARY PLAT**

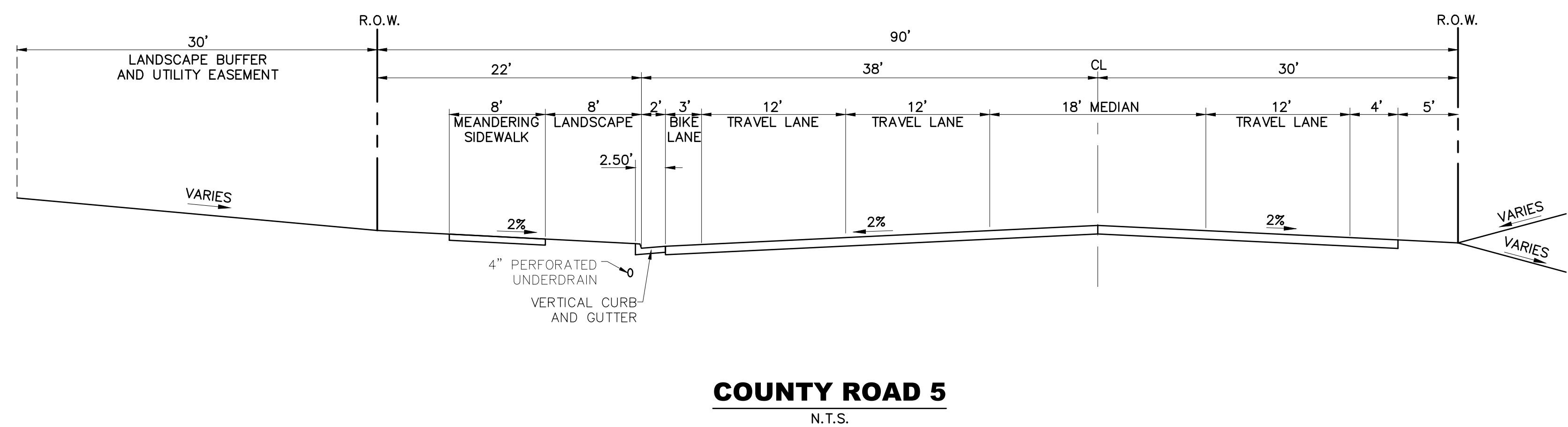
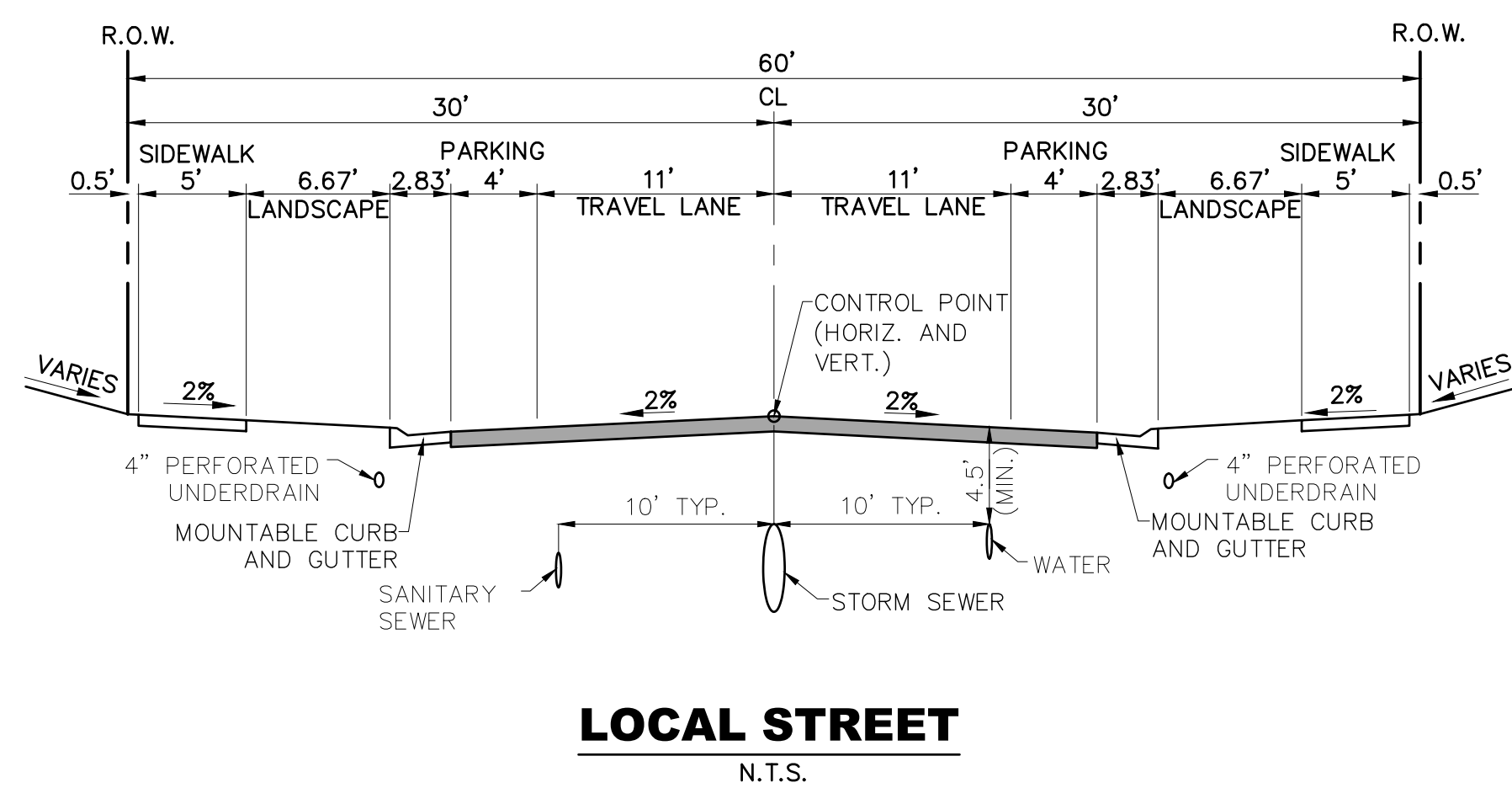
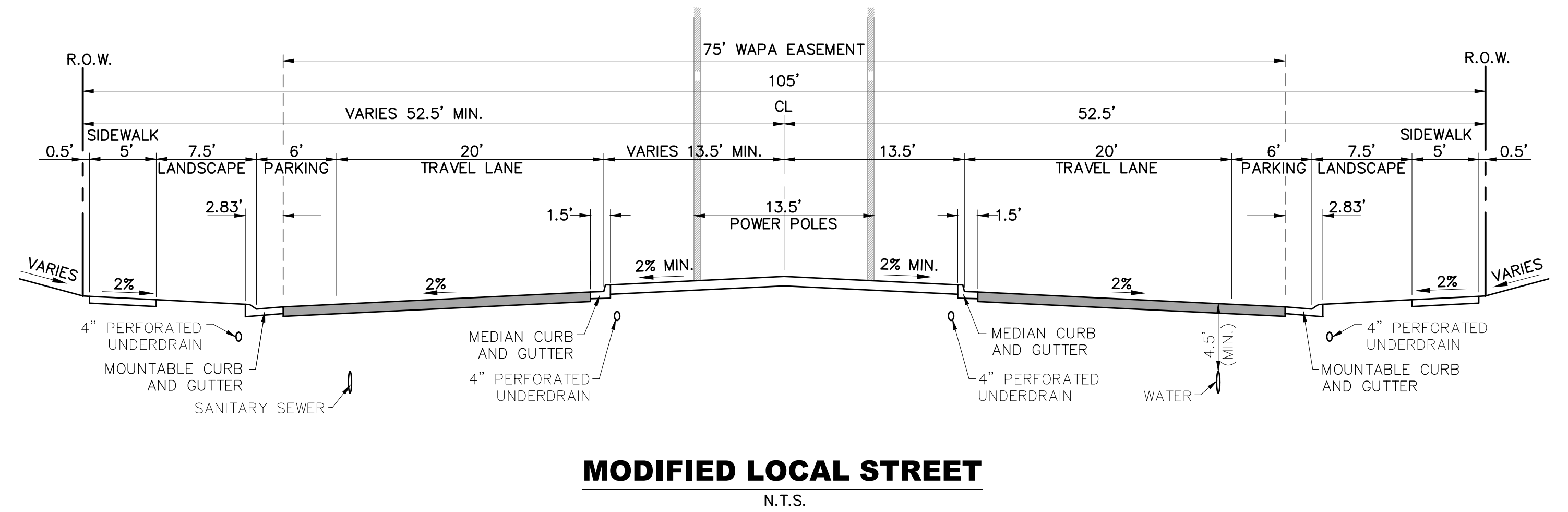
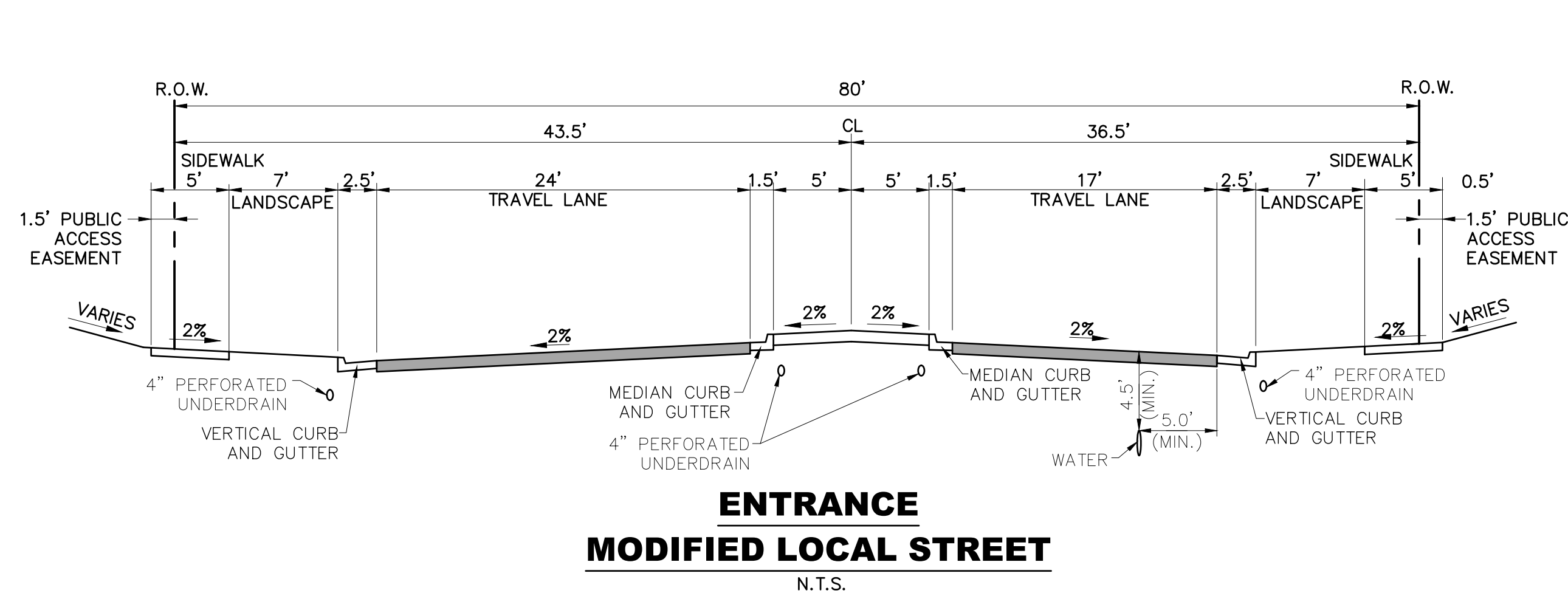
**SITE PLAN - TRACTS B1/F/F1/K/U AND TRAIL**



