



TOWN OF ERIE

645 Holbrook Street
Erie, CO 80516

Meeting Agenda Planning Commission

Wednesday, May 20, 2026

6:30 PM

Council Chambers

In-Person Meeting

Link to Watch or Comment Virtually: <https://bit.ly/20May26PCMtg>

To Sign Up for Public Comment: www.erieco.gov/PublicComment

I. CALL TO ORDER & PLEDGE OF ALLEGIANCE TO FLAG

6:30PM

II. ROLL CALL

III. APPROVAL OF THE AGENDA

IV. APPROVAL OF MINUTES

[2026-337](#) Approval of the May 6, 2026 Planning Commission Meeting Minutes

Attachments: [Minutes](#)

V. PUBLIC COMMENTS

6:35 - 6:45PM

(This agenda item provides the public an opportunity to discuss items other than items that are on the agenda. The Planning Commission is not prepared to decide on matters brought up at this time, but if warranted, will place them on a future agenda.)

VI. GENERAL BUSINESS

[2026-323](#) Roberts Rules Overview

Attachments: [Presentation](#)
[Rules of Procedure](#)

6:45 - 7:05PM

[2026-332](#) PUBLIC HEARING: A Resolution of the Planning Commission of the Town of Erie Recommending that the Town Council Approve the Erie Junction Duplex Special Review Use

- Attachments:** [Resolution](#)
[Staff Report](#)
[Staff Presentation](#)
[Applicant Materials](#)
[DRT Comments](#)
[Neighborhood Meeting Information](#)
[Public Hearing Notices](#)
[Preliminary Plat TC Resolution](#)
[Final Plat TC Resolution](#)
[Public Comment](#)

7:05 - 7:50PM

[2026-321](#) A Resolution of the Planning Commission of the Town of Erie Recommending that the Town Council Adopt an Ordinance Amending Chapters 6 and 11 of Title 10 of the Erie Municipal Code Regarding Landscaping

- Attachments:** [Draft Ordinance](#)
[Staff Report](#)
[Presentation](#)

7:50 - 8:05PM

[2026-324](#) Discussion on Proposition 123 Fast Track

- Attachments:** [Planning Commission Meeting Minutes 7-2-25](#)
[Resolution No P25-07](#)
[Ordinance No. 023-2025](#)
[Proposition 123](#)
[DOLA Commitment Filings - First Cycle](#)

8:05 - 8:25PM

VII. STAFF REPORTS

8:25 - 8:35PM
(This agenda items is reserved for specific items from Staff requiring Commission direction or just relaying important information.)

VIII. COMMISSIONER REPORTS AND DISCUSSION ITEMS

8:35 - 8:45PM
(This agenda item is for all Planning Commission reports and items of information as well as Commission discussion items, not listed on the agenda.)

IX. ADJOURNMENT

8:45PM

Translation Services

Persons planning to attend the meeting who need sign language interpretation, translation services, assisted listening systems, Braille, taped material, or other accommodation should email the Town Clerk's Office at TownClerk@ErieCO.gov or call 303-926-2710. Please submit requests at least 48 hours prior to the meeting.

Si requiere una copia en español de esta publicación o necesita un intérprete durante la reunión del Consejo, por favor llame a la Ciudad al TownClerk@ErieCO.gov o 303-926-2710. Por favor envíe sus solicitudes al menos 48 horas antes de la reunión.



TOWN OF ERIE

645 Holbrook Street
Erie, CO 80516

Planning Commission

Board Meeting Date: 5/20/2026

File #: 2026-337, **Version:** 1

SUBJECT:

Approval of the May 6, 2026 Planning Commission Meeting Minutes

DEPARTMENT: Planning & Development

PRESENTER(S): Melinda Helmer, Secretary

TIME ESTIMATE: 0 minutes

For time estimate: please put 0 for Consent items.

FISCAL SUMMARY:

N/A

POLICY ISSUES:

The minutes are provided for Commission verification and approval to confirm the accuracy of the recorded decisions and discussions.

STAFF RECOMMENDATION:

Staff recommends approval of the meeting minutes.

SUMMARY/KEY POINTS

The minutes are provided for Commission verification and approval to confirm the accuracy of the recorded decisions and discussions.

ATTACHMENT(S):

1. May 6, 2026 Planning Commission Meeting Minutes

TOWN OF ERIE

*645 Holbrook Street
Erie, CO 80516*



Meeting Minutes

Wednesday, May 6, 2026

6:30 PM

In-Person Meeting

Link to Watch or Comment Virtually: <https://bit.ly/6May26PCMTg>
Council Chambers
To Sign Up for Public Comment: www.erieco.gov/PublicComment

Planning Commission

I. CALL TO ORDER & PLEDGE OF ALLEGIANCE TO FLAG

Chair Hemphill called the May 6, 2026 Planning Commission Meeting to order at 6:31pm.

II. ROLL CALL

Roll Call:

- Commissioner Booth - present
- Commissioner Burns - present
- Commissioner Dreckman - absent/excused
- Commissioner Sawusch - present
- Commissioner Baham - present
- Vice Chair Braudes - present
- Chair Hemphill - present

A quorum was present.

III. APPROVAL OF THE AGENDA

Commissioner Burns moved to approve the agenda of the May 6, 2026 Planning Commission. The motion, seconded by Commissioner Burns, carried with all voting in favor thereof.

Motion passes.

IV. APPROVAL OF MINUTES

[2026-274](#) Approval of the April 1, 2026 Planning Commission Meeting Minutes

Attachments: [April 1, 2026 Planning Commission Meeting Minutes](#)

Vice Chair Braudes moved to approve the meeting minutes of the April 1, 2026 Planning Commission Meeting. The motion seconded by Commissioner Booth, carried with all voting in favor thereof.

Motion passes.

V. PUBLIC COMMENTS

There were no Public Comments.

VI. GENERAL BUSINESS

[2026-265](#) A Resolution of the Planning Commission of the Town of Erie Recommending that the Town Council Adopt an Ordinance Consolidating all Provisions of the Erie Municipal Code Related to Penalties and Enforcement for Code Violations

Attachments: [Staff Report](#)
[Resolution P26-08](#)
[Ordinance](#)
[Presentation](#)

Chair Hemphill announced Agenda Item 2026-265: A Resolution of the Planning Commission of the Town of Erie Recommending that the Town Council Adopt an Ordinance Consolidating all Provisions of the Erie Municipal Code Related to Penalties and Enforcement for Code Violations.

Chair Hemphill turned it over to staff for a presentation at 6:33pm.

Melinda Helmer, Business Operations Coordinator for Planning & Development gave a presentation to the Commission on the agenda item. Ms. Helmer noted that this amendment is part of a larger change throughout the municipal code to comply with recent State Supreme Court Rulings. As Title 10 falls under the Planning Commission's purview, this amendment will need to be reviewed and a recommendation made to Town Council. Referenced penalties and enforcement throughout the municipal code will be moved to Section 1-4-4 to simplify for clarity.

Chair Hemphill brought it back to the Commission for any questions or comments at 6:35pm..

The Commission has the following comments and questions:

- Clarification regarding location in the code for penalties under Section 10-12-7(Oil & Gas)
- The Ordinance will remove Section 10-10-2, Section 10-14-11, and Section 10-15-5
- Thank you to presenting staff for doing double-duty this evening
- Statement regarding the background of this Ordinance - two municipalities having penalties beyond the state minimums
- Confirming that items related to the UDC penalties section are non-criminal offenses
- Clarification on if these are monetary penalties or serving time
- Is there a say in what types of penalties that Council has as it relates to the UDC?

With no other questions or comments, Chair Hemphill asked if there was a motion regarding Resolution P26-08.

Commissioner Sawusch moved to approve Resolution P26-08: Resolution of the Planning Commission of the Town of Erie Recommending that the Town Council Adopt an Ordinance Consolidating all Provisions of the Erie Municipal Code Related to Penalties and Enforcement for Code Violations. The motion, seconded by Commissioner Booth, carried with all voting in favor thereof.

Motion passes unanimously.

[2026-267](#) Recognition of Commissioners Baham and Burns

Attachments: [Resolution No. 22-062](#)
[Certificates of Recognition](#)

Chair Hemphill announced Agenda Item 2026-27: Recognition of Commissioners Baham and Burns.

Chair Hemphill turned it over to Deputy Director of Planning & Development, Kelly Driscoll at 6:41pm.

Mrs. Driscoll recognized and thanked both Commissioner Burns and Commission Baham for their dedication and service on the Planning Commission. This work is often thankless, and their time and efforts as volunteers is truly appreciated. The commitment in working through the Town's Comprehensive Plan and the various land use cases over the years has been invaluable to staff and the community. In recognition of their service, Mrs. Driscoll presented Commissioner Burns and Commissioner Baham with certificates of appreciation.

Vice Chair Braudes offered a sincere thank you for their efforts over the years adding that he's learned a lot from both Commissioners.

Commissioner Baham thanked the commission and staff, noting that while the work can sometimes feel thankless, it has been a truly rewarding experience. Seeing the positive results of the commission's efforts has made the opportunity both meaningful and fulfilling.

Commissioner Burns shared that it has been rewarding to see the input from both the commissioners and the public, and to witness the town's development over the past four years, noting it was an interesting and valuable experience.

Commissioner Sawusch thanked both Commissioner Burns and Commissioner Baham for their dedication and service, noting that they faced challenging and sometimes contentious situations that they may not have anticipated when accepting their appointments to the Commission. Despite periods of turnover, both commissioners did a phenomenal job keeping things moving forward, and their commitment to the community and their roles was deeply appreciated.

Commissioner Booth echoed the appreciation shared and expressed gratitude for the opportunity to learn from both commissioners. She noted that each commissioner brought valuable expertise and insight, and that listening to their questions and perspectives had been a meaningful learning experience and thanked Commissioner Burns and Commissioner Baham for their service on the Commission.

Chair Hemphill also echoed the appreciation shared and thanked Commissioner Burns and Commissioner Baham for their time and service on the Commission and looks forward to seeing them for public comment.

VII. STAFF REPORTS

Kelly Driscoll, Deputy Director of Planning & Development noted the next meeting on May 20, 2026 will be with the newly appointed Commissioners. There will be a welcome dinner before the meeting at 5:45pm with several items on the agenda for the night.

VIII. COMMISSIONER REPORTS AND DISCUSSION ITEMS

Commissioner Sawusch took the opportunity to ask Commissioner Burns and Commissioner Baham a couple of questions since they've been on the Commission for 4 year.

The first question was surrounding Fast Track Prop 123 and if there were any closing items or anything that the commission would want to make sure to address, be attended to, or want to have.

Commissioner Burns shared that a focus on stepping back from personal opinions and instead considering what course of action best serves the community as a whole, especially in terms of quality of life and financial impact, particularly given that the issue has become more recently, publicly prominent.

Commissioner Baham shared that establishing a clear, defined process and consistently follow it - empower staff to execute efficiently and move forward without delays - particularly if the goal is to achieve specific outcomes (housing product and building) so the workflow remains straightforward and effective.

The second question Commissioner Sawusch had surrounded roles and responsibilities. Now that it's been four years and you (Baham and Burns) have seen the evolution of the Commission, are there things you wish we could've done differently or would've liked to have seen happen in terms of how the Commission functions?

Commissioner Burns expressed appreciation for the increased focus on procedure and the use of Robert's Rules, adding that stronger onboarding for new commissioners is a significant improvement from his experiences where there was minimal guidance on process and function. Commissioner Burns sees the proactive onboarding approach as an important step to preparing everyone to effectively handle issues going forward.

Commissioner Baham echoed the importance of a strong onboarding process, emphasizing that the goal is to prepare the commissioners to be effective in their roles by helping them understand priorities, procedures, and how to approach matters appropriately. He noted that the intent is not influence decisions, but rather to provide a clear road map for how the role and process function.

Commissioner Sawusch wanted to ask these questions because both Commissioner Baham and Commissioner Burns are the first individuals in 4 years that have run to their terms. Not one of the prior 12 - 15 commissioners throughout this time have been able to provide this feedback.

Commissioner Burns feels like he's leaving the commission in a better position than when he started.

Commissioner Baham noted that there needs clear, consistency and to keep continuing on this path and fostering that growth.

Vice Chair Braudes noted that tomorrow night Congressman Joe Neguse will be in Town Hall Council Chambers from 4:30 - 5:30pm. If you'd like to participate, you need a ticket. If you need a link, reach out.

Chair Hemphill added that Michele Crawford, Deputy Town Clerk sent over a Code of Conduct for the Commissioners to sign and a reminder that the Town

Fair is this Saturday, May 16, 2026.

Commissioner Burns wanted to take this time to acknowledge the late MJ Adams, the Town's Affordable Housing Manager. Ms. Adams helped shape a key part of what became the Comp Plan and that the Town will be doing something to commemorate her efforts.

IX. ADJOURNMENT

Commissioner Booth moved to adjourn the May 6, 2026 Planning Commission Meeting. The motion was seconded by Commissioner Burns, with all in favor thereof.

Chair Hemphill adjourned the May 6, 2026 Planning Commission Meeting at 6:56pm.

Translation Services



TOWN OF ERIE

645 Holbrook Street
Erie, CO 80516

Planning Commission

Board Meeting Date: 5/20/2026

File #: 2026-323, **Version:** 1

SUBJECT:

Roberts Rules Overview

DEPARTMENT: Planning & Development

PRESENTER(S): Ben Hemphill, Planning Commission Chair

TIME ESTIMATE: 20 minutes

For time estimate: please put 0 for Consent items.

FISCAL SUMMARY:

N/A

POLICY ISSUES:

Informational item only.

STAFF RECOMMENDATION:

Informational item only.

SUMMARY/KEY POINTS

The Chair will provide the Planning Commission an overview of Roberts Rules of Order.

ATTACHMENT(S):

1. Presentation
2. Rules of Procedure

Robert's Rules of Order for the Town of Erie Planning Commission

Ben Hemphill, Chair

May 20, 2026



Agenda

- **Current Rules of Procedure**
- **What are Robert's Rules of Order?**
- **Why use Robert's Rules or Order?**
- **Presiding Officer**
 - **Elections**
- **Basic Meeting Structure**
- **Definitions**
- **Motions**
 - **Order**
 - **Process**

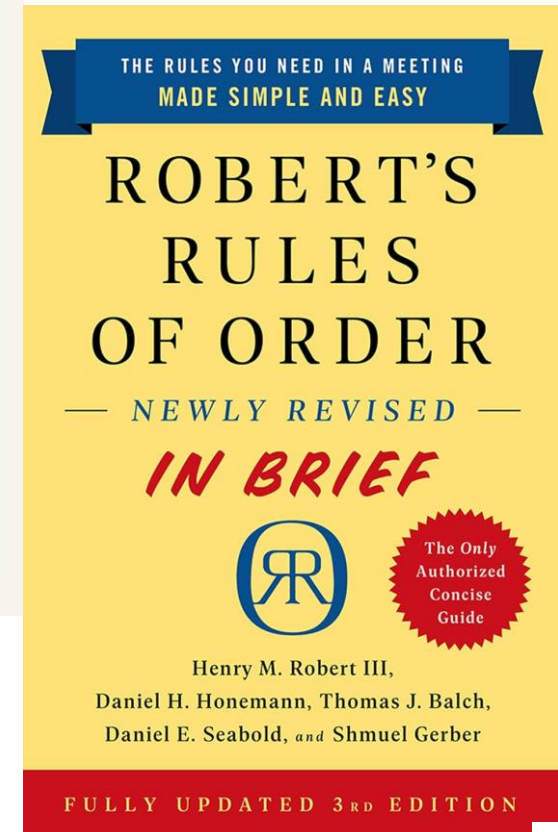
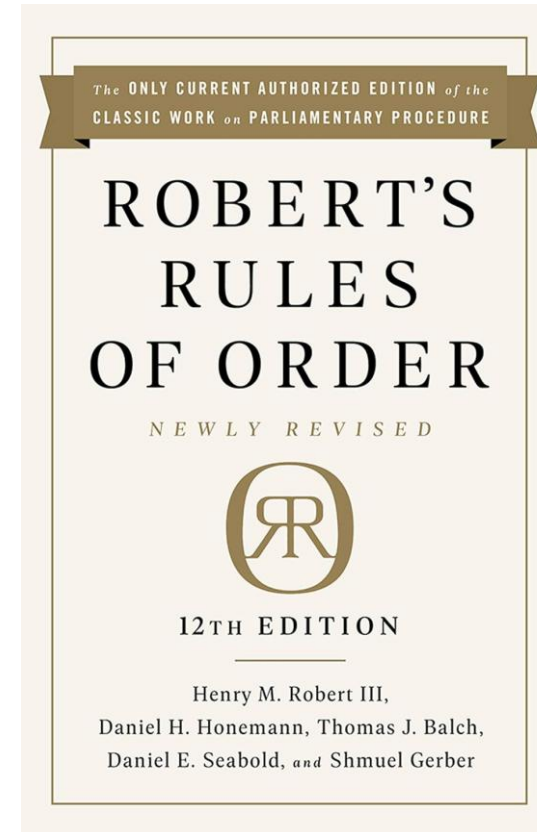


Current Rules of Procedure

- Town of Erie Resolution No. 22-149
- See file 25-482 which is Sept. 3, 2025 Planning Commission meeting for a link
- <https://erie.legistar.com/View.ashx?M=F&ID=14740536&GUID=84BAD7BE-8BDD-4129-9C21-DB00C5B67671>
- Covers officers, meeting times, agendas, procedures, and public comment
- Procedures discussing voting and motions
- Process generally follows Robert's Rules of Order

What are Robert's Rules of Order?

- Robert's Rules of Order Newly Revised 12th Edition (©2020) (816 pages)
- Robert's Rules of Order Newly Revised In Brief (©2020) (224 pages)
- A guide for how to run meetings with attendance from small to large
- Planning Commission is a small group so there is more flexibility





Why use Robert's Rules of Order?

- “A prime value of parliamentary procedure is that it provides processes through which an organization, large or small, can work out satisfactory solutions to the greatest number of questions in the least amount of time. It can do this whatever the detail or complexity that may be involved. It makes meetings go smoothly when everyone is in agreement, and allows the group to come to decisions fairly when issues are bitterly contested.”



Principles Underlying Parliamentary Law

- Balance the rights of persons within the assembly
- Rights of:
 - the majority
 - the minority
 - individuals
 - absentees
 - all of these together

“Ultimately, it is the majority taking part in the assembly who decide the general will, but only following upon the opportunity for a deliberative process of full and free discussion.”

RONR (12th ed.) Principles Underlying Parliamentary Law



Presiding Officer

- The Planning Commission has a Chair and Vice Chair that are appointed to a one-year term.
 - Planning Commission will vote on these at our June 3, 2026 meeting
- If the Chair is not present, the Vice Chair takes the role of presiding over the meeting.
- If neither are present, then a presiding officer is selected for the meeting.
- Duties: Calling the meeting to order, announce business, recognize members, put the vote, enforce rules of order, expedite business compatible with the rights of the members, decide questions of order, parliamentary procedures, sign documents, and adjourn the meeting.

RONR (12th ed.) 47:7, 47:11



Election Process

- Nominations from the chair or floor
- Ballot or Roll-Call Vote
 - Majority required
 - Voting repeated until a majority vote is obtained

RONR (12th ed.) 46



Basic Meeting Structure per Robert's Rules

- Determination of quorum
- Standard order of Business
 - Minutes
 - Unfinished Business
 - New Business
 - Reports
- Planning Commission has Public Comment.
- Planning Commission adopts each agenda before the meeting.
- Planning Commission has reports at the end of the meeting.

Definitions

Word/Phrase	Definition
Appeal	Mechanism for members to dispute the chair's decision. RONR (12 th ed.) 24
Main Motion	Primary business before the assembly. RONR (12 th ed.) 6:1
Majority	>50% (e.g. with 6 votes, 4 is a majority, 3 is not). RONR (12 th ed.) 44:1
Previous Question	Close debate and call the vote
Privileged Motion	Not related to pending business which should be allowed to interrupt. RONR (12 th ed.) 6:11
Question	The formal statement of the motion and the actual item up for a vote.
Subsidiary Motion	Assist the assembly in treating or disposing of a main motion. RONR (12 th ed.) 6:3

RONR (12th ed.)

