

**TOWN OF ERIE
PLANNING COMMISSION
July 2, 2025**

SUBJECT: **PUBLIC HEARING: Erie Highlands Filing 17 Commercial Site Plan**
A Resolution of the Planning Commission of the Town of Erie
approving the Erie Highlands Filing 17 Commercial Site Plan

CODE REVIEW: Erie Municipal Code, Title 10

PURPOSE: Consideration of a Site Plan laying out a conceptual pattern of lots and
access points, with proposed uses and palettes of materials

DEPARTMENT: Planning and Development

PRESENTER: Harry Brennan, Senior Planner

STAFF RECOMMENDATION:
Staff find the Erie Highlands Filing 17 Site Plan complies with the Site Plan Approval Criteria
in the UDC and recommends the Planning Commission adopt the resolution approving the
Site Plan.

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

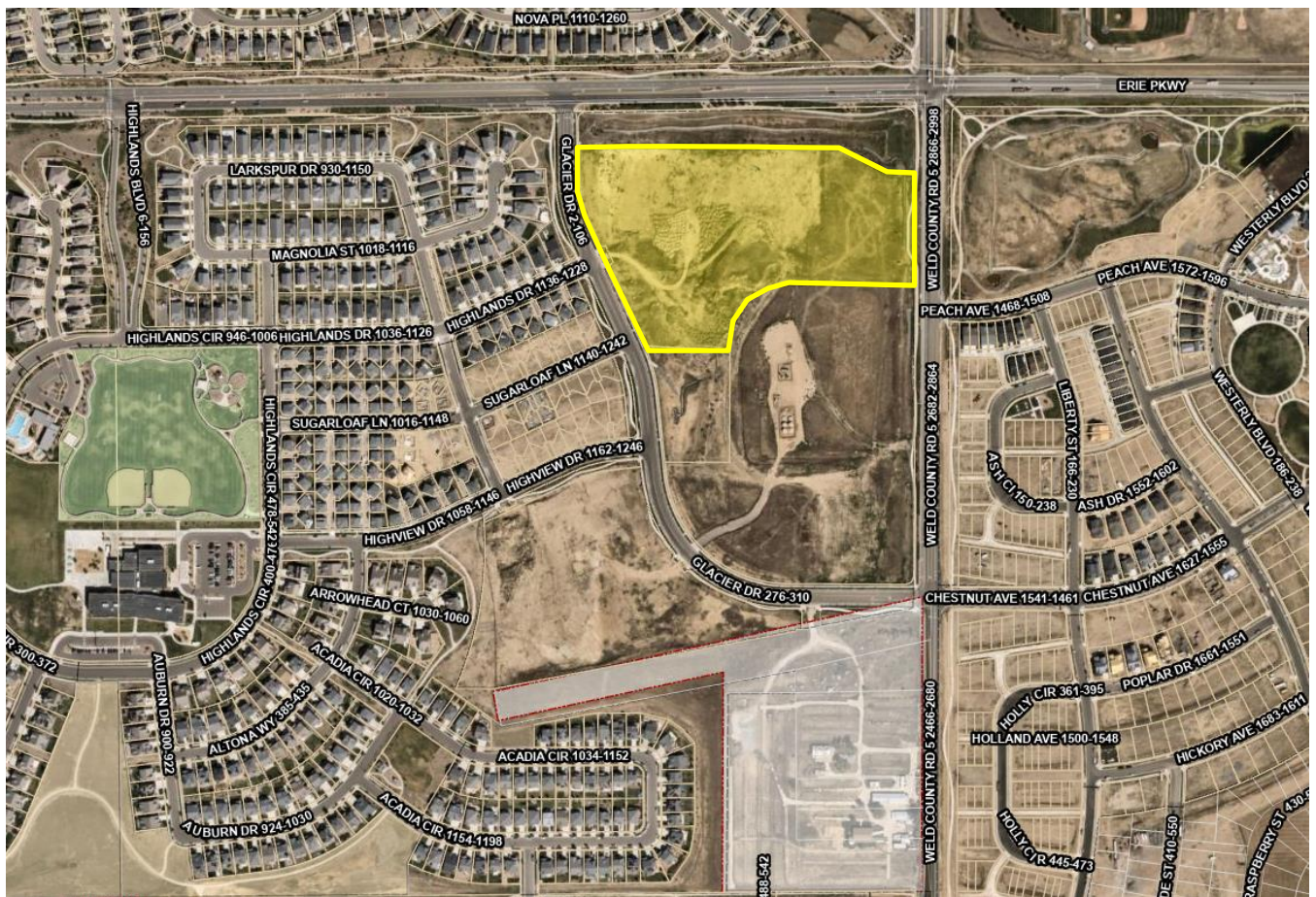
Applicant: Evergreen Development
2390 East Camelback Rd., Suite 410
Phoenix, AZ 85016

Existing Conditions:

Zoning: Community Commercial (CC) with PUD Overlay
Project Size: 11.58 Acres
Existing Use: Undeveloped
Future Land Use: Commercial

Location:

Below is a map which depicts the site (in yellow) and surrounding area.