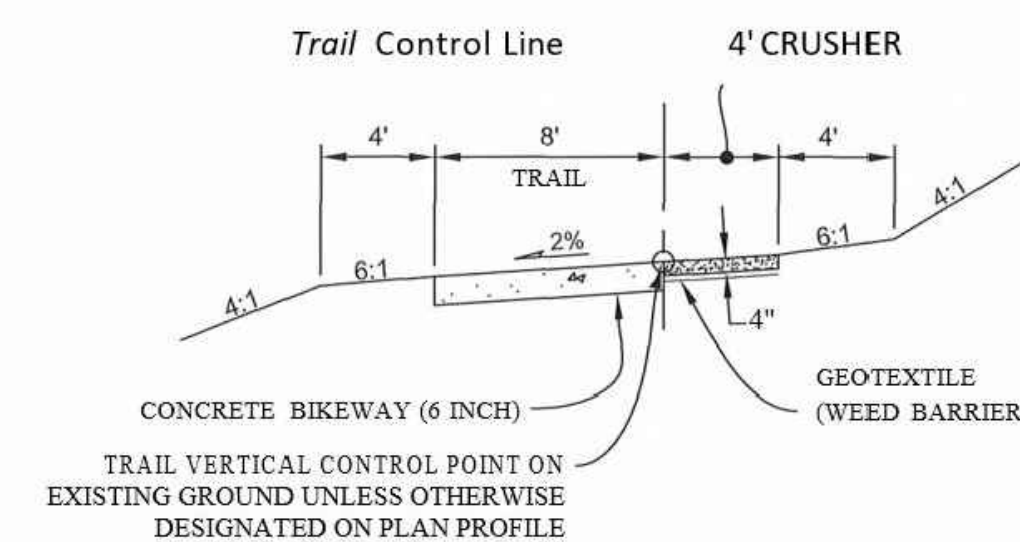
# SUNSET PRELIMINARY PLAT

## AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO

### 103.83 ACRES - 238 LOTS - 23 TRACTS PP-000838-2016

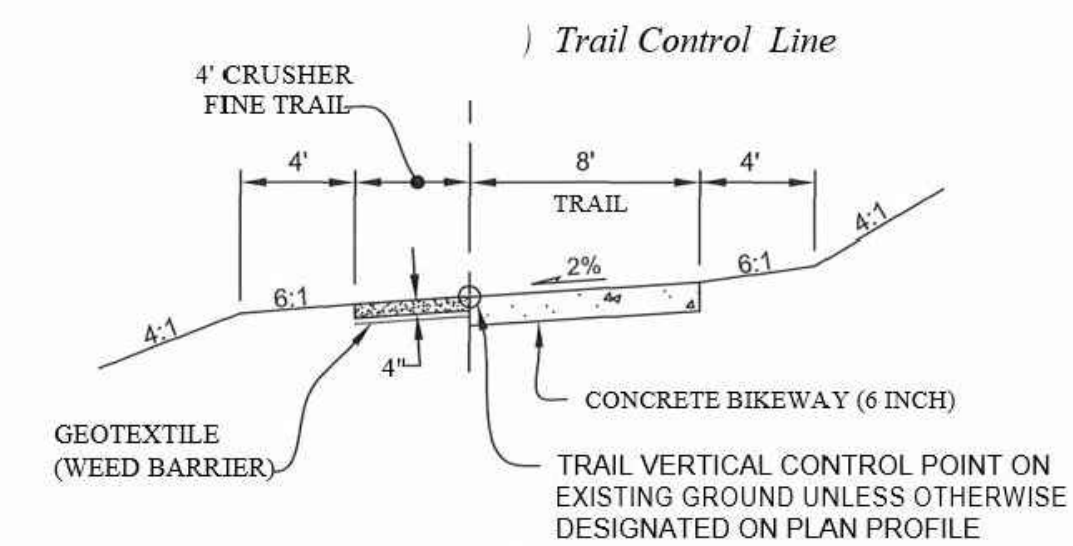


TYPICAL SECTION - CRUSHER FINES LOCATED ON UPHILL SIDE



**TRAIL TYPICAL DETAIL**  
N.T.S.

TYPICAL SECTION - CRUSHER FINES LOCATE DONDOWNHILL SIDE



**TRAIL TYPICAL DETAIL**  
N.T.S.

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 XREFS: 21TB

DATE	REVISION DESCRIPTION

Drawing Name 21TY1.dwg	Designer BKM	Drafter BRR	Checked TAJ
Job Number FSLAND SUNSET			
Prepared For FS ERIE ESTATES, LLC			

