

ERIE JUNCTION PRELIMINARY PLAT

A PARCEL OF LAND, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18,
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
2.73 ACRES – 23 LOTS/4 TRACTS
PP-001311-2021

TRACT SUMMARY CHART				
Tract	Area	Use	Ownership	Maintenance
TRACT A	0.16 AC	UTILITY, LANDSCAPE & PUBLIC SIDEWALK	HOA	HOA
TRACT B	0.60 AC	ACCESS, LANDSCAPE, UTILITY & DRAINAGE	HOA	HOA
TRACT C	0.15 AC	LANDSCAPE & DRAINAGE	HOA	HOA
TRACT D	0.07 AC	LANDSCAPE & DRAINAGE	HOA	HOA

LAND SUMMARY CHART		
Type	Area (AC)	% Of Total Area
RESIDENTIAL LOTS	1.67	61.1%
TRACTS	0.99	36.3%
PUBLIC R.O.W.	0.07	2.6%
TOTAL	2.73	100.0%

Dedication and Ownership Statement

KNOW BY ALL MEN THESE PRESENTS THAT THE UNDERSIGNED, BEING ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

AN UNPLATTED PARCEL OF LAND AS DESCRIBED IN THE RECORDS OF BOULDER COUNTY ON DECEMBER 17, 2020, AT RECEPTION NO. 4662334, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

CONSIDERING THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 18 TO BEAR NORTH 00°24'01" WEST, A DISTANCE OF 2650.86 FEET BETWEEN A FOUND 3 1/4" BRASS CAP IN MONUMENT BOX, ILLEGIBLE AT THE SOUTHWEST CORNER OF SECTION 18 AND A FOUND 2 1/2" ALUMINUM CAP, ILLEGIBLE IN MONUMENT BOX AT THE WEST 1/4 CORNER OF SECTION 18, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT SAID SOUTHWEST CORNER;
THENCE ALONG SAID WEST LINE, NORTH 00°24'01" WEST, A DISTANCE OF 1406.66 FEET;
THENCE DEPARTING SAID WEST LINE, NORTH 89°07'40" EAST, A DISTANCE OF 30.00 FEET, TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF WELD COUNTY ROAD NO. 1, AND THE POINT OF BEGINNING.

THENCE ALONG SAID EAST RIGHT-OF-WAY LINE, NORTH 00°24'01" WEST, A DISTANCE OF 208.93 FEET;
THENCE DEPARTING SAID EAST RIGHT-OF-WAY LINE, AND ALONG THE NORTH LINE OF SAID UNPLATTED PARCEL OF LAND, NORTH 88°54'29" EAST, A DISTANCE OF 564.68 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF A PLATTED ALLEY;
THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, SOUTH 01°03'01" EAST, A DISTANCE OF 211.09 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF BALCOLM STREET;
THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, SOUTH 89°07'40" WEST, A DISTANCE OF 567.06 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 118,835 SQ. FT., OR 2.73 ACRES, MORE OR LESS.

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, STREETS, TRACTS, AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND SUBDIVISION OF ERIE JUNCTION FINAL PLAT, THE STREETS, TRACTS, AND EASEMENTS SHOWN HEREON ARE DEDICATED TO THE TOWN AND THE PUBLIC, FOR PUBLIC USES AND PURPOSES AS SHOWN HEREON.

OWNER/LIEN HOLDER:
ERIE JUNCTION, LLC

BY: NICHOLAS JACOBS, MANAGER _____ DATE _____

ATTEST:

SECRETARY/TREASURER

STATE OF COLORADO }
COUNTY OF _____ }SS.

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20__ BY
NICHOLAS JACOBS AS MANAGER OF ERIE JUNCTION, LLC

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____



Vicinity Map
SCALE: 1" = 1000'

Notes

- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY FOR LAND TITLE GUARANTEE COMPANY COMMITMENT NUMBER FC25169910-2, DATED NOVEMBER 12, 2020 AT 5:00 P.M., WAS ENTIRELY RELIED UPON FOR RECORDED INFORMATION REGARDING RIGHTS-OF-WAY, EASEMENTS AND ENCUMBRANCES IN THE PREPARATION OF THIS SURVEY. THE PROPERTY SHOWN AND DESCRIBED HEREON IS ALL OF THE PROPERTY DESCRIBED IN SAID TITLE COMMITMENT.
- ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- THIS SURVEY IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
- BASIS OF BEARINGS: GPS DERIVED BEARINGS BASED ON A BEARING OF N00°24'01"W ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 18, BETWEEN A FOUND 3 1/4" BRASS CAP IN MONUMENT BOX, ILLEGIBLE AT THE SOUTHWEST CORNER OF SECTION 18 AND A FOUND 2 1/2" ALUMINUM CAP, ILLEGIBLE IN MONUMENT BOX AT THE WEST 1/4 CORNER OF SECTION 18 AS SHOWN HEREON. COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983 (NAD83). ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT AND/OR BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE C.R.S. SEC 18-4-508. WHOEVER WILLFULLY DESTROYS, DEFACES, CHANGES, OR REMOVES TO ANOTHER PLACE ANY SECTION CORNER, QUARTER-SECTION CORNER, OR MEANDER POST, ON ANY GOVERNMENT LINE OF SURVEY, OR WILLFULLY CUTS DOWN ANY WITNESS TREE OR ANY TREE BLAZED TO MARK THE LINE OF A GOVERNMENT SURVEY, OR WILLFULLY DEFACES, CHANGES, OR REMOVES ANY MONUMENT OR BENCH MARK OF ANY GOVERNMENT SURVEY, SHALL BE FINED UNDER THIS TITLE OR IMPRISONED NOT MORE THAN SIX MONTHS, OR BOTH. 18 U.S.C. § 1858.
- THE DISTANCE MEASUREMENTS SHOWN HEREON ARE U.S. SURVEY FOOT.
- DATES OF FIELDWORK: NOVEMBER 25, 2020
- THE FOLLOWING DOCUMENTS ARE MENTIONED IN THE ABOVE REFERENCED TITLE DOCUMENT AND APPEAR TO AFFECT THE SUBJECT PROPERTY BUT CANNOT BE SHOWN GRAPHICALLY. THE FOLLOWING LIST CONTAINS THE TITLE DOCUMENT EXCEPTION NUMBER, DATE RECORDED, RECEPTION NUMBER AND/OR BOOK AND PAGE.
#9 MAY 24, 1957 BK 1478, PG 310 RESERVATION OF COAL RIGHTS
#10 JUNE 23, 1982 REC. NO. 1895416 OIL AND GAS LEASE
#11 APRIL 27, 2016 REC. NO. 4198726 ALTA/ACSM SURVEY
- THERE ARE NO 100-YEAR FLOODPLAINS, EXISTING/PROPOSED WATERCOURSES, RETENTION AND DETENTION AREAS, WETLANDS AND RIPARIAN AREAS, STREAMS, LAKES, DITCHES AND LATERALS ON THE EFFECTED PROPERTY.
- A BLANKET PUBLIC ACCESS, UTILITY & DRAINAGE EASEMENT IS GRANTED ACROSS TRACT A. A BLANKET PUBLIC ACCESS & DRAINAGE EASEMENT IS GRANTED ACROSS TRACT B. A BLANKET DRAINAGE EASEMENT IS GRANTED ACROSS TRACTS C & D.

Title Verification Certificate

WE, LAND TITLE GUARANTEE COMPANY, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE OF ALL LAND PLATTED HEREON AND THAT TITLE TO SUCH LAND IS IN THE DEDICATOR(S) FREE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES, EXCEPT AS FOLLOWS:

LAND TITLE GUARANTEE COMPANY

BY: _____ DATE: _____

TITLE: _____

ATTEST: (IF CORPORATION)

SECRETARY/TREASURER

STATE OF COLORADO }
COUNTY OF _____ }SS.

ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 20__
BY _____ AS _____

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC (SEAL)

MY COMMISSION EXPIRES: ____

Board of Trustees Approval Certificate

THIS PLAT IS TO BE KNOWN AS ERIE JUNCTION FINAL PLAT IS APPROVED AND ACCEPTED BY RESOLUTION NO. _____, PASSED AND ADOPTED AT A MEETING OF THE BOARD OF TRUSTEES OF ERIE, COLORADO, HELD ON THE ____ DAY OF _____, 20__.

MAYOR

ATTEST _____
TOWN CLERK

Planning & Development Approval Certificate

THIS PLAT IS HEREBY APPROVED BY THE TOWN OF ERIE PLANNING & DEVELOPMENT DIRECTOR ON THIS ____ DAY OF _____, 20__.

PLANNING & DEVELOPMENT DIRECTOR

Acceptance Certificate

THE DEDICATION OF TRACTS A-D IS HEREBY ACCEPTED FOR OWNERSHIP AND MAINTENANCE BY THE _____

HOA

BY: _____ DATE: _____

TITLE: _____

STATE OF COLORADO }
COUNTY OF WELD }SS.

ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 20__ BY
_____ AS _____

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: ____

Surveyor's Certificate

I, JESS JACOB KUNTZ, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON _____, BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (SECOND ORDER); AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND AND ALL APPLICABLE PROVISIONS OF THE TOWN OF ERIE UNIFIED DEVELOPMENT CODE.

I ATTEST THE ABOVE ON THIS ____ DAY OF _____, 20__.

JESS JACOB KUNTZ
COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR #38409

Clerk & Recorder Certificate

STATE OF COLORADO }

COUNTY OF WELD }

I HEREBY CERTIFY THAT THIS PLAT WAS FILED IN MY OFFICE ON THIS ____ DAY OF _____, 20__ A.D. AND WAS RECORDED AT RECEPTION NUMBER _____.

COUNTY CLERK AND RECORDER

APPLICANT/DEVELOPER:
DIVERGE HOMES, LLC
400 E. SIMPSON SUITE 120
LAFAYETTE, CO 80026

DATE	REVISION
2021-09-07 EP	1 - REVISIONS PER CLIENT
2021-09-07 EP	2 - REVISIONS PER CLIENT
2021-09-07 EP	3 - REVISIONS PER CLIENT
2021-09-13 EP	4 - REVISIONS PER CLIENT
2021-11-11 EP	5 - REVISIONS PER CLIENT
	6 -
	7 -
	8 -
	9 -

ERIE JUNCTION PRELIMINARY PLAT

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Flatiron, Inc.
Land Surveying Services
www.Flatironthc.com
3825 IRIS AVE. STE. 395
BOULDER, CO 80301
PH: (303) 443-7001
FAX: (303) 443-9830
4501 LOGAN ST.
DENVER, CO 80216
PH: (303) 936-6997
FAX: (303) 923-3180



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WORKING COPY ONLY
ONLY FINAL VERSION
WILL HAVE STAMP
AND SIGNATURE
(SEAL)

JOB NUMBER:

20-74,335

DATE:

05-19-2021

DRAWN BY:

E. PRESCOTT

CHECKED BY:

JK/JZG/WW

SHEET 1 OF 2

ERIE JUNCTION PRELIMINARY PLAT

A PARCEL OF LAND, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18,
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
2.73 ACRES - 23 LOTS/4 TRACTS
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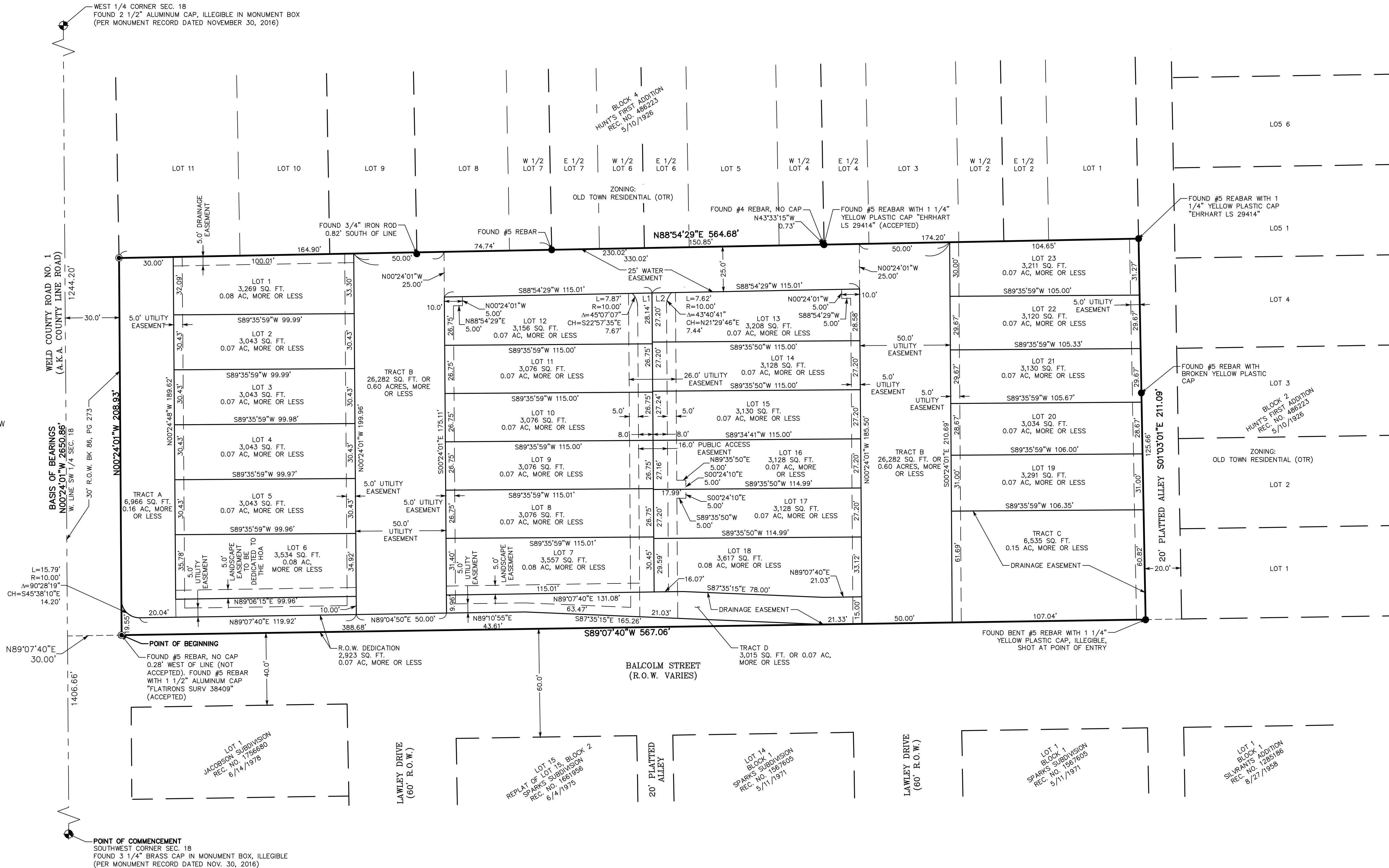
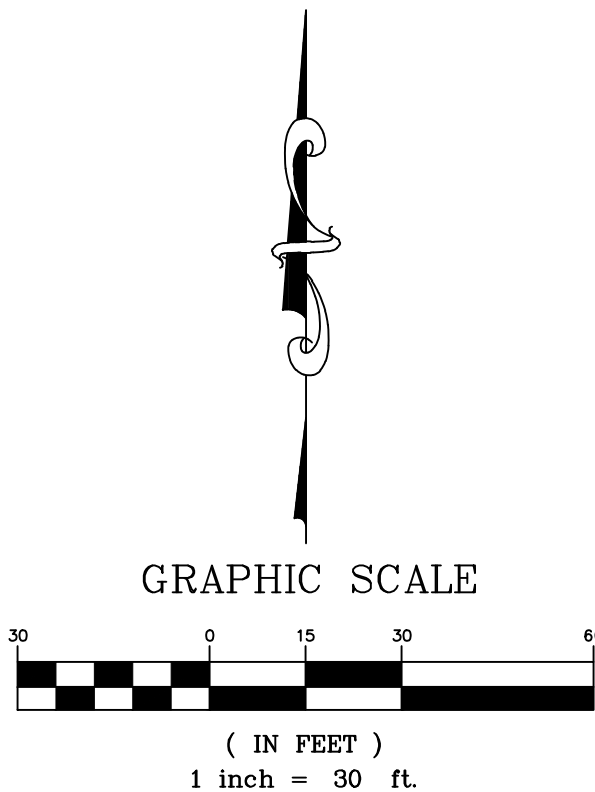
Legend

- FOUND ALIQUOT MONUMENT AS DESCRIBED
- FOUND MONUMENT AS DESCRIBED
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP
"FLATIRONS SURV 38409"

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	10.94	N88°54'29"E
L2	10.78	N88°54'29"E

Boundary Closure Report

COURSE: N00°24'01"W LENGTH: 208.93'
COURSE: N88°54'29"E LENGTH: 564.68'
COURSE: S01°03'01"E LENGTH: 211.09'
COURSE: S89°07'40"W LENGTH: 567.06'
AREA: 118835 SQ. FT.
ERROR CLOSURE: 0.01
ERROR NORTH: -0.001
PRECISION 1: 155176



REVISION	DATE
1 - REVISIONS PER CLIENT	2021-09-07 EP
2 - REVISIONS PER CLIENT	2021-09-07 EP
3 - REVISIONS PER CLIENT	2021-09-07 EP
4 - REVISIONS PER CLIENT	2021-09-13 EP
5 - REVISIONS PER CLIENT	2021-11-11 EP
6 - REVISIONS PER CLIENT	2021-11-11 EP
7 - REVISIONS PER CLIENT	2021-11-11 EP
8 - REVISIONS PER CLIENT	2021-11-11 EP
9 - REVISIONS PER CLIENT	2021-11-11 EP

ERIE JUNCTION PRELIMINARY PLAT

Flatirons, Inc.
Land Surveying Services
www.flatironsinc.com
3825 IRLS AVE, STE. 395
BOULDER, CO 80301
PH: (303) 443-7001
FAX: (303) 776-4355



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AND SIGNATURE

JOB NUMBER:
20-74,335
DATE:
05-19-2021
DRAWN BY:
E. PRESCOTT
CHECKED BY:
JK/JZG/WW

SHEET 2 OF 2



400 E. SIMPSON, STE120
LAFAYETTE, CO 80026
WWW.DIVERGEHOMES.COM



8308 COLORADO BLVD
SUITE 200
FIRESTONE, CO 80504
303.833.1416
WWW.CIVILRESOURCES.COM



1132 JEFFERSON AVENUE
LOUISVILLE, CO 80027
303.665.6668



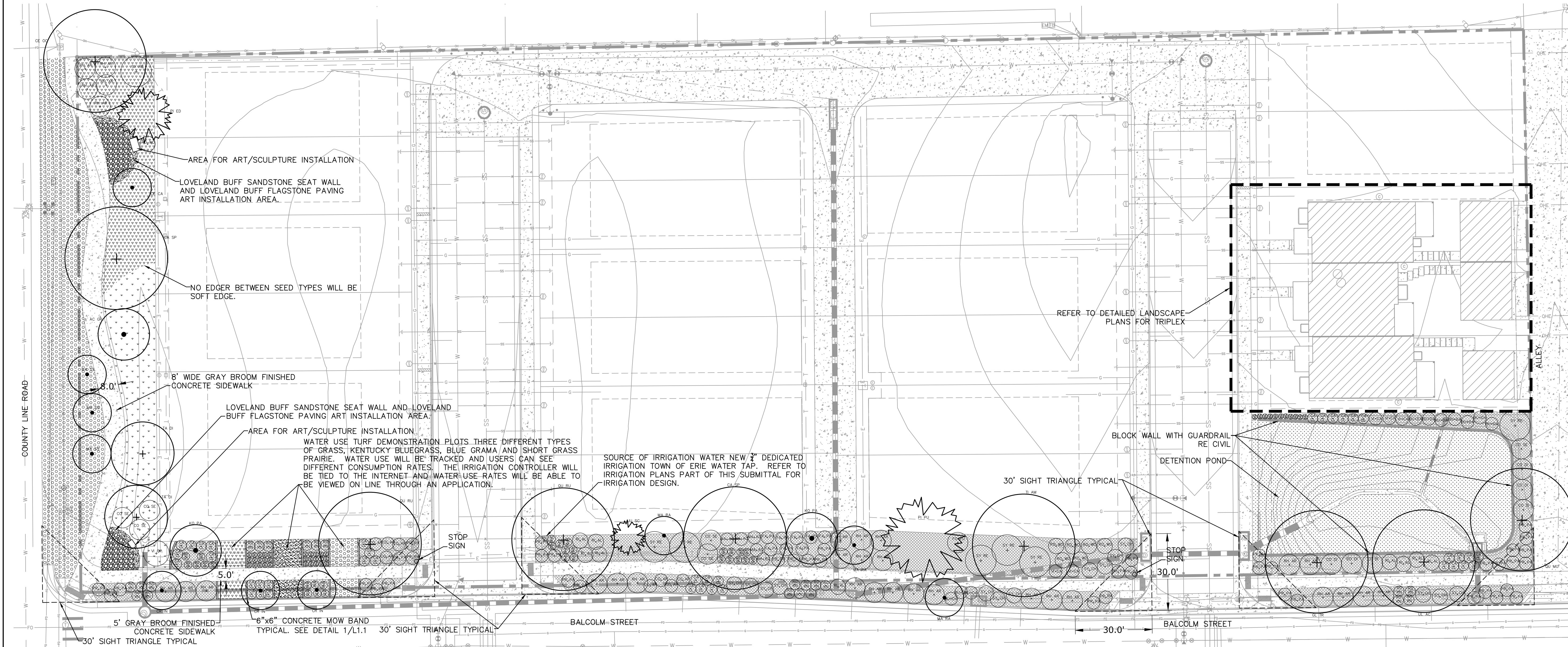
DIVERGE
ERIE JUNCTION
CONSTRUCTION PLANS

REVISIONS		
NO.	DESCRIPTION	DATE
1	CHANGES PER TOWN REVIEW	9.14.2021

DESIGNED BY: KJM DATE: July 8, 2021
DRAWN BY: KJM SCALE:
CHECKED BY: KJM
JOB NO.: 31300101
DWG NAME:

LANDSCAPE PLAN

SHEET:
L1.0



1

LANDSCAPE PLAN
Scale: 1"=20'

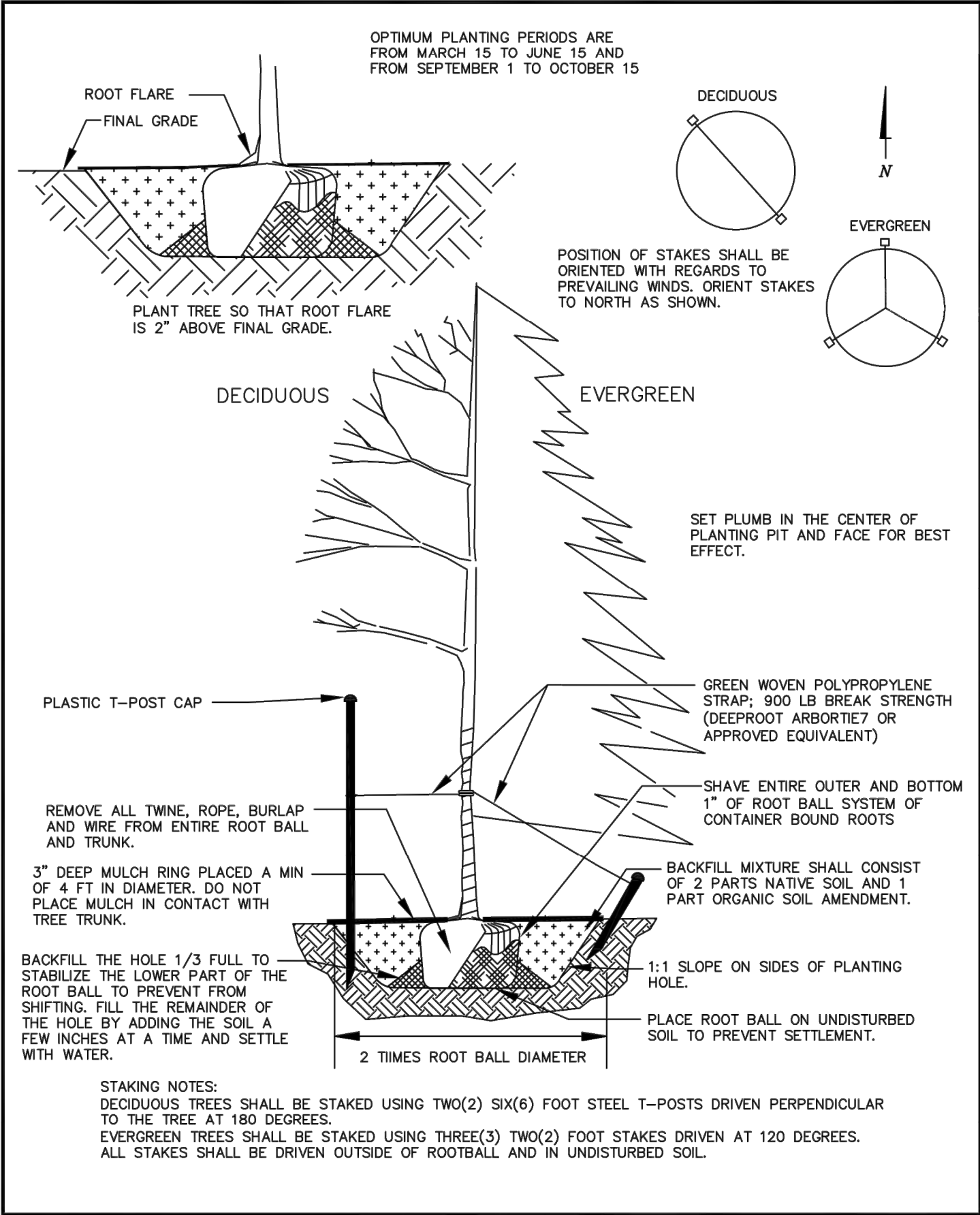
0 20 40 60
SCALE 1"=20'-0"

LEGEND	
	DECIDUOUS TREE
	ORNAMENTAL TREES/FLOWERING TREES
	EVERGREEN TREES
	SHRUBS, PERENNIALS AND GRASSES
	SNAP CUT LOVELAND BUFF SANDSTONE SEAT BOULDERS
	PLANTING BEDS WITH SHREDDED WESTERN RED CEDAR WOOD MULCH (GORILLA HAIR) 8,331 SF
	FLAGSTONE PAVING 360 SF
	BLUEGRASS SOD 196 SF
	BLUE GRAMA NATIVE GRASS SEED. PREPARE ALL SEED AREA WITH 3 CUBIC YARDS OF A1 ORGANICS BIOCOMP COMPOST. TILL IN TO THE AREA AT A DEPTH OF 9". APPLY SEED AT A RATE OF 4 POUNDS OF PURE LIVE BLUE GRAMA SEED PER 1,000 SQUARE FEET. 1,784 SF
	WETLAND SEED. ARKANSAS VALLEY SEED COMPANY WETLAND /DETENTION SEED MIX INSTALL AT A RATE OF 10 LBS/ACRE. 6,454 SF
	MIXED GRASS PRAIRIE NATIVE SEED. SEE TABLE 1 SHEET L1.1. 3,622 SF
	SHORT GRASS PRAIRIE NATIVE SEED. SEE TABLE 2 SHEET L1.1 196 SF

REQUIREMENT REFERENCE	REQUIREMENT	QUANTITY	LANDSCAPE AREA REQUIRED	LANDSCAPE AREA PROVIDED	TREES REQUIRED	TREES PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
10-6-4 E 1a	1 TREE PER 40 LF OF STREET FRONTAGE							
	COUNTY LINE ROAD	212 LF			5	10		
	BALCOLM STREET	580 LF			15	17		
10-6-4 E 7b	15% GROSS SITE LANDSCAPE/NATIVE	118,835 SF	17,835 SF	20,945 SF				
10-6-4 E 7c	1 TREE PER 1000 SF OF LANDSCAPE INCLUDES STREET FRONTAGE TREES	20,945 SF			21	27		
10-6-4-E-5&6	1 SHRUB PER 150 SF OF LANDSCAPE INCLUDES STREET FRONTAGE TREES	20,945 SF					140	292

NOTE: THERE IN NO EXISTING VEGETATION ON SITE.

