



TOWN OF ERIE
Community Development Department – Planning Division
645 Holbrook Street – PO Box 750 – Erie, CO 80516
Tel: 303.926.2770 – Fax: 303.926.2706 – Web: www.erieco.gov

LAND USE APPLICATION

Please fill in this form completely. Incomplete applications will not be processed.

STAFF USE ONLY

FILE NAME:

FILE NO:

DATE SUBMITTED:

FEES PAID:

PROJECT/BUSINESS NAME: Longs Peak Sprinkler

PROJECT ADDRESS: Lot 8 Austin Industrial Park

PROJECT DESCRIPTION: 4-Unit 6912 Sq Ft Metal Building W/5512 Sq Ft of Outdoor Storage

LEGAL DESCRIPTION *(attach legal description if Metes & Bounds)*

Subdivision Name: Austin Industrial Park

Filing #: Lot #: 8 Block #: Section: 19 Township: 1N Range: 68W

OWNER *(attach separate sheets if multiple)*

Name/Company: Mike Amend

Contact Person: Mike Amend

Address: 408 E. Geneseo Street

City/State/Zip: Lafayette, CO 80026

Phone: 303-665-1010 Fax: 303-666-1200

E-mail: longspeaksprinklers@comcast.net

AUTHORIZED REPRESENTATIVE

Company/Firm: Permontes Group

Contact Person: Mickey Leyba

Address: 625 Main Street

City/State/Zip: Longmont, CO 80501

Phone: 720-684-4981 Fax: 866-471-7369

E-mail: mleyba@permontesgroup.com

MINERAL RIGHTS OWNER *(attach separate sheets if multiple)*

Name/Company:

Address:

City/State/Zip:

MINERAL LEASE HOLDER *(attach separate sheets if multiple)*

Name/Company:

Address:

City/State/Zip:

LAND-USE & SUMMARY INFORMATION

Present Zoning: Light Industrial (LI)

Proposed Zoning:

Gross Acreage: 42,200 SF

Gross Site Density (du/ac):

Lots/Units Proposed:

Gross Floor Area: 6912 SF

SERVICE PROVIDERS

Electric: XCEL Energy

Metro District: N/A

Water *(if other than Town)*:

Gas: XCEL Energy

Fire District: Mountain View Fire Rescue

Sewer *(if other than Town)*:

PAGE TWO MUST BE SIGNED AND NOTARIZED

DEVELOPMENT REVIEW FEES				
ANNEXATION		SUBDIVISION		
☐ Major (10+ acres)	\$ 4000.00	☐ Sketch Plan	\$ 1000.00 + 10.00 per lot	
☐ Minor (less than 10 acres)	\$ 2000.00	☐ Preliminary Plat	\$ 2000.00 + 40.00 per lot	
☐ Deannexation	\$ 1000.00	☐ Final Plat	\$ 2000.00 + 20.00 per lot	
COMPREHENSIVE PLAN AMENDMENT		☐ Minor Subdivision Plat	\$ 2000.00	
☐ Major	\$ 3000.00	☐ Minor Amendment Plat	\$ 1000.00 + 10.00 per lot	
☐ Minor	\$ 1200.00	☐ Road Vacation (constructed)	\$ 1000.00	
ZONING/REZONING		☐ Road Vacation (paper)	\$ 100.00	
☐ Rezoning	\$ 1700.00 + 10.00 per acre	SITE PLAN		
☐ PUD Rezoning	\$ 1700.00 + 10.00 per acre	☐ Residential	\$ 1400.00 + 10.00 per unit	
☐ PUD Amendment	\$ 1700.00 + 10.00 per acre	☐ Non-Resi. (>10,000 sq. ft.)	\$ 2200.00	
☐ Major PD Amendment	\$ 3700.00 + 10.00 per acre	☒ Non-Resi. (>2,000 sq. ft.)	\$ 1000.00	
☐ Minor PD Amendment	\$ 500.00	☐ Non-Resi. (<2,000 sq. ft.)	\$ 200.00	
SPECIAL REVIEW USE		☐ Amendment (major)	\$ 1100.00	
☐ Major	\$ 1000.00	☐ Amendment (minor)	\$ 350.00	
☒ Minor	\$ 400.00	VARIANCE		\$ 600.00
☐ Oil & Gas	\$ 1200.00	SERVICE PLAN		\$ 10,000.00
All fees include both Town of Erie Planning & Engineering review. These fees do not include referral agency review fees, outside consultant review fees, or review fees incurred by consultants acting on behalf of staff. See Town of Erie Municipal Code, Title 2-10-5 for all COMMUNITY DEVELOPMENT FEES.				

The undersigned is fully aware of the request/proposal being made and the actions being initiated on the referenced property. The undersigned understand that the application must be found to be complete by the Town of Erie before the request can officially be accepted and the development review process initiated. The undersigned is aware that the applicant is fully responsible for all reasonable costs associated with the review of the application/request being made to the Town of Erie. Pursuant to Chapter 7 (Section 7.2.B.5) of the Unified Development Code (UDC) of the Town of Erie, applicants shall pay all costs billed by the Town for legal, engineering and planning costs incurred by staff, including consultants acting on behalf of staff, necessary for project review. By this acknowledgement, the undersigned hereby certify that the above information is true and correct.

Owner: Michael T. Amend Date: 5/3/16
Owner: _____ Date: _____
Applicant: Michael T. Amend Date: _____

STATE OF COLORADO)
County of Boulder) ss.

The foregoing instrument was acknowledged before
me this 3rd day of May, 2016,
by Michael T. Amend.

My commission expires: 3-16-19
Witness my hand and official seal.

Micheline T. Miller
Notary Public

MICHELENE T. MILLER
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20154010711
COMMISSION EXPIRES MAR. 16, 2019



SITE PLAN AND SPECIAL REVIEW USE SITE PLAN

460 Jones Court, Erie CO

Lot 8 Austin Industrial Park

PROJECT NARRATIVE

a. General project concept and purpose of the request:

The proposed building will serve as an office/warehouse and takes advantage of the inherent utility and economies that a pre-engineered steel building offers. The building is located within a light industrial development comprised of buildings of similar type and appearance. The building will be comprised of 4-units in which unit 4 will be finished at the time of construction and occupied by the property owner's Longs Peak Sprinkler business. A 5,512 SF outdoor storage area adjacent to the south property line is also proposed for the use of Longs Peak Sprinkler. The additional three units will remain unfinished until leases are secured.

b. Discuss how the proposed development is in compliance with the five approval criteria of the Municipal Code Title 10 - UDC for Site Plan review and Special Use Review

Site Plan Review – Compliance with the approval Criteria of the Municipal Code Title 10

a. The Site Plan is generally consistent with the Town's Comprehensive Master Plan;

The proposed development for Lot 8 Austin Industrial Park is consistent with the Town's Comprehensive Master Plan. The building promotes a high standard of design which will provide opportunities for quality business and employment.

b. The Site Plan is generally consistent with any previously approved subdivision plat, planned development, or any other precedent plan or land use approval as applicable;

The Longs Peak Sprinkler Site Plan is consistent with Austin Industrial Park Final Plat.

c. The Site Plan complies with all applicable development and design standards set forth in this UDC, including but not limited to the provisions in Chapter 2, Chapter 3, Chapter 4, and Chapter 6;

Longs Peak Sprinkler complies with the development and design standards set forth in the UDC for the Light Industrial zoning district.

- d. **Any significant adverse impacts reasonably anticipated to result from the use will be mitigated or offset to the maximum extent reasonably practicable; and**

There will be no significant adverse impacts caused by the proposed development.

- e. **The development proposed on the Site Plan and its general location is or will be compatible with the character of surrounding land uses.**

The Longs Peak Sprinkler Site Plan proposes a Light Industrial development that is compatible with the surrounding land uses. The 4-unit building will be occupied by the Land Owner's Landscape and irrigation company. The three additional units will remain unfinished until future leases are secured.

Special Review Use – Compliance with the approval Criteria of the Municipal Code Title 10

- a. **The proposed use is generally consistent with the Town's Comprehensive Master Plan and all applicable provisions of this UDC and applicable State and Federal regulations;**

The proposed development for Lot 8 Austin Industrial Park is consistent with the Town's Comprehensive Master Plan. The building promotes a high standard of design which will provide opportunities for quality business and employment.

- b. **The proposed use is generally consistent with the purpose and intent of the zoning district in which it is located;**

The 4-unit office/warehouse building is consistent with the purpose and intent of the Light Industrial Zoning district.

- c. **The proposed use is generally consistent with any applicable use-specific standards set forth in Section 3.2;**

The office/warehouse building is consistent with the Town's use-specific standards.

- d. **The proposed use is compatible with adjacent uses in terms of scale, site design, and operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts);**

The building is located within a light industrial development comprised of buildings of similar type and appearance. The proposed building is set to the interior of the development away from residential areas.

- e. **Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent reasonably practicable;**

No significant adverse impacts on the natural environment are anticipated with development.

- f. Facilities and services (including sewage and waste disposal, water, gas, election, police and fire protection, and streets and transportation, as applicable) will be available to serve the subject property while maintaining adequate levels of service for existing development;**

Water and sanitary sewer services were stubbed to the property line with the overall development of Austin Industrial Park. Gas and electric is located within easements adjacent to the Jones Court right-of-way.

- g. Adequate assurances of continuing maintenance have been provided; and**

The property owner shall provide the overall maintenance for the building and site common space such as landscape areas, sidewalks, parking, drainage facilities, and parking/drive isles.

- h. Any significant adverse impacts on the natural environment will be mitigated to the maximum extent reasonably practicable.**

No significant adverse impacts on the natural environment are anticipated with development.

- c. Architecture provides visual interest consistent with community's identity, character and scale:**

The proposed building will serve as an office/warehouse and takes advantage of the inherent utility and economies that a pre-engineered steel building offers. The building is located within a light industrial development comprised of buildings of similar type and appearance. The proposed building is set to the interior of the development away from residential areas. The mass and form of the building is long and low, yielding a pleasing human scale, while maximizing the usefulness of the limited site area. Stone columns, entry canopies, and entrance patios will break up the elevations visible from the street. Earth tone colors allow the building to blend in to the generous landscaping planned for the site. The color and texture mix will provide a pleasing, warm, and welcoming feel to the pedestrian and others who approach. There will be shadow lines and visual relief provided by the projected columns and roof eave line. Overall, the proposed building along with the associated site improvements will complement and be consistent with the surrounding established community.

- d. Development schedule:**

Development shall consist of construction once final approvals of the Site Plan/Special Review Use Site plan and building permit plans are received from the town of Erie. Four (4) month duration is estimated for final completion of all site work and building construction. Construction is expected to begin fall of 2016 with an anticipated building occupancy prior to 2017.

- e. General business information:**

The 4-unit office/warehouse building will initially be occupied by Longs Peak Sprinkler. The additional 3 units will be tenant finished upon leasing. General business information for Longs Peak Sprinkle is as follows;

- Total building square footage is 5,912 SF
- Longs Peak Sprinkler will occupy Unit 4 which is 2,208 SF
- Units 2-4 will be each 1,568 SF and will be tenant finished upon leasing
- Longs Peak Sprinkler provides landscaping installation and maintenance as well as snow removal
- 6 employees may be on-site at any given time
- Business hours are typically 7:30am to 5:30 pm Monday through Friday
- Total project value is \$525K

f. Controls (location, function, and maintenance):

The property owner shall provide the overall maintenance for the building and site common space such as landscape areas, sidewalks, parking, drainage facilities, and parking/drive isles.

g. Substance of any existing or proposed covenants, special conditions, grant of easements, or other restrictions:

The Declaration of Protective Covenants for Austin Industrial Park Subdivision shall apply with the development of Lot 8. No additional covenants, grant of easements, or restrictions are proposed.

LEGAL DESCRIPTION:

LOT 8, AUSTIN INDUSTRIAL PARK, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

BASIS OF BEARINGS:

GPS DERIVED BEARINGS BASED ON A BEARING OF N01°14'08"E ALONG THE WEST LINE OF LOT 8, BETWEEN A FOUND NO. 4 REBAR W/ 1" RED PLASTIC CAP "AAI 23027" AT THE SOUTHWEST CORNER OF LOT 8 AND A FOUND NO. 4 REBAR W/ 1" RED PLASTIC CAP (ILLEGIBLE) AT THE NORTHWEST CORNER OF LOT 8 AS SHOWN HEREON. COLORADO STATE PLANE COORDINATE SYSTEM, COLORADO NORTH ZONE, NORTH AMERICAN DATUM 1983 (NAD83). ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.

BENCHMARK INFORMATION:

GPS DERIVED BEARINGS BASED ON A BEARING OF N01°14'08"E ALONG THE WEST LINE OF LOT 8, BETWEEN A FOUND NO. 4 REBAR W/ 1" RED PLASTIC CAP "AAI 23027" AT THE SOUTHWEST CORNER OF LOT 8 AND A FOUND NO. 4 REBAR W/ 1" RED PLASTIC CAP (ILLEGIBLE) AT THE NORTHWEST CORNER OF LOT 8 AS SHOWN HEREON. COLORADO STATE PLANE COORDINATE SYSTEM, COLORADO NORTH ZONE, NORTH AMERICAN DATUM 1983 (NAD83). ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.

PROPOSED DEVELOPMENT SCHEDULE

CONSTRUCTION TO BEGIN END OF JANUARY 2017. ANTICIPATED CONSTRUCTION TO LAST 7 MONTHS.

FLOODPLAIN INFORMATION

FIRM PANEL #08013CO443J EFFECTIVE DATE OF DECEMBER 18, 2012 SHOWS THAT THE PROPERTY LIES OUTSIDE THE 500-YEAR FLOODPLAIN OF COAL CREEK FLOODWAY IN FLOODWAY AREA ZONE X. FLOODWAY AREA ZONE X IS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN DETERMINED TO BE OUTSIDE THE 1% AND 0.2% ANNUAL CHANCE FLOODPLAINS.

LOT 8, AUSTIN INDUSTRIAL PARK

LONGS PEAK SPRINKLER, 460 JONES COURT

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M.

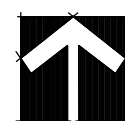
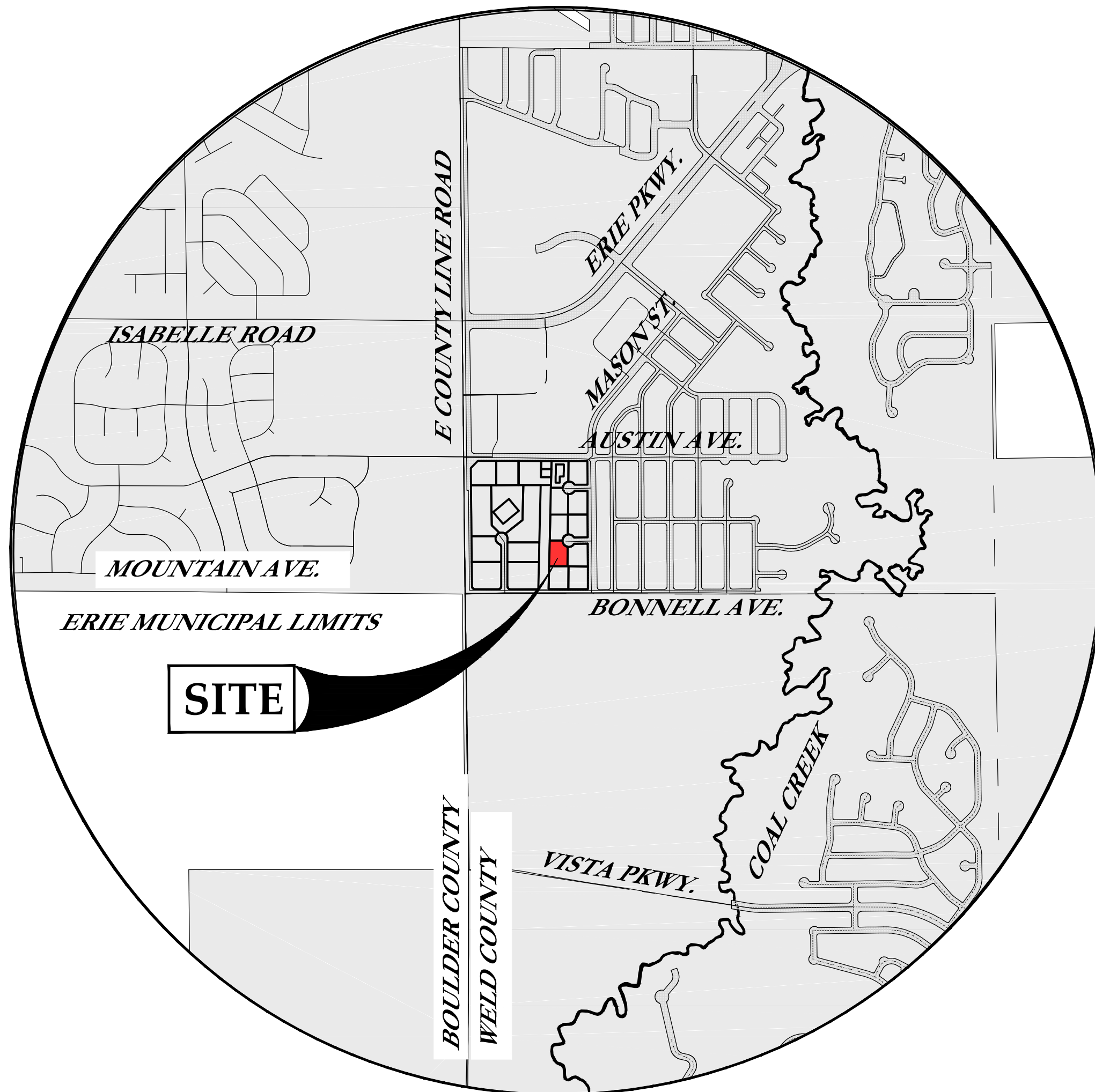
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

0.97± ACRES

SITE PLAN - SP-000775-2016

SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES

SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016



VICINITY MAP

 $l'' = 1000'$

DRAWING LEGEND

	EXISTING	PROPOSED
ROW OR PROPERTY LINE	_____	_____
SECTION LINE	_____	_____
CENTER LINE	_____	_____
EASEMENT LINE	_____	_____
CONTOURS	_____ 4685 _____ 4684	_____ 4685 _____ 4684
SANITARY SEWER LINE	_____ S/L	_____ S/L
SANITARY SERVICE LINE	_____ SS	_____ SS
STORM DRAIN LINE	_____	_____
WATER LINE	_____ W/L	_____ W/L
WATER SERVICE LINE	_____ WS	_____ WS
ELECTRIC LINE	_____ E	_____ E
OVERHEAD ELEC LINE	_____ OHE	_____ OHE
UNDERGROUND ELEC LINE	_____ UGE	_____ UGE
GAS LINE	_____ G	_____ G
TELEPHONE LINE	_____ T	_____ T
OVERHEAD TEL LINE	_____ OHT	_____ OHT
UNDERGROUND TEL LINE	_____ UGT	_____ UGT
FIBER OPTIC LINE	_____ FO	_____ FO
SANITARY MANHOLE	_____ (S)	_____ (S)
STORM DRAIN MANHOLE	_____ (D)	_____ (D)
DRAINAGE SWALE	_____	_____
CURB & GUTTER	_____	_____
BARB-WIRE FENCE	_____ X	_____ X
CHAIN-LINK FENCE	_____ ○	_____ ○
WOOD FENCE	_____ □	_____ □
RR TRACKS	_____	_____
SANITARY CLEANOUT	_____ CO	_____ CO
STORM DRAIN INLET (TYPE "R")	_____	_____
STORM DRAIN INLET (TYPE "C")	_____	_____

WATER METER		
BACKFLOW PREVENTER		
SUMP PIT		
GATE VALVE		
FIRE HYDRANT		
DOWNSPOUT DRAIN		
ELECTRIC TRANSFORMER		
TELEPHONE PEDESTAL		
UTILITY POLE		
LIGHT POLE		
SECTION CORNER		
SURVEY MARKER/MONUMENT		
ASPHALT PAVING		
GRAVEL DRIVE		
CONCRETE PAVEMENT		
RIPRAP		
BUILDING		
PEDESTAL POLE & MASTARM		
PEDESTAL POLE & SIGNAL HEADS		
RECORDED BRG/DIST PER PLAT	(P)	
MEASURED BRG/DIST	(M)	
DETAIL/SECTION REFERENCE		DETAIL OR SECT #

OWNER/APPLICANT

OWNER/APPLICANT
MIKE AMEND
15 WIGGETT CT
ERIE, CO 80516

TECHNICAL CONSULTANTS

SURVEYING
FLATIRON, INC.
655 FOURTH AVE.
LONGMONT, CO. 80501
PHONE 303-776-1700
CONTACT JESS KUNTZ
jess.kuntz@flatironinc.com

PLANNING ENGINEERING
PERMONTES GROUP
625 MAIN STREET
LONGMONT, CO 80501
PHONE 720 684-4981
CONTACT PERMONTES GROUP
MLEY PERMONTESGROUP.COM

GEOTECHNICAL ENGINEERING
KUMAR & ASSOCIATES, INC.
2390 SOUTH LIPAN STREET
DENVER, CO 80223
PHONE: (303) 742-9700
CONTACT: KEN MENDENHALL
www.kumarus.com

THE CONTRACTOR SHALL LOCATE AND
VERIFY ALL EXISTING UTILITY
LOCATIONS PRIOR TO CONSTRUCTION

SHEET INDEX

C1	COVER SHEET
C2	SITE PLAN
C3	UTILITY PLAN
C4	GRADING PLAN
C5	DRAINAGE & ER CONTROL PLAN
O6	DRAINAGE & ER CONTROL NOTES
C7	DETAILS - CIVIL DETAILS I
C8	LANDSCAPE PLAN
C9	LANDSCAPING SCHEDULES
C10	ELECTRICAL SITE PHOTOMETRIC PLAN (BY OTHERS)
A-1	FLOOR PLAN SHEET (BY OTHERS)
A-2	ELEVATIONS SHEET (BY OTHERS)
A-3	ELEVATIONS SHEET (BY OTHERS)

SPECIAL REVIEW USE SITE PLAN APPROVAL CERTIFICATE:

THIS SPECIAL REVIEW USE PLAN HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORDANCE WITH APPLICABLE TOWN OF ERIE REGULATIONS

PLANNING COMMISSION - CHAIRMAN _____ DATE _____

BOARD OF TRUSTEES - MAYOR _____ DATE _____

THE UNDERSIGNED AS THE OWNER OR OWNER'S REPRESENTATIVE OF THE LANDS DESCRIBED HEREIN, HEREBY AGREES ON BEHALF OF HIMSELF/HERSELF, THEIR HEIRS, SUCCESSORS, AND ASSIGNS TO DEVELOP AND MAINTAIN THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH THIS APPROVED SITE PLAN AND IN COMPLIANCE WITH THE TOWN OF ERIE UNIFIED DEVELOPMENT CODE AND MUNICIPAL CODE.

OWNER SIGNATURE _____ OWNER NAME PRINTED _____

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____

BY _____ AS _____.

