



MEMORANDUM

TO: Hannah Hippely
FROM: Charles M. Buck, P.E., PTOE
DATE: February 13, 2020
SUBJECT: Review of Site Plan
Nine Mile Corner
SP-001117-2019
FHU # 95-190

I have reviewed the materials submitted for Nine Mile Corner. I have examined these materials relative to traffic engineering and transportation planning but not general civil or utility engineering.

I have reviewed previous submittals for this proposed development, the most recent of which is addressed in my referral response dated February 7, 2019. All prior comments and concerns have been adequately addressed; I have no further comments or objections to this development.

Please call if you have any questions or need additional information.



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Denver, Colorado 80211
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Fax: +1 303-964-3355

www.merrick.com

February 18, 2020

Town of Erie, Engineering Division
P.O. Box 750
645 Holbrook Street
Erie, Colorado 80516

RE: NINE MILE CORNER – LOWE’S DRAINAGE REVIEW

Dear Engineering Division:

We have reviewed the Nine Mile Corner submittal received on February 10, 2020. The submittal included a Drainage Conformance Letter for Lots 1 & 3 (dated January 27, 2020), Phase III Drainage Report for Nine Mile Corner (revised January 24, 2020), Site Plan for Lots 1 & 3 (revised January 28, 2020), and Site Plan Construction Documents (revised January 29, 2020) prepared by Galloway & Company. We also received a comment response letter by Galloway dated January 29, 2020.

Merrick recently reviewed the Phase III Drainage Report as part of the Nine Mile Corner Infrastructure submittal (review letter dated February 13, 2020). Comments 1 and 2 below for the drainage report are copied from that letter that are pertinent to the Lowe’s portion of the site.

Drainage Conformance Letter

No comments.

Phase III Drainage Report:

1. In the report, a statement should be made specifying that the commercial site storm sewer system will be privately owned and maintained per discussions with the Town.
2. The following comments relate to inlet sizing calculations:
 - a. As stated in our last review, there are several inlets for the commercial site inlet sizing that do not match the labels in the Storm Runoff Calculations or the Construction Plans. For example, inlet sizing calculations for inlets at Design Points 17 and 18 indicate CDOT Type R inlets, but the Construction Plans (Sheet 5.12) indicate Type 13 Combination inlets. Another example is at Design Point 11, the inlet sizing calculations indicate a single Type R inlet while the Construction Plans indicate a double (10’) Type R inlet. Verify which inlet sizes are correct for each proposed inlet and revise calculations or plans as necessary.
 - b. Provide sizing calculations for all proposed inlets including the Type D area inlet at Design Point 12.

Site Plan Construction Documents

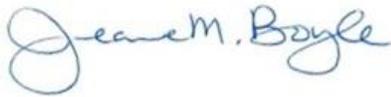
3. On Sheet C5.1, show proposed inlets on all storm pipe profiles.
4. On Sheets C5.1 to C5.3, label the proposed contours on the plan views.
5. On Sheets C5.1 to C5.3 Storm Sewer Plan & Profiles provide hydraulic grade line profiles (StormCAD) for all storm laterals, particularly those on the west side of the Lowe's building that connect from inlets at Design Points 23, 25, 29, and 32 to Storm Line D.

Site Plan

6. See above comments and update as needed.

Let us know if you have any questions.

Sincerely,
Merrick & Company



Jeanne M. Boyle, PE, CFM



Clare Steninger, PE



Memo

To: Hannah Hippley
From: David Pasic, P.E., Civil Engineer
Date: February 19, 2020
Subject: **Nine Mile Commerical Site Plan**
CC: Joe Smith, Wendi Palmer, Chad Schroeder, Tyler Burhenn

Commercial Site Plan – Civil Engineering Plans Comments

1. General Comments:
 - c. Provide Drainage Memo and Utility Memo showing conformance with the master drainage and utility reports.
Galloway Response: Drainage and Utility Conformance Letters have been provided.
Town Follow-Up: Each letter will need to be signed and stamped by the Engineer of Record for Acceptance once all comments are addressed.

Drainage Comments provided by Merrick 2/18/2020

1. On Sheet C5.1, show proposed inlets on all storm pipe profiles.
2. On Sheets C5.1 to C5.3, label the proposed contours on the plan views.
3. On Sheets C5.1 to C5.3 Storm Sewer Plan & Profiles provide hydraulic grade line profiles (StormCAD) for all storm laterals, particularly those on the west side of the Lowe's building that connect from inlets at Design Points 23, 25, 29, and 32 to Storm Line D.

Nine Mile Commercial Site Plan
 Relines provided by David Pasic
 February 19, 2020

NINE MILE CORNER - SITE PLAN CONSTRUCTION DOCUMENTS

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE
 SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH
 PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
 SITE PLAN: SP-001117-2019

LIST OF CONTACTS

APPLICANT/DEVELOPER

EVERGREEN - 287 & ARAPAHOE, L.L.C.
 1873 S BELLAIRE ST. SUITE 1106
 DENVER, CO 80222
 TEL - (303) 757-0401
 CONTACT - DEREK LIS

ENGINEER/CONSULTANT

GALLOWAY & COMPANY, INC.
 6162 S. WILLOW DR., SUITE 320
 GREENWOOD VILLAGE, COLORADO 80111
 TEL - (303) 770-8884
 FAX - (303) 770-3636
 CONTACT - JENNY R. ROMANO, P.E.
 EMAIL - Jenny.Romano@GallowayUS.com

SURVEYOR

GALLOWAY & COMPANY, INC.
 6162 S. WILLOW DR., SUITE 320
 GREENWOOD VILLAGE, COLORADO 80111
 TEL - (303) 770-8884
 FAX - (303) 770-3636
 CONTACT - BRIAN J. DENNIS, PLS
 EMAIL - BrianDennis@GallowayUS.com

ARCHITECT (RETAIL SHOPS)

G3 ARCHITECTURE, INC.
 5150 E. YALE CIRCLE, SUITE 301
 DENVER, COLORADO 80222
 TEL - (720) 542-9416
 CONTACT - SCOTT HIGA
 EMAIL - shiga@g3architecture.com

ARCHITECT (LOWE'S)

BRR ARCHITECTURE, INC.
 6700 ANTOCH PLAZA, SUITE 150
 MERRIAM, KS 66204
 TEL - (913) 236-3347
 CONTACT - RICK CHAVES
 EMAIL - Rick.Chaves@brrarch.com

LANDSCAPE ARCHITECT

GALLOWAY & COMPANY, INC.
 6162 S. WILLOW DR., SUITE 320
 GREENWOOD VILLAGE, COLORADO 80111
 TEL - (303) 770-8884
 FAX - (303) 770-3636
 CONTACT - SARAH ADAMSON
 EMAIL - SarahAdamson@GallowayUS.com

UTILITY CONTACTS

WATER & SANITARY SEWER

TOWN OF ERIE
 COMMUNITY DEVELOPMENT DEPARTMENT - PLANNING DIVISION
 645 HOLBROOK ST
 ERIE, COLORADO 80516
 TEL - (303) 926-2770
 CONTACT - DAVID PASIC

FIRE

MOUNTAIN VIEW FIRE RESCUE
 3561 N. STAGECOACH RD.
 LONGMONT, CO 80504
 TEL - (303) 772-0710

STORM SEWER

TOWN OF ERIE - PUBLIC WORKS
 645 HOLBROOK ST.
 ERIE, CO 80516
 TEL - (303) 926-2870

ELECTRICAL

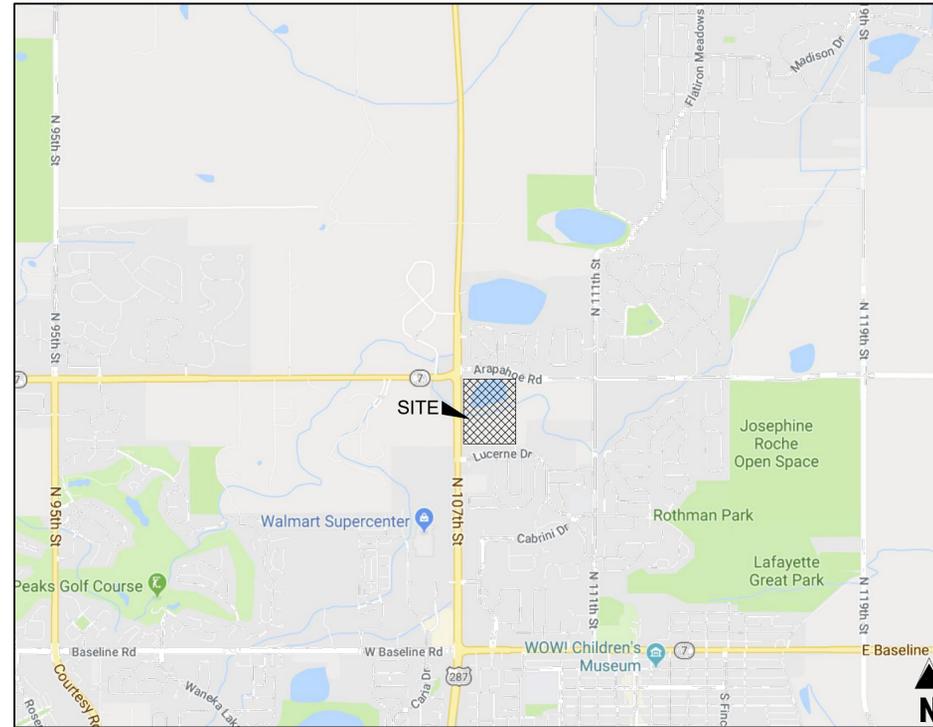
XCEL
 1123 WEST 3RD AVE.
 DENVER, CO 80223
 CONTACT - DONNA GEORGE
 EMAIL - donna.l.george@xcelenergy.com

GAS

XCEL
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 DENVER, CO 80223
 CONTACT - DONNA GEORGE
 EMAIL - donna.l.george@xcelenergy.com

TELEPHONE

CENTURY LINK
 CONTACT - TBD



VICINITY MAP

1/2007

LEGAL DESCRIPTION

LOTS 1 & 3 OF NINE MILE CORNER, A PORTION OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO

DRAWING ACCEPTANCE:

ALL WORK SHALL BE CONSTRUCTED TO TOWN OF ERIE STANDARDS AND SPECIFICATIONS. THIS DRAWING HAS BEEN REVIEWED AND FOUND TO BE IN GENERAL COMPLIANCE WITH THESE STANDARDS AND SPECIFICATIONS AND OTHER TOWN REQUIREMENTS. THE ENGINEERING DESIGN AND CONCEPT REMAINS THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE APPEAR HEREON.

ACCEPTED BY: _____ DEPUTY PUBLIC WORKS DIRECTOR DATE: _____

Update per Standards and Specs. Should reference Town Engineer.

OVERALL LANDSCAPE AREA (NINE MILE SUBDIVISION)

TOTAL SUBDIVISION AREA	2,056,537 SQ. FT. (47.212 ACRES)
TOTAL TRACT LANDSCAPE AREA	416,888 SQ. FT. (9.570 ACRES)
TOTAL COMMERCIAL (LOTS 1 & 3) LANDSCAPE AREA	16,481 SQ. FT. (0.378 ACRES)
TOTAL MULTI-FAMILY (LOT 11) LANDSCAPE AREA	55,282 SQ. FT. (1.269 ACRES)
SUBTOTAL LANDSCAPE AREA	488,651 SQ. FT. (11.217 ACRES)
PERCENT LANDSCAPE OF TOTAL AREA	23.76%

SHEET INDEX	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	NOTES
C1.0	OVERALL SITE PLAN
C1.1	SITE PLAN - NW
C1.2	SITE PLAN - NE
C1.3	SITE PLAN - SE
C1.4	SITE PLAN - SW
C1.5	SITE DETAILS
C1.6	SITE DETAILS
C1.7	SITE DETAILS
C2.0	OVERALL GRADING
C2.1	GRADING PLAN - NW
C2.2	GRADING PLAN - NE
C2.3	GRADING PLAN - SE
C2.4	GRADING PLAN - SW
C3.0	EROSION CONTROL PLAN - INITIAL
C3.1	EROSION CONTROL PLAN - INTERIM AND FINAL
C3.2	EROSION CONTROL DETAILS
C3.3	EROSION CONTROL DETAILS
C4.0	OVERALL UTILITY PLAN
C4.1	UTILITY PLAN - NW
C4.2	UTILITY PLAN - NE
C4.3	UTILITY PLAN - SE
C4.4	UTILITY PLAN - SW
C4.5	UTILITY DETAILS
C4.6	UTILITY DETAILS
C4.7	UTILITY DETAILS
C4.8	UTILITY DETAILS
C4.9	OVERALL PHOTOMETRIC PLAN
C4.10	PHOTOMETRIC SITE PLAN-NW
C4.11	PHOTOMETRIC SITE PLAN-NE
C4.12	PHOTOMETRIC SITE PLAN-SE
C4.13	PHOTOMETRIC SITE PLAN-SW
C4.14	PHOTOMETRIC DETAILS
C5.1	STORM SEWER PLAN & PROFILE
C5.2	STORM SEWER PLAN & PROFILE
C5.3	STORM SEWER PLAN & PROFILE
C6.1	WATER PLAN & PROFILE
C7.1	SANITARY SEWER PLAN & PROFILE
IR1.0	IRRIGATION PLAN
IR1.1	IRRIGATION PLAN
IR1.2	IRRIGATION PLAN
IR1.3	IRRIGATION PLAN
IR1.4	IRRIGATION PLAN
IR1.5	IRRIGATION PLAN
IR1.6	IRRIGATION PLAN
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE PLAN
L1.3	LANDSCAPE PLAN
L1.4	LANDSCAPE PLAN
L1.5	LANDSCAPE PLAN
L1.6	LANDSCAPE PLAN
L1.7	LANDSCAPE NOTES & DETAILS

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

BENCHMARK

ELEVATIONS SHOWN ARE NAVD 88 AND ARE DERIVED VIA GPS OBSERVATIONS FROM THE LIECA SMARTNET RTK GPS NETWORK AND GEOID 12B.

BASIS OF BEARING

BASIS OF BEARING: BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 34 AND MONUMENTED ON THE WEST BY A 2.5" ALUMINUM CAP STAMPED "PLS29752" IN A RANGE BOX FOR THE N 1/4 CORNER AND MONUMENTED ON THE EAST BY A 2.5" ALUMINUM CAP STAMPED "PLS12405" FOR THE NE CORNER AND IS ASSUMED TO BEAR S 89° 58' 01" E.

FOR ALL FUTURE PHASES, THE APPLICANT SHALL SUBMIT A REVISED SITE PLAN FOR THE PHASE FOR WHICH A PERMIT IS REQUESTED, AND SHALL RECEIVE APPROVAL FROM THE TOWN OF ERIE PRIOR TO ISSUANCE OF A BUILDING PERMIT.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.
 Call before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

SITE DATA SUMMARY CHART ZONE DISTRICT PD			
ITEM	SQUARE FOOTAGE		% OF GROSS SITE
	LOWE'S (LOT 1)	RETAIL SHOPS (LOT 3)	
GROSS SITE AREA:	399,321	107,390	100
• BUILDING FOOTPRINT	110,828	18,000	25.4
• GARDEN CENTER	27,515		5.4
• PARKING/ROADS (INCLUDING PLANTED INTERIOR PARKING ISLANDS)	258,242	75,645	65.9
HARDSCAPE TOTAL	396,585	93,645	96.7
• PLANTED AREA (EXCLUDING PLANTED INTERIOR PARKING ISLANDS)	1,094	9,052	2.0
• EXISTING VEGETATION	0	0	0
• TRAILS AND SIDEWALKS	1,642	4,693	1.3
LANDSCAPE TOTAL	2,736	13,745	3.3
ITEM	DESCRIPTION		TOTAL
PARKING:			
• TOTAL REQUIRED			
•• LOWE'S (1 SPACE PER 350 SQ. FT.)	317		
•• GARDEN CENTER	0		
•• RETAIL SHOPS (1 SPACE PER 200 SQ. FT.)		90	
• PROVIDED (INCLUDING HANDICAP)			
•• LOWE'S	361		
•• RETAIL SHOPS		133	
•• HANDICAP PROVIDED	11	5	
• TYPE B LOADING SPACES			
•• REQUIRED	3	1	
•• PROVIDED	3		
• BICYCLE PARKING			
•• REQUIRED*	18	7	25
•• PROVIDED	9	18	27

*PER PD, BICYCLE PARKING CAN BE AGGREGATED TOGETHER

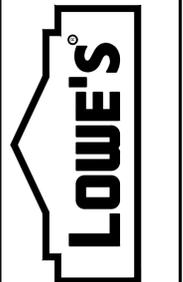
REVISIONS	
DATE	DESCRIPTION
11/25/19	1ST SITE CD SUB.
01/29/20	2ND SITE CD SUB.



LOWE'S HOME CENTERS, LLC
 1000 Lowes Boulevard
 Mooresville, NC 28117

704.758.1000 (V)

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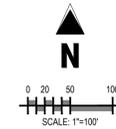
SITE PLAN CONSTRUCTION DOCUMENTS
 COVER SHEET
 LOWE'S OF:
 ERIE, COLORADO
 PROJECT NO.: ED00001820 | DRAWN BY: NCH | CHECKED BY: BSM

CRITERIA
 ISSUE DATE: 11.21.19
 PERMIT SET
 ISSUE DATE:
 CONSTRUCTION SET
 ISSUE DATE:
 DRAWING NUMBER:

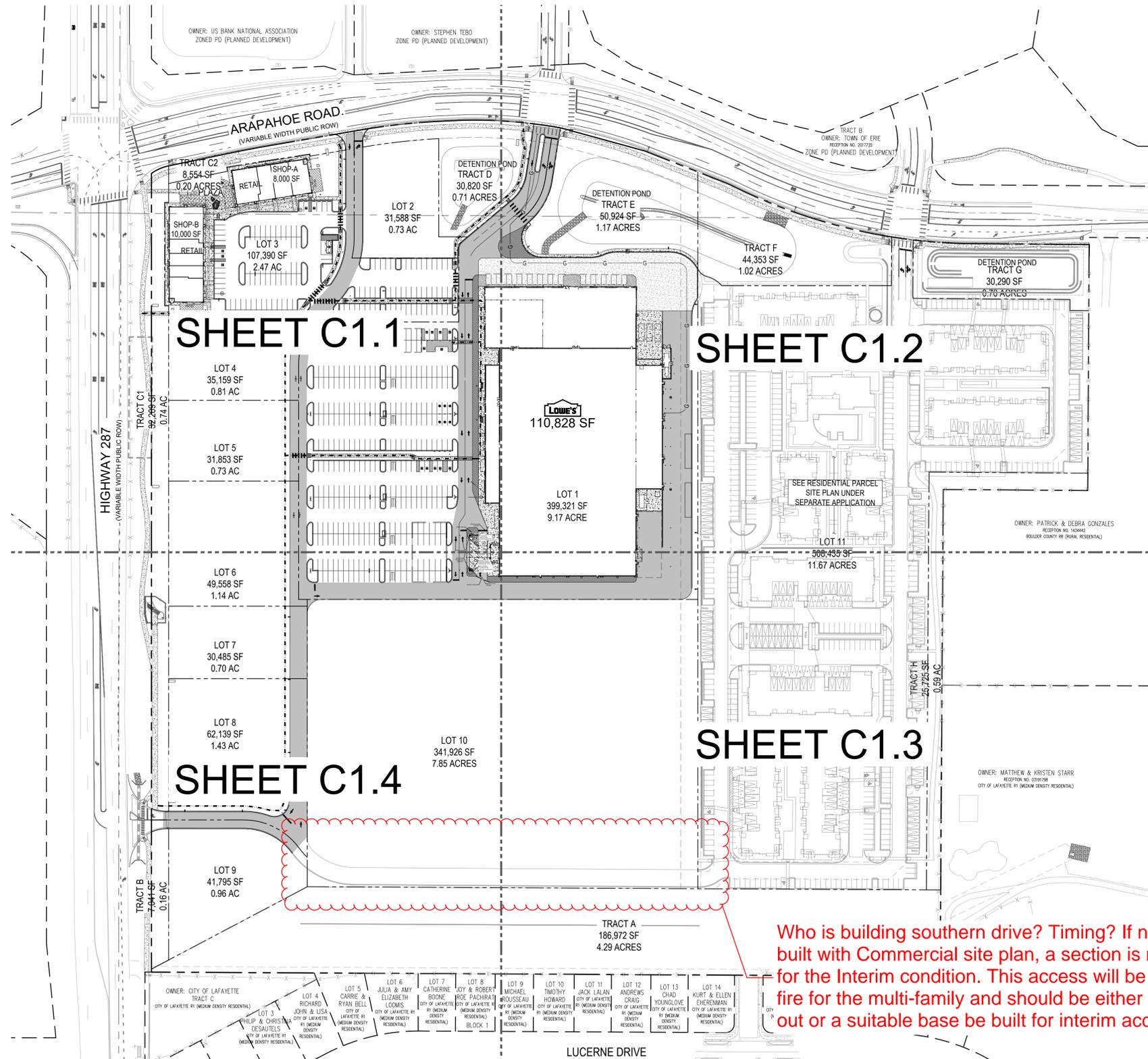
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NINE MILE CORNER - SITE PLAN CONSTRUCTION DOCUMENTS

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
 SITE PLAN: SP-001117-2019



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SHEET C1.1

SHEET C1.2

SHEET C1.3

SHEET C1.4

Who is building southern drive? Timing? If not being built with Commercial site plan, a section is needed for the Interim condition. This access will be used by fire for the multi-family and should be either be built out or a suitable base be built for interim access.

BASIS OF BEARING

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BENCHMARK

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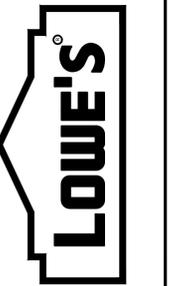
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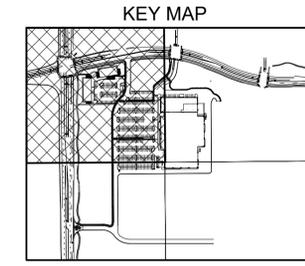
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 LOWE'S OF:
 ERIE, COLORADO
 PROJECT NO: ED00001820 | DRAWN BY: NCH | CHECKED BY: BSM

CRITERIA	11.21.19
ISSUE DATE:	
PERMIT SET	
ISSUE DATE:	
CONSTRUCTION SET	
ISSUE DATE:	
DRAWING NUMBER:	C1.0



NINE MILE CORNER - SITE PLAN CONSTRUCTION DOCUMENTS

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
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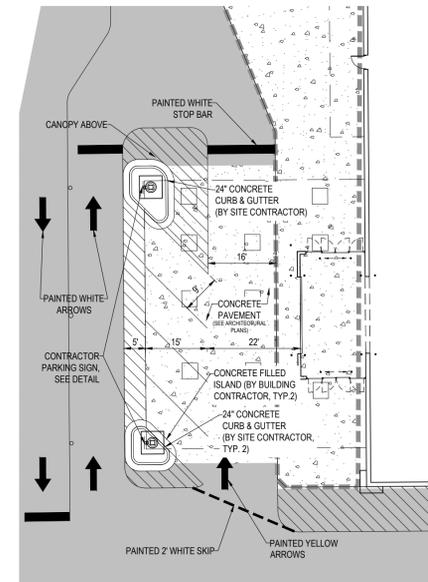
DATE	DESCRIPTION
11/25/19	1ST SITE CD SUB.
01/29/20	2ND SITE CD SUB.