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## SUNSET PRELIMINARY PLAT TYPICAL SECTIONS

# SUNSET

## PRELIMINARY PLAT

### AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION

#### TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO

#### 103.83 ACRES - 238 LOTS - 23 TRACTS

PP-000838-2016

**EXISTING CONDITIONS AND SUBSURFACE EXHIBIT**

**EXISTING CONDITIONS EXHIBIT**



LEGEND	
	EXISTING 5' CONTOUR
	EXISTING BARBED WIRE FENCE
	EXISTING CHAIN LINK FENCE
	EXISTING OVERHEAD POWER LINE
	EXISTING GAS LINE

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DATE	REVISION DESCRIPTION

Drawing Name	21EC1.dwg
Job Number	FSLAND SUNSET
Prepared For	FS ERIE ESTATES, LLC

0	100	200	400
1 inch = 200 ft. Horizontal			
Designer	BKM	Drafter	BRR
Checked	TAJ		



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**SUNSET**  
 PRELIMINARY PLAT  
**EXISTING CONDITIONS PLAN**

Sheet	10
of	16
Date	JULY 31, 2019

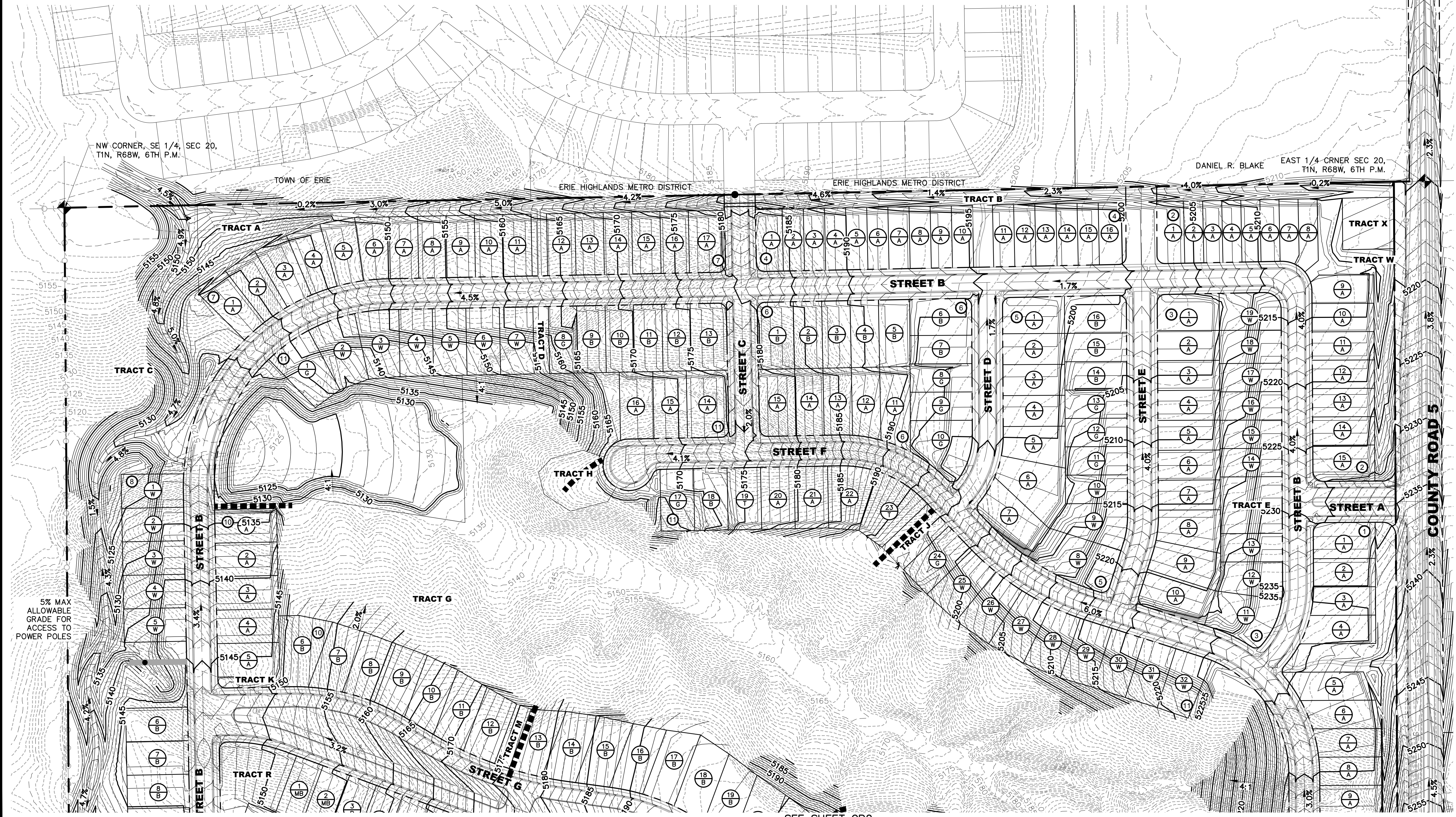
# SUNSET PRELIMINARY PLAT

## AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION

### TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO

#### 103.83 ACRES - 238 LOTS - 23 TRACTS

#### PP-000838-2016



- LEGEND:**
- PROPOSED CONTOURS — 4925 —
  - EXISTING CONTOURS - - - 4925 - - -
  - (12) LOT NUMBER
  - (A) LOT TYPE
  - A FRONT-DRAIN LOT
  - B SPLIT-DRAIN LOT
  - MB MODIFIED SPLIT-DRAIN LOT
  - T TRANSITIONAL LOT
  - W WALKOUT LOT
  - G GARDEN LEVEL LOT
  - TRAIL ACCESS

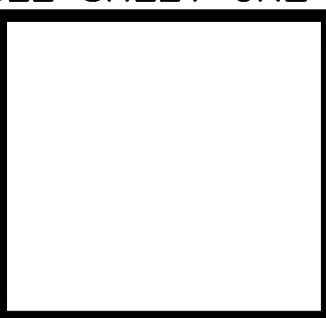
- NOTES:**
1. SEE LANDSCAPE PLAN FOR WALK DELINEATIONS.
  2. RETAINING WALLS WILL BE A MAXIMUM 4' TALL AND WILL BE CONSTRUCTED WITH HOMES. WALL MATERIALS WILL BE APPROVED PER THE COVENANTS. WALL HEIGHTS AND LOCATIONS TO BE DETERMINED ON FINAL PLAT.
  3. THE DEVELOPER WILL BUILD THE RETAINING WALLS IN THE OPEN SPACE. THE BUILDER WILL BUILD THE RETAINING WALLS IN THE LOTS.
  4. SLOPE GRADING DOES NOT EXCEED 4:1 UNLESS NOTED.