Motions

Motion	Debate?	Amend?	Vote
Adjourn	No	No	Majority
Amend	Yes	Yes	Majority
Amend Something Previously Adopted	Yes	Yes	(a) Maj. with notice; or (b) 2/3; or (c) maj. of entire membership
Appeal	Normally	No	Majority in negative required to reverse chair's decision
Debate, Close (Previous Question)	No	No	2/3
Debate, Limit or Extend Limits of	No	Yes	2/3
Main Motion	Yes	Yes	Majority
Postpone	Yes	Yes	Majority
Previous Question	No	No	2/3
Recess	No	Yes	Majority
Reconsider	If motion to be reconsidered debatable	No	Majority
Rescind	Yes	Yes	(a) Maj. with notice; or (b) 2/3; or (c) maj. of entire membership
Suspend the Rules (rules of order)	No	No	2/3
Suspend the Rules (standing rules or convention standing rules)	No	No	Majority
Voting, motions relating to	No	Yes	Majority

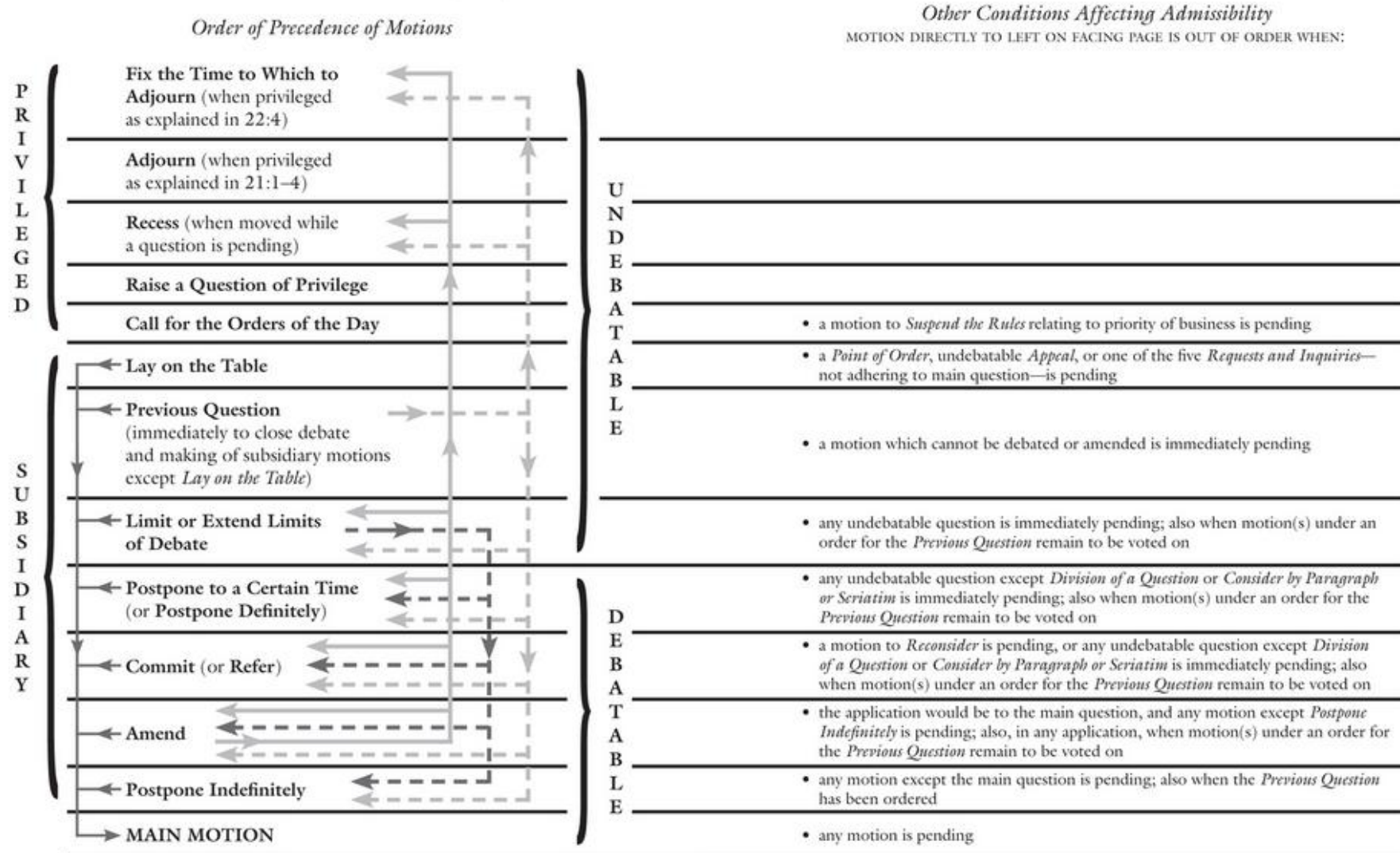
RONR in Brief, Table D.



Motion Order

RONR (12th ed.) Chart I

I. CHART FOR DETERMINING WHEN EACH SUBSIDIARY OR PRIVILEGED MOTION IS IN ORDER (cont.)





Motion Process

- A member requests to make a motion
- The chair recognizes the member
- The recognized member makes the Motion
- Another member Seconds the motion
- The Chair States the Question*
- Debate †
- The Chair Puts the Question
- Announce result

* The Chair restates the motion per RONR in order for the motion to be clear to all who vote on it. Since the Planning Commission typically has well defined motions from the member, the chair does not typically repeat the motion.

† Planning Commission typically debates before the motion in order to capture any amendments before the motion. This works because of the well-defined nature of our agenda items.

RONR in Brief, Chapter 3



Motion Process Example

Member A	I would like to make a motion
Chair	Member A
Member A	I move to approve [full language of resolution]
Member B	Second
Chair	There is a motion from Member A and a second from Member B for the [resolution].
Chair	[call the vote based on motion]*

* Voice vote or roll call vote are typical depending on motion or the request from any member

RONR in Brief, Tables. Modified



Questions & Discussion

**Town of Erie
Resolution No. 22-149**

**A Resolution of the Board of Trustees of the Town of Erie Adopting
Rules of Procedure for the Planning Commission**

Whereas, Section 3-1-2(C) of the Erie Municipal Code requires that the Board of Trustees adopt Rules of Procedure for the Planning Commission; and

Whereas, the rules of procedures provided herein satisfy the Erie Municipal Code requirement while providing for a concise set of procedures related to terms, removal, vacancy, meetings, organization, and roles of the Planning Commission.

Now Therefore be it Resolved by the Board of Trustees of the Town of Erie, Colorado, that:

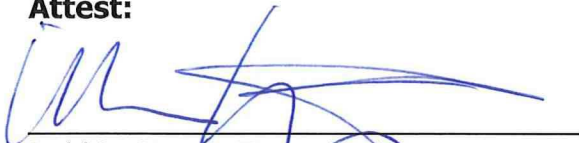
Section 1. The Board of Trustees hereby adopts the Planning Commission Rules of Procedure in the form attached hereto.

Adopted this 13th day of December, 2022.



Justin Brooks, Mayor

Attest:



Debbie Stamp, Town Clerk
Michèle Crawford, Deputy Town Clerk



Erie Planning Commission Rules of Procedure

1. Purpose. The Board of Trustees has adopted these Rules of Procedure (the "Rules") pursuant to Section 3-1-2(C) of the Erie Municipal Code. The purpose of the Rules is to provide guidance and direction to the Planning Commission (or "Commission").
2. Erie Municipal Code. Procedures related to terms, removal, vacancy, meetings, organization, and roles of the Commission are found in Title 3 of the Erie Municipal Code. In the case of a conflict between these rules of procedure and the Erie Municipal Code, the Erie Municipal Code shall apply.
3. Officers.
 - a. *Chair*. The Chair is responsible for preserving order and the integrity of all proceedings before the Commission, and must:
 - i. Call meetings to order as scheduled and proceed with the order of business;
 - ii. Announce the business to be acted upon;
 - iii. Inform the Commission, when necessary, on any point of order or practice;
 - iv. Authenticate by signature, when necessary, or when directed by the Commission, all of the acts, findings and orders, and proceedings of the Commission;
 - v. Efficiently move the agenda along, limit redundancy and the time allowed for comments, and set guidelines for public input; and
 - vi. Recognize speakers prior to receiving comments and presentations.
 - b. *Vice Chair*. The Vice Chair shall exercise the duties of the Chair in the Chair's absence.
 - c. *Secretary*. The Secretary shall keep accurate minutes of all Commission meetings and a record of all Commission resolutions, transactions, findings, and determinations. The Secretary shall be responsible for posting all required notices and agendas.
 - d. *Temporary Chair*. In the event both the Chair and the Vice Chair are absent from a meeting, the Secretary must call the Commission to order and call the roll. If a quorum is present, the Commission shall elect by a majority vote a temporary Chair who will preside over the meeting until the arrival of the Chair or Vice Chair.
4. Meetings.
 - a. All meetings of the Commission shall be open to the public, other than executive sessions in compliance with the Colorado Open Meetings Law.
 - b. The Planning Commission shall meet in regular session on the first and third Wednesday of each month beginning at 6:30 p.m.

- c. Special meetings may be called by the Chair or the Liaison, or upon the request of 3 or more Commissioners. Notice of a special meeting shall be provided to each Commissioner, by electronic means or telephone.
 - d. The Planning Commission may meet in a study session, but no decisions can be made nor may any actions be taken at a study session; all actions taken and all decisions made must be approved at either a regular or special meeting.
 - e. All meetings shall be held in the Board of Trustees Chambers unless otherwise determined.
 - f. The agenda for each meeting shall be posted in accordance with the Colorado Open Meetings Law.
 - g. Every Commissioner must attend all scheduled meetings of the Commission, unless duly excused. Any Commissioner desiring to be excused must notify the Secretary and Liaison in advance.
5. Meeting Agendas.
- a. Meeting agendas are set by the Chair, Secretary, and Liaison. The agenda for all meetings shall be primarily devoted to the transaction of Town business requiring formal voting by the Commission. An item may be placed on the agenda at the direction of the Chair, the Liaison, or a majority of the Commission.
 - b. No later than Friday preceding the regular meeting, the Secretary will publish on the Town's website the meeting agenda and packet.
 - c. The order of business shall be as follows, unless modified by a majority vote of the Commissioners present:
 - i. Call to order and roll call.
 - ii. Pledge of Allegiance.
 - iii. Approval of the agenda.
 - iv. Consent agenda.
 - v. Public comment on matters not on the agenda (limited to 3 minutes per speaker).
 - vi. General business.
 - vii. Staff reports.
 - viii. Commission reports.
 - ix. Executive session, as needed.
 - x. Adjournment.
6. Meeting Procedures.
- a. *Voting.* Votes may be taken either by voice vote or by roll call vote. All actions require an affirmative vote of a majority of the Commission.

- b. *Abstention.* No Commissioner may abstain from voting unless they have a conflict of interest as defined by state law or Chapter 7 of the Erie Municipal Code. In that case, the Commissioner should state the conflict, step down from the platform and not participate in the discussion or vote. If any Commissioner attempts to abstain in any other circumstance, the refusal shall be counted as an affirmative vote.
 - c. *Motions Procedure.* All matters before the Commission shall be introduced by motion, as follows:
 - i. The presiding officer recognizes a Commissioner.
 - ii. The Commissioner proposes a motion.
 - iii. Another Commissioner seconds the motion.
 - iv. The Commission debates/discusses the motion (amendments to the motion or other substitute motions may be made during the debate/ discussion).
 - v. At the conclusion of the debate/discussion, a vote is taken.
 - vi. Any motion may be withdrawn prior to a vote on that motion with the concurrence of the person seconding the motion.
 - d. *Types of Motions.* The following motions are acceptable:
 - i. Motion to approve/deny.
 - ii. Motion to amend.
 - iii. Motion to continue to a date certain.
 - iv. Motion to postpone indefinitely.
 - v. Motion to call the question. This motion is used to cut off debate and to bring an immediate vote on the pending motion. A vote is first taken on the motion to call, and if successful, debate is halted and a vote on the main motion is made. If the vote on the motion to call fails, debate on the main motion continues.
 - vi. Motion to reconsider. A motion to reconsider must be made at the same meeting at which the action occurred, or at the next meeting. The motion must be made by a Commissioner who voted on the prevailing side. A vote is then taken on the motion to reconsider. The passage of a motion to reconsider suspends all action on the original motion. The original motion is then placed before the Commission in the exact form it was when previously adopted. Once the vote is taken and the results determined, no further reconsideration can be granted.
7. Public Comment.
- a. Members of the public shall have the opportunity to comment on resolutions and other matters before the Commission as determined by the Chair or applicable law, during the time designated for such comment and when recognized by the Chair.

- b. Each person wishing to comment shall first sign a public comment sheet listing their name and place of residence or, if attending virtually, use the raise your hand feature when asked by the Secretary. The Secretary will deliver the comment sheets to the Chair, who will call the names of the persons who indicated they wished to speak in the order they signed up.
 - c. Prior to making comments, each person will, for the record, give their name and place of residence.
 - d. Public comment is limited to 3 minutes per person, provided that time can be pooled.
 - e. The Chair may limit the total amount of time dedicated to public comment.
 - f. Public comment concerning a matter that is scheduled for a public hearing should be made during the public comment portion of the public hearing, so it is reflected in the record of the public hearing.
8. Public Hearings.
- a. The Commission shall hold public hearings as required by the Erie Municipal Code or other applicable law.
 - b. The procedure for public hearings shall comply with Section 10-7-2 of the Erie Municipal Code.



TOWN OF ERIE

645 Holbrook Street
Erie, CO 80516

Planning Commission

Board Meeting Date: 5/20/2026

File #: 2026-332, **Version:** 1

SUBJECT:

PUBLIC HEARING: A Resolution of the Planning Commission of the Town of Erie Recommending that the Town Council Approve the Erie Junction Duplex Special Review Use

DEPARTMENT: Planning & Development

PRESENTER(S): Christopher C. LaRue, Principal Planner

TIME ESTIMATE: 45 minutes

POLICY ISSUES:

A Special Review Use must go to Planning Commission for a recommendation and then Town Council for the final decision.

STAFF RECOMMENDATION:

Staff find the Erie Junction Duplex Special Review Use application complies with the Approval Criteria and recommend the Planning Commission recommend approval of the resolution to Town Council.

SUMMARY/KEY POINTS

- Duplex uses within the Old Town Residential (OTR) Zone require a Special Review Use (SRU) approval.
- The site is platted for ten duplex buildings (20 units) and one triplex (3 units).
- This SRU only includes the ten duplex buildings, per the request of the applicant.
- Each duplex must meet the Town of Erie's Development Design Standards and will be reviewed during future architectural applications. Examples of architecture are provided within the report.

BACKGROUND OF SUBJECT MATTER:

The project started review in 2021, which initially included both a preliminary plat and SRU application. While these applications are typically brought together to Planning Commission and Town Council, only the preliminary plat moved forward. The preliminary plat was approved by Town Council in early 2022, and the final plat and development agreement were approved in 2023.

Horizontal infrastructure was completed in 2024 and remains under warranty through July 2027.

In 2025, staff determined the original SRU and triplex site plan had not moved beyond the application process. The applicant chose to pursue only the duplex SRU, submitting in December 2025. In 2026, the duplex SRU application was deemed complete, sent to referral, reviewed by DRT, and cleared to proceed to public hearings.

ATTACHMENT(S):

1. Resolution
2. Staff Report
3. Staff Presentation
4. Application Materials
5. DRT Comments
6. Neighborhood Meeting Information
7. Public Hearing Notices
8. Preliminary Plat TC Resolution
9. Final Plat TC Resolution
10. Public Comment

**Town of Erie
Planning Commission
Resolution No. P26-10**

**A Resolution of the Planning Commission of the Town of Erie
Recommending that the Town Council Approve the Erie Junction
Duplex Special Review Use**

Whereas, Erie Junction, LLC ("Applicant") filed an application (the "Application") for approval of the Erie Junction Duplex Special Review Use for the real property legally described as Erie Junction Final Plat; and

Whereas, on December 23, 2025, the Applicant submitted the Application to the Town of Erie; and

Whereas, on May 20, 2026, the Planning Commission held a properly-noticed public hearing on the Application; and

Whereas, upon consideration of the Application and supporting documentation, the recommendation of Town staff and any public comment received at the public hearing, the Planning Commission recommends that the Town Council approve the Erie Junction Duplex Special Review Use.

Now, therefore, be it resolved by the Planning Commission of the Town of Erie, Colorado, that:

Section 1. Findings of Fact.

- a. Specifically, the Application satisfies the following criteria set forth in Section 10.7.11.C.2 of the UDC:
 - i. The proposed use is generally consistent with the town's comprehensive plan and all applicable provisions of this UDC and applicable state and federal regulations;
 - ii. The proposed use is generally consistent with the purpose and intent of the zoning district in which it is located;
 - iii. The proposed use is generally consistent with any applicable use-specific standards set forth in section 10-3-2;
 - iv. The proposed use is compatible with adjacent uses in terms of scale, site design, and operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts);

- v. Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent reasonably practicable;
- vi. Facilities and services (including sewage and waste disposal, water, gas, election, police and fire protection, and streets and transportation, as applicable) will be available to serve the subject property while maintaining adequate levels of service for existing development;
- vii. Adequate assurances of continuing maintenance have been provided; and
- viii. Any significant adverse impacts on the natural environment will be mitigated to the maximum extent reasonably practicable.

Section 2. Decision. Based on the foregoing Findings of Fact, the Planning Commission recommends approval to the Town Council for the Erie Junction Duplex Special Review Use.

Adopted this 20th day of May, 2026.

Ben Hemphill, Chair

ATTEST:

Melinda Helmer, Secretary

**TOWN OF ERIE
PLANNING COMMISSION AGENDA ITEM
May 20, 2026**

SUBJECT: **PUBLIC HEARING: SRU2025-00005**
**Resolution of the Planning Commission of the Town of Erie
Recommending that the Town Council Approve the Erie Junction
Duplex Special Review Use**

CODE REVIEW: Erie Municipal Code, Title 10

PURPOSE: Consideration of a proposal to allow duplex uses within the Erie
Junction Subdivision which is zoned Old Town Residential (OTR).

DEPARTMENT: Planning and Development

PRESENTER: Christopher C. LaRue, Principal Planner

STAFF RECOMMENDATION:
Special Review Use

Staff find the Erie Junction Special Review Use (SRU) application complies with the Approval Criteria and recommend the Planning Commission make a recommendation of approval to Town Council.

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

Applicant: Diverge Homes LLC
 c/o Nick Jacobs
 603 South Public Road, # 765
 Lafayette, CO 80026

Existing Conditions:

Zoning: Old Town Residential (OTR)

Future Land Use Map: Residential-Medium

Property Size: 2.73 Acres

Existing Use: Vacant Lots

Location Map:

The site is located at the northeast corner of East County Line Road and Balcom Street in Old Town Erie. The map below highlights the site in red and shows the surrounding context:



Adjacent Land-Use/Zoning:

	ZONING	LAND USE
NORTH	Old Town Residential (OTR)	Single-Family detached
SOUTH	Old Town Residential (OTR)	Balcolm Street & Single-Family detached
EAST	Old Town Residential (OTR)	Alley & Single-Family detached
WEST	Business (B)	Day Care & Mountain Kids Gymnastics School

Site History:

2021

- January: Staff considered Sketch Plan for the project
 - The project was referred out as a plat, Special Review Use, and site plan.
 - The platting process was completed prior to the SRU moving forward. This is allowed by code but is an atypical process.
- December: Preliminary Plat was recommended for approval by Planning Commission

2022

- [January](#): Preliminary Plat was approved by Board of Trustees (BOT)

2023

- [November](#): Final Plat and Development Agreement was approved by Town Council (TC) on the consent docket.

2024

- The site infrastructure was built out according to the approved final plat and Construction Documents. The infrastructure is in preliminary acceptance and still under the warranty through July 28, 2027.

2025

- May: Project site was listed for sale.
- December: Applicant inquired about building permits for vertical construction. Staff determined that the SRU and site plan for the triplex were required next steps.
- Staff advised the applicant to submit the SRU for the duplex and one triplex along with a site plan for the triplex.
- Applicant chose to move forward with only the duplexes in the SRU.
- Applicant submitted for the SRU on December 23, 2025.

2026: Staff have continued to work with the applicant to get the project out on referral and schedule the duplex SRU for hearing.

- Application was considered complete on February 23, 2026
- Sent for referral on February 27, 2026
- Development Review Team (DRT) meeting April 2, 2026
- Determination made to move forward to public hearings.

Future Required Applications:

If Town Council approves the SRU for the duplexes, the applicant may move forward with architecture reviews, building permits and construction. One triplex building remains ineligible for building permits until the applicant submits and receives approval for an SRU and site plan specific to that use. Duplex development is not subject to site plan review.