Adjacent Land-Use/Zoning:

	ZONING	LAND USE
NORTH	LR – PUD Overlay	Colliers Hill Residential
SOUTH	CC – PUD Overlay	Undeveloped/Oil & Gas
EAST	MR- PUD Overlay	Erie Highlands Residential
WEST	LR - PUD Overlay	Westerly Drainage Area

Site History:

The subject site is a component of the larger Erie Highlands development and is the commercial component of Erie Highlands. The zoning framework dates to 2013 when the Town Council approved the Erie Highlands PUD Zoning overlay with Community Commercial zoning for this site. A Preliminary Plat in 2022 and subsequent Minor Subdivision Plat approved June 2025 laid out and platted a portion of this subject property. Subsequent Final Plats and/or Minor Subdivision Plats are expected.

Staff reviewed the Erie Highlands Filing 17 Minor Subdivision Plat concurrently with this Site Plan application. The Town Council approved the Minor Subdivision Plat and associated Development Agreement at their meeting on June 10, 2025.

Future Required Applications:

The next steps for development of the subject site will include subsequent Site Plan(s) and Plat(s) for each individual new lot.

Site Plan Overview:

The Site Plan is somewhat conceptual in that eventual end users may change, causing some expected revisions/updates to future lot layouts. However, core design principles in this Site Plan are included to guide the future development of individual lots. Core design principles include landscaping and screening along the north and western perimeter, a palette of materials for buildings and landscaping, limiting and sharing access drives for lots wherever possible, and pedestrian connectivity.

Compliance with Town of Erie Comprehensive Plan:

This Site Plan application is consistent with the Comprehensive Plan, which identifies this area as Corridor Commercial. This designation imagines a range in possible commercial uses including fuel service, restaurant and beverage service, light automotive repair, medical office, children daycare, and more. The Erie Highlands Filing 17 Site Plan creates a more consistent vision for this commercial area, instead of proceeding individually with less planning about shared circulation, consistent design, and landscaping.

The Comprehensive Plan also identifies this section of the Erie Parkway corridor as an Corridor of Special Consideration. Development proposals within Areas of Special Consideration should meet the following design guidelines:

- Corridors should have enhanced landscape and streetscape design.
 - In areas that are walkable, urban, or with limited space, landscape setbacks may be substituted with street trees and amenity zones. Amenity zones are paved areas for pedestrians that may include outdoor dining, benches, bike racks and similar uses.
- Fencing should be open (split rail, picket, etc.) and under 4 feet in height. Low brick or masonry walls can be used to screen or define areas, depending on the context.
- Screen parking areas from view with landscaping, berms, and/or architectural elements.
- Limit view obstructions from signs.

Staff find that the Site Plan is consistent with policy *C.3.4 Reinforce Erie Parkway through streetscape and building design.*

- Maintain key view corridors and vistas of the mountains to the west, especially between Weld County Road 5 and 7, through strategic plantings and building setback, height, and orientation.
- Development should be oriented to front the Parkway; backs of buildings should not line the Parkway.
- Ensure building design that fronts to Erie Parkway utilizes high quality and durable materials. Maintain active frontages that address the street through entries, ample windows, and outdoor seating areas.
- Provide for enhanced multimodal connectivity, with emphasis on safe pedestrian crossings and bicycle facilities between and along residential neighborhoods and commercial areas.

The building footprints are intentionally laid out to create a consistent presence along the Erie Parkway frontage, and landscaping buffering will help minimize the visual presence of drive throughs and parking areas. Building materials will include a consistent palette of masonry and other materials to create a high quality design aesthetic.

Additionally, staff find that the development meets policy *C.3.2 Create a built environment that is accessible, usable, and of high quality design.*

- Accessible: Develop design standards that incorporate universal design principles (step-free entrances, rest areas along pedestrian routes, smaller curb radii, etc.).
- Usable: Provide safe, protected pedestrian connections through development and parking areas to maximize connectivity within and between developments and amenities.
- High Quality Design: Emphasize pedestrian scaled design and ensure all building elevations are designed to achieve high quality design with durable materials, articulation and variation in massing.

The applicant proposes a new network of sidewalks and crosswalks that will help this development be accessible to visitors in cars and on foot.

The subject site is outlined in the dashed black line in Figure 1.