WITNESS MY HAND AND SEAL:

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

SITE DATA SUMMARY CHART		
ZONE DISTRICT - LIGHT INDUSTRIAL (LI)		
ITEM	SQUARE FOOTAGE	PERCENT OF GROSS SITE
GROSS SITE AREA:	42,200 S.F. (0.970 AC)	100 %
• BUILDING FOOTPRINT:	6,912 S.F.	16.4 %
• PARKING/ ROADS: DRIVEWAYS AND PARKING:	18,600 S.F.	44.0%
OUTDOOR STORAGE AREA	<u>5,300 S.F.</u>	<u>12.7%</u>
HARDSCAPE TOTAL	31,022 S.F.	73.4%
• PLANTED AREA	6,529 S.F.	15.5%
• NON-LANDSCAPED (NATIVE SEED) AREA	4,810 S.F.	11.4%
• EXISTING VEGETATION	-----	-----
• TRAILS & SIDEWALKS	-----	-----
LANDSCAPE TOTAL	6,529 S.F.	15.5%
ITEM	DESCRIPTION	
BUILDING SIZE: 1 STORY		
• AN UNDETERMINED MIX OF OFFICE AND/ OR LIGHT INDUSTRIAL	<u>6,912 S.F.</u>	
TOTAL	6,912 S.F.	
PARKING		
• TOTAL REQUIRED (OFFICE 1/300 S.F.)	23 SPACES	
• TOTAL PROVIDED (INCLUDING HANDICAP)	23 SPACES	
• HANDICAP PROVIDED	1 SPACE	

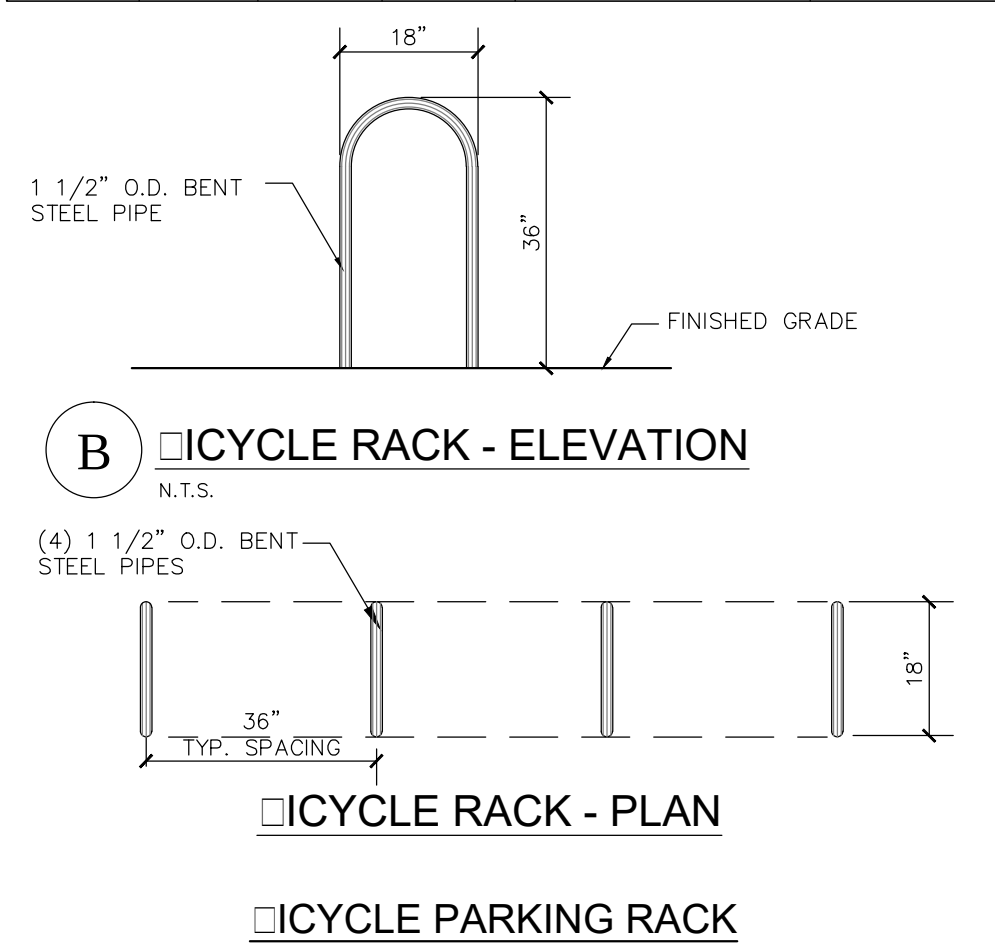
																																																																																																																							
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CTB: PCL 2015_MONO.CTB BY: STEPHEN WILLIAMS PLOT DATE: 1/9/2017 2:59 PM

DRAWING FILE: S:\PROJECTS\197.001 LONGS PEAK SPRINKLER\3. ENGINEERING\DRAWINGS\197.001 SITE PLAN.DWG

EDGE OF PAVEMENT LINE TABLE				
LINE #	LENGTH	DIRECTION	START POINT (N/E)	END POINT (N/E)
L1	19.43	N70°01'07"E	(1254689.07, 3126334.36)	(1254695.71, 3126352.62)
L2	75.96	S89°59'35"E	(1254687.58, 3126249.85)	(1254687.57, 3126325.81)
L3	12.30	N00°00'25"E	(1254675.28, 3126249.85)	(1254687.58, 3126249.85)
L4	13.25	N89°59'35"W	(1254675.28, 3126249.85)	(1254675.28, 3126236.60)
L5	16.54	N00°00'25"E	(1254658.74, 3126236.59)	(1254675.28, 3126236.60)
L6	17.00	S89°59'35"E	(1254655.74, 3126216.59)	(1254655.74, 3126233.59)
L7	36.00	N00°00'25"E	(1254619.74, 3126216.59)	(1254655.74, 3126216.59)
L8	17.00	N89°59'35"W	(1254619.74, 3126233.59)	(1254619.74, 3126216.59)
L9	3.00	N00°00'25"E	(1254613.74, 3126236.59)	(1254616.74, 3126236.59)
L10	17.00	S89°59'35"E	(1254610.74, 3126216.59)	(1254610.74, 3126233.59)
L11	36.00	N00°00'25"E	(1254574.74, 3126216.59)	(1254610.74, 3126216.59)
L12	17.00	N89°59'35"W	(1254574.74, 3126233.58)	(1254574.74, 3126216.58)
L13	3.00	N00°00'25"E	(1254568.74, 3126236.58)	(1254571.74, 3126236.58)
L14	7.00	S89°59'35"E	(1254565.74, 3126226.58)	(1254565.74, 3126233.58)
L15	60.00	N00°00'25"E	(1254505.74, 3126226.58)	(1254565.74, 3126226.58)
L16	39.00	N89°59'35"W	(1254505.74, 3126265.58)	(1254505.74, 3126226.58)
L17	15.00	S00°00'25"W	(1254520.74, 3126265.58)	(1254505.74, 3126265.58)
L18	10.00	S89°59'35"E	(1254520.74, 3126255.58)	(1254520.74, 3126265.58)
L19	10.00	S00°00'25"W	(1254530.74, 3126255.58)	(1254520.74, 3126255.58)
L20	10.00	N89°59'35"W	(1254530.74, 3126265.58)	(1254530.74, 3126255.58)
L21	3.49	S00°00'25"W	(1254534.23, 3126265.58)	(1254530.74, 3126265.58)
L22	12.00	S89°59'35"E	(1254534.23, 3126265.58)	(1254534.23, 3126265.58)
L23	12.00	S00°00'25"W	(1254546.23, 3126253.58)	(1254534.23, 3126253.58)
L24	12.00	N89°59'35"W	(1254546.23, 3126265.58)	(1254546.23, 3126253.58)
L25	20.16	S00°00'25"W	(1254566.40, 3126265.58)	(1254546.23, 3126265.58)
L26	12.00	S89°59'35"E	(1254566.40, 3126253.58)	(1254566.40, 3126265.58)
L27	12.00	S00°00'25"W	(1254578.40, 3126253.59)	(1254566.40, 3126253.58)
L28	12.00	N89°59'34"W	(1254578.40, 3126265.59)	(1254578.40, 3126253.59)
L29	20.67	S00°00'20"W	(1254599.06, 3126265.59)	(1254578.40, 3126265.59)
L30	12.00	S89°59'35"E	(1254599.07, 3126253.59)	(1254599.06, 3126265.59)

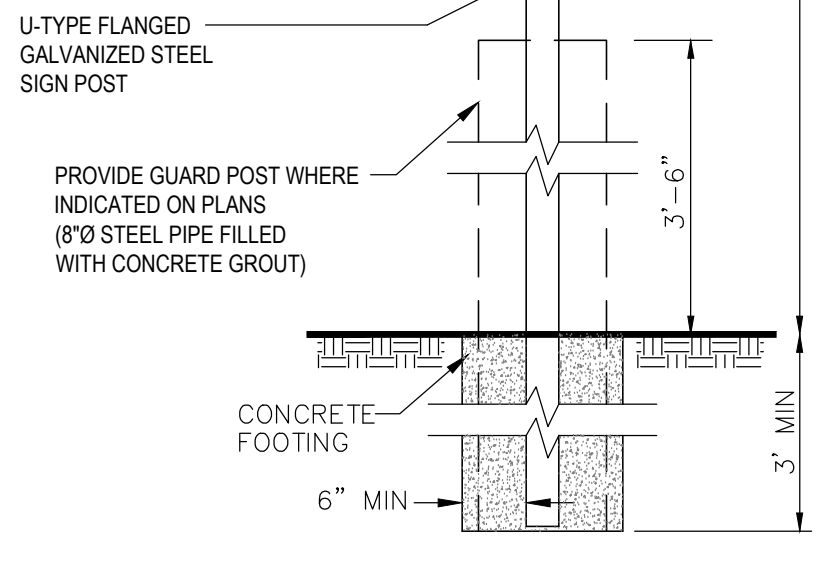
EDGE OF PAVEMENT CURVE TABLE				
CURVE #	RADIUS	LENGTH	DELTA	STARTING POINT (N/E)
C1	5.58	4.99	51°13'32"	(1254695.71, 3126352.62)
C2	25.00	8.72	19°59'18"	(1254687.57, 3126325.81)
C4	3.00	4.71	90°00'00"	(1254655.74, 3126233.59)
C5	3.00	4.71	90°00'00"	(1254616.74, 3126236.59)
C6	3.00	4.71	90°00'00"	(1254610.74, 3126233.59)
C7	3.00	4.71	90°00'00"	(1254571.74, 3126236.58)
C8	3.00	4.71	90°00'00"	(1254565.74, 3126233.58)
C9	10.00	15.71	90°00'00"	(1254663.57, 3126270.60)
C10	10.00	15.71	90°00'00"	(1254653.57, 3126313.60)
C11	3.00	4.71	90°00'00"	(1254472.73, 3126323.57)
C12	1.55	2.12	78°42'24"	(1254466.99, 3126349.07)
C13	3.00	4.71	90°00'00"	(1254541.99, 3126347.58)
C14	3.00	4.71	90°00'00"	(1254547.99, 3126350.58)
C15	3.00	4.71	89°59'37"	(1254622.99, 3126347.59)
C16	5.00	6.11	70°02'44"	(1254669.55, 3126350.89)
C17	4.54	6.12	77°15'05"	(1254670.23, 3126362.17)
C18	33.13	13.84	23°56'19"	(1254699.25, 3126355.91)



EDGE OF PAVEMENT LINE TABLE				
LINE #	LENGTH	DIRECTION	START POINT (N/E)	END POINT (N/E)
L31	12.00	S00°00'25"W	(1254611.07, 3126253.59)	(1254599.07, 3126253.59)
L32	12.00	N89°59'35"W	(1254611.06, 3126265.59)	(1254611.07, 3126253.59)
L33	20.67	S00°00'25"W	(1254631.73, 3126265.59)	(1254611.06, 3126265.59)
L34	12.00	S89°59'35"E	(1254631.73, 3126253.59)	(1254631.73, 3126265.59)
L35	12.00	S00°00'25"W	(1254643.73, 3126253.59)	(1254631.73, 3126253.59)
L36	12.00	N89°59'35"W	(1254643.73, 3126265.59)	(1254643.73, 3126253.59)
L37	6.01	N00°00'43"E	(1254643.73, 3126265.59)	(1254649.74, 3126265.59)
L38	5.00	S89°59'33"E	(1254649.74, 3126260.59)	(1254649.74, 3126265.59)
L39	3.84	S00°00'25"W	(1254653.58, 3126260.59)	(1254649.74, 3126260.59)
L40	43.00	N89°59'35"W	(1254663.57, 3126313.60)	(1254663.57, 3126270.60)
L41	154.00	N00°00'25"E	(1254495.73, 3126323.58)	(1254649.73, 3126323.59)
L42	10.00	N90°00'00"E	(1254495.73, 3126313.58)	(1254495.73, 3126323.58)
L43	20.04	N00°00'25"E	(1254475.69, 3126313.57)	(1254495.73, 3126313.58)
L44	7.00	S89°39'25"W	(1254475.73, 3126320.57)	(1254475.69, 3126313.57)
L45	7.00	N00°00'25"E	(1254465.73, 3126323.57)	(1254472.73, 3126323.57)
L46	24.00	N89°59'35"W	(1254465.73, 3126347.57)	(1254465.73, 3126323.57)
L47	18.50	N89°59'37"W	(1254466.99, 3126367.57)	(1254466.99, 3126349.07)
L48	72.00	S00°00'25"W	(1254538.99, 3126367.58)	(1254466.99, 3126367.57)
L49	17.00	S89°59'35"E	(1254538.99, 3126350.58)	(1254538.99, 3126367.58)
L50	3.00	S00°00'25"W	(1254544.99, 3126347.58)	(1254541.99, 3126347.58)
L51	17.00	N89°59'35"W	(1254547.99, 3126367.58)	(1254547.99, 3126350.58)
L52	72.00	S00°00'25"W	(1254619.99, 3126367.59)	(1254547.99, 3126367.58)
L53	17.00	S89°59'35"E	(1254619.99, 3126350.59)	(1254619.99, 3126367.59)
L54	41.78	S00°00'19"W	(1254664.85, 3126347.60)	(1254623.07, 3126347.60)
L55	6.16	S70°03'08"W	(1254671.65, 3126356.68)	(1254669.55, 3126350.89)
L56	16.71	S23°50'12"E	(1254685.51, 3126355.42)	(1254670.23, 3126362.17)

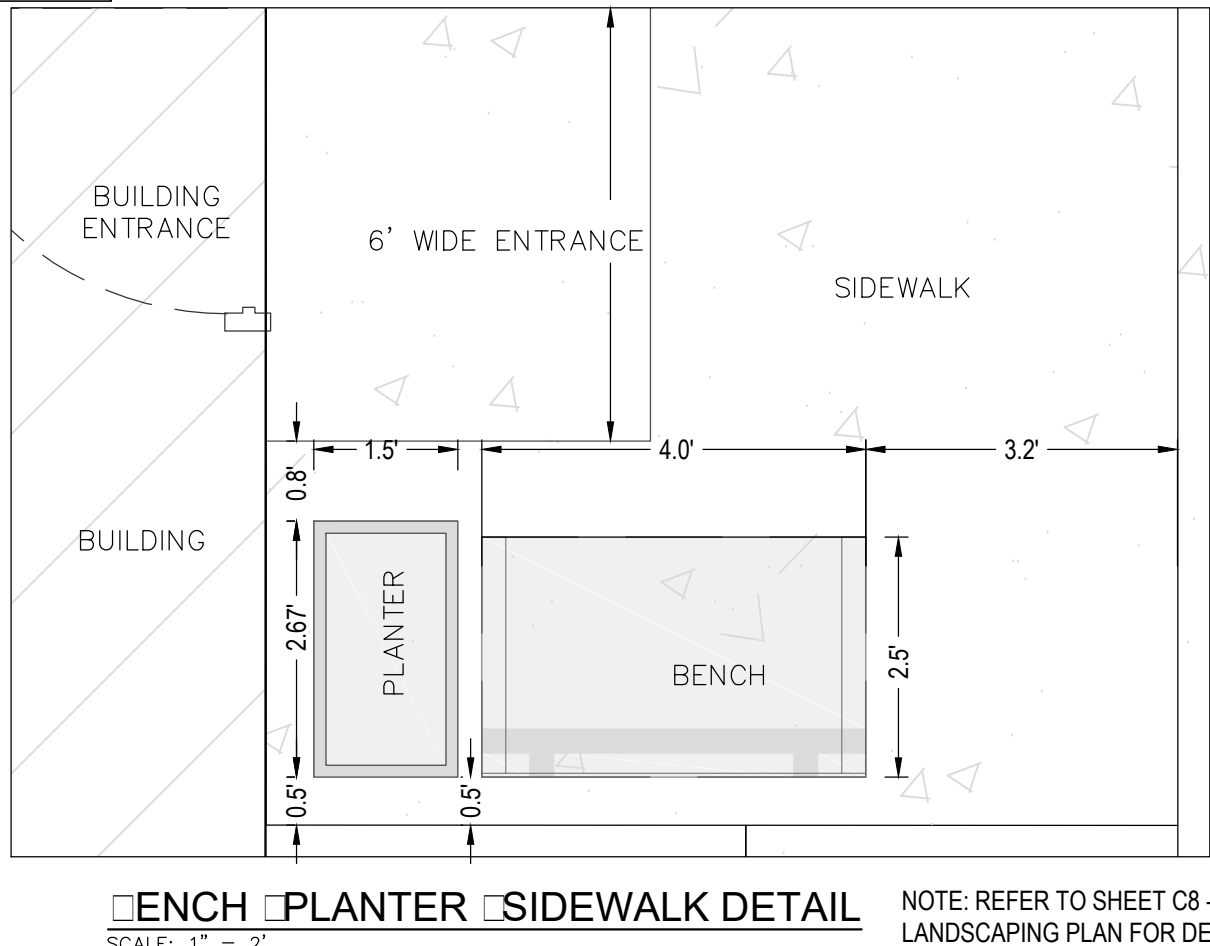
NOTES

- SIGNS SHALL CONFORM TO 2009 MUTCD SECTIONS 2B.46 AND 2B.47
- R7-8 SHALL BE 12" x 18" AND HAVE A GREEN LEGEND "RESERVED PARKING" AND BORDER AND A WHITE WHEELCHAIR SYMBOL ON A BLUE SQUARE, ALL ON A WHITE BACKGROUND. SIGN SHALL HAVE NO ARROW.
- R7-8P SHALL BE 12" x 6" AND HAVE A GREEN LEGEND "VAN ACCESSIBLE" AND BORDER ON A WHITE BACKGROUND.
- ALL DIMENSIONS SHALL CONFORM TO THE 2004 EDITION OF THE STANDARD HIGHWAY SIGNS MANUAL UNLESS SUPERCEDED BY THE 2012 SUPPLEMENT



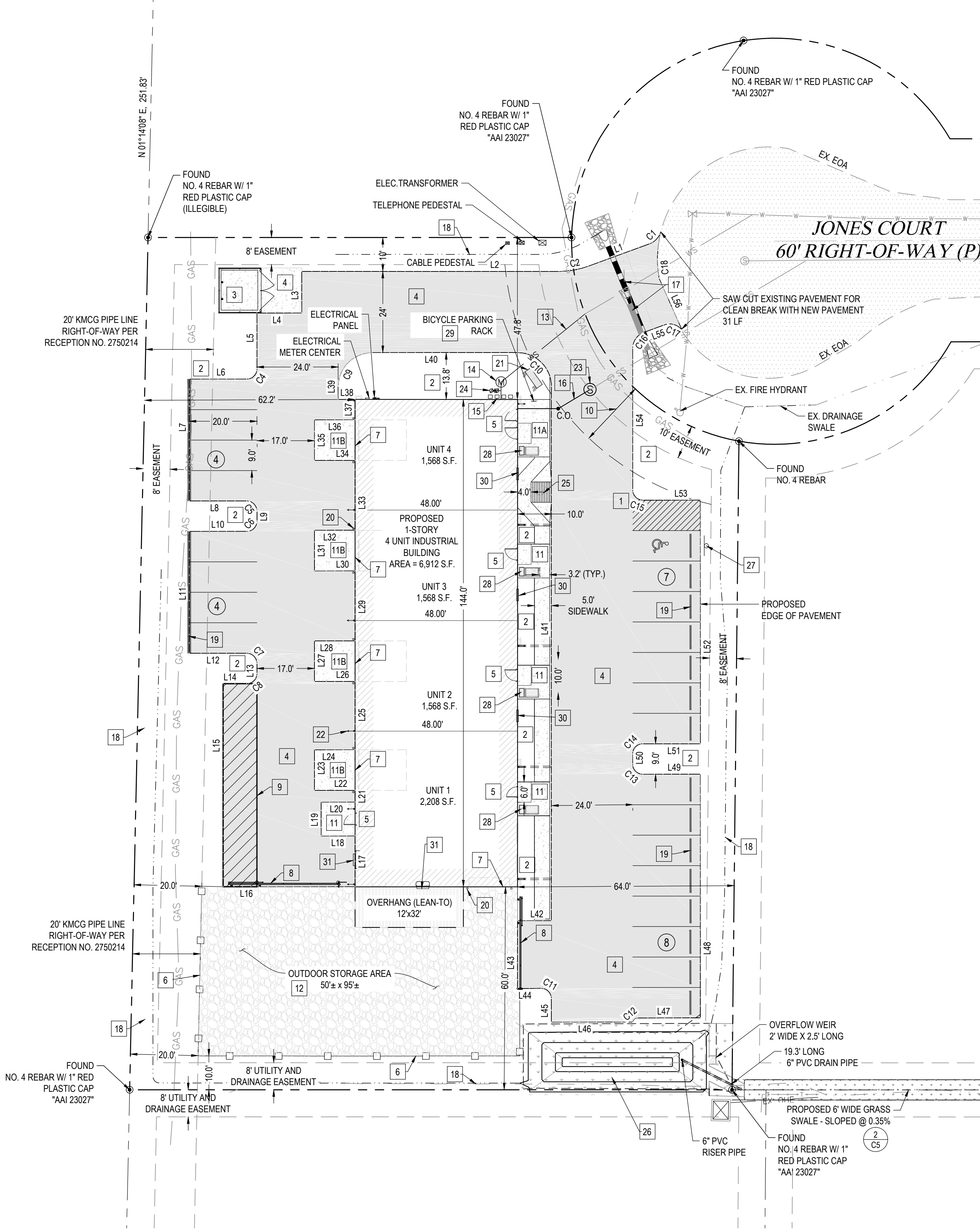
A ACCESSIBLE PARKING SIGN

N.T.S.



LOT 8, AUSTIN INDUSTRIAL PARK

LONGS PEAK SPRINKLER, 460 JONES COURT
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
0.97± ACRES
SITE PLAN - SP-000775-2016
SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES
SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016



SITE NOTES

- PROPERTY IS ZONED "LIGHT INDUSTRIAL" (LI).
- THERE ARE NO MAJOR DRAINAGE WAYS AFFECTING THE SITE.
- THE SITE DOES NOT LIE WITHIN 100-YR FLOODPLAIN.
- OWNER/CONTRACTOR MUST OBTAIN PERMITS FROM THE COLORADO DEPT. OF HEALTH, WATER QUALITY CONTROL DIVISION PERMIT ENFORCEMENT SECTION, AND THE TOWN OF ERIE PRIOR TO CLEARING, GRADING, OR EXCAVATION.
- TREE PRESERVATION METHODS SHALL INCLUDE THOSE LISTED IN THE UNIFIED DEVELOPMENT CODE - SECTION 10.6.4 - E AS APPLICABLE.