Proposal Overview:

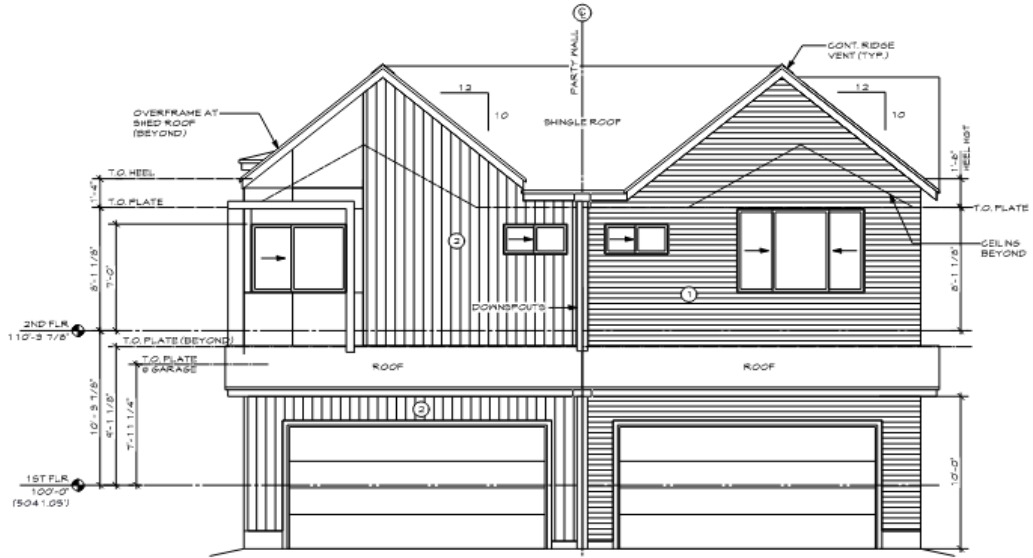
The site has been final-platted to allow development of ten duplex buildings (20 units total) and one triplex building (3 units). The entire property is zoned Old Town Residential (OTR), which permits single-family detached dwellings by right. Duplex dwellings and single-family attached dwellings (three or more units) are allowed only through Special Review Use (SRU) approval. As noted in the project history, the

planning process was required to be completed prior to initiating the SRU. The SRU described in this report and application applies solely to the duplex lots.

Existing lot sizes range from 3,043 to 3,354 square feet. Access to all lots is provided via private streets and alleys connecting to Balcolm Street. Most homes will take access from the alley for garage placement, while six units on the west side of the development will have front-loaded garages. Each duplex must be designed in compliance with the Town of Erie's Development Design Standards, which will be fully evaluated during future architectural review applications. The applicant has submitted one conceptual design to illustrate their vision for the development.

Below is an example of an alley loaded product:





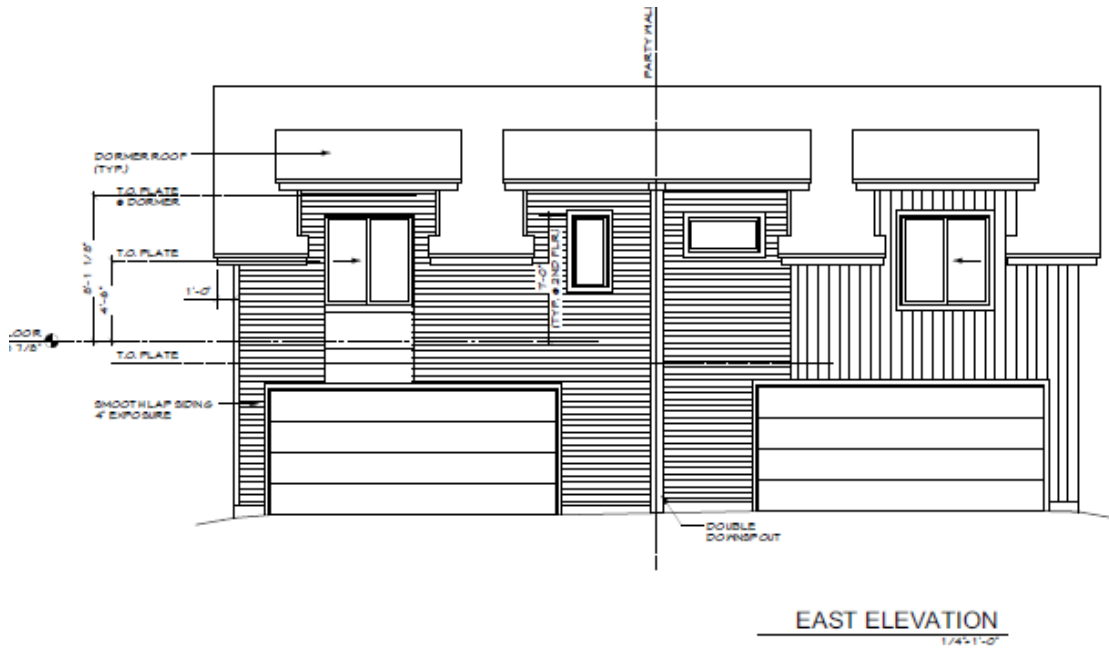
WEST ELEVATION

Below is another example of architecture followed by its detached garage:



WEST ELEVATION

1/4"=1'-0"



Below is a sample color rendering:



The applicant will submit the final products for architectural review upon SRU approval.

Compliance with Town of Erie Comprehensive Plan:

The SRU application is consistent with the land use designations shown on the 2024 Comprehensive Plan Future Land Use Map. The map identifies this site as Residential-Medium. The subject property is outlined with a black dashed line on the Future Land Use Map.

This application is fully consistent with the Comprehensive Plan in both the Residential-Medium land use designation and the applicable policy goals outlined in the plan. According to the Comprehensive Plan, the Residential-Medium category accommodates a mix of housing types, ranging from small-lot single-family homes and duplexes to townhouses and garden apartments. It is typically applied as a transition between lower-density neighborhoods and higher-density residential or commercial areas. Density within this designation generally ranges from 8 to 18 dwelling units per acre. As platted, the project falls at the lower end of this range, at 8.42 du/ac.

The application conforms with multiple goals and policies within the 2024 Comprehensive Plan, especially the following:

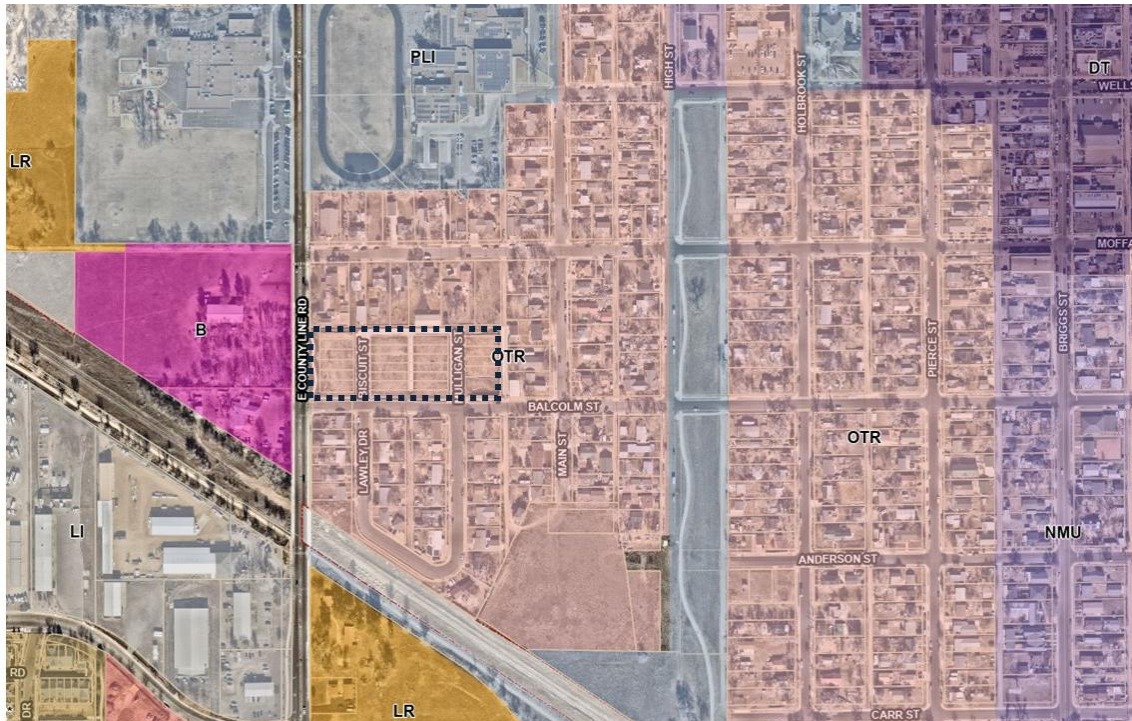
- C.5.1: Ensure that new development meets Comprehensive Plan vision, priorities, and resources management.
Developing duplexes will help contribute to the need for more diverse housing typologies and improved affordability within the community.
- 2. H.1.1: Locate higher density housing and mixed-use development in areas that are currently served or will be served by bus transit and neighborhood centers.

This development supports the neighborhood center of Historic Old Town and is also near Erie Town Center.



Compliance with Town of Erie Zoning Map:

The subject property is zoned Old Town Residential (OTR). The property is outlined with a black dashed line on the zoning map below. The OTR zone district allows duplex, multi-family, and single-family attached housing (3 or more connected units) with a Special Review Use approval. The proposed project is consistent and complies with the land use table, dimensional standards, and the development standards in the UDC.



Access and Parking:

Staff previously reviewed the applicant’s traffic impact study during the final plat process. The existing access points and street network can accommodate the development. The project will utilize the existing access points onto Balcolm Street from the constructed private drive. Units will include garage and driveway parking. Additionally, on-street parking is permitted on the two private streets.

Utilities, Infrastructure, and Drainage:

Town engineering staff have no outstanding utility concerns. Adequate utilities are established to serve the site.

STAFF REVIEW AND ANALYSIS

Staff finds the application is consistent with the Special Review Use approval criteria in the UDC, Section 10.7.11.C.2, as outlined below.

- a. The proposed use is generally consistent with the town's comprehensive plan and all applicable provisions of this UDC and applicable state and federal regulations;
Staff: The duplex use is consistent with the goals of the Town's Comprehensive Plan and Future Land Use Plan, as well as all applicable provisions of the Unified Development Code, State regulations, and federal regulations.
- b. The proposed use is generally consistent with the purpose and intent of the zoning district in which it is located;
Staff: The proposed use is permitted as a Special Review Use within the OTR zone district. The site has been platted to accommodate the proposed development and is consistent with the intent and standards of the zoning district.
- c. The proposed use is generally consistent with any applicable use-specific standards set forth in section [10-3-2](#);
Staff: The plat was previously approved to accommodate the proposed Special Review Use and demonstrated compliance with the applicable standards. The duplexes will introduce an alternative housing type that is currently limited within Old Town.
- d. The proposed use is compatible with adjacent uses in terms of scale, site design, and operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts);
Staff: The twenty duplexes will be consistent with the surrounding area in both design and scale and will not introduce significant impacts. The site layout was previously reviewed and approved through the final plat. Future architectural and building permit reviews will ensure compliance with all applicable standards and requirements in the Unified Development Code.
- e. Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent reasonably practicable;
Staff:
Adverse impacts to surrounding properties are expected to be minimal, as the proposed duplexes are similar in scale and intensity to existing residential uses in the area. Adequate parking will be provided in accordance with the UDC parking requirements, with each unit supplying two off-street parking spaces. Additional on-street parking can be accommodated along the private streets.
- f. Facilities and services (including sewage and waste disposal, water, gas, election, police and fire protection, and streets and transportation, as applicable) will be available to serve the subject property while maintaining adequate levels of service for existing development;
Staff: *As a site located within an existing, established developed area, infrastructure and utilities are already in place and available to serve the proposed use.*
- g. Adequate assurances of continuing maintenance have been provided; and
Staff: *Staff have no concerns regarding ongoing maintenance, as the development will be maintained the same as other neighborhoods within Town.*

- h. Any significant adverse impacts on the natural environment will be mitigated to the maximum extent reasonably practicable.

Staff: No significant adverse impacts on the natural environment were identified during the plat approval process.

NEIGHBORHOOD MEETING

As required by the Municipal Code, a Neighborhood Meeting was held on April 16, 2026. A summary of the meeting is attached to this report for reference.

PUBLIC NOTICE

Notice of this Public Hearing has been provided as follows:

Published in the paper: 4/29/26

Property Posted: 5/1/26

Letters to adjacent property owners within 500': 5/1/26



ERIE
COLORADO

Erie Junction Duplex SRU

Planning Commission

Chris LaRue, Principal Planner

May 20, 2026



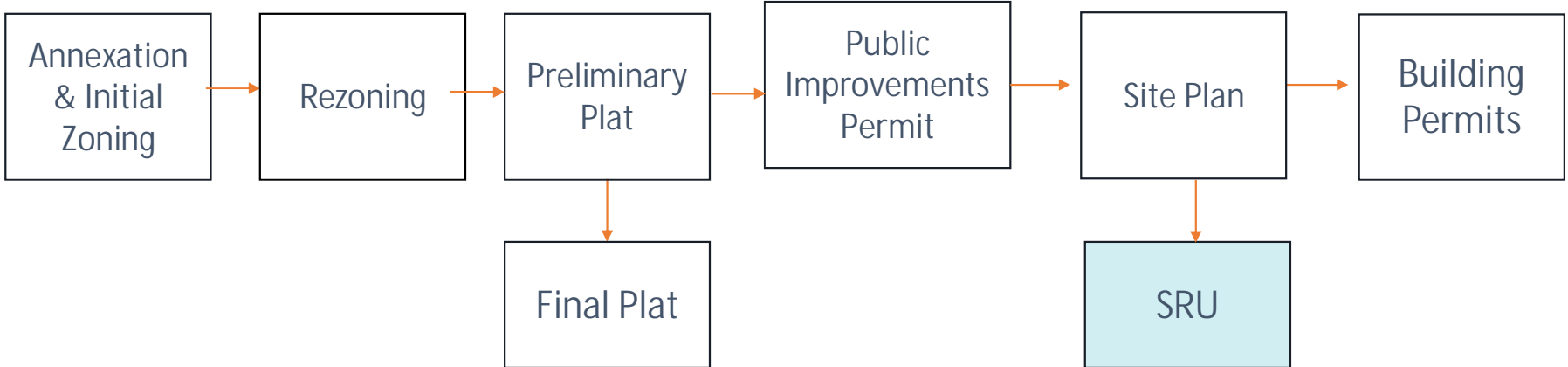
Request

SRU – Planning Commission Recommendation

- Project Size: 2.73 Acres
- Existing Zoning: Old Town Residential (OTR)
- Existing Use: Vacant Lots



Development Review Process





Overview

- Background
- Proposal
- Decision



Location

Subject site is northeast of County Line Rd & Balcolm St





Location - North on County Line

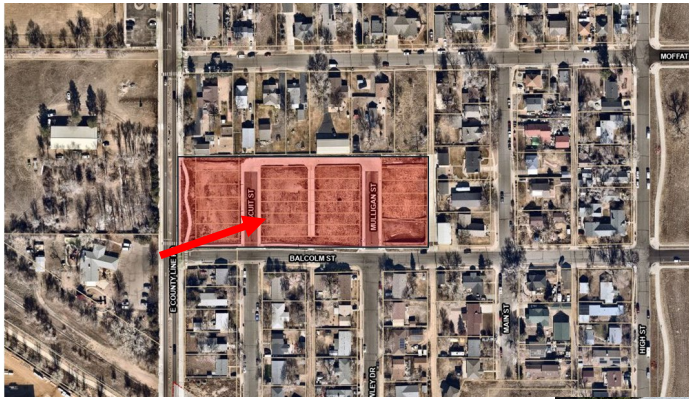




Location - East on Balcolm



Location - East into site



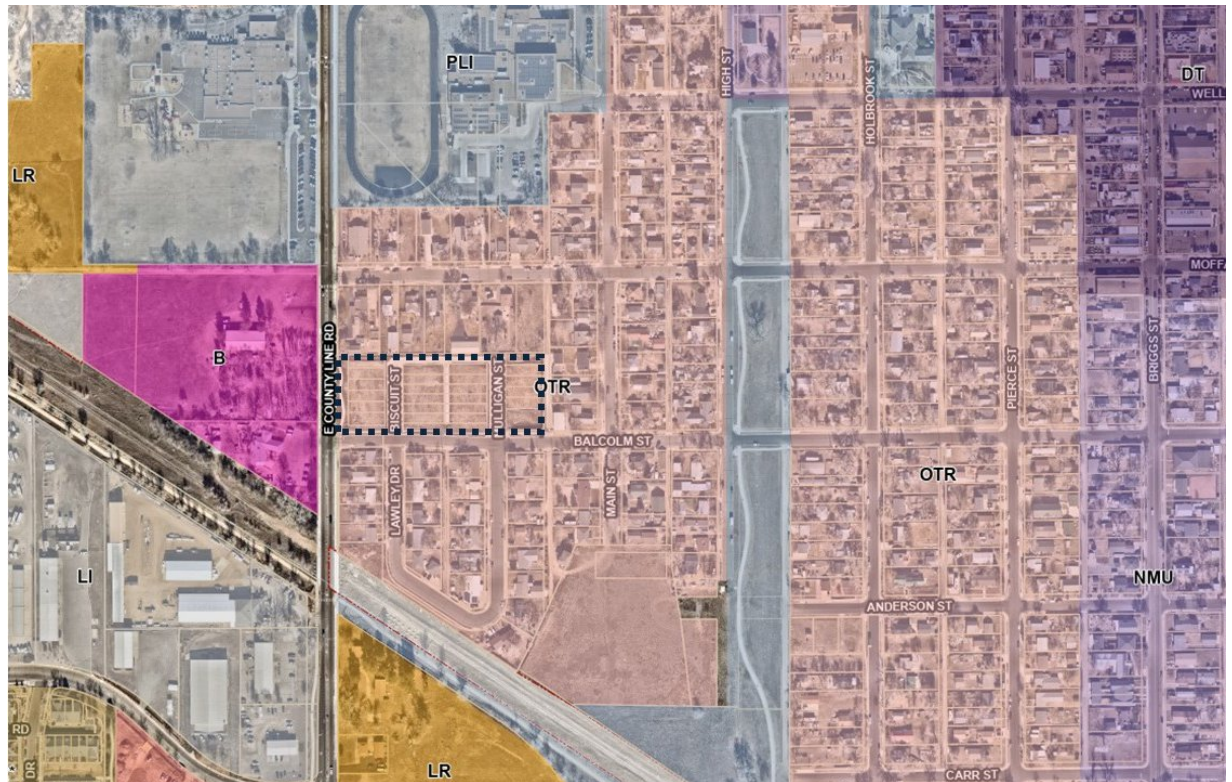


Existing Zoning

OTR

Allows SFD

Duplex/SFA
allowed by SRU

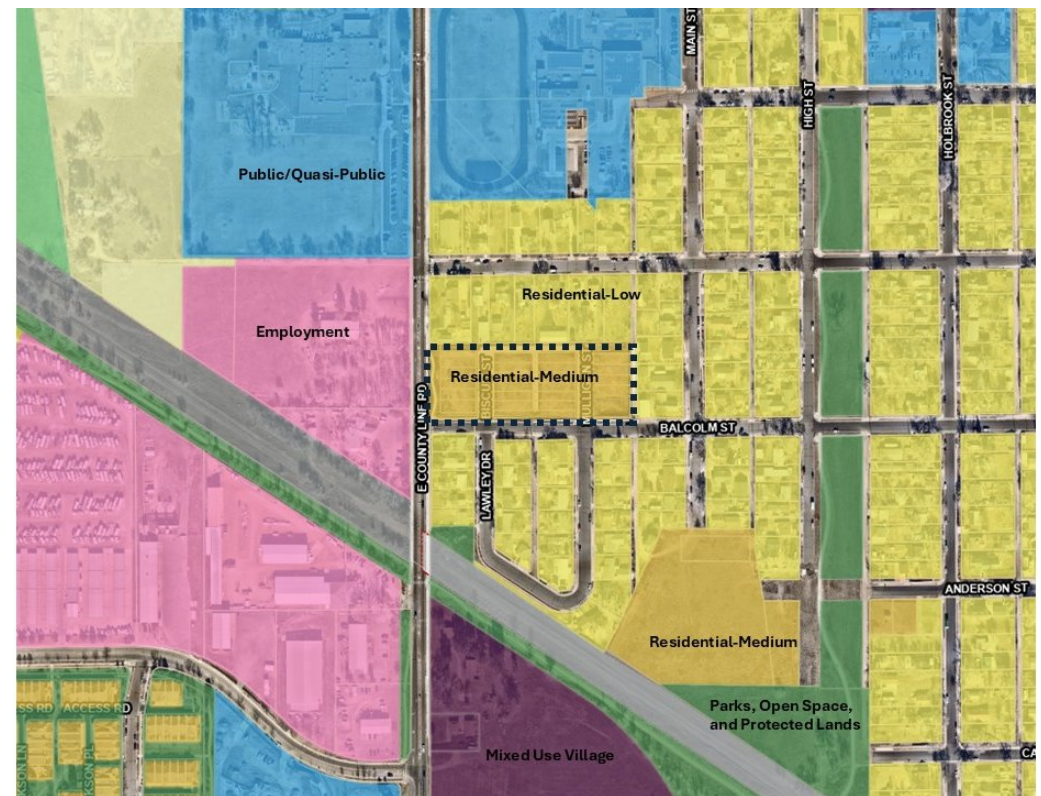




Comprehensive Plan

Residential-Medium

Mix of housing types-
small lot SFD;
duplexes, townhomes;
& smaller scale apts
(garden apts) – 8 to 18
du/ac





Comprehensive Plan Policies

C.5.1: Ensure that new development meets Comprehensive Plan vision, priorities, and resources management.