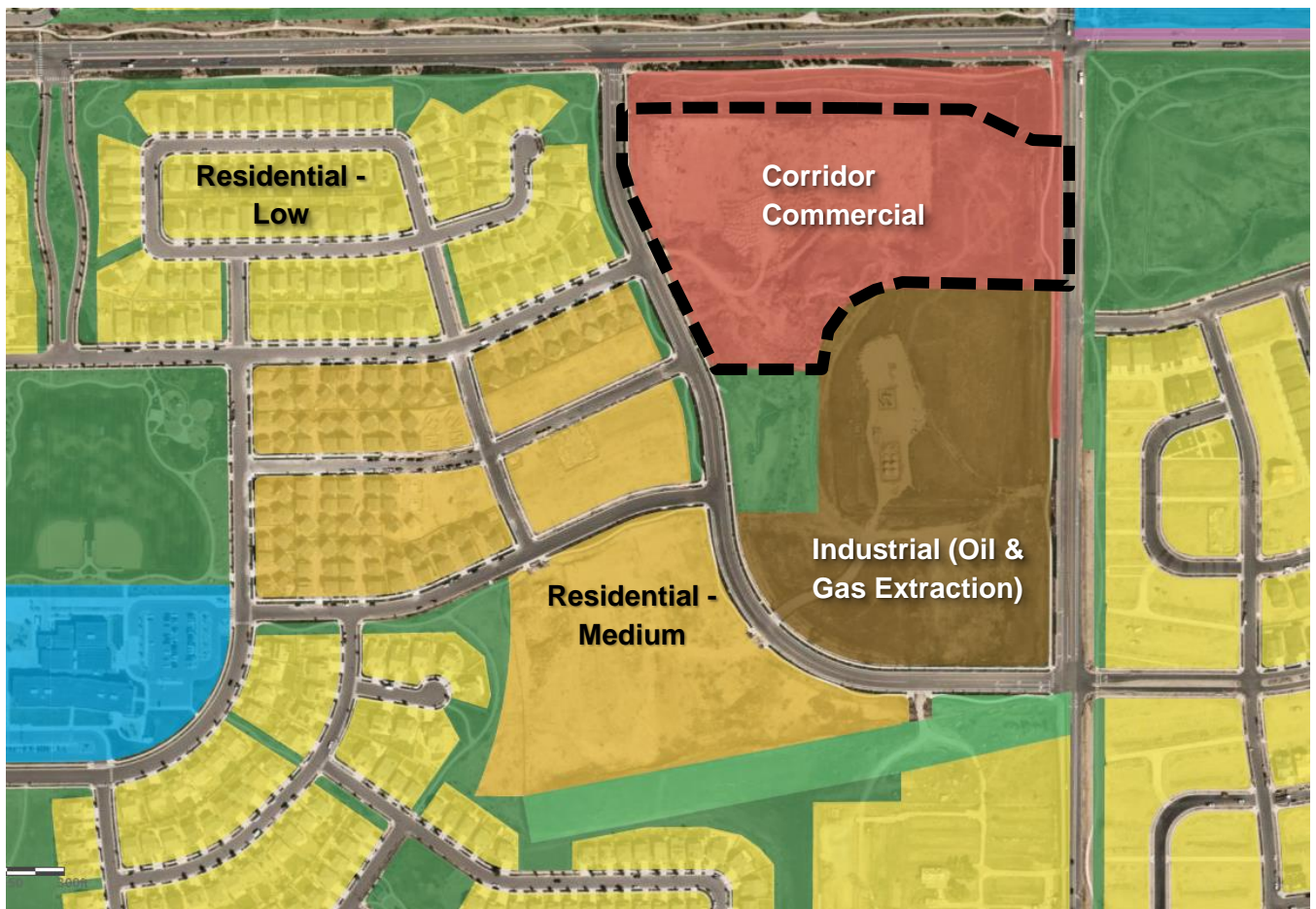


Figure 1: Comprehensive Plan Excerpt

Compliance with Town of Erie Zoning Map:

The subject property is zoned Community Commercial (CC) with the Erie Highlands PUD Overlay. Before the Town commonly utilized Planned Development (PD) zoning, some developments used a Planned Unit Development (PUD) overlay that supplemented or amended the underlying zone district designation. For this project, the underlying zoning of CC provides the basic standards for appropriate land use and dimensional regulations including the setbacks.

The property is outlined in black on the zoning map in Figure 2 below. This Site Plan application is consistent with the zoning framework.