PARKING REAKDOWN

REQUIRED:	23 OPEN SPACES
PROVIDED:	22 OPEN SPACES 1 ACCESSIBLE SPACES 23 TOTAL SPACES

LOADING BERTH

REQUIRED:	1 OPEN SPACE
PROVIDED:	1 OPEN SPACE

SITE PLAN FLAG NOTES

- VAN-ACCESSIBLE HANDICAP PARKING WITH SIGNS
- LANDSCAPE ISLAND
- ENCLOSED DUMPSTER W/ 12' SWING GATE & CONCRETE PAD
- PAVEMENT SECTION TO BE A FLEXIBLE ASPHALT SECTION OR RIGID CONCRETE SECTION AS RECOMMENDED IN THE "GEOTECHNICAL ENGINEERING STUDY AND PAVEMENT THICKNESS DESIGN PROPOSED AUSTIN INDUSTRIAL PARK BUILDING 460 JONES COURT ERIE, CO." PREPARED BY KUMAR & ASSOCIATES, INC., DATED JUNE 24, 2016.
- ACCESS MAN DOOR (TYP.)
- PERIMETER FENCING
- 12' X 16' OVERHEAD SLIDING DOOR
- 14' SWING GATE
- 10' X 60' LOADING BERTH
- 20' BUILDING SETBACK
- 10'X10' CONCRETE PAD
- 15'X10' CONCRETE PAD
- 12'X10' CONCRETE PAD
- OUTDOOR STORAGE AREA TO BE RECYCLED ASPHALT OR RECYCLED CONCRETE
- 1" WATER SERVICE
- 1" WATER METER
- NATURAL GAS SERVICE METERS
- 4" SANITARY SEWER SERVICE
- 15" RCP STORM PIPE W/ FES TO BE REMOVED & REPLACED
- DRAINAGE SWALE
- PARKING ASPHALT CURB STOP
- BOLLARDS LOCATED ON EACH END OF OVERHEAD DOORS (10 TOTAL)
- FLAGSTONE MONUMENT SIGN (APPROXIMATELY 4'x6')
- ROOF DRAINS (10 TOTAL)
- FLOW METER/ SAMPLING STATION
- REDUCED PRESSURE ASSEMBLY
- CURB RAMP TYPE 1 DETAIL SW5
- WATER QUALITY POND
- ACCESSIBLE PARKING SIGN
- PLANTER BOX AND SITTING BENCH
- BICYCLE PARKING RACK
- APPROXIMATE LOCATION OF FUTURE ACHEATER LOCATION (3'-6" WIDE X 1'5" HIGH) (1' - 10 1/2' FROM GROUND)
- ACHEATER LOCATION

THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION

COMMUNITY DEVELOPMENT - TOWN OF ERIE
TOWN REVIEW COMMENTS
DATE
REVISION
LOCK

2
11/2/16
07/28/16
REV.

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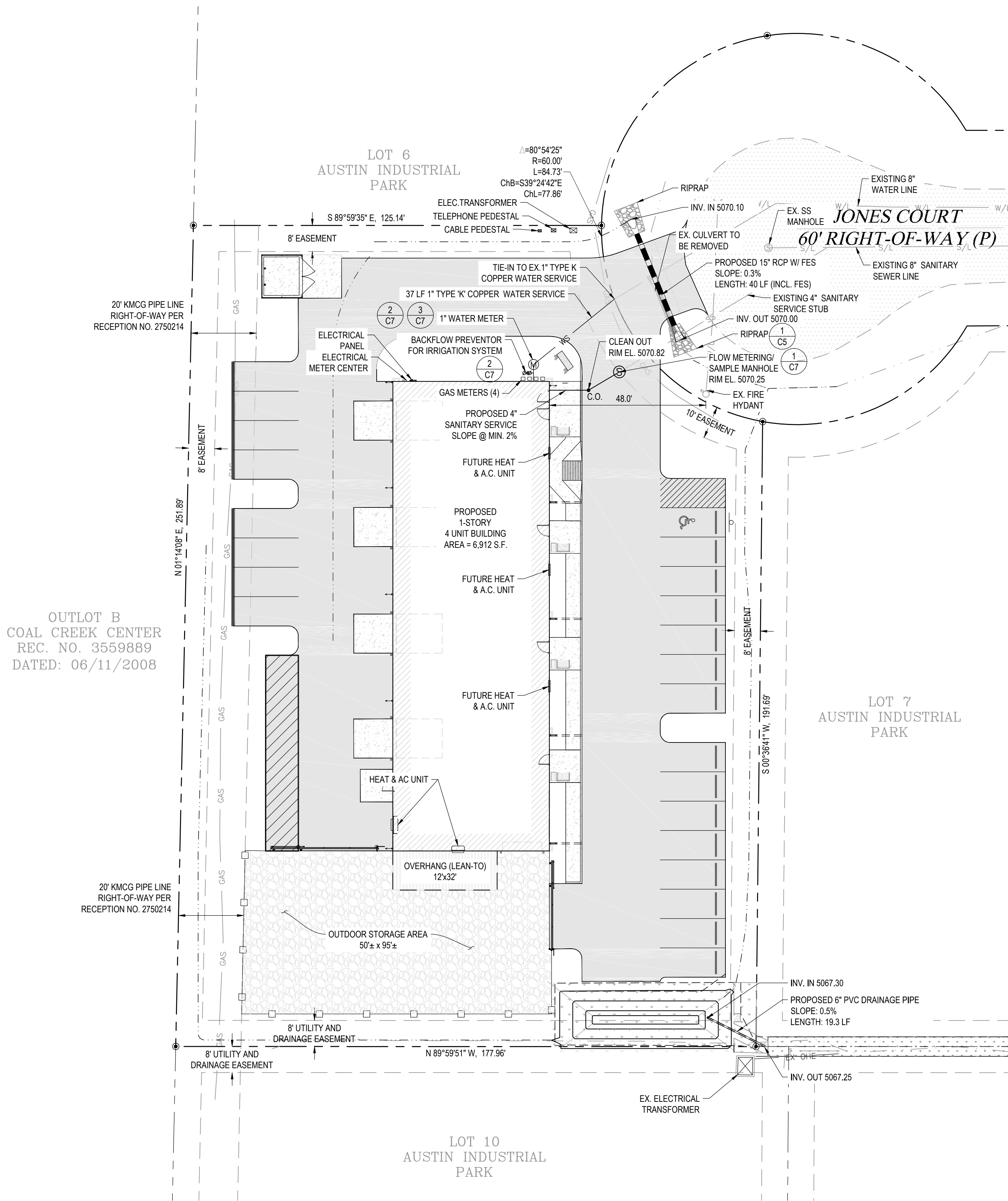
permontesgroup
625 Main Street
Longmont, CO 80501
T: (720) 684-4981
F: (666) 563-9212
www.permontesgroup.com

MIKE AMEND
SITE PLAN
LOT 8, AUSTIN INDUSTRIAL PARK
460 JONES COURT, ERIE, CO

PREPARED FOR:
SHEET TITLE:

DESIGNED BY: ML
DRAWN BY: SDW
CHECKED BY: ML
APPROVED BY: JHP
PROJECT NO.: 197.001
DATE: 05/10/2016
SCALE: AS SHOWN
SHEET NO.: C2
SHEET 2 OF 12

LOT 8, AUSTIN INDUSTRIAL PARK
LONGS PEAK SPRINKLER, 460 JONES COURT
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
0.97± ACRES
SITE PLAN - SP-000775-2016
SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES
SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016



GENERAL NOTES

1. CONTRACTOR SHALL CONFIRM ALL EXISTING UTILITIES LOCATIONS AND INFORM PERMONTES GROUP, INC. OF ANY CONFLICTS A MINIMUM OF 5 DAYS PRIOR TO CONSTRUCTION.
2. ALL CONSTRUCTION SHALL BE PER TOWN OF ERIE STANDARDS & SPECIFICATIONS, LATEST EDITION.
3. THE BUILDING LIGHTING SHALL BE AIMED AT THE BUILDING SO THAT LIGHT DOES NOT DRIFT OFF THE SITE.
4. CONTRACTOR TO COORDINATE DRY UTILITIES WITH APPROPRIATE AGENCIES.
5. CONTRACTOR SHALL PROVIDE NECESSARY MEASURES TO ADEQUATELY PROTECT THE EXISTING GAS MAINS AND OTHER UTILITIES DURING ALL SITE CONSTRUCTION ACTIVITIES.

PREPARED FOR: MIKE AMEND

SHEET TITLE: UTILITY PLAN
LOT 8, AUSTIN INDUSTRIAL PARK
460 JONES COURT, ERIE, CO

DESIGNED BY: ML

DRAWN BY: SDW

CHECKED BY: ML

APPROVED BY: JHP

PROJECT NO.: 197.001

DATE: 05.10.2016

SCALE: AS SHOWN

SHEET NO. C

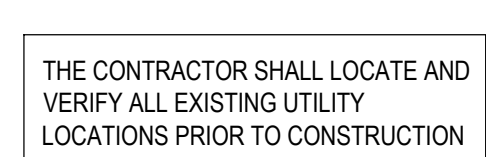
SHEET 1 OF 1

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REV.	DATE	DESCRIPTION	REVISION
1	07/28/16	TOWN REVIEW COMMENTS	
2	11/2/16	COMMUNITY DEVELOPMENT - TOWN OF ERIE	

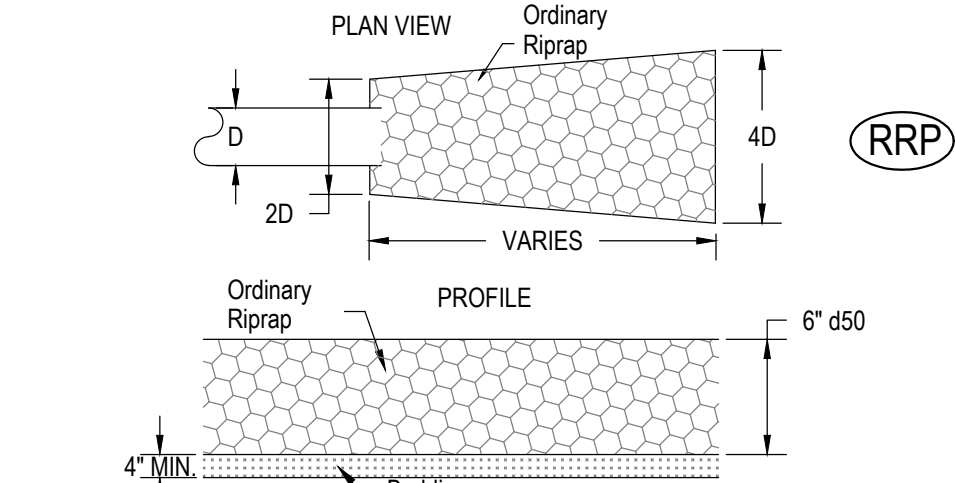
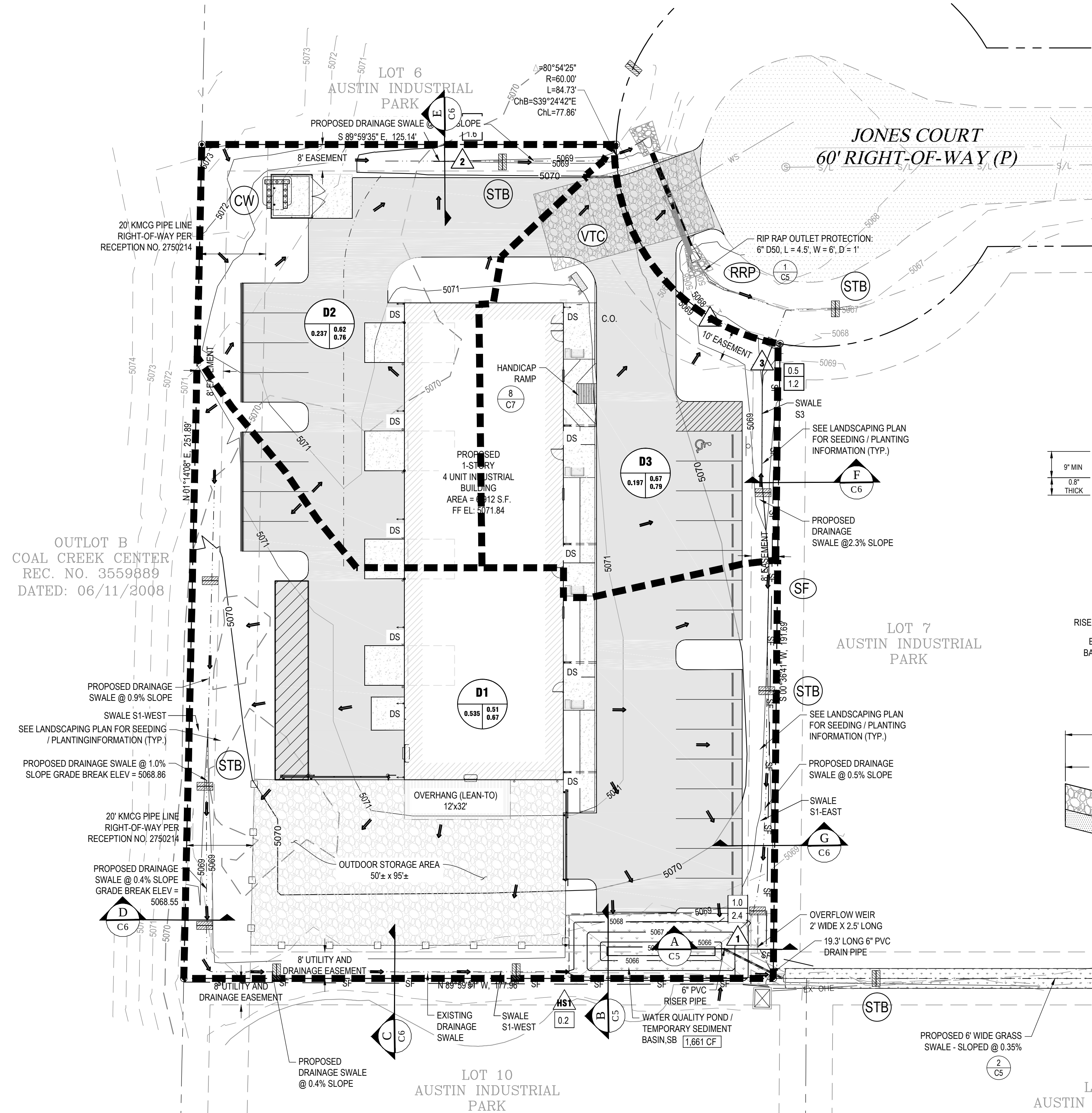
SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016



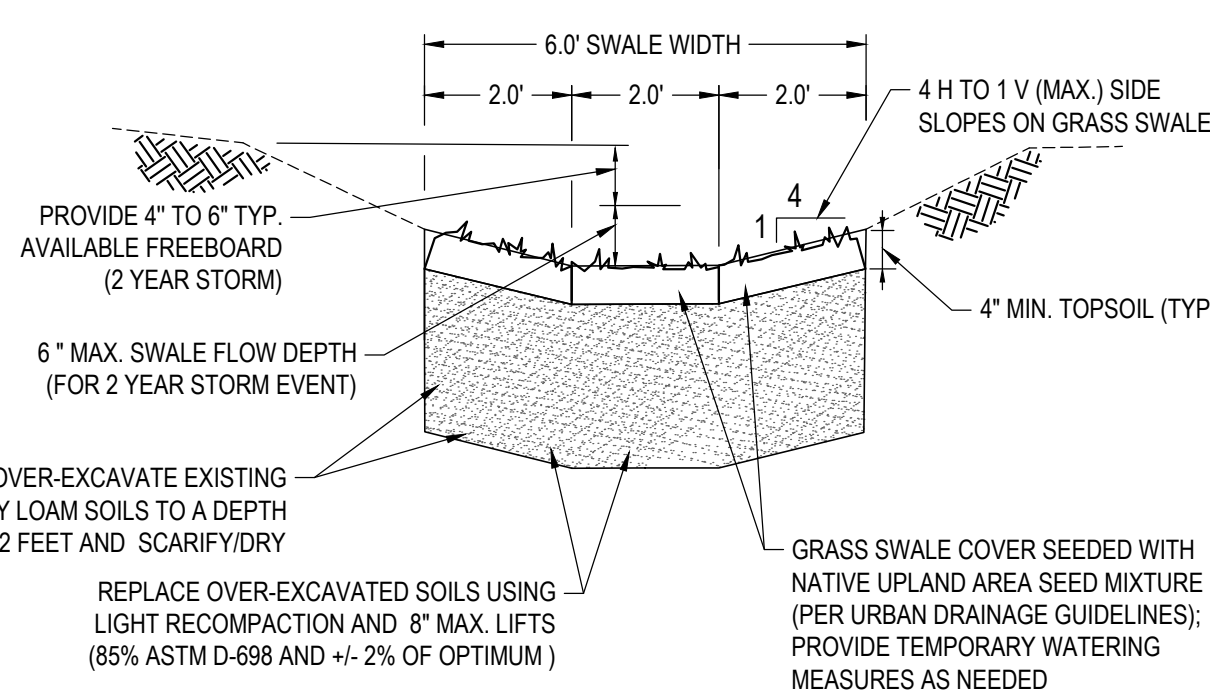
SHEET 4 OF 1

CTB: PC_2015_MONO.CTB
BY: STEPHEN WILLIAMS
PLOT DATE: 1/9/2017 2:50 PM
DRAWING FILE: S:\PROJECTS\197.001 LONGS PEAK SPRINKLER\3. ENGINEERING\DRAWINGS\197.001 GRADING PLAN.DWG

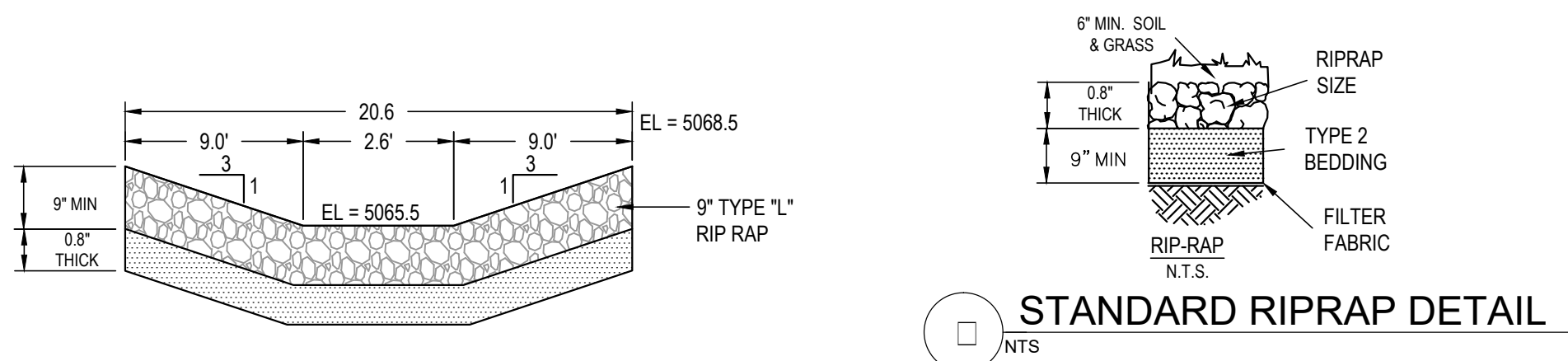
LOT 8, AUSTIN INDUSTRIAL PARK
LONGS PEAK SPRINKLER, 460 JONES COURT
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
0.97± ACRES
SITE PLAN - SP-000775-2016
SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES
SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016



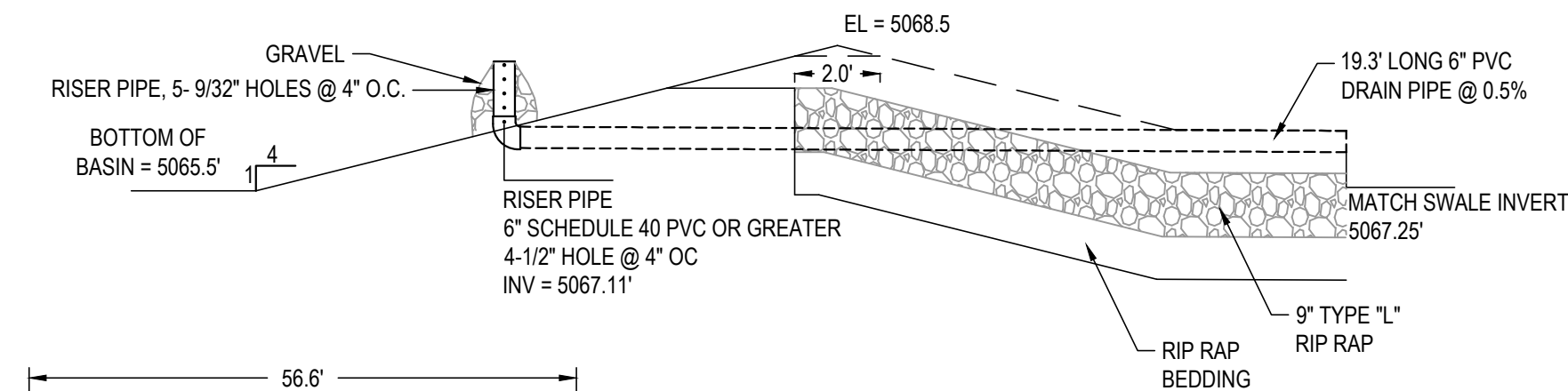
1 RIP RAP OUTLET PROTECTION
NTS



2 OFFSITE GRASS SWALE OUTFALL
NTS



STANDARD RIPRAP DETAIL
NTS



4 WATER QUALITY POND DETAIL
NTS

A SECTION A
NTS

B SECTION B
NTS

- DRAINAGE DETENTION AREA NOTES:**
- NO BUILDING, STRUCTURE, OR FILL WILL BE PLACED IN THE DETENTION AREAS AND NO CHANGES OR ALTERATIONS AFFECTING THE HYDRAULIC CHARACTERISTICS OF THE DETENTION AREAS WILL BE MADE WITHOUT THE APPROVAL OF THE TOWN.
 - PERMISSION TO REPRODUCE THESE PLANS IS HEREBY GIVEN TO THE TOWN FOR PURPOSES ASSOCIATED WITH PLAN REVIEW, APPROVAL, PERMITTING, INSPECTION AND CONSTRUCTION OF WORK.
 - THERE ARE NO MAJOR DRAINAGE WAYS AFFECTING THE SITE.
 - THE SITE DOES NOT LIE WITHIN 100-YR FLOODPLAIN.
 - OWNER/CONTRACTOR MUST OBTAIN PERMITS FROM THE COLORADO DEPT. OF HEALTH, WATER QUALITY CONTROL DIVISION PERMIT ENFORCEMENT SECTION, AND THE TOWN OF ERIE PRIOR TO CLEARING, GRADING, OR EXCAVATION.