PATH: P:\ISLAND SUNSET\CADD\CIVIL\21-PRELIMINARY PLAT\21GR1.DWG  
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DATE	REVISION	DESCRIPTION

Drawing Name	21GR1.dwg
Job Number	FSLAND SUNSET
Prepared For	FS ERIE ESTATES, LLC

Designer	BKM	Drafter	BRR	Checked	TAJ
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**SUNSET  
PRELIMINARY PLAT  
GRADING PLAN**



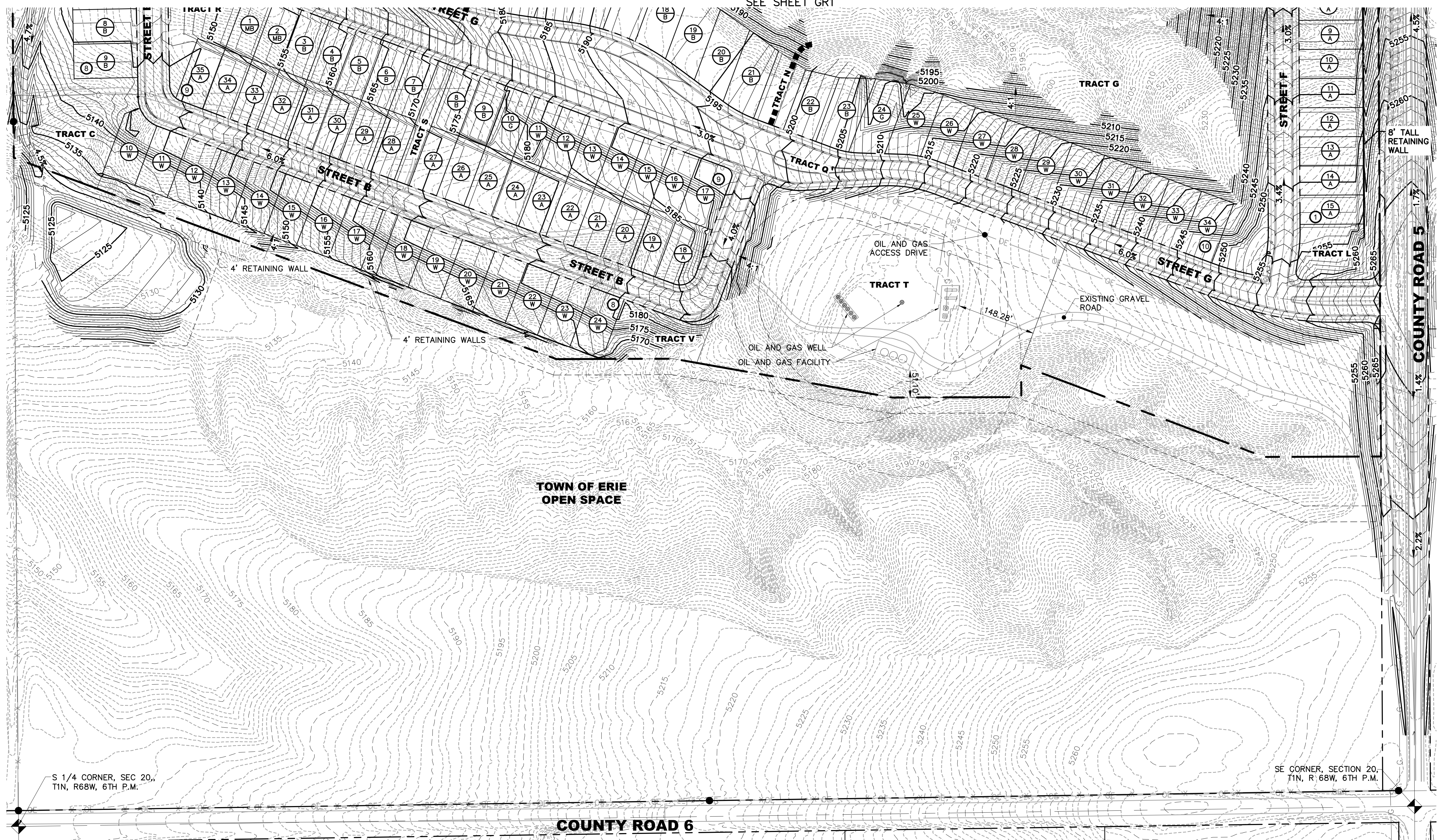
# SUNSET PRELIMINARY PLAT

## AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION

### TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO

#### 103.83 ACRES - 238 LOTS - 23 TRACTS

#### PP-000838-2016



**LEGEND:**

PROPOSED CONTOURS	— 4925 —
EXISTING CONTOURS	- - - 4925 - - -
(12) LOT NUMBER	
(A) LOT TYPE	
A	FRONT-DRAIN LOT
B	SPLIT-DRAIN LOT
MB	MODIFIED SPLIT-DRAIN LOT
T	TRANSITIONAL LOT
W	WALKOUT LOT
G	GARDEN LEVEL LOT
■ ■ ■ ■	TRAIL ACCESS

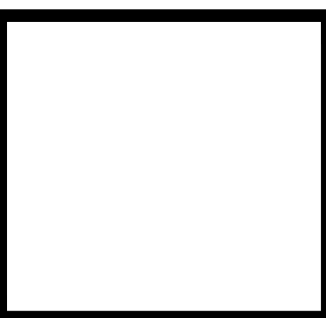
- NOTES:**
- SEE LANDSCAPE PLAN FOR WALK DELINEATIONS.
  - RETAINING WALLS WILL BE A MAXIMUM 4' TALL AND WILL BE CONSTRUCTED WITH HOMES. WALL MATERIALS WILL BE APPROVED PER THE COVENANTS. WALL HEIGHTS AND LOCATIONS TO BE DETERMINED ON FINAL PLAT.
  - THE DEVELOPER WILL BUILD THE RETAINING WALLS IN THE OPEN SPACE. THE BUILDER WILL BUILD THE RETAINING WALLS IN THE LOTS.
  - SLOPE GRADING DOES NOT EXCEED 4:1 UNLESS NOTED.

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DATE	REVISION DESCRIPTION

Drawing Name 21GR1.dwg
Job Number FSLAND SUNSET
Prepared For FS ERIE ESTATES, LLC