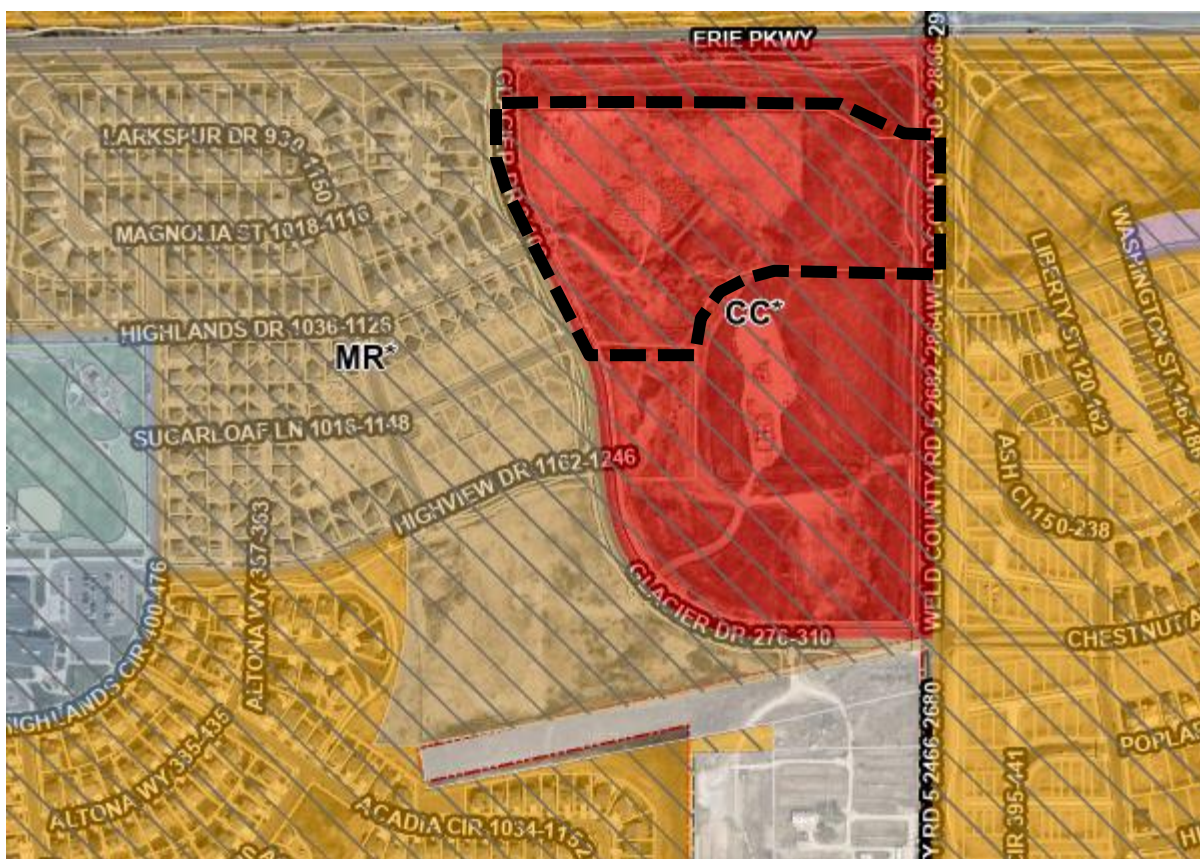


Figure 2: Existing Zoning

Site Design:

The applicant agreed to create this overall Site Plan at staff's request, to establish design principles that carry forward to subsequent plat and site plan applications. For that reason, future site plans are expected when each individual use comes in for development. This overall Site Plan is proposed to include some flexibility to allow for changing uses or internal lot layouts as needed, with review with Town staff.

The Site Plan proposes 10 development pads with uses including:

- Fuel Station/Convenience Store
- Light Auto Repair
- Restaurant
- Beverage (Coffee)
- Medical Office
- Child Care/Daycare
- General Office

These uses could change as the applicant finalizes end users. All uses must to comply with the Community Commercial (CC) zoning.

All building footprints will comply with UDC setback standards consistent with the zoning, maintaining the minimum standards:

- Front Setback: 20'
- Street Side Setback: 20'
- Interior Side Setback: 10' (0' permitted along shared walls)
- Rear Setback: 20'
- Max. Height: 45', 3 stories