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY LINE
- EASEMENT BOUNDARY LINE
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- PROPOSED NEW
- PROPOSED SITE LIGHTING
- TRAFFIC DIRECTION
- PARKING COUNT
- CART CORRAL (APPROXIMATE LOCATION)
- HEAVY DUTY ASPHALT PAVING
- HEAVY CONCRETE PAVING
- PROPOSED ADA ROUTE
- PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE COVER
- PROPOSED INLET

SCHEDULE

- 1 PROPOSED 110,828 SF RETAIL HOME IMPROVEMENT STORE AND ASSOCIATED VESTIBULE (SEE ARCHITECTURAL PLAN)
- 2 PROPOSED CONCRETE SIDEWALK
- 3 PROPOSED ADA RAMP
- 4 PROPOSED CART RETURN (FURNISHED AND INSTALLED BY LOWE'S)
- 5 PROPOSED 6" CONCRETE CURB AND 18" GUTTER
- 6 PROPOSED STANDARD DUTY ASPHALT PAVING
- 7 PROPOSED 9' X 20' 90-DEGREE PARKING STALL
- 8 PROPOSED ADA PARKING STALL WITH SIGNAGE AND PAINTED ACCESS AISLE (SEE DETAIL SHEET)
- 9 PROPOSED PAINTED TRAFFIC MARKINGS AND SYMBOLS
- 10 PROPOSED HEAVY DUTY ASPHALT PAVING
- 11 PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLAN)
- 12 SIDEWALK BY OTHERS
- 13 PROPOSED WHEEL STOP
- 14 ADA RAMP BY OTHERS
- 15 SIX (6) "PICKUP" PARKING SPACES (SEE DETAILS FOR SIGN AND PAVEMENT MARKING)
- 16 FOUR (4) DEDICATED VETERAN PARKING SPACES (SEE DETAIL SHEET)
- 17 PROPOSED STOP SIGN (SEE DETAIL SHEET)
- 18 PROPOSED CONCRETE BOLLARD (BY LOWE'S CONTRACTOR)
- 19 PROPOSED CUSTOMER LOADING CANOPY (BY LOWE'S CONTRACTOR)
- 20 PROPOSED LOADING ZONE
- 21 PROPOSED SHADE STRUCTURE (BY LOWE'S CONTRACTOR)
- 22 PROPOSED 10,000 SF RETAIL
- 23 PROPOSED 8,000 SF RETAIL
- 24 PROPOSED TRANSFORMER
- 25 PROPOSED TRASH ENCLOSURE
- 26 PROPOSED UTILITY EASEMENT PER PLAT
- 27 STREET LIGHT BY OTHERS
- 28 FUTURE DEVELOPMENT PAD SITE
- 29 PROPOSED RETAINING WALL BY OTHERS
- 30 PROPOSED RIGHT TURN ONLY SIGN (SEE DETAIL SHEET)
- 31 PROPOSED TRASH COMPACTOR
- 32 PROPOSED SITE LIGHT (SEE PHOTOMETRIC PLAN)
- 33 PROPOSED GENERATOR
- 34 PROPOSED ROLLED ASPHALT CURB (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 35 PROPOSED IRRIGATION DITCH TO UNDERGROUND CONVERSION STRUCTURE BY OTHERS
- 36 FUTURE LOCATION FOR BRT STATION
- 37 PROPOSED BOPUS DIRECTIONAL SIGN (SEE DETAIL SHEET)
- 38 PROPOSED SCREEN WALL
- 39 EXISTING ASPHALT PUBLIC ROAD TO REMAIN
- 40 EXISTING CONCRETE PUBLIC ROAD TO REMAIN
- 41 ACCESS EASEMENT PER PLAT
- 42 PROPOSED 4' SIGNAGE WALL (REFER TO SIGN PACKAGE)
- 43 PROPOSED MOUNTABLE CURB (BY OTHERS)
- 44 PROPOSED RETAIL BUILDING AND PATIO (SEE LANDSCAPE PLANS FOR DETAILS)
- 45 PROPOSED MONUMENT SIGN (BY OTHERS)
- 46 PROPOSED CONCRETE APRON AT BUILDING (REFER TO ARCHITECTURE PLANS)
- 47 PROPOSED HEAVY DUTY CONCRETE PAVING
- 48 PROPOSED CONCRETE TRUCK WELL (REFER TO ARCHITECTURAL PLANS)
- 49 PROPOSED CONCRETE PAD FOR ELECTRICAL EQUIPMENT (REFER TO ARCHITECTURAL PLANS)
- 50 PROPOSED BIKE RACK
- 51 BUILDING SETBACK
- 52 PROPOSED TYPE B LOADING SPACE
- 53 PROPOSED ROLLED ASPHALT CURB BY OTHERS
- 54 PROPOSED OUTDOOR STORAGE AREA
- 55 PROPOSED CONTAINERIZED STORAGE
- 56 PROPOSED SEASONAL SALES AREA
- 57 PROPOSED OUTDOOR DISPLAY AND SALES/SEASONAL SALES AREA
- 58 PROPOSED (24) 10' WIDE CONTRACTOR PARKING SPACES
- 59 PROPOSED CONCRETE CURB AND GUTTER BY OTHERS



ENLARGED CUSTOMER LOADING CANOPY
 SCALE: 1"=20'

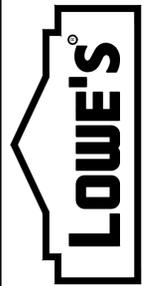
REQUIRED	PARKING DATA TABLE		
	LOWE'S		
	BUILDING (110,828 SQ. FT.)	GARDEN CENTER (27,515 SQ. FT.)	RETAIL SHOPS (18,000 SQ. FT.)
	1 SPACE PER 350 SQ. FT.		1 SPACE PER 200 SQ. FT.
TOTAL	317	N/A	90
PROVIDED	361		133
ACCESSIBLE REQUIRED	8		5
ACCESSIBLE PROVIDED	11		5
TYPE B REQUIRED	3		1
TYPE B PROVIDED	3		1
BICYCLE REQUIRED*	1 SPACE PER 20 OFF-STREET PARKING SPACES		
BICYCLE PROVIDED	9		18

*PER PD, BICYCLE PARKING CAN BE AGGREGATED TOGETHER



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 1000 Lows Boulevard
 Mooresville, NC 28117

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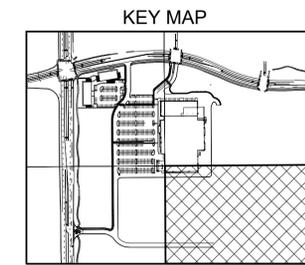
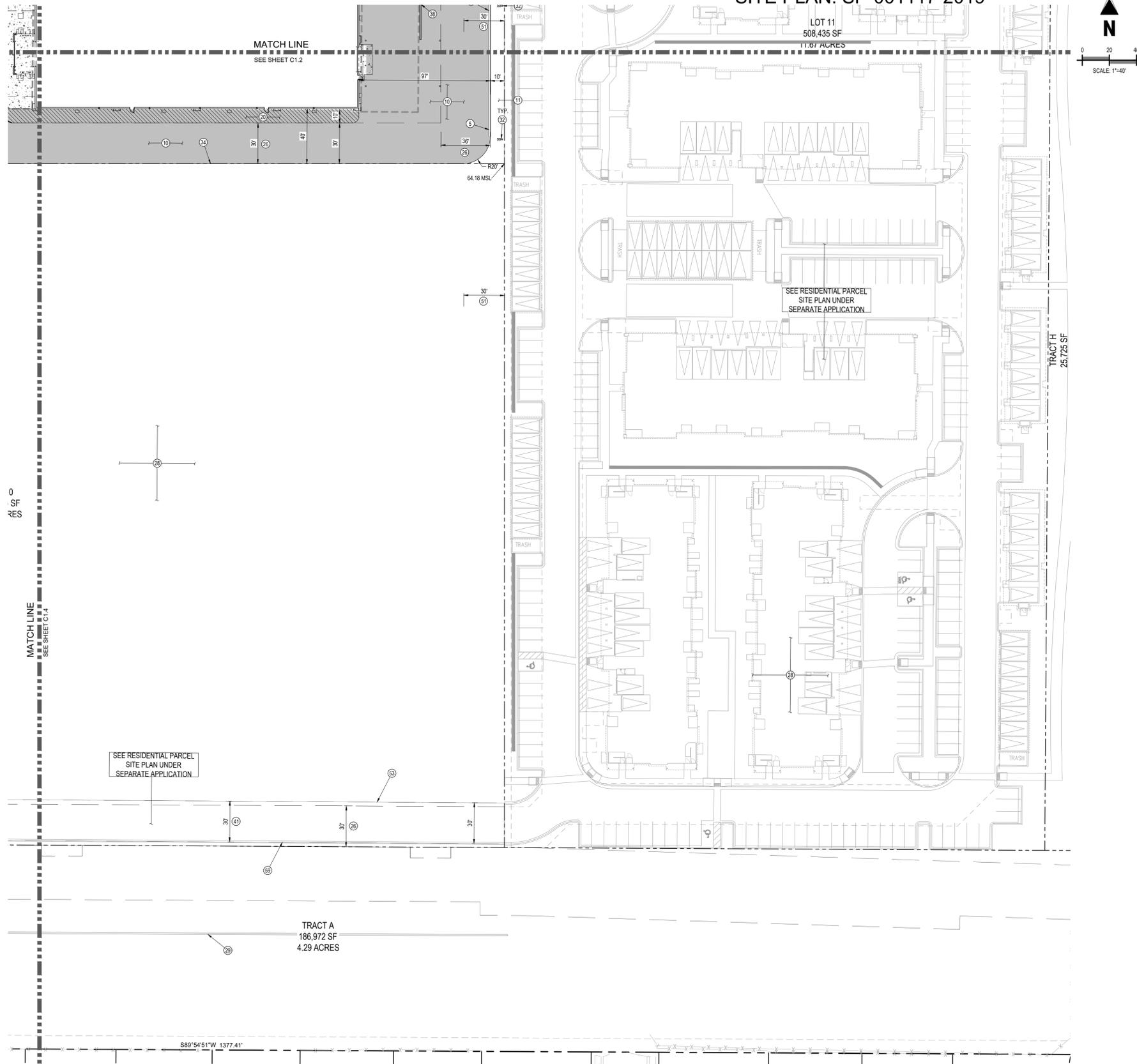


SITE PLAN CONSTRUCTION DOCUMENTS
 SITE PLAN - NW
 LOWE'S OF:
 ERIE, COLORADO
 PROJECT NO.: ED000018.20 | DRAWN BY: NCH | CHECKED BY: BSM

CRITERIA	11.21.19
ISSUE DATE:	
PERMIT SET	
ISSUE DATE:	
CONSTRUCTION SET	
ISSUE DATE:	
DRAWING NUMBER:	C1.1

NINE MILE CORNER - SITE PLAN CONSTRUCTION DOCUMENTS

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
 SITE PLAN: SP-001117-2019



DATE	DESCRIPTION
11/25/19	1ST SITE CD SUB.
01/29/20	2ND SITE CD SUB.

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY LINE
- EASEMENT BOUNDARY LINE
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- PROPOSED NEW
- PROPOSED SITE LIGHTING
- TRAFFIC DIRECTION
- PARKING COUNT
- CART CORRAL (APPROXIMATE LOCATION)
- HEAVY DUTY ASPHALT PAVING
- HEAVY CONCRETE PAVING
- PROPOSED ADA ROUTE
- PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE COVER
- PROPOSED IN ET

SCHEDULE

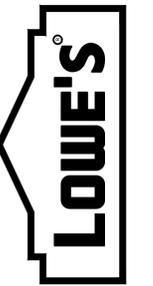
- 1 PROPOSED 110,808 SF RETAIL HOME IMPROVEMENT STORE AND ASSOCIATED VESTIBULE (SEE ARCHITECTURAL PLAN)
- 2 PROPOSED CONCRETE SIDEWALK
- 3 PROPOSED ADA RAMP
- 4 PROPOSED CART RETURN (FURNISHED AND INSTALLED BY LOWE'S)
- 5 PROPOSED 6" CONCRETE CURB AND 18" GUTTER
- 6 PROPOSED STANDARD DUTY ASPHALT PAVING
- 7 PROPOSED 9' X 20' 90-DEGREE PARKING STALL
- 8 PROPOSED ADA PARKING STALL WITH SIGNAGE AND PAINTED ACCESS AISLE (SEE DETAIL SHEET)
- 9 PROPOSED PAINTED TRAFFIC MARKINGS AND SYMBOLS
- 10 PROPOSED HEAVY DUTY ASPHALT PAVING
- 11 PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLAN)
- 12 SIDEWALK BY OTHERS
- 13 PROPOSED WHEEL STOP
- 14 ADA RAMP BY OTHERS
- 15 SIX (6) "TRIKUP" PARKING SPACES (SEE DETAILS FOR SIGN AND PAVEMENT MARKING)
- 16 FOUR (4) DEDICATED VETERAN PARKING SPACES (SEE DETAIL SHEET)
- 17 PROPOSED STOP SIGN (SEE DETAIL SHEET)
- 18 PROPOSED CONCRETE BOLLARD (BY LOWE'S CONTRACTOR)
- 19 PROPOSED CUSTOMER LOADING CANOPY (BY LOWE'S CONTRACTOR)
- 20 PROPOSED LOADING ZONE
- 21 PROPOSED SHADE STRUCTURE (BY LOWE'S CONTRACTOR)
- 22 PROPOSED 10,000 SF RETAIL
- 23 PROPOSED 8,000 SF RETAIL
- 24 PROPOSED TRANSFORMER
- 25 PROPOSED TRASH ENCLOSURE
- 26 PROPOSED UTILITY EASEMENT PER PLAT
- 27 STREET LIGHT BY OTHERS
- 28 FUTURE DEVELOPMENT PAD SITE
- 29 PROPOSED RETAINING WALL BY OTHERS
- 30 PROPOSED RIGHT TURN ONLY SIGN (SEE DETAIL SHEET)
- 31 PROPOSED TRASH COMPACTOR
- 32 PROPOSED SITE LIGHT (SEE PHOTOMETRIC PLAN)
- 33 PROPOSED GENERATOR
- 34 PROPOSED ROLLED ASPHALT CURB (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 35 PROPOSED IRRIGATION DITCH TO UNDERGROUND CONVERSION STRUCTURE BY OTHERS
- 36 FUTURE LOCATION FOR BRT STATION
- 37 PROPOSED BOPUS DIRECTIONAL SIGN (SEE DETAIL SHEET)
- 38 PROPOSED SCREEN WALL
- 39 EXISTING ASPHALT PUBLIC ROAD TO REMAIN
- 40 EXISTING CONCRETE PUBLIC ROAD TO REMAIN
- 41 ACCESS EASEMENT PER PLAT
- 42 PROPOSED 4' SIGNAGE WALL (REFER TO SIGN PACKAGE)
- 43 PROPOSED MOUNTABLE CURB (BY OTHERS)
- 44 PROPOSED RETAIL BUILDING AND PATIO (SEE LANDSCAPE PLANS FOR DETAILS)
- 45 PROPOSED MONUMENT SIGN (BY OTHERS)
- 46 PROPOSED CONCRETE APRON AT BUILDING (REFER TO ARCHITECTURE PLANS)
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- 48 PROPOSED CONCRETE TRUCK WELL (REFER TO ARCHITECTURAL PLANS)
- 49 PROPOSED CONCRETE PAD FOR ELECTRICAL EQUIPMENT (REFER TO ARCHITECTURAL PLANS)
- 50 PROPOSED BIKE RACK

Legend Cutoff. Include all.



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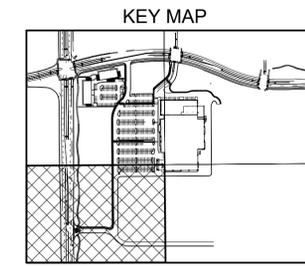
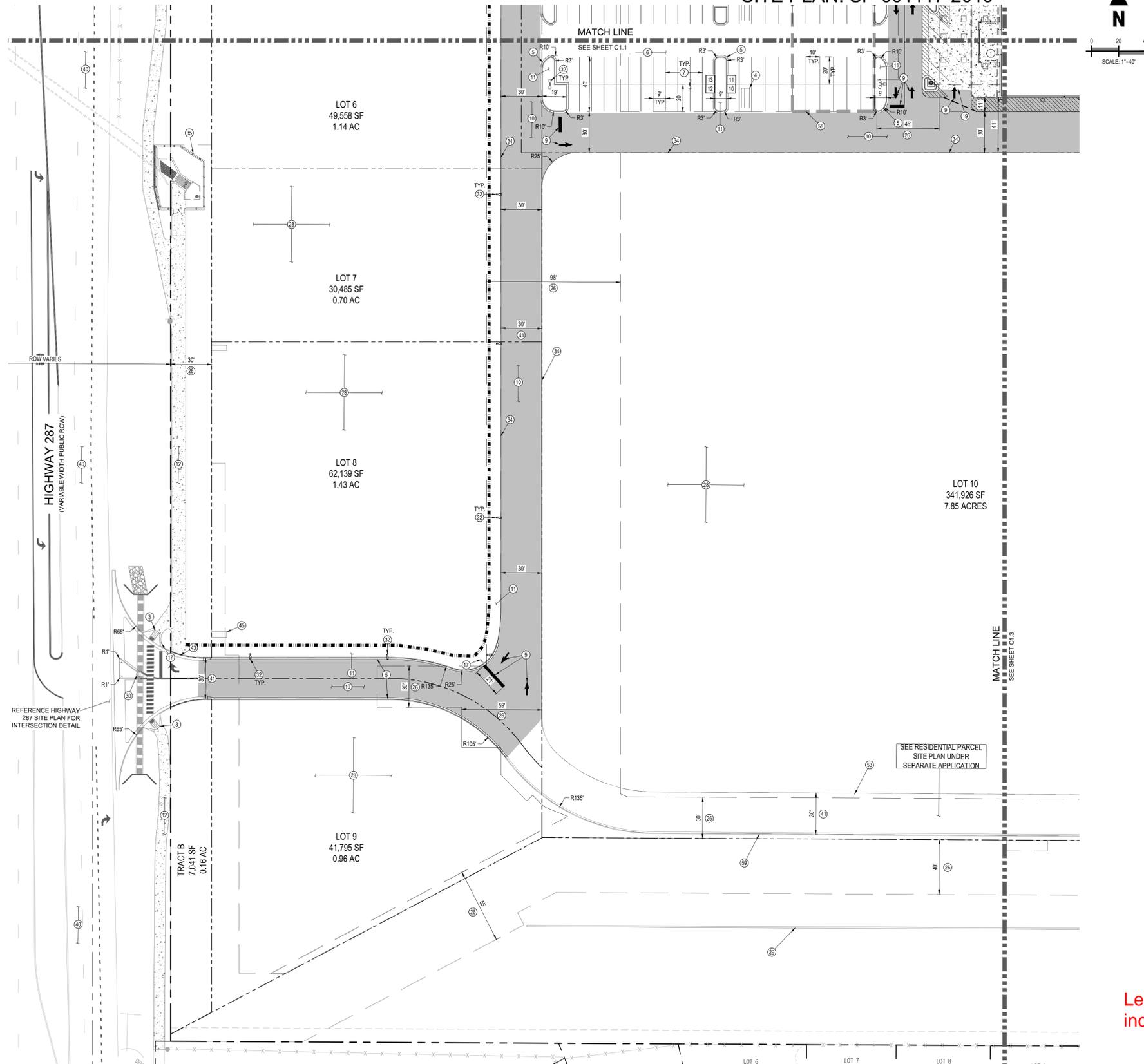


SITE PLAN CONSTRUCTION DOCUMENTS
 SITE PLAN - SE
 LOWE'S OF:
 ERIE, COLORADO
 PROJECT NO: ED00001820 | DRAWN BY: INCH | CHECKED BY: BSM

CRITERIA	11.21.19
ISSUE DATE:	
PERMIT SET	
ISSUE DATE:	
CONSTRUCTION SET	
ISSUE DATE:	
DRAWING NUMBER:	C1.3

NINE MILE CORNER - SITE PLAN CONSTRUCTION DOCUMENTS

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE
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PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN: SP-001117-2019



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01/29/20	2ND SITE CD SUB.

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- PROPOSED INLET

SCHEDULE

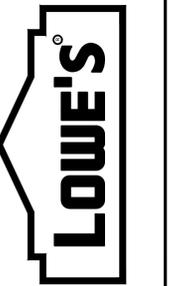
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- 48 PROPOSED CONCRETE TRUCK WELL (REFER TO ARCHITECTURAL PLANS)
- 49 PROPOSED CONCRETE PAD FOR ELECTRICAL EQUIPMENT (REFER TO ARCHITECTURAL PLANS)
- 50 PROPOSED BIKE RACK
- 51 BUILDING SETBACK
- 52 PROPOSED TYPE B LOADING SPACE

Legend Cutoff. Please include total legend.