811
KNOW WHAT'S BELOW
CALL BEFORE YOU DIG



The Town of
ERIE
COLORADO

DRAWING TITLE: TREE PLANTING DETAIL

DRAWING NUMBER: P20A

DRAWN BY: D. JENKINS APPROVED BY: G. HEGNER DATE: 1/2014

LANDSCAPE NOTES

- PROTECTION OF EXISTING LANDSCAPING TO REMAIN IS NOTED ON SHEET SP 27.
- ALL NEW SOD AREAS SHALL RECEIVE 5 CU. YDS. OF COMPOST PER 1000 SF TILLED TO A DEPTH OF 6"-12". ALL AREAS SHALL THEN BE GRADED TO A UNIFORMLY SMOOTH GRADE. FOLLOW GRADING PLAN PROVIDED BY CIVIL ENGINEER.
- ALL NEW SOD AREAS SHALL BE SODDED WITH DROUGHT TOLERANT TURF TYPE TALL FESCUE SOD.
- EDGING SHALL BE INSTALLED BETWEEN ALL TURF AREAS AND SHRUB BED AREAS. EDGING SHALL BE 3/8"x6" INCH METAL ROLL TOP PAINTED GREEN.
- ALL TREES AND SHRUBS SHALL BE PLANTED AND STAKED ACCORDING TO TOWN OF ERIE'S SPECIFICATIONS (SEE SHEET SP 25).
- SHRUB BEDS AS SHOWN ON THE PLAN SHALL RECEIVE A 4" LAYER OF NATURAL COLOR SHREDDED CEDAR WOOD MULCH WITH NO FABRIC UNDERLAY (SEE HATCHING ON LANDSCAPE PLAN).
- REQUIRED PLANT MATERIALS SHALL BE GROWN IN A NURSERY IN ACCORDANCE WITH PROPER HORTICULTURAL PRACTICE. PLANTS SHALL BE HEALTHY, WELL-BRANCHED VIGOROUS STOCK WITH A GROWTH HABIT NORMAL TO THE SPECIES AND VARIETY, AND FREE OF DISEASES, INSECTS AND INJURIES.

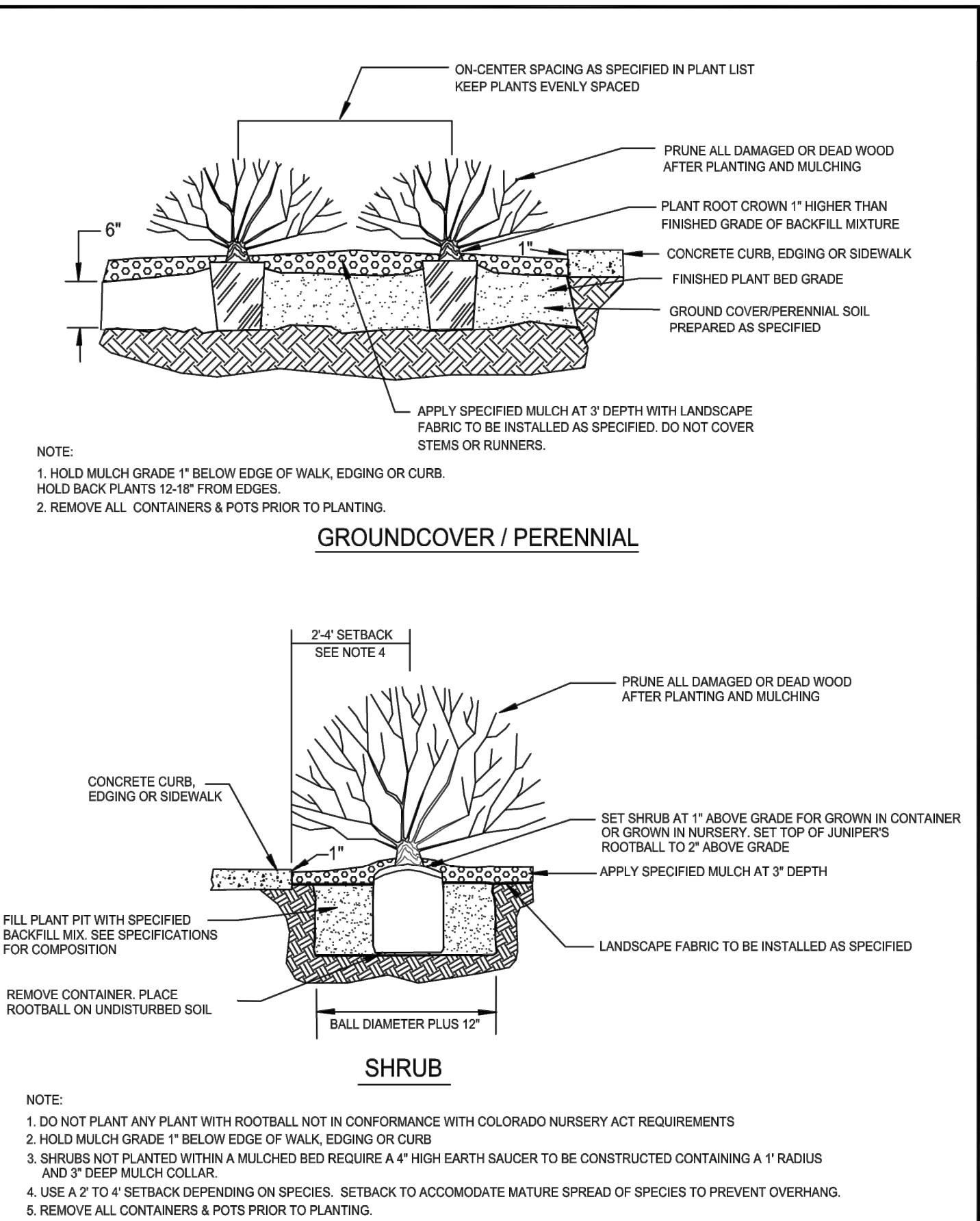
IRRIGATION NOTES:

- EACH VALVE SHALL IRRIGATE A LANDSCAPE WITH SIMILAR SITE, SLOPE AND SOIL CONDITIONS AND PLANT MATERIAL WITH SIMILAR HYDROZONE WATERING NEEDS.
- PROPER IRRIGATION EQUIPMENT, SCHEDULES, AND REPEAT CYCLES SHALL BE USED TO MINIMIZE RUNOFF.
- SOD, SHRUB BEDS AND PERENNIAL BEDS SHALL EACH BE PLACED ON SEPARATE ZONES.
- SOD AND SEED SHALL BE IRRIGATED WITH ROTOR AND/OR POP-UP SPRAY HEADS. SHRUB/TREES SHALL BE DRIP IRRIGATED.
- PERENNIALS SHALL BE IRRIGATED WITH LOW VOLUME POP-UP BUBBLER TYPE SPRAY HEADS.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN A SIX NIGHT, SIX HOUR PER NIGHT WATERING PERIOD.
- IRRIGATION SYSTEM SHALL INCLUDE AN ELECTRIC AUTOMATIC CONTROLLER WITH MULTIPLE PROGRAMS AND MULTIPLE REPEAT AND REST CYCLE CAPABILITIES AND A FLEXIBLE CALENDAR PROGRAM. CONTROLLER SHALL BE CAPABLE OF TEMPORARILY SHUTTING DOWN THE SYSTEM BY UTILIZING INTERNAL/EXTERNAL OPTIONS SUCH AS RAIN AND WIND SENSORS AND HAVE THE ABILITY TO ADJUST RUN TIMES BASED ON A PERCENTAGE OF MAXIMUM EVAPOTRANSPIRATION RATE.

MAINTENANCE NOTES

- LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT; RESETTNG THE AUTOMATIC CONTROLLER; AERATING AND DE-THATCHING TURF AREAS (ONLY IF NEEDED); REPLENISHING MULCH; FERTILIZING; PRUNING; AND WEEDING IN ALL LANDSCAPED AREAS.
- THE PROPERTY OWNER(S) SHALL MAINTAIN LANDSCAPE IMPROVEMENTS IN GOOD HEALTH AND ATTRACTIVE CONDITION.
- THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR MAINTENANCE OF LANDSCAPE IN THE PUBLIC RIGHT OF WAY ADJACENT TO THE PROPERTY.

"UPON COMPLETION OF THE PROJECT, DEVELOPER / LANDSCAPE ARCHITECT TO PROVIDE TOWN OF ERIE A FULL SET OF AS-BUILT DRAWINGS OF ALL LANDSCAPE AND IRRIGATION, ON A CD SET INCLUDING LATEST VERSION OF PDF AND AUTO-CAD."



The Town of
ERIE
COLORADO

DRAWING TITLE: SHRUB & GROUNDCOVER/ PERENNIAL PLANTING DETAIL

DRAWING NUMBER: P20B

DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 01/2006

THE FOLLOWING SEED SPECIFICATIONS ARE EXCERPTED FROM THE TOWN OF ERIE PARKS STANDARDS AND SPECIFICATIONS. WHERE DISCREPANCY OCCURS, PARKS STANDARDS AND SPECIFICATIONS SHALL TAKE PRECEDENCE.

The area to be seeded shall be cultivated to a depth of six (6) inches so as to free the site of weeds and other plants that may interfere with turf establishment. All stones, sticks, and debris brought to the surface over one and one-half inches (1.5") diameter will be removed from the site.

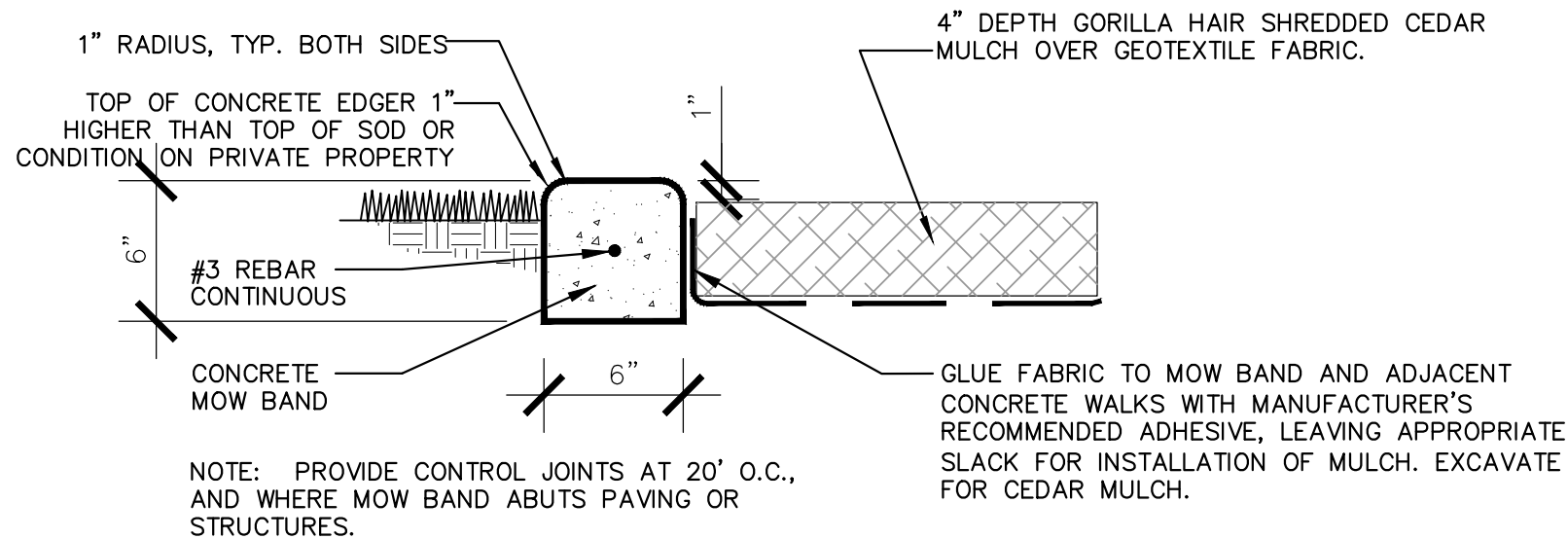
Materials shall be applied when the surface is within two (2) percent of final grade. No organic material containing manure shall be stockpiled on the site for more than eight (8) hours before it is incorporated into the soil. After tilling, the areas to be seeded will be raked, graded, and rolled to the desired finished grades according to the grading plan within a tolerance of one-tenth (0.1) foot, with gently sloping surfaces to adequately drain all surface water run-off. The finished surface will be even and uniform, and no dirt clumps or other debris larger than one and 1/2" inches (1.5") in diameter will appear on the surface. The finished surface will be on an even plane with all sidewalks, curbs, or borders. Slopes will not be greater than four horizontal to one vertical (4:1) for all seeded areas. On sloping ground, the final harrowing or disking operation will be on the general contour.