Designer BKM	Drafter BRR	Checked TAJ
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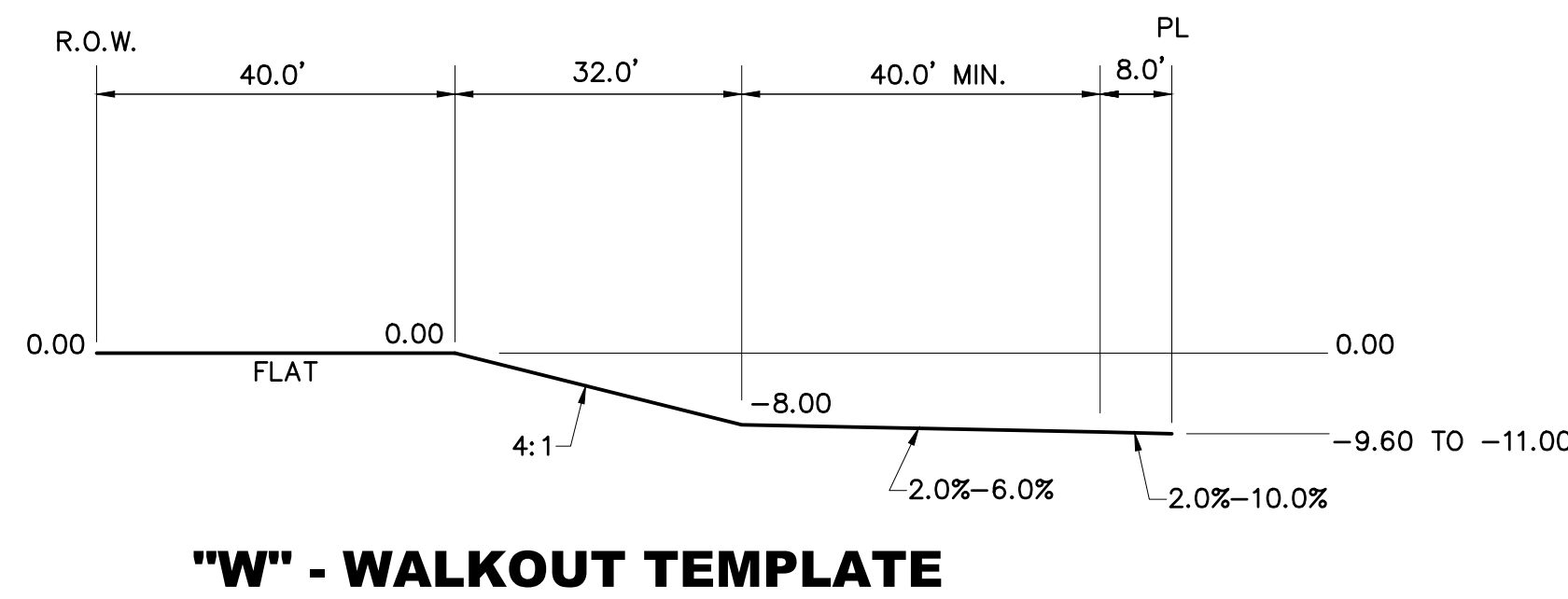
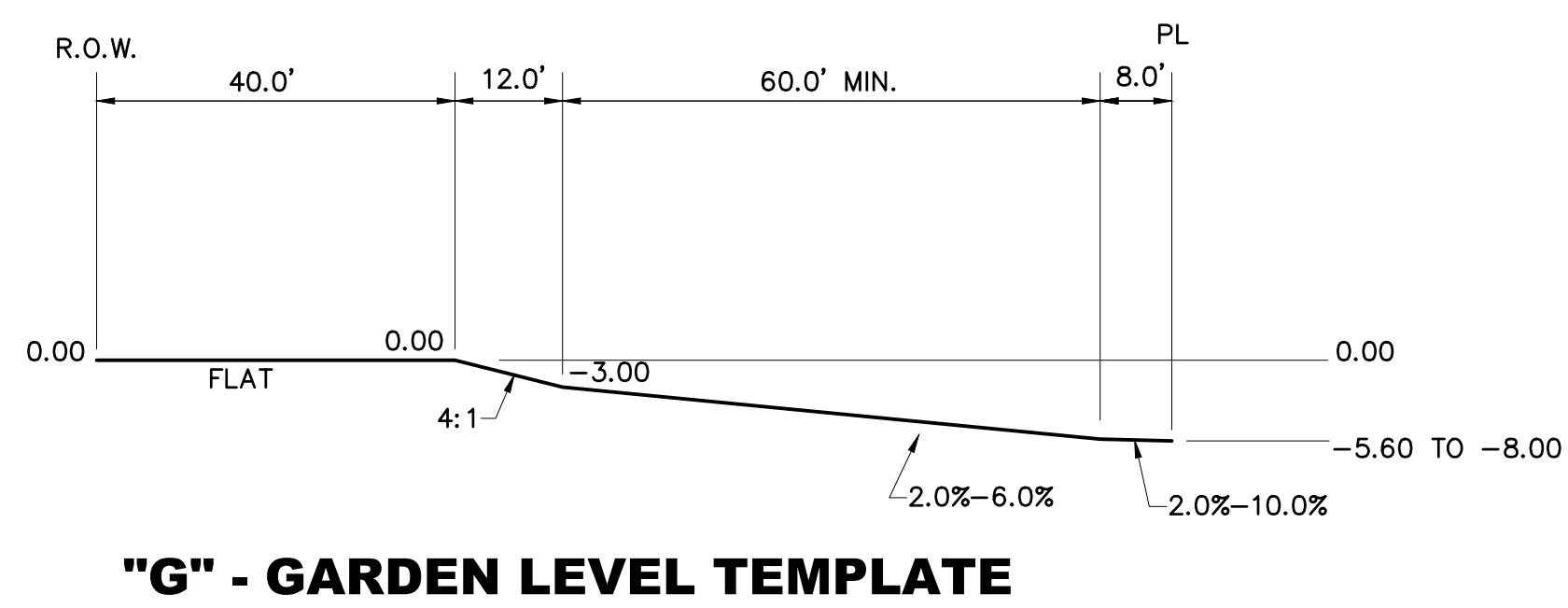