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Mooresville, NC 28117
704.758.1000 (V)

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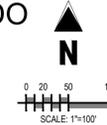


SITE PLAN CONSTRUCTION DOCUMENTS
SITE PLAN - SW
LOWE'S OF:
ERIE, COLORADO
PROJECT NO.: ED000018.20 | DRAWN BY: NCH | CHECKED BY: BSM

CRITERIA	11.21.19
ISSUE DATE:	
PERMIT SET	
ISSUE DATE:	
CONSTRUCTION SET	
ISSUE DATE:	
DRAWING NUMBER:	C1.4

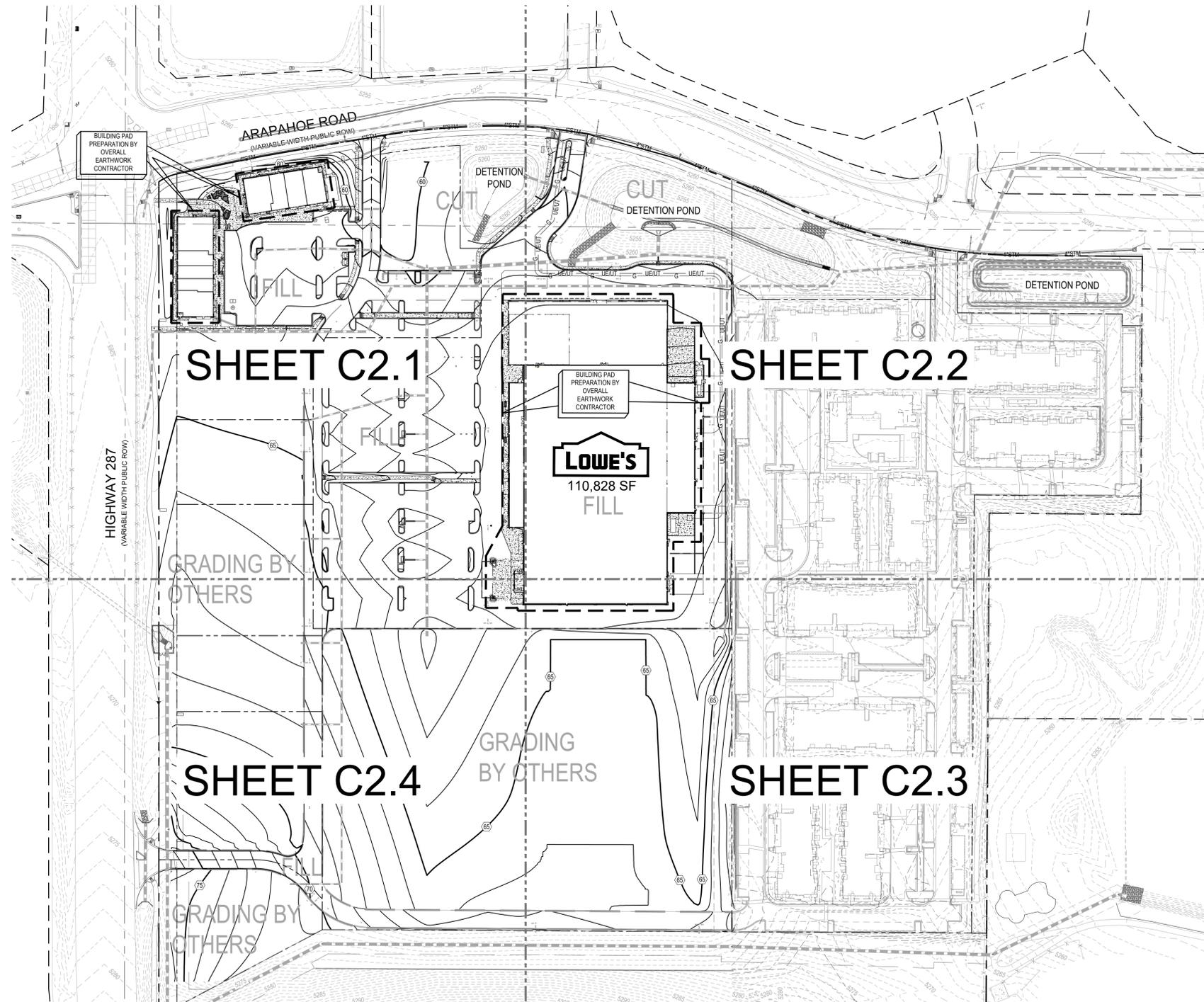
NINE MILE CORNER - SITE PLAN CONSTRUCTION DOCUMENTS

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN: SP-001117-2019



GRADING LEGEND

---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED SPOT ELEVATION
---	PROPOSED TOP OF CURB ELEVATION
---	PROPOSED FLOWLINE ELEVATION
---	PROPOSED SLOPE ARROW
---	FINISHED FLOOR
---	TOP OF GRATE
---	BOTTOM OF RAMP
---	TOP OF RAMP
---	FLOWLINE
---	HIGH POINT
---	LOW POINT
---	MATCH EXISTING
---	GRADE BREAK
---	TOP OF BERM
---	CURB OPENING
---	POINT OF CURVE
---	FLOWLINE INTERSECTION
---	POINT OF CURB RETURN
---	FINISHED GRADE
---	CATCH CURB AND GUTTER
---	SPILL CURB AND GUTTER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER (12" AND LARGER)
---	PROPOSED STORM SEWER (LESS THAN 12")
---	CUTFILL LIMITS
---	PROPOSED RIDGELINE
---	BUILDING PAD PREPARATION LIMITS (REFER TO GEOTECHNICAL REPORT)



Show Lot corner elevations for each pad site (Typ)

SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS:

GEOTECHNICAL ENGINEER: CTL THOMPSON, INC.
REPORT NO.: DN48,647-125-R1 (DATED NOVEMBER 21, 2019)

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

BENCHMARK

THE VERTICAL DATUM FOR THIS PROJECT IS NAVD88 BASED ON GEOID 128 AS DERIVED FROM THE LIECA SPIDERNET RTK NETWORK:

BM1 - SW SEC9, T3S, R65W, 6TH P.M. = 5493.44'
BM2 - S 1/4 SEC9, T3S, R65W, 6TH P.M. = 5479.34'

SITE BENCH MARK, PUBLISHED NGS MONUMENT DVX M, STAINLESS STEEL ROD IN SLEEVE.
ELEV=5457.92'

BASIS OF BEARING

BASIS OF BEARING: BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 34 AND MONUMENTED ON THE WEST BY A 2.5" ALUMINUM CAP STAMPED "PLS29752" IN A RANGE BOX FOR THE N 1/4 CORNER AND MONUMENTED ON THE EAST BY A 2.5" ALUMINUM CAP STAMPED "PLS12462" FOR THE NE CORNER AND IS ASSUMED TO BEAR S 89°50'1" E.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



REVISIONS	
DATE	DESCRIPTION
11/25/19	1ST SITE CD SUB.
01/29/20	2ND SITE CD SUB.



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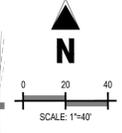
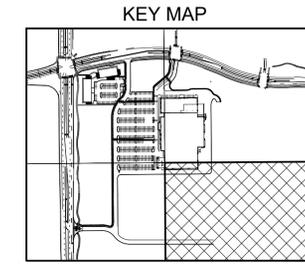
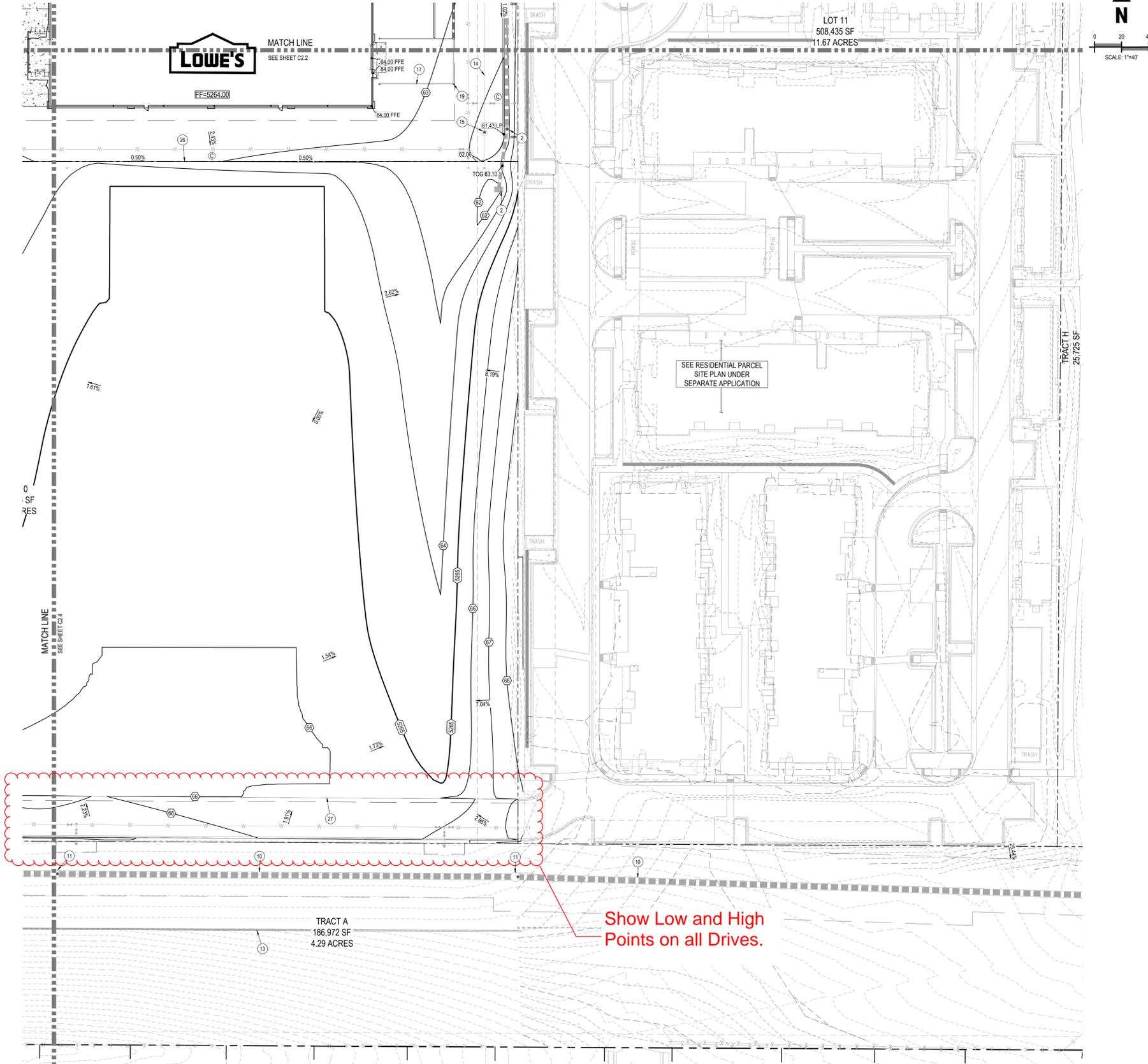


SITE PLAN CONSTRUCTION DOCUMENTS
OVERALL GRADING
LOWE'S OF:
ERIE, COLORADO
PROJECT NO.: ED00001820 | DRAWN BY: STF | CHECKED BY: BSM

CRITERIA	11.21.19
ISSUE DATE:	
PERMIT SET	
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DRAWING NUMBER:	C2.0

NINE MILE CORNER - SITE PLAN CONSTRUCTION DOCUMENTS

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE
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PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN: SP-001117-2019



GRADING LEGEND

---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
40.0	PROPOSED SPOT ELEVATION
40.5	PROPOSED TOP OF CURB ELEVATION
40.0	PROPOSED FLOWLINE ELEVATION
XXX%	PROPOSED SLOPE ARROW
FFE	FINISHED FLOOR
TOG	TOP OF GRATE
BR	BOTTOM OF RAMP
TR	TOP OF RAMP
FL	FLOWLINE
HP	HIGH POINT
LP	LOW POINT
ME	MATCH EXISTING
GB	GRADE BREAK
TOB	TOP OF BERM
CO	CURB OPENING
PC	POINT OF CURVE
FL INT	FLOWLINE INTERSECTION
PCR	POINT OF CURB RETURN
FG	FINISHED GRADE
C	CATCH CURB AND GUTTER
S	SPILL CURB AND GUTTER
STM	EXISTING STORM SEWER
STM	PROPOSED STORM SEWER (12" AND LARGER)
STM	PROPOSED STORM SEWER (LESS THAN 12")
---	CUT/FILL LIMITS
---	PROPOSED RIDGELINE

- ### GRADING NOTES
- ADD 5200 TO ALL SPOT GRADE ELEVATIONS.
 - REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO BID.
 - ALL FILL IN OLD TANK AREAS, OLD BASEMENTS, CESSPOOLS, OTHER EXCAVATIONS AND INSIDE BUILDING TO BE APPROVED BY GEOTECHNICAL ENGINEER.
 - FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT COMPANY APPROVAL.
 - ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
 - SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATION CORNERS BY A REGISTERED SURVEYOR.
 - ALL SPOT GRADES ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
 - ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED TOP SOIL TO A MINIMUM 6" DEPTH.
 - GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
 - ALL ADA PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - ALL ADA ACCESSIBLE PATHS SHALL NOT HAVE A CROSS SLOPE THAT EXCEEDS 2% OR A LONGITUDINAL SLOPE THAT EXCEEDS 5%.
 - INTERIM ON-SITE DETENTION AND WATER QUALITY MUST BE INSTALLED PRIOR TO THE DEVELOPMENT OF LOTS 3A & 3B. REFERENCE SECOND CREEK VILLAGE - PHASE 1 INFRASTRUCTURE CONSTRUCTION PLANS.

- ### SCHEDULE
- PROPOSED STORM SEWER LINE BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
 - PROPOSED STORM SEWER INLET BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
 - PROPOSED STORM SEWER MANHOLE WITH CONCRETE COLLAR BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
 - UTILITY EASEMENT
 - PROPOSED DETENTION POND BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
 - EXISTING SWALE
 - EXISTING STORM SEWER LINE
 - PROPOSED FLARED END SECTION BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
 - PROPOSED 10" TRUCK WELL DRAIN
 - PROPOSED IRRIGATION LINE
 - PROPOSED IRRIGATION MANHOLE
 - (4) - 24" CULVERT PIPES WITH HEADWALLS BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
 - PROPOSED RETAINING WALL BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
 - PROPOSED SANITARY SEWER LINE BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
 - PROPOSED SANITARY MANHOLE WITH CONCRETE COLLAR BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
 - PROPOSED TRICKLE CHANNEL BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
 - PROPOSED ROOF DRAIN
 - PROPOSED 1-FT CURB OPENING
 - PROPOSED CLEANOUT
 - PROPOSED INSTA-TEE BY OTHERS
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED SANITARY CLEANOUT
 - PROPOSED STORM SEWER LINE
 - PROPOSED STORM SEWER INLET
 - PROPOSED STORM SEWER MANHOLE WITH CONCRETE COLLAR
 - PROPOSED ROLLED ASPHALT CURB
 - PROPOSED ROLLED ASPHALT CURB (BY OTHERS)

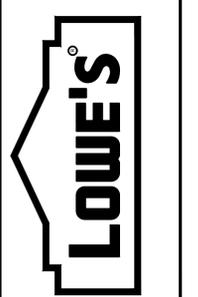
REVISIONS

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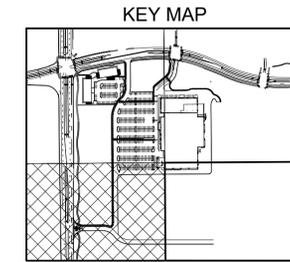
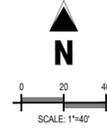
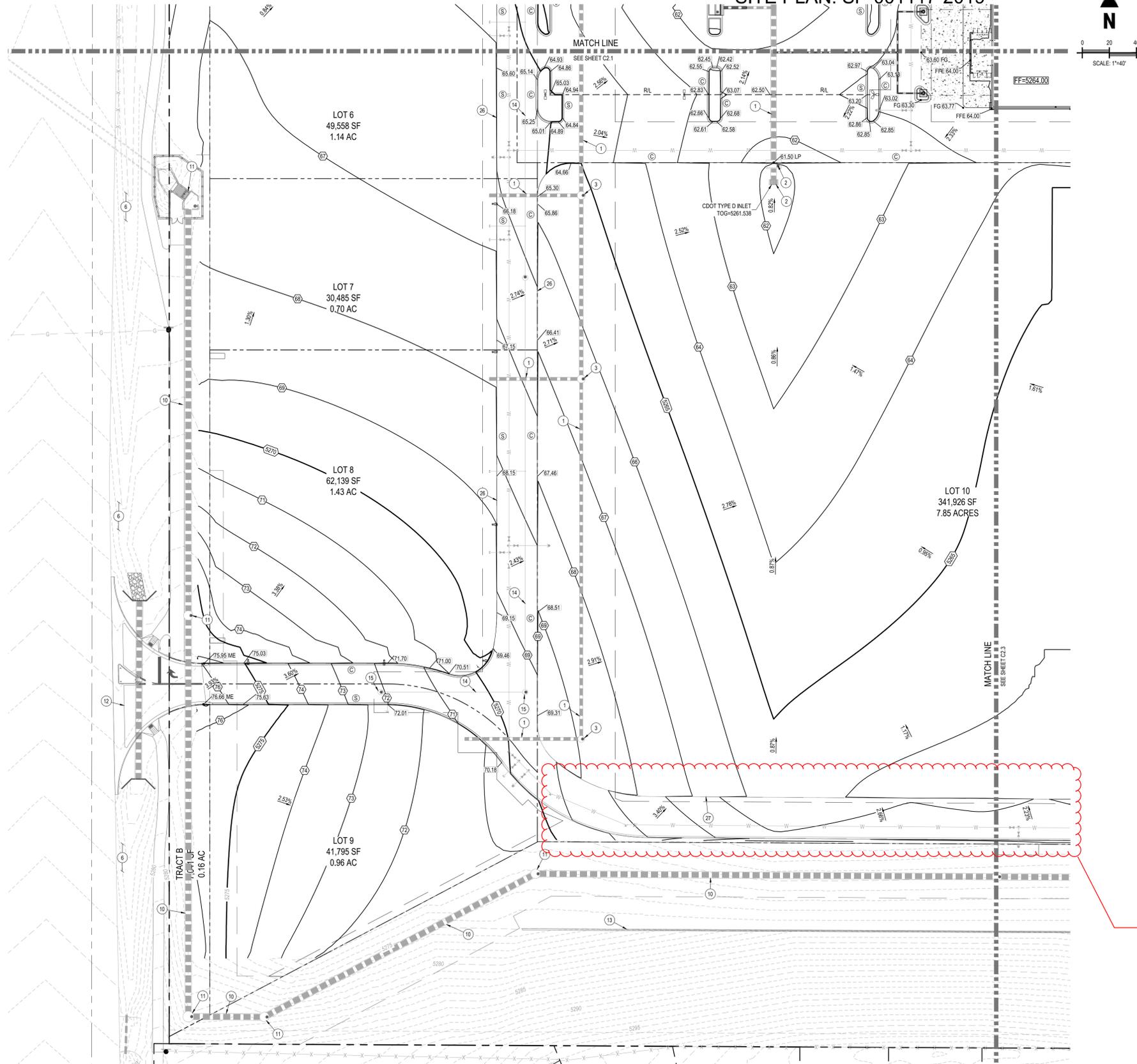
SITE PLAN CONSTRUCTION DOCUMENTS
GRADING PLAN - SE
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ERIE, COLORADO
PROJECT No.: ED00001820 | DRAWN BY: STF | CHECKED BY: BSM

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CONSTRUCTION SET	
ISSUE DATE:	
DRAWING NUMBER:	C2.3

NINE MILE CORNER - SITE PLAN CONSTRUCTION DOCUMENTS

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE
SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH
PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO

SITE PLAN: SP-001117-2019



GRADING NOTES

- ADD 5200 TO ALL SPOT GRADE ELEVATIONS.
- REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO BID.
- ALL FILL IN OLD TANK AREAS, OLD BASEMENTS, CESSPOOLS, OTHER EXCAVATIONS AND INSIDE BUILDING TO BE APPROVED BY GEOTECHNICAL ENGINEER.
- FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT COMPANY APPROVAL.
- ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
- SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATION CORNERS BY A REGISTERED SURVEYOR.
- ALL SPOT GRADES ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
- ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED TOP SOIL TO A MINIMUM 6" DEPTH.
- GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
- ALL ADA PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION.
- ALL ADA ACCESSIBLE PATHS SHALL NOT HAVE A CROSS SLOPE THAT EXCEEDS 2% OR A LONGITUDINAL SLOPE THAT EXCEEDS 5%.
- INTERIM ON-SITE DETENTION AND WATER QUALITY MUST BE INSTALLED PRIOR TO THE DEVELOPMENT OF LOTS 3A & 3B. REFERENCE SECOND CREEK VILLAGE - PHASE 1 INFRASTRUCTURE CONSTRUCTION PLANS.

Show Low and High Points on all Drives.

GRADING LEGEND

---38---	EXISTING MINOR CONTOUR
---40---	EXISTING MAJOR CONTOUR
---38---	PROPOSED MINOR CONTOUR
---40---	PROPOSED MAJOR CONTOUR
40.0	PROPOSED SPOT ELEVATION
40.5	PROPOSED TOP OF CURB ELEVATION
40.0	PROPOSED FLOWLINE ELEVATION
XXX%	PROPOSED SLOPE ARROW
FFE	FINISHED FLOOR
TOG	TOP OF GRATE
BR	BOTTOM OF RAMP
TR	TOP OF RAMP
FL	FLOWLINE
HP	HIGH POINT
LP	LOW POINT
ME	MATCH EXISTING
GB	GRADE BREAK
TOB	TOP OF BERM
CO	CURB OPENING
PC	POINT OF CURVE
FL INT	FLOWLINE INTERSECTION
PCR	POINT OF CURB RETURN
FG	FINISHED GRADE
(C)	CATCH CURB AND GUTTER
(S)	SPILL CURB AND GUTTER
---STM---	EXISTING STORM SEWER
---STM---	PROPOSED STORM SEWER (12" AND LARGER)
---STM---	PROPOSED STORM SEWER (LESS THAN 12")
---	CUT/FILL LIMITS
---	PROPOSED RIDGELINE

SCHEDULE

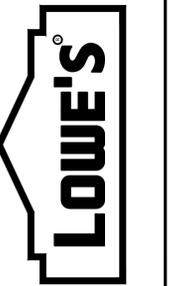
- PROPOSED STORM SEWER LINE BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- PROPOSED STORM SEWER INLET BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- PROPOSED STORM SEWER MANHOLE WITH CONCRETE COLLAR BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- UTILITY EASEMENT
- PROPOSED DETENTION POND BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- EXISTING SWALE
- EXISTING STORM SEWER LINE
- PROPOSED FLARED END SECTION BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- PROPOSED 10" TRUCK WELL DRAIN
- PROPOSED IRRIGATION LINE
- PROPOSED IRRIGATION MANHOLE
- (4) - 24" CULVERT PIPES WITH HEADWALLS BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- PROPOSED RETAINING WALL BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- PROPOSED SANITARY SEWER LINE BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- PROPOSED SANITARY MANHOLE WITH CONCRETE COLLAR BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- PROPOSED TRICKLE CHANNEL BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- PROPOSED ROOF DRAIN
- PROPOSED 1-FT CURB OPENING
- PROPOSED CLEANOUT
- PROPOSED INSTA-TEE BY OTHERS
- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY CLEANOUT
- PROPOSED STORM SEWER LINE
- PROPOSED STORM SEWER INLET
- PROPOSED STORM SEWER MANHOLE WITH CONCRETE COLLAR
- PROPOSED ROLLED ASPHALT CURB
- PROPOSED ROLLED ASPHALT CURB (BY OTHERS)

REVISIONS	
DATE	DESCRIPTION
11/25/19	1ST SITE CD SUB.
01/29/20	2ND SITE CD SUB.