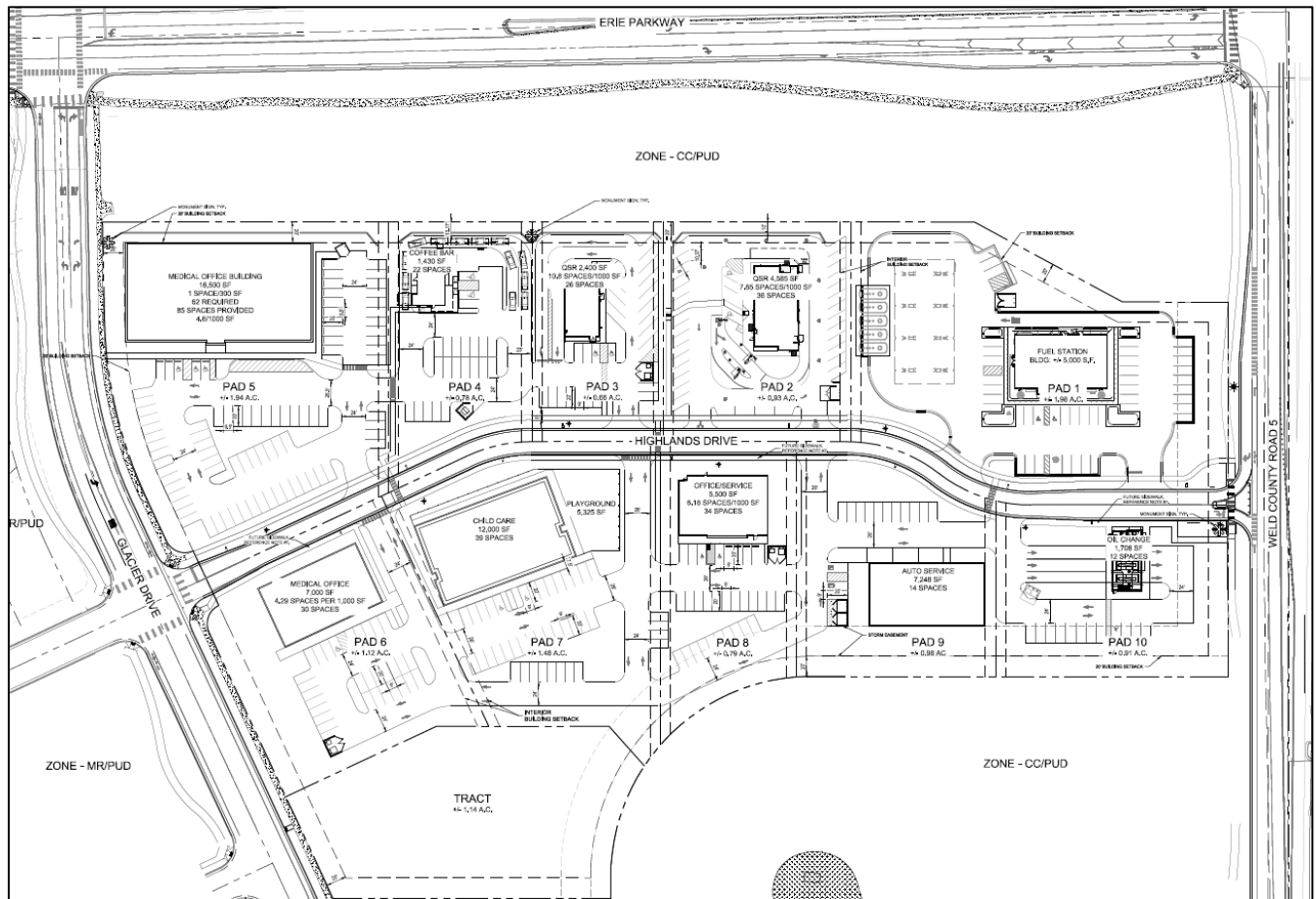


Figure 3: Overall Site Plan

Traffic:

Staff evaluated projected traffic counts during the review of the Erie Highlands Filing 17 Minor Subdivision Plat. Town Council approved this application in June of 2025. The Minor Subdivision Plat application includes offsite public improvements to accommodate new traffic flows into and out of the site. These improvements include a new traffic signal at Glacier Drive and Erie Parkway, and a new deceleration lane leading to a right-in, right-out entrance from Weld County Road 5. The new entrance on Glacier Drive will be a full movement intersection with stop sign control for east-west traffic.