- Developing duplexes will help contribute to the need for more diverse housing typologies and improved affordability within the community.

2. H.1.1: Locate higher density housing and mixed-use development in areas that are currently served or will be served by bus transit and neighborhood centers.

- Medium density development supports the neighborhood center of Historic Old Town & is near Erie Town Center



Overview

- ✓ Background
- Proposal
- Decision



SRU for Duplexes in OTR

10 buildings/20 units

6 western units are front loaded

14 units are alley loaded

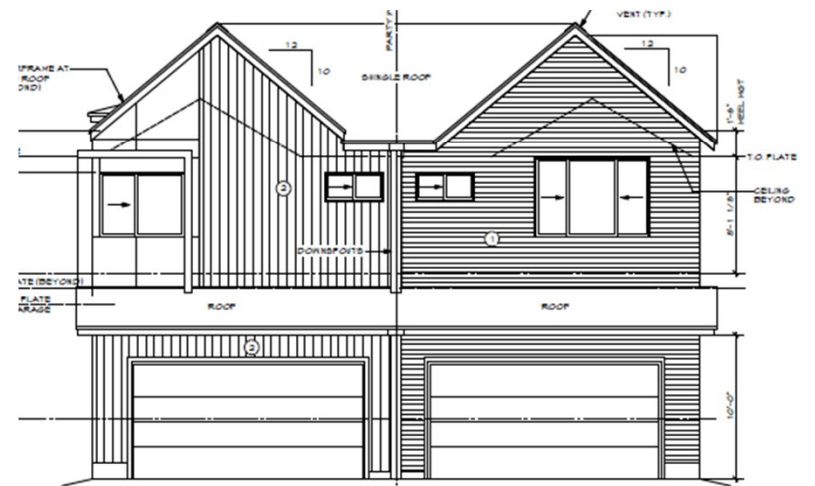


SRU for Duplexes in OTR

Future
Architecture
reviews to
ensure designs
elements are
met

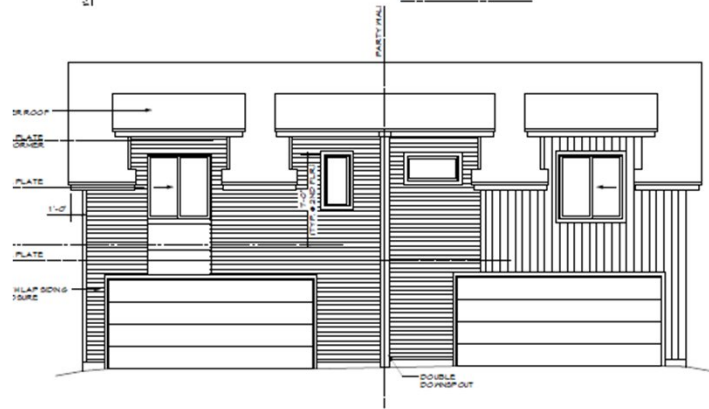
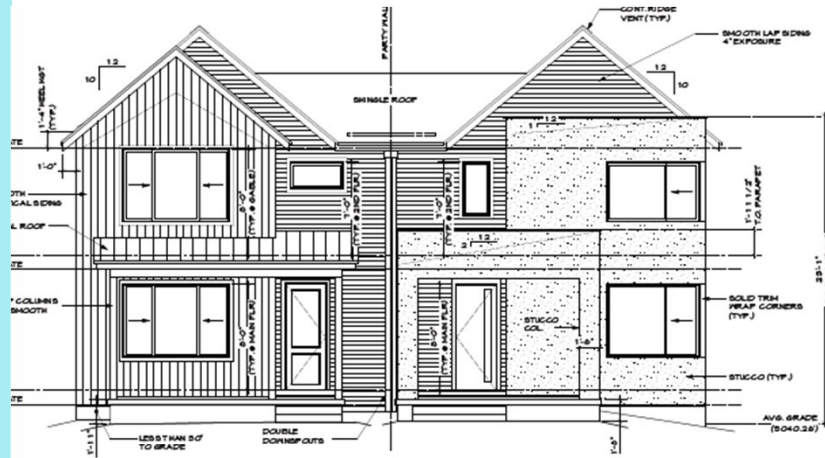


Duplexes



WEST ELEVATION
1/4" = 1'-0"

Duplexes





Overview

- ✓ Background
- ✓ Proposal
- Decision



Approval Criteria

UDC Section 10-7-11(C)(2)

- a. The proposed use is generally consistent with the town's comprehensive plan and all applicable provisions of this UDC and applicable state and federal regulations.
- b. The proposed use is generally consistent with the purpose and intent of the zoning district in which it is located.
- c. The proposed use is generally consistent with any applicable use-specific standards set forth in section 10-3-2.



Approval Criteria

UDC Section 10-7-11(C)(2)

- d. The proposed use is compatible with adjacent uses in terms of scale, site design, and operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts).
- e. Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent reasonably practicable.



Approval Criteria, continued

UDC Section 10-7-11(C)(2)

- f. Adequate assurances of continuing maintenance have been provided.
- g. Any significant adverse impacts on the natural environment will be mitigated to the maximum extent reasonably practicable.



Staff Recommendation

Staff find the application complies with the Approval Criteria & recommends the PC Adopt the Resolution recommending Approval of the Erie Junction Duplex Special Review Use



Neighborhood Meeting

- April 16, 2026
- 4 Attendees reported



Public Notice

Public Notice of Planning Commission Hearing:

Published in the paper:

4/29/26

Property Posted:

5/1/26

Letters to Adjacent Property Owners:

5/1/26



ERIE
COLORADO

Erie Junction Duplex SRU

Planning Commission

Chris LaRue, Principal Planner

May 20, 2026



D I V E R G E

Erie Junction SRU 2025-00005

Applicant Narrative

Planning Commission & Town Council
Town of Erie
645 Holbrook Street
Erie, CO 80516

To Whom It May Concern:

My name is Nick Jacobs, I am the owner of Diverge Homes. I have been the point of contact and lead person for the Erie Junction development since our initial meetings with the Town in the summer of 2020.

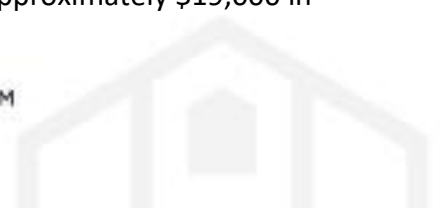
We are here now, applying again for the SRU, because the Town Planning Department and Planning Commission have conducted actions in bad faith at the expense of Diverge Homes. We should not be required to submit another application for SRU because we were awarded approval of the SRU and Triplex Site Plan concurrently with the Final Plat approval in November 2023.

Per the letter attached herein dated November 2021 from Town of Erie Planner, Chris LaRue, the SRU and Triplex Site Plan were to be approved prior to Final Plat. For two years following this letter, Diverge Homes worked with the Town of Erie on staff reviews and meetings for the SRU and Triplex Site Plan. Most importantly, when the Town scheduled the Final Plat hearing, I explicitly asked Mr. LaRue about the need for SRU and Triplex Site Plan approvals. At that time, Mr. LaRue verbally told me that they would be approved simultaneously with the Final Plat. On the night of the Final Plat hearing, Mr. LaRue reconfirmed the same message at the end of the hearing.

The Town then proceeded with the development's construction documents because the SRU and Triplex Site Plan were also approved. Why else would all parties at Diverge Homes and the Town have worked so diligently on the development documents?

Since then, we have met our obligations in every way. We finished infrastructure in July 2025 and received Town Initial Acceptance in August 2025. We submitted our building permit plans for construction of the first duplexes in November 2025 and that is when the Town began working in bad faith.

We have incurred 6 months of delays. Each month this project costs approximately \$19,000 in loan interest, property taxes, insurance, and property maintenance.





With this current SRU application, we expect the Town to honor their commitments and ours since the inception of this project.

Those commitments are as follows:

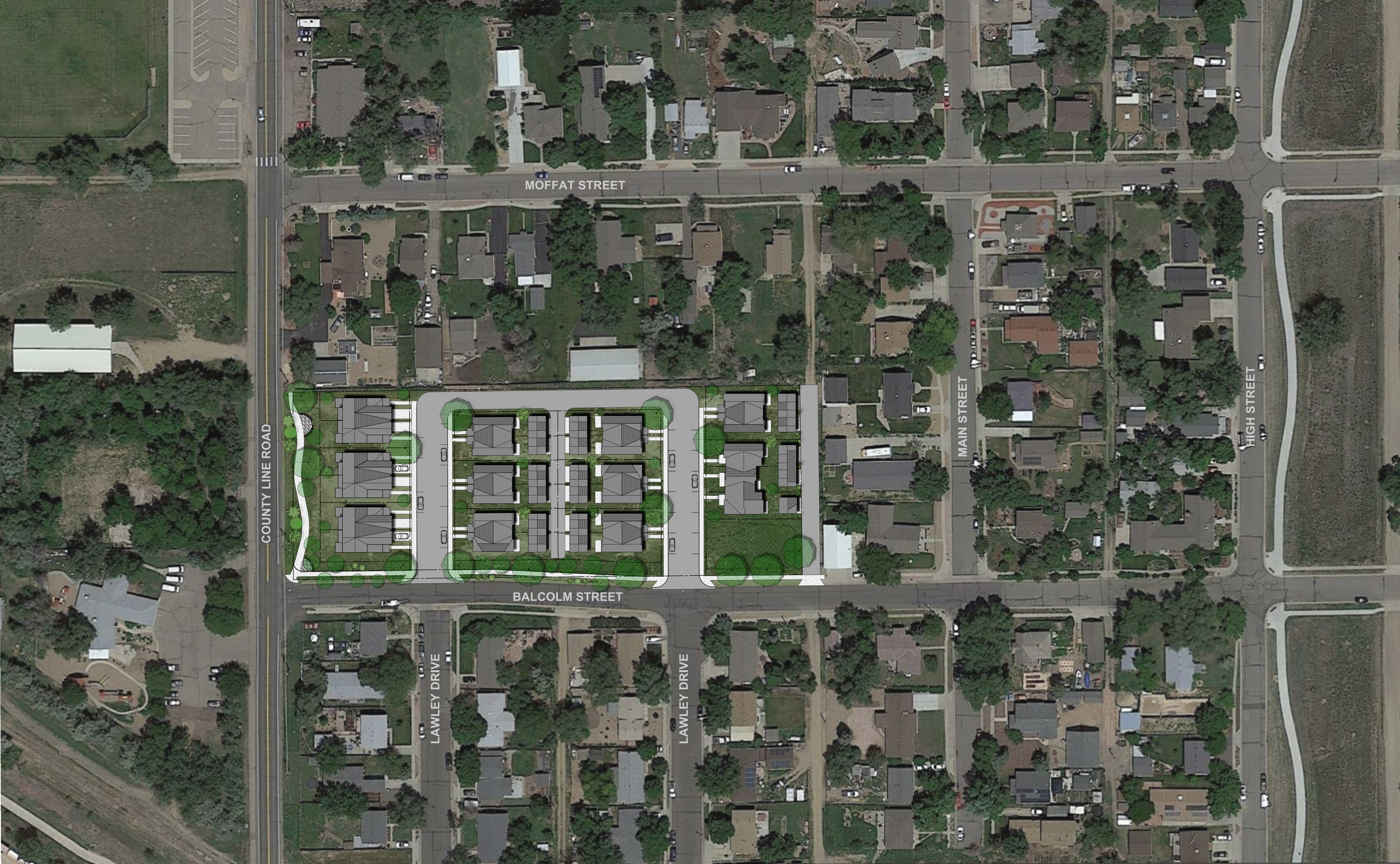
- 1.) To make all duplex lots (Lots 1 through 20) within the Erie Junction Final Plat subject to the following Town codes and ordinances:
 - a. The Unified Development code: Chapter 10 of the Town Code: Mini TOC: Title 10 - UNIFIED DEVELOPMENT CODE | Code of Ordinances | Erie, CO | Municode Library.
 - b. Development Design Standards: Unified Development Code | Erie, CO (also attached).
- 2.) To allow for no variances whatsoever without being subject to another SRU process.
- 3.) To acknowledge the right to submit different architectural styles for the duplexes, some of which are suggested below, provided that there are no conflicts with Town Code and Standards.
 - a. Duplexes with Attached Garages
 - b. Duplexes with Detached Garages
 - c. Duplexes with no Garages if the home buyer chooses not build one.
- 4.) To move forward with Triplex Site Plan as previously approved by the Town in November 2023.

Lastly, I expect an apology from Planning Commission & Town Council and remuneration for the Town's cost of delays via reduction of building permit and water rights fees.

Sincerely,

Nicholas Jacobs, President
Diverge Homes LLC





COUNTY LINE ROAD

MOFFAT STREET

BALCOLM STREET

MAIN STREET

HIGH STREET

LAWLEY DRIVE

LAWLEY DRIVE

ERIE JUNCTION ILLUSTRATIVE PLAN

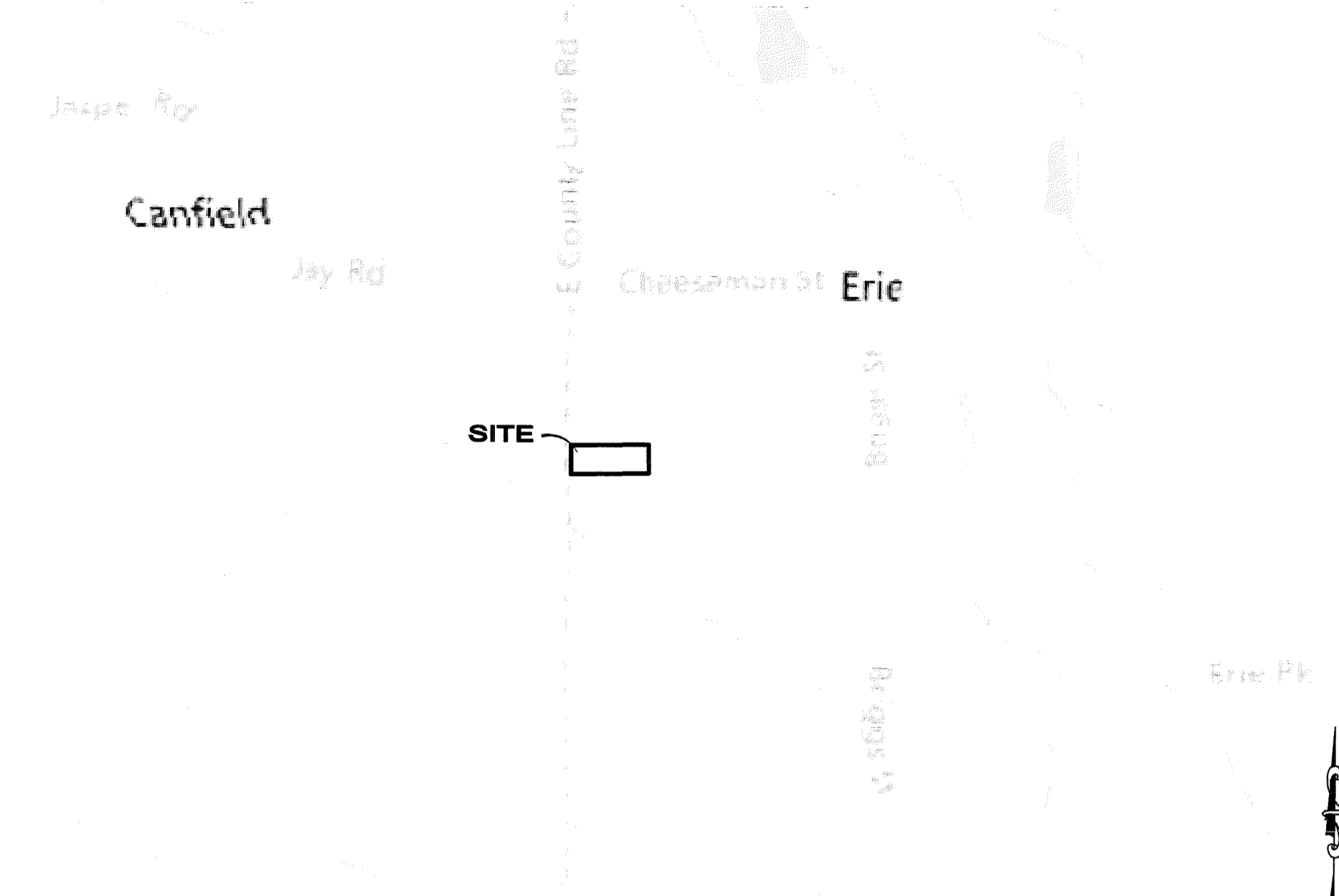


ERIE JUNCTION FINAL PLAT

A PARCEL OF LAND, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18,
 TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
 TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
 2.73 ACRES - 23 LOTS/4 TRACTS
 FP-001422-2022

TRACT SUMMARY CHART			
Tract	Area	Use	Maintenance
TRACT A	0.16 AC	UTILITY, LANDSCAPE & PUBLIC SIDEWALK	HOA
TRACT B	0.60 AC	ACCESS, LANDSCAPE, UTILITY & DRAINAGE	HOA
TRACT C	0.15 AC	LANDSCAPE & DRAINAGE	HOA
TRACT D	0.10 AC	LANDSCAPE, UTILITY & DRAINAGE	HOA

LAND SUMMARY CHART		
Type	Area (AC)	% Of Total Area
RESIDENTIAL LOTS	1.65	60.4%
TRACTS	1.01	37.0%
PUBLIC R.O.W.	0.07	2.6%
TOTAL	2.73	100.0%



Vicinity Map
 SCALE: 1" = 1000'

Dedication and Ownership Statement

THE UNDERSIGNED, BEING ALL THE OWNERS OR LIEN HOLDERS OF CERTAIN LANDS IN THE TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

AN UNPLATTED PARCEL OF LAND AS DESCRIBED IN THE RECORDS OF WELD COUNTY ON DECEMBER 17, 2020, AT RECEPTION NO. 4662334, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

CONSIDERING THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 18 TO BEAR NORTH 00°24'01" WEST, A DISTANCE OF 2650.86 FEET BETWEEN A FOUND 3 1/4" BRASS CAP IN MONUMENT BOX, ILLEGIBLE AT THE SOUTHWEST CORNER OF SECTION 18 AND A FOUND 2 1/2" ALUMINUM CAP, ILLEGIBLE IN MONUMENT BOX AT THE WEST 1/4 CORNER OF SECTION 18, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT SAID SOUTHWEST CORNER, THENCE ALONG SAID WEST LINE, NORTH 00°24'01" WEST, A DISTANCE OF 1406.66 FEET; THENCE DEPARTING SAID WEST LINE, NORTH 89°07'40" EAST, A DISTANCE OF 30.00 FEET, TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF WELD COUNTY ROAD NO. 1, AND THE POINT OF BEGINNING.

THENCE ALONG SAID EAST RIGHT-OF-WAY LINE, NORTH 00°24'01" WEST, A DISTANCE OF 208.93 FEET;

THENCE DEPARTING SAID EAST RIGHT-OF-WAY LINE, AND ALONG THE NORTH LINE OF SAID UNPLATTED PARCEL OF LAND, NORTH 88°54'28" EAST, A DISTANCE OF 564.68 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF A PLATTED ALLEY;

THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, SOUTH 01°03'01" EAST, A DISTANCE OF 211.09 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF BALCOLM STREET;

THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, SOUTH 89°07'40" WEST, A DISTANCE OF 567.00 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 118,835 SQ. FT., OR 2.73 ACRES, MORE OR LESS.

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, STREETS, TRACTS, AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND SUBDIVISION OF ERIE JUNCTION FINAL PLAT, THE STREETS, AND EASEMENTS SHOWN HEREON ARE DEDICATED TO THE TOWN AND THE PUBLIC, FOR PUBLIC USES AND PURPOSES AS SHOWN HEREON.