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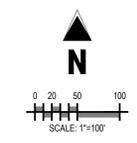
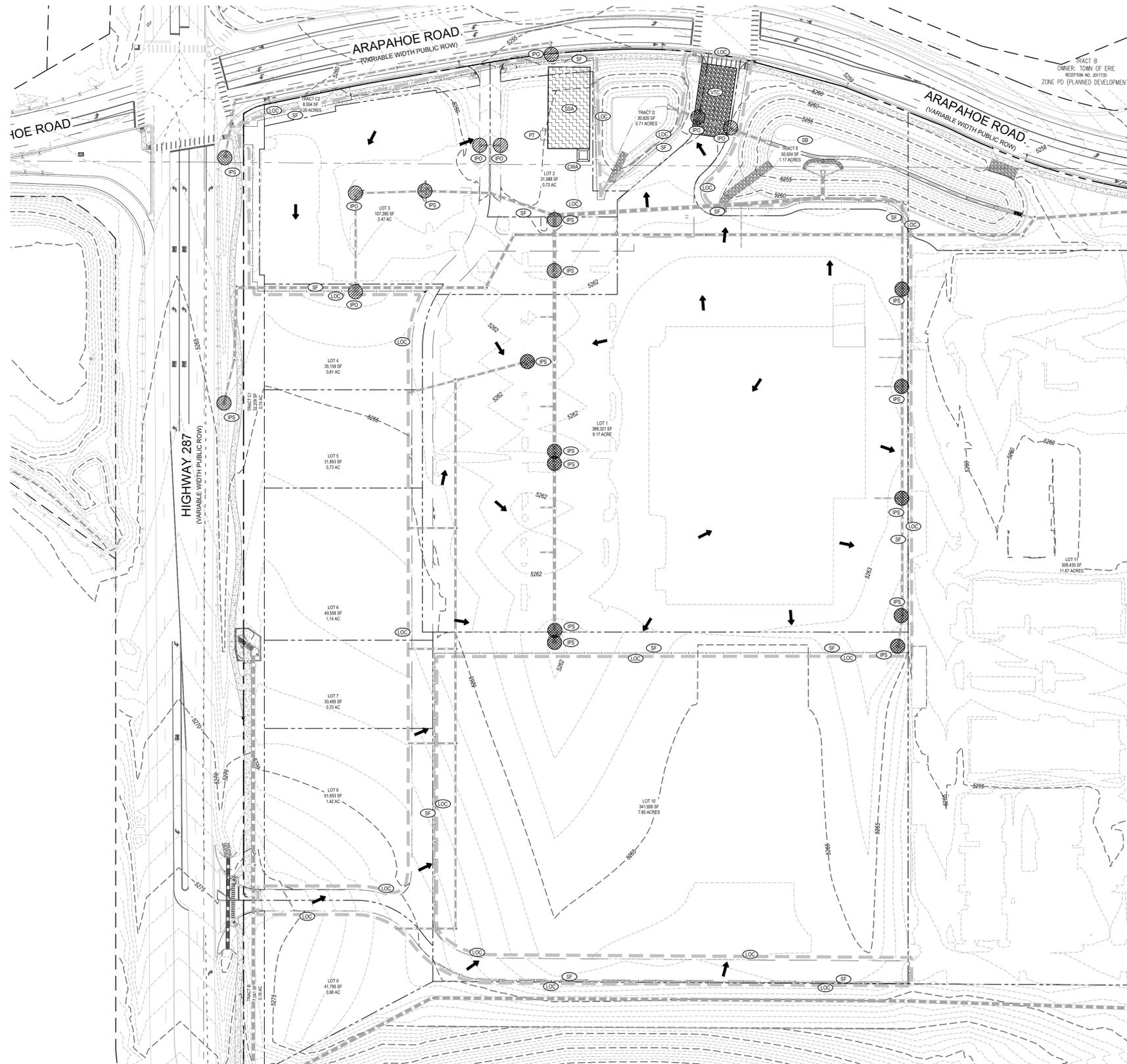


SITE PLAN CONSTRUCTION DOCUMENTS
GRADING PLAN - SW
LOWE'S OF:
ERIE, COLORADO
PROJECT No.: ED00001820 | DRAWN BY: STF | CHECKED BY: BSM

CRITERIA	11.21.19
ISSUE DATE:	
PERMIT SET	
ISSUE DATE:	
CONSTRUCTION SET	
ISSUE DATE:	
DRAWING NUMBER:	C2.4

NINE MILE CORNER - SITE PLAN CONSTRUCTION DOCUMENTS

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE
SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH
PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN: SP-001117-2019



SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY LINE
- EASEMENT BOUNDARY LINE
- EXISTING TO REMAIN
- PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE COVER
- PROPOSED INLET

EROSION CONTROL LEGEND

- LOC --- LIMITS OF CONSTRUCTION
- 5639 --- EXISTING MINOR CONTOUR
- 5640 --- EXISTING MAJOR CONTOUR
- STS --- EXISTING STORM SEWER
- STS --- PROPOSED STORM SEWER
- FLOW ARROW
- VTC --- VEHICLE TRACKING CONTROL CONSTRUCTION ENTRANCE
- DD --- DIVERSION DITCH/DIKE
- CS --- CURB SOCK
- SSA --- CONTRACTOR STAGING AREA (APPROXIMATE)
- ECB --- EROSION CONTROL BLANKET (APPROXIMATE)
- PO --- ON GRADE INLET PROTECTION
- IP --- SUMP INLET PROTECTION
- OP --- OUTLET PROTECTION
- SF --- SILT FENCE
- CWA --- CONCRETE WASH OUT AREA
- CF --- CONSTRUCTION FENCE
- CD --- CHECK DAM
- PT --- PORTABLE TOILET
- SM --- SEEDING AND MULCHING
- SR --- SURFACE ROUGHENING
- SB --- SEDIMENT BASIN

TOTAL DISTURBED AREA = 15.24 AC

CONTRACTOR IS RESPONSIBLE FOR PERMANENTLY STABILIZING ALL ON- AND OFF-SITE AREAS DISTURBED DURING CONSTRUCTION, WHETHER THESE AREAS ARE SHOWN ON THE PLANS OR NOT, INCLUDING MAINTENANCE OF ALL BMP'S UNTIL A NOTICE OF INACTIVATION HAS BEEN ACCEPTED BY THE STATE.

NOTE: CONTRACTOR SHALL INSTALL SILT FENCE AROUND ALL OFF-SITE DISTURBED AREAS THAT ARE A RESULT OF THE CONSTRUCTION ACTIVITIES OF THIS PROJECT (INCLUDING BUT NOT LIMITED TO WATER LINE CONSTRUCTION). IN CASES WHERE TRENCHES RUN LONGITUDINAL WITH THE GRADE STRAW BALE BARRIERS SHALL BE USED.

BASIS OF BEARING

BASIS OF BEARING: BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 34 AND MONUMENTED ON THE WEST BY A 2.5" ALUMINUM CAP STAMPED "PLS29752" IN A RANGE BOX FOR THE N 1/4 CORNER, AND MONUMENTED ON THE EAST BY A 2.5" ALUMINUM CAP STAMPED "PLS12460" FOR THE NE CORNER AND IS ASSUMED TO BEAR S 89° 50' 11" E.

BENCHMARK

ELEVATIONS SHOWN ARE NAVD 88 AND ARE DERIVED VIA GPS OBSERVATIONS FROM THE LEICA SMARTNET RTK GPS NETWORK AND GEOID 12B.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

SEQUENCE OF CONSTRUCTION

1	INSTALL CONTROL MEASURES
2	CLEAR AND GRUB
3	ROUGH OVERLOT GRADING
4	GRADE BUILDING PAD (REFERENCE ONSITE CONSTRUCTION DOCUMENTS FOR DETAILS)
5	TRENCH AND INSTALL UNDERGROUND UTILITIES (SANITARY, STORM, AND WATER)
6	COMMENCE VERTICAL CONSTRUCTION (REFERENCE ONSITE CONSTRUCTION DOCUMENTS FOR DETAILS)
7	FINE GRADE REMAINDER OF THE SITE
8	SEED NATIVE AREAS AND INSTALL PERMANENT LANDSCAPING
9	REMOVE FINAL CONTROL MEASURES UPON ESTABLISHMENT OF VEGETATION

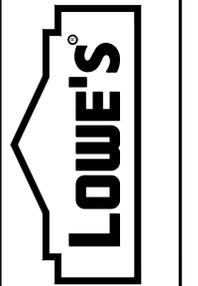


REVISIONS	
DATE	DESCRIPTION
11/25/19	1ST SITE CD SUB.
01/29/20	2ND SITE CD SUB.



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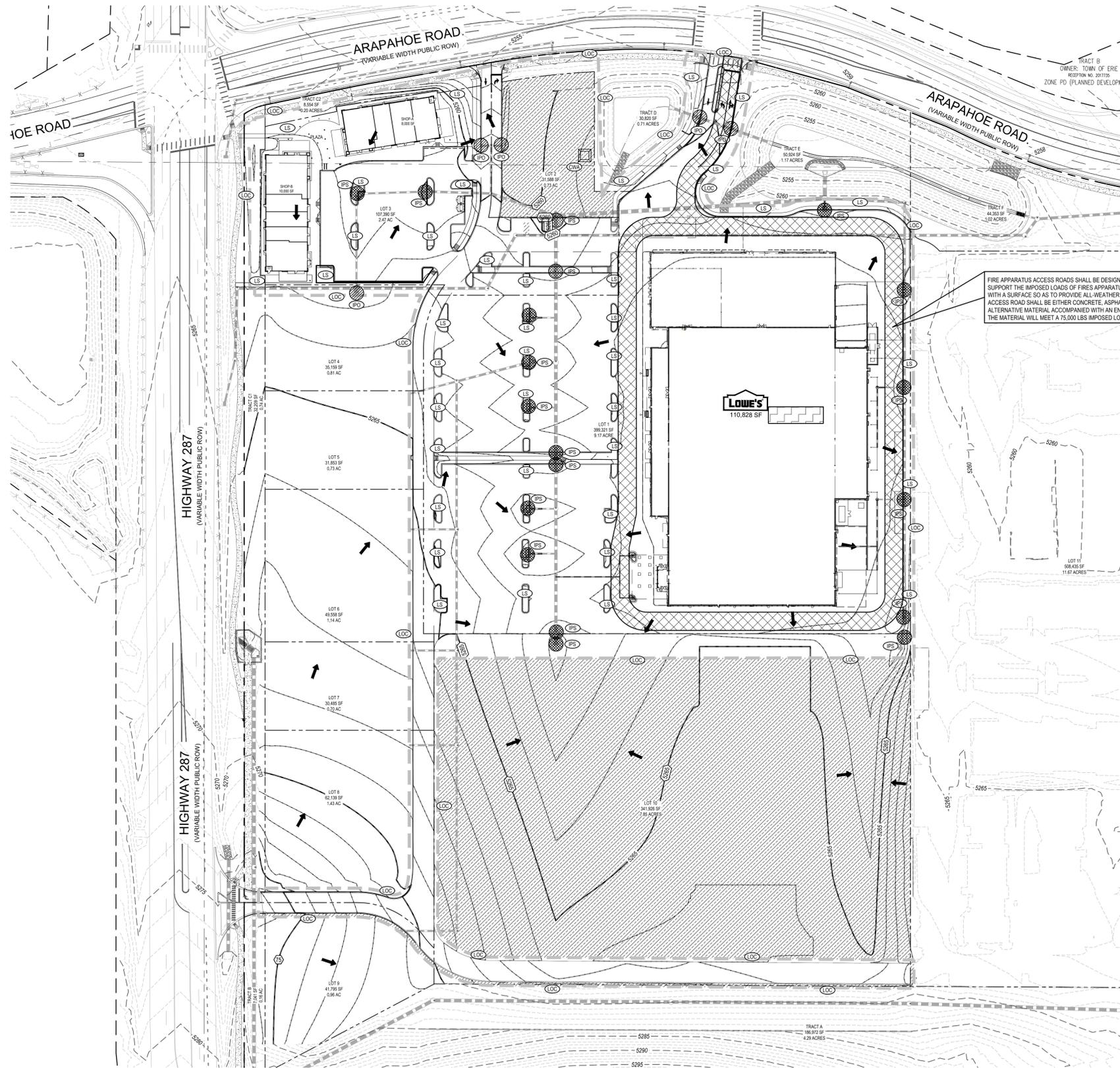
SITE PLAN CONSTRUCTION DOCUMENTS
EROSION CONTROL PLAN - INITIAL
LOWE'S OF:
ERIE, COLORADO
PROJECT No.: ED00001820 | DRAWN BY: NCH | CHECKED BY: BSM

CRITERIA	11.21.19
ISSUE DATE:	
PERMIT SET	
ISSUE DATE:	
CONSTRUCTION SET	
ISSUE DATE:	
DRAWING NUMBER:	C3.0

NINE MILE CORNER - SITE PLAN CONSTRUCTION DOCUMENTS

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE
SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH
PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN: SP-001117-2019

REVISIONS	
DATE	DESCRIPTION
11/25/19	1ST SITE CD SUB.
01/29/20	2ND SITE CD SUB.



FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRES APPARATUS AND SHALL BE PROVIDED WITH A SURFACE SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. ACCESS ROAD SHALL BE EITHER CONCRETE, ASPHALT, OR OTHER APPROVED ALTERNATIVE MATERIAL ACCOMPANIED WITH AN ENGINEER'S STAMP STATING THE MATERIAL WILL MEET A 75,000 LBS IMPOSED LOAD.

TOTAL DISTURBED AREA = 15.24 AC

CONTRACTOR IS RESPONSIBLE FOR PERMANENTLY STABILIZING ALL ON- AND OFF-SITE AREAS DISTURBED DURING CONSTRUCTION, WHETHER THESE AREAS ARE SHOWN ON THE PLANS OR NOT, INCLUDING MAINTENANCE OF ALL BMP'S UNTIL A NOTICE OF INACTIVATION HAS BEEN ACCEPTED BY THE STATE.

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BENCHMARK
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SITE LEGEND

- PROPERTY BOUNDARY LINE
- - - ADJACENT PROPERTY LINE
- - - EASEMENT BOUNDARY LINE
- - - EXISTING TO REMAIN
- PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE COVER
- PROPOSED INLET

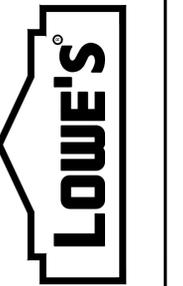
EROSION CONTROL LEGEND

- LOC LIMITS OF CONSTRUCTION
- 5639 EXISTING MINOR CONTOUR
- 5640 EXISTING MAJOR CONTOUR
- STS EXISTING STORM SEWER
- STS PROPOSED STORM SEWER
- FLOW ARROW
- VTC VEHICLE TRACKING CONTROL CONSTRUCTION ENTRANCE
- DD DIVERSION DITCH/DIKE
- CS CURB SOCK
- SSA CONTRACTOR STAGING AREA (APPROXIMATE)
- ECB EROSION CONTROL BLANKET (APPROXIMATE)
- OP ON GRADE INLET PROTECTION
- IP SUMP INLET PROTECTION
- OP OUTLET PROTECTION
- SF SILT FENCE
- CWA CONCRETE WASH OUT AREA
- CF CONSTRUCTION FENCE
- CD CHECK DAM
- PT PORTABLE TOILET
- SM SEEDING AND MULCHING
- SR SURFACE ROUGHENING
- SB SEDIMENT BASIN



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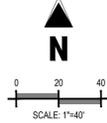
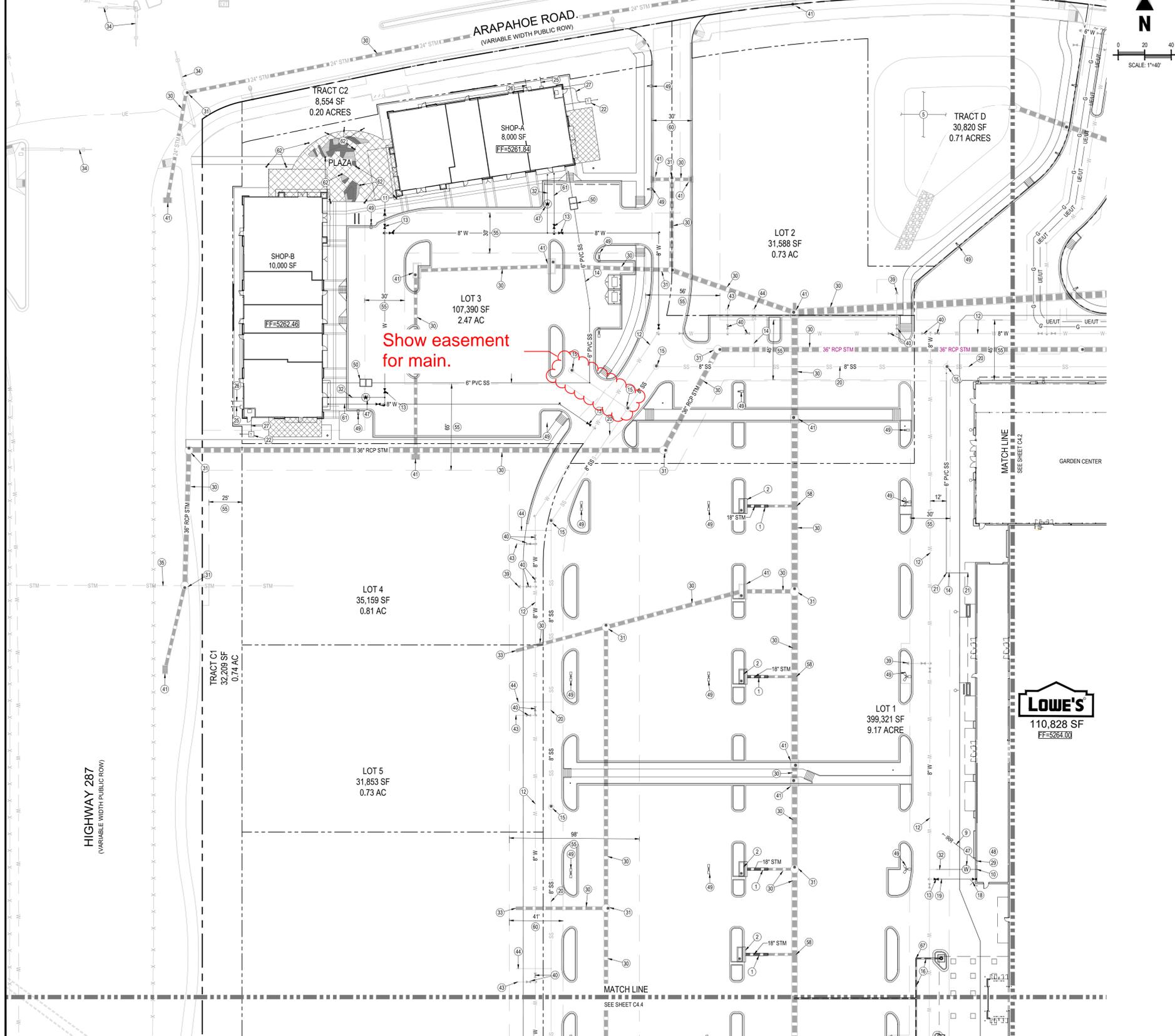
SITE PLAN CONSTRUCTION DOCUMENTS
EROSION CONTROL PLAN - INTERIM AND FINAL
LOWE'S OF:
ERIE, COLORADO
PROJECT No.: ED00001820 | DRAWN BY: NCH | CHECKED BY: BSM

CRITERIA
ISSUE DATE: 11.21.19
PERMIT SET
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CONSTRUCTION SET
ISSUE DATE:
DRAWING NUMBER:
C3.1



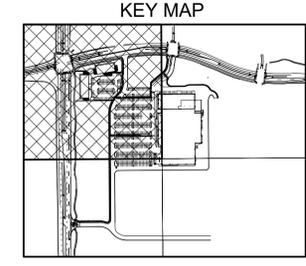
NINE MILE CORNER - SITE PLAN CONSTRUCTION DOCUMENTS

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE
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PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN: SP-001117-2019



SCHEDULE

- 1 PROPOSED HDPE/PVC STORM SEWER LINE
- 2 PROPOSED STORM SEWER INLET
- 3 PROPOSED STORM SEWER MANHOLE WITH CONCRETE COLLAR
- 4 PROPOSED STORM SEWER F.E.S.
- 5 PROPOSED DRAINAGE DETENTION POND BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 6 PROPOSED TRICKLE CHANNEL
- 7 PROPOSED 10-INCH HDPE/PVC STORM DRAIN FOR FRONT & REAR GARDEN CENTER CANOPIES
- 8 PROPOSED STORM SEWER OUTLET STRUCTURE BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 9 PROPOSED 2-INCH IRRIGATION WATER SERVICE LINE
- 10 PROPOSED SITE LANDSCAPE IRRIGATION SYSTEM CONTROLLER
- 11 PROPOSED FIRE HYDRANT
- 12 PROPOSED WATER MAIN BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 13 PROPOSED GATE VALVE
- 14 PROPOSED 6-INCH PVC SANITARY SEWER LINE
- 15 PROPOSED SANITARY SEWER MANHOLE WITH CONCRETE COLLAR BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 16 PROPOSED 10-INCH HDPE/PVC STORM DRAIN FOR DOWNSPOUTS
- 17 PROPOSED 12-INCH HDPE/PVC STORM DRAIN FOR DOWNSPOUTS
- 18 PROPOSED FIRE DEPARTMENT CONNECTION
- 19 PROPOSED 12-INCH D.I.P. FIRE LINE
- 20 PROPOSED SANITARY SEWER MAIN BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 21 PROPOSED SANITARY SEWER CLEANOUT
- 22 PROPOSED PAD MOUNTED TRANSFORMER
- 23 PROPOSED ELECTRIC GENERATOR
- 24 PROPOSED GAS METER WITH BOLLARD PROTECTION
- 25 PROPOSED GAS SERVICE LINE CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER
- 26 PROPOSED (2) 4-INCH PVC TELEPHONE CONDUITS
- 27 PROPOSED UNDERGROUND ELECTRIC LINE CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER
- 28 PROPOSED (1) 4-INCH PVC IRRIGATION CONTROL CONDUIT
- 29 PROPOSED (1) 1-INCH PVC TAPER SWITCH CONDUIT
- 30 PROPOSED STORM SEWER LINE BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 31 PROPOSED STORM SEWER MANHOLE BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 32 PROPOSED 2-INCH WATER SERVICE LINE
- 33 PROPOSED STORM SEWER STUB BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 34 EXISTING TRAFFIC SIGNAL TO REMAIN
- 35 EXISTING STORM SEWER TO REMAIN
- 36 EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN
- 37 EXISTING GAS LINE TO REMAIN
- 38 EXISTING WATER MAIN TO REMAIN
- 39 PROPOSED FIRE HYDRANT ASSEMBLY BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 40 PROPOSED WATER VALVE BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 41 PROPOSED STORM SEWER INLET BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 42 PROPOSED STORM SEWER F.E.S. BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 43 PROPOSED WATER STUB WITH IN-LINE PLUG BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 44 PROPOSED SANITARY SEWER STUB WITH IN-LINE PLUG BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 45 EXISTING WATER VALVE TO REMAIN
- 46 EXISTING SITE LIGHT TO REMAIN
- 47 PROPOSED 2" DOMESTIC WATER METER VAULT
- 48 PROPOSED 1 1/2" IRRIGATION WATER METER WITH CONNECTION FOR GARDEN CENTER IN BUILDING
- 49 PROPOSED SITE LIGHT (REFERENCE PHOTOMETRIC PLANS)
- 50 PROPOSED GREASE INTERCEPTOR
- 51 PROPOSED IRRIGATION BY-PASS LINE BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 52 PROPOSED IRRIGATION BY-PASS MANHOLE BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 53 PROPOSED CULVERT BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 54 PROPOSED TRICKLE CHANNEL BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 55 PROPOSED UTILITY EASEMENT PER PLAT
- 56 PROPOSED IRRIGATION BY-PASS LINE INLET STRUCTURE AND JUNCTION BOX BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 57 PROPOSED CLEANOUT BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 58 PROPOSED INSTA-TEE BY OTHERS (REFERENCE INFRASTRUCTURE CONSTRUCTION DOCUMENTS)
- 59 PROPOSED 4-INCH PVC SANITARY LINE
- 60 PROPOSED ACCESS EASEMENT PER PLAT
- 61 PROPOSED 6-INCH D.I.P. FIRE LINE
- 62 PROPOSED BOLLARD LIGHT (REFERENCE PHOTOMETRIC PLANS)
- 63 PROPOSED TRUCK WELL TRENCH DRAIN (REFERENCE ARCHITECTURAL PLANS)
- 64 PROPOSED TELEPHONE SERVICE TO BUILDING
- 65 PROPOSED ELECTRICAL SERVICE TO TRANSFORMER
- 66 PROPOSED 6x8 WYE
- 67 PROPOSED CLEANOUT
- 68 PROPOSED INSERTA-TEE



LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- EASEMENT BOUNDARY LINE
- SECTION LINE
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- SAWCUT LINE
- W --- PROPOSED WATER LINE
- W --- WATER LINE BY OTHERS
- W --- EXISTING WATER LINE
- SS --- PROPOSED SANITARY SEWER
- SS --- SANITARY SEWER BY OTHERS
- SS --- EXISTING SANITARY SEWER
- STM --- PROPOSED STORM SEWER
- STM --- PROPOSED STORM SEWER (LESS THAN 12')
- STM --- STORM SEWER BY OTHERS
- STM --- STORM SEWER BY OTHERS (LESS THAN 12')
- STM --- EXISTING STORM SEWER
- UG --- PROPOSED GAS LINE
- UG --- EXISTING GAS LINE
- UE --- PROPOSED UNDERGROUND ELECTRICAL
- UE --- EXISTING UNDERGROUND ELECTRICAL
- OHE --- PROPOSED OVERHEAD ELECTRICAL
- OHE --- EXISTING OVERHEAD ELECTRICAL
- UT --- PROPOSED UNDERGROUND TELEPHONE
- UT --- EXISTING UNDERGROUND TELEPHONE
- FO --- PROPOSED FIBER OPTIC LINE
- FO --- EXISTING FIBER OPTIC LINE
- E --- EXISTING ELECTRICAL BOX
- E --- EXISTING ELECTRICAL METER RISER
- E --- EXISTING ELECTRICAL MANHOLE
- E --- EXISTING ELECTRICAL CABINET
- E --- EXISTING ELECTRICAL VAULT
- E --- EXISTING LIGHT POLE
- E --- EXISTING WATER VALVE
- E --- PROPOSED WATER VALVE
- E --- WATER VALVE BY OTHERS
- E --- EXISTING FIRE HYDRANT
- E --- PROPOSED FIRE HYDRANT
- E --- EXISTING WATER METER
- E --- EXISTING SANITARY SEWER MANHOLE
- E --- EXISTING SANITARY SEWER CLEANOUT
- E --- EXISTING GAS METER
- E --- EXISTING TELEPHONE MANHOLE
- E --- EXISTING TELEPHONE RISER
- E --- EXISTING IRRIGATION BOX
- E --- EXISTING STORM SEWER INLET
- E --- PROPOSED STORM SEWER INLET
- E --- STORM SEWER INLET BY OTHERS
- E --- PROPOSED MANHOLE
- E --- MANHOLE BY OTHERS
- E --- PROPOSED WATER METER
- E --- PROPOSED TRANSFORMER

FIRE LINE NOTES

A FIRE LINE CONNECTION IS TO BE STUBBED INTO THE SPRINKLER ROOM AND 1-FT AFF WILL BE INCLUDED.