Seeded areas will receive the specified Class 1 organic material at the rate of three (3) cubic yards per one thousand (1000) square feet.

Seed shall be applied using a native grass drill seeder equipped with a seed box agitator and depth bands. Seed will be sown to a depth of one-quarter (1/4) to one-half (1/2) inch into a properly prepared seedbed. On sloping land, the seed shall be applied following the general contour. In areas where drill seeding is not possible such as corners, near fences, along walkways, or around posts or boxes associated with electric, gas, irrigation installations or other similar situations, broadcast seeding may be substituted. No hydro seeding shall be permitted, except in wetland seeding areas. When using the broadcast method, the seeding area must be decompacted and harrowed after seeding, followed by mulching.

Seeded areas will be mulched with twenty-five hundred (2,500) pounds per acre hydromulch immediately following seeding. Hydromulch must include one hundred and fifty (150) pounds per acre organic tackifier. Remove all hydromulch from all plant materials, fences, concrete and other areas except for seed bed.

All erosion control blankets shall conform to the Erosion Control Technology Councils "Standard Specifications for Rolled Erosion Control Products". Generally, Town-owned, Town-maintained projects will require a "short term" blanket, with up to 12 month functional longevity. Other duration products and longevities may be required for specific projects. All erosion control blanket samples must be approved by the Parks & Recreation Director or designee prior to their use.



CONCRETE MOW BAND, 6"x6"

NOT TO SCALE

TYPE	PLANT REPLACEMENT WITHIN	
	1 YEAR	2+ YEARS
TREE-DECIDUOUS	INCREASE CALIPER BY 1"	INCREASE CALIPER BY 1.5"
TREE-CONIFEROUS	INCREASE HEIGHT BY 1.5'	INCREASE HEIGHT BY 2'
SHRUB	REPLACE WITH PLANTS OF AT LEAST 1/2 MATURE SIZE	REPLACE WITH PLANTS OF AT LEAST 1/2 MATURE SIZE

NOTE:
IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPING/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

SEED WILL BE FRESH, CLEAN, PURE LIVE SEED EQUAL IN QUALITY TO THE STANDARDS FOR "CERTIFIED SEED".

TABLE 1. MIXED GRASS PRAIRIE NATIVE SEED MIXTURE; FOR USE IN OPEN SPACE NATIVE SEEDING AT LEAST 10 FEET AWAY FROM ROAD AND TRAIL EDGES. THIS MIXTURE IS FOR GENERAL USAGE, IS DOMINATED BY SHORT TO MID SIZED NATIVE PRAIRIE GRASSES (6-18 INCHES IN HEIGHT), BUT INCLUDES A FEW TALLER SPECIES (UP TO 36 INCHES) AND A LIMITED AMOUNT OF NATIVE WILDFLOWERS (IDENTIFIED WITH THE +, BELOW). BEST FOR USE IN LARGER OPEN SPACE AREAS. BE SURE TO OVER SEED ANY SWALES OR MOIST AREAS WITHIN THIS SEEDING TYPE WITH THE MOIST SWALE SEED MIXTURE (TABLE 3). THIS MIXTURE MAY BE USED BETWEEN OCTOBER 15TH AND MARCH 30TH ONLY.

COMMON NAME	SCIENTIFIC NAME	VARIETY	OZ/ACRE	PLS LBS/ACRE
Buffalo grass	Bouteloua dactyloides	Native	5	5
Sideoats grama	Bouteloua curtipendula	Burns	5	5
Prairie sandreed	Calamagrostis longifolia	Goshen	1	1
Blue grama	Chorizanthe gracile	Levinton	3	3
Western wheatgrass	Panicum americanum	Arche	5	5
Little bluestem	Schizachyrium scoparium	Pasture	4	4
Alkali sacaton	Sporobolus airoides	Common	1	1
Sand dropseed	Sporobolus cryptandrus	Blackwell	5	5
Swiftograss	Panicum virgatum	Common	1	1
Fringed sage*	Artemisia frigida	Common	1	1
Purple prairie clover*	Dalea purpurea	Common	6	6
Bluestem*	Galatella aristata	Common	6	6
Gayfeather*	Liatris punctata	Common	4	4
COMMON NAME	SCIENTIFIC NAME	VARIETY	OZ/ACRE	PLS LBS/ACRE
Blue flex*	Linum perenne	Common	3	3
Tansy aster*	Machaeranthera tanacetifolia	Common	3	3
Prairie coneflower*	Ratibida columnifera	Common	3	3
CUNCES			25	1,625
SEEDING RATE POUNDS PLS/ACRE				29,625

TABLE 2. SHORTGRASS PRAIRIE NATIVE SEED MIXTURE; FOR USE IN OPEN SPACE NATIVE SEEDING LESS THAN 10 FEET FROM ROAD AND TRAIL EDGES. THIS MIXTURE IS FOR SPECIFIC USAGE NEAR TRAILS OR WHERE SHORTER GRASSES ARE DESIRED (SUCH AS SMALLER PARK SITES). IT IS DOMINATED BY SHORT TO MID SIZED NATIVE PRAIRIE GRASSES (6-18 INCHES IN HEIGHT), BUT INCLUDES A FEW NATIVE WILDFLOWERS (IDENTIFIED WITH THE +, BELOW). BEST FOR USE ALONG ROADS AND TRAILS AND IN SMALLER NATIVE SEEDING PARK AREAS. BE SURE TO OVER SEED ANY SWALES OR MOIST AREAS WITHIN THIS SEEDING TYPE WITH THE MOIST SWALE SEED MIXTURE (TABLE 3). THIS MIXTURE MAY BE USED BETWEEN OCTOBER 15TH AND MARCH 30TH ONLY.

COMMON NAME	SCIENTIFIC NAME	VARIETY	OZ/ACRE	PLS LBS/ACRE
Buffalograss	Bouteloua dactyloides	Native	14	14
Blue grama	Chorizanthe gracile	Longman	12	12
Sand dropseed	Sporobolus cryptandrus	Common	1	4
Fringed sage*	Artemisia frigida	Common	1	1
Purple prairie clover*	Dalea purpurea	Common	4	4
Gayfeather*	Liatris punctata	Common	4	4
Tansy aster*	Machaeranthera tanacetifolia	Common	3	3
CUNCES			12	0.75
SEEDING RATE POUNDS PLS/ACRE				30.75

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DIVERGE ERIE JUNCTION CONSTRUCTION PLANS

REVISIONS		
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1	CHANGES PER TOWN REVIEW	9.14.2021

DESIGNED BY: KJM DATE: July 8, 2021
DRAWN BY: KJM SCALE:
CHECKED BY: KJM
JOB NO.: 31300101
DWS NAME:

LANDSCAPE NOTES AND DETAILS

SHEET:
L1.1

PLANT SCHEDULE

SYMBOL	Botanical Name COMMON NAME	SIZE	QTY
	DECIDUOUS TREES:		
TI AM	Tilia americana AMERICAN LINDEN	2-1/2" B&B	1
CA SP	Catalpa speciosa WESTERN CATALPA	2 1/2" B&B	2
CE OC	Celtis occidentalis WESTERN HACKBERRY	2 1/2" B&B	1
GL TR	Gleditsia triacanthos inermis 'Shademaster' SHADEMASTER HONEYLOCUST	2 1/2" B&B	1
QU RU	Quercus rubra NORTHERN RED OAK	2 1/2" B&B	2
UL AC	Ulmus accolade ACCOLADE ELM	2 1/2" B&B	1
QU MU	Quercus muehlenbergii CHINKAPIN OAK	2 1/2" B&B	1
TA DI	Taxodium distichum BALD CYPRESS	2 1/2" B&B	2
	EVERGREEN TREES:		
PI ED	Pinus edulis PINYON PINE	8' B&B	1
JU SC	Juniperus scopulorum ONE SEED JUNIPER	6' B&B	1
PI PU	Picea pungens COLORADO SPRUCE	8' B&B	1
	ORNAMENTAL TREES		
CR IN	Crataegus crus-galli 'Inermis' THORNLESS COCKSPUR HAWTHORN	2" B&B	3
AC GR	Acer grandidentatum BIGTOOTH MAPLE	2" B&B	1
MA SS	Malus spp. 'Spring Snow' SPRING SNOW CRABAPPLE	2" B&B	3
MA RA	Malus spp. 'Radiant' RADIANT CRABAPPLE	2" B&B	3
CE CA	Cercis canadensis EASTERN REDBUD	2" B&B	1
KO PA	Koeleruteria paniculata GOLDEN RAIN TREE	2" B&B	2
	DECIDUOUS SHRUBS:		
PR PA	Prunus besseyi 'Pawnee Buttes' CREEPING WESTERN SAND CHERRY	#5 Cont.	41
RH AR	Rhus aromatica 'Grow Low' GROW LOW FRAGRANT SUMAC	#5 Cont.	31
RO KN	Rosa x 'Double Knock Out' DOUBLE KNOCK OUT ROSE	#5 Cont.	22
CA CL	Caryopteris x clandonensis BLUE MIST SPIREA	#5 Cont.	38
FA PA	Fallugia paradoxa APACHE PLUME	#5 Cont.	8
RO WO	Rosa woodsii NATIVE PINK ROSE	#5 Cont.	7
SY CH	Symphoricarpos x chenaultii HANCOCK CORALBERRY	#5 Cont.	14
SY RE	Syringa reticulata COMMON LILAC	#5 Cont.	7
CO AP	Cotoneaster apiculata CRANBERRY COTONEASTER	#5 Cont.	8
CO DI	Cotoneaster divaricata SPREADING COTONEASTER	#5 Cont.	6
CO SE	Cornus sericea 'Bailey' RED TWIG DOGWOOD	#5 Cont.	6
RI AL	Ribes alpinum ALPINE CURRENT	#5 Cont.	9
FO PU	Forestiera pubescens var. pubescens NEW MEXICO PRIVET	#5 Cont.	1
SA AR	Salix arenaria CREPING SILVER WILLOW	#5 Cont.	1
BU DA	Buddleia davidii PURPLE BUTTERFLY BUSH	#5 Cont.	10
MA AQ	Mahonia aquifolium OREGON GRAPE HOLLY	#5 Cont.	5
VI OP	Viburnum opulus 'Roseum' SNOWBALL VIBURNUM	#5 Cont.	1
VI CA	Viburnum carlesii KOREAN SPICE VIBURNUM	#5 Cont.	5
	GRASSES:		
BO GR	Bouteloua gracillis 'Blond Ambition' BLOND AMBITION BLUE GRAMA GRASS	1 GAL. spaced 3' o.c.	15
HE SE	Helictortrichon sempevirens BLUE AVENA GRASS	1 GAL. spaced 3' o.c.	6
	PERENNIALS:		
LA AN	Lavandula angustifolia 'Munstead' ENGLISH LAVENDER	1 GAL. spaced 2' o.c.	26
EC PU	Echinacea purpurea PURPLE CONEFLOWER	1 GAL. spaced 2' o.c.	15
AC MI	Achillea millefolium COMMON WHITE YARROW	1 GAL. spaced 3' o.c.	8

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND THE LANDSCAPE LEGEND, THE PLANT MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.