OWNER/LIEN HOLDER:
 ERIE JUNCTION LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: Nicholas Jacobs 11/16/23
 BY: NICHOLAS JACOBS, MANAGER DATE

ATTEST:

SECRETARY/TREASURER

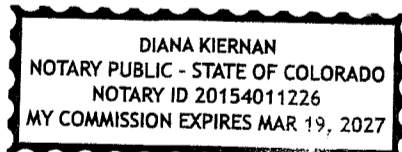
STATE OF COLORADO)
 COUNTY OF Bentley)SS.

ACKNOWLEDGED BEFORE ME THIS 16th DAY OF November, 2023 BY NICHOLAS JACOBS AS MANAGER OF ERIE JUNCTION LLC, A COLORADO LIMITED LIABILITY COMPANY

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: 3/19/2027



LIEN HOLDER
 ELEVATIONS CREDIT UNION
 COMMERCIAL AND BUSINESS BANKING

BY: Todd A. Peyok 11/16/23
 BY: TODD A. PEYOK, SENIOR VICE PRESIDENT OF ELEVATIONS CREDIT UNION DATE

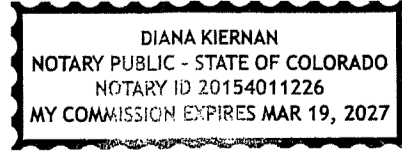
STATE OF COLORADO)
 COUNTY OF Bentley)SS.

ACKNOWLEDGED BEFORE ME THIS 16th DAY OF November, 2023 BY TODD A. PEYOK, SENIOR VICE PRESIDENT OF ELEVATIONS CREDIT UNION.

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: 3/19/2027



Notes

- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY FOR LAND TITLE GUARANTEE COMPANY COMMITMENT NUMBER FC25169910-2, DATED NOVEMBER 12, 2020 AT 5:00 P.M., WAS ENTIRELY RELIED UPON FOR RECORDED INFORMATION REGARDING RIGHTS-OF-WAY, EASEMENTS AND ENCUMBRANCES IN THE PREPARATION OF THIS SURVEY. THE PROPERTY SHOWN AND DESCRIBED HEREON IS ALL OF THE PROPERTY DESCRIBED IN SAID TITLE COMMITMENT.
- ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- THIS SURVEY IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
- BASIS OF BEARINGS: GPS DERIVED BEARINGS BASED ON A BEARING OF N00°24'01"W ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 18, BETWEEN A FOUND 3 1/4" BRASS CAP IN MONUMENT BOX, ILLEGIBLE AT THE SOUTHWEST CORNER OF SECTION 18 AND A FOUND 2 1/2" ALUMINUM CAP, ILLEGIBLE IN MONUMENT BOX AT THE WEST 1/4 CORNER OF SECTION 18 AS SHOWN HEREON. COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983 (NAD83). ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT AND/OR BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE C.R.S. SEC 18-4-508. WHOEVER WILLFULLY DESTROYS, DEFACES, CHANGES, OR REMOVES TO ANOTHER PLACE ANY SECTION CORNER, QUARTER-SECTION CORNER, OR MEANDER POST, ON ANY GOVERNMENT LINE OF SURVEY, OR WILLFULLY CUTS DOWN ANY WITNESS TREE OR ANY TREE BLAZED TO MARK THE LINE OF A GOVERNMENT SURVEY, OR WILLFULLY DEFACES, CHANGES, OR REMOVES ANY MONUMENT OR BENCH MARK OF ANY GOVERNMENT SURVEY, SHALL BE FINED UNDER THIS TITLE OR IMPRISONED NOT MORE THAN SIX MONTHS, OR BOTH. 18 U.S.C. § 1858.
- THE DISTANCE MEASUREMENTS SHOWN HEREON ARE U.S. SURVEY FOOT.
- DATES OF FIELDWORK: NOVEMBER 25, 2020
- THE FOLLOWING DOCUMENTS ARE MENTIONED IN THE ABOVE REFERENCED TITLE DOCUMENT AND APPEAR TO AFFECT THE SUBJECT PROPERTY BUT CANNOT BE SHOWN GRAPHICALLY. THE FOLLOWING LIST CONTAINS THE TITLE DOCUMENT EXCEPTION NUMBER, DATE RECORDED, RECEPTION NUMBER AND/OR BOOK AND PAGE.

#9	MAY 24, 1957	BK 1478, PG 310	RESERVATION OF COAL RIGHTS
#10	JUNE 23, 1982	REC. NO. 1895416	OIL AND GAS LEASE
#11	APRIL 27, 2016	REC. NO. 4198726	ALTA/ACSM SURVEY
- THERE ARE NO 100-YEAR FLOODPLAINS, EXISTING/PROPOSED WATERCOURSES, RETENTION AND DETENTION AREAS, WETLANDS AND RIPARIAN AREAS, STREAMS, LAKES, DITCHES AND LATERALS ON THE EFFECTED PROPERTY.
- A BLANKET PUBLIC ACCESS, UTILITY & DRAINAGE EASEMENT IS GRANTED ACROSS TRACT A. A BLANKET PUBLIC ACCESS & DRAINAGE EASEMENT IS GRANTED ACROSS TRACT B. A BLANKET DRAINAGE EASEMENT IS GRANTED ACROSS TRACTS C & D.

Title Verification Certificate

WE, LAND TITLE GUARANTEE COMPANY, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE OF ALL LAND PLATTED HEREON AND THAT TITLE TO SUCH LAND IS IN THE DEDICATOR(S).

LAND TITLE GUARANTEE COMPANY

BY: Crystal Marie Swanson DATE: 11/14/23
 TITLE: Closing Manager Asst. VP

STATE OF COLORADO)
 COUNTY OF Boulder)SS

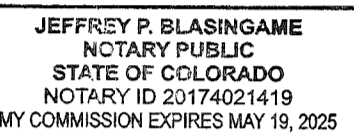
ACKNOWLEDGED BEFORE ME THIS 14th DAY OF November, 2023
 BY: Crystal Marie Swanson Closing Manager Asst. VP Land Title

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

(SEAL)

MY COMMISSION EXPIRES: May 17, 2025



Board of Trustees Approval Certificate

THIS PLAT IS TO BE KNOWN AS ERIE JUNCTION FINAL PLAT IS APPROVED AND ACCEPTED BY RESOLUTION NO. 23-134, PASSED AND ADOPTED AT A MEETING OF THE BOARD OF TRUSTEES OF ERIE, COLORADO, HELD ON THE 16th DAY OF November, 2023

MAYOR Autie Beck

ATTEST: Debbie Stamp
 TOWN CLERK



Planning & Development Approval Certificate

THIS PLAT IS HEREBY APPROVED BY THE TOWN OF ERIE PLANNING & DEVELOPMENT DIRECTOR ON THIS 15th DAY OF November, 2023

Sarah Hanna
 PLANNING & DEVELOPMENT DIRECTOR

Surveyor's Certificate

I, JESS JACOB KUNTZ, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON NOVEMBER 25, 2020, BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (SECOND ORDER); AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND AND ALL APPLICABLE PROVISIONS OF THE TOWN OF ERIE UNIFIED DEVELOPMENT CODE.

I ATTEST THE ABOVE ON THIS 14th DAY OF November, 2023

JESS JACOB KUNTZ
 COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR #38409

DATE	REVISION
-2022-07-11 EP	1-REVISIONS PER CLIENT
-2022-10-27 EP	2-REVISIONS PER CLIENT
-2022-10-28 EP	3-REVISIONS PER CLIENT
-2022-11-15 EP	4-REVISIONS PER CLIENT
-2023-02-09 EP	5-REVISIONS PER CLIENT
-2023-02-22 EP	6-REVISIONS PER CLIENT
-2023-04-21 EP	7-REVISIONS PER CLIENT
	8-REVISIONS PER CLIENT
	9-REVISIONS PER CLIENT

ERIE JUNCTION FINAL PLAT

10 - REVISIONS PER TITLE CO. 11/14/23 JK
 COPYRIGHT 2023 FLATIRONS, INC.

FLATIRONS, INC.
 Land Surveying Services
 www.flatironsinc.com
 3825 IRIS AVE, STE 395
 DENVER, CO 80216
 PH: (303) 776-3733
 FAX: (303) 443-9830

655 FOURTH AVE
 LOUISVILLE, CO 80001
 PH: (303) 776-3733
 FAX: (303) 776-4355

JOB NUMBER:
 20-74,335
 DATE:
 02-11-2022
 DRAWN BY:
 E. PRESCOTT
 CHECKED BY:
 JK/JZG/WW
 SHEET 1 OF 2

ERIE JUNCTION FINAL PLAT

A PARCEL OF LAND, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18,
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
2.73 ACRES - 23 LOTS/4 TRACTS
FP-001422-2022

Legend

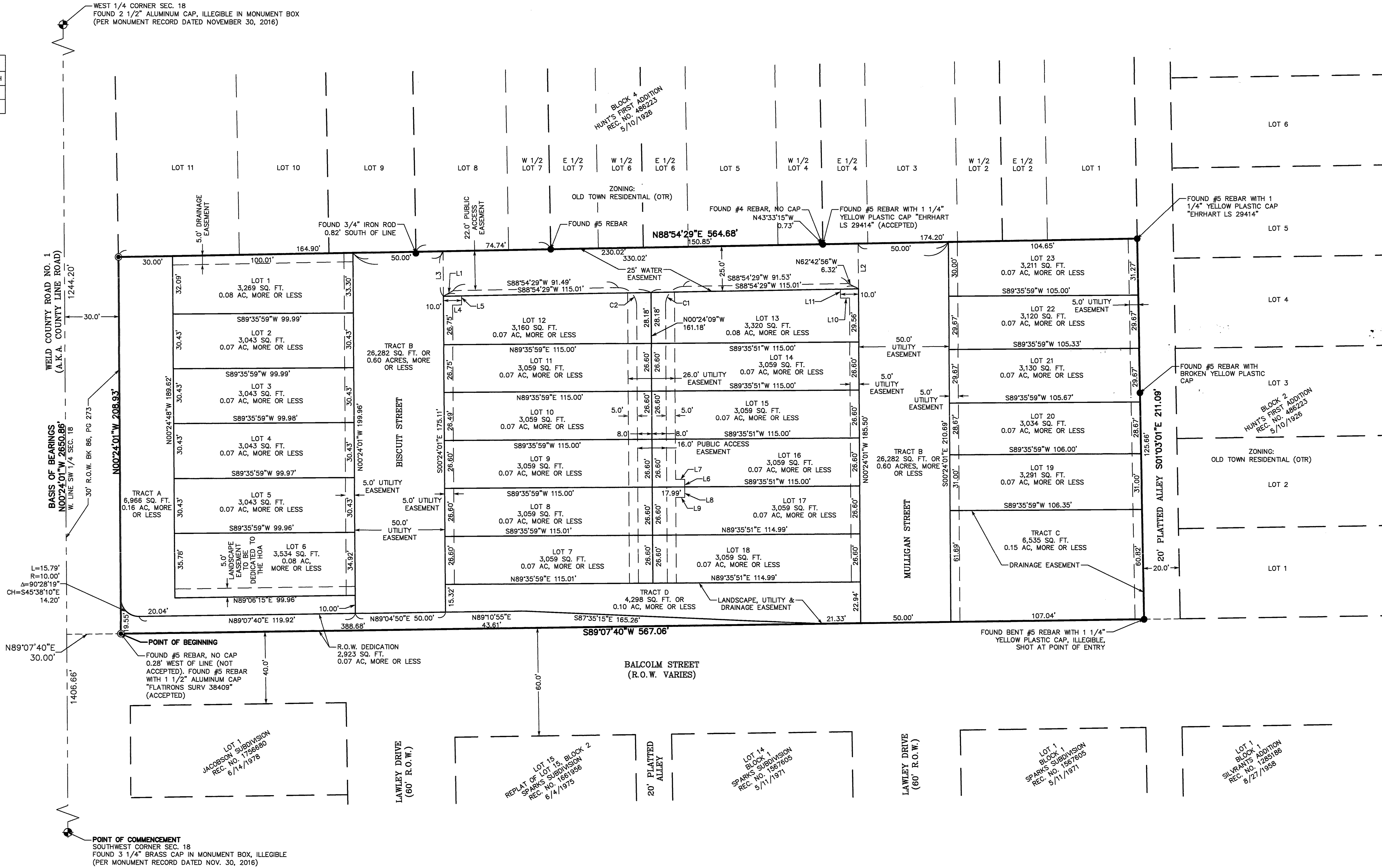
- ⊕ FOUND ALIQUOT MONUMENT AS DESCRIBED
- FOUND MONUMENT AS DESCRIBED
- ⊙ FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP "FLATIRONS SURV 38409"

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	15.58	10.00	89°15'04"	N44°16'57"E	14.05
C2	15.83	10.00	90°41'30"	N45°44'46"W	14.23

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	6.21	S60°00'31"W
L2	25.00	N00°24'01"W
L3	25.00	N00°24'01"W
L4	5.00	N88°54'29"E
L5	4.88	N00°24'01"W
L6	4.18	N00°24'10"W
L7	5.00	S89°35'50"W
L8	5.82	S00°24'10"E
L9	5.00	S89°35'50"W
L10	5.00	S88°54'29"W
L11	5.00	N00°24'01"W

Boundary Closure Report

COURSE: N00°24'01"W LENGTH: 208.93'
 COURSE: N88°54'29"E LENGTH: 564.68'
 COURSE: S01°03'01"E LENGTH: 211.09'
 COURSE: S89°07'40"W LENGTH: 567.06'
 AREA: 118835 SQ. FT.
 ERROR CLOSURE: 0.01
 ERROR NORTH: -0.001
 PRECISION 1: 155176

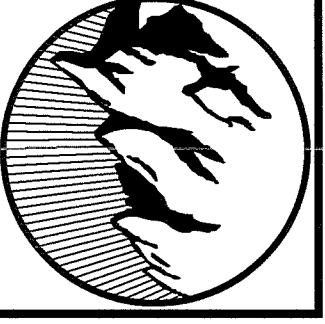


REVISION	DATE
1 - REVISIONS PER CLIENT	-2022-04-07 EP
2 - REVISIONS PER CLIENT	-2022-07-11 EP
3 - REVISIONS PER CLIENT	-2022-10-27 EP
4 - REVISIONS PER CLIENT	-2022-10-28 EP
5 - REVISIONS PER CLIENT	-2022-11-15 EP
6 - REVISIONS PER CLIENT	-2022-12-22 EP
7 - REVISIONS PER CLIENT	-2023-02-22 EP
8 - REVISIONS PER CLIENT	-2023-04-21 EP
9 - REVISIONS PER CLIENT	-2023-04-21 EP

ERIE JUNCTION FINAL PLAT
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 www.FlatironsInc.com
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 LONGMONT, CO 80501
 PH: (303) 776-1733
 FAX: (303) 776-4355

4501 LOGAN ST.
 DENVER, CO 80216
 PH: (303) 443-7001
 PH: (303) 936-6997
 FAX: (303) 923-3180



JOB NUMBER:
20-74,335
 DATE:
02-11-2022
 DRAWN BY:
E. PRESCOTT
 CHECKED BY:
JK/JZG/WW

SHEET 2 OF 2

BY:ADMBH FILE:74335-PLAT.DWG DATE:11/14/2023 9:07 AM

ADDRESS PLAT ERIE JUNCTION FINAL PLAT

A PARCEL OF LAND, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18,
TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
FP-001422-2022

SHEET 1 OF 1

Parcel Description

AN UNPLATTED PARCEL OF LAND AS DESCRIBED IN THE RECORDS OF BOULDER COUNTY ON DECEMBER 17, 2020, AT RECEPTION NO. 4662334, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

CONSIDERING THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 18 TO BEAR NORTH 00°24'01" WEST, A DISTANCE OF 2650.86 FEET BETWEEN A FOUND 3 1/4" BRASS CAP IN MONUMENT BOX, ILLEGIBLE AT THE SOUTHWEST CORNER OF SECTION 18 AND A FOUND 2 1/2" ALUMINUM CAP, ILLEGIBLE IN MONUMENT BOX AT THE WEST 1/4 CORNER OF SECTION 18, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

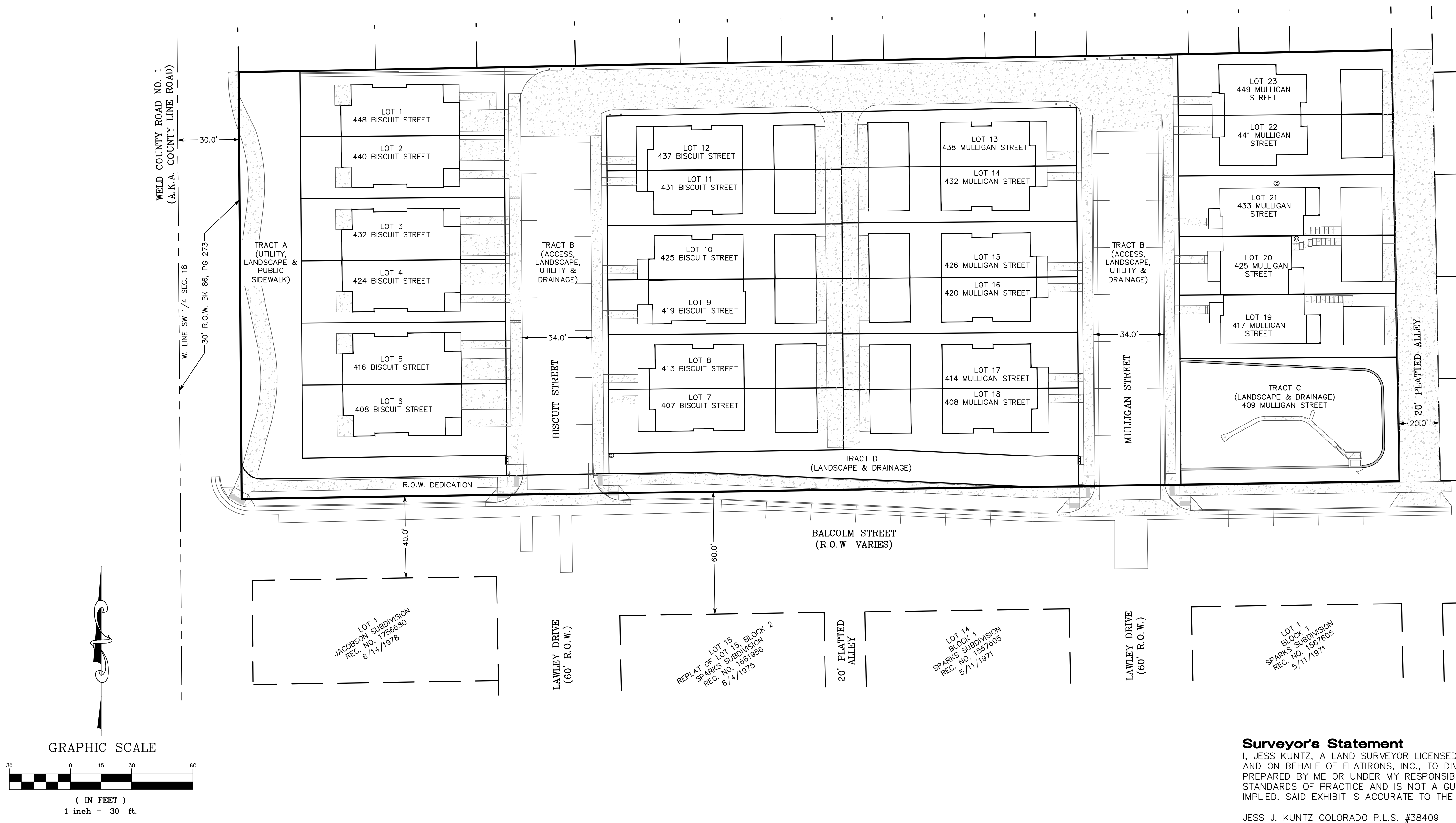
COMMENCING AT SAID SOUTHWEST CORNER;
THENCE ALONG SAID WEST LINE, NORTH 00°24'01" WEST, A DISTANCE OF 1406.66 FEET;
THENCE DEPARTING SAID WEST LINE, NORTH 89°07'40" EAST, A DISTANCE OF 30.00 FEET, TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF WELD COUNTY ROAD NO. 1, AND THE POINT OF BEGINNING.