REVISIONS	
DATE	DESCRIPTION
11/25/19	1ST SITE CD SUB.
01/29/20	2ND SITE CD SUB.

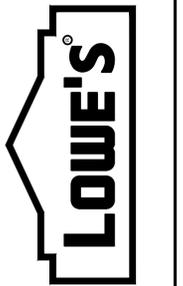
Evergreen
Development | Services | Investments

Galloway
1825 E. 17th Ave., Suite 202
Boulder, CO 80501
303.440.8888

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1000 Lowe's Boulevard
Mooresville, NC 28117

704.758.1000 (V)

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SITE PLAN CONSTRUCTION DOCUMENTS
UTILITY PLAN - NW
LOWE'S OF:
ERIE, COLORADO

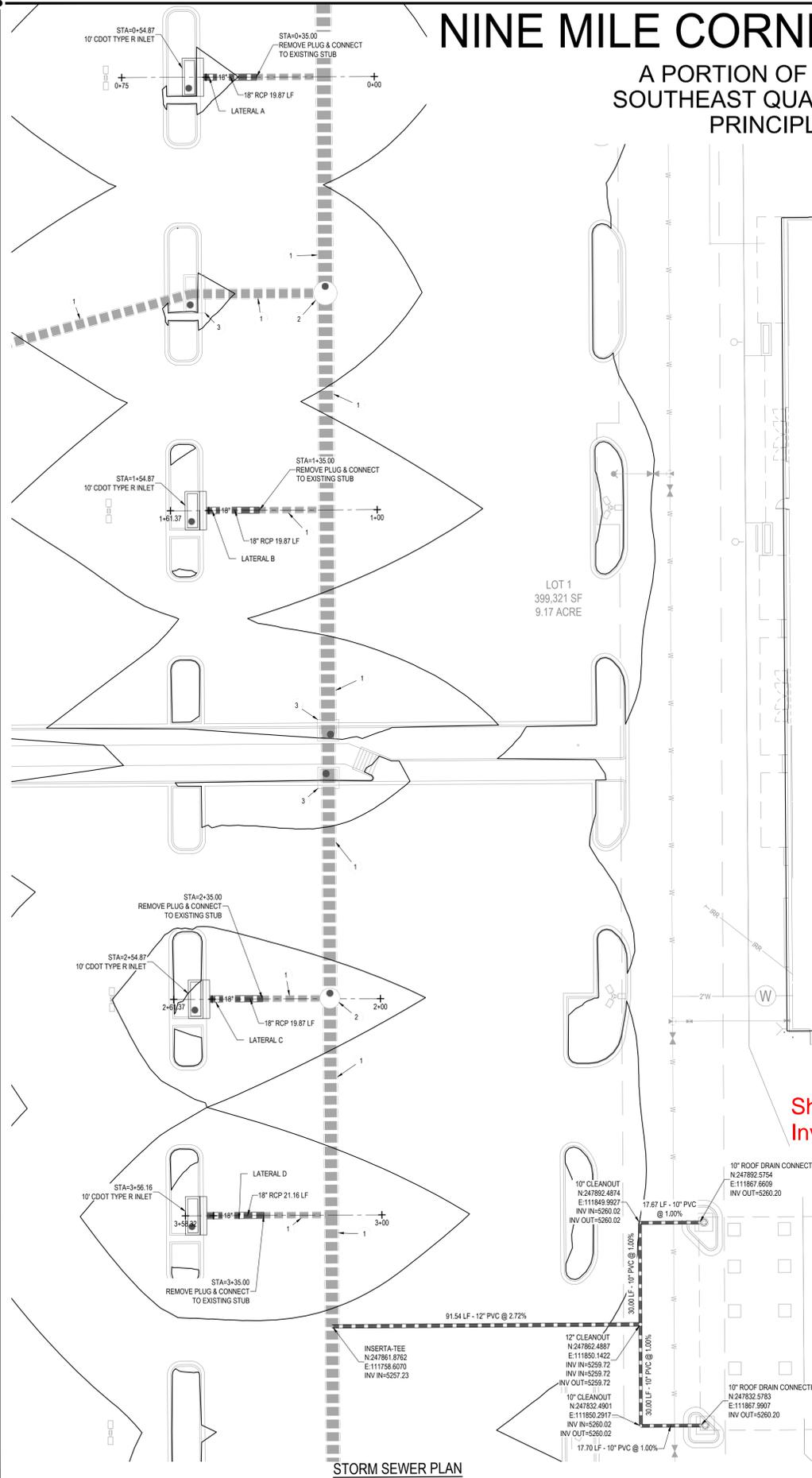
CRITERIA	11.21.19
ISSUE DATE:	
PERMIT SET	
ISSUE DATE:	
CONSTRUCTION SET	
ISSUE DATE:	
DRAWING NUMBER:	C4.1

PROJECT No: ED00018120 | DRAWN BY: RDG | CHECKED BY: BSM

NINE MILE CORNER - SITE PLAN CONSTRUCTION DOCUMENTS

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
 SITE PLAN: SP-001117-2019

Show Vicinity Map.
 Consistent labeling
 between MS and SP
 for laterals.



UTILITY LEGEND

---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPERTY BOUNDARY LINE
---	PROPOSED LOT LINE
---	ADJACENT PROPERTY BOUNDARY LINE
---	EASEMENT BOUNDARY LINE
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER
---	EXISTING STORM SEWER
---	EXISTING UNDERGROUND GAS LINE
---	EXISTING UNDERGROUND ELECTRICAL
---	EXISTING UNDERGROUND TELEPHONE
---	EXISTING FIBER OPTIC LINE
---	STORM SEWER BY OTHERS (GREATER THAN 12")
---	STORM SEWER BY OTHERS (GREATER THAN 12")
---	PROPOSED WATER LINE
---	PROPOSED SANITARY SEWER
---	PROPOSED STORM SEWER (GREATER THAN 12")
---	PROPOSED UNDERGROUND GAS LINE
---	PROPOSED UNDERGROUND ELECTRICAL
---	PROPOSED UNDERGROUND TELEPHONE
---	PROPOSED GUARDRAIL
---	EXISTING WATER VALVE
---	EXISTING MANHOLE
---	PROPOSED WATER METER
---	PROPOSED WATER VALVE
---	PROPOSED FIRE HYDRANT
---	PROPOSED MANHOLE
---	UTILITY PEDESTAL
---	PROPOSED ELECTRICAL TRANSFORMER
---	PROPOSED INLET

SCHEDULE

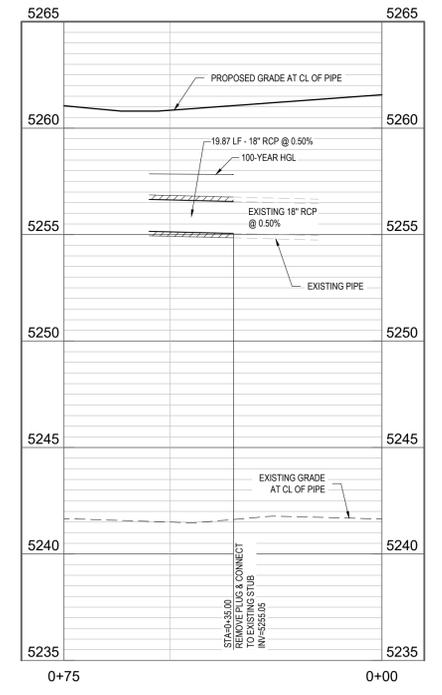
1	STORM SEWER BY OTHERS
2	STORM SEWER MANHOLE BY OTHERS
3	STORM SEWER INLET BY OTHERS

BENCHMARK
 ELEVATIONS SHOWN ARE NAVD 88 AND ARE DERIVED VIA GPS OBSERVATIONS FROM THE LEICA SMARTNET RTK GPS NETWORK AND GEOID 12B.

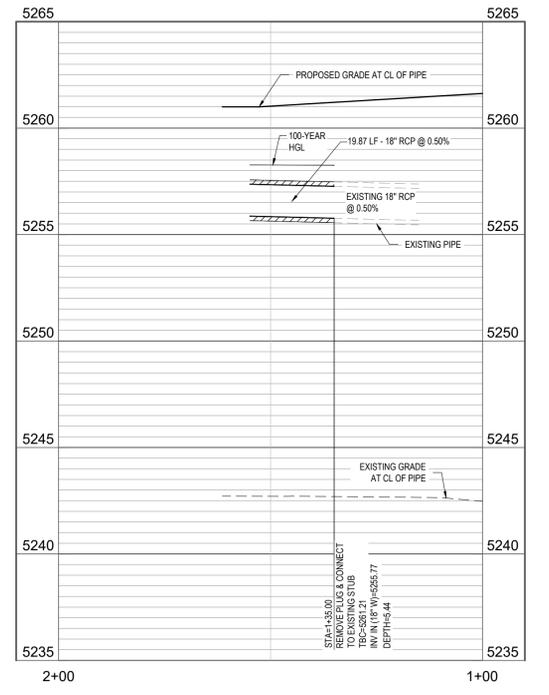
BASIS OF BEARING
 BASIS OF BEARING: BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 34 AND MONUMENTED ON THE WEST BY A 2.5" ALUMINUM CAP STAMPED "PLS2952" IN A RANGE BOX FOR THE N 1/4 CORNER AND MONUMENTED ON THE EAST BY A 2.5" ALUMINUM CAP STAMPED "PLS12405" FOR THE NE CORNER AND IS ASSUMED TO BEAR S 89°58'01" E.

CAUTION - NOTICE TO CONTRACTOR

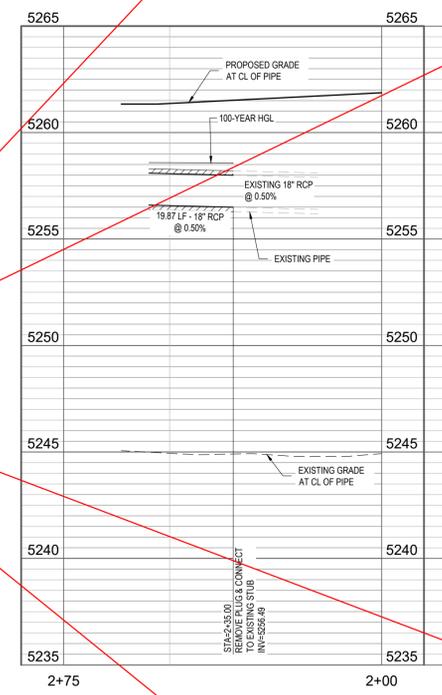
- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
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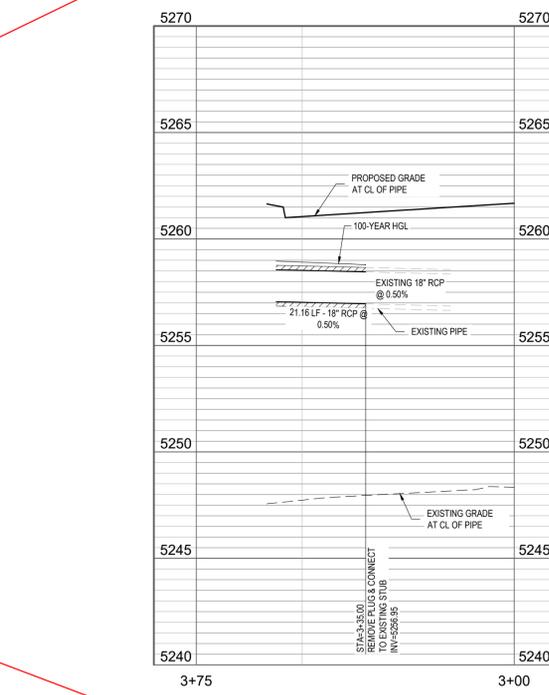
STORM SEWER PROFILE LATERAL A: STA 0+00.00 TO STA 0+57.20
 SCALE: 1"=20' HORIZ, 1"=4' VERT



STORM SEWER PROFILE LATERAL B: STA 1+00.00 TO STA 1+57.20
 SCALE: 1"=20' HORIZ, 1"=4' VERT



STORM SEWER PROFILE LATERAL C: STA 2+00.00 TO STA 2+57.20
 SCALE: 1"=20' HORIZ, 1"=4' VERT



STORM SEWER PROFILE LATERAL D: STA 3+00.00 TO STA 3+56.16
 SCALE: 1"=20' HORIZ, 1"=4' VERT

STORM SEWER PLAN
 SCALE: 1"=20'

REVISIONS

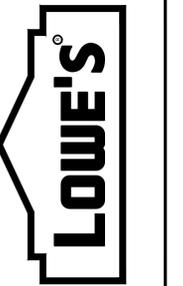
DATE	DESCRIPTION
11/25/19	1ST SITE CD SUB.
01/29/20	2ND SITE CD SUB.



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SITE PLAN CONSTRUCTION DOCUMENTS
 STORM SEWER PLAN & PROFILE
 LOWE'S OF:
 ERIE, COLORADO
 PROJECT No.: ED00001820 | DRAWN BY: ROG | CHECKED BY: BSM

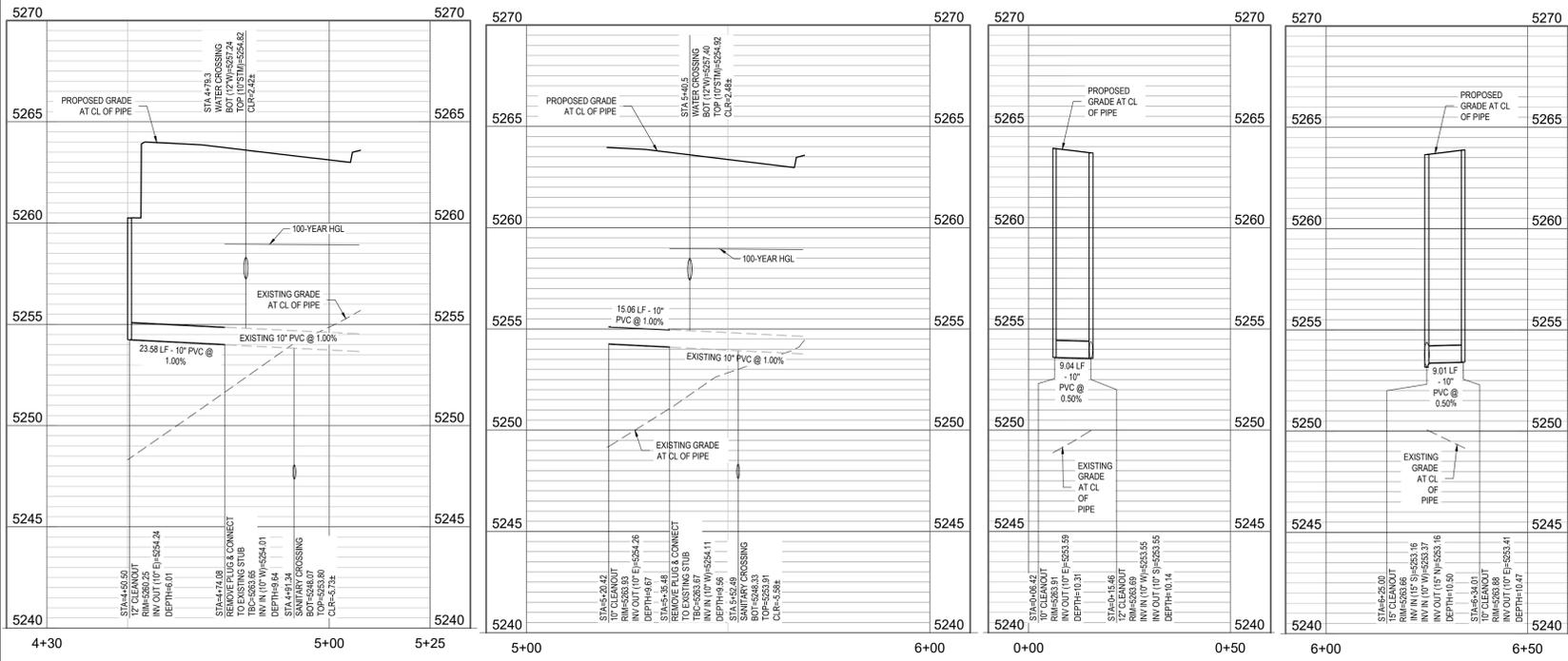
CRITERIA

ISSUE DATE:	11.21.19
PERMIT SET	
ISSUE DATE:	
CONSTRUCTION SET	
ISSUE DATE:	
DRAWING NUMBER:	C5.1

NINE MILE CORNER - SITE PLAN CONSTRUCTION DOCUMENTS

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN: SP-001117-2019

DATE	DESCRIPTION
11/25/19	1ST SITE CD SUB.
01/29/20	2ND SITE CD SUB.



STORM SEWER PROFILE LATERAL AA: STA 4+50.50 TO STA 5+07.75
SCALE: 1"=20' HORIZ, 1"=4' VERT

STORM SEWER PROFILE LATERAL BB: STA 5+20.42 TO STA 5+68.92
SCALE: 1"=20' HORIZ, 1"=4' VERT

STORM SEWER PROFILE LATERAL CC: STA 4+50.50 TO STA 5+07.75
SCALE: 1"=20' HORIZ, 1"=4' VERT

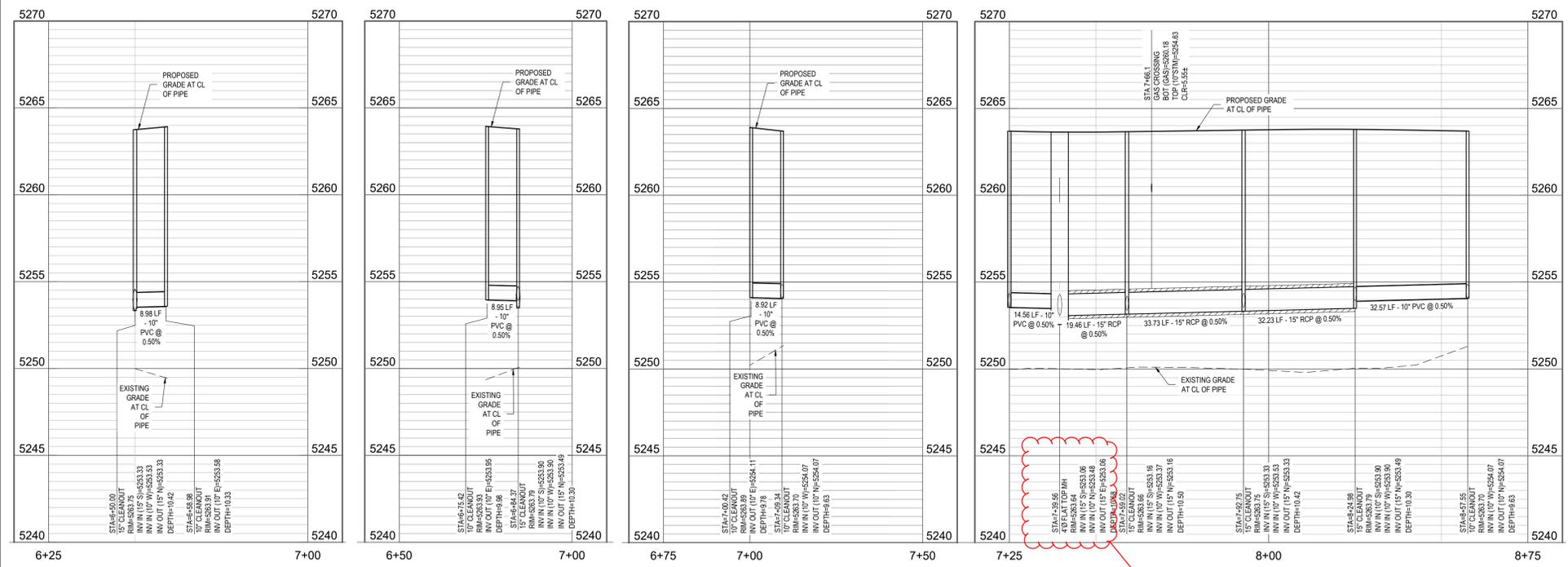
STORM SEWER PROFILE LATERAL DD: STA 6+25.00 TO STA 6+34.01
SCALE: 1"=20' HORIZ, 1"=4' VERT

UTILITY LEGEND

---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED PROPERTY BOUNDARY LINE
---	PROPOSED LOT LINE
---	ADJACENT PROPERTY BOUNDARY LINE
---	EASEMENT BOUNDARY LINE
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER
---	EXISTING STORM SEWER
---	EXISTING UNDERGROUND GAS LINE
---	EXISTING UNDERGROUND ELECTRICAL
---	EXISTING UNDERGROUND TELEPHONE
---	EXISTING FIBER OPTIC LINE
---	STORM SEWER BY OTHERS (GREATER THAN 12")
---	STORM SEWER BY OTHERS (GREATER THAN 12")
---	PROPOSED WATER LINE
---	PROPOSED SANITARY SEWER
---	PROPOSED STORM SEWER (GREATER THAN 12")
---	PROPOSED UNDERGROUND GAS LINE
---	PROPOSED UNDERGROUND ELECTRICAL
---	PROPOSED UNDERGROUND TELEPHONE
---	PROPOSED GUARDRAIL
---	EXISTING WATER VALVE
---	EXISTING MANHOLE
---	PROPOSED WATER METER
---	PROPOSED WATER VALVE
---	PROPOSED FIRE HYDRANT
---	PROPOSED MANHOLE
---	UTILITY PEDESTAL
---	PROPOSED ELECTRICAL TRANSFORMER
---	PROPOSED INLET