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CONSTRUCTION PLANS

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LANDSCAPE PLANT
LIST

SHEET:

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IRRIGATION LEGEND

SYMBOL	DESCRIPTION
	MP ROTATOR SPRINKLER: HUNTER PROS-06-PRS40-CV MP1000 NOZZLE PRESSURE: 40 PSI RADIUS: 10-14 FEET FLOW (GPM): Q - 0.19 H - 0.37 F - 0.75 6" POP UP HEIGHT Precip. rate (in/hr): 0.40
	MP ROTATOR SPRINKLER: HUNTER PROS-06-PRS40-CV MP2000 NOZZLE PRESSURE: 40 PSI RADIUS: 13-19 FEET FLOW (GPM): Q - 0.40 H - 0.74 F - 1.47 6" POP UP HEIGHT Precip. rate (in/hr): 0.40
	MP ROTATOR SPRINKLER: HUNTER PROS-06-PRS40-CV MP3000 NOZZLE PRESSURE: 40 PSI RADIUS: 22-30 FEET FLOW (GPM): Q - 0.86 H - 1.82 F - 3.64 6" POP UP HEIGHT Precip. rate (in/hr): 0.40
NOTE: <u>USE 6" POP UP SPRAY OR ROTOR HEADS FOR TURF AREAS AND</u> <u>USE 12" PUP UP SPRAY OR ROTOR HEADS FOR NATIVE SEED AREAS</u>	
	BACKFLOW PREVENTER: FEBCO 825 YA 3/4" PER DETAIL.
	ZONE CONTROL VALVE: RAINBIRD PESB WITH PRS DIAL, SIZE AS NOTED
	DRIP CONTROL VALVE ASSEMBLY: RAINBIRD XCZ-PRB-100-COM KIT FOR 1" VALVE
	QUICK COUPLER: RAINBIRD 44LRC
	GATE VALVE - RESILIENT WEDGE, SQUARE NUT TOP, LINE SIZE
	EMITTER LATERAL PIPE: UV RADIATION RESISTANT POLYETHYLENE, 3/4" SIZE (ROUTING IS DIAGRAMMATIC).
	DRIP FLUSH PLUG ASSEMBLY
	MAINLINE PIPE: CLASS 200 PVC 1 1/2" BELL END.
	LATERAL PIPE TO SPRINKLERS: CLASS 200 PVC PIPE (1-INCH SIZE UNLESS OTHERWISE INDICATED)
	UNCONNECTED PIPE CROSSING
	UNCONNECTED PIPE CROSSING, TWO DIFFERENT PIPES
	P.O.C. - POINT OF CONNECTION
	CLASS 200 PVC SLEEVING, 4" UNLESS OTHERWISE NOTED
	INDICATES CONTROLLER AND CONTROLLER STATION NUMBER
	INDICATES LATERAL DISCHARGE IN GPM
	INDICATES REMOTE CONTROL VALVE SIZE IN INCHES
	EXISTING DEDICATED 3/4" IRRIGATION WATER METER.
	NEW CONTROLLER. RAIN BIRD ESP-LXIMV Pro 2-WIRE 25 STATION PEDESTAL MOUNT CONTROLLER. INSTALL GROUNDING AS REQUIRED BY RAINBIRD USING RAINBIRD SURGE PROTECTION DECODER IVM-SD. USE RAINBIRD SENSOR DECODER FOR FLOW SENSOR IVM-SEN. USE RAINBIRD IMV-SOL DECODERS FOR ALL VALVES AND MASTER VALVE.
	RAINBIRD 1 1/2" MASTER VALVE MODEL# PESB 1 1/2"
	RAINBIRD 1" BRASS FLOW SENSOR MODEL# FS100B
	RAINBIRD WIRELESS RAIN/FREEZE SENSOR. MODEL # WRF-RFC

IRRIGATION NOTES

- Irrigation system is designed to operate off of an existing pressure of 80 psi before the backflow preventer. Contractor to verify pressure PRIOR TO INSTALLATION and notify OWNER of any differences. Design pressure at heads to be as noted in legend.
- No irrigation work to begin until final grade has been approved.
- Locate all heads 6" min. from any wall, walk, or curb, and 12" min. from any curb adjacent to parking stalls.
- Bury all mainlines 24" underground to top of pipe. Bury all laterals 12"-18" underground to top of pipe.
- Pipes in shared trenches are not allowed.
- Brand all appropriate box lids with 1" minimum letters with the following abbreviations:
QC Quick Coupler
GV Gate Valve
SV# Section Valve & Corresponding Controller Station #
FC Drip Flush Cap
- All pipe under pavement to be sleeved in 4" minimum PVC class 200 extend 12" beyond each edge of pavement, sloped to drain. Install prior to paving. Sleeve wires separately in 4" min. pipe.
- All valve wire is to be 14 gauge direct burial Paige 2-wire.
- Heads will be diagrammatic. Contractor to select and install correct arcs as needed for part circle heads. Adjust radii and arc as necessary for no overspray/backwash onto adjacent buildings, walls, or fences.
- Plan has been prepared using limited on-site observation. Plan is diagrammatic and does not reflect all equipment, etc., that could be encountered during construction. All tie locations, mainline locations and lateral locations are approximate and shall require exact location by Contractor.
- Install drip emitters as described below:

1 gallon material	Rain Bird PC-10	1 ea.
5 gallon material	Rain Bird PC-10	2 ea.
Deciduous Trees (1-1/2"-2 1/2" CAL.)	Rain Bird PC-10	3 ea.
Deciduous Trees (3"-4" CAL.)	Rain Bird PC-10	4 ea.
Evergreen Trees (6'-10')	Rain Bird PC-10	2 ea.
Evergreen Trees (11'-14')	Rain Bird PC-10	3 ea.
- See sheet 12.0 and 12.1 for irrigation details.
- Install drip rings at all trees in native seed areas per detail 10/12.0.



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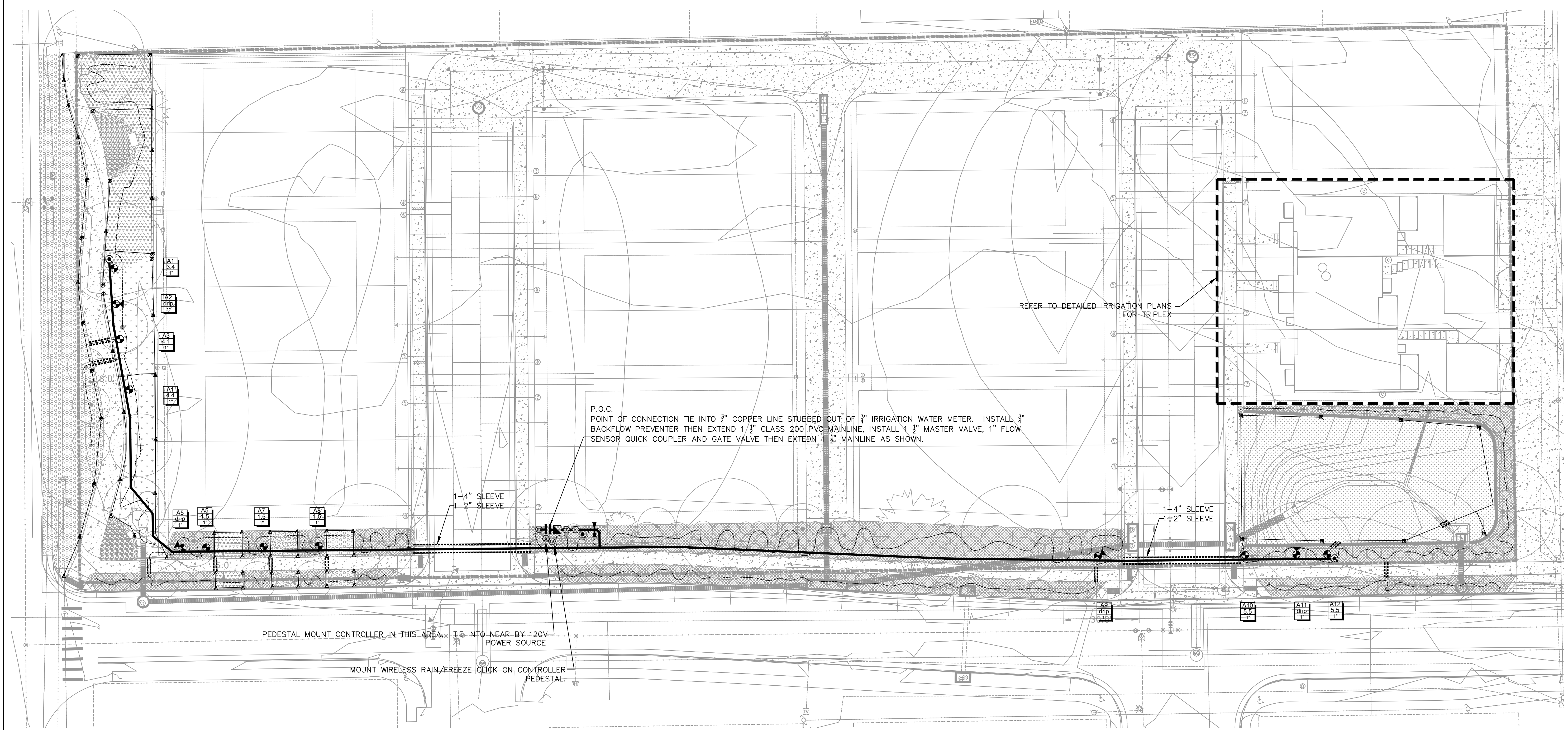
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JOB NO.: <u>31300101</u>	
DWG NAME: <u> </u>	

IRRIGATION NOTES
AND LEGEND

SHEET:
I1.0



1 IRRIGATION PLAN
Scale: 1"=20'

0 20 40 60
SCALE 1"=20'-0"



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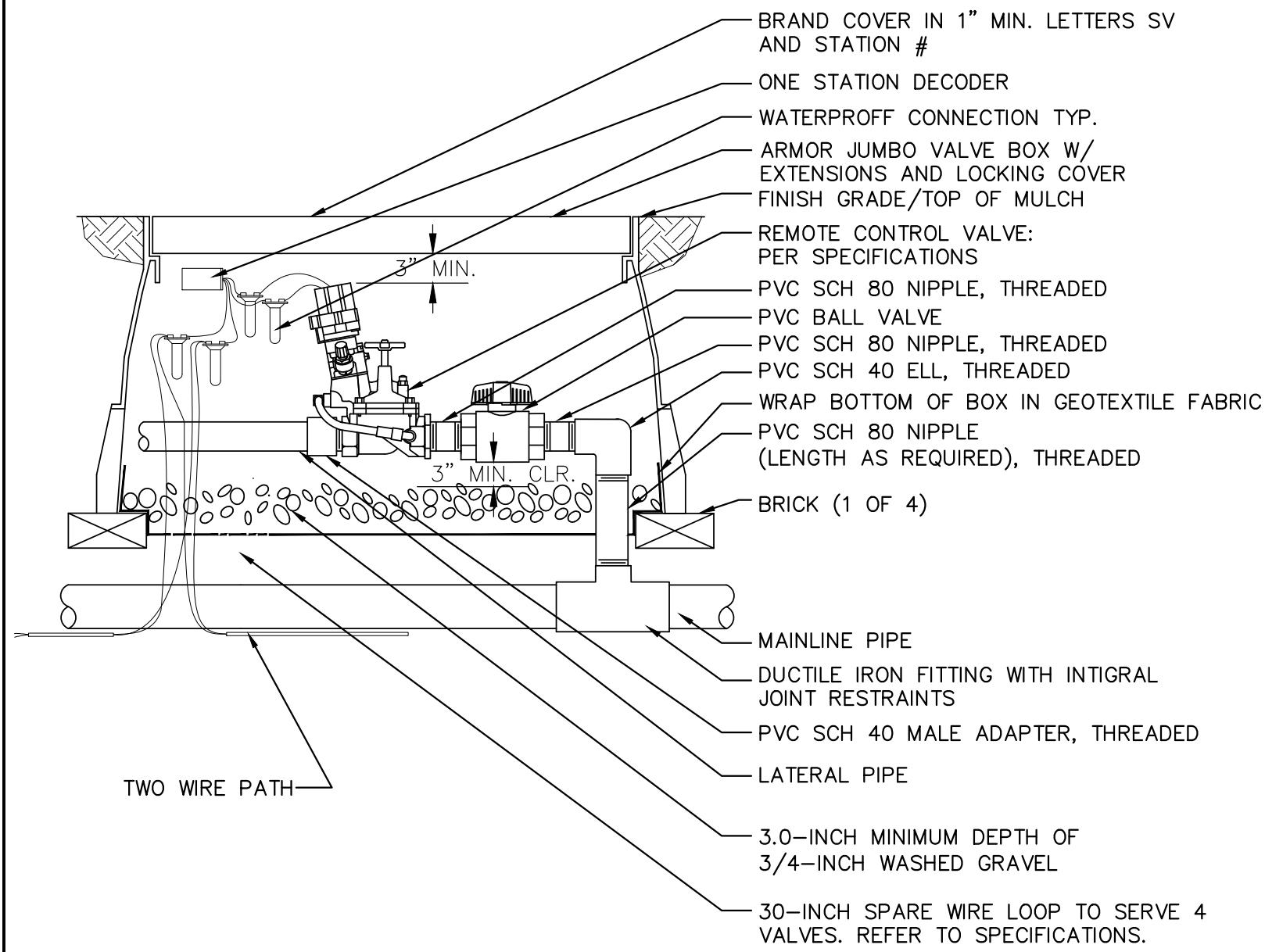
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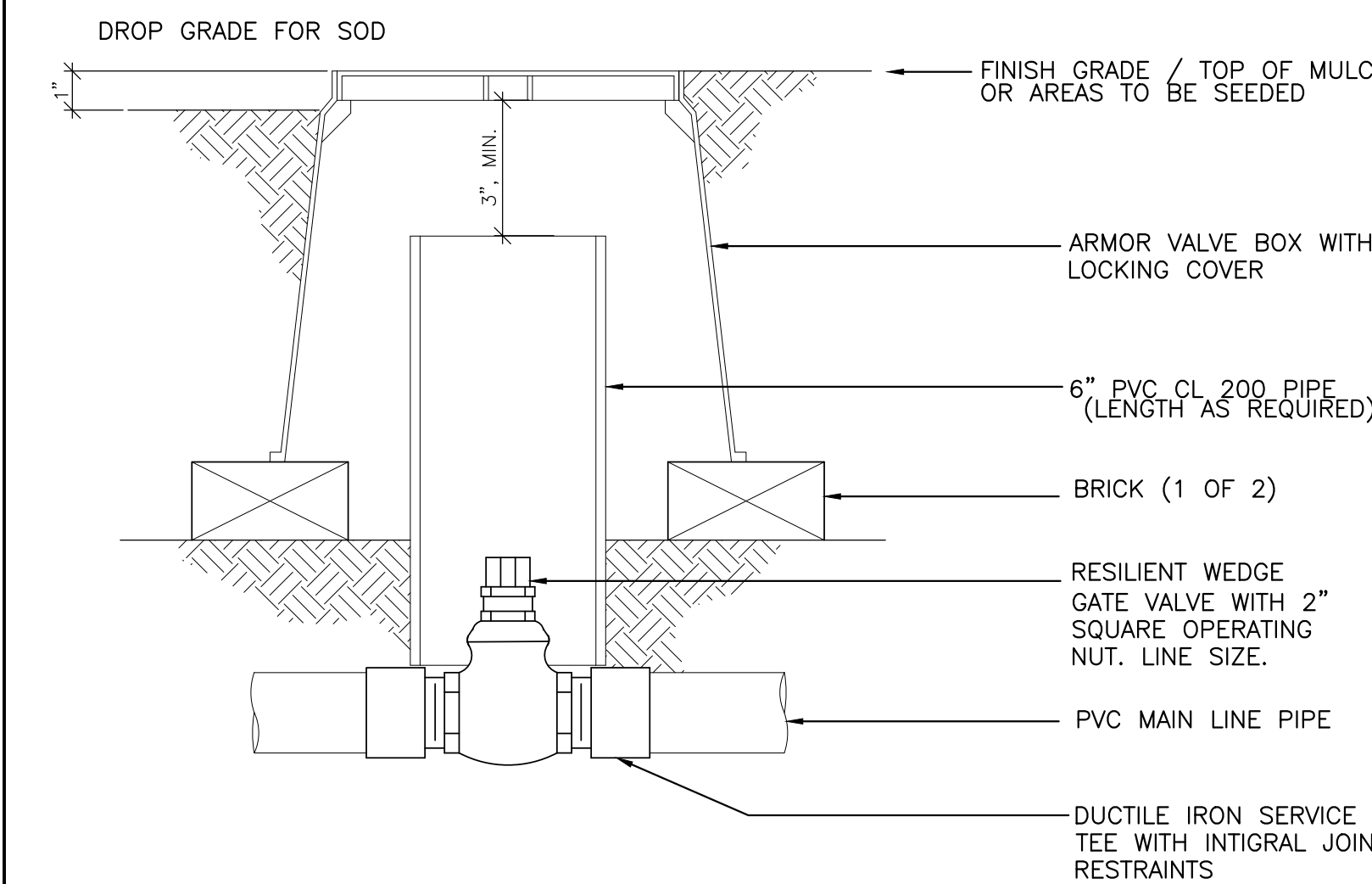
IRRIGATION PLAN