THENCE ALONG SAID EAST RIGHT-OF-WAY LINE, NORTH 00°24'01" WEST, A DISTANCE OF 208.93 FEET;
THENCE DEPARTING SAID EAST RIGHT-OF-WAY LINE, AND ALONG THE NORTH LINE OF SAID UNPLATTED PARCEL OF LAND, NORTH 88°54'29" EAST, A DISTANCE OF 564.68 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF A PLATTED ALLEY;
THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, SOUTH 01°03'01" EAST, A DISTANCE OF 211.09 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF BALCOLM STREET;
THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, SOUTH 89°07'40" WEST, A DISTANCE OF 567.06 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 118,835 SQ. FT., OR 2.73 ACRES, MORE OR LESS.

Notes

1. ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS EXHIBIT WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS EXHIBIT BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. THIS EXHIBIT IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
3. BOUNDARY DETERMINATION IS NOT A PART OF THIS EXHIBIT. THIS IS NOT A "LAND SURVEY PLAT" OR "IMPROVEMENT SURVEY PLAT" AND THIS EXHIBIT IS NOT INTENDED FOR PURPOSES OF TRANSFER OF TITLE OR SUBDIVISIONS OF LAND AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF A FENCE, BUILDING OR OTHER FUTURE IMPROVEMENT LINES. PARCEL LINES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE DRAWN FROM RECORD INFORMATION AVAILABLE DURING THE PREPARATION OF THIS EXHIBIT. AN IMPROVEMENT SURVEY PLAT IS RECOMMENDED TO DEPICT MORE PRECISELY THE LOCATIONS OF THE IMPROVEMENTS SHOWN HEREON.
4. THE PURPOSE OF THIS EXHIBIT IS TO SHOW PROPOSED ADDRESSES FOR ERIE JUNCTION FINAL PLAT.



Surveyor's Statement

I, JESS KUNTZ, A LAND SURVEYOR LICENSED IN THE STATE OF COLORADO, HEREBY STATE FOR AND ON BEHALF OF FLATIRONS, INC., TO DIVERGE HOMES, LLC, THAT THIS ADDRESS PLAT WAS PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED. SAID EXHIBIT IS ACCURATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

JESS J. KUNTZ COLORADO P.L.S. #38409
VICE PRESIDENT, FLATIRONS, INC.

REVISION	DATE
1	2022-04-08 EP
2	2022-04-08 EP
3	2022-04-08 EP
4	2022-04-08 EP
5	2022-04-08 EP
6	2022-04-08 EP
7	2022-04-08 EP
8	2022-04-08 EP
9	2022-04-08 EP
10	2022-04-08 EP

ADDRESS PLAT

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Flatirons, Inc.
Land Surveying Services
www.FlatironsInc.com

3825 IRS AVE, STE. 395
BOULDER, CO 80501
PH: (303) 776-1733
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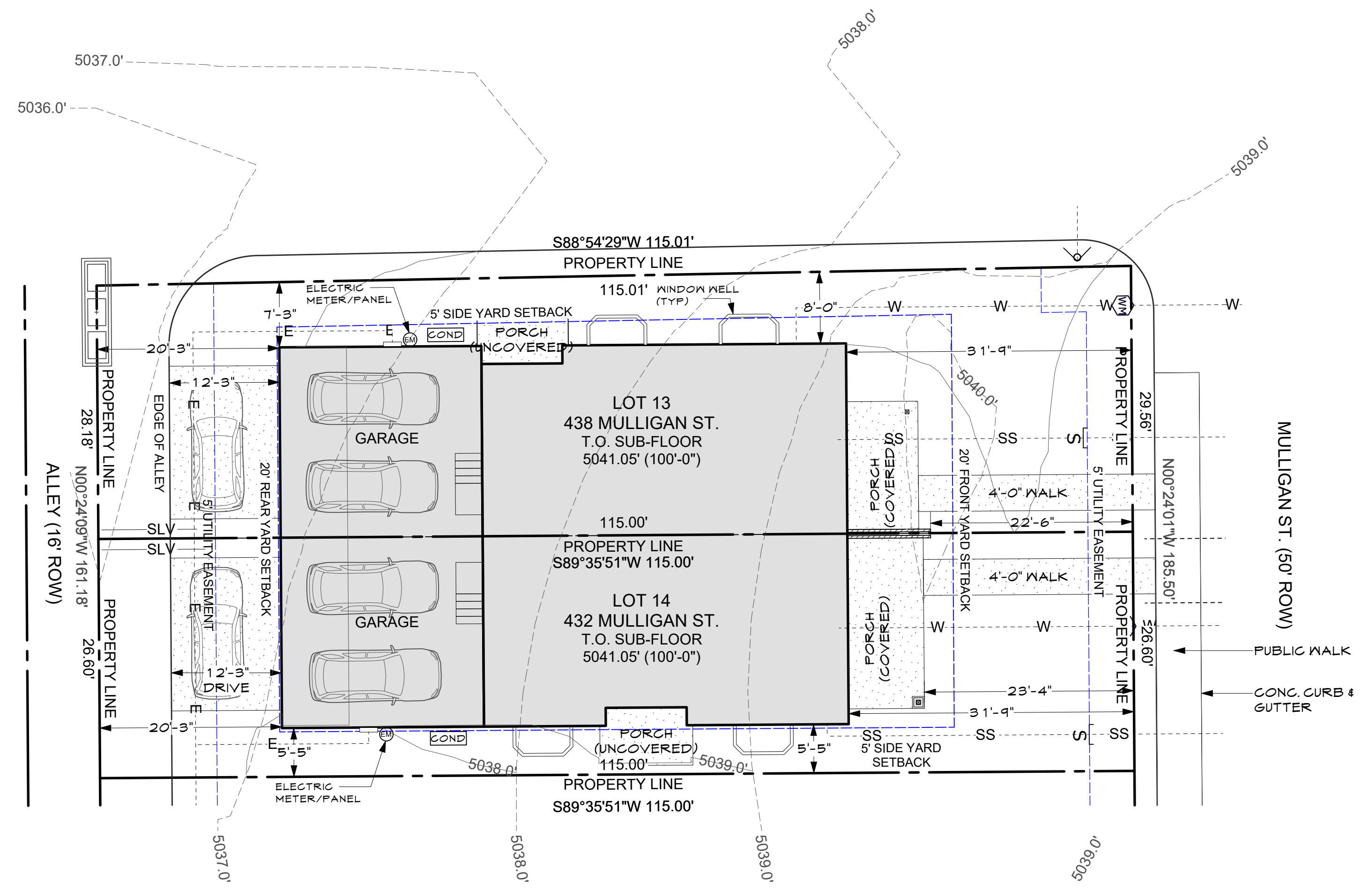
JOB NUMBER:
20-74,335

DATE:
MARCH 28, 2022

DRAWN BY:
E. PRESCOTT

CHECKED BY:
JK/JZG/WW

BY:EPRESCOTT FILE:74335-ADDRESS PLAT C21.DWG DATE:4/8/2022 11:02 AM



432 & 438 MULLIGAN ST.
ERIE JUNCTION

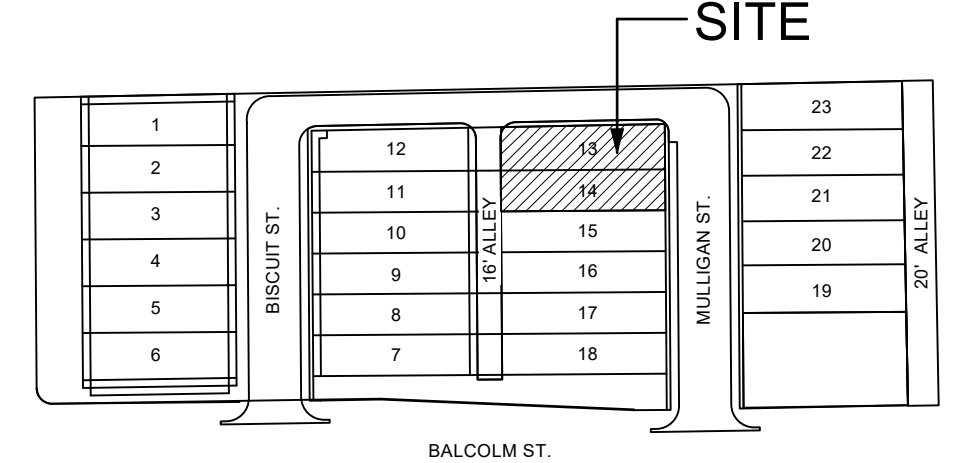
LOT 13 & 14
ERIE JUNCTION SUBDIVISION

SITE PLAN BASED ON SUBDIVISION PLAT PREPARED
BY FLATIRONS SURVEYING DATED: 02/11/2022

FOR DRAINAGE AND GRADING REFER TO LOT
GRADING PLAN SHEET C.1.0
COORDINATE WITH LANDSCAPE PLAN



KEY PLAN



PROJECT INFORMATION

LEGAL DESCRIPTION:
Lot 13 & 14, Erie Junction. Parcel located in Section 18, Township 1 North, Range 68 West of the 6th P.M. Town of Erie, County of Weld, State of Colorado

JURISDICTION:
Town of Erie

ZONING:
Zone District: Old Town Residential (OTR)
Approvals: Erie Junction Preliminary Plat & Site Plan
PP-001311-2021, SP-001312-2021

PROJECT DESCRIPTION:
Construct Duplex: 2-Family Residential Structure with attached garage

BUILDING CODES:
2021 International Residential Code (IRC)
2021 International Energy Conservation Code (IECC)
2023 National Electrical Code (NEC)

FIRE SPRINKLERS:
Sprinklers per IRC

LOT DATA

LOT 13 AREA: 3,320 SF
LOT 14 AREA: 3,059 SF

FLOOR AREA

	438 (LOT 13)	432 (LOT 14)
Principle Structure		
Basement	821	822
First Floor	821	822
Second Floor	1,134	1,134
Total Principle Structure	2,776	2,778
Garage (Unfinished)	484	484

PROJECT DIRECTORY

BUILDER Diverge Homes Louisville, CO 80027 Contact: Nick Jacobs 720-539-3786	STRUCTURAL ENGINEER 40th Parallel Structural Engineering 263 2nd Avenue Suite 106A Niwot Colorado 80544 Contact: Dana Michel 303-913-6474
ARCHITECT Stewart Architecture 1132 Jefferson Ave. Louisville, CO 80027 Contact: Peter Stewart 303-665-6668	CIVIL ENGINEER Civil Resources 8308 Colorado Blvd, Suite 200 Firestone, CO 80504 Contact: Jim Brzostowic 303-833-1416

DRAWING INDEX

Architectural Drawings		Structural Drawings	
A0.0	Cover Sheet	S1.0	General Notes
A1.0	Basement Floor Plan	S1.1	Foundation Plan
A1.1	Main Floor Plan	S1.2	Main Floor Framing
A1.2	Second Floor Plan	S1.3	2nd Floor/Low Roof Framing
A1.3	Roof Floor Plan	S1.4	Roof Framing
A2.0	Elevation	S2.1	Foundation Details
A2.1	Elevation	S2.2	Framing Details
A3.0	Section	S2.3	Steel Framing Details
A3.1	Section and Stair Elevation		
A4.0	Party Wall Details		
E1.0	Basement Lighting Plan		
E1.1	Main Floor Lighting Plan		
E1.2	Second Floor Lighting Plan		

GENERAL NOTES

- Drawing dimensions are to rough framing unless noted.
 - Do not scale drawings. Verify all dimensions and existing conditions on site. Notify architect of any condition that does not agree with drawings.
 - Verify all rough openings for windows and doors.
 - All products to be installed per manufacturer's recommendations
 - Insulation to be minimum: See Plans
 - Fire stop flues, chases and walls at 10' maximum centers vertical.
 - Fireblocking at all dropped and coffered ceilings per IRC
 - Firecode gypsum board required:
 - Under side of stairs where enclosed for storage.
 - Garage side of house/garage common wall
 - Egress windows to be maximum sill height of 44" above finish floor, minimum vertical clear opening of 24" minimum horizontal clear opening of 20" and have a minimum clear openable area of 5.7 square feet.
 - Tempered glass required at the following locations:
 - Within 24" of door openings
 - Within 18" of finished floors
 - Adjacent to bath tub areas
 - Shower enclosures
 - Landings at exterior doors shall not be more than 7.75" lower than the top of threshold. (door is not to swing over lower landing)
 - Finish all shower areas to 70" min. above the drain inlet with ceramic tile.
 - All roofing to comply with IRC.
 - All products and quality of materials to be installed to be pre-approved by Owner, prior to ordering/ installation.
- * All contractors to be familiar with and enforce the regulations of the Occupational Safety and Health Act (OSHA)

COORDINATION NOTES

The following design by others and design reports are part of the Scope of Work by reference.

Soils Report:
Refer to and follow recommendations in Geotechnical Report for site drainage and subsurface foundation drains.

HVAC Design:
HVAC systems and equipment to conform with manual D, J, & S reports

Energy Efficiency
Thermal envelope, air sealing, to conform to HERS report

ENERGY EFFICIENCY

IECC Compliance Path:
2021 IECC Energy Code
ERI Compliance Alternative (See HERS Report)

Air Barrier
See Air barrier table (Sheet A3.0)

Insulation & Air Barrier
Basement: Drape R-19 full perimeter at walls (in unfinished areas)
Stud walls: R-21 cavity
Walls: R-29 cavity (2" CC Sprayfoam + 3 1/2" fiberglass fill)
Rims: Same as walls
Floor: R-40
Roof/Attic: R-59

Window Specifications
U-Value: 0.27 SHGC: 0.35

Heating-Cooling System Specification
Cold Climate Heat Pump (Energy Star Next Gen certified)

Water Heating System
Heat pump water heater- 80 Gallon for 4- bedrooms

Lighting Plan
100% LED

Appliance Plan
Energy Star

SUSTAINABILITY MEASURES

Construction Waste Management
All recyclable wood, metal, and cardboard materials, will be donated, reused, or recycled.

Radon Mitigation
Install a passive radon gas vent, and prepare for post-construction active fan if necessary.

Water Efficiency
Install "WaterSense" labeled fixtures
Lavatory Faucet 1.5 gpm at 60 psi
Shower Heads 2.0 gpm at 80 psi
Sink Faucet 1.5 gpm at 60 psi
Water Closet 1.28 gallons per flush cycle

Renewable Energy
PV - roof mount solar ready
Onsite renewable (option by owner)

Electrical
EV Parking Space- Minimum of 40 AMP 240- volt circuit, and receptacle next to parking space
EV Ready Parking Space- Supplied with conduit sized to handle second parking space
Lighting - 100% LED

**432 & 438 MULLIGAN ST.
ERIE JUNCTION- LOT 13-14**

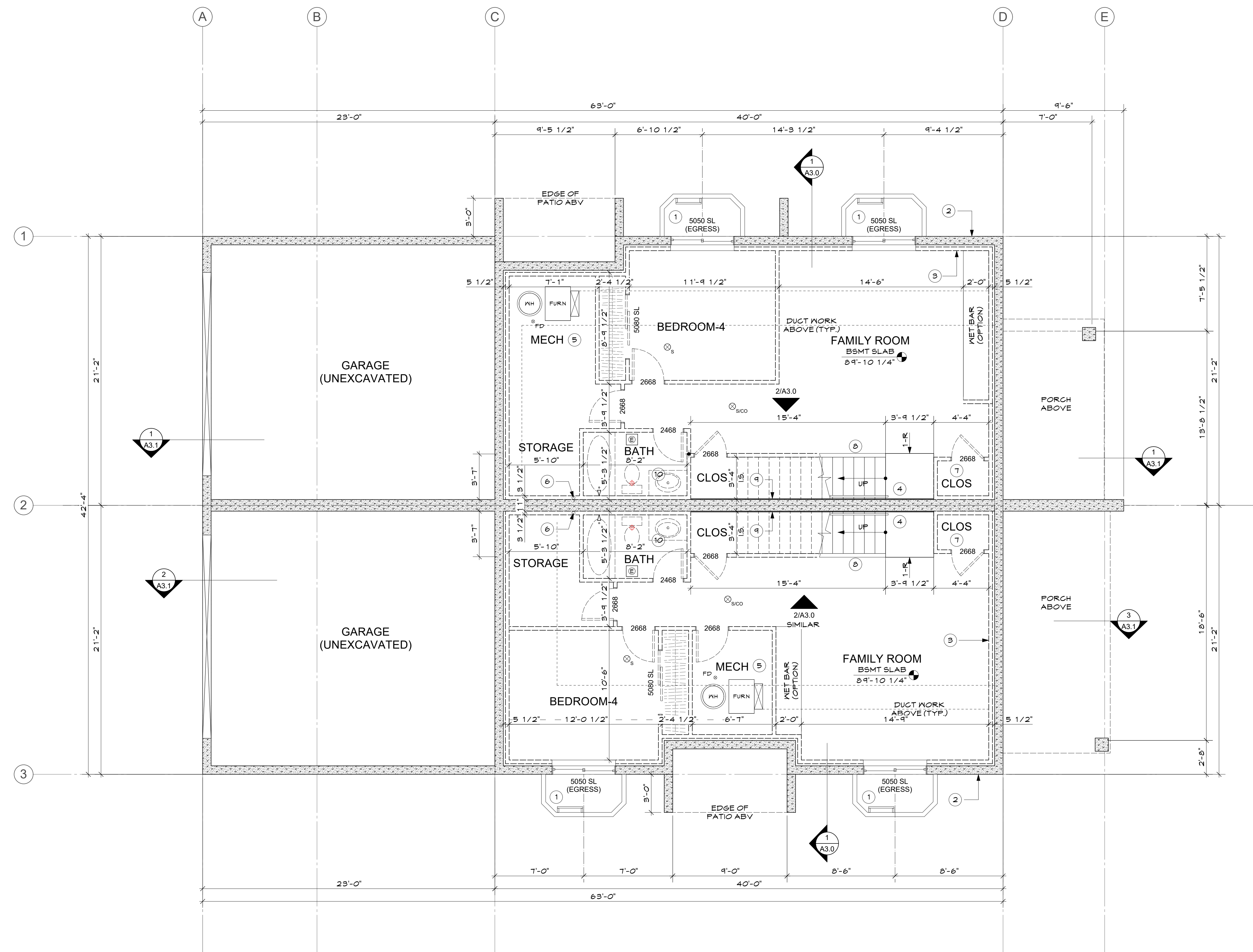
LOT 13 & 14, ERIE JUNCTION

Issue:

Date	Comments	Init.
2/18/25	Permit	PS
12/3/25	Rev-1	PS

Prior Approvals:
Erie Junction Preliminary
Plat & Site Plan
PP-001311-2021,
SP-001312-2021

Sheet Title
Cover Sheet
Sheet No.
A0.0



**UNFINISHED
BASEMENT PLAN**
1/4"=1'-0"

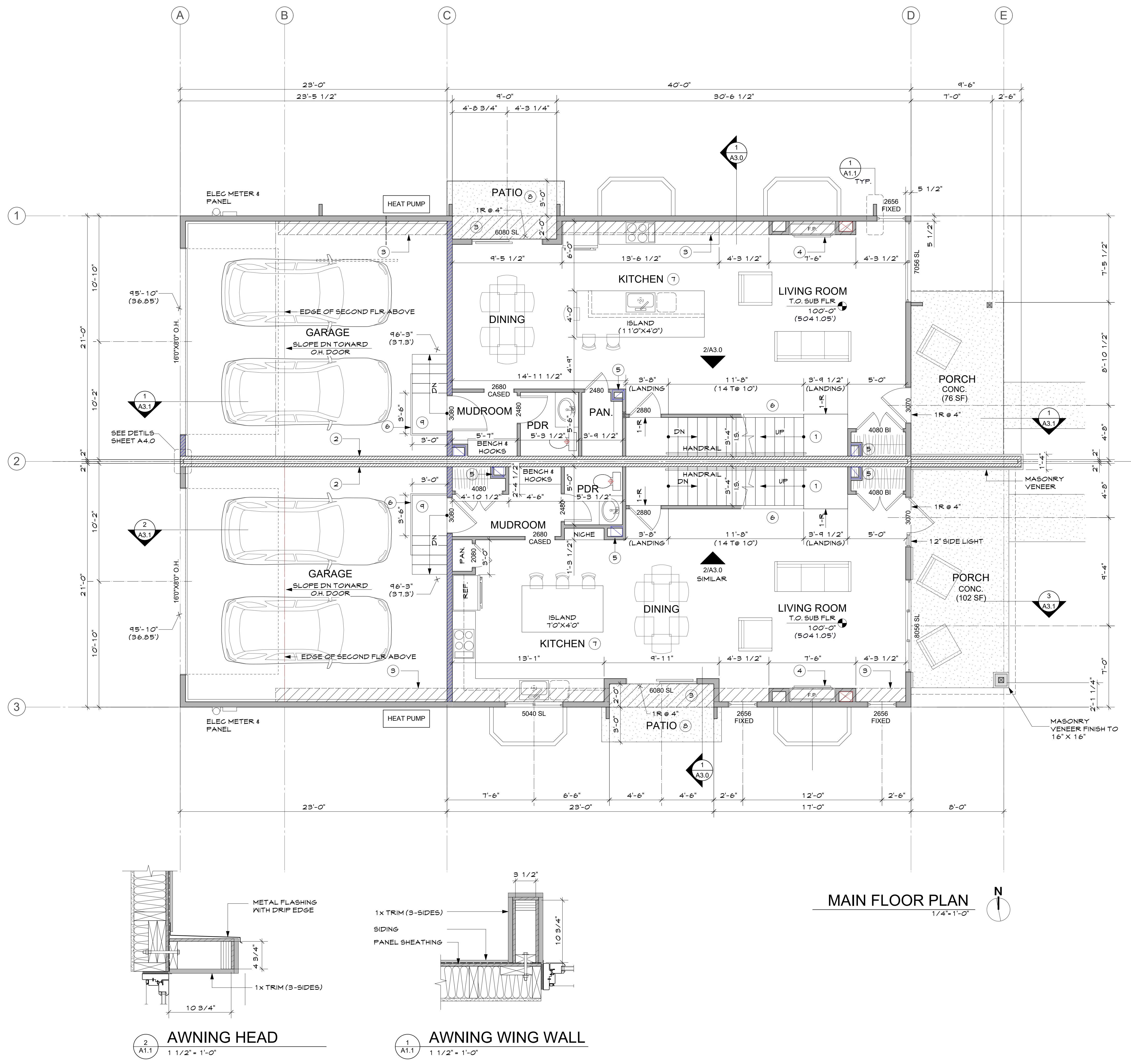
- LEGEND:**
- CONCRETE FOUNDATION WALL
 - FUTURE WALL
 - NEW 2X STUD WALL
 - FIRE RATED WALL
 - SHEAR WALL RE: STRUCTURAL
 - INDICATES COMBINATION SMOKE AND CARBON MONOXIDE ALARM
 - INDICATES SMOKE ALARM
 - INDICATES TEMPERED GLAZING WINDOWS (ALL GLAZING IN ALL DOORS TO BE TEMPERED)
 - EXHAUST FAN
 - WINDOWS & DOORS ARE NOTED IN FEET-INCHES (3068 INDICATES 3'-0" X 6'-8")