SCHEDULE

1	STORM SEWER BY OTHERS
2	STORM SEWER MANHOLE BY OTHERS
3	STORM SEWER INLET BY OTHERS



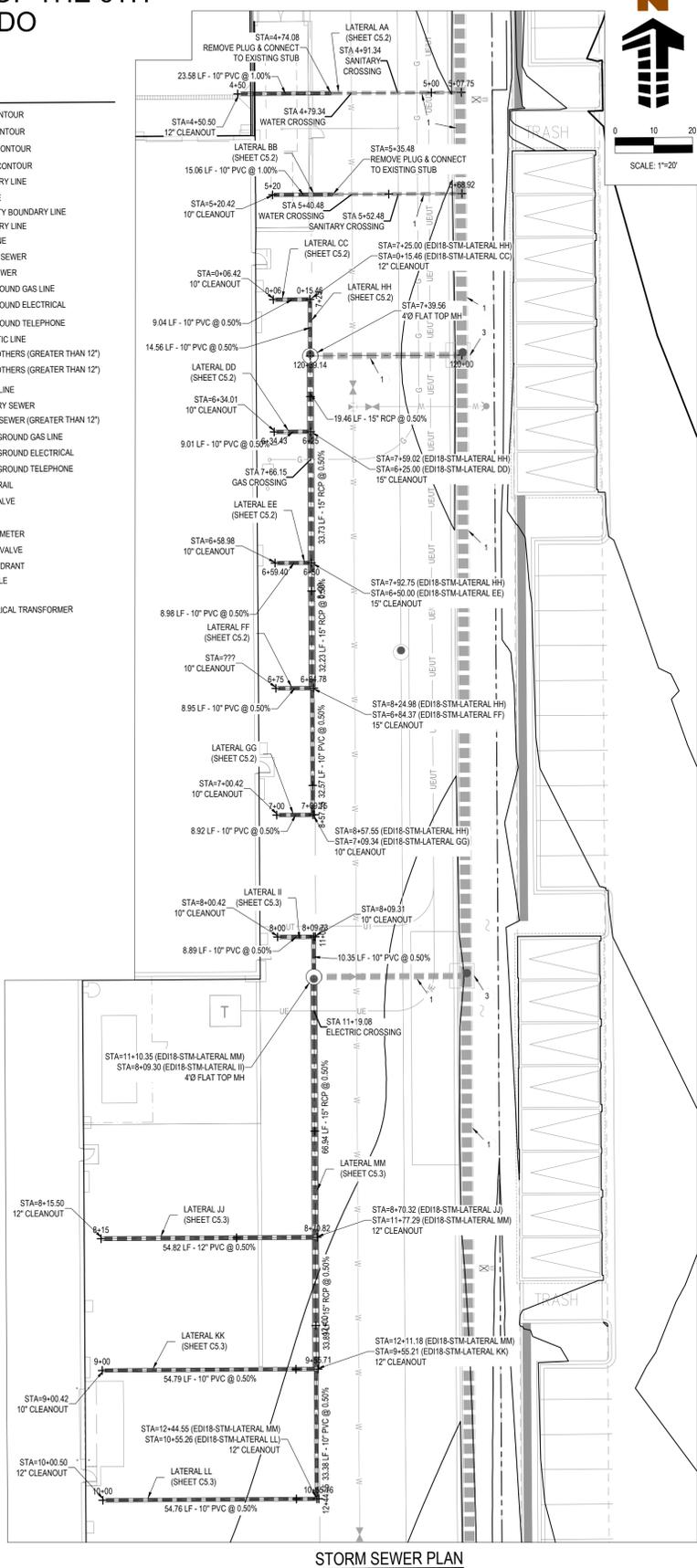
STORM SEWER PROFILE LATERAL EE: STA 6+50.00 TO STA 6+58.98
SCALE: 1"=20' HORIZ, 1"=4' VERT

STORM SEWER PROFILE LATERAL FF: STA 6+75.42 TO STA 6+84.37
SCALE: 1"=20' HORIZ, 1"=4' VERT

STORM SEWER PROFILE LATERAL GG: STA 7+00.42 TO STA 7+09.34
SCALE: 1"=20' HORIZ, 1"=4' VERT

STORM SEWER PROFILE LATERAL HH: STA 7+39.55 TO STA 7+09.34
SCALE: 1"=20' HORIZ, 1"=4' VERT

Inv Out Does not match MS Plans

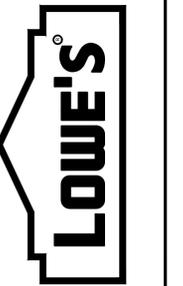


STORM SEWER PLAN
SCALE: 1"=20'



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SITE PLAN CONSTRUCTION DOCUMENTS
STORM SEWER PLAN & PROFILE
LOWE'S OF
ERIE, COLORADO
PROJECT NO: ED000018.20 | DRAWN BY: ROG | CHECKED BY: BSM

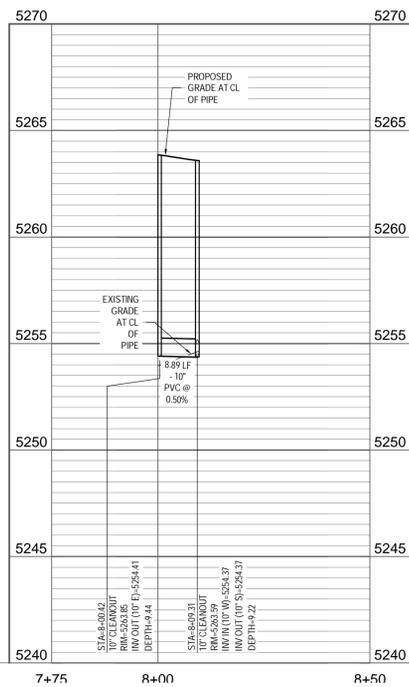
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ISSUE DATE:	
PERMIT SET	
ISSUE DATE:	
CONSTRUCTION SET	
ISSUE DATE:	
DRAWING NUMBER:	

C5.2

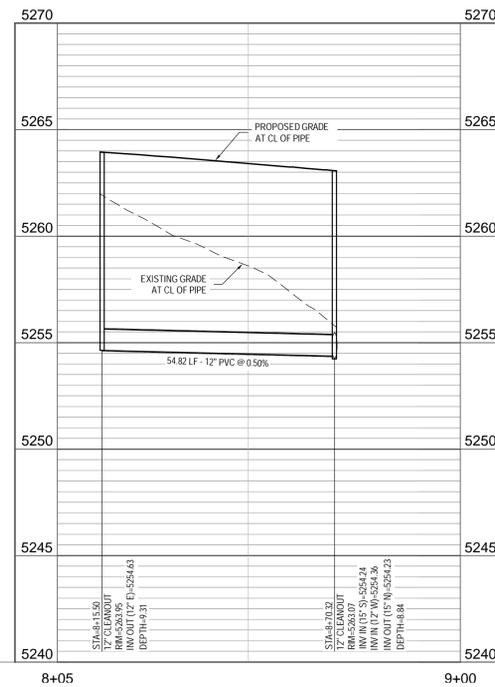
NINE MILE CORNER - SITE PLAN CONSTRUCTION DOCUMENTS

A PORTION OF NE 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE
SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH
PRINCIPLE MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, COLORADO
SITE PLAN: SP-001117-2019

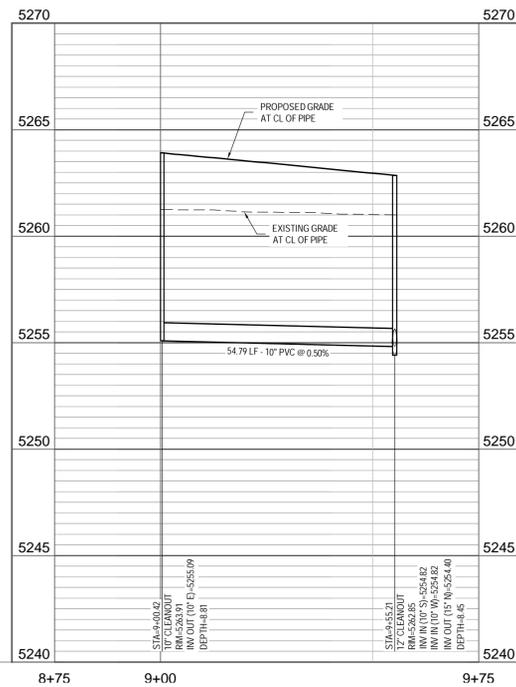
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DATE	DESCRIPTION
11/25/19	1ST SITE CD SUB.
01/29/20	2ND SITE CD SUB.



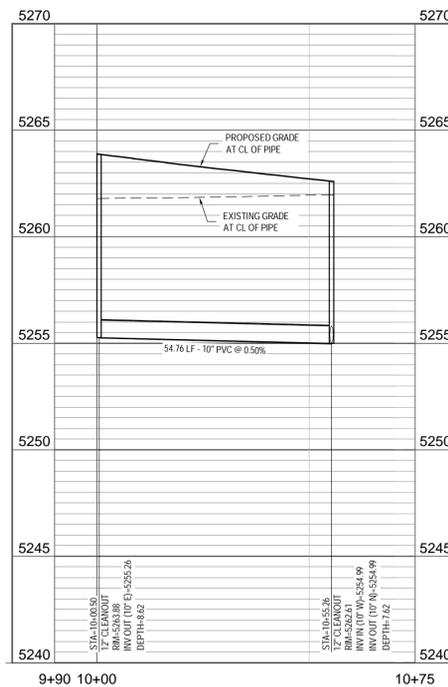
STORM SEWER PROFILE LATERAL II: STA 8+00.42 TO STA 8+09.31
SCALE: 1"=20' HORIZ, 1"=4' VERT



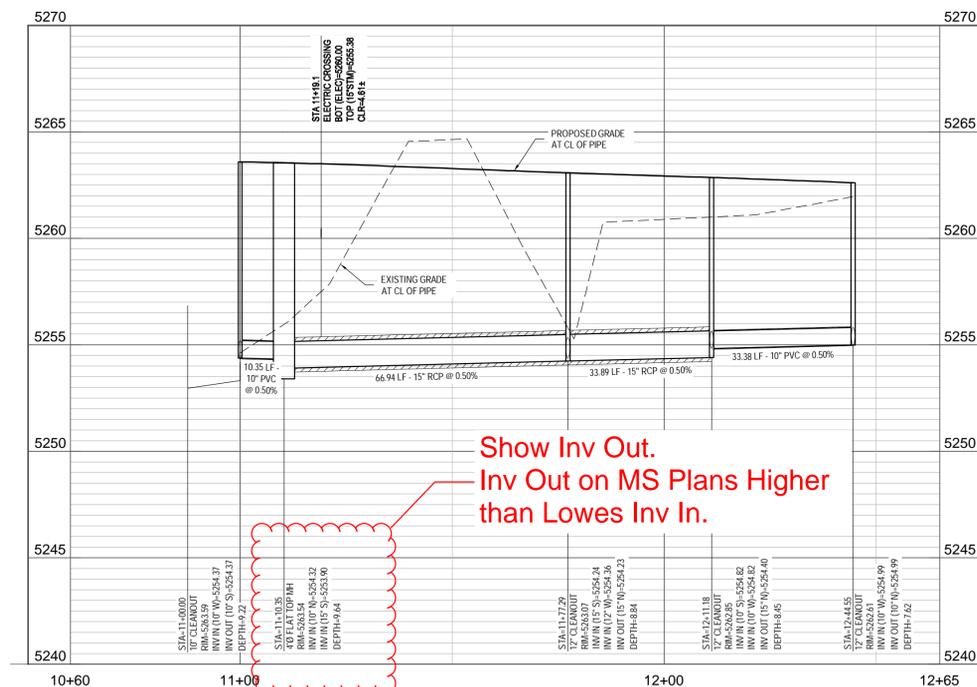
STORM SEWER PROFILE LATERAL JJ: STA 8+25.00 TO STA 8+79.82
SCALE: 1"=20' HORIZ, 1"=4' VERT



STORM SEWER PROFILE LATERAL KK: STA 9+00.00 TO STA 9+54.79
SCALE: 1"=20' HORIZ, 1"=4' VERT



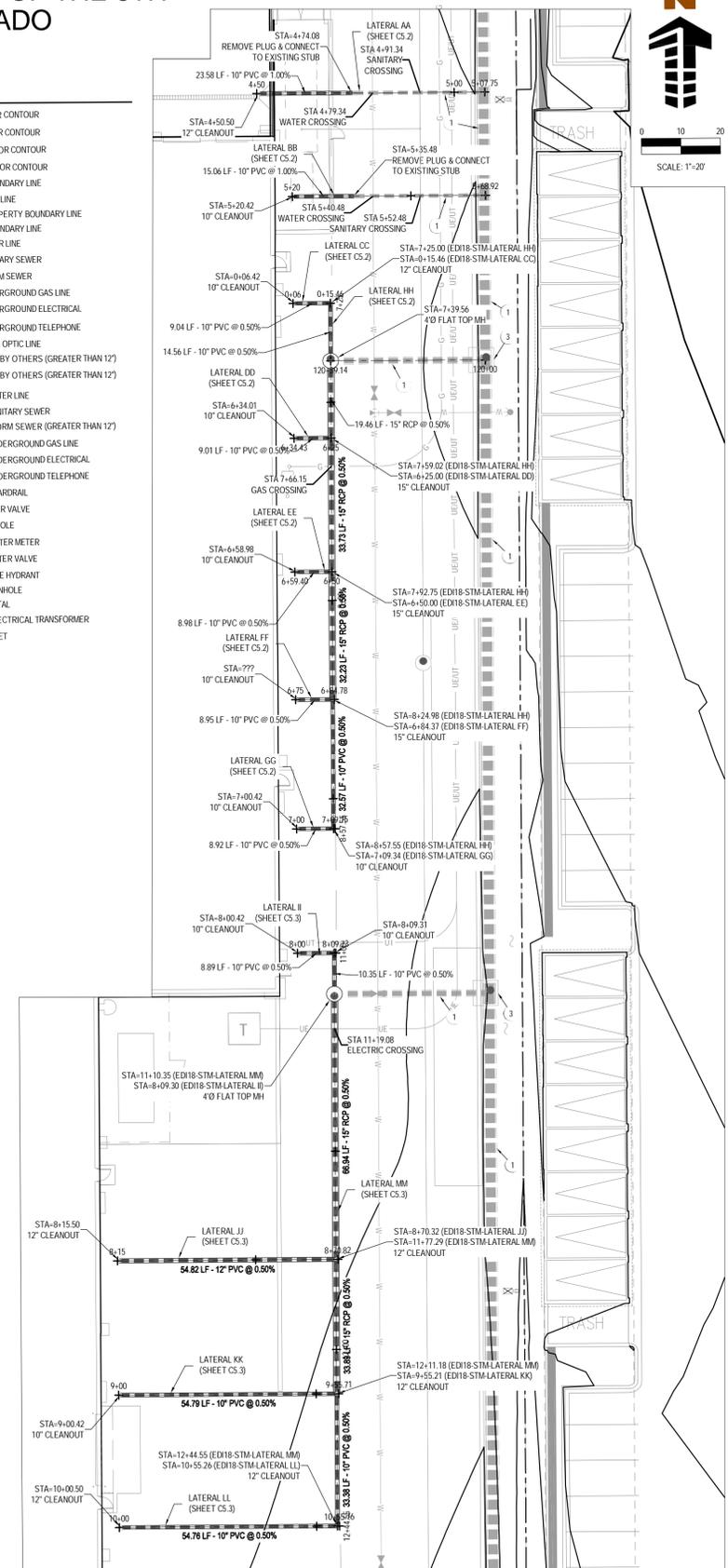
STORM SEWER PROFILE LATERAL LL: STA 10+00.00 TO STA 10+54.76
SCALE: 1"=20' HORIZ, 1"=4' VERT



STORM SEWER PROFILE LATERAL MM: STA 8+09.31 TO STA 10+00.00
SCALE: 1"=20' HORIZ, 1"=4' VERT

UTILITY LEGEND	
---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPERTY BOUNDARY LINE
---	PROPOSED LOT LINE
---	ADJACENT PROPERTY BOUNDARY LINE
---	EASEMENT BOUNDARY LINE
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER
---	EXISTING STORM SEWER
---	EXISTING UNDERGROUND GAS LINE
---	EXISTING UNDERGROUND ELECTRICAL
---	EXISTING UNDERGROUND TELEPHONE
---	EXISTING FIBER OPTIC LINE
---	STORM SEWER BY OTHERS (GREATER THAN 12")
---	STORM SEWER BY OTHERS (GREATER THAN 12")
---	PROPOSED WATER LINE
---	PROPOSED SANITARY SEWER
---	PROPOSED STORM SEWER (GREATER THAN 12")
---	PROPOSED UNDERGROUND GAS LINE
---	PROPOSED UNDERGROUND ELECTRICAL
---	PROPOSED UNDERGROUND TELEPHONE
---	PROPOSED GUARDRAIL
---	EXISTING WATER VALVE
---	EXISTING MANHOLE
---	PROPOSED WATER METER
---	PROPOSED WATER VALVE
---	PROPOSED FIRE HYDRANT
---	PROPOSED MANHOLE
---	UTILITY PEDESTAL
---	PROPOSED ELECTRICAL TRANSFORMER
---	PROPOSED INLET

SCHEDULE	
1	STORM SEWER BY OTHERS
2	STORM SEWER MANHOLE BY OTHERS
3	STORM SEWER INLET BY OTHERS



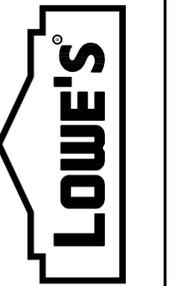
STORM SEWER PLAN
SCALE: 1"=20'

Evergreen
Development Services Investments

Galway
1425 W. 14th Ave. Ste. 207
Denver, CO 80202
773.447.1111

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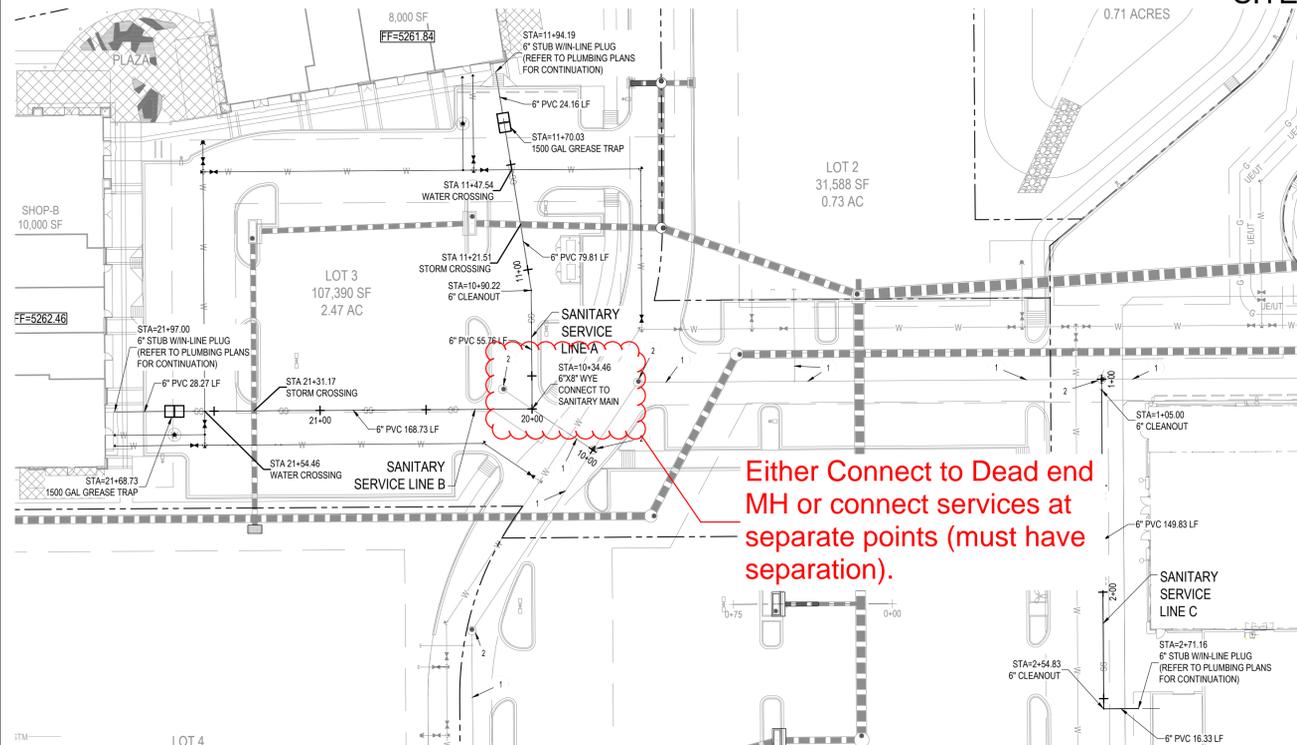
SITE PLAN CONSTRUCTION DOCUMENTS
STORM SEWER PLAN & PROFILE
LOWE'S OF:
ERIE, COLORADO
PROJECT NO: ED00001820 | DRAWN BY: ROG | CHECKED BY: BSM

CRITERIA
ISSUE DATE: 11.21.19
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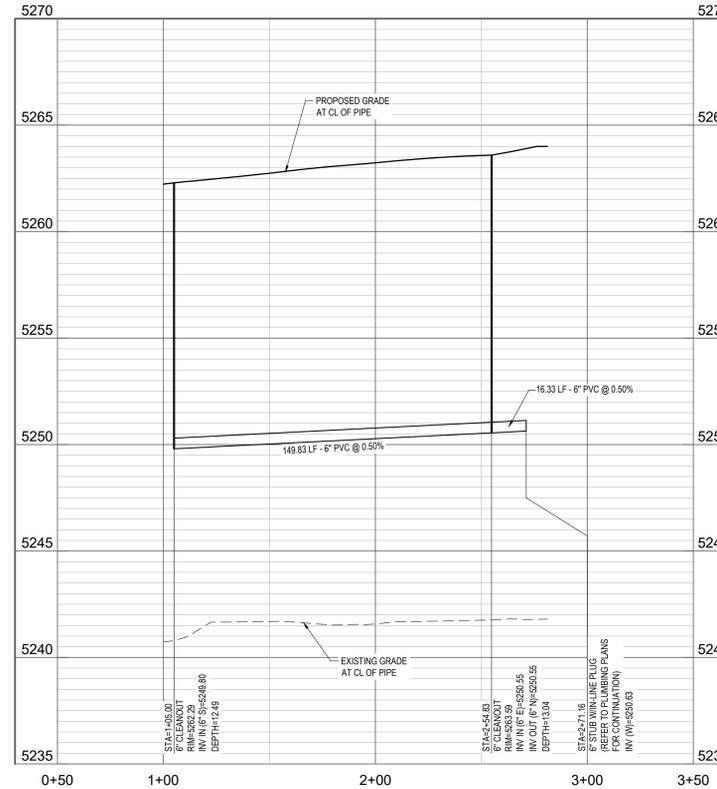
C5.3