- EROSION CONTROL CONSTRUCTION NOTES:**
- AT ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT, EROSION AND SEDIMENT CONTROL SYSTEMS SHALL BE MAINTAINED TO PREVENT DAMAGING FLOWS ON THE SITE AND IN THE WATERSHED BELOW THE SITE. CONTROL SYSTEMS SHALL BE INSTALLED PRIOR TO STRIPPING OF NATIVE VEGETATIVE COVER AND AS GRADING PROGRESSES. CONTROL SYSTEMS SHALL INCLUDE, AS A MINIMUM, STRAW BALE SEDIMENT TRAPS (OR EQUIVALENT) ALONG NATURAL DRAINAGE-WAYS PRIOR TO GRADING, AND UTILIZATION OF DESIGNED STORM DETENTION BASINS PRIOR TO FINAL GRADING REVEGETATION. THE MINIMUM STORAGE CAPACITIES FOR THE TWO SEDIMENT BASINS ARE INDICATED ON THIS DRAWING.
 - ALL SEDIMENT TRAPS WILL BE CLEANED AND MAINTAINED TO PROVIDE ADEQUATE PROTECTION FROM SOIL LOSS UNTIL A TIME WHEN THE TOWN DETERMINES THEY ARE NO LONGER NEEDED.
 - THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING MEASURES TO PREVENT EROSION OF DISTURBED SOIL BY WINDS.
 - CONTRACTOR SHALL OBTAIN PERMITS FROM THE COLORADO DEPT. OF HEALTH, WATER QUALITY CONTROL DIVISION PERMIT ENFORCEMENT SECTION, AND THE TOWN OF ERIE PRIOR TO CLEARING, GRADING, OR EXCAVATION.
 - THE CONSTRUCTION EROSION SEDIMENT CONTROL PLAN MAY BE MODIFIED BY THE STATE OF COLORADO HEALTH DEPARTMENT OR AUTHORIZED REPRESENTATIVE AS FIELD CONDITIONS WARRANT.
 - CONTRACTOR TO MONITOR AND MAINTAIN VEHICLE TRACKING CONTROL PAD. IF MUD AND DIRT BECOMES A PROBLEM ON THE ROADWAY MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, ADDITIONAL AGGREGATE AND CLEANING OF STREETS.
 - WHERE AREAS ARE TO BE LEFT BARE FOR EXTENDED PERIODS, SEED WITH FOOTHILL SEED MIXTURE.
 - ALL EROSION CONTROL METHODS NEED TO BE INSTALLED AND APPROVED BY THE TOWN OF ERIE INSPECTOR PRIOR TO ANY CONSTRUCTION.
 - CONCRETE WASHOUT SHOULD BE PROPERLY DISPOSED OF OFF-SITE.
 - TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.

EROSION CONTROL LEGEND

EXISTING CONTOUR (1')	---	5074
PROPOSED CONTOUR (1')	---	5075
SILT FENCE	(SF)	SF
RIP RAP OUTLET PROTECTION	(RRP)	RRP
CURB INLET PROTECTION	(CIP)	CIP
INLET PROTECTION	(IP)	IP
CONCRETE WASHOUT BASIN	(CW)	CW
VEHICLE TRACKING CONTROL	(VTC)	VTC
STRAW BALE DAM	(STB)	STB
VEHICLE TRACKING CONTROL (VTC) SHALL BE USED DURING ALL PHASES OF CONSTRUCTION AT CONTRACTOR'S AND TOWN OF ERIE INSPECTOR'S DISCRETION.		

DRAINAGE LEGEND

DESIGN POINT	SYMBOLS
BASIN DESIGNATION	HISTORIC BASIN BOUNDARY
RUNOFF COEFFICIENT (MINOR 5-YEAR)	DEVELOPED BASIN BOUNDARY
RUNOFF COEFFICIENT (MAJOR 100-YEAR)	PROPOSED DRAINAGE SLOPE
AREA (ACRES)	DRAIN SPOUT
SLOPE ARROW	
PEAK INITIAL (5 YEAR) STORM DISCHARGE (CFS)	
PEAK MAJOR (100 YEAR) STORM DISCHARGE (CFS)	

DESIGNED BY	ML
DRAWN BY	SDW
CHECKED BY	ML
APPROVED BY	
PROJECT NO.	197.001
DATE	05/10/2016
SCALE	AS SHOWN
SHEET NO.	C5
SHEET 5 OF 10	

LOT 8, AUSTIN INDUSTRIAL PARK
460 JONES COURT, ERIE, CO

MIKE AMEND

DRAINAGE EROSION CTRL PLAN

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CTB: PC_2015_MONO.CTB BY: STEPHEN WILLIAMS PLOT DATE: 1/9/2017 2:50 PM

DRAWING FILE: S:\PROJECTS\197.001 LONGS PEAK SPRINKLER\3. ENGINEERING\DRAWINGS\197.001 GRADING PLAN.DWG

EMERGENCY SPILLWAY □ RIPRAP AT FOOT OF □ERM									
BASIN	Q100 (cfs)	TOP OF BERM (ft)	WIDTH OF SPILLWAY (ft)	DEPTH OF SPILLWAY (ft)	SPILLWAY INVERT (ft)	LENGTH (ft)	WIDTH (ft)	THICKNESS (ft)	VELOCITY (fps)
SB	2.40	5069.25	4.50	0.50	5068.75	4.5	13.5	0.8	0.15

DEVELOPED RUNOFF												
S	d	P		A	I	TOC	C5	C10	C100	Q5	Q10	Q100
1	D1	0.515	56	12	0.51	0.56	0.67	1.0	1.0	2.4		
2	D2	0.274	68	6	0.62	0.67	0.76	0.7	0.9	1.6		
	D	0.1969	75	9	0.67	0.71	0.79	0.5	0.7	1.2		
TOTAL DEVELOPED RUNOFF									2.2	2.9	5.2	

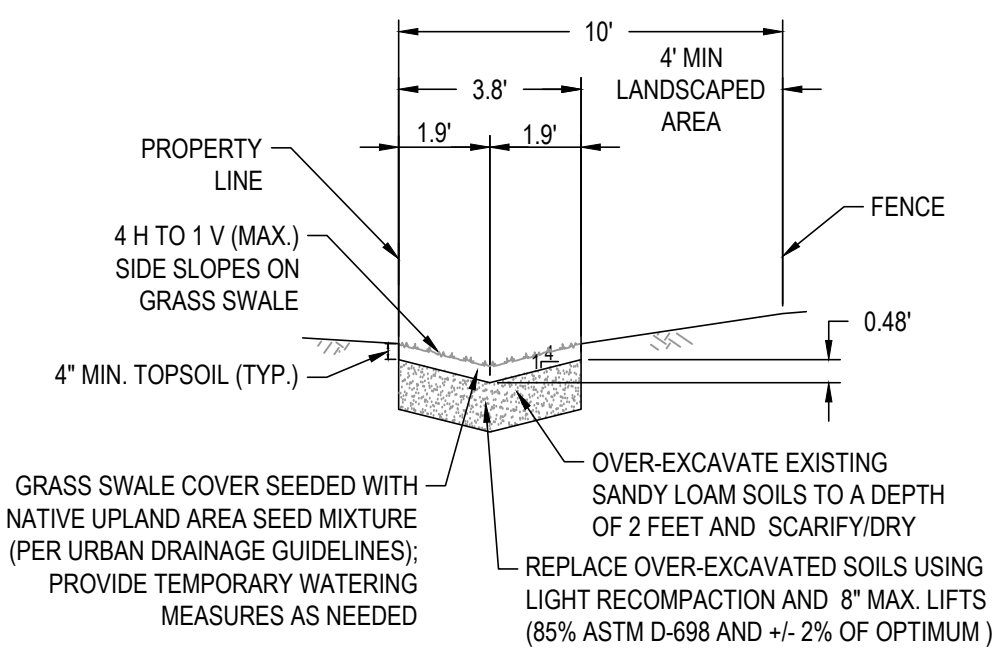
RIP RAP					
PIPE	LOCATION	LENGTH (ft)	WIDTH (ft)	THICKNESS (ft)	VELOCITY (fps)
6" PIPE	SEDIMENT BASIN	1.5	1.5	0.8	1.23
18" PIPE	DRIVEWAY CULVERT	4.5	4.5	0.8	3.11

WQCV		
REQUIRED	PROVIDED	
CU-FT	AC-FT	SB CU-FT
1,035	0.024	1,661

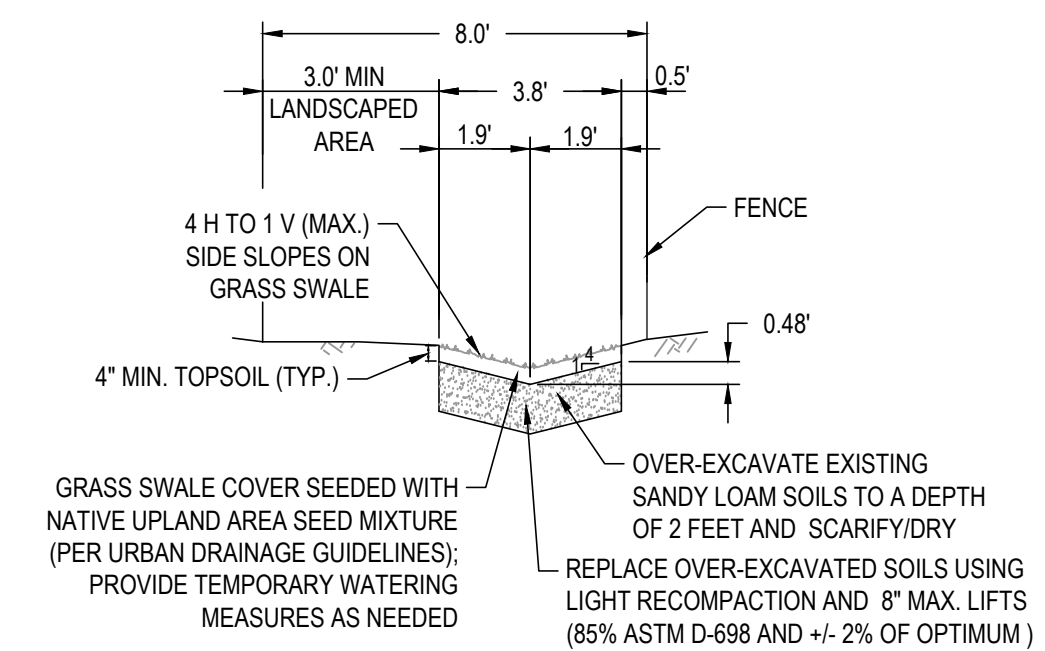
SEDIMENT BASIN VOLUME		
REQUIRED	PROVIDED	
CU-FT	AC-FT	SB CU-FT
3,488	0.08	1,661

PROPOSED OFFSITE SWALE CAPACITY (WQ1)		
STUDY POINT	BASIN	Q5 (cfs)
1	D1	1.0
WQ1	OFFSITE	0.8
REQUIRED: 1.8 cfs		
PROVIDED 1.9 cfs		

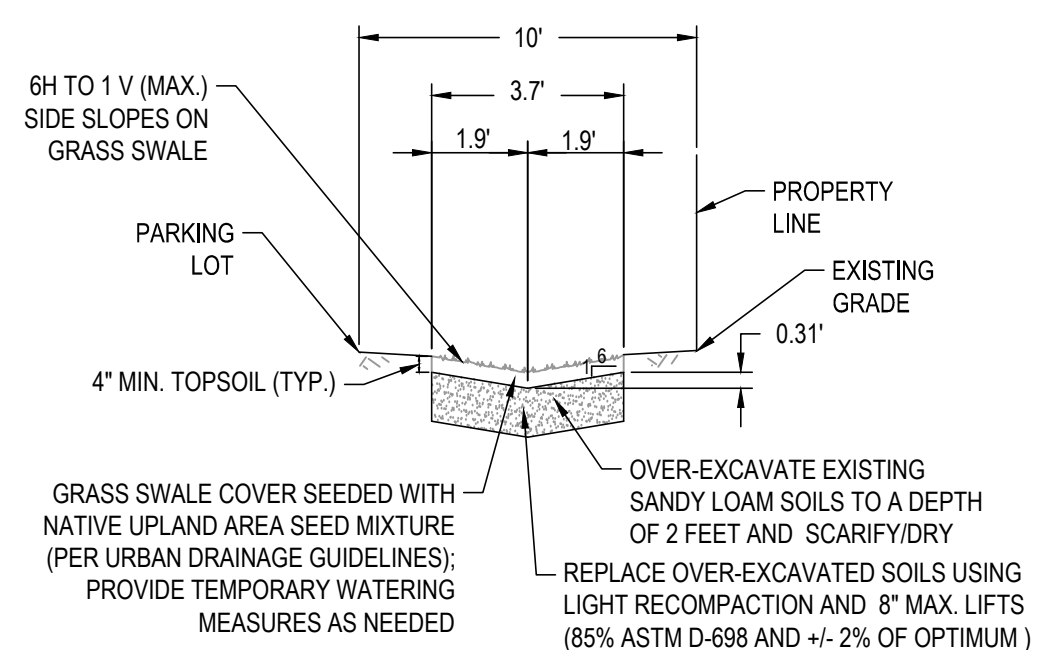
SWALE CHARACTERISTICS								
Basin	Location	Design Q	Time	Long. Slope	Side Slope	Velocity	Depth	Top Width
#	Name	(cfs)	(min)	%	(h:v)	(fps)	(ft)	(ft)
D1	S1-East	0.5	8.2	0.50	5:1	0.49	0.45	4.5
D1	S1-West	0.5	9.1	0.50	4:1	0.54	0.48	3.8
D2	S2	0.7	2.4	0.50	4:1	0.61	0.52	4.2
D3	S3	0.5	1.3	2.30	6:1	0.87	0.31	3.7
Existing Swale	Offsite	1.9	4.5	0.35	4:1	0.82	0.75	6.0



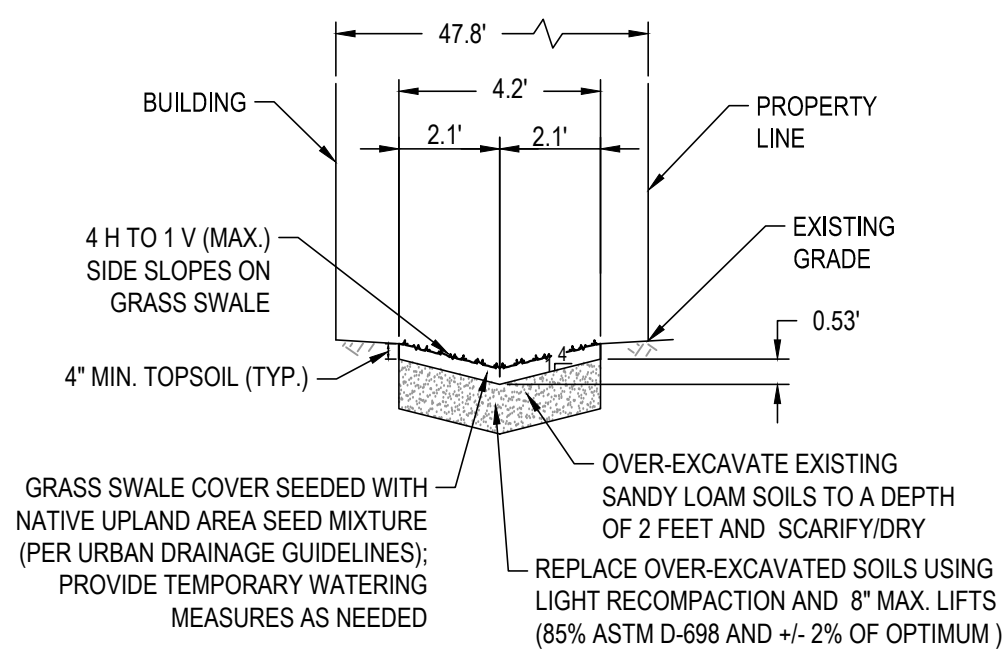
C S1-WEST GRASS SWALE



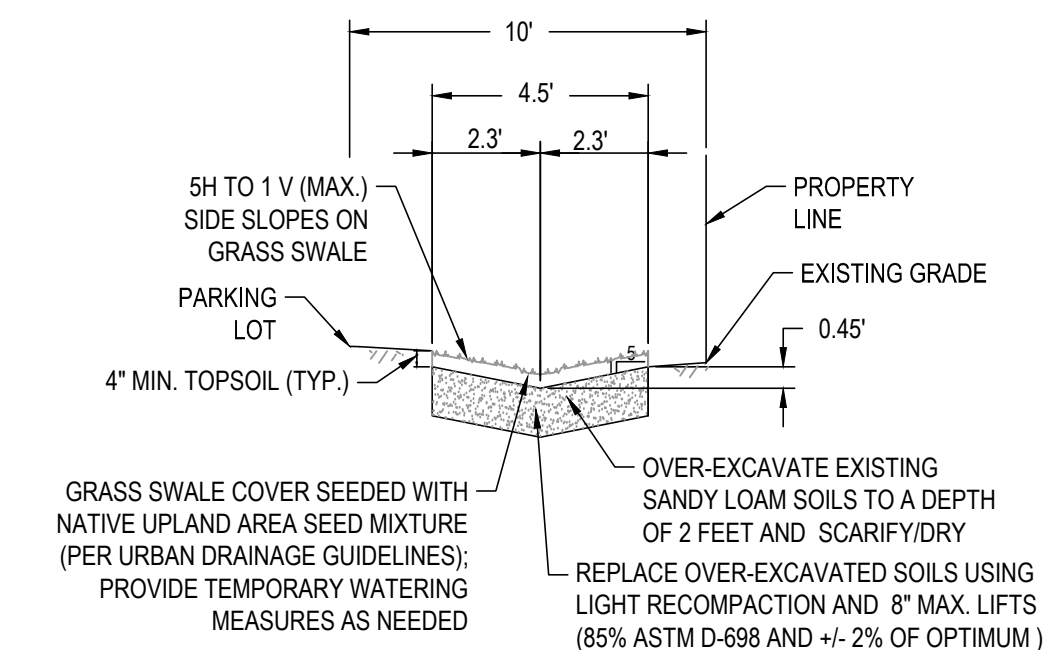
D S1-WEST GRASS SWALE



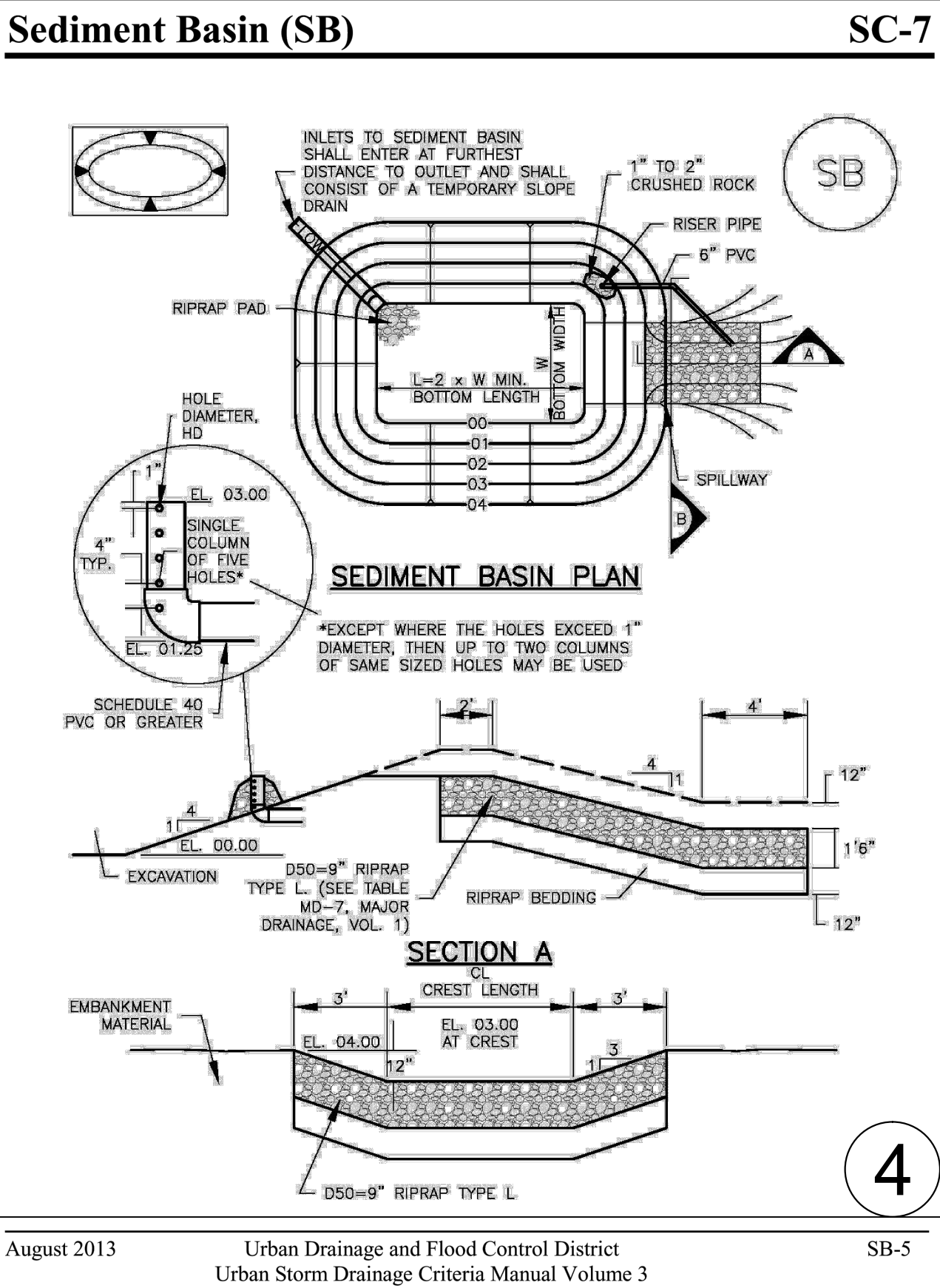
F S3-GRASS SWALE



E S2-GRASS SWALE



G S1-EAST GRASS SWALE



SC-7

LOT 8, AUSTIN INDUSTRIAL PARK

LONGS PEAK SPRINKLER, 460 JONES COURT

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M

TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

0.97± ACRES

SITE PLAN - SP-000775-2016

SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES

SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016

CONSTRUCTION SEQUENCE FOR EROSION □ SEDIMENT CONTROL PRACTICES FOR SINGLE LOT

1. INSTALL PERIMETER EROSION AND SEDIMENT CONTROLS
IDENTIFY THE AREAS WHERE SEDIMENT LADEN RUNOFF COULD LEAVE THE CONSTRUCTION SITE, AND INSTALL PERIMETER CONTROLS TO MINIMIZE THE POTENTIAL FOR OFF-SITE SEDIMENTATION. IT IS IMPORTANT THAT PERIMETER CONTROLS ARE IN PLACE BEFORE ANY LOT EXCAVATION ACTIVITIES BEGIN.

PREFERRED METHODS

- PROTECT DOWN-SLOPE AREAS WITH VEGETATIVE FILTER STRIPS
- PROTECT DOWN-SLOPE AREAS WITH SILT FENCES AND OTHER APPROPRIATE PRACTICES
- INSTALL STABLE CONSTRUCTION TRAFFIC ENTRANCE

2. PREPARE THE SITE FOR CONSTRUCTION

PREPARE THE SITE FOR CONSTRUCTION AND FOR INSTALLATION OF UTILITIES. NOTIFY ALL CONTRACTORS ESPECIALLY THE EXCAVATION CONTRACTOR OF AREAS TO BE PROTECTED.

PREFERRED METHOD

- SALVAGE AND STOCKPILE TOPSOIL OR SUBSOIL

□ BUILD STRUCTURE □ AND CONNECT UTILITIES
CONSTRUCT THE HOME AND CONNECT THE UTILITIES.

4. MAINTAIN CONTROL PRACTICES

MAINTAIN ALL EROSION AND SEDIMENT CONTROL PRACTICES UNTIL CONSTRUCTION IS COMPLETED AND THE LOT IS STABILIZED.