SHEET: **I1.1**

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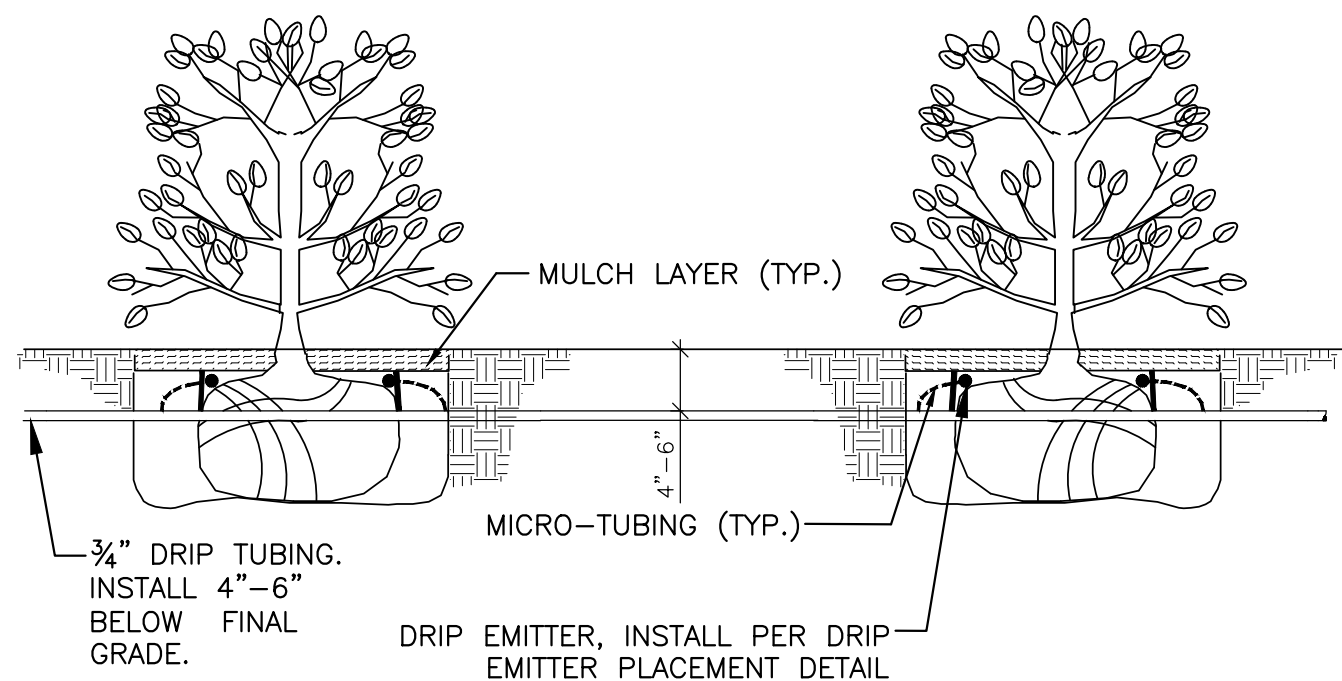


1 AUTOMATIC SECTION VALVE
NOT TO SCALE

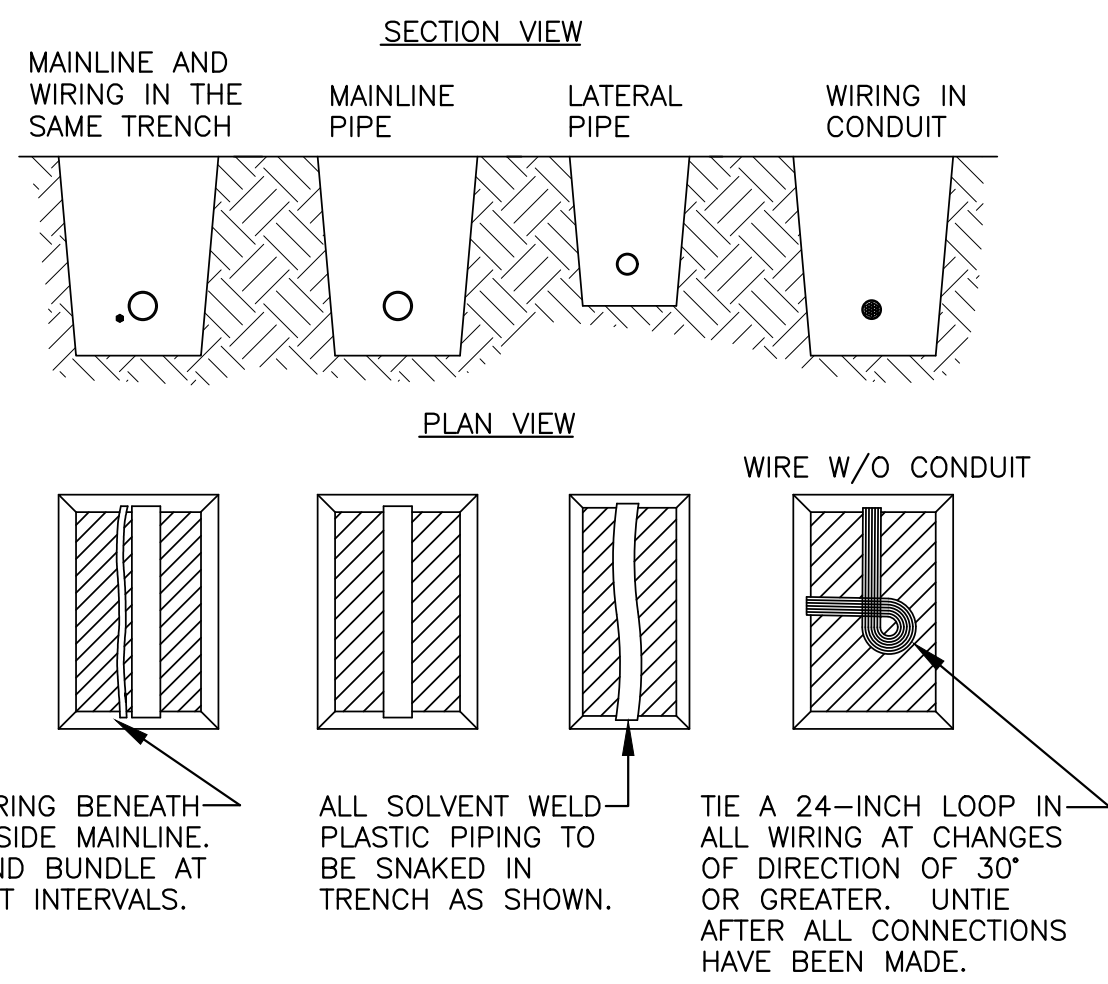


- NOTE:
1. NOMINAL SIZE OF GATE VALVE TO MATCH NOMINAL MAINLINE SIZE.
 2. INSTALL A 4" THICK CONCRETE PAD BELOW VALVE WITH NO. 4 REBAR WHEN USING PUSH ON TYPE VALVES.