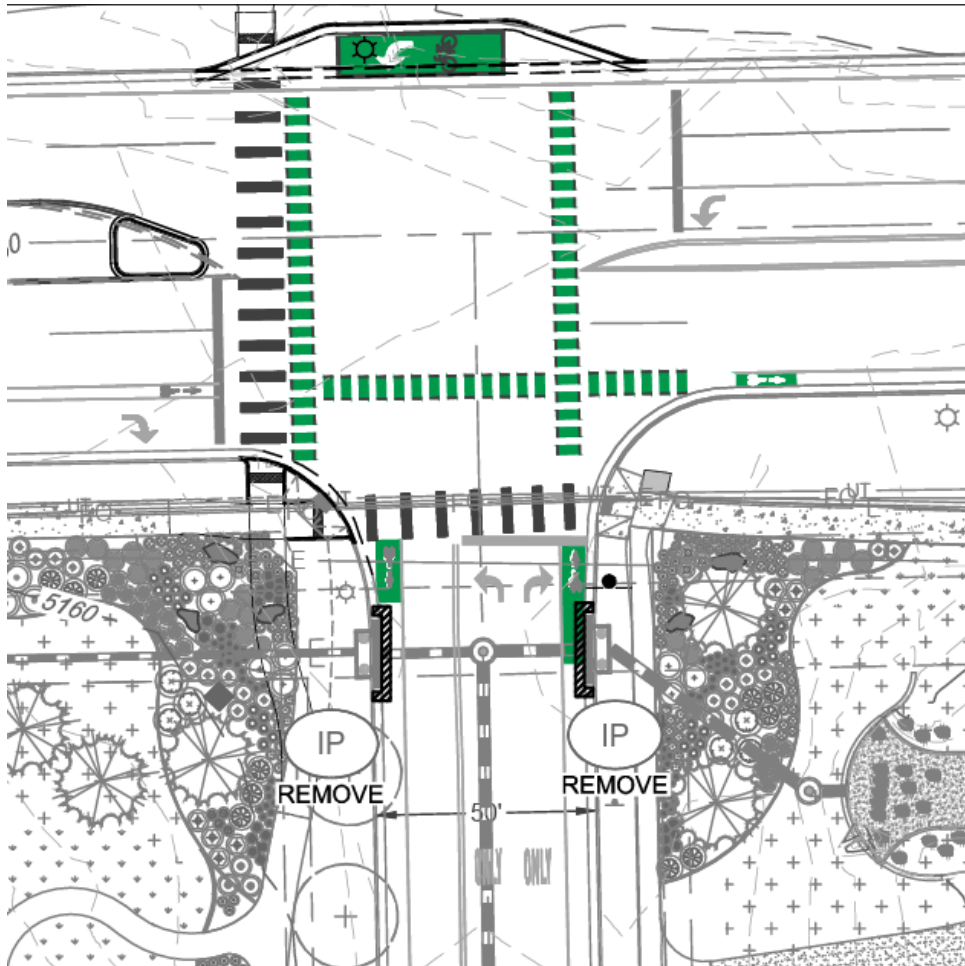


Figure 4: Erie Parkway and Glacier Signalization & Crossing Improvements

The applicant's Site Plan creates an internal hierarchy of private drives – with Highlands Drive being the primary road, and internal drives to access parking and drive-throughs. A key design component was to consolidate egress points wherever possible to minimize vehicular conflicts and enhance pedestrian safety.

Parking counts will be confirmed when subsequent site plans for individual users are submitted. Parking will conform to the standards in the UDC.

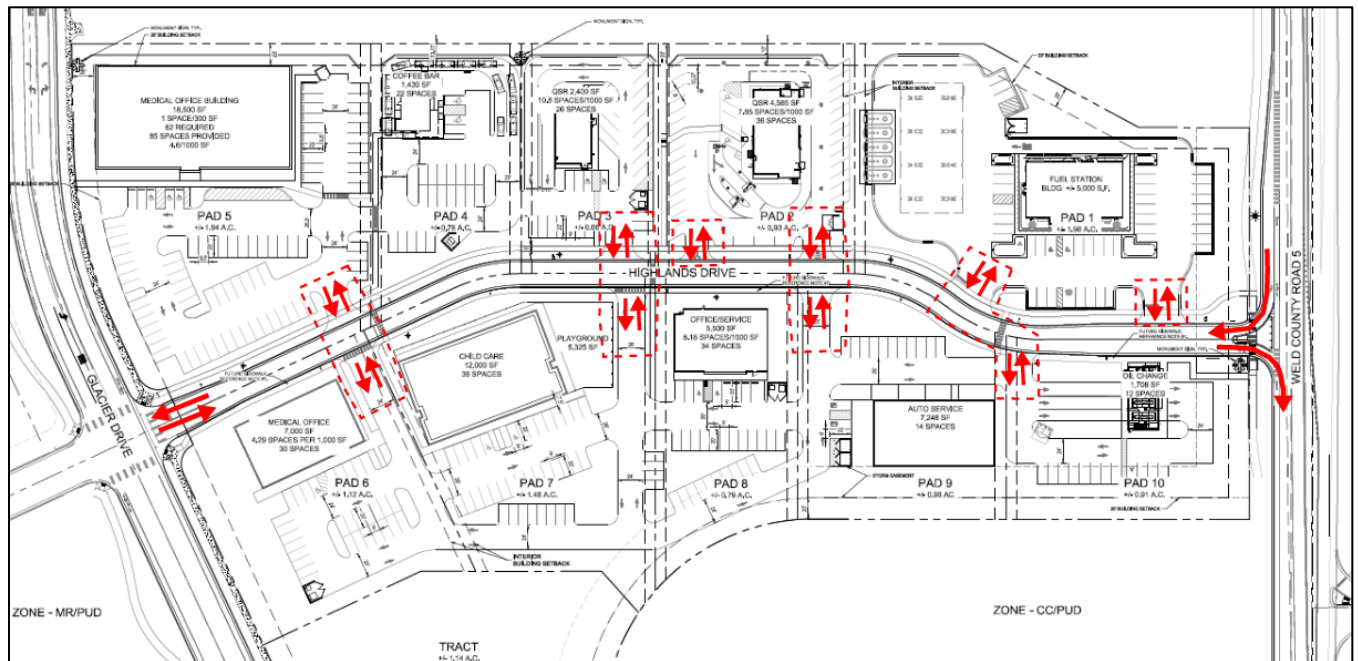


Figure 5: Vehicular Circulation

Pedestrian Circulation:

The Site Plan proposes new pedestrian connections that will tie into the existing public sidewalks on Erie Parkway, Weld County Road 5, and Glacier Drive. New crosswalks across Glacier Drive and the new alignment of Highlands Drive will help pedestrians access future businesses. Internal walkways on each lot will lead pedestrians to building entries.

The new traffic signal at Erie Parkway and Glacier Drive will also provide a new opportunity for pedestrians and cyclists to cross Erie Parkway. Bike Parking within the development will be required per UDC standards.