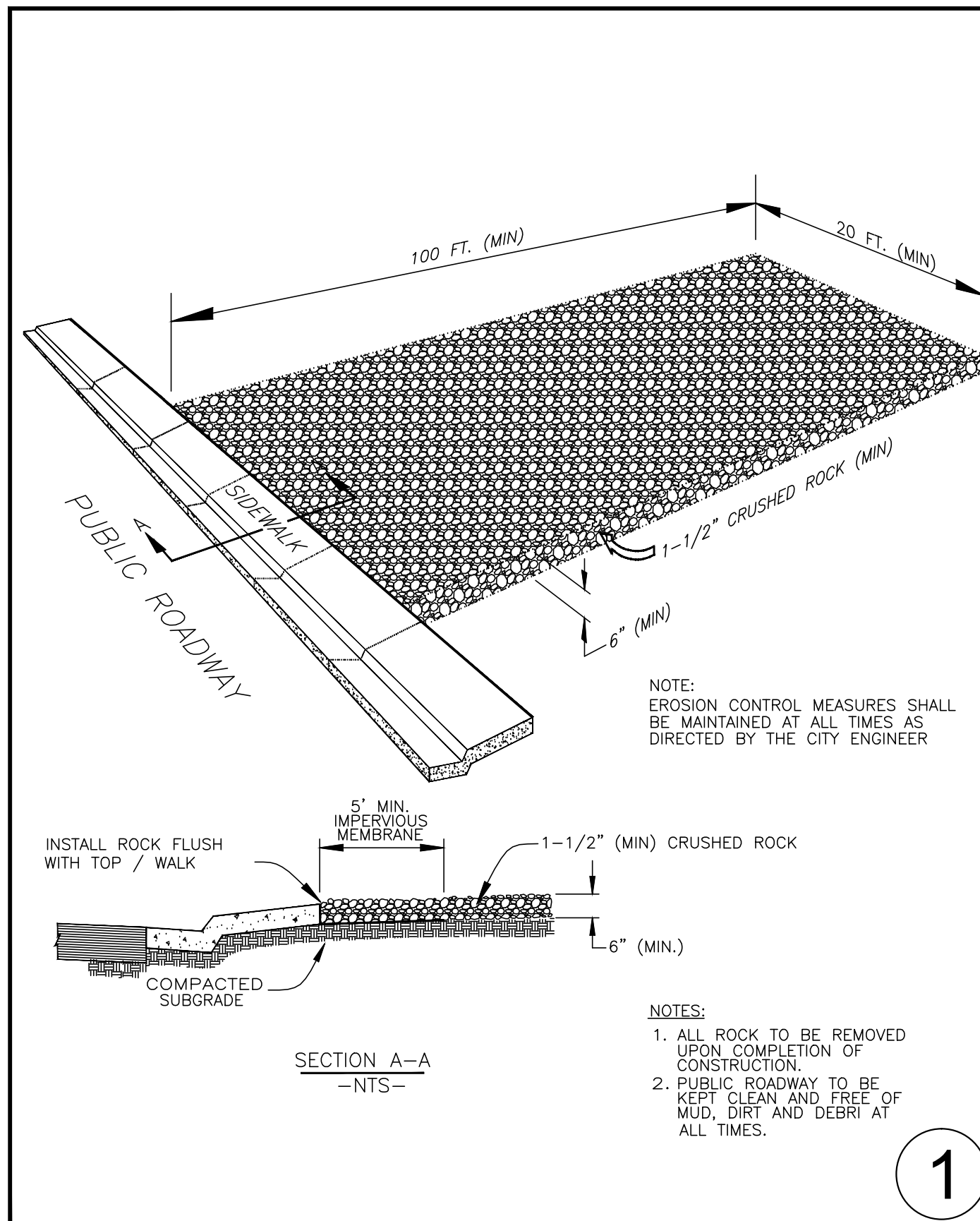
5. RE-VEGETATE BUILDING SITE

IMMEDIATELY AFTER ALL OUTSIDE CONSTRUCTION ACTIVITIES ARE COMPLETED, STABILIZE THE LOT WITH SOD, SEED AND/OR MULCH.

METHODS

- REDISTRIBUTE THE STOCKPILED SUBSOIL AND TOPSOIL
- SEED OR SOD AREAS
- MULCH NEWLY SEEDED AREAS

6. REMOVE REMAINING TEMPORARY CONTROL MEASURES
ONCE THE SOD AND/OR VEGETATION IS WELL ESTABLISHED, REMOVE ANY REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES.



NOTES:
EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AS DIRECTED BY THE CITY ENGINEER

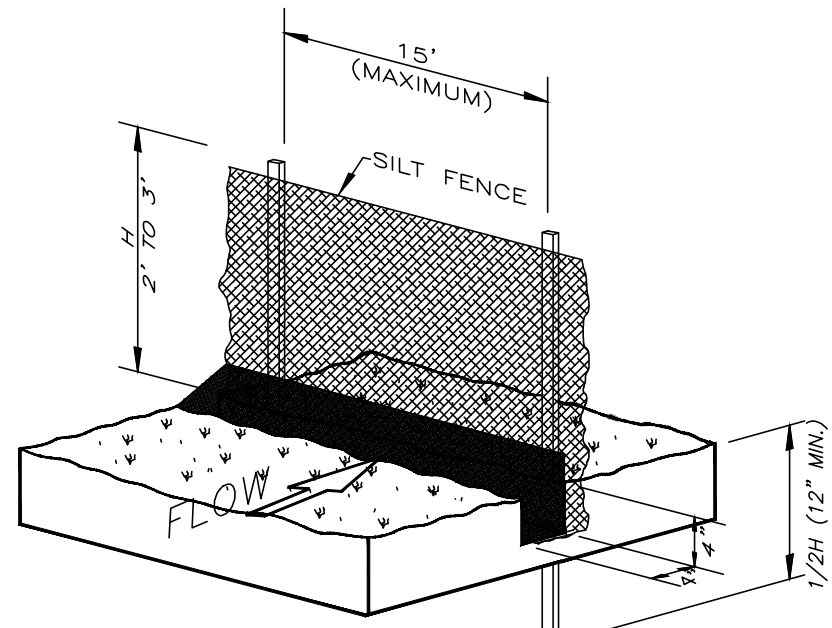
NOTES:
1. ALL ROCK TO BE REMOVED UPON COMPLETION OF CONSTRUCTION.
2. PUBLIC ROADWAY TO BE KEPT CLEAN AND FREE OF MUD, DIRT AND DEBRIS AT ALL TIMES.



DRAWING TITLE: EROSION CONTROL SEQUENCE
SINGLE LOT
DRAWING NUMBER: STM7
DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004

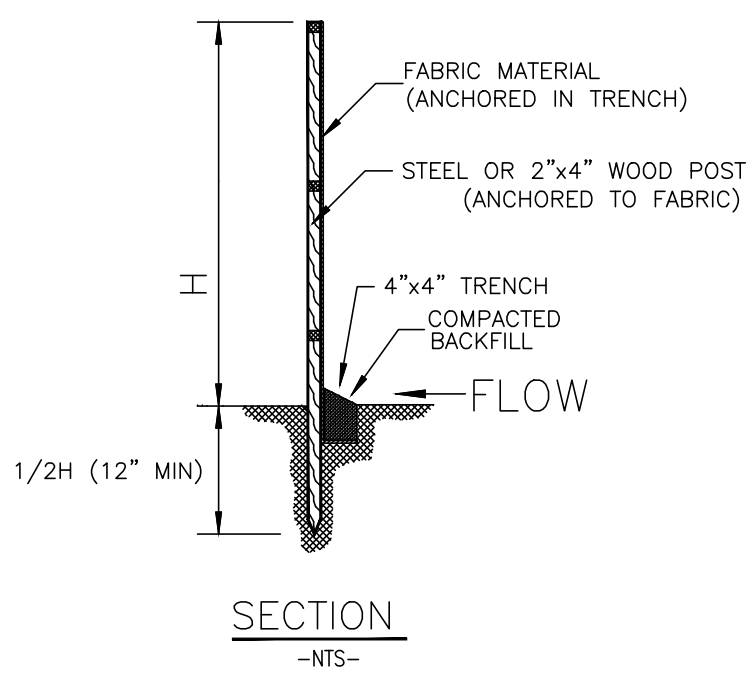


DRAWING TITLE: TRACKING CONTROL PAD
DRAWING NUMBER: STM6
DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004



SILT FENCE INSTALLATION

-NTS-

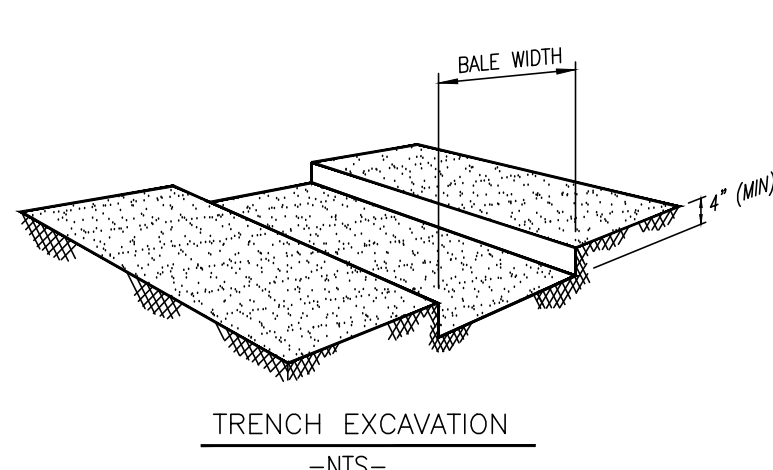


FOR SINGLE LOT EROSION CONTROL
SEE SHEET STM8

2

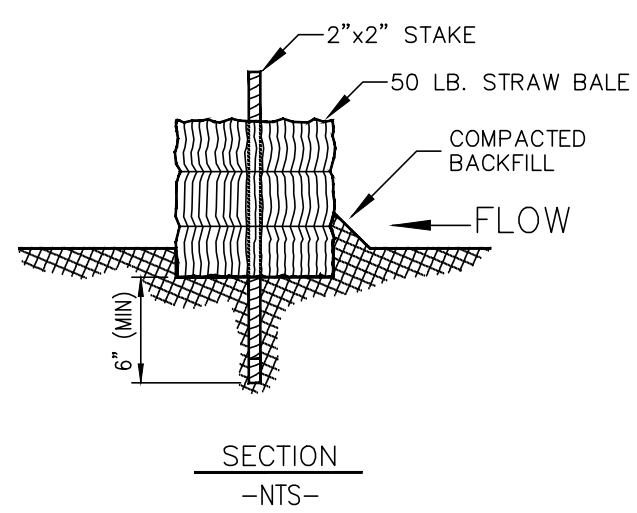


DRAWING TITLE: SILT FENCE EROSION BARRIER
DRAWING NUMBER: STM4
DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004



STRAW BALE INSTALLATION

-NTS-



NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL LANDSCAPING IS COMPLETED.



DRAWING TITLE: STRAW BALE EROSION BARRIER
DRAWING NUMBER: STM5
DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004

THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION

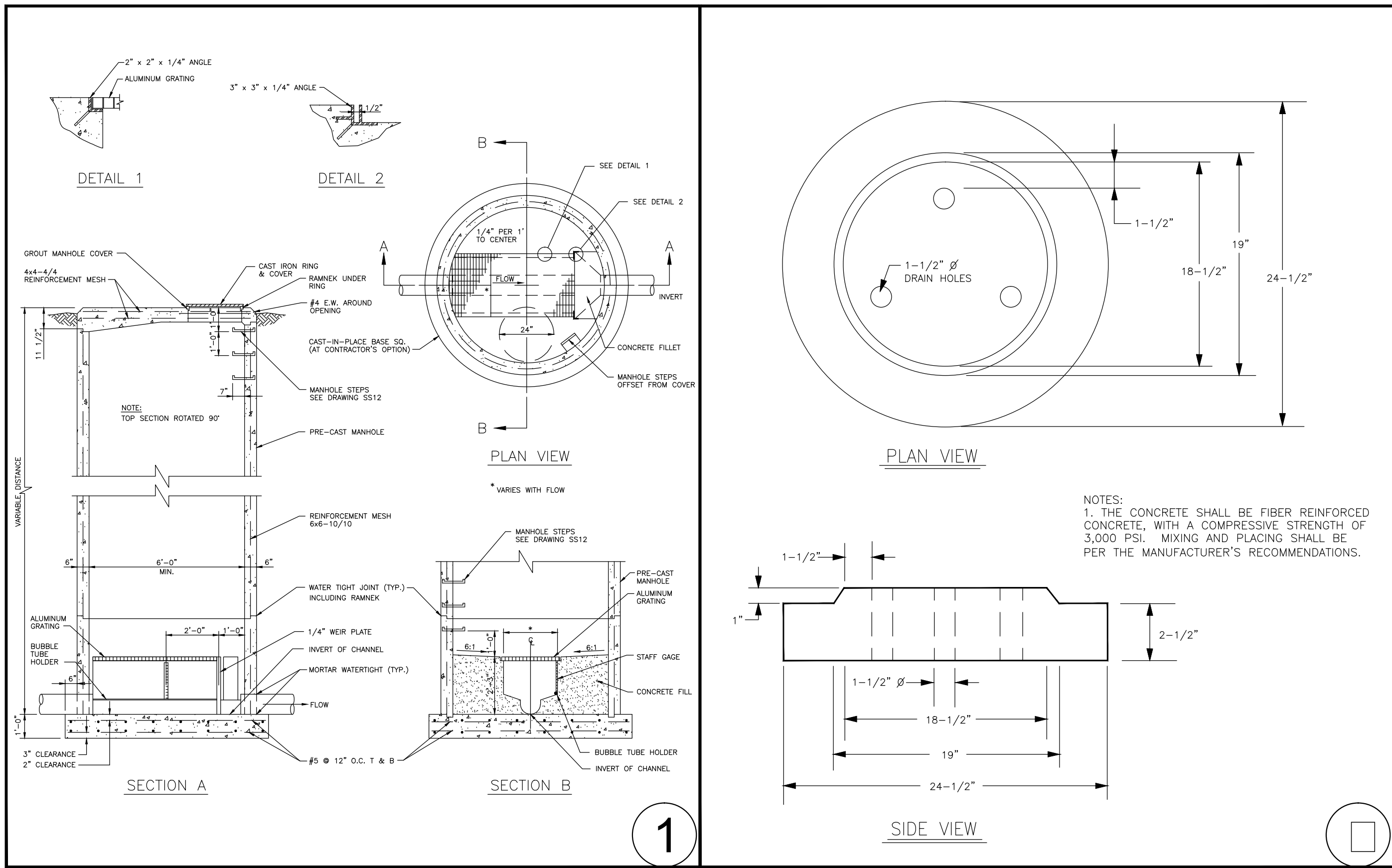
REVISION			
NO.	DATE	DESCRIPTION	BY
2	11/2/16	COMMUNITY DEVELOPMENT - TOWN OF ERIE	
1	07/28/16	TOWN REVIEW COMMENTS	



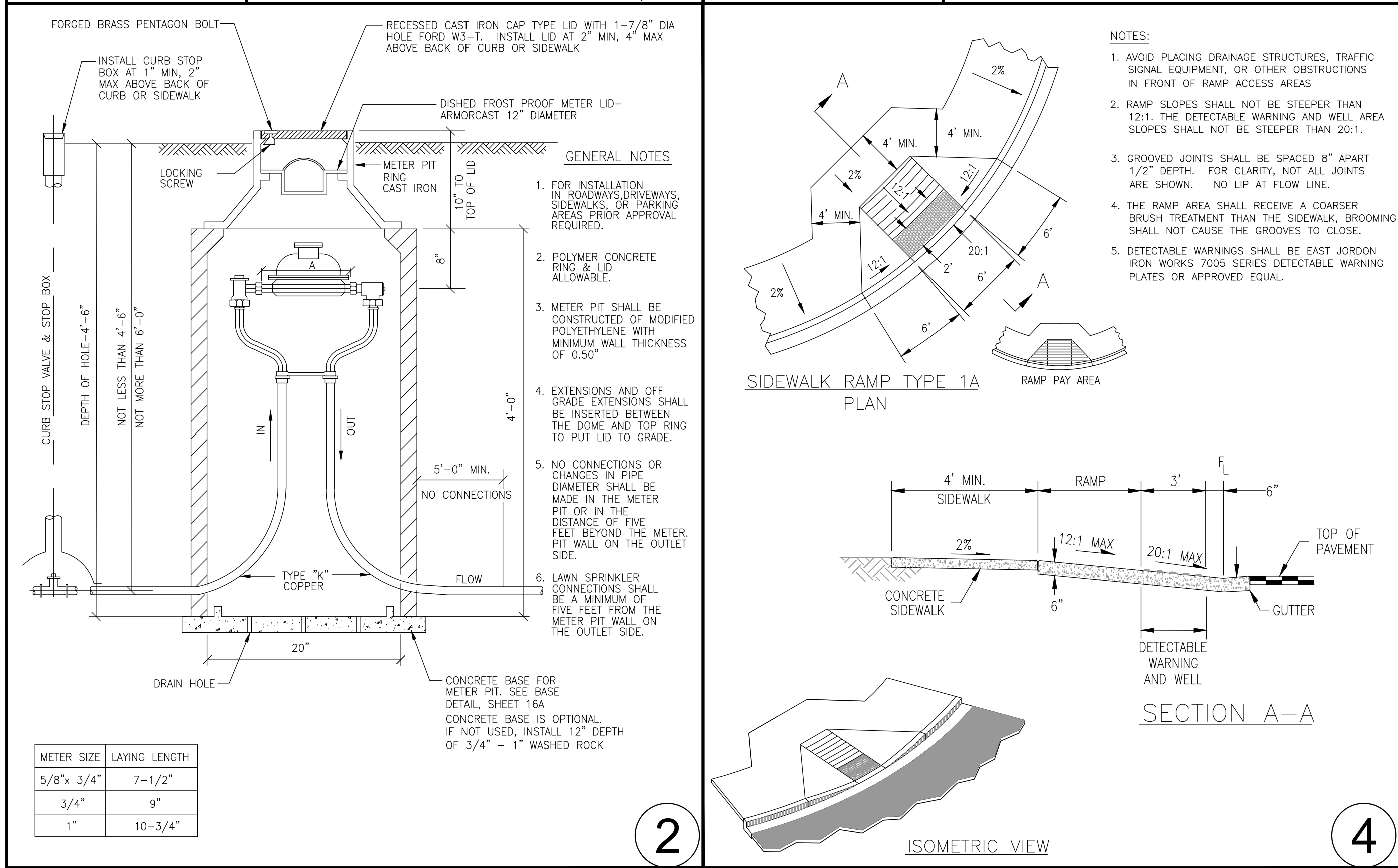
MIKE AMEND
DRAINAGE □ ER CONTROL NOTES
LOT 8, AUSTIN INDUSTRIAL PARK
460 JONES COURT, ERIE, CO

DESIGNED BY: ML	
DRAWN BY: SDW	
CHECKED BY: ML	
APPROVED BY:	
PROJECT NO.: 197.001	
DATE: 05-10-2016	
SCALE: AS SHOWN	
SHEET NO. C6	
SHEET 6 OF 10	

SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016



	DRAWING TITLE: FLOW METERING AND SAMPLING STATION DRAWING NUMBER: SS2 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 01/2009		DRAWING TITLE: CONCRETE BASE FOR METER PIT DRAWING NUMBER: W14B (2 OF 2) DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004
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	DRAWING TITLE: OUTSIDE SETTING FOR 5/8" x 3/4", 3/4" & 1" METER DRAWING NUMBER: W14A (1 OF 2) DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004		DRAWING TITLE: CURB RAMP TYPE 1 ATTACHED WALK DRAWING NUMBER: SW5 DRAWN BY: C. GERATY APPROVED BY: G. BEHLEN DATE: 04/2016
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[illegible]

MIKE AMEND

LEAD
DETAILS - CIVIL DETAILS I
LOT 8, AUSTIN INDUSTRIAL PARK
460 JONES COURT, ERIE, CO

DESIGNED ☐ Y ☐	ML
DRAWN ☐ Y ☐	SDW
CHECKED ☐ Y ☐	ML
APPROVED ☐ Y ☐	

PROJECT NO. 197.001

DATE 4/28/2016

SCALE ☐ AS SHOWN

SHEET NO.

C7

SHEET 7 OF 10

PLAN NOTES

1. ALL PLANTS ARE SHOWN AT APPROXIMATELY 75% MATURE SIZE.
2. ALL PROPOSED CONTOURS ARE INDICATED ON LANDSCAPE PLAN @ 1' INTERVALS. NO GRADES EXCEED 3:1.
3. ALL EXISTING TREES AND SHRUBS SHALL BE PROTECTED DURING CONSTRUCTION PER TOWN OF ERIE STANDARDS AND SPECIFICATIONS SEC. 102.
4. ALL PLANT MATERIALS SHALL MEET THE SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE AND SHALL WIRE, TWINE, BURLAP, AND OR OTHER CONTAINMENT MATERIAL REMOVED FROM ROOT BAL AND TRUNK PRIOR TO PLANTING.
5. MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE AT THE TIME OF CONSTRUCTION DUE TO MATERIAL AVAILABILITY AND/ OR SITE CONDITIONS. QUALITY AND NUMBER OF PLANTS AND GENERAL COMPLIANCE WITH THESE APPROVED LANDSCAPE PLANS SHALL BE MAINTAINED.
6. TREES SHALL NOT BE PLANTED WITHIN 10' OF ANY SEWER, WATER OR GAS LINE. TREE PLANTING SHALL BE COORDINATED WITH XCEL ENERGY. LOCATION OF ALL UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO ANY PLANTING.
7. AFTER CLEARING AND GRUBBING THE SITE, TOPSOIL REMOVED DURING THE COURSE OF CONSTRUCTION SHALL BE STOCKPILED ON SITE FOR REUSE AND SHALL BE PROTECTED FROM WIND AND OTHER EROSION. SUBGRADE WORK TO ALLOW A MINIMUM 6" DEPTH OF TOPSOIL. SUBGRADE TO BE SCARIFIED TO A MINIMUM DEPTH OF 6" AND TOPSOIL, AND SOIL AMENDMENTS AS SPECIFIED HEREIN, SHALL BE THOROUGHLY BLENDED WITH THE LANDSCAPED AND REVEGETATED AREAS AT A RATE OF AT LEAST FIVE (5) CUBIC YARDS PER 1,000 SQ. FT. OF LANDSCAPED AREA AND THREE (3) CUBIC YARDS PER 1,000 SQ. FT. OF REVEGETATED NATIVE AREA. INCREASE AMOUNT OF ORGANIC AMENDMENTS IF NEEDED PER SOILS TESTS. ORGANIC SOIL AMENDMENTS TO BE CERTIFIED AS CLASS 1 COMPOST PER TOE-S&S SEC. 1022.01.
9. SHRUB PLANTING BEDS SHALL BE MULCHED WITH 3"-5" ROCK COBBLES TO A MINIMUM DEPTH OF 4" OVER PERMEABLE WEED BARRIER FABRIC. ORNAMENTAL GRASSES, PERENNIALS AND GROUND COVERS SHALL BE MULCHED WITH SHREDDED BARK TO A MINIMUM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC. TREE PLANTING RINGS TO LIKEWISE RECEIVE SHREDDED BARK MULCH AS ABOVE. MULCH TO BE SEPARATED FROM SOD AND DRYLAND GRASS AREAS WITH 3/16"x6" GREEN COLORED STEEL EDGER.
9. UNLESS NOTED OTHERWISE, ALL NEWLY GRADED AREAS AND OTHER AREAS DISTURBED BY CONSTRUCTION OPERATIONS ARE TO BE SEEDDED WITH A DRYLAND GRASS MIX PER THE PLANT SCHEDULE AT LEFT OF EITHER THE DRILLED SEEDING METHOD AS SPECIFIED IN TOE-S&S SEC. 1033.01.02 2500 lbs./ACRE OF VIRGIN WOOD CELLULOSE FIBER. HYDRO-MULCHED INCLUDING 150 LBS/ACRE ORGANIC TACKIFIER - COVERAGE TO BE 100% AND ANY THIN AREAS WHERE SOIL IS VISIBLE SHALL RECEIVE ADDITIONAL MULCH.
10. ALL LANDSCAPED AREAS WILL BE IRRIGATED. PLANT MATERIALS (TREES, SHRUBS, ORNAMENTAL GRASSES, PERENNIALS AND GROUND COVER) WILL BE COVERED BY A DRIP SYSTEM AND TURF AREAS WILL BE COVERED BY SPRAY HEADS. DRYLAND GRASSES WILL HAVE A TEMPORARY IRRIGATION SYSTEM TO ESTABLISH GROWTH. THE IRRIGATION SYSTEM SHALL BE INSTALLED WITH INCORPORATE IRRIGATION MEASURES AND SCHEDULING THAT PROVIDE FOR WATER CONSERVATION. IRRIGATION PLANS WILL BE SUBMITTED BY A LANDSCAPE CONTRACTOR TO THE TOWN OF ERIE FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A BUILDING PERMIT.
11. ALL TREES SHALL BE STAKED FOR ONE YEAR AND STAKES REMOVED AFTER THE YEAR IS OVER.
12. REQUIREMENTS OF THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS FOR LANDSCAPE INSTALLATION AND MAINTENANCE SHALL BE ADHERED TO. AS-BUILT DRAWINGS SHALL BE PROVIDED TO THE TOWN PER TOE S&S SEC. 222.00 (CONSTRUCTION ACCEPTANCE PROCEDURE).
13. IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPING/SCREENING MAY BE REQUIRED BASED ON FIELD CONDITIONS DISCOVERED WHEN THE SITE INSPECTION BY STAFF. MAJOR NOT TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.
14. THE ARCHITECT SHALL INSPECT AND SIGN-OFF ON THE INSTALLATION OF ALL TREES, SHRUBS, SEEDING AND IRRIGATION.