- COORDINATION NOTES**
- WINDOWS AND DOORS
REFER TO WINDOW AND DOOR SCHEDULE FOR ROUGH OPENING SIZES
 - CABINETS AND COUNTER TOPS
SEE CABINET AND COUNTERTOP SHOP DRAWINGS. COORDINATE WITH APPLIANCES
 - ROOM FINISHES
SEE ROOM FINISH SCHEDULE BY OTHERS
 - PLUMBING FIXTURES
SEE FIXTURE SCHEDULE BY OTHERS
 - ELECTRICAL LIGHTING
SEE FIXTURE SCHEDULE AND SWITCH LOCATIONS BY OTHERS

- KEY NOTES**
- 1 WINDOW WELL AT EGRESS WINDOW. MIN. 3'-0" X 4'-0" INSIDE DIMENSION
 - 2 DAMPPROOF WALL BELOW GRADE AND INSTALL FOUNDATION DRAIN PER SOILS REPORT
 - 3 2X STUD WALL & INSULATION @ EXTERIOR WALLS
 - 4 UTILITY GRADE STAIRS SEE STAIR SECTION DRAWINGS FOR DETAILS
 - 5 MECHANICAL EQUIPMENT AND DUCTS PER HVAC DESIGN
 - 6 RADON VENT TO ROOF (PASSIVE SYSTEM)
 - 7 SUMP FIT & PUMP - CONNECT DISCHARGE TO STORM WATER CONNECTION
 - 8 LOW WALL AT STAIR
 - 9 1X FURRING OVER CONCRETE WALL
 - 10 PLUMBING ROUGH-INS (UNFINISHED BASMENT)

**432 & 438 MULLIGAN ST.
ERIE JUNCTION- LOT 13-14**
LOT 13 & 14, ERIE JUNCTION

Issue	Date	Comments	Init.
	2/18/25	Permit	PS
	12/3/25	Rev-1	PS

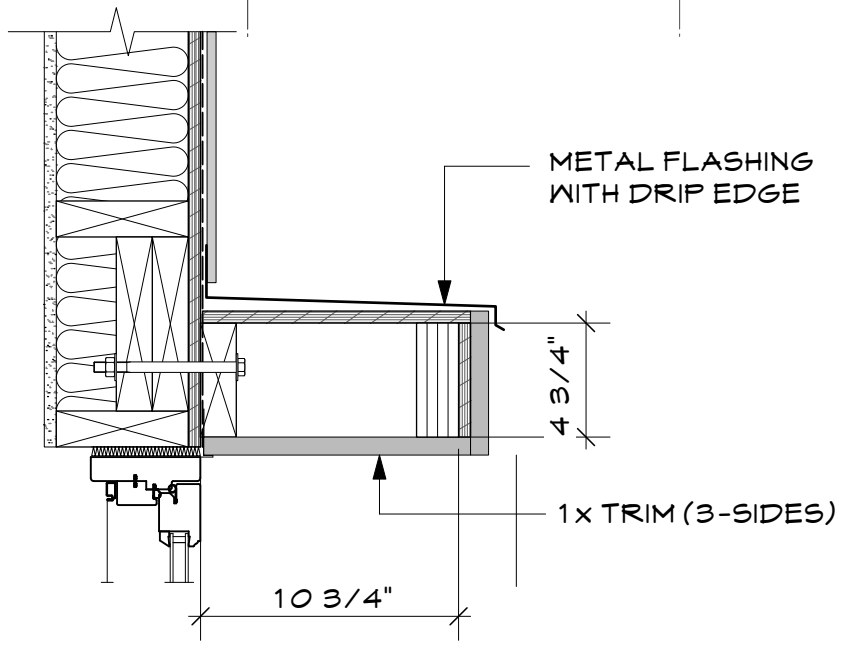


- LEGEND:**
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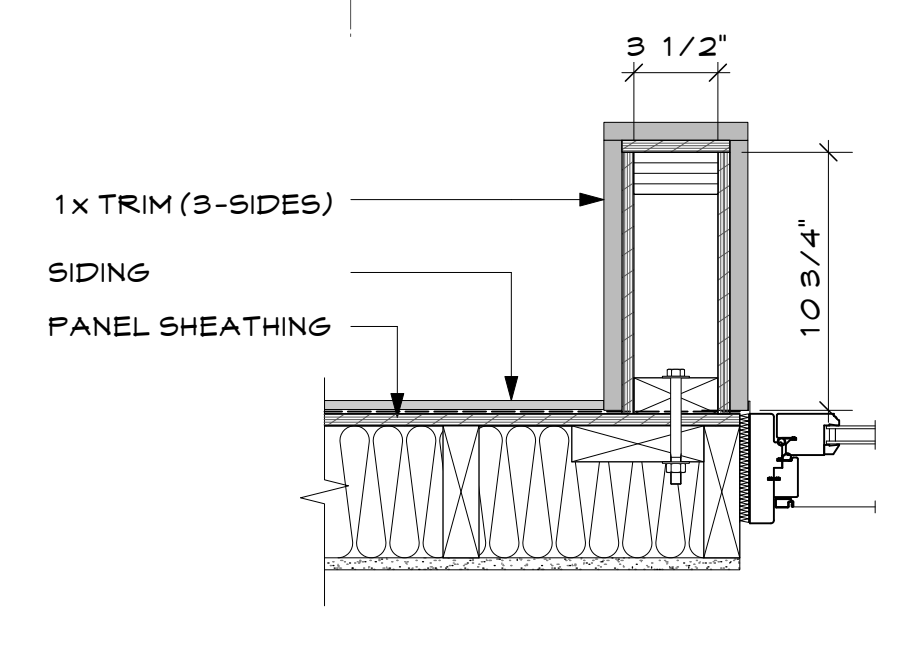
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 - ROOM FINISHES SEE ROOM FINISH SCHEDULE BY OTHERS
 - PLUMBING FIXTURES SEE FIXTURE SCHEDULE BY OTHERS
 - ELECTRICAL LIGHTING SEE FIXTURE SCHEDULE AND SWITCH LOCATIONS BY OTHERS

- KEY NOTES**
- 1 STAIR AND STAIR HANDRAILS SEE STAIR SECTION DRAWINGS FOR DETAILS
 - 2 1-HOUR RATED PARTY WALL, SEE DETAILS SHEET A4.0
 - 3 DROP SOFFIT WHERE HVAC RUNS PERPENDICULAR TO JOISTS
 - 4 ELECTRIC FIREPLACE OPTION
 - 5 HVAC CHASE
 - 6 GUARDRAIL 36" ABOVE STAIR NOSING
 - 7 VERIFY CABINET & APPLIANCE PLAN WITH SHOP DRAWINGS
 - 8 VERIFY PATIO SIZE AND LOCATION WITH LANDSCAPE PLAN
 - 9 UTILITY GRADE STAIRS WITH GUARDRAIL 36" A.F.F.

MAIN FLOOR PLAN
1/4" = 1'-0"



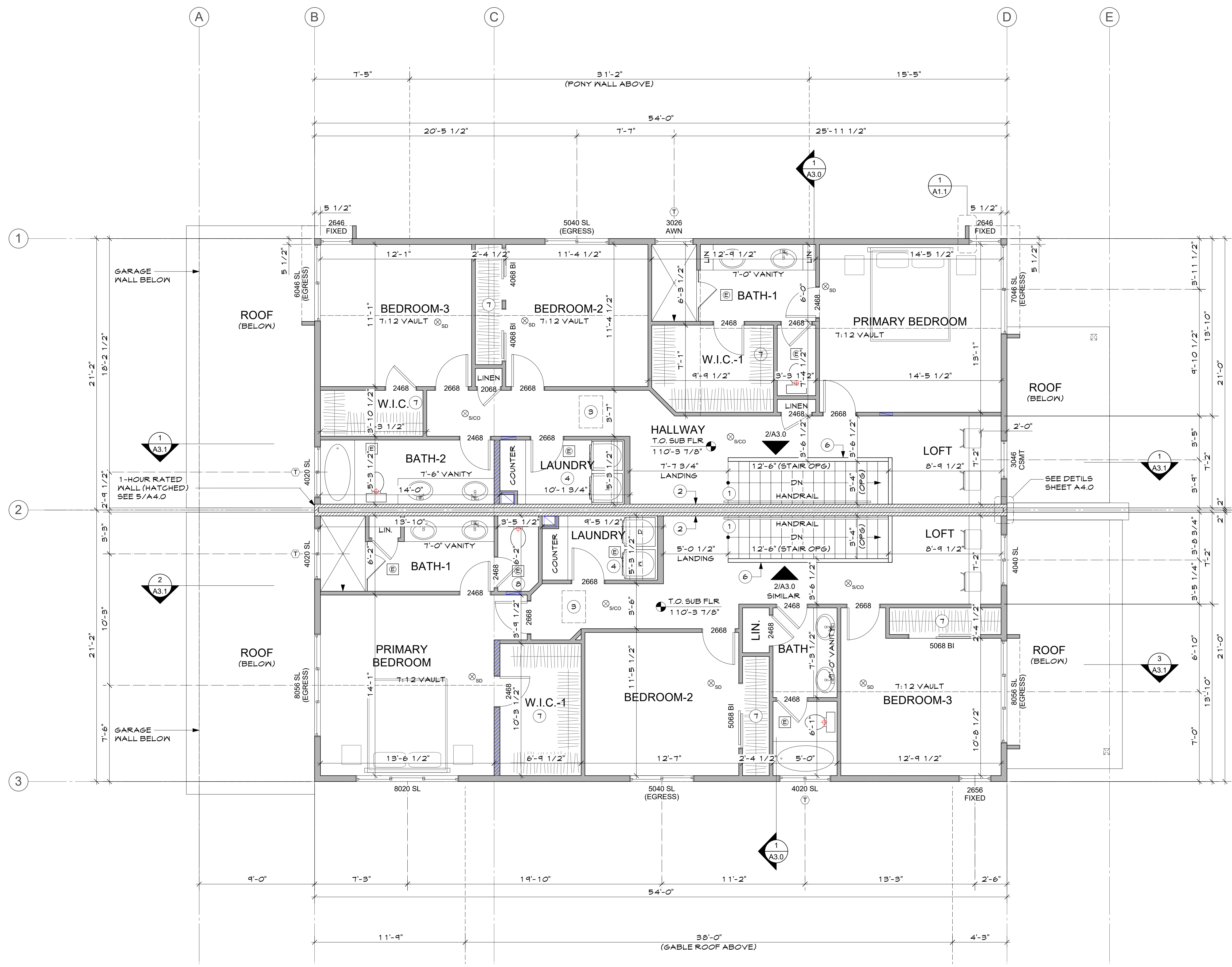
AWNING HEAD
A1.1 1 1/2" x 1'-0"



AWNING WING WALL
A1.1 1 1/2" x 1'-0"

432 & 438 MULLIGAN ST.
ERIE JUNCTION- LOT 13-14
LOT 13 & 14, ERIE JUNCTION

Issue	Date	Comments	Init.
	2/18/25	Permit	PS
	12/3/25	Rev-1	PS



SECOND FLOOR PLAN
1/4" = 1'-0"

- LEGEND:**
- CONCRETE FOUNDATION WALL
 - FUTURE WALL
 - NEW 2X STUD WALL
 - FIRE RATED WALL
 - SHEAR WALL RE: STRUCTURAL
 - INDICATES COMBINATION SMOKE AND CARBON MONOXIDE ALARM
 - INDICATES SMOKE ALARM
 - INDICATES TEMPERED GLAZING WINDOWS (ALL GLAZING IN ALL DOORS TO BE TEMPERED)
 - EXHAUST FAN
 - WINDOWS & DOORS ARE NOTED IN FEET-INCHES (3068 INDICATES 3'-0" x 6'-8")

- COORDINATION NOTES**
- WINDOWS AND DOORS
REFER TO WINDOW AND DOOR SCHEDULE FOR ROUGH OPENING SIZES
 - CABINETS AND COUNTER TOPS
SEE CABINET AND COUNTER TOP SHOP DRAWINGS. COORDINATE WITH APPLIANCES
 - ROOM FINISHES
SEE ROOM FINISH SCHEDULE BY OTHERS
 - PLUMBING FIXTURES
SEE FIXTURE SCHEDULE BY OTHERS
 - ELECTRICAL LIGHTING
SEE FIXTURE SCHEDULE AND SWITCH LOCATIONS BY OTHERS

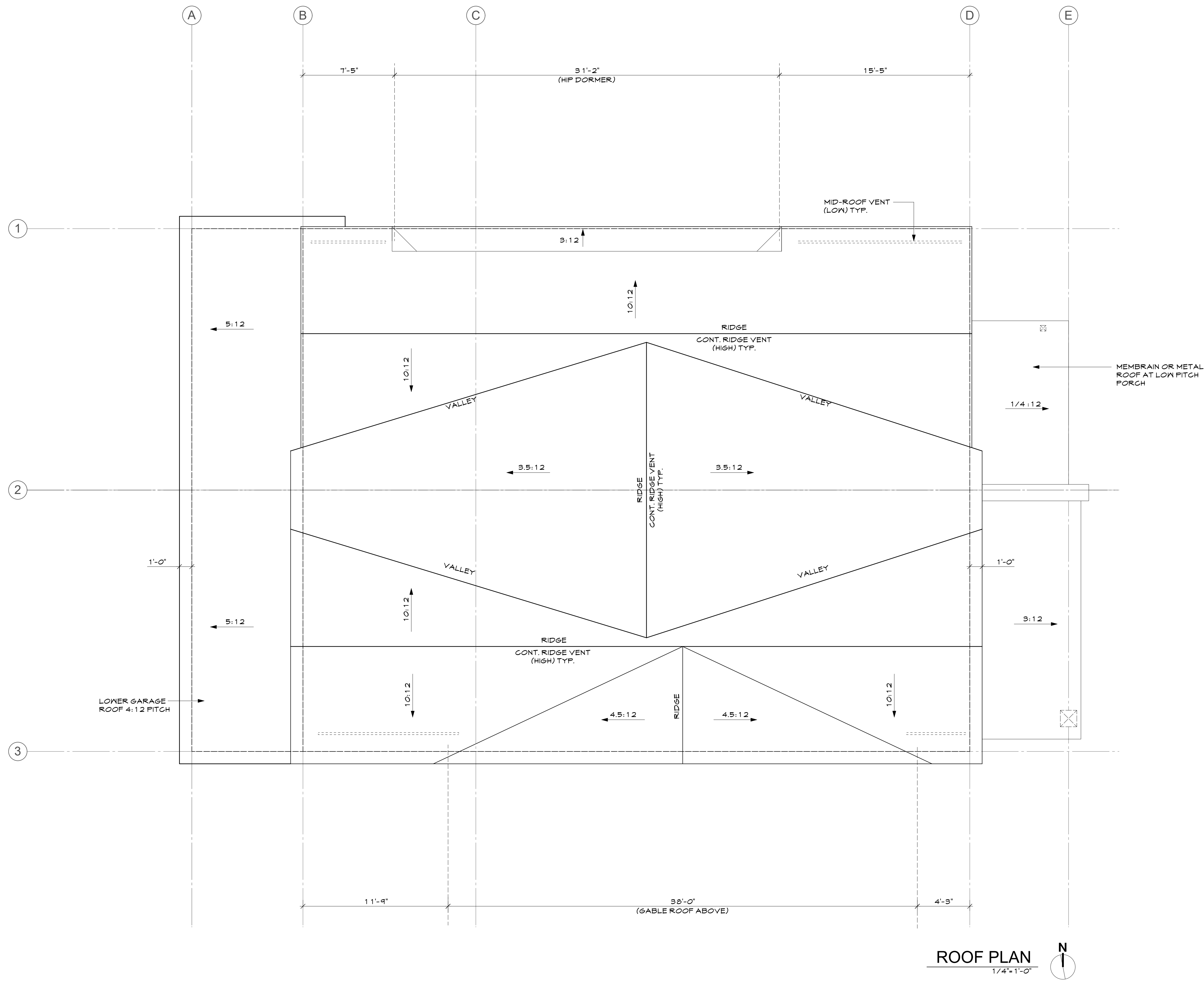
- KEY NOTES**
- 1 STAIR AND STAIR HANDRAILS SEE STAIR SECTION DRAWINGS FOR DETAILS
 - 2 PARTY WALL DETAIL SEE SHEET A4.0
 - 3 ATTIC ACCESS 30" X 22" MIN.
 - 4 PROVIDE WATER AND WASTE CONNECTIONS AND VENTING FOR LAUNDRY EQUIPMENT
 - 5 HVAC RETURN AIR RE: MECHANICAL
 - 6 GUARDRAIL 36" AFF. MIN.
 - 7 CLOSET ROD AND SHELF. INSTALL TOP OF SHELF AT 80" AFF.
 - 8 DROP CEILING FOR HVAC

432 & 438 MULLIGAN ST.
ERIE JUNCTION- LOT 13-14
LOT 13 & 14, ERIE JUNCTION

Issue:

Date	Comments	Init.
2/18/25	Permit	PS
12/3/25	Rev-1	PS

- ROOF NOTES:**
1. ROOF SYSTEM TO BE "CLASS A" FIRE RATING
 2. SHINGLES CLASS 4 IMPACT RATING & 130 MPH WIND RESISTANCE WARRANTY
 3. PROVIDE ICE & WATER GUARD UP 36" AT ALL EAVES & VALLEYS
 4. INSTALL ALL ROOF SYSTEMS PER MANUFACTURERS RECOMMENDATIONS