NINE MILE CORNER - SITE PLAN CONSTRUCTION DOCUMENTS

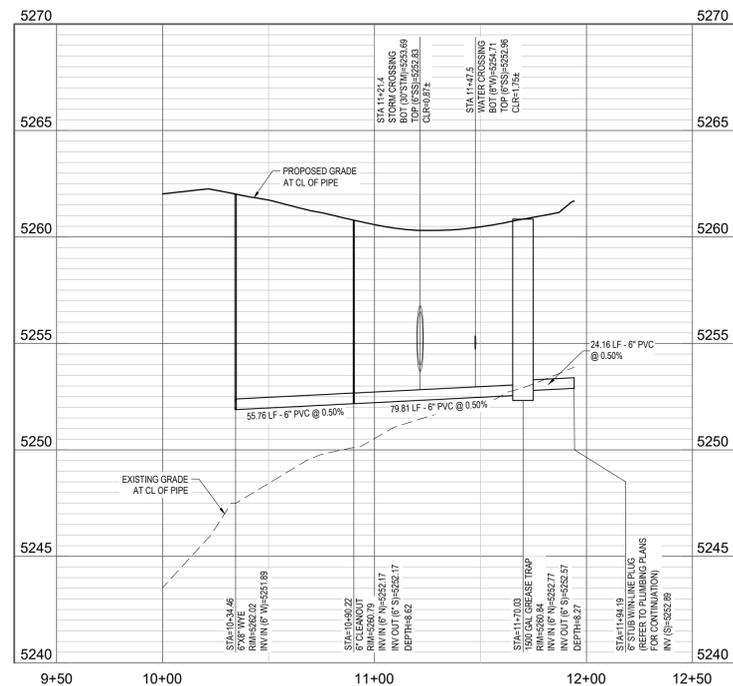
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 SITE PLAN: SP-001117-2019



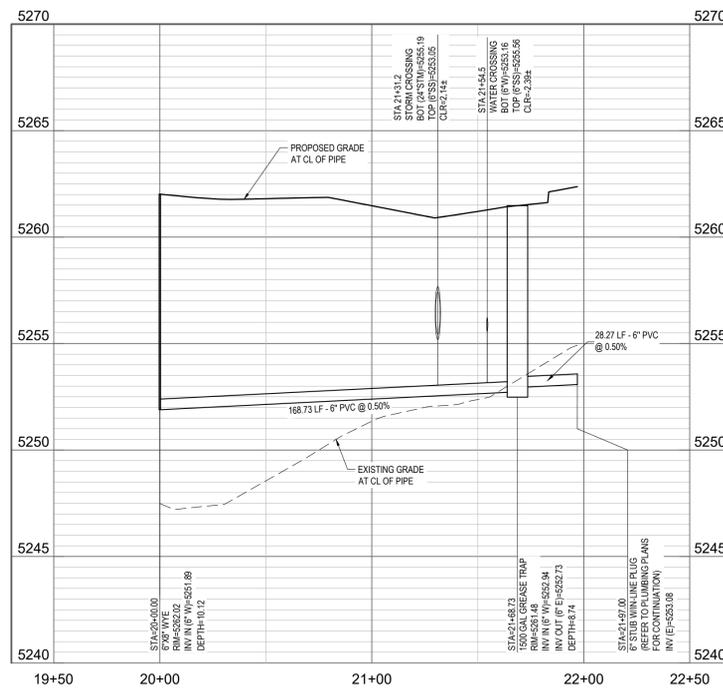
SANITARY SEWER SERVICE LINE PLAN: STA 00+00.00 TO STA 21+97.00
 SCALE: 1"=40'



SANITARY SEWER SERVICE LINE C PROFILE: STA 1+05.00 TO STA 2+54.83
 SCALE: 1"=40' HORIZ, 1"=8' VERT



SANITARY SEWER SERVICE LINE A PROFILE: STA 10+34.46 TO STA 11+94.19
 SCALE: 1"=40' HORIZ, 1"=8' VERT



SANITARY SEWER SERVICE LINE B PROFILE: STA 20+00.00 TO STA 21+97.00
 SCALE: 1"=40' HORIZ, 1"=8' VERT

UTILITY LEGEND

---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPERTY BOUNDARY LINE
---	PROPOSED LOT LINE
---	ADJACENT PROPERTY BOUNDARY LINE
---	EASEMENT BOUNDARY LINE
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER
---	EXISTING STORM SEWER
---	EXISTING UNDERGROUND GAS LINE
---	EXISTING UNDERGROUND ELECTRICAL
---	EXISTING UNDERGROUND TELEPHONE
---	EXISTING FIBER OPTIC LINE
---	STORM SEWER BY OTHERS (LESS THAN 12')
---	STORM SEWER BY OTHERS (GREATER THAN 12')
---	SANITARY SEWER BY OTHERS
---	WATER LINE BY OTHERS
---	PROPOSED WATER LINE
---	PROPOSED SANITARY SEWER
---	PROPOSED STORM SEWER (GREATER THAN 12')
---	PROPOSED UNDERGROUND GAS LINE
---	PROPOSED UNDERGROUND ELECTRICAL
---	PROPOSED UNDERGROUND TELEPHONE
---	PROPOSED QUADRANT
---	EXISTING WATER VALVE
---	EXISTING MANHOLE
---	PROPOSED WATER METER
---	PROPOSED WATER VALVE
---	PROPOSED FIRE HYDRANT
---	PROPOSED MANHOLE
---	UTILITY PEDESTAL
---	PROPOSED ELECTRICAL TRANSFORMER
---	PROPOSED INLET

SCHEDULE

- SANITARY SEWER BY OTHERS
- SANITARY SEWER MANHOLE BY OTHERS

BENCHMARK

ELEVATIONS SHOWN ARE NAVD 88 AND ARE DERIVED VIA GPS OBSERVATIONS FROM THE LIECA SMARTNET RTK GPS NETWORK AND GEOID 12B.

BASIS OF BEARING

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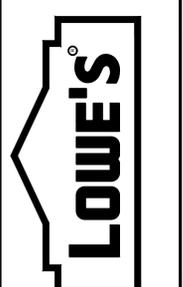
DATE	DESCRIPTION
11/25/19	1ST SITE CD SUB.
01/29/20	2ND SITE CD SUB.



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SITE PLAN CONSTRUCTION DOCUMENTS
 SANITARY SEWER PLAN & PROFILE
 LOWE'S OF:
 ERIE, COLORADO
 PROJECT NO: ED00001820 | DRAWN BY: ROG | CHECKED BY: BSM

CRITERIA	ISSUE DATE:	11.21.19
PERMIT SET	ISSUE DATE:	
CONSTRUCTION SET	ISSUE DATE:	
DRAWING NUMBER:		C7.1

January 29, 2020

Hannah Hippely
Planning and Development
645 Holbrook Street
P.O. Box 750
Erie, CO 80516

Re: Erie Nine Mile On-Site Comment Responses – Evergreen Devco Inc – Located at SEC Hwy 287 and Arapahoe Road

Please find below our re-submittal package addressing the comments received on December 27, 2019. To facilitate your review, we have included the original comments in italicized font, and have provided our responses in **bold**.

Planning and Development Comments – Provided by Hannah Hippely

1. *Site Plan approval is dependent upon the approval of a subdivision plat and PD amendment.*

Galloway Response: Noted, thank you for your review and comment.

2. *The combined Site Plan and construction documents are a large set of plans, many of the construction detail sheets could be separated out similar to how the CDs for the multifamily was made into a separate set. The overview documents of the various plans are typically sufficient for the site plan set, however in this case the overview documents have labels that obscure the site information, a lot of irrelevant off site information (including the entire multifamily site), they were not created to act as a site plan but are more of a key sheet and do not function well as a site plan due to the layout of the plans and the scale.*

Galloway Response: Noted, a Site Plan set will be created adhering to the criteria provided.

3. *The Site Plan set must include:*

- a. Cover Sheet
- b. Site Plan
- c. Landscape Plan
- d. Utility Plan
- e. Grading/Drainage Plan
- f. Photometric Plan

- g. *Building Elevations (black and white) [STILL NEED TO INCLUDE THE COLORED ELEVATIONS AND RENDERINGS IN THE MATERIALS ON THUMB DRIVE THAT WE PROVIDE THE TOWN WITH THE RESUBMITTAL]*

These may be overview sheets with the detail sheets included in the separate construction document package.

Galloway Response: Site plan set is included in submittal package.

Can the overview be improved so it is legible at full size so we can delete the subsequent sheets?



4. *Narrow the scope of the documents to the site plan area only (removing all off site details and information not specifically required by the site plan users guide. Re-sheet the drawings to reduce the overall number of sheets and provide an overview of each lot on one sheet. There is no reason the Lowes site needs to be split into 4 sheets and Lot 3 will fit on a sheet by itself. Please see the provided example for the King Soopers Site Plan and use this as a model for laying out the site plan document.*

Galloway Response: Site plan set is shown at 80' scale.

5. *The title of this site plan should be Nine Mile Corner Lot 1 and Lot 3 please retitle the plan set.*

Galloway Response: Title has been updated per comment.

all sheets need a title

6. *Label all sheets numerically in this manner # of total number (Sheet 1 of 55). The index on sheet 1 should utilize this numerical format.*

Galloway Response: The sheet numbering for the Site Plan set has been updated per comment.

7. *Legal Descriptions on Sheet 1 should utilize the information from the subdivision which is required to be finalized prior to approval of the site plan. The legal descriptions will need to include the lots where offsite improvements will be constructed (access roads, etc., which are part of this site plan).*

Galloway Response: The legal descriptions have been updated on the Cover Sheet.

8. *Setbacks established by the PD must be added and identified on the site plan.*

Galloway Response: Setbacks are shown and labeled on the site plan.

where? I see this on the landscape plan. Add to sheet 2. where?

9. *The site plan should label all boundary lines with bearings, distances and curve data as shown on the final plat; modifications to the plat that is in process should also be reflected on the site plan documents.*

Galloway Response: Boundaries have been labeled with bearings, distances, and curve data.

10. Screening

- a. *Building elevations should show rooftop mechanical equipment so that it may be confirmed that this is screened as required.*

Galloway Response: Building elevations now shown the rooftop mechanical equipment locations dashed and screened.

- b. *Plans should identify wall and ground mounted equipment and provide screening for this as required by 10.6.4.G.7 and 10.6.4.G.9 on page 120 and 121 respectively of the UDC.*

Galloway Response: The Lowe's generator, transformer, and trash compactor are labeled on the Site Plan and screen walls are provided.

- c. *No screening is provided for the outdoor storage area or the trailer storage at the east side of the Lowes's. Review UDC section 10.6.4.G.10 on page 121.*

Galloway Response: The "Containerized Storage" behind the Lowe's building has been addressed in the PD.

What about the shops buildings?



- d. No information regarding the trash enclosures was provided. Please review UDC Section 10.6.4.G.3.a and b and provide design details for the proposed enclosures. If the location portion of the UDC cannot be met at this time or you think it will be problematic for future site development, PD language may be necessary.

Galloway Response: The Lowe's trash compactor and screen walls are labeled on the Site Plan. Screen walls are also shown on the Lowe's elevations. The trash enclosure details for the retail shops are provided with the elevations.

are to be of materials which match the buildings, the CMU is not an appropriate material

11. Landscape Plan

- a. Landscape plans should be scaled back to cover only the landscaping within the Lots which are the subject of this site plan. For example right of way landscaping is being review with the minor subdivision and it is not relevant on the site plan drawings.

Galloway Response: We are showing the off-site landscape greyed back for context. The off-site landscape areas have not been included in the calculations within this plan set.

- b. The UDC requires 15% of each lot to be landscaped, it does not appear that this site plan provides for that requirement to be met. Staff has recommended language for the PD which would replace this site by site requirement with an overall requirement for the PD area that can be satisfied with the proposed undeveloped tracts for buffers, drainage, etc.

Galloway Response: The recommended language has been added to the PD.

- c. If landscaping of the right of way and the various tracts is addressed through the subdivision and residential site plan the only remaining requirement for the commercial site plan to consider is parking lot landscaping.

- i. The PD proposes to allow parking in requires setbacks however the setbacks are not shown on the plans so it isn't clear if or how much the proposed plan relies on the area of the setbacks to provide parking.

Galloway Response: For lots 1 and 3 no parking is provided in the setbacks & setbacks are now shown on plans. — Add setbacks to Sheet 2.

- ii. The UDC requires 1 tree per 15 parking spaces and 1 shrub per space. As discussed below the number of parking spaces provided or necessary is unclear and so the required number of trees and shrubs is unclear, however substantial planting has been included in the parking areas and this should not be an issue even if the parking numbers are revised slightly.

Galloway Response: Calculation tables have been revised for consistency and clarity. 1 tree per 15 parking spaces provided and 1 shrub per parking space provided have been included on the plans.

12. Transportation and Access

- a. The proposal does include an onsite pedestrian walkways that connect to adjacent streets, the adjacent apartments and internally.

Galloway Response: Thank you for your review and comment.

- b. Please identify bike parking facilities on the plans, 1 bike parking space per 20 off street parking spaces is required. This means 20 bike parking spaces for Lowes and 3 bike



parking spaces for the shops buildings. This is not correctly calculated on Sheet 1 and bike racks are not shown on sheet C1.0 – C1.7.

Galloway Response: 9 spaces are now provided for Lowe's and 18 spaces are provided for the retail shops. The Site Data Table has been updated to reflect these changes. The PD has been revised to allow bike parking to be clustered within PA-1 (the retail shops site) so that total bike parking requirements are being met for Lowe's and the retail shops. This means that some of Lowe's required bike spaces will be located on the retail shops parcel where they make more sense.

13. Off Street Parking and Loading

a. *OK* The building footprint for Lowes is given in the Site Data Summary Chart as 110,828 sq. ft. The PD requires 1 space per 350 sq. ft. (excepting certain area). It is not clear what the appropriate number should be used to calculate the parking needs. Using 110,828 sq. ft/ 350 results in 317 spaces not the 388 listed. Also the ratio listed should match the PD language.

Galloway Response: The required number of parking spaces and language has been updated in the Site Data Table.

b. *OK* The building footprint for the shops is given in the Site Data Summary Chart as 18,000 sq. ft. The PD requires 1 space per 200 sq. ft. Using 18,000 / 200 results in 90 spaces not the 60 listed.

Galloway Response: The Site Data Table has been updated with the correct number of required spaces.

c. *OK* Please review and revise the parking as required and provide an exhibit which shows how the parking requirements are being met (counting and totaling the spaces).

Galloway Response: A Parking Count Exhibit is provided.

d. *OK* Four type B loading spaces are required for commercial uses the size of Lowe's. Type B births are to be 30' long, 10 feet wide, 14 ft. 6 inches high.

Galloway Response: A new provision is being added to the PD that only requires 3 Type B loading spaces for Lowe's.

e. *OK* The shops building require 1 Type B birth, please identify the loading berth on the plans.

Galloway Response: 1 Type B birth is provided next to the trash enclosure.

f. *OK* Please review the loading related UDC 10.6.6.F requirements on page 143- 145, if these requirements must be adjusted additional language will be needed in the PD.

Galloway Response: A new provision is being added to the PD that only requires 3 Type B loading spaces for Lowe's.

I only see 3 bike racks? This does not provide 27 spaces, am I over-asking some?

14. UDC Section 10.6.8 has been replaced with proposed PD language. Staff sees no immediate conflict with the PD standards but these are still under review and in progress.

Galloway Response: Noted, thank you for your review.

15. Lighting

a. An overall photometric plan that shows the lighting levels was not included in the plan set. Such a plan was provided digitally but, it only included the Lowes portion of the site



plan. Please include this plan in the large plans set and ensure it includes the entire project. In no case shall lighting add more than 1 foot candle to illumination levels at any point off site. Please ensure that the revised photometric demonstrates compliance with this requirement.

Galloway Response: A full photometric plan is included with this submittal. The site complies with the 1 foot-candle requirement above.

- b. Pole mounted fixtures meet the height and down lighting requirements.

Galloway Response: Thank you for your review and comment.

- c. W8 fixtures on the Lowes cannot be angled as shown, these fixtures must face the ground and be parallel to the ground. The counts in the chart list 4 of these fixture but 15 are shown on the building detail, please correct the error.

Galloway Response: Please clarify comment since the W8 fixture proposed is full cut-off. The fixture count has been revised to show 15.

- d. Retail Fixture A does not appear to meet down lighting requirements as bulbs are exposed rather than being fully enclosed at the top and sides. A different fixture should be selected.

Galloway Response: A new fixture is now proposed for the bollard lights.

- e. It is unclear how the bulb is housed within Fixture C, please provide these details and ensure the fixture meets down lighting requirements. Fixture C does not appear on the plans, where is this utilized. The PD did speak to the use of pedestrian lighting and this should be incorporated along the pedestrian network within the site.

Galloway Response: Fixture C has been revised to be full cut-off.

16. Signs

- a. Generally site plans do not approve signage however in the instance that there is a request for an increase in the maximum allowable area for a signet must be specifically approved by the Planning Commission as part of a site plan review. Given the shops buildings do not have tenants at this time, staff expects to review sign permits during a tenant finish phase. However, the signs for Lowe's are likely rather well developed and a UDC analysis of the proposed signs should be performed in order to determine if a request of Planning Commission is necessary.

Galloway Response: Signs will be addressed in the PD, not the Site Plan submittal.

- b. Staff has made recommendations related to small on site signs as part of the PD review, these types of signs can be removed from the site plan documents.

Galloway Response: Noted, this will be addressed in the PD.

Parks and Recreation Comments – Provided by Darren Champion

Parks & Open Space Division staff have reviewed this application and find no conflicts with our interests.

Galloway Response: Thank you for your review.



Public Works Comments – Provided by David Pasic

1. General Comments

a. Civil construction plans shall be a separate plan set from the site plan set and submitted concurrently with the site plan. Follow section 161.03 for Final construction plans.
Galloway Response: Noted. The Site Plan set as well as Construction Plan set are now provided.

b. Provide a water plan sheet showing layout and details per section 161.03. 8" mains do not require profiling but require a plan view.
Galloway Response: A water plan is now shown on sheet C6.1.

c. Provide Drainage Memo and Utility Memo showing conformance with the master drainage and utility reports.
Galloway Response: Drainage and Utility Conformance Letters have been provided.

d. Please provide total xeric and turf irrigated areas.
Galloway Response: Areas are now provided.

2. Sheets C2.1 – C2.4

a. Curb and gutter shall be installed with future development in mind.
Galloway Response: The curb and gutter has been amended to facilitate future development. Rolled asphalt curb is proposed.

b. Accesses for future pad sites and for cross connectivity between Anchor 1 and Anchor 2 shall be reflected.
Galloway Response: Access for the future pad sites is provided by the internal spine roads that include 30-ft access easements. Rolled asphalt curb is proposed along the future pad sites so no concrete curb and gutter will need to be removed when these sites develop.

c. Make sure abbreviations in legend match the plan view labels.
Galloway Response: Abbreviations in legend are consistent in plans.

3. Sheet C2.1

a. Consider placing an area inlet at the stub provided for Lot 4. There is a large area of runoff that sheet flows to that point which will otherwise flow in to the parking lot for Lot 3.
Galloway Response: An area inlet is now shown on the stub for Lot 4. See Infrastructure Construction Documents for details.

4. Sheet C2.3

a. Type D Inlet at Sta 106+60 shown on the Minor Subdivision Plans should be moved to meet low point of swale shown on Lot 10. The current placement will not allow for any real drainage capture.





Internal Memo

To: Hannah Hippely, Planning & Development – Senior Planner

From: Darren Champion, Parks and Open Space Project Coordinator

Date: December 26, 2019

Subject: Nine Mile Corner SP-001117-2019 Lowes

Cc: Patrick Hammer, Director of Parks and Recreation
Luke Bolinger, Community Partnership and Special Projects Manager

General Comments:

- Parks & Open Space Division staff have reviewed this application and find no conflicts with our interests.

Memo

To: Hannah Hippley
From: David Pasic, P.E., Civil Engineer
Date: December 18, 2019
Subject: **Nine Mile Commerical Site Plan**
CC: Joe Smith, Wendi Palmer, Chad Schroeder, Tyler Burhenn

Commercial Site Plan – Civil Engineering Plans Comments

1. General Comments:
 - a. Civil construction plans shall be a separate plan set from the site plan set and submitted concurrently with the site plan. Follow section 161.03 for Final construction plans.
 - b. Provide a water plan sheet showing layout and details per section 161.03. 8" mains do not require profiling but require a plan view.
 - c. Provide Drainage Memo and Utility Memo showing conformance with the master drainage and utility reports.
 - d. Please provide total xeric and turf irrigated areas.
2. Sheets C2.1 - C2.4
 - a. Curb and gutter shall be installed with future development in mind.
 - b. Accesses for future pad sites and for cross connectivity between Anchor 1 and Anchor 2 shall be reflected.
 - c. Make sure abbreviations in legend match the plan view labels.
3. Sheet C2.1
 - a. Consider placing an area inlet at the stub provided for Lot 4. There is a large area of runoff that sheet flows to that point which will otherwise flow in to the parking lot for Lot 3.
4. Sheet C2.3
 - a. Type D Inlet at Sta 106+60 shown on the Minor Subdivision Plans should be moved to meet low point of swale shown on Lot 10. The current placement will not allow for any real drainage capture.
 - a. Per the comment on the Minor Subdivision, Storm System from Type D Inlet at STA 60+35.55 to 5' Type R Inlet at STA 54+30.65 needs to be shifted to accommodate the future Zone 3 Waterline in the easement. This will affect grading in Lot 10.
5. Sheet C4.1
 - a. As previously stated, a water plan sheet shall be provided.
 - i. For the fire connection to Lowes, The Town does not utilize 10" waterlines. This shall be upsized to a 12" waterline.
 - ii. Irrigation line to the Lowes building shall have irrigation meter.
6. Sheet C5.1
 - a. Provide profiles. Match inverts on minor subdivision.
 - b. Inlet at STA 65+39.87 in the Minor Subdivision is shown as a Type R in the Minor Subdivision Plans but as a Type 16 in the Site Plan Plans.
 - c. Type 16 inlets are not permitted in the Town of Erie. Inlets shall be Type R or Type 13 per the Standards and Specifications.
 - d. Show roof drain connection points and inverts.

- e. Show invert outs at connection to existing stubs from Minor Subdivision.
- 7. Sheet C7.1
 - a. Main Lines shall be minimum 8" per the Standards and Specifications.
 - b. Differentiate between main lines and service lines.
 - c. Service lines for each of "The Shops" buildings shall have separate sewer taps to the main line.
 - d. On profile from station 20+00 to 21+97, water is shown under sanitary. Water shall be above the sanitary line.
- 8. Sheet IR1.1 and IR1.4
 - a. Irrigation services shall have a separate tap and not be serviced off the water services for the commercial buildings. The reason for this is per the Town Code, the water rates for commercial use and irrigation use are different.