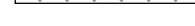
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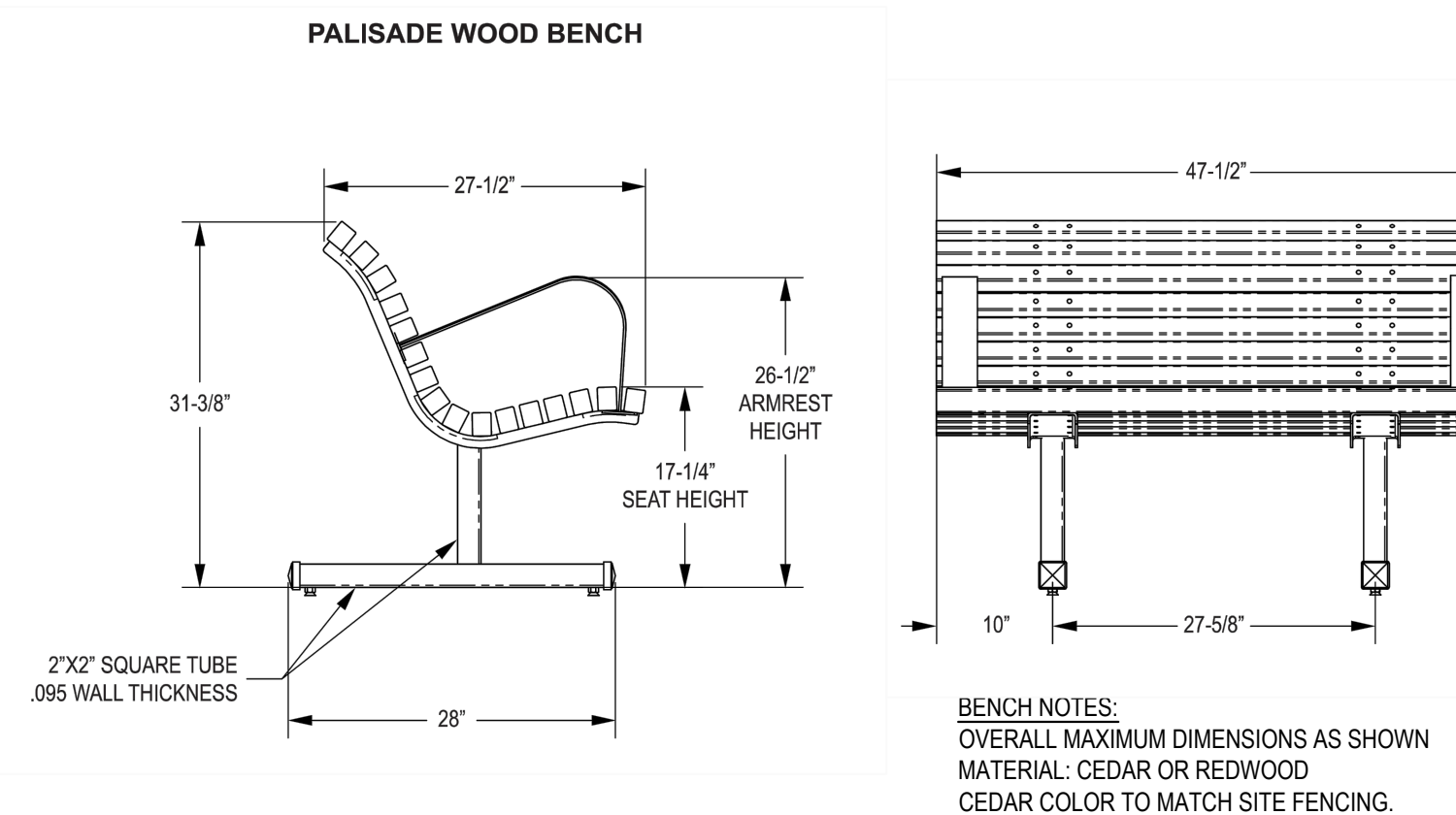
THIS LANDSCAPE PLAN FOLLOWS THE EXISTING CONCEPTS OF THE SURROUNDING PROPERTIES. PROPOSED PLANT MATERIALS SUPPORT LOW WATER USE AND EASE OF MAINTENANCE. PROPOSED SHRUBS AND GRASSES WILL PROVIDE YEAR ROUND INTEREST AND THE PLANTS SELECTED ARE APPROPRIATE FOR THE WATER AVAILABILITY AND CLIMATE OF NORTHERN COLORADO. THE PROPOSED IRRIGATION SYSTEM WILL MINIMIZE EXCESS RUNOFF THROUGH UTILIZING DRIP IRRIGATION, TIMING, AUTOMATIC SHUTOFFS, AND RAIN SENSORS.

GROUND COVER LANDSCAPE

1		IRRIGATED TURF:	287 SF
4		MULCH BED WITH DRIPLINE:	6,242 SF
TOTAL			6,529 SF

GROUND COVER [NON-LANDSCAPE]

2		NATIVE SEED NATIVE SEED-R.O.W.	5,514 SF 905 SF
3		CRUSHED ASPHALT OR CRUSHED STONE:	5,300
5		SEEDED IN WATER QUALITY POND:	1,326
TOTAL			13,045



WOODEN PLANTER BOX NOTES:
OVERALL MAXIMUM DIMENSIONS - 16" HIGH x 32" WIDE x 18" DEEP
INSIDE MAXIMUM DIMENSIONS - 12" HIGH x 30" WIDE x 16" DEEP
MATERIAL: CEDAR OR REDWOOD
CEDAR COLOR TO MATCH SITE FENCING.



0 20 40
SCALE 1" = 20'
WHEN PLOTTED ON D SIZE SHEET

THE CONTRACTOR SHALL LOCATE AND
VERIFY ALL EXISTING UTILITY
LOCATIONS PRIOR TO CONSTRUCTION

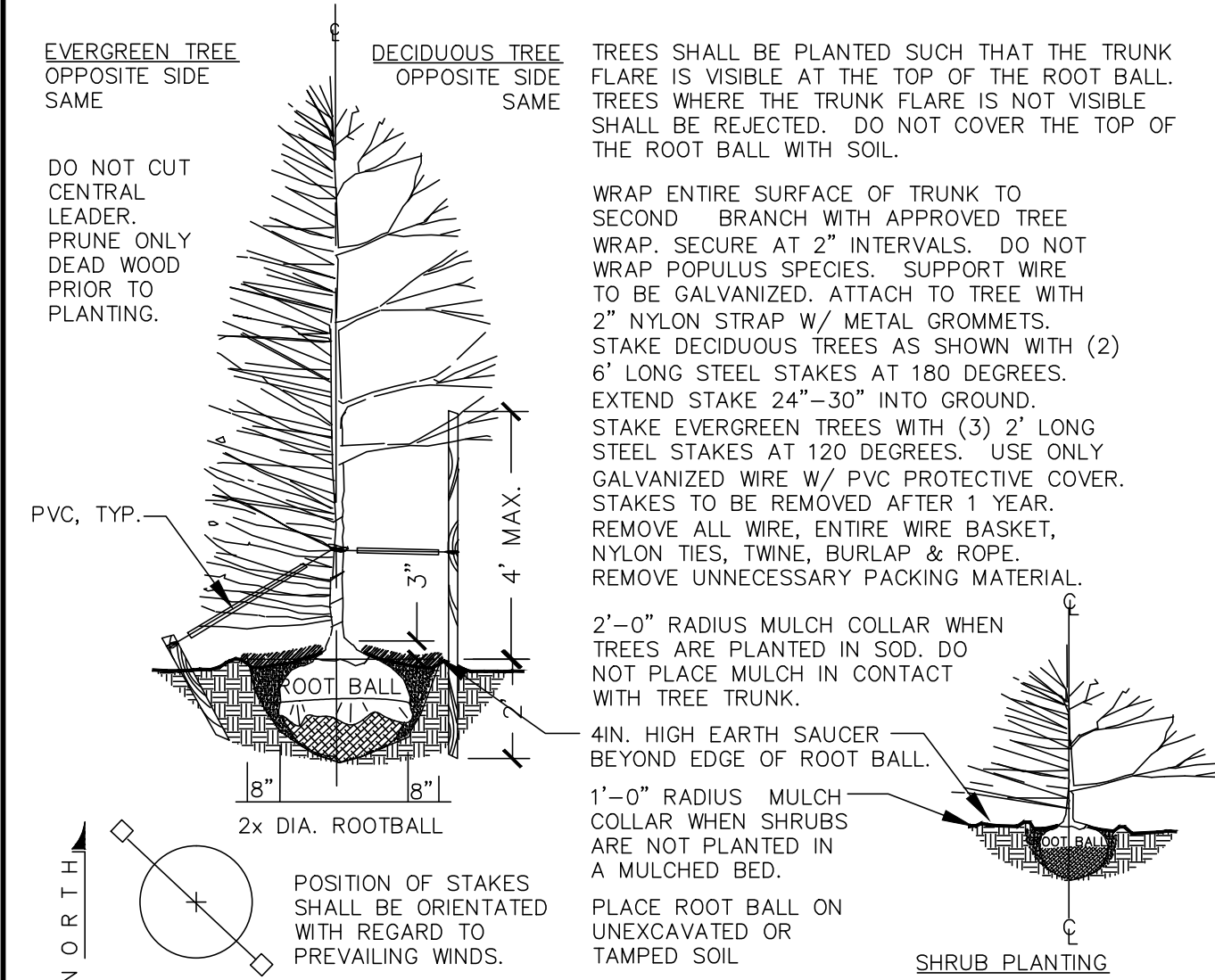
 Know what's below. Call before you dig.  UNCC UTILITY NOTIFICATION CENTER OF CHICAGO	 permontesgroup T: (720) 684-4981 F: (866) 563-9212 www.permontesgroup.com	PREPARED FOR: MIKE AMEND		DESIGNED ☐ Y ☐ N DRAWN ☐ Y ☐ N CHECKED ☐ Y ☐ N APPROVED ☐ Y ☐ N ML SDW ML JHP
		SHEET TITLE: LANDSCAPE PLAN		
		LOT 8, AUSTIN INDUSTRIAL PARK		
		460 JONES COURT, ERIE, CO		
PROJECT NO. 197.001				
DATE 05/10/2016				
SCALE AS SHOWN				
SHEET NO. C8				
SHEET 8 OF 1 ☐				

SITE PLAN - SP-000775-2016
SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES
SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016

SYMBOL	ABBREVIATION	QUANTITY	COMMON/ BOTANICAL NAME	PLANTING SIZE	APPROX. FULL GROWTH	COMMENTS
DECIDUOUS TREES						
	ER	1	EASTERN REDBUD CERCIS CANADENSIS	2" GAL-B&B	30'Hx20'S	OPEN SPACE TREES
	RMM	1	ROCKY MOUNTAIN MAPLE ACER GLOBRUM	2" GAL-B&B	20'Hx15'S	OPEN SPACE TREES
	FM	2	FREEMAN MAPLE ACER X FREEMANII	2" GAL-B&B	75'Hx45'S	OPEN SPACE TREES
	SS	2	SHADBLow SERVICEBERRY AMELANCHIER CANADENSIS	2" GAL-B&B	30'Hx20'S	OPEN SPACE TREES
ORNAMENTAL TREES						
	MHA	1	MONROVIA'S HONEYCRISP APPLE MALUS HONEYCRISP	2" GAL-B&B	25'Hx20'S	STREET BUFFER TREES
	RMA	1	RED MCINTOSH APPLE MALUS MCINTOSH	2" GAL-B&B	25'Hx20'S	OPEN SPACE TREES
	GDA	1	'MULLINS' STARK GOLDEN DELICIOUS MALUS YELLOW DELICIOUS	2" GAL-B&B	25'Hx20'S	OPEN SPACE TREES
	PC	3	PROFUSION CRABAPPLE MALUS PROFUSION RADIANT	2" GAL-B&B	30'Hx20'S	OPEN SPACE TREES
	SSC	2	'SPRING SNOW' CRABAPPLE MALUS SPRING SNOW	2" GAL-B&B	30'Hx20'S	OPEN SPACE TREES
	NLC	3	NARROWLEAF COTTONWOOD POPULUS ANGUSTIFOLIA	2" GAL-B&B	40'Hx30'S	OPEN SPACE TREES
EVERGREEN TREES						
	CBS	5	COLORADO BLUE SPRUCE PICEA PUNGENS GLAUCA	6-8 FT. TALL	50'Hx 20'S	
	AP	1	AUSTRIAN PINE PINUS NIGRA	4-6 FT. TALL	50'Hx 30'S	
		23	TOTAL TREES			
SHRUBS						
	BMS	5	"BLUE MIST" SPIREA (FLOWERING) CARYOPTERIS X CLANDONENSIS	5 GAL	3'H X 3'S	
	RTG	5	RED TWIG DOGWOOD CORNUS SERICEA	5 GAL	4'H X 4'S	
	JS	3	JAPANESE SPIREA SPIREA JAPONICA	5 GAL	3'H X 3'S	
	PSC	10	PURPLELEAF SANDCHERRY PRUNIS CISTERNA	5 GAL	4'H X 4'S	
	DAW	31	DWARF ARCTIC WILLOW SALIX PURPUREA	5 GAL	4'H X 4'S	
	LIL	10	COMMON LILAC SYRINGA VULGARIS	5 GAL	4'H X 4'S	
	SGJ	10	SEA OF GOLD JUNIPER JUNIPERUS X MEDIA	5 GAL	4'H X 4'S	
	SJ	8	SAVIN JUNIPER JUNIPERUS SABRINA	5 GAL	1'H X 8'S	
	MP	18	MUGO PINE PINUS MUGO	5 GAL	3'H X 6'S	
		86	TOTAL SHRUBS			
ORNAMENTAL GRASSES						
	FR	20	FEATHER REED/ KARL FORSTER CALAMAGROSTIS X ACUTIFLORA 'KARL FORSTER'	1 GAL	3'H X 2'S	
	PP	10	PAMPAS CORTADERIA SELLOANA	1 GAL	8'H X 1'S	
	BF	25	BLUE FESCUE FESTUCA 'ELIJAH BLUE'	1 GAL	2'H X 1'S	
	MG	10	MAIDEN GRASS MISCANTHUS	1 GAL	2'H X 1'S	
		65	TOTAL GRASSES			

TYPE	PLANT REPLACEMENT WITHIN	
	1 YEAR	2+ YEARS
Tree – Deciduous	Increase caliper by 1"	Increase caliper by 1.5"
Tree – Coniferous	Increase height by 1.5'	Increase height by 2'
Shrub	Replace with plants of at least ½ mature size	Replace with plants of at least ½ mature size

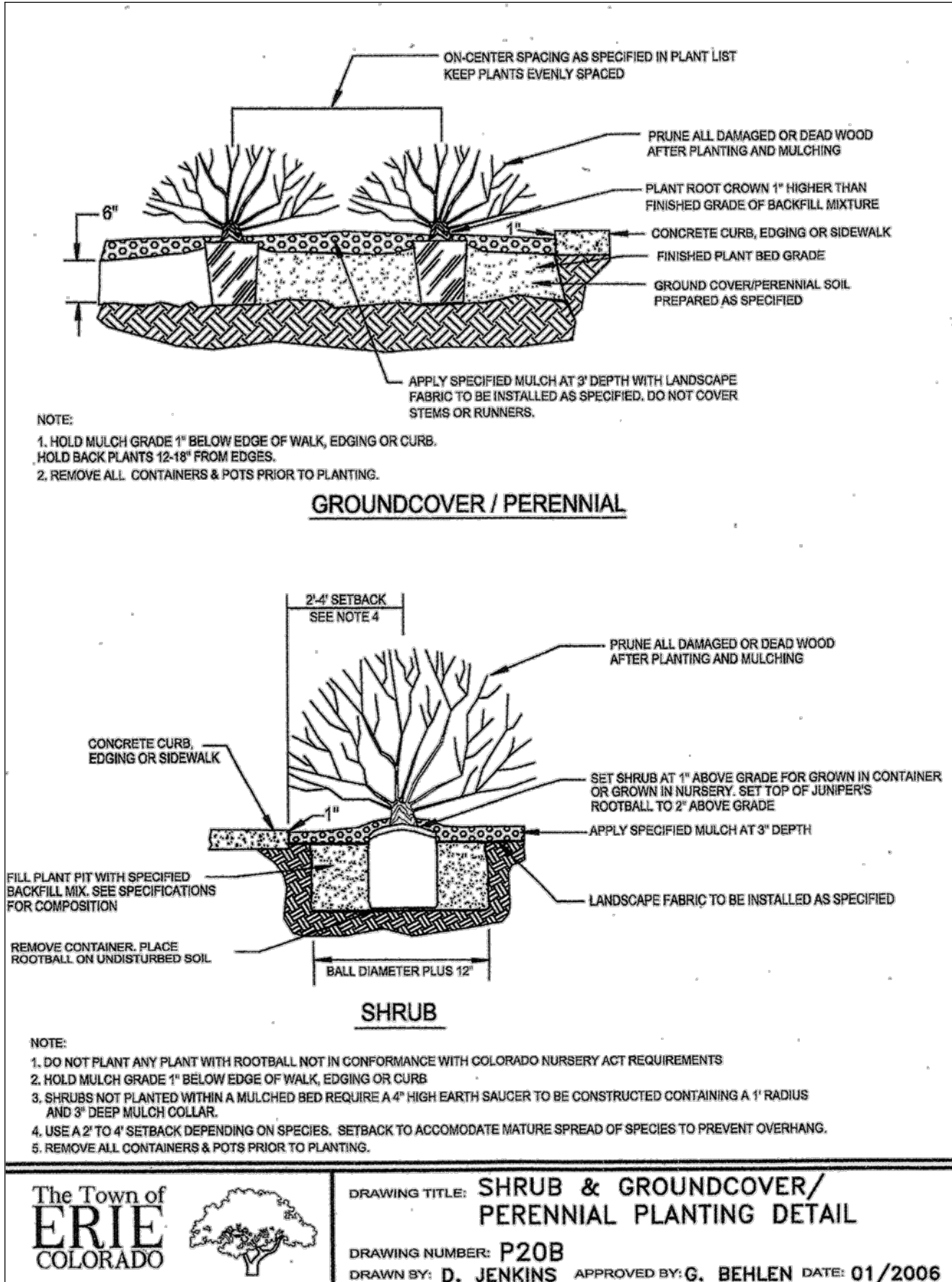
COMMON NAME	SCIENTIFIC NAME	VARIETY	OZ/ACRE	PLS LBS/ACRE
BUFFALO GRASS	<i>BUCHLOE DACTYLOIDES</i>	NATIVE		3
SIDEOTS GRAMA	<i>BOULBULIA CURUPENDULA</i>	BUTTE		5
PRAIRIE SANDREED	<i>CALAMAGULLE LONGIFOLIA</i>	GOSHEN		
BLUE GRAMA	<i>CHONDRORUM GRACILE</i>	LOVINGTON		3
WESTERN WHEATGRASS	<i>PASCOPYRUM SMITHII</i>	ARRIBA		5
LITTLE BLUESTEM	<i>SCHEUCHZERIA SCOPARIUM</i>	PASTURA		4
ALKALI SACATON	<i>SPOROBOLUS AIROIDES</i>	COMMON		1
SAND DROPSIED	<i>SPOROBOLUS CRYPTANDRUS</i>			
SWITCHGRASS	<i>PANICUM VIRGATUM</i>	BLACKWELL		5
FRINGED SAGE*	<i>ARTEMISIA FRIGIDA</i>	COMMON	1	
PURPLE PRAIRIE CLOVER*	<i>DALEA PURPUREA</i>	COMMON	6	
BLANKETFLOWER*	<i>GALLAGHERIA ARISTATA</i>	COMMON	6	
GEYFATHER*	<i>ILAEIS PUNCTATA</i>	COMMON	4	
COMMON NAME	SCIENTIFIC NAME	VARIETY	OZ/ACRE	PLS LBS/ACRE
BLUE FLAX*	<i>LINUM PEREGRINE</i>	COMMON	3	
	<i>MACHAERANTHERA TACACETAFOLIA</i>	COMMON	3	
TANSY ASTER*	<i>RATIBOLA</i>	COMMON	3	
PRAIRIE CONEFLOWER*	<i>CONIFLORA</i>	COMMON		
OUNCES			26	1,625
SEEDING RATE POUNDS PLS/ACRE				29,625




 DRAWING TITLE: TREE & SHRUB PLANTING DETAIL
 DRAWING NUMBER: P20
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 11/2004

REQUIREMENT REFERENCE	REQUIREMENT	QUANTITY	LANDSCAPE AREA REQUIRED	LANDSCAPE AREA PROVIDED	TREES REQUIRED	TREES PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED	
SECTION 10-6-4 E 1.a	1 TREE PER 40 LF OF STREET FRONTAGE	84 LF			2	2			
SECTION 10-6-4 E 7.b	15% GROSS SITE AREA LANDSCAPED	42,200 SF	6,330 SF	6,529 SF					
SECTION 10-6-4 E 7.c.1	1 TREE PER 1000 SF OF LS AREA OUTSIDE PARKING AND R.O.W. REQUIREMENT	6,529 SF			7	8			
SECTION 10-6-4 E 7.c.8	1 SHRUB PER 150 SF OF LS AREA OUTSIDE PARKING AND R.O.W. REQUIREMENT	6,529 SF					44	58	
SECTION 10-6-4 G 10	1 TREE PER 150 SF OF SCREENING AREA	1,120SF			7	4	30	30	
SECTION 10-6-4 E 8.e.1	1 TREE PER 15 PARKING SPACES	23			2	7			
SECTION 10-6-4 E 8.e.8	1 SHRUB PER PARKING SPACES	23					23	57	
SECTION 10-6-2 C 6	1.5 TIMES THE CALIBER SIZE OF TREE BEING REMOVED W/ TREES OF MINIM 2" CALIBER	0							
NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE PAN GRAPHIC AND THE LANDSCAPE LEGEND, THE PLANT MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.					TOTAL	11	21	95	145

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND THE LANDSCAPE LEGEND, THE PLANT MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.