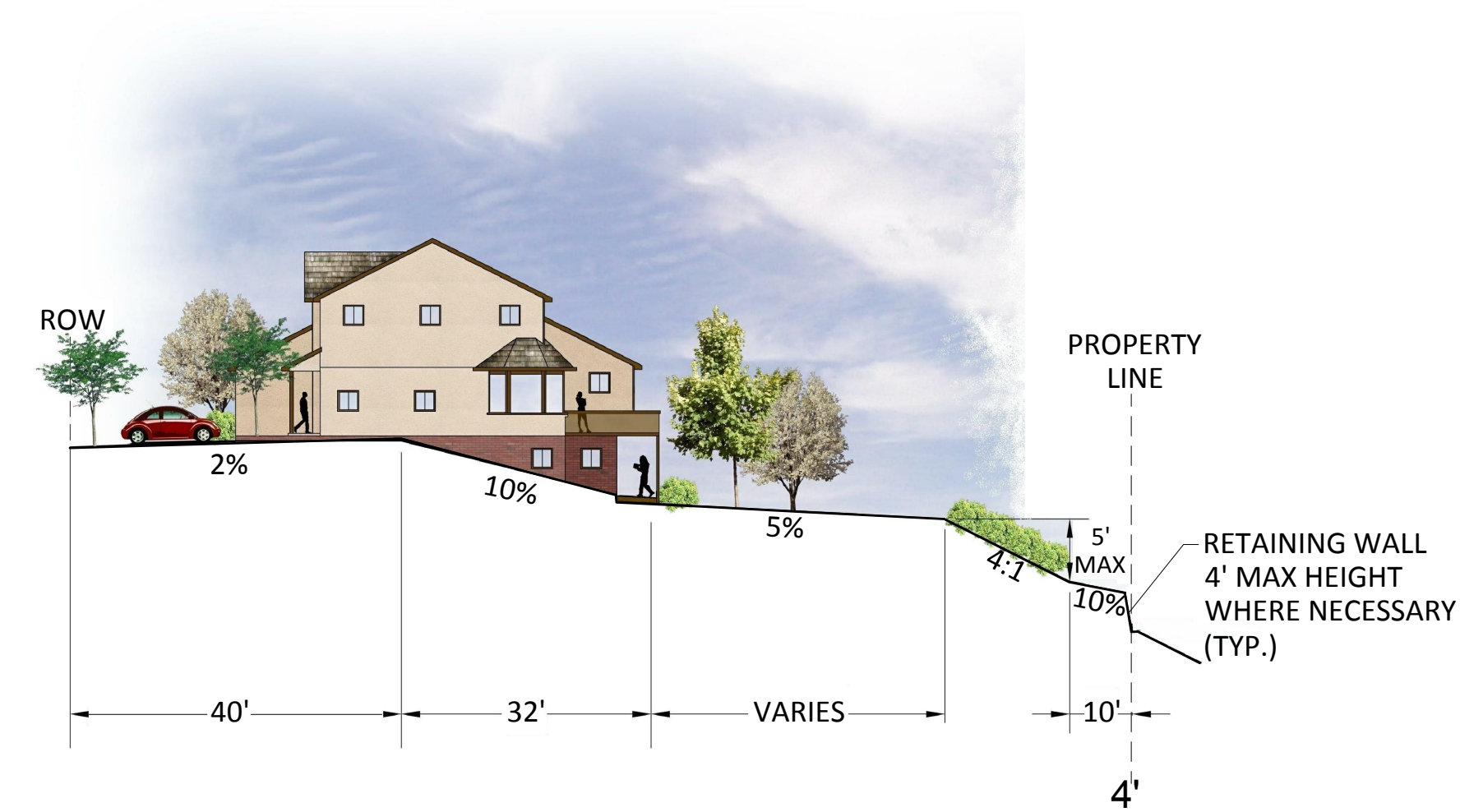
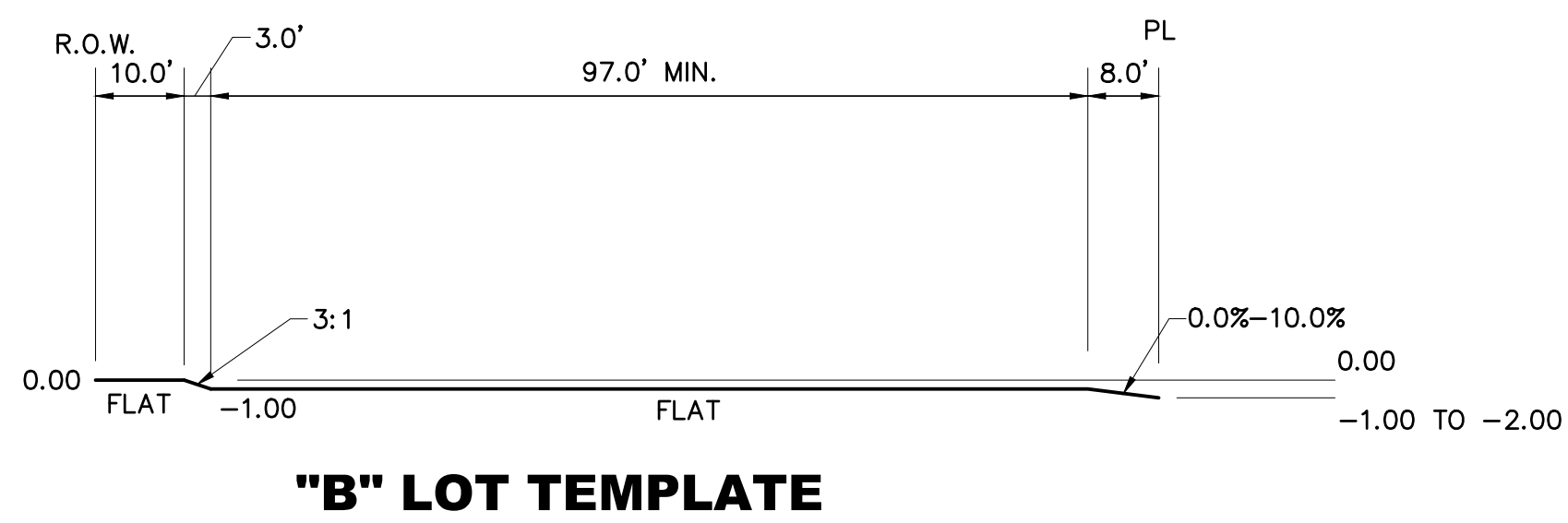
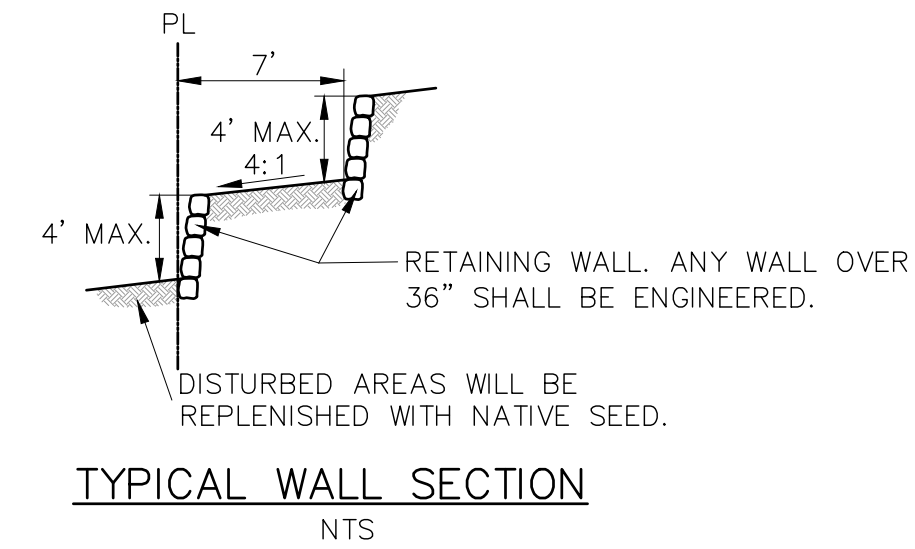
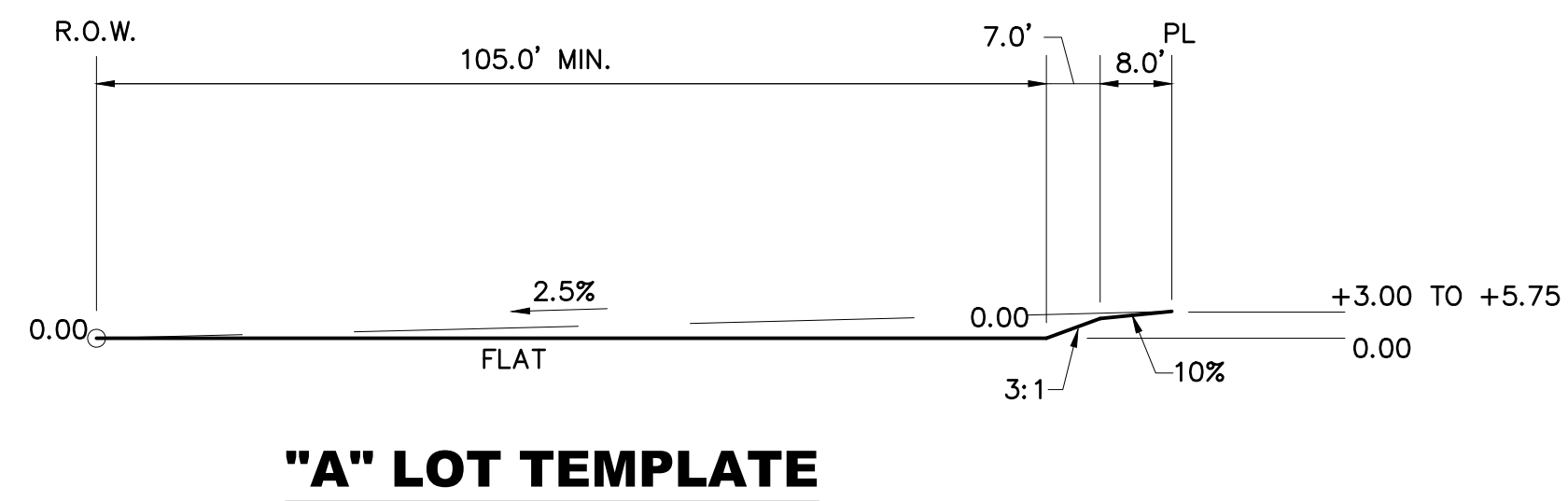
**SUNSET  
PRELIMINARY PLAT  
GRADING PLAN**