Drainage Comments – Provided by Merrick 12/18/19

Phase III Drainage Report:

1. The drainage report for the multi-family area specifies 13.2 acres for the development. This does not correspond with the 14.7-acre site as presented in the introduction. Clarify the correct area for the multi-family development and correct calculations and designs as necessary.
2. In the StormCAD analysis for the commercial site, the flows for several basins (Catchment Table) do not match the values from the Rational Method calculations. It appears that the rational method runoff calculations internal to StormCAD produce slightly different flow values. However, several basins do not have the same areas as shown on the Drainage Maps, so flow values are significantly different. Revise the StormCAD analysis and resulting HGLs on the Construction Plan profiles as necessary using the runoff values from the Rational Method calculations.
3. In the StormCAD analysis for the commercial site, the 100-year HGLs at Design Points 14, 16, 17, and 18 are approximately 1' below the top back of curb. Per Town criteria (Section 815.03), HGL's must be a minimum of 1' below the gutter flowline. Revise design to meet this criterium. Update construction plans as necessary.
4. There are several inlets for the commercial site inlet sizing that do not match the labels in the Storm Runoff Calculations or the Construction Plans. For example, inlet sizing calculations for inlets at Design Points 25, 29, and 32 indicate CDOT Type R inlets, but the Construction Plans (Sheet 5.1) indicate Denver No. 16 inlets. Verify which inlet size is correct and revise calculations or plans as necessary.
5. On Drainage Map DR01, it appears that the inset from the Outfall Systems Plan did not plot. Revise the pdf to include the inset.
6. On Drainage Map DR01, show the existing inlets and storm sewer pipes and sizes in Basins 1 and 2. Also, label the existing and proposed contours.
7. The proposed storm sewers on Drainage Map DR02 do not match the symbology presented in the Drainage Legend. Revise so symbology matches. Also, label the existing and proposed contours.
8. Provide hydraulic grade line analysis (StormCAD) for storm laterals, particularly those on the east side of the Lowe's building that connect from the downspouts to the storm sewer system.

Site Construction Plans

9. On Sheet C4.2, there are callouts indicating that several storm sewer pipes (#1), inlets (#2), and manholes (#3) near the detention pond will be constructed with this phase. However, it appears that these are included in the Public & Site Infrastructure Construction Plans. Clarify which phase they will be constructed with. These items must be installed prior to, or concurrently with, development of the Lowe's site.

10. On Sheet 4.6, provide details for all types of proposed inlets, including CDOT Type R.

11. On Sheet 5.1, proposed storm pipe profiles were not included. Per Town criteria, provide profiles including HGL elevations on the Plan and Profile drawing. Also, label existing and proposed contours on the plan views.

MEMORANDUM

TO: Hannah Hippely
FROM: Charles M. Buck, P.E., PTOE
DATE: December 12, 2019
SUBJECT: Review of Site Plan
Nine Mile Corner SP-001117-2019
FHU # 95-190

I have reviewed the materials submitted for Nine Mile Corner. I have examined these materials relative to traffic engineering and transportation planning but not general civil or utility engineering. Note that no traffic engineering documents or studies were included in the submittal materials. A response to my previous comments (09/26/2019) was also not included. I have, therefore, focused my review on the Site Construction Documents (Galloway, 11/21/19), referencing prior traffic studies and my previous referral responses. I have the following comments:

Traffic Impact Study (TIS)

- The most recent *TIS* (Kimley Horn, 08/14/2019), provided recommendations for auxiliary turn lanes along US 287 and Arapahoe Road adjacent to the Nine Mile site. The recommendations are based on traffic impacts associated with a previous land use concept, which has now changed.
- The *TIS* included, among other retail uses, a 77,000 square-foot Home Improvement Superstore.
- Per the current site plan, this use is now 110,000 square feet. Nine other retail lots are also shown, but specific uses are not defined.
- At a minimum, a trip generation analysis of the currently proposed commercial uses should be conducted and compared to the previous trip generation estimates to see if the current site plan remains in general conformance with prior submittals.
- Based on the results of the above comparison, additional analyses may be required to determine if the proposed roadway improvements would remain adequate to accommodate site generated traffic volumes. An updated *TIS* may be required.

Site Construction Documents (Plans)

- Sheets C1.0 through C1.4 depict roadway improvements along US 287 and Arapahoe Road adjacent to the site. Relative to my previous comments, I note the following:
 - C1.0 – the dual left-turn lanes on westbound Arapahoe Road at US 287 appear to provide a total storage of about 750 feet, as recommended in the *TIS*.
 - Sheet 46 – The southbound left-turn lane at the site $\frac{3}{4}$ access scales to about 600 feet total (taper plus deceleration and storage). Per the *TIS*, this dimension should be 785 feet, based on CDOT *State Highway Access Code* criteria. A variance or design waiver may be needed here.
- Otherwise, signing and striping depicted on Sheets C1.1 through C1.4 appear to be appropriate.
- All roadway improvements may require updated based on additional traffic analysis.

The above comments constitute my review of the Nine Mile submittal. Please call if you have any questions or need additional information.



December 10, 2019

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RE: REVIEW OF NINE MILE CORNER DRAINAGE SUBMITTAL

Dear Engineering Division:

We have reviewed the Nine Mile Corner resubmittal received on November 25, 2019. The submittal included a revised Phase III Drainage Report for Nine Mile Corner (revised November 13, 2019) and Public & Site Infrastructure Construction Plans and a comment response letter (both dated November 15, 2019) prepared by Galloway & Company. We have the following comments to offer:

Phase III Drainage Report:

1. The drainage report for the multi-family area specifies 13.2 acres for the development. This does not correspond with the 14.7-acre site as presented in the introduction. Clarify the correct area for the multi-family development and revise calculations and designs as necessary.
2. On page 9, the text indicates that the assumed release rate from the existing detention pond in Basin 1 is based on 1 cfs per acre per previous Town of Erie criteria. Provide documentation of assumptions for the outflow from this detention pond, including the 5-year and 100-year storm events.
3. Per our previous comments, on page 9, the text indicates that Basins 1 through 4 (16.7 acres) will be routed via an existing storm sewer system to an existing detention pond located northwest of the intersection of N. 111th Street and Dickens Street. This appears to be Pond 1025 per the OSP study. Basin 4 (1.71 acres) appears to be currently tributary to this storm sewer system and pond, but Basins 1, 2, and 3 (about 15 acres) are not. Provide pipe size and capacity information to verify that the existing storm sewer system has sufficient capacity for the additional runoff from Basins 1 through 3. Provide a hydraulic grade line (HGL) analysis for the existing storm sewer system with the additional flows.

Responses to comments by Galloway indicated that they provided an analysis of the impact to peak flow for the downstream system and pond, but we could not find it. Provide this analysis.

Also, per the OSP, the Basin 205 tributary area to Pond 1025 is about 74 acres. Routing Basins 1 through 3 to this pond would increase the tributary area by about 20% which appears to be significant, not negligible as stated in the report. We acknowledge that Galloway's response to this previous comment stated that the time of concentration for the additional flow is much higher than the rest of Basin 205. We agree that this may help to minimize the increase in peak flow, but the increased tributary area will also increase the volume of runoff to the pond. Verify that Pond 1025 has sufficient capacity for the additional runoff volume.

4. On page 12, it states that FlowMaster capacity calculations were provided for the existing channel along the west side of N. 111th Street. We could only find an analysis to determine normal depth for the project site peak flow, not the capacities with 6" of freeboard or no freeboard. Provide the capacity analysis with the next submittal. Also, clarify what the freeboard is measured to. Edge of roadway?
5. At the outfall of the bypass pipe on the west side of N. 111th Street, north of Arapahoe Road, we understand that the combined peak flow from the project site and Offsite Basin 200 will be about 70 cfs. Per the OSP, additional runoff to this location includes OSP Basin 202 (about 43 acres developed with detention) and the remaining portion of OSP Basin 203 (about 46 acres partially developed as large lot residential). Assuming 0.85 cfs/acre for the remaining tributary area, the additional runoff is about 75 cfs. Therefore, the total runoff to the 111th Street channel is about 145 cfs which exceeds the available capacity (94 cfs with no freeboard per this report). Although, per the 2006 Olsson memo, the minimum available capacity is 170 cfs (with water surface 0.1 feet over roadway crown) at Sta. 30+00 located north of Morris Court. Clarify the existing capacity of the 111th Street channel.

If needed, improvements to the 111th Street channel should be required with further development within the tributary area if the existing channel is determined to not have adequate capacity to convey proposed flows.

6. The 100-year HGL shown on the StormCAD analysis profile does not match the HGL shown on the construction plan profiles. Correct the HGL on the construction plans to match the analysis.
7. The swale geometry for the Area Inlet in Swale calculation at Design Point 3 does not match that from the FlowMaster Grass Swale sizing. In particular, the side slopes differ from 1:3 or 1:4, respectively.
8. From the FlowMaster Grass Swale sizing calculations along Hwy. 287 for Basin 2, it appears that this swale was designed as a rectangular. However, the grading on Drainage Maps DR01 and DR02 as well as in the construction plans appears to be trapezoidal. Additionally, the slopes assumed in sizing do not match the slopes shown on Sheet C5.4 of the Construction Plans. Update the grass swale sizing calculation using the correct slope and geometry.
9. From the FlowMaster Grass Swale sizing calculations along Hwy. 287 for Basin 3, the slope assumed was 0.5%. However, the flattest slope presented on C5.5 of the Construction Plans is 0.4%. Revise the grass swale sizing calculation using the correct slope.
10. Provide sizing analysis for the proposed channel northwest of Arapahoe Road and 111th Street that connects the bypass storm sewer to the existing channel west along 111th Street. A normal depth analysis for the existing channel was provided but not a sizing analysis for the proposed channel.
11. In the StormCAD analysis for the commercial site, the flows for several basins (Catchment Table) do not match the values from the Rational Method calculations. It appears that the rational method runoff calculations internal to StormCAD produce

slightly different flow values. However, several basins do not have the same areas as shown on the Drainage Maps, so flow values are significantly different. Revise the StormCAD analysis and resulting HGLs on the Construction Plan profiles as necessary using the runoff values from the Rational Method calculations.

12. In the StormCAD analysis for the commercial site, the 100-year HGLs at Design Points 14, 16, 17, and 18 are approximately 1' below the top back of curb. Per Town criteria (Section 815.03), HGL's must be a minimum of 1' below the gutter flowline. Revise design to meet this criteria. Update construction plans as necessary.
13. There are several inlets for the commercial site inlet sizing that do not match the labels in the Storm Runoff Calculations or the Construction Plans. For example, inlet sizing calculations for inlets at Design Points 17 and 18 indicate CDOT Type R inlets, but the Construction Plans (Sheet 5.12) indicate Type 13 Combination inlets. Verify which inlet size is correct and revise calculations or plans as necessary.
14. On Drainage Map DR01, it appears that the inset from the Outfall Systems Plan did not plot. Revise the pdf to include the inset.
15. On Drainage Map DR01, show the existing inlets and storm sewer pipes and sizes in Basins 1 and 2. Also, label the existing and proposed contours.
16. The proposed storm sewers on Drainage Map DR02 do not match the symbology presented in the Drainage Legend. Revise so symbology matches. Also, label the existing and proposed contours.

Construction Plans

17. On Sheet C2.0, label the existing and proposed contours in the settling pond area west of the project site. It also appears that there are overlapping sources of contours for this settling pond. Clarify which contours are correct and label on Sheet C2.0.
18. On Sheet C5.1, the HGL for the 100-year storm event is not shown for the system upstream of Manhole 8. Show the HGL for all connected storm sewers.
19. On C5.5, the proposed 24" RCP storm sewer is shown being connected to an existing 24" RCP storm sewer at Sta. 19+39. While we acknowledge that the existing downstream system is the same size, an analysis of the capacity of the existing system with the additional flow has not been performed (see Comment 3 above). Evaluate the existing storm sewer system with this extension and revise the plan as needed.
20. On Sheet C5.5, show the existing 24" culvert under Hwy. 287 on the profile for the drainage swale along the east side of Hwy. 287 (approximately STA. 11+50).
21. On Sheet C5.6, a detail for the Type C CDOT Inlet is shown for the swale and culvert details. However, at Station 14+37.34 on Sheet C5.5, a Type D Inlet is shown. Provide a Type D Inlet detail and call out a 15-degree sloping angle on the construction plans per the inlet sizing calculations.
22. On Sheet C5.7, it appears that a culvert is proposed to connect the West Pond to the Central Pond to allow water to back up into the West Pond area to provide the storage

volume required. This culvert size must be evaluated to verify that it does not limit flow to the Central Pond area (i.e., it must be oversized to allow free flow and have a capacity equal to the peak inflow to the pond).

23. The following comments relate to Storm Sewer Plan & Profiles (Sheets C5.7 to C5.12)

- a. Provide HGL for the 100-year storm event on pipe profiles.
- b. Provide existing and proposed contours on all plan views.

24. The construction plans show several Inserta-Tee connections for smaller diameter lateral storm pipes (15" and 18" RCP). Per criteria, all pipe junctions must have a manhole or inlet connection for maintenance access. Therefore, use of Inserta-Tee's is not allowed unless a variance is obtained from the Town.

25. On Sheet C5.11, the 10" PVC is specified as Class III which corresponds to classification of RCP pipe, not PVC. Revise as necessary.

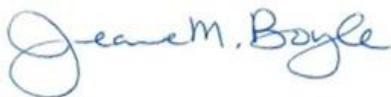
26. The following comments relate to the commercial detention pond (Sheet C5.13):

- a. The pond sizing calculations in the drainage report show that the micropool water surface elevation is at 5249.65. The construction plans show the micropool WSEL at 5249.32. Revise so the micropool WSEL match between the sizing calculations and the construction plans. Also change the WQCV and EURV orifice elevations to match the revised elevations.
- b. The initial surcharge depth (4") must be above the micropool WSEL. Therefore, the invert of the trickle channel must be at least 4" above the micropool, not below. Revise as needed.
- c. In order to properly drain the pond discharge through the outlet structure, the invert of the 24" outlet pipe must be at least 0.2' below the micropool WSEL. The crest elevation of the spillway must also be revised so it does not exceed the 10' maximum height to be a non-jurisdictional dam (note, height measured from spillway elevation to outlet pipe invert). Revise as needed.

27. On Sheet C5.13 Section A-A, wingwalls are proposed for the connection from the trickle channel into the outlet structure. At the outlet structure, the wingwalls will be about 7 feet high. For safety, either railings or a grate over the opening must be provided. On the Outlet Control Structure Detail show an opening in the face of the outlet structure between the wingwalls. Also, fix the contours on the pond plan view to indicate elevation breaks on both sides of the wingwalls.

Let us know if you have any questions.

Sincerely,
Merrick & Company



Jeanne M. Boyle, PE, CFM



Clare Steninger, PE

December 18, 2019



2480 W. 26th Avenue, Unit B225
Denver, Colorado 80211
Tel: +1 303-964-3333
Fax: +1 303-964-3355

Town of Erie, Engineering Division
P.O. Box 750
645 Holbrook Street
Erie, Colorado 80516

www.merrick.com

RE: REVIEW OF NINE MILE CORNER – LOWE'S SUBMITTAL

Dear Engineering Division:

We have reviewed the Nine Mile Corner submittal received on December 5, 2019. The submittal included a revised Phase III Drainage Report for Nine Mile Corner (revised November 13, 2019) and Site Plan Construction Documents (dated November 21, 2019) prepared by Galloway & Company.

Merrick recently reviewed the Phase III Drainage Report as part of the Nine Mile Corner Infrastructure submittal (review letter dated December 10, 2019). Comments 1 to 7 below for the drainage report are copied from that letter that are pertinent to the Lowe's portion of the site.

Phase III Drainage Report:

1. The drainage report for the multi-family area specifies 13.2 acres for the development. This does not correspond with the 14.7-acre site as presented in the introduction. Clarify the correct area for the multi-family development and correct calculations and designs as necessary.
2. In the StormCAD analysis for the commercial site, the flows for several basins (Catchment Table) do not match the values from the Rational Method calculations. It appears that the rational method runoff calculations internal to StormCAD produce slightly different flow values. However, several basins do not have the same areas as shown on the Drainage Maps, so flow values are significantly different. Revise the StormCAD analysis and resulting HGLs on the Construction Plan profiles as necessary using the runoff values from the Rational Method calculations.
3. In the StormCAD analysis for the commercial site, the 100-year HGLs at Design Points 14, 16, 17, and 18 are approximately 1' below the top back of curb. Per Town criteria (Section 815.03), HGL's must be a minimum of 1' below the gutter flowline. Revise design to meet this criterium. Update construction plans as necessary.
4. There are several inlets for the commercial site inlet sizing that do not match the labels in the Storm Runoff Calculations or the Construction Plans. For example, inlet sizing calculations for inlets at Design Points 25, 29, and 32 indicate CDOT Type R inlets, but the Construction Plans (Sheet 5.1) indicate Denver No. 16 inlets. Verify which inlet size is correct and revise calculations or plans as necessary.
5. On Drainage Map DR01, it appears that the inset from the Outfall Systems Plan did not plot. Revise the pdf to include the inset.

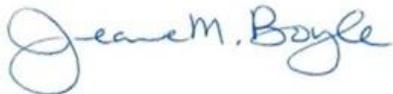
6. On Drainage Map DR01, show the existing inlets and storm sewer pipes and sizes in Basins 1 and 2. Also, label the existing and proposed contours.
7. The proposed storm sewers on Drainage Map DR02 do not match the symbology presented in the Drainage Legend. Revise so symbology matches. Also, label the existing and proposed contours.
8. Provide hydraulic grade line analysis (StormCAD) for storm laterals, particularly those on the east side of the Lowe's building that connect from the downspouts to the storm sewer system.

Site Construction Plans

9. On Sheet C4.2, there are callouts indicating that several storm sewer pipes (#1), inlets (#2), and manholes (#3) near the detention pond will be constructed with this phase. However, it appears that these are included in the Public & Site Infrastructure Construction Plans. Clarify which phase they will be constructed with. These items must be installed prior to, or concurrently with, development of the Lowe's site.
10. On Sheet 4.6, provide details for all types of proposed inlets, including CDOT Type R.
11. On Sheet 5.1, proposed storm pipe profiles were not included. Per Town criteria, provide profiles including HGL elevations on the Plan and Profile drawing. Also, label existing and proposed contours on the plan views.

Let us know if you have any questions.

Sincerely,
Merrick & Company



Jeanne M. Boyle, PE, CFM



Clare Steninger, PE

COLORADO GEOLOGICAL SURVEY

1801 19th Street
Golden, Colorado 80401



December 9, 2019

Karen Berry
State Geologist

Hannah Hippely
Town of Erie Planning & Development
developmentreferral@erieco.gov

Location:
NW $\frac{1}{4}$ NE $\frac{1}{4}$ Section 34,
T1N, R69W, 6th P.M.
40.0129, -105.1004

Subject: Nine Mile Corner Site Plan SP-001117-2019
Town of Erie, Weld County, CO; CGS Unique No. BO-17-0016_3

Dear Hannah:

Colorado Geological Survey has reviewed the Nine Mile Corner site plan referral, for a Lowe's and additional retail development on 34 acres in the western portion of the overall Nine Mile Corner property located southeast of the intersection of Highway 287 (N. 107th St.) and Arapahoe Road, site of the former Prince Lake No. 1 water supply reservoir.

CGS previously reviewed Nine Mile Corner at PD rezoning (January 31, 2017), site plan and minor subdivision plat (July 12, 2017), and minor subdivision MS-001118-2019 (December 6, 2019). CGS has previously reviewed a Preliminary Geotechnical Engineering Investigation (Salem Engineering Group, May 19, 2016), Geotechnical Investigation, Nine Mile Corner – Apartments (CTL/Thompson, February 17, 2017), and Preliminary Geotechnical Investigation, Nine Mile Corner – Commercial Area (CTL/Thompson, February 24, 2017). This proposed site plan is consistent with Nine Mile Corner development plans previously reviewed by CGS.

Correction. Sheet C2.0 of the Nine Mile Corner – Site Plan Construction Documents (Galloway/Evergreen, November 21, 2019), refers to CTL's 2/17/2017 geotechnical report, which is for the residential, not commercial area. CTL's 2/24/2017 report and any subsequent geotechnical reports should be referenced in the plans.

No new geologic or geotechnical information was included with the current referral documents, so our previous site plan and minor subdivision comments remain valid:

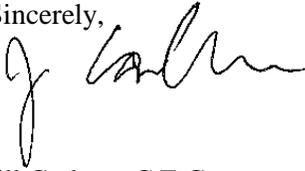
CTL provides a good description of subsurface conditions and soil and bedrock engineering properties, and makes appropriate recommendations regarding sub-excavation, foundation design and construction, pavements, surface drainage, etc.

Settlement. CTL states (page 7 of the geotechnical report for the planned commercial area) that, within the former lake area where up to about 21 feet of fill is planned, "We estimated up to about 4 inches of potential settlement in the previous reservoir area after grading. Additional settlement will occur as the fill is placed. We anticipate settlement will occur fairly rapidly after grading, likely within a few months or less. We recommend installing survey benchmarks to monitor the potential settlement after grading. Construction of the north anchor should be delayed until survey measurements confirm settlement has substantially ceased." **CGS agrees with the recommendations for settlement monitoring and a construction delay until settlement has substantially ceased, if this has not been completed already.**

Hannah Hippely
December 9, 2019
Page 2 of 2

Thank you for the opportunity to review and comment on this project. If you have questions or require further review, please call me at 303-384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read "Jill Carlson". The signature is fluid and cursive, with a large initial "J" and "C".

Jill Carlson, C.E.G.
Engineering Geologist



MOUNTAIN VIEW FIRE RESCUE

3561 N. Stagecoach Road • Longmont, CO 80504

(303) 772-0710 • FAX (303) 651-7702

December 10, 2019

Ms. Hannah Hippley
Town of Erie Community Development
P.O. Box 750
Erie, CO 80516

Dear Ms. Hippley

I have reviewed the submitted material pertaining to the Nine Mile Corner commercial development located south of Arapahoe Road and east of 107th Street in Erie (MS-001118-2019 & SP-001117-2019). The Fire District does not object to the subdivision and subsequent development, provided the development is able to meet the requirements of the Fire District. All applicable codes as they pertain to water supply, fire hydrant locations and street designs must be met.

Plans for all buildings to be built within the subdivision need to be submitted to the Fire District prior to the beginning of construction. All applicable fire codes, as they pertain to buildings and construction, must be met for each individual pad site. Final site plans for individual pads will need to be provided to the Fire District for review and approval as development proceeds.

The Fire District reserves the right to make further comments as development proceeds. Nothing in this review is intended to authorize or approve of any aspect of this project that does not comply with all applicable codes and standards. We appreciate being involved in the planning process, should you have any questions, please contact me at 303-772-0710 x 1121.

Sincerely,

LuAnn Penfold
Fire Prevention Specialist

12.03.19

Hannah Hippely

From: Dan Hill <dhill@udfcd.org>
Sent: Monday, December 09, 2019 3:27 PM
To: Development Referral
Cc: Jim Watt
Subject: MHFD Comments - Nine Mile Corner

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Hannah,

This is in response to the request for our comments concerning the Nine Mile Corner Site Plan (SP-001117-2019) project. We appreciate the opportunity to review this proposal and have no comment, as this project does not include any major drainage features. We do not need to receive any future submittals on this project.

Please feel free to contact me or Jim with any questions or concerns.

Thanks,

Dan Hill, P.E., CFM

Engineering Technologist | Watershed Services

MILE HIGH FLOOD DISTRICT

2480 W. 26th Ave Suite 156-B | Denver, Colorado 80211

Office: 303-455-6277 | **Direct:** 303-749-5427 | www.udfcd.org

*Celebrating 50 Years of Protecting
People, Property, and our Environment*



Hannah Hippely

From: Woodruff, Clayton <Clayton.Woodruff@RTD-Denver.com>
Sent: Wednesday, December 11, 2019 2:31 PM
To: Development Referral
Subject: RE - Nine Mile Corner

Hannah,

The RTD has no comments associated with this project

Thank you,



C. Scott Woodruff
Engineer III

Regional Transportation District
1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202

o 303.299.2943 | m 303-720-2025
clayton.woodruff@rtd-denver.com