PREPARED FOR: MIKE AMEND SHEET TITLE: LANDSCAPING SCHEDULES LOT 8, AUSTIN INDUSTRIAL PARK 460 JONES COURT, ERIE, CO		 permontesgroup 625 Main Street Longmont, CO 80501 T: (720) 684-4981 F: (860) 563-9212 www.permontesgroup.com		 811 Know what's below. Call before you dig.		 UNCC UNIVERSITY OF NORTHERN COLORADO		<table border="1"> <tr> <td>DESIGNED ☐</td> <td>ML</td> </tr> <tr> <td>DRAWN ☐</td> <td>SDW</td> </tr> <tr> <td>CHECKED ☐</td> <td>ML</td> </tr> <tr> <td>APPROVED ☐</td> <td></td> </tr> </table>		DESIGNED ☐	ML	DRAWN ☐	SDW	CHECKED ☐	ML	APPROVED ☐		<table border="1"> <tr> <td>2</td> <td>11/23/16</td> <td>COMMUNITY DEVELOPMENT - TOWN OF ERIE</td> </tr> <tr> <td>1</td> <td>07/28/16</td> <td>TOWN REVIEW COMMENTS</td> </tr> <tr> <td>REV.</td> <td>DATE</td> <td>DESCRIPTION</td> </tr> <tr> <td colspan="2"></td> <td>REVISION</td> </tr> </table>		2	11/23/16	COMMUNITY DEVELOPMENT - TOWN OF ERIE	1	07/28/16	TOWN REVIEW COMMENTS	REV.	DATE	DESCRIPTION			REVISION
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PROJECT NO.: 197.001		DATE: 05.10.2016		SCALE: AS SHOWN		SHEET NO. C9		SHEET 9 OF 1																							

LOT 8, AUSTIN INDUSTRIAL PARK

LONGS PEAK SPRINKLER, 460 JONES COURT

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M.

TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

0.97 ± ACRES

SITE PLAN - SP-000775-2016

SRU AREA - 0.97 ± ACRES - TOTAL AREA 0.97 ± ACRES

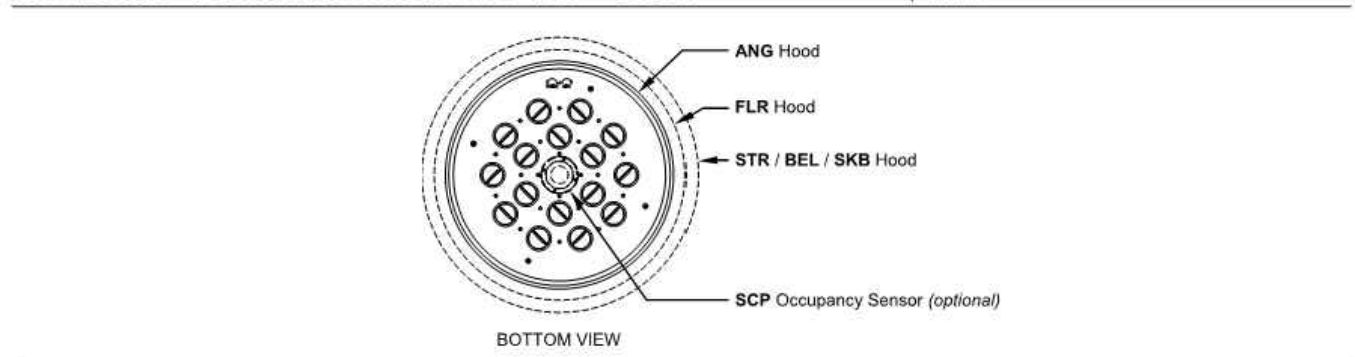
SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016

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SUBMITTED FOR:

NO.	DATE	DESCRIPTION
11-23-2016		PER TOWN COMMENTS

Universe® Collection Medium LED – UCM



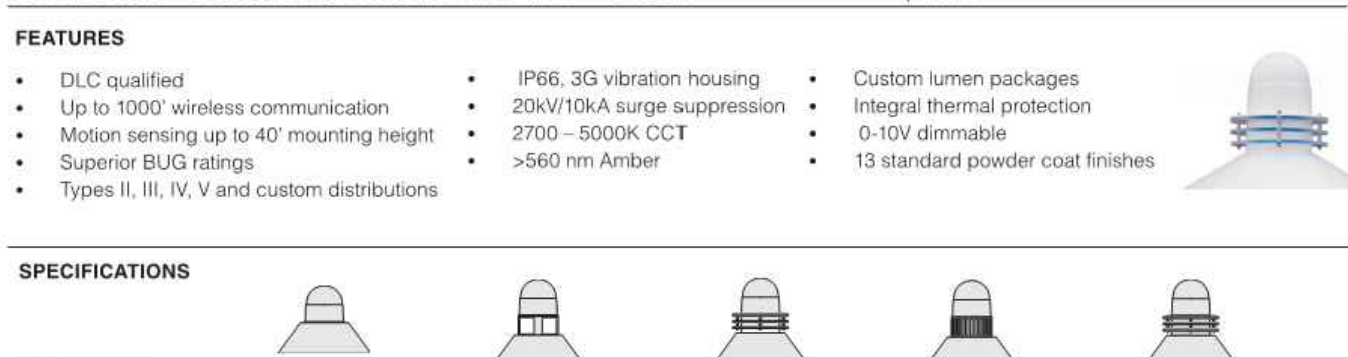
1	2	3	4	5	6	7	8	9	10
UCM	ANG	T4-32LED	SK	700	DB		SCP	120-277	10A
MODEL	Hood	Distribution	CCT	Lumen Package	Finish	Options	Control	Voltage	Mounting

1. MODEL UCM Universe medium without luminous element UCM-WND Universe medium with luminous window UCM-SR Universe medium with luminous solid rings UCM-VSL Universe medium with luminous vertical slots UCM-LUM Universe medium with luminous rings	2. HOOD (May choose one) FLR Flared hood FLR-STTS Flared hood in natural brushed stainless steel FLR-COP Flared hood in natural brushed copper ANG Angled hood ANG-STTS Angled hood in natural brushed stainless steel ANG-COP Angled hood in natural brushed copper STR Straight hood STR-STTS Straight hood in natural brushed stainless steel STR-COP Straight hood in natural brushed copper BEL Bell hood BEL-STTS Bell hood in natural brushed stainless steel BEL-COP Bell hood in natural brushed copper SKB Skirted bell hood SKB-STTS Skirted bell hood in natural brushed stainless steel SKB-COP Skirted bell hood in natural brushed copper	3. DISTRIBUTION MicroCore Precision aimed optics: T2-32LED Type 2 T3-32LED Type 3 T4-32LED Type 4 T5-32LED Type 5 TX-32LED Custom 1	4. COLOR TEMPERATURE 3K 3000K 4K 4000K 5K 5000K 27K 2700K 35K 3500K AM >560 nm monochromatic amber 1	5. LUMEN PACKAGE 700 71 watts 450 48 watts XMA Custom wattage or drive current 1	6. FINISH WH Arctic White BL Black BLT Matte Black DB Dark Bronze DGN Dark Green TT Titanium WDB Weathered Bronze MOB Bronze Metallic VBL Verde Blue CRT Corten MAL Matte Aluminum MG Medium Gray AGN Antique Green LG Light Grey RAL Premium Color CUSTOM * Contact Factory	7. OPTIONS (May choose as noted) FTG Flat clear glass lens SAG Sag clear glass lens 1 HSS House Side shield for Type 4 SLC Unit (luminous) element RBO Blue inner lens RL Red inner lens GRN Green inner lens	8. CONTROLS – (May choose as noted) WIR wScope connectivity, integral motion sensor WRSC wScope connectivity, integral motion sensor SCP Integral photo-control and motion sensor SCPPROMOTE Handheld commissioning tool 1	9. VOLTAGE 120-277 120-277 VAC input 347 347 VAC input 480 480 VAC input	9. MOUNTING POLE MOUNT SLA2 SLA3 SLA4 SLA4-2 SLA7 SLA7-2 SLA7(S) SLA7(S)-2 SLA8(S) SLA9 SLA8-2 SLA10 SLA10-2 SLA16 SLA16-2 SLA17 SLA17-2 SLA17(S) SLA17(S)-2 SLA18 SLA18-2 SLA20 SLA20-2 SLA20A SLA20A-2 SLA20B SLA20B-2 SLA20C SLA20C-2 SLA20D SLA20D-2 SLA24 SLA24-2 SLA24(S) SLA24(S)-2 WALL MOUNT WMA4 WMA5 WMA6 WMA8 WMA9 WMA10 WMA11 WMA12 WMA16 WMA17 WMA18 WMA20 WMA22 WMA24 WMA37 WMA38 WMA39
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JOB
TYPE
NOTES FULL CUT-OFF FIXTURE

Universe® Collection Medium LED – UCM



1	2	3	4	5
UCM	ANG	UCM-WND-ANG	UCM-SR-ANG	UCM-VSL-ANG
MODEL	Hood	Distribution	CCT	Lumen Package

1. MODEL UCM Universe medium without luminous element UCM-WND Universe medium with luminous window UCM-SR Universe medium with luminous solid rings UCM-VSL Universe medium with luminous vertical slots UCM-LUM Universe medium with luminous rings	2. HOOD (May choose one) FLR Flared hood FLR-STTS Flared hood in natural brushed stainless steel FLR-COP Flared hood in natural brushed copper ANG Angled hood ANG-STTS Angled hood in natural brushed stainless steel ANG-COP Angled hood in natural brushed copper STR Straight hood STR-STTS Straight hood in natural brushed stainless steel STR-COP Straight hood in natural brushed copper BEL Bell hood BEL-STTS Bell hood in natural brushed stainless steel BEL-COP Bell hood in natural brushed copper SKB Skirted bell hood SKB-STTS Skirted bell hood in natural brushed stainless steel SKB-COP Skirted bell hood in natural brushed copper	3. DISTRIBUTION MicroCore Precision aimed optics: T2-32LED Type 2 T3-32LED Type 3 T4-32LED Type 4 T5-32LED Type 5 TX-32LED Custom 1	4. COLOR TEMPERATURE 3K 3000K 4K 4000K 5K 5000K 27K 2700K 35K 3500K AM >560 nm monochromatic amber 1	5. LUMEN PACKAGE 700 71 watts 450 48 watts XMA Custom wattage or drive current 1	6. FINISH WH Arctic White BL Black BLT Matte Black DB Dark Bronze DGN Dark Green TT Titanium WDB Weathered Bronze MOB Bronze Metallic VBL Verde Blue CRT Corten MAL Matte Aluminum MG Medium Gray AGN Antique Green LG Light Grey RAL Premium Color CUSTOM * Contact Factory	7. OPTIONS (May choose as noted) FTG Flat clear glass lens SAG Sag clear glass lens 1 HSS House Side shield for Type 4 SLC Unit (luminous) element RBO Blue inner lens RL Red inner lens GRN Green inner lens	8. CONTROLS – (May choose as noted) WIR wScope connectivity, integral motion sensor WRSC wScope connectivity, integral motion sensor SCP Integral photo-control and motion sensor SCPPROMOTE Handheld commissioning tool 1	9. VOLTAGE 120-277 120-277 VAC input 347 347 VAC input 480 480 VAC input	9. MOUNTING POLE MOUNT SLA2 SLA3 SLA4 SLA4-2 SLA7 SLA7-2 SLA7(S) SLA7(S)-2 SLA8(S) SLA9 SLA8-2 SLA10 SLA10-2 SLA16 SLA16-2 SLA17 SLA17-2 SLA17(S) SLA17(S)-2 SLA18 SLA18-2 SLA20 SLA20-2 SLA20A SLA20A-2 SLA20B SLA20B-2 SLA20C SLA20C-2 SLA20D SLA20D-2 SLA24 SLA24-2 SLA24(S) SLA24(S)-2 WALL MOUNT WMA4 WMA5 WMA6 WMA8 WMA9 WMA10 WMA11 WMA12 WMA16 WMA17 WMA18 WMA20 WMA22 WMA24 WMA37 WMA38 WMA39
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JOB
TYPE
NOTES FULL CUT-OFF FIXTURE

Universe® Collection Medium LED – UCM

Optical System	Secondary Lens or Shield	Distribution	Light Engine	Delivered Lumens	Efficacy (lm/W)	Bug Rating	Delivered Lumens	Efficacy (lm/W)	Bug Rating	Delivered Lumens	Efficacy (lm/W)	Bug Rating	Drive Current (mA)	System Watts
MicroCore	No Lens (Standard)	TYPE 2	T2-32LED	6196	87	2	6196	87	2	6196	87	2	650	71
			T3-32LED	6198	87	1	6198	87	1	6198	87	1	650	71
			T4-32LED	6198	87	1	6198	87	1	6198	87	1	650	71
		House Side Shield	T5-32LED	6227	88	3	6227	88	3	6227	88	3	650	71
			T4-32LED--HSS	4495	63	0	4495	63	0	4495	63	0	650	71
			T5-32LED	4497	63	0	4497	63	0	4497	63	0	650	71
	No Lens (Standard)	TYPE 3	T3-32LED	4570	95	1	4570	95	1	4570	95	1	450	47
			T4-32LED	4570	95	1	4570	95	1	4570	95	1	450	47
			T5-32LED	4570	95	1	4570	95	1	4570	95	1	450	47
		House Side Shield	T4-32LED--HSS	3366	72	0	3366	72	0	3366	72	0	450	47
			T5-32LED	3366	72	0	3366	72	0	3366	72	0	450	47
			T4-32LED	3366	72	0	3366	72	0	3366	72	0	450	47

* DesignLights Consortium® Qualified Product



ELECTRICAL CHARACTERISTICS

Optical System	Ordering Code	Driver						Dimming									
		LED Drive mA	System Watts Non-Element		Line Voltage VAC	Hertz	Amps AC	Min. Power Factor	Max THD (%)	Operating Temp. Range	Dimming Range	Source current out of 0-10V purple wire	Absolute voltage range on 0-10V purple wire				
			mA	W								mA	W	mA	W		
MicroCore	Without Luminescent Element WWSRVSLLUM	32LED	700	650	71	220	0.9	0.2	0.1	a3	20	-30°C To +40°C	10% To 100%	0mA	1mA	0mA	1mA
			450	450	47	220	0.9	0.2	0.1					0mA	1mA		
			450	450	47	220	0.9	0.2	0.1					0mA	1mA		
			450	450	47	220	0.9	0.2	0.1					0mA	1mA		

SENSOR DETECTION RANGE	
COVERAGE	WIRING
SCP	16
WIRING	16

LED COLOR	
Ordering Code	Color
3K	3000K
4K	4000K
5K	5000K

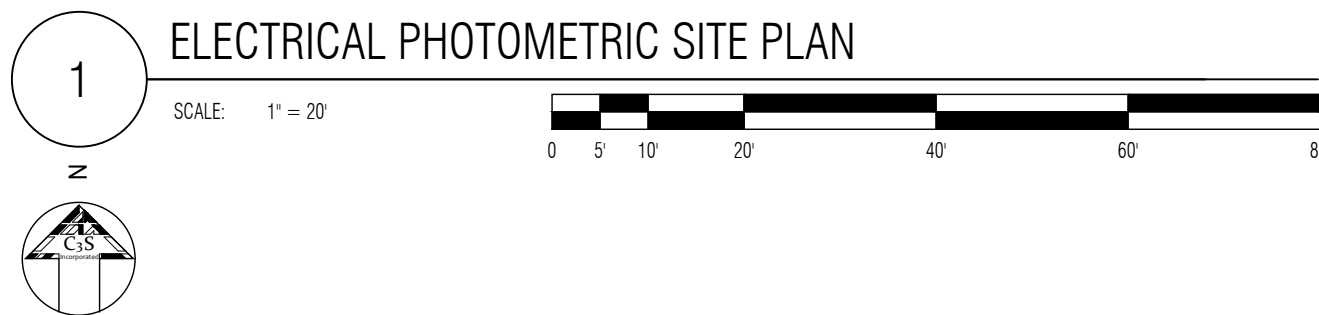
TM-21 LIFETIME CALCULATION

Optical System	Ordering Code	Ambient Environment °C	Projected Lumen Maintenance (% vs. L70)	Reported L70
MicroCore	32LED	15	98	98
		25	98	98
		35	98	98
		40	98	98

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JOB
TYPE
NOTES FULL CUT-OFF FIXTURE

Luminaire Schedule							
Symbol	Label	Total Lamp Lumens	LLF	Description			
Q	W	N.A.	0.900	AAL UCM-ANG-T4-32LED-SK-700-AWT			
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground_Planar	Illuminance	Fc	1.67	6.5	0.0	N.A.	N.A.



DRN: C3S

KCD: MDC / JMM

SHEET TITLE:
ELECTRICAL SITE PHOTOMETRIC
PLAN

SCALE: As Noted
SHEET NUMBER:
SHEET 10 of 13

LONGS PEAK SPRINKLER

460 JONES COURT
ERIE, COLORADO

LONGS PEAK SPRINKLER, 460 JONES COURT
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M.
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
0.97± ACRES
SITE PLAN - SP - 000775-2016
SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES
SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016

SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES
SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016



EXAMPLE - PACKAGED TERMINAL GAS
HEAT & AC UNIT (can be added as required)

CHESLEY ALEXANDER - ARCHITECT
13719 WEST 59th DRIVE
ARVADA, COLORADO 80004
PHONE: (303) 988-9482

OFFICE/WAREHOUSE
LONGS PEAK SPRINKLER
460 JONES COURT
ERIE, COLORADO

DESIGNED:	CDA
DRAWN:	CDA
CHECKED:	CDA
DATE:	08/23/16

REVISIONS:

FIRESTONE INFORMATION BLOCK		
FLOOR PLAN SHEET		
Name of Submittal:	Longs Peak Sprinkler	
Type of Submittal:	SPECIAL REVIEW USE	
Filing Number:		
Preparation Date:	5/10/2016	
Revisions Date:	7/28/16 TOWN REVIEW COMMENTS	
Revisions Date:	12/9/16 TOWN REVIEW COMMENTS	
Revisions Date:		
SHEET	11	of 13

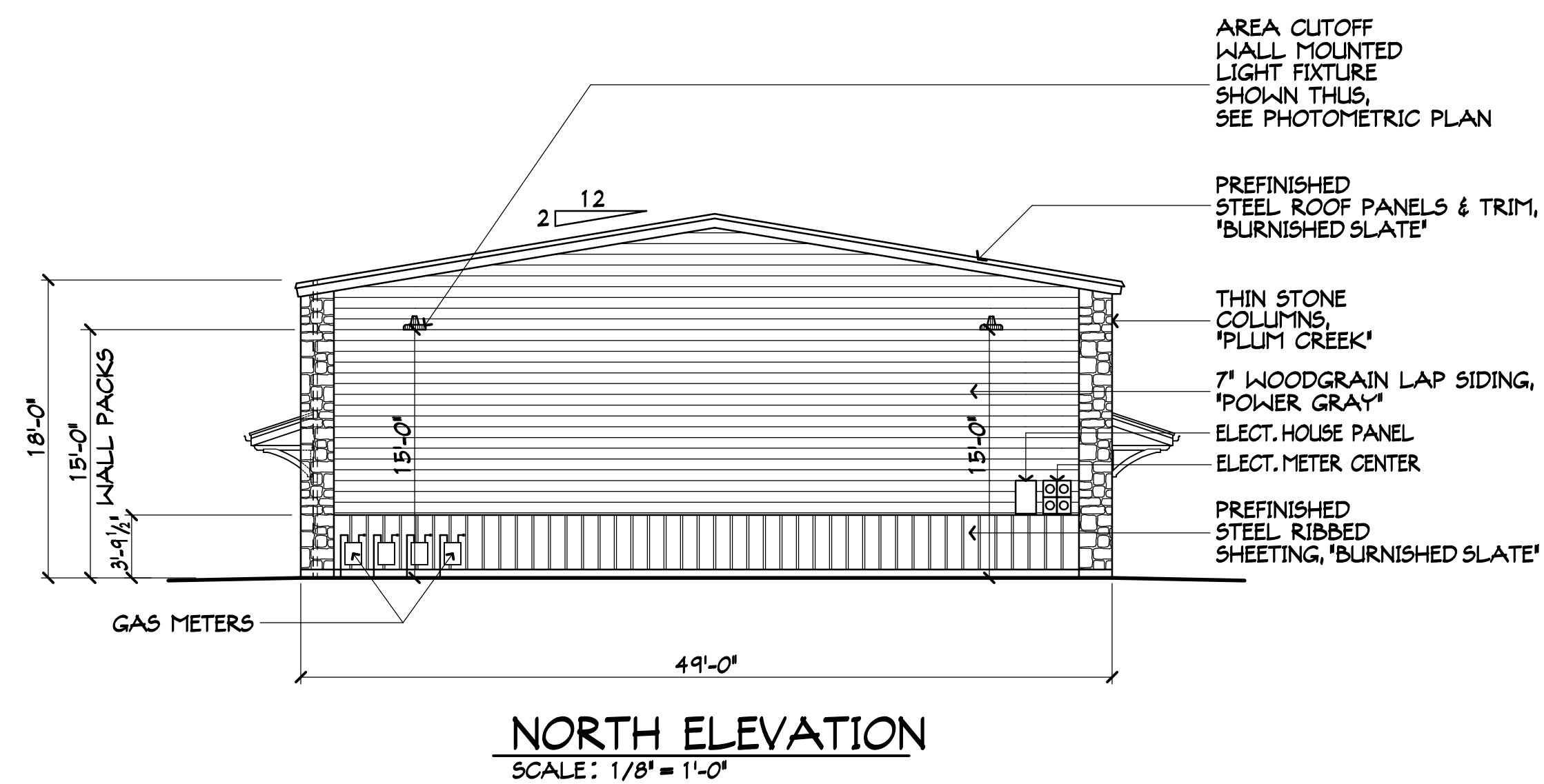
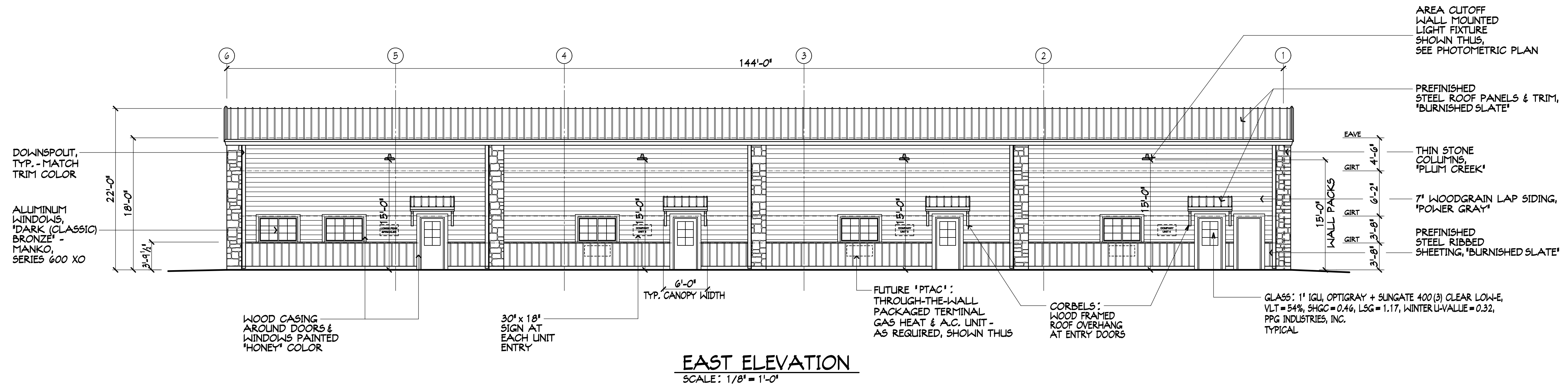
PROJECT: 16293