# SUNSET PRELIMINARY PLAT

## AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO

### 103.83 ACRES - 238 LOTS - 23 TRACTS PP-000838-2016



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DATE	REVISION DESCRIPTION

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Drawing Name 21GR1.dwg		
Job Number FSLAND SUNSET		
Prepared For FS ERIE ESTATES, LLC	Designer BKM	Checked TAJ

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**SUNSET**  
**PRELIMINARY PLAT**  
**GRADING PLAN**

Sheet	13
	of
	16
Date	JULY 31, 2019

# SUNSET

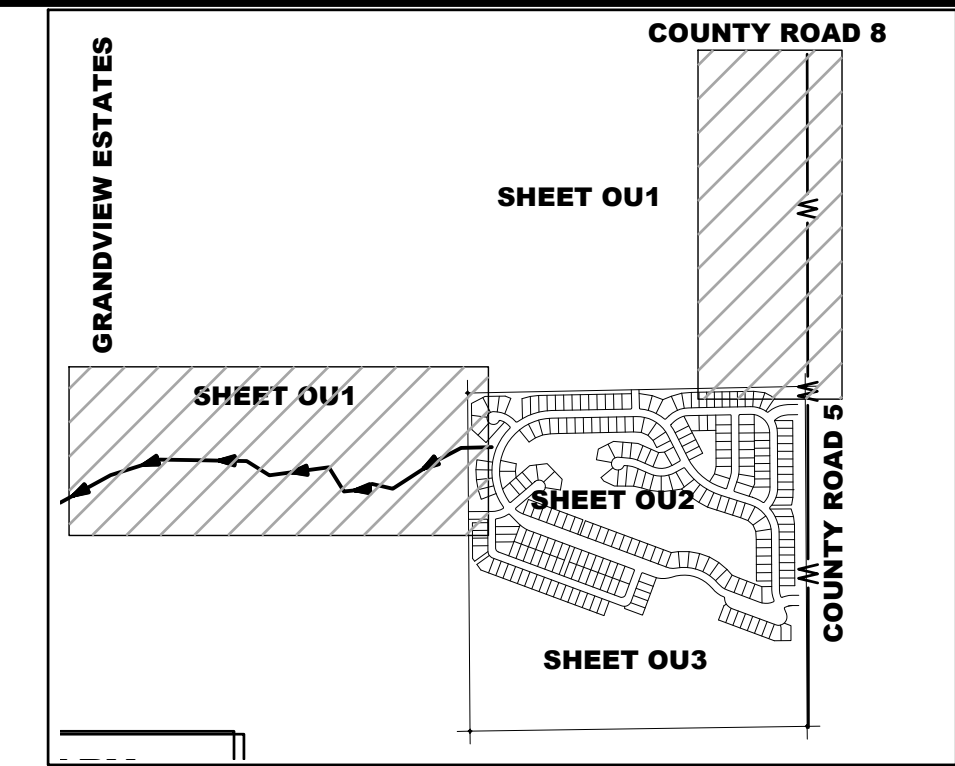
## PRELIMINARY PLAT

### AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION

### TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO

### 103.83 ACRES - 238 LOTS - 23 TRACTS

### PP-000838-2016



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DATE	REVISION	DESCRIPTION

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Job Number FSLAND SUNSET		1 inch = 100 ft. Horizontal	
Prepared For FS ERIE ESTATES, LLC	Designer BKM	Drafter BRR	Checked TAJ

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## SUNSET

### PRELIMINARY PLAT

### OFF-SITE UTILITY PLAN

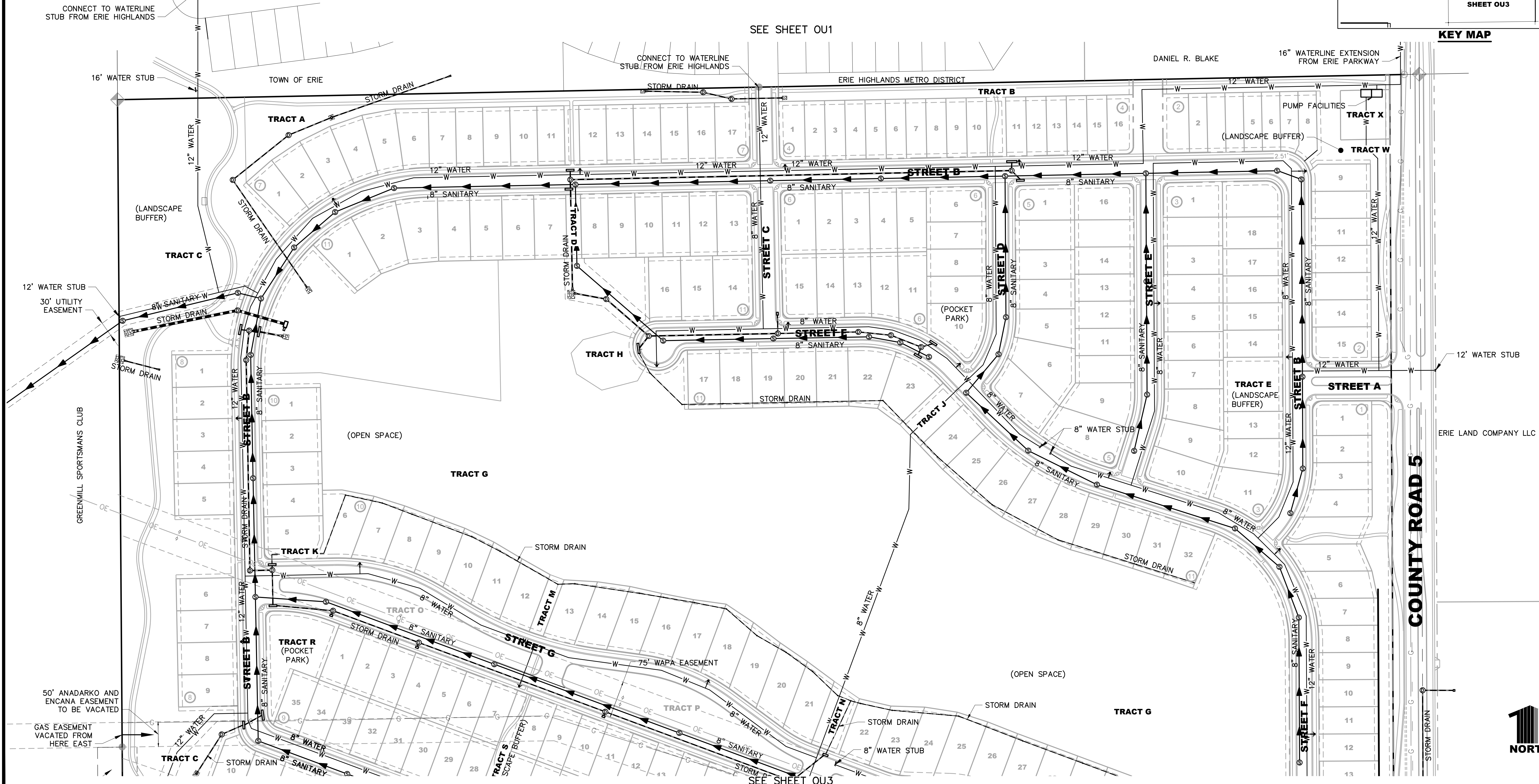
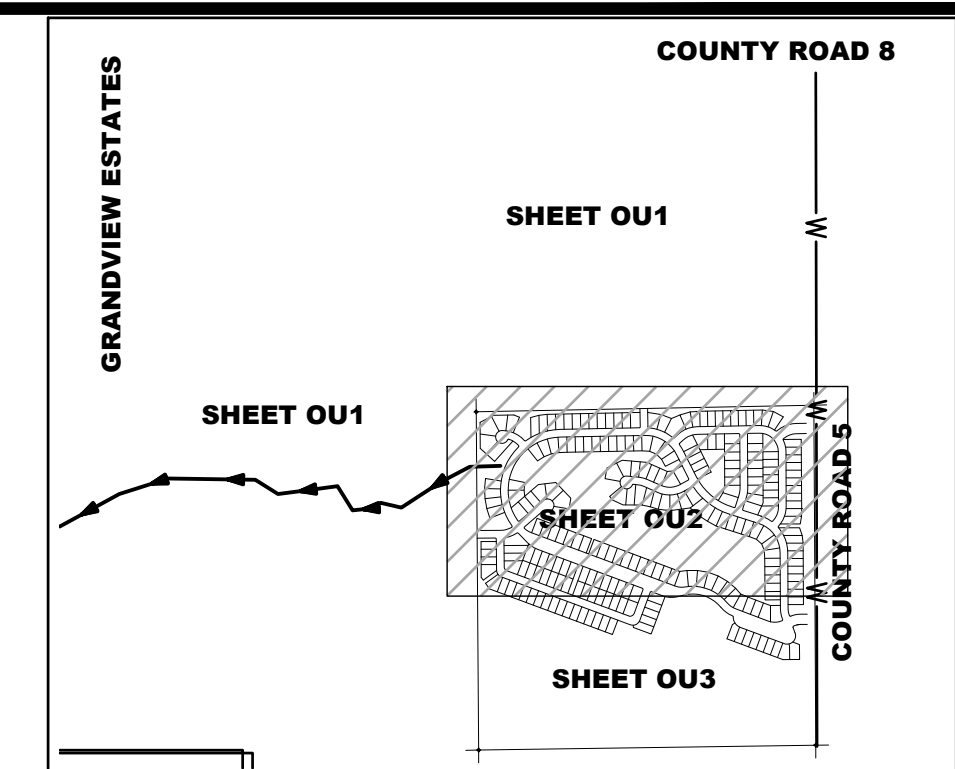
# SUNSET PRELIMINARY PLAT

## AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION

### TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO

#### 103.83 ACRES - 238 LOTS - 23 TRACTS

#### PP-000838-2016



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DATE	REVISION DESCRIPTION

Drawing Name 21OU1.dwg
Job Number FSLAND SUNSET
Prepared For FS ERIE ESTATES, LLC