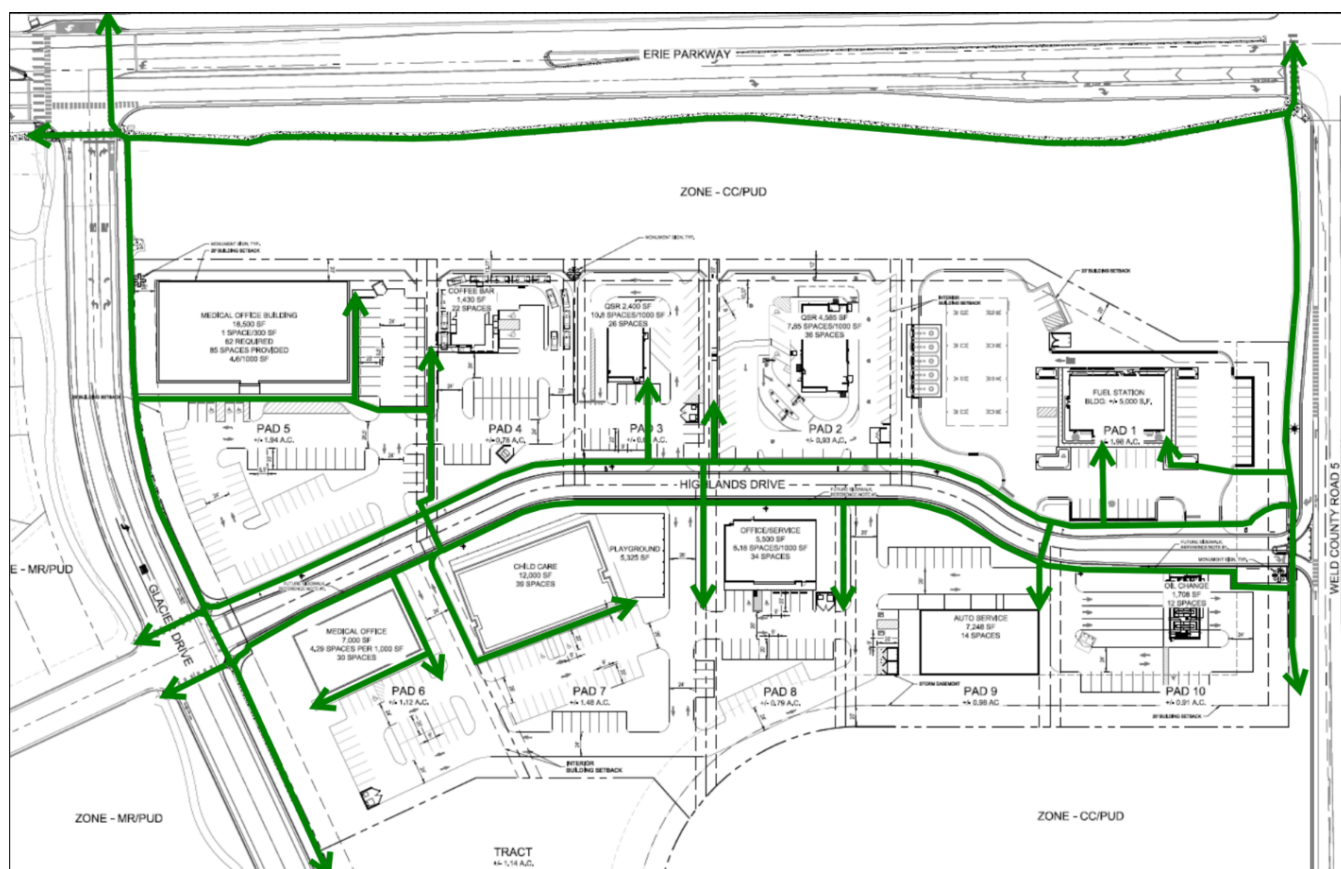


Figure 6: Pedestrian Circulation

The Site Plan proposes plantings that are particularly dense along the northern and western edges of the property, where staff identified a need for screening of parking and drive-throughs from adjacent residential and from Erie Parkway.

The applicant has also proposed a palette of landscaping materials to guide plantings and create a cohesive design aesthetic.



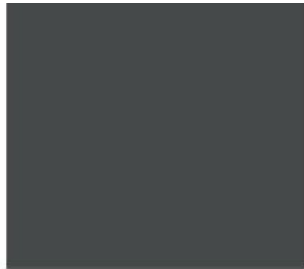
Figure 7: Representative Landscaping

Building Design:

This Site Plan proposes a palette of building materials to help create a consistent design aesthetic. These materials include masonry, siding, synthetic stucco, concrete, and metal accents. All development will also have to comply with all UDC design standards for commercial buildings.