D R A W I N G

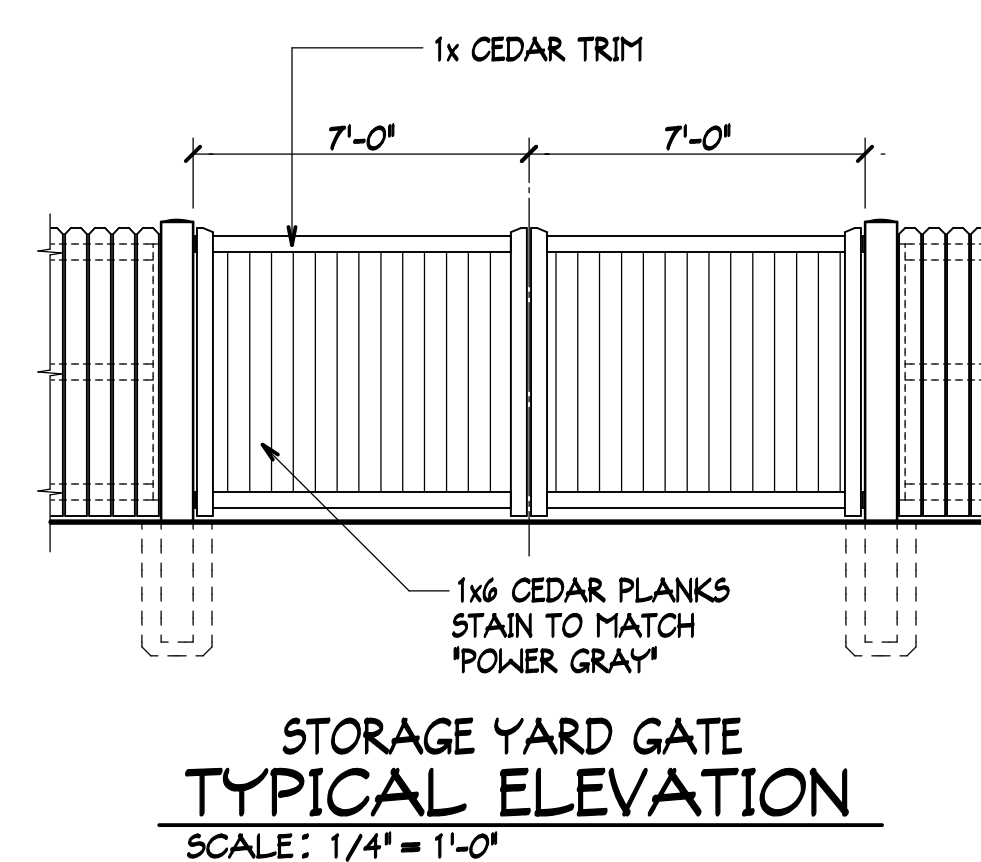
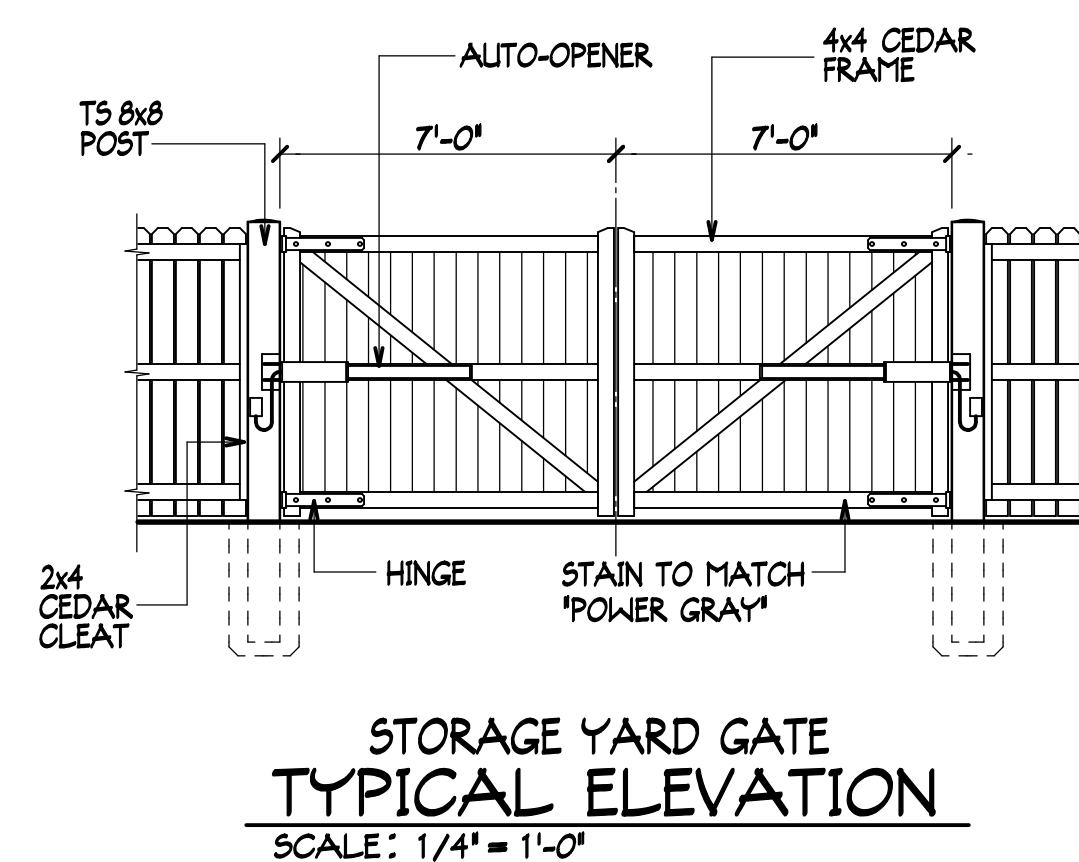
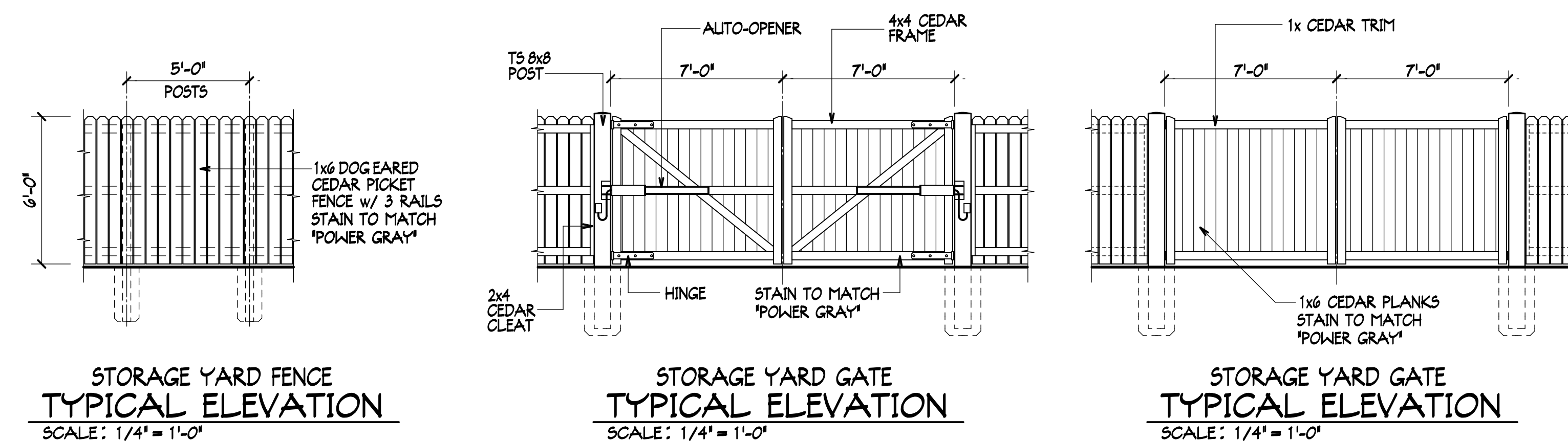
A-1

SHEET 11 OF 13

LONGS PEAK SPRINKLER, 460 JONES COURT
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M.
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
0.97 ± ACRES
SITE PLAN - SP - 000775-2016
SRU AREA - 0.97 ± ACRES - TOTAL AREA 0.97 ± ACRES
SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016



THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREON ARE INTENDED TO DEMONSTRATE HOW ALL HVAC AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED ACCORDING TO TOWN OF ERIE, UNIFIED DEVELOPMENT CODE REQUIREMENTS. IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE THAT THIS APPROVED SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE APPROVED SCREENING MAY RESULT IN DELAY OF FINAL INSPECTIONS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



FIRESTONE INFORMATION BLOCK		
ELEVATIONS SHEET		
Name of Submittal:	Longs Peak Sprinkler	
Type of Submittal:	SPECIAL REVIEW USE	
Filing Number:		
Preparation Date:	5/10/2016	
Revisions Date:	7/28/16 TOWN REVIEW COMMENTS	
Revisions Date:	12/30/16 TOWN REVIEW COMMENTS	
Revisions Date:		
SHEET	12	of 13

CHESLEY ALEXANDER - ARCHITECT
13719 WEST 59th DRIVE
ARVADA, COLORADO 80004
PHONE: (303) 988-9482

OFFICE/WAREHOUSE
LONGS PEAK SPRINKLER
460 JONES COURT
ERIE, COLORADO

DESIGNED:	CDA
DRAWN:	CDA
CHECKED:	CDA
DATE:	08/23/16
REVISIONS:	

PROJECT: 16293

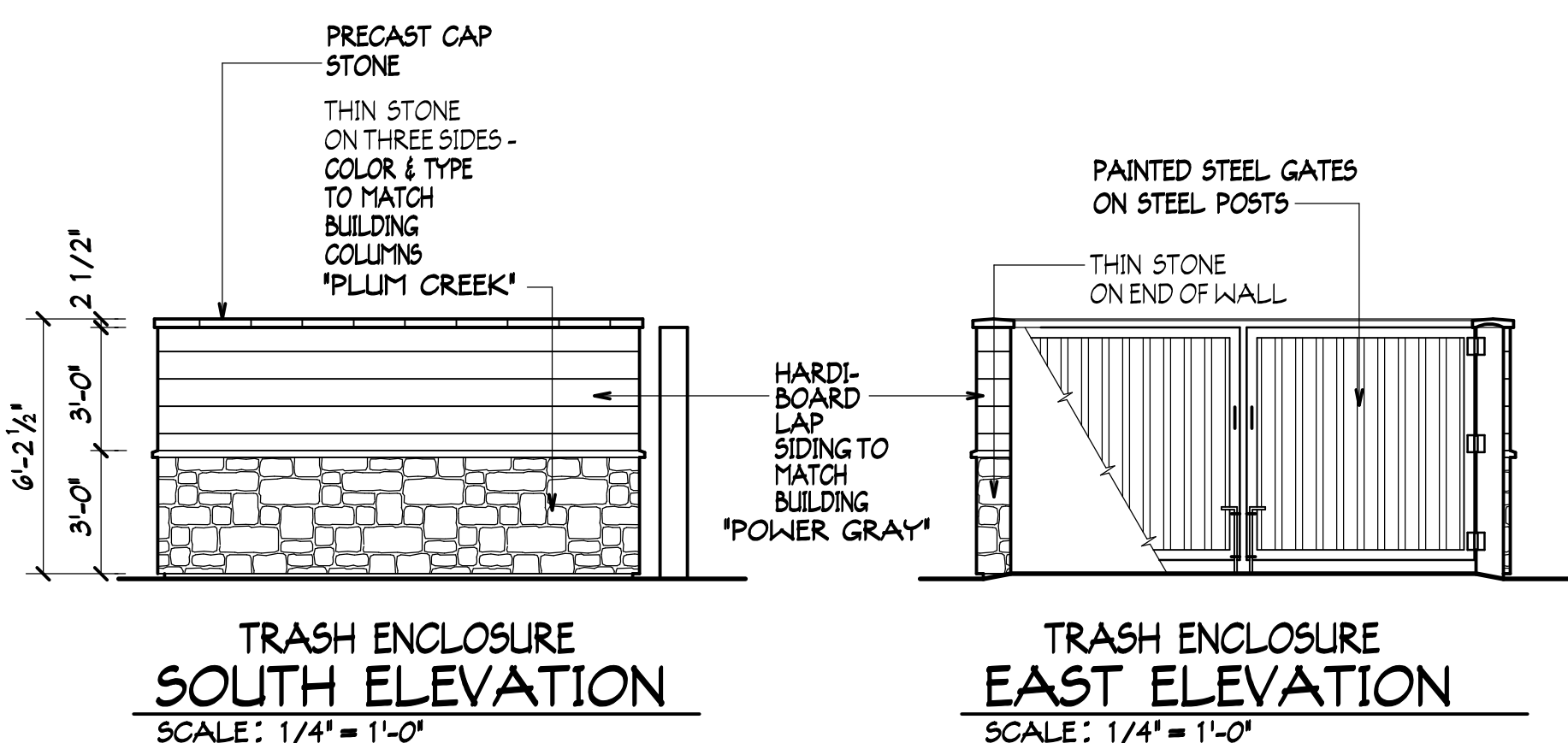
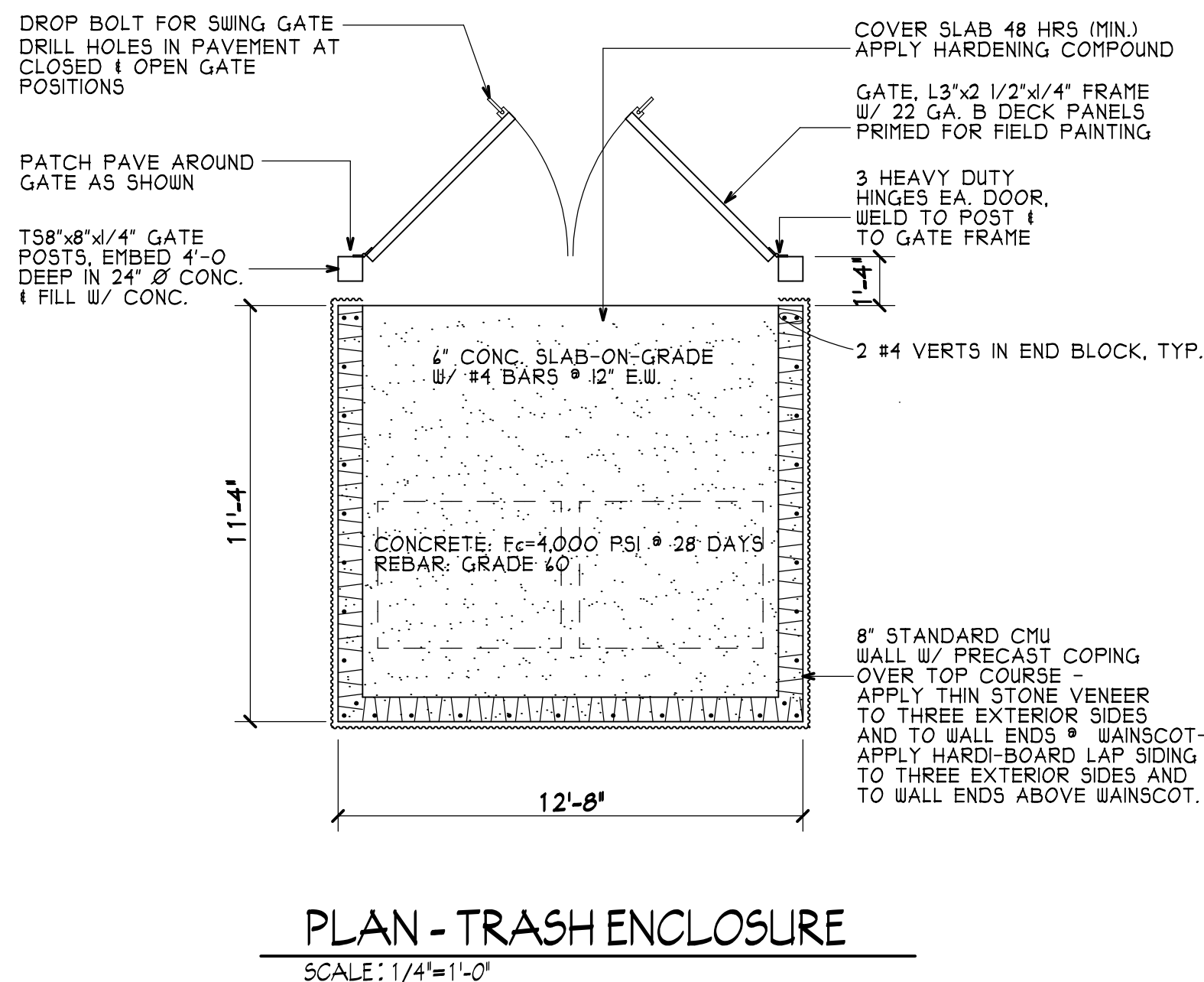
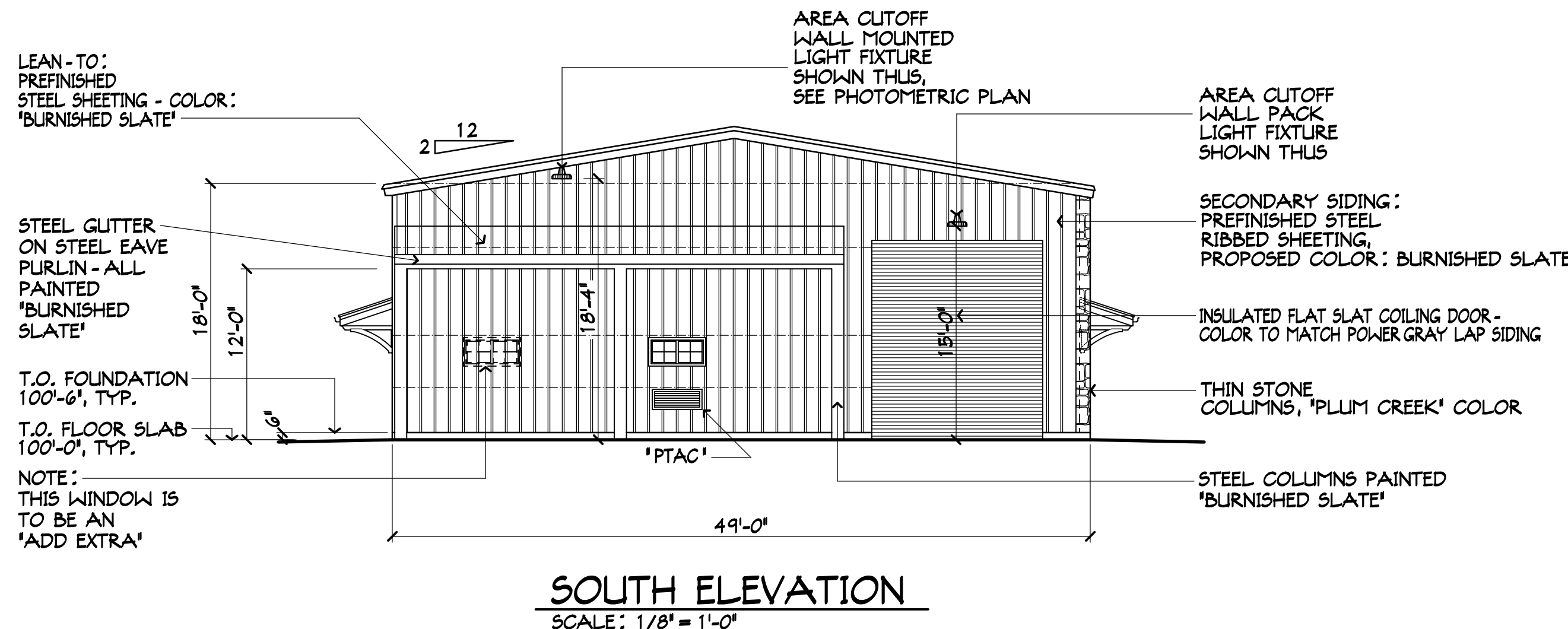
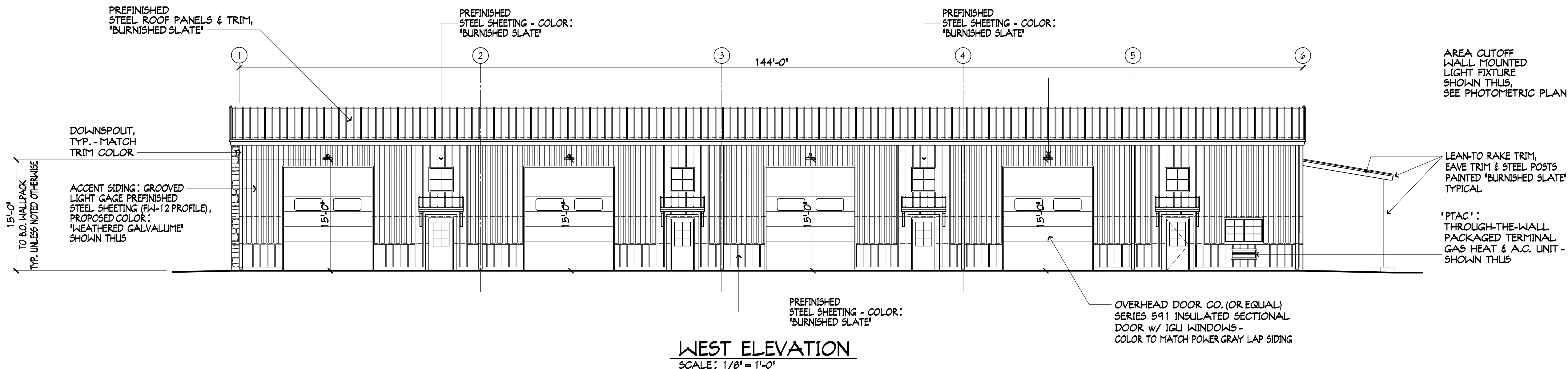
DRAWING

A-2

SHEET 12 OF 13

LOT 8, AUSTIN INDUSTRIAL PARK

LONGS PEAK SPRINKLER, 460 JONES COURT
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M.
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
0.97± ACRES
SITE PLAN - SP - 000775-2016
SRU AREA - 0.97± ACRES - TOTAL AREA 0.97± ACRES
SPECIAL REVIEW USE SITE PLAN - SRU-000774-2016



FIRESTONE INFORMATION BLOCK	
ELEVATIONS SHEET	
Name of Submittal:	Longs Peak Sprinkler
Type of Submittal:	SPECIAL REVIEW USE
Filing Number:	
Preparation Date:	5/10/2016
Revisions Date:	7/28/16 TOWN REVIEW COMMENTS
Revisions Date:	12/30/16 TOWN REVIEW COMMENTS
Revisions Date:	
SHEET	13 of 13

CHESLEY ALEXANDER - ARCHITECT
13719 WEST 59th DRIVE
ARVADA, COLORADO 80004
PHONE: (303) 988-9482

OFFICE/WAREHOUSE
LONGS PEAK SPRINKLER
460 JONES COURT
ERIE, COLORADO

DESIGNED:	CDA
DRAWN:	CDA
CHECKED:	CDA
DATE:	08/23/16
REVISIONS:	
PROJECT:	16293
DRAWING	A-3
SHEET	3 OF 6