0 50 100 200	1 inch = 100 ft. Horizontal	
Designer BKM	Drafter BRR	Checked TAJ

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**SUNSET  
PRELIMINARY PLAT  
OVERALL UTILITY PLAN**

Sheet  
**OU2**  
of  
16

Date  
JULY 31, 2019



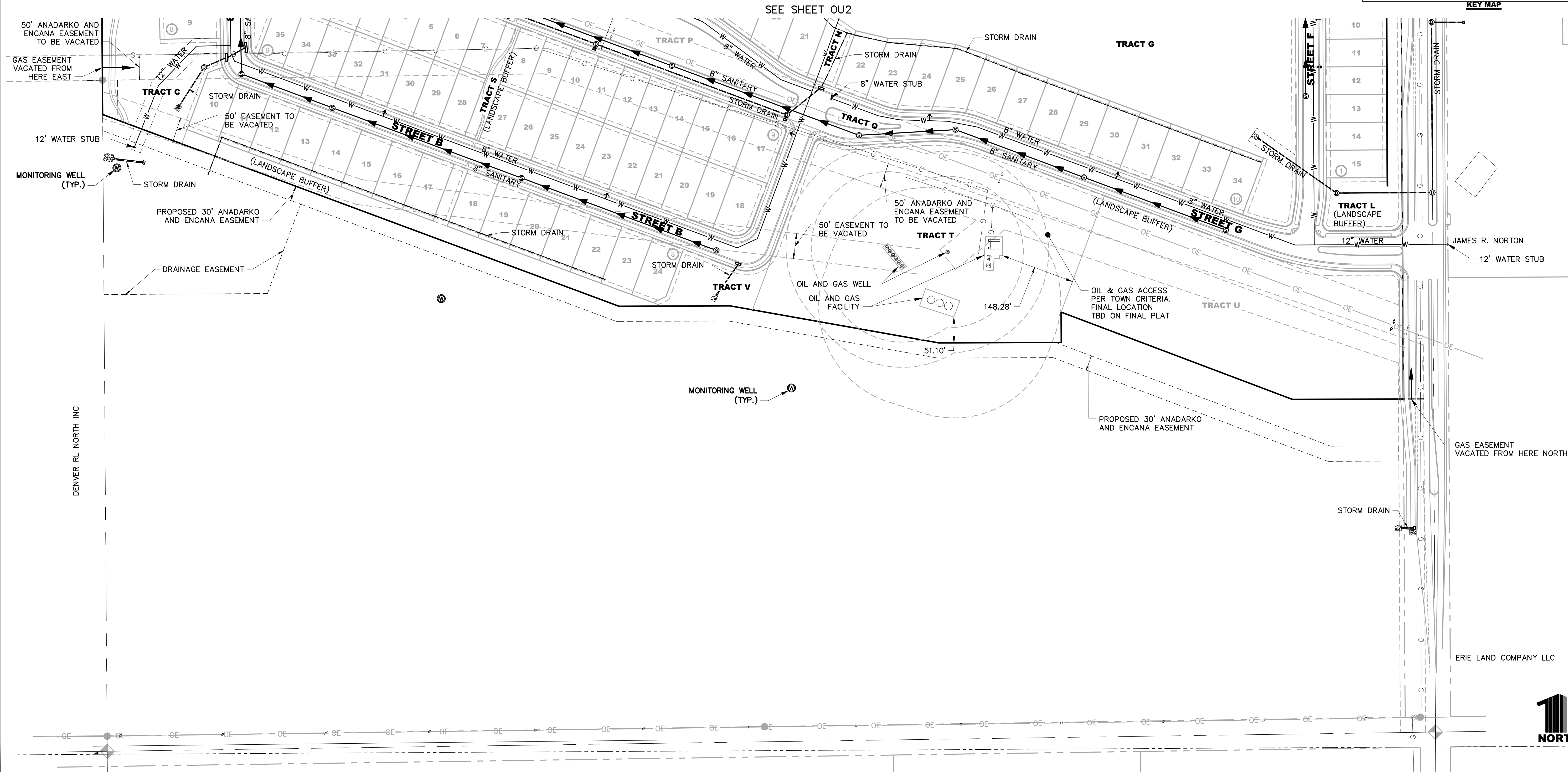
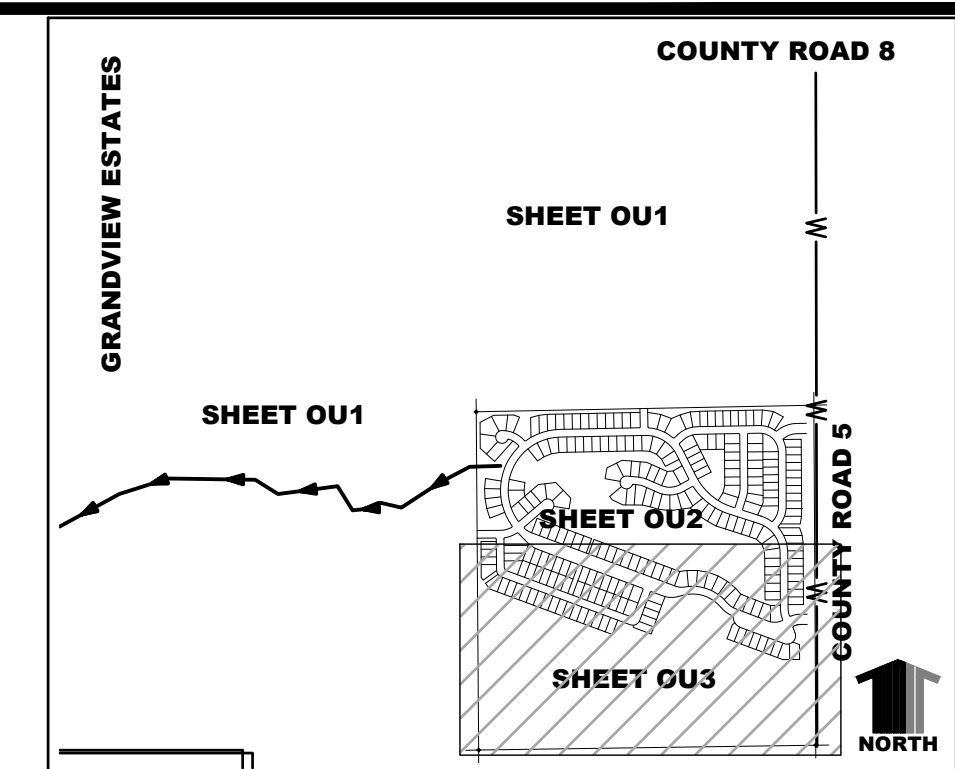
# SUNSET PRELIMINARY PLAT

## AN AMENDMENT OF TRACT A, SUNSET MINOR SUBDIVISION

### TOWN OF ERIE, COUNTY OF WELD COUNTY, STATE OF COLORADO

#### 103.83 ACRES - 238 LOTS - 23 TRACTS

#### PP-000838-2016



PATH: P:\ISLAND SUNSET\CADD\CIVIL\21-PRELIMINARY PLAT\21OU1.DWG  
 PLOTTED BY: Kvier Sanford PLOT DATE: 1/13/2020 3:22 PM  
 XREFS: 20\CORE Base, 20\UT, 00\USGSerial, 20\PPN, 21\Info, 20\PUT, 20\BASE, 21\TB.

DATE	REVISION DESCRIPTION

Drawing Name	21OU1.dwg
Job Number	FSLAND SUNSET
Prepared For	FS ERIE ESTATES, LLC

0 50 100 200

1 inch = 100 ft. Horizontal

Designer	BKM	Drafter	BRR	Checked	TAJ
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 Highlands Ranch, CO 80129 (303) 730-0434  
[www.calibre-engineering.com](http://www.calibre-engineering.com)  
 Construction Management Civil Engineering Surveying

## SUNSET PRELIMINARY PLAT OVERALL UTILITY PLAN

Sheet  
**OU3**  
of  
16

Date  
JULY 31, 2019

ERIE LAND COMPANY LLC