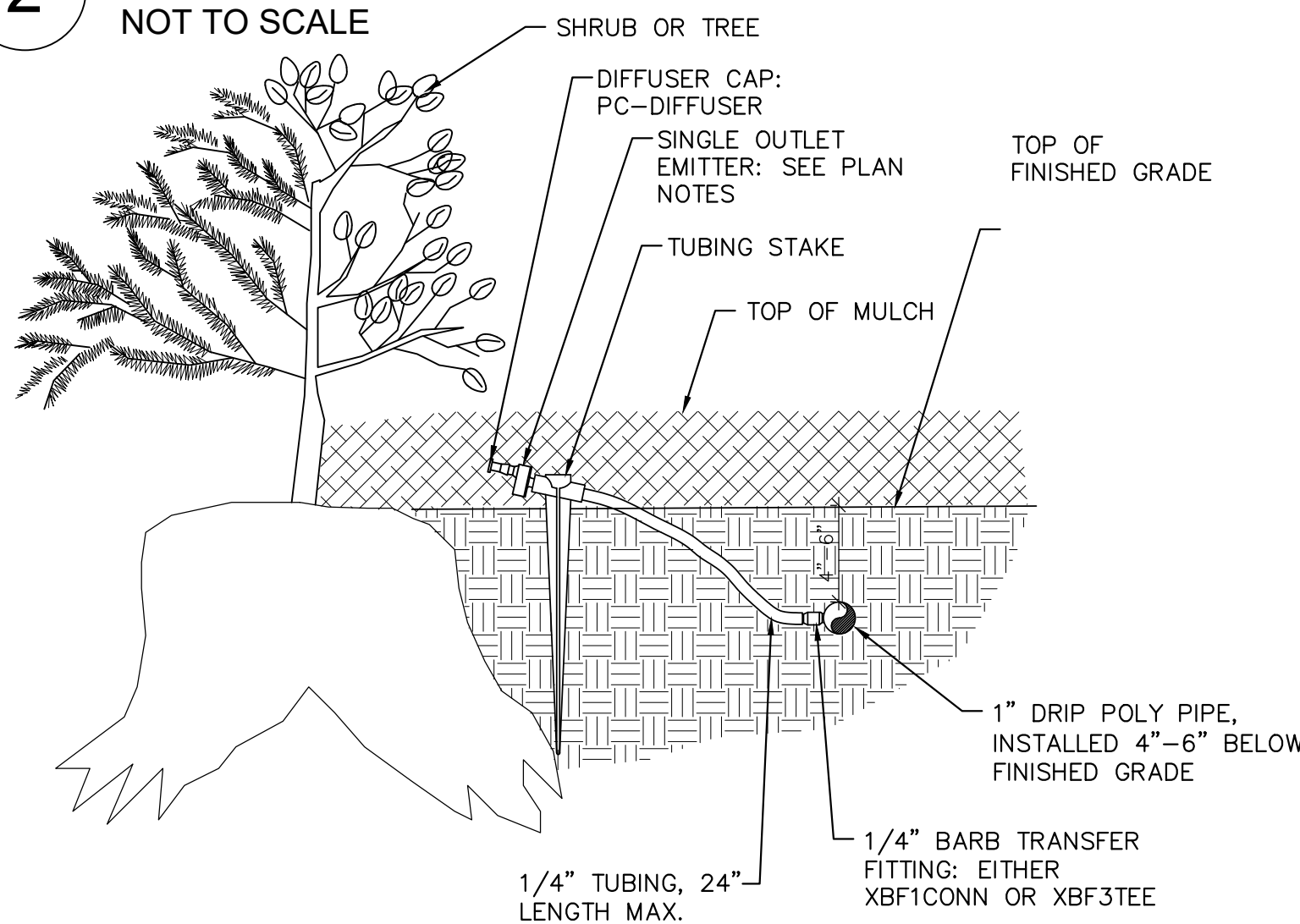
5 ISOLATION GATE VALVE
NOT TO SCALE



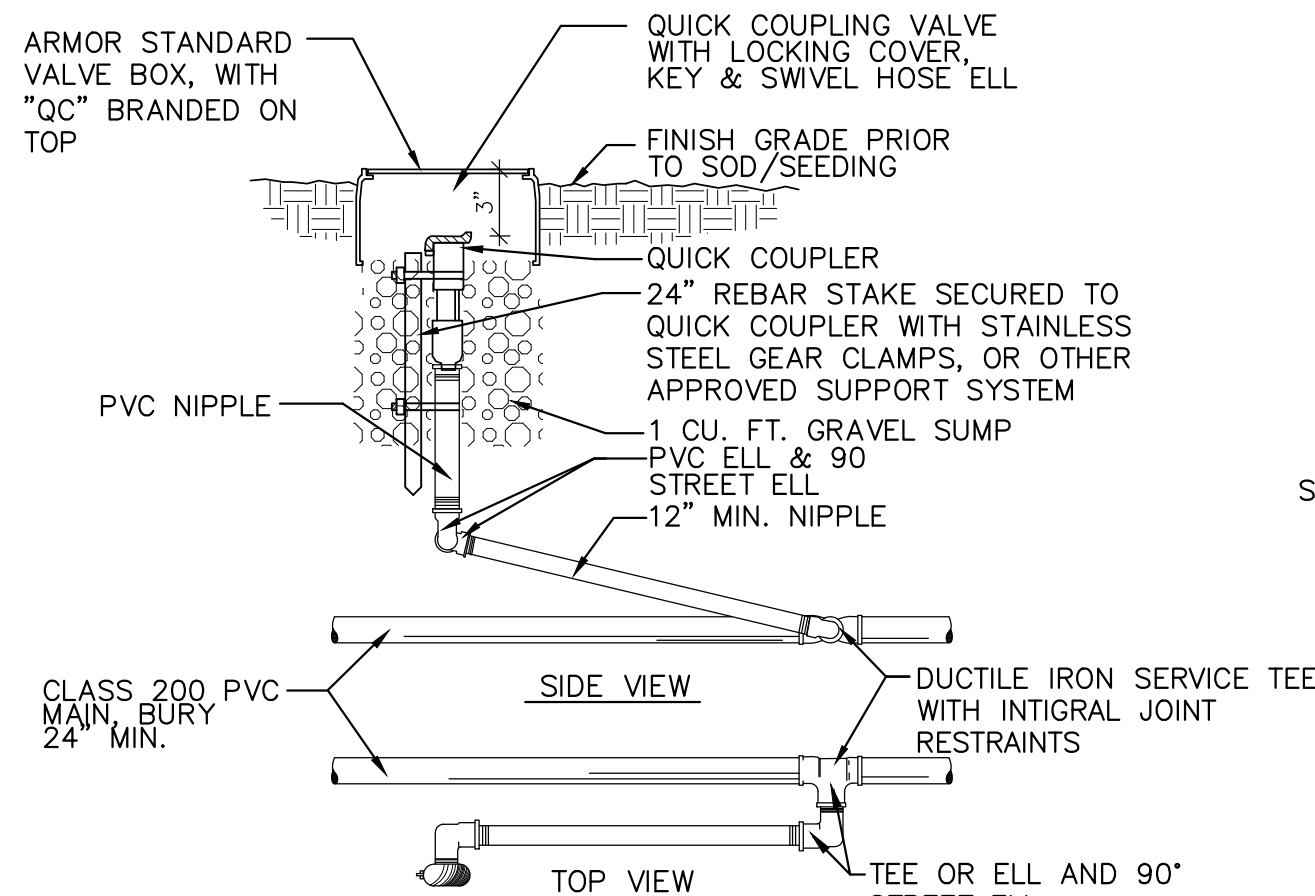
9 SHRUB/TREE EMITTER PLACEMENT
NOT TO SCALE



2 PIPE AND WIRE TRENCHING
NOT TO SCALE

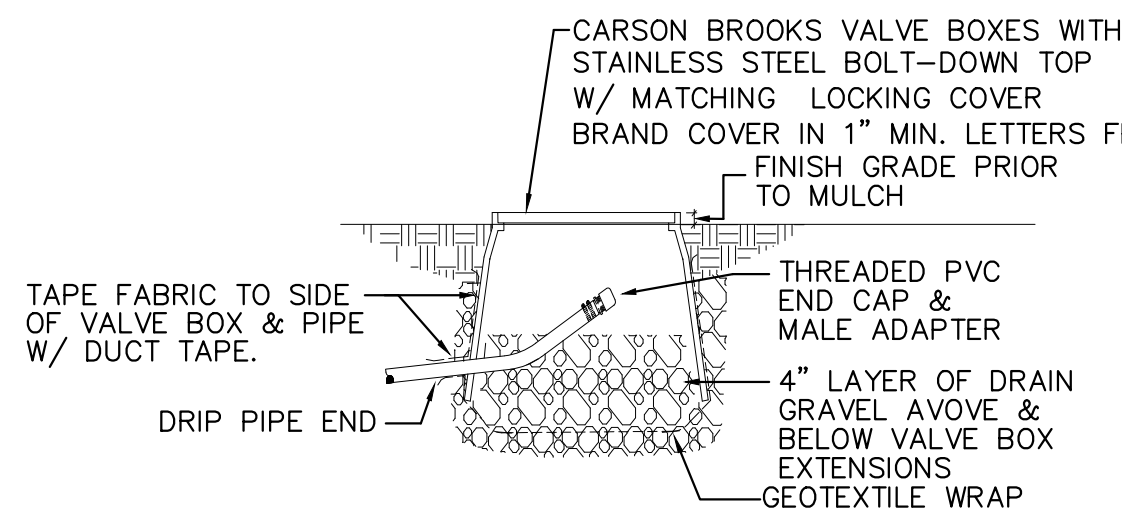


6 DRIP EMITTER PLACEMENT
NOT TO SCALE



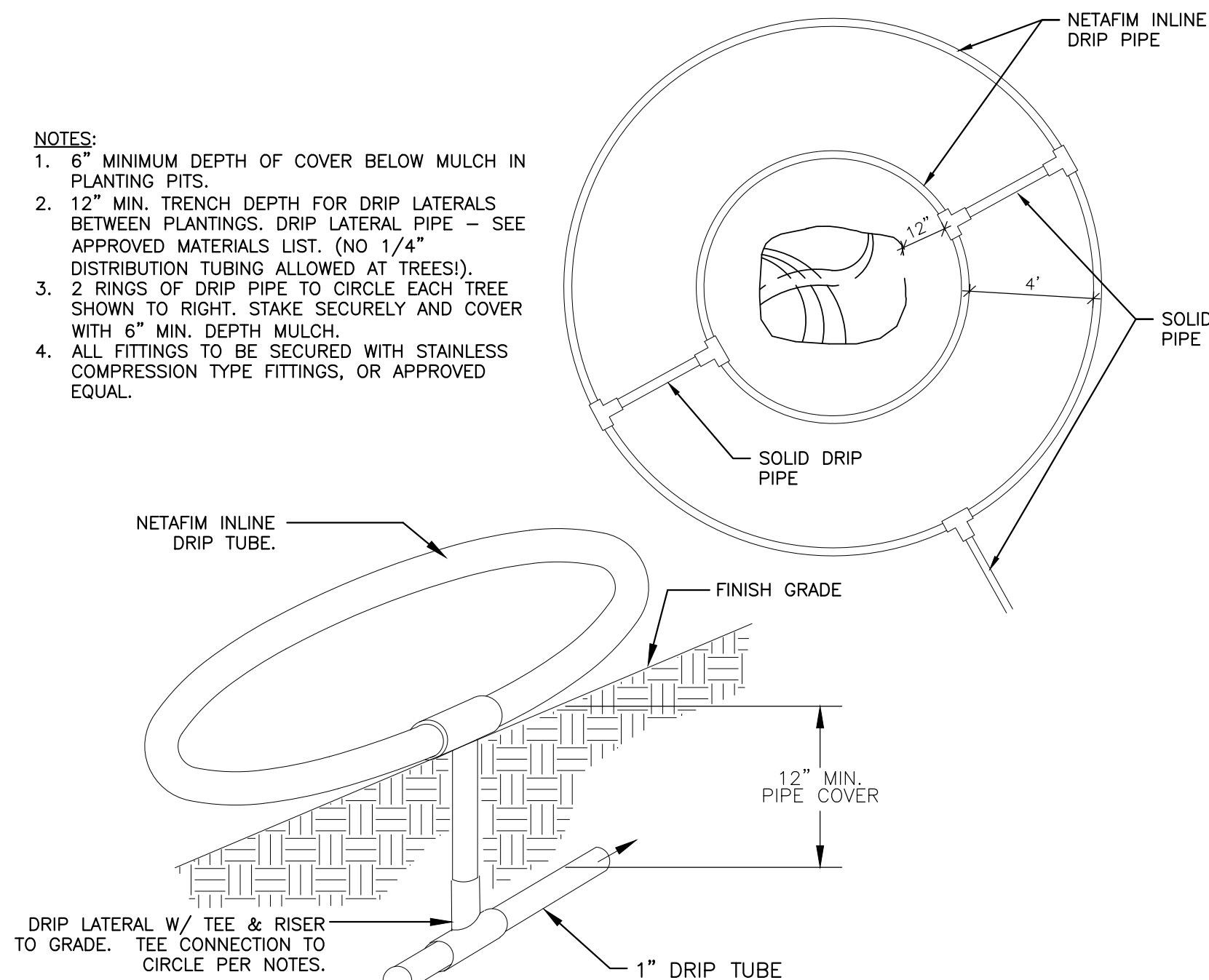
NOTE: COMPACT BACKFILL TO DENSITY OF UNDISTURBED SOIL

3 QUICK COUPLER
NOT TO SCALE

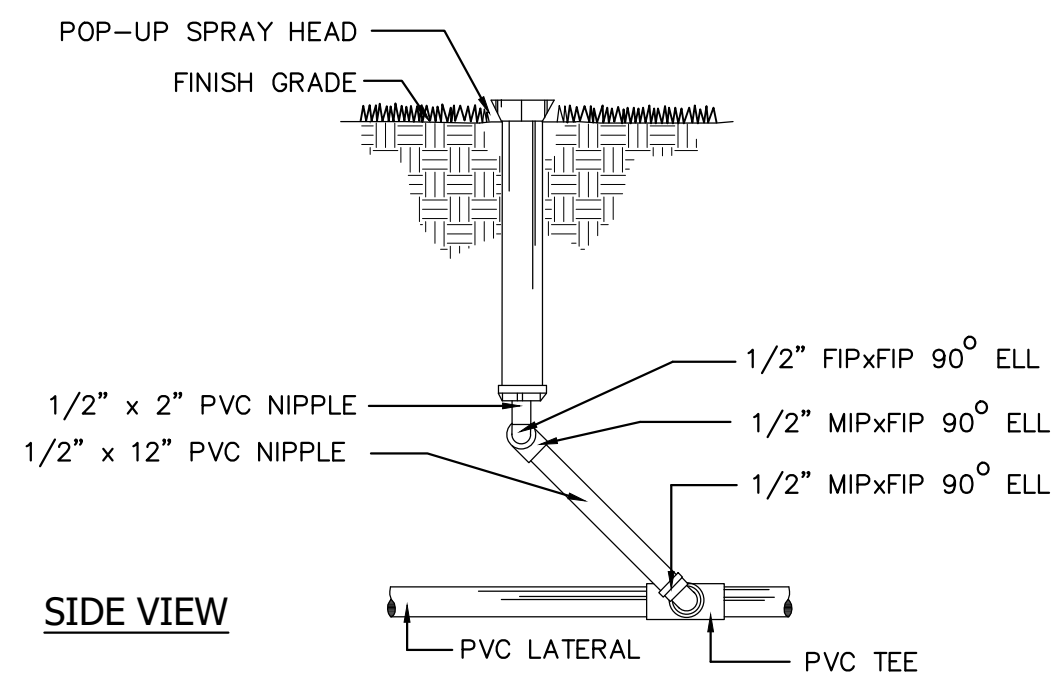


7 DRIP FLUSH VALVE
NOT TO SCALE

- NOTES:
1. 6" MINIMUM DEPTH OF COVER BELOW MULCH IN PLANTING PITS.
 2. 12" MIN. TRENCH DEPTH FOR DRIP LATERALS BETWEEN PLANTINGS. DRIP LATERAL PIPE - SEE APPROVED MATERIALS LIST. (NO 1/4" DISTRIBUTION TUBING ALLOWED AT TREES).
 3. 2 RINGS OF DRIP PIPE TO CIRCLE EACH TREE SHOWN TO RIGHT. STAKE SECURELY AND COVER WITH 6" MIN. DEPTH MULCH.
 4. ALL FITTINGS TO BE SECURED WITH STAINLESS COMPRESSION TYPE FITTINGS, OR APPROVED EQUAL.