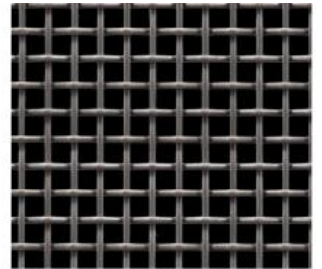
BERRIDGE METAL
"SHASTA WHITE"



BERRIDGE METAL
"CHARCOAL GRAY"



BERRIDGE METAL
BERRIDGE "CITYSCAPE"



McNICHOLS/OR SIMILAR
WIRE MESH



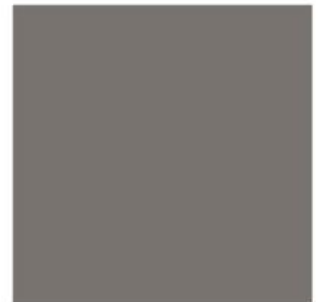
METAL/PAINT
SW 7076 "CYBERSPACE"



EIFS/PAINT
SW 7051 "ANALYTICAL GRAY"



EIFS/PAINT
SW 7016 "MINDFUL GRAY"



EIFS/PAINT
SW 7019 "GAUNTLET GRAY"



NICHIHA
VINTAGEWOOD SERIES
"SPRUCE"



NICHIHA
VINTAGEWOOD SERIES
"POPLAR"



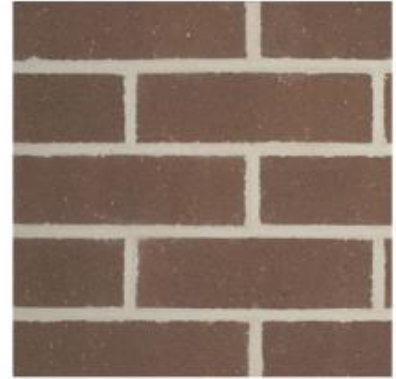
NICHIHA
VINTAGEWOOD SERIES
"BLACKWOOD"



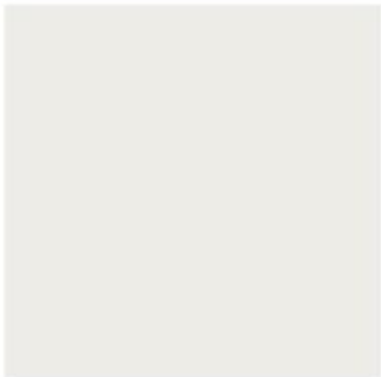
BRICK
SUMMIT "ONYX"



BRICK
SUMMIT "ALASKAN"



BRICK
SUMMIT "CEDAR RIDGE"



EIFS/PAINT
SW 7005 "PURE WHITE"



EIFS/PAINT
SW 7069 "IRON ORE"



PRECAST CONCRETE CAP
"NATURAL GRAY"



NICHIHA
VINTAGEWOOD SERIES
"CEDAR"



NICHIHA
VINTAGEWOOD SERIES
"BARK"



NICHIHA
VINTAGEWOOD SERIES
"ASH"

Figure 8: Building Materials

STAFF REVIEW AND ANALYSIS

Staff reviewed the Erie Highlands Filing 18 Site Plan for conformance with Municipal Code, Title 10, UDC Section 10-7-10 Approval Criteria. Staff find the Site Plan in compliance with the Approval Criteria as listed below.

- a. The site plan is generally consistent with the Town's comprehensive plan;

Staff: The Future Land Use Map in the Town's Comprehensive Plan designates the site for Corridor Commercial. Staff find that the proposed Site Plan is consistent with the Town's Comprehensive Plan, and aligns with or meets the following policies:

Design guidelines for Corridors and Areas of Special Consideration (p 33).

C.3.4 Reinforce Erie Parkway through streetscape and building design (p 42).

C.3.2 Create a built environment that is accessible, usable, and of high quality design (p 42).

- b. The site plan is generally consistent with any previously approved subdivision plat, or other land use approval;

Staff: The Site Plan is consistent with the recently approved Erie Highlands Filing 17 Minor Subdivision Plat, as well as the zoning for this area.

- c. The site plan complies with all applicable development and design standards set forth in this UDC, including, but not limited to, the provisions in Chapter 2, Chapter 3, Chapter 4, and Chapter 6;

Staff: Staff, third party consultants, and external agencies reviewed this proposed Site Plan. The proposal is consistent with the Town's standards for site and building design.

- d. Any significant adverse impacts reasonably anticipated to result from the use will be mitigated or offset to the maximum extent reasonably practicable; and

Staff: The review of the Site Plan considered the design of the buildings and site in terms of its perceived impacts on neighboring properties. The location of the high traffic fuel station was selected to minimize the traffic impacts on the existing Erie Highlands residential neighborhood. No significant adverse impacts are expected.

- e. The development proposed on the site plan and its general location is or will be compatible with the character of surrounding land uses.

Staff: Town staff find that this development will be compatible with the character of surrounding land uses. Building footprints and landscaping buffers are designed to minimize the impact of commercial uses on the adjacent residential neighborhood.

NEIGHBORHOOD MEETING

As required by the Municipal Code, a Neighborhood Meeting was held on May 12, 2025. The required notice for the Neighborhood Meeting was provided. The summary and notice information are attached.

PUBLIC NOTICE

Notice of this Public Hearing has been provided as follows:

Published in the Daily Times Call: June 11, 2025

Property Posted: June 13, 2025

Letters to adjacent property owners within 500': June 13, 2025