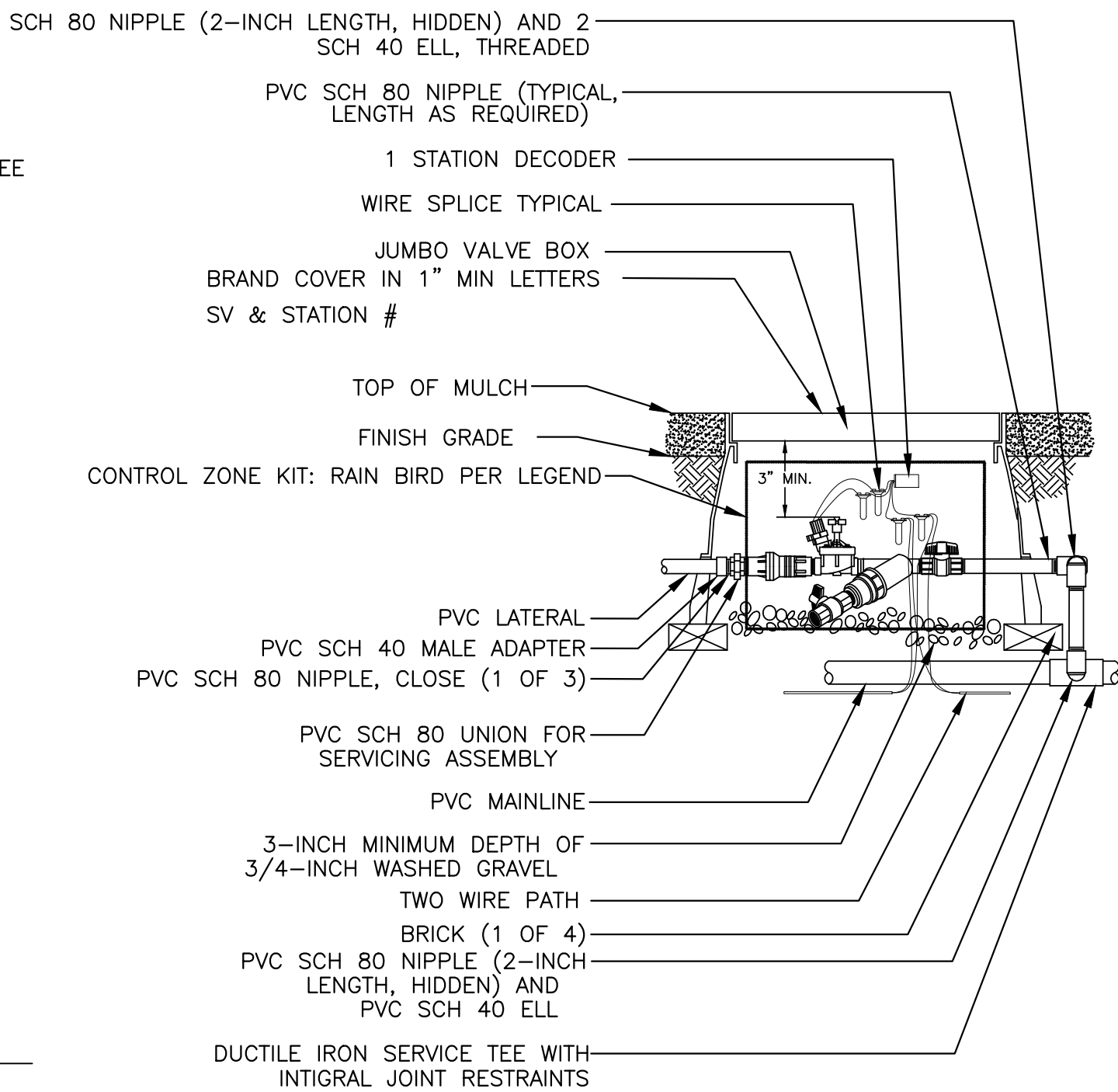


10 DRIP RINGS AT TREES IN NATIVE SEED
NOT TO SCALE



NOTES:
ALL PVC NIPPLES TO BE SCHEDULE 80, COMPACT BACKFILL PER SPECIFICATIONS. FUNNY PIPE MAY BE USED IN PLACE OF SWING JOINT ON SPRAY HEADS.
REFER TO SPECIFICATIONS FOR MATERIALS.

4 POP-UP SPRAY HEAD
NOT TO SCALE



8 DRIP VALVE DETAIL
NOT TO SCALE



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IRRIGATION
DETAILS

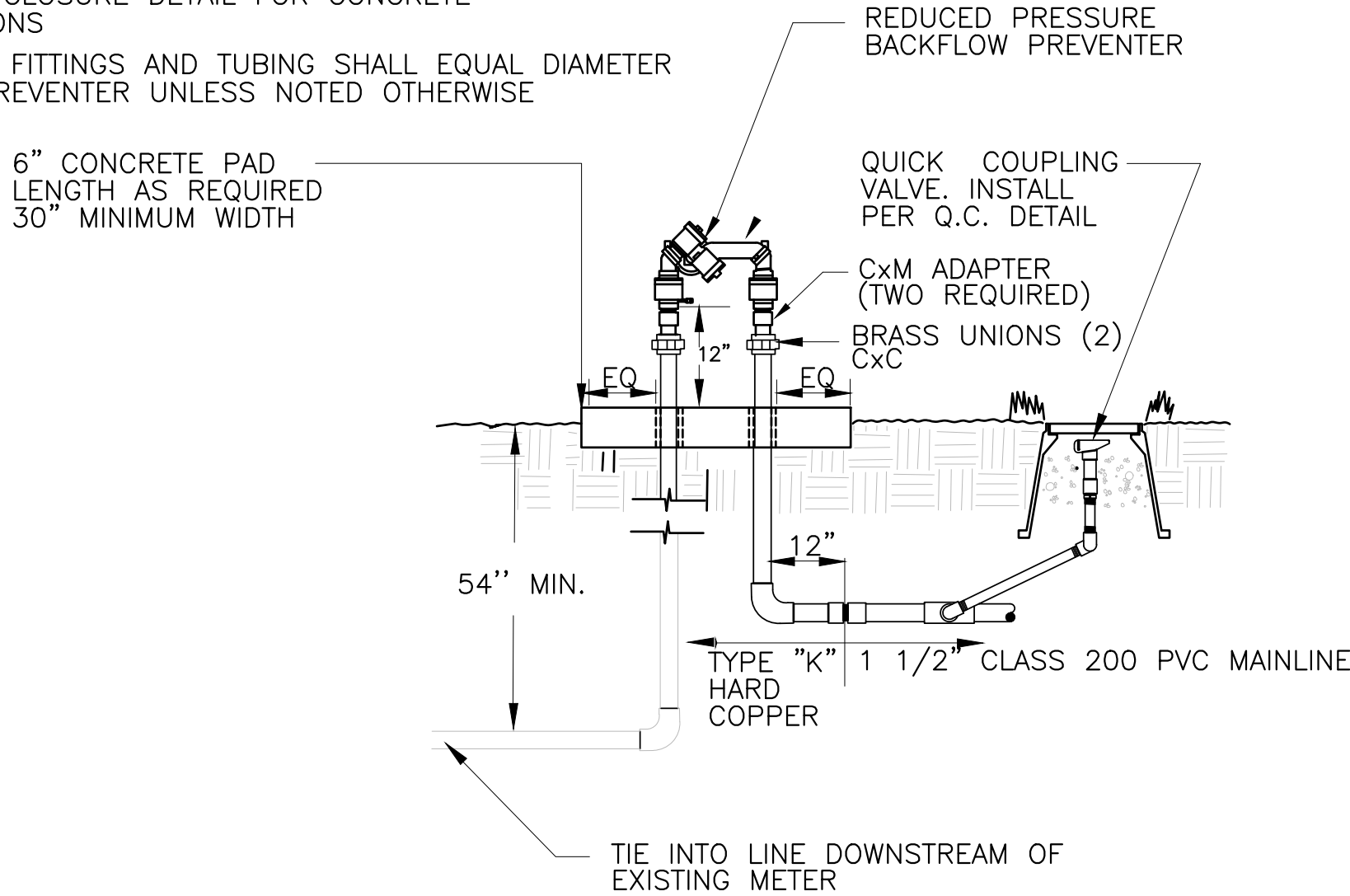
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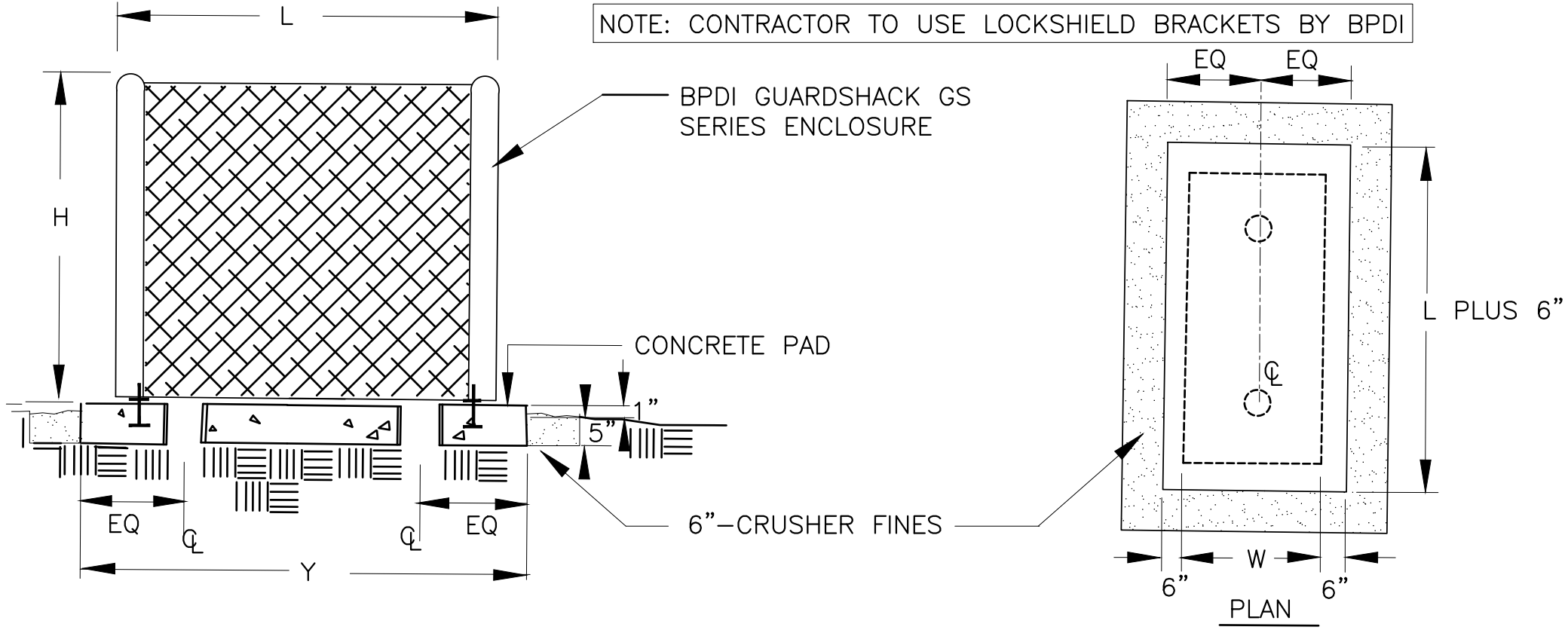
NOTE:

- * CONCRETE PAD PENETRATIONS TO BE 1" LARGER THAN TUBING DIAMETER
- * REFER TO ENCLOSURE DETAIL FOR CONCRETE PAD DIMENSIONS
- * DIAMETER OF FITTINGS AND TUBING SHALL EQUAL DIAMETER BACKFLOW PREVENTER UNLESS NOTED OTHERWISE



1 BACKFLOW PREVENTER 2" AND SMALLER
NTS

BFP MODEL/SIZE	ENCLOSURE MODEL	W	H	L
FEBCO 825YA - 3/4", 1", 1 1/4", 2"	GS-1	10"	24"	22"



NOTE:

- * INSTALL ENCLOSURE ANCHORS AS PER MANUFACTURER'S RECOMMENDATIONS.
- * PROVIDE OWNER WITH KEYED PADLOCK FOR ENCLOSURE
- * PROVIDE ENCLOSURE WITH STANDARD DARK GREEN POWDER COATED FINISH
- * PAD PENETRATIONS FOR BACKFLOW PREVENTER RISERS TO BE 1" LARGER THAN RISER DIAMETER.
- * TOP SURFACE OF CONCRETE PAD SHALL BE 1" ABOVE FINISH GRADE

2 BACKFLOW ENCLOSURE
NTS



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