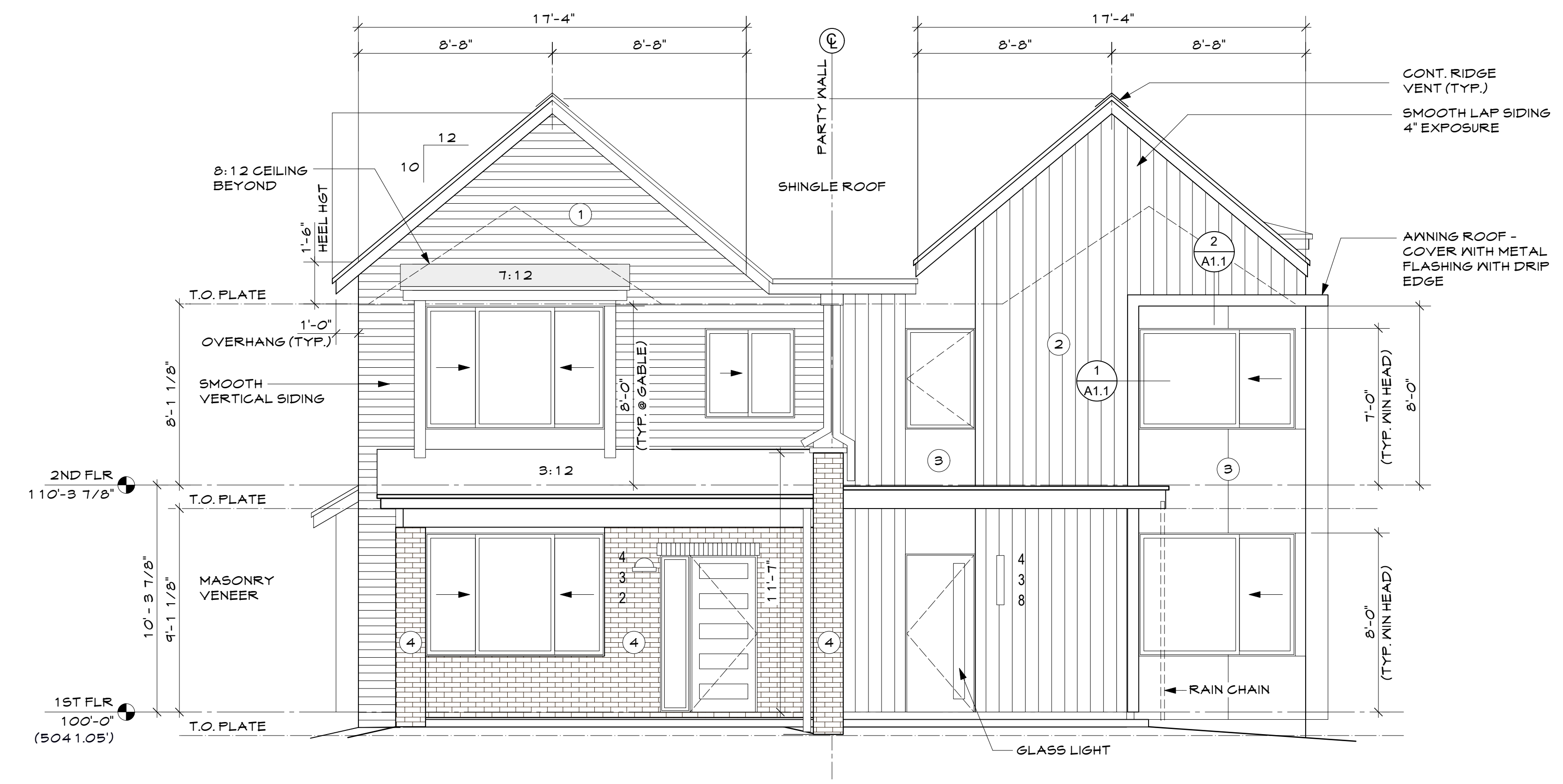


**432 & 438 MULLIGAN ST.
ERIE JUNCTION- LOT 13-14**
LOT 13 & 14, ERIE JUNCTION

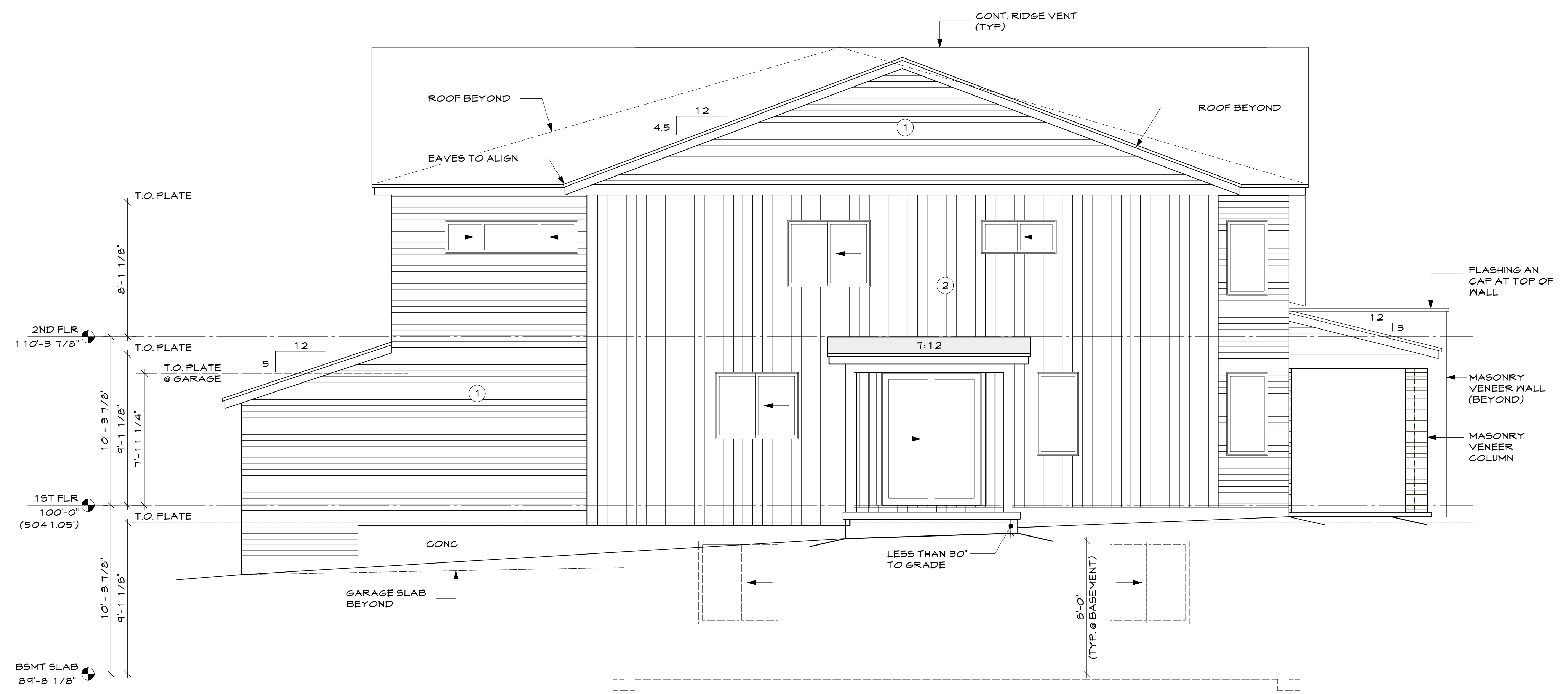
Issue:

Date	Comments	Init.
2/18/25	Permit	PS
12/3/25	Rev-1	PS

- EXTERIOR MATERIALS** #
- HORIZONTAL LAP SIDING, SMOOTH FINISH - 4 3/4" EXPOSURE
 - VERTICAL SIDING (1x6 BATTENS AT 6.25" OC.)
 - SMOOTH PANEL SIDING WITH EXTRUDED ALUMINUM JOINTS (TYP.)
 - THIN BRICK MASONRY VENEER
- EAVES: SMOOTH LP SMART SIDE (NON VENTED)
 HORZ. SIDING: SMOOTH LP SMART LAP SIDING 4 3/4" EXPOSURE
 PANEL: SMOOTH PANEL SIDING WITH EXTRUDED ALUMINUM JOINTS
 VERT. SIDING: LP SMART TRIM 5.5" WIDE SPACED WITH 3/4" GAP OVER LP SMART SMOOTH PANEL
 WINDOWS: ANDERSEN 100 SERIES, BLACK/BLACK
 ROOFING: CLASS A FIRE RATING- SEE ROOF PLAN



EAST ELEVATION
1/4"=1'-0"



SOUTH ELEVATION
1/4"=1'-0"

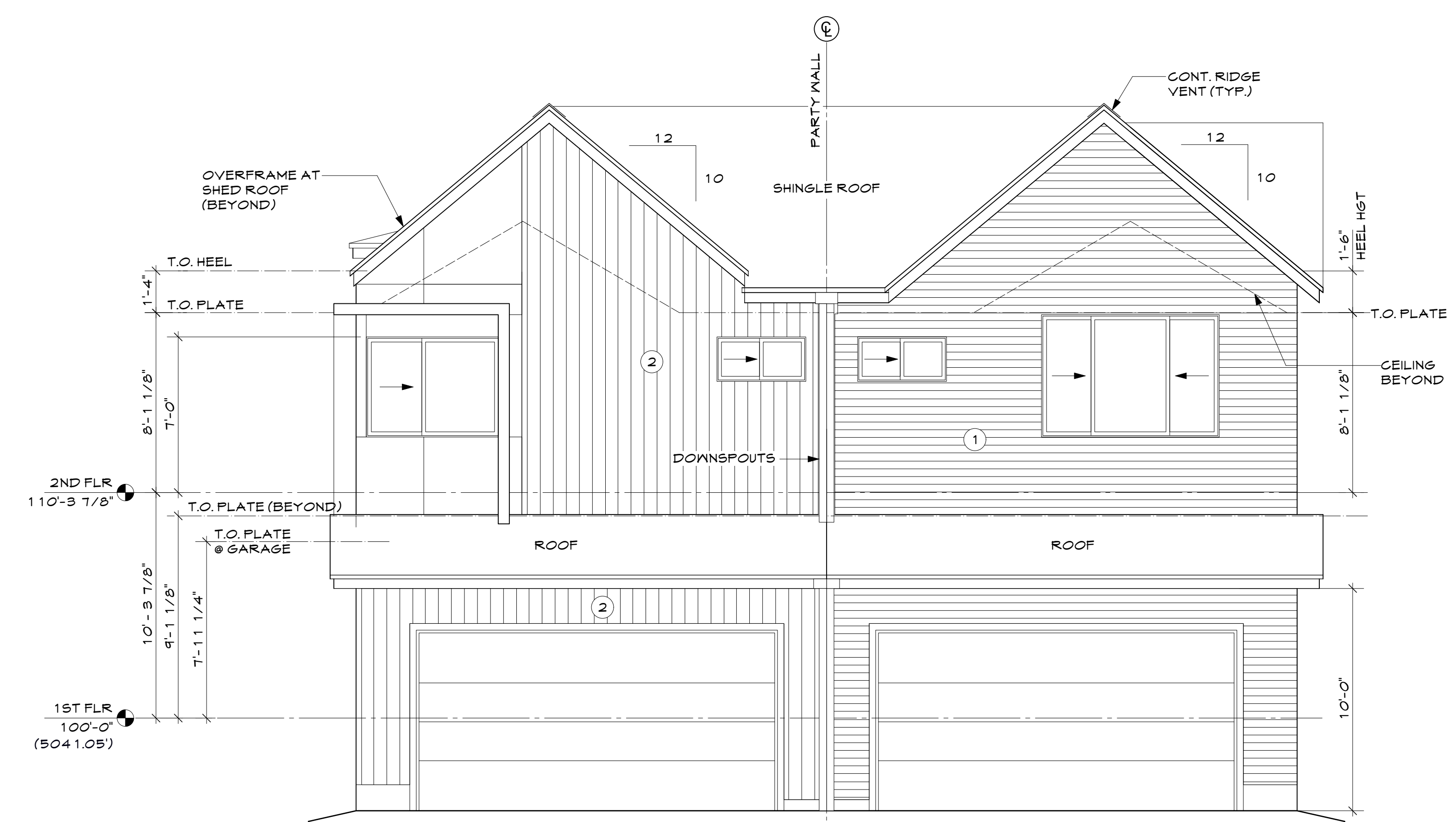
432 & 438 MULLIGAN ST.
ERIE JUNCTION- LOT 13-14
LOT 13 & 14, ERIE JUNCTION

Issue:

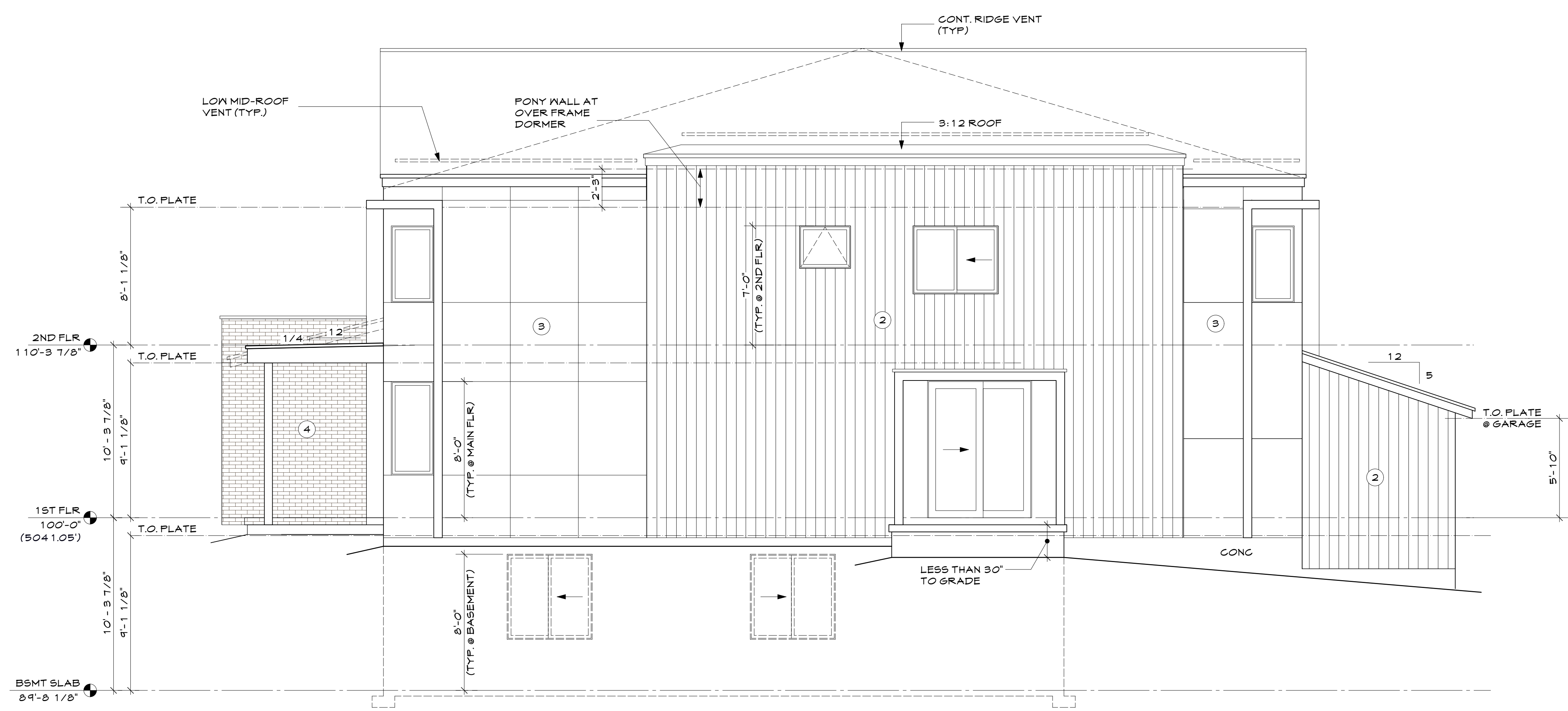
Date	Comments	Init.
2/18/25	Permit	PS
12/3/25	Rev-1	PS

Sheet Title
Elevation
Sheet No.
A2.0

- EXTERIOR MATERIALS** Ⓢ
- 1 HORIZONTAL LAP SIDING, SMOOTH FINISH - 4 3/4" EXPOSURE
 - 2 VERTICAL SIDING (1x6 BATTENS AT 6.25" OC.)
 - 3 SMOOTH PANEL SIDING WITH EXTRUDED ALUMINUM JOINTS (TYP.)
 - 4 THIN BRICK MASONRY VENEER
- EAVES: SMOOTH LP SMART SIDE (NON VENTED)
- HORZ. SIDING: SMOOTH LP SMART LAP SIDING 4 3/4" EXPOSURE
- PANEL: SMOOTH PANEL SIDING WITH EXTRUDED ALUMINUM JOINTS
- VERT. SIDING: LP SMART TRIM 5.5" WIDE SPACED WITH 3/4" GAP OVER LP SMART SMOOTH PANEL
- WINDOWS: ANDERSEN 100 SERIES, BLACK/BLACK
- ROOFING: CLASS A FIRE RATING- SEE ROOF PLAN



WEST ELEVATION
1/4"=1'-0"



NORTH ELEVATION
1/4"=1'-0"

432 & 438 MULLIGAN ST.
ERIE JUNCTION- LOT 13-14
LOT 13 & 14, ERIE JUNCTION

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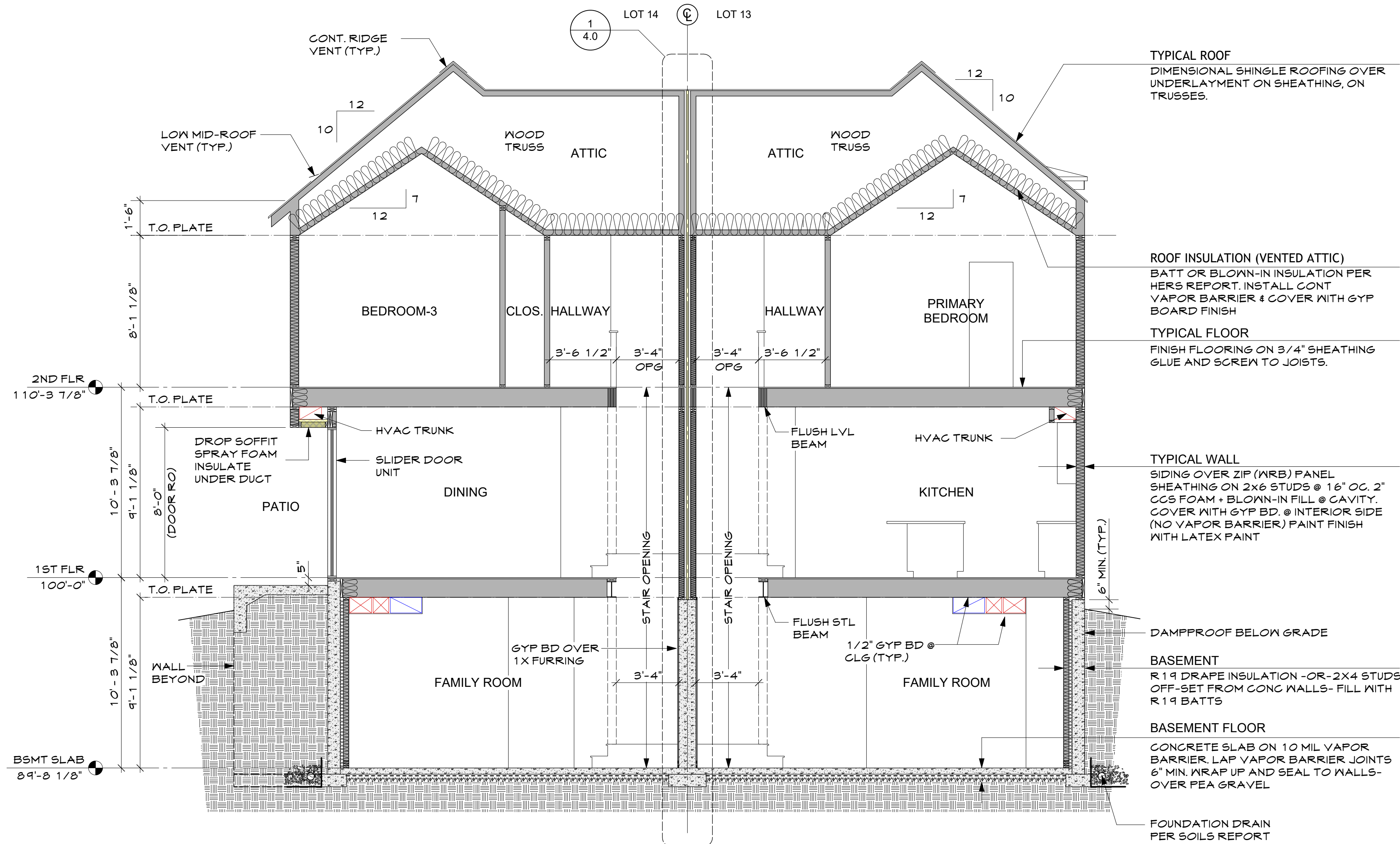
Sheet Title
Elevation

Sheet No.
A2.1

AIR BARRIERS

Building air leakage testing required: See HERS report

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA	PROJECT NOTES
General Requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-Permeable insulation shall not be used as a sealing material.	Exterior housewrap and interior drywall used as air barrier. Tape all housewrap seams. Caulk drywall to top and bottom plate. Gap interior wall studs to allow drywall to be cont. on exterior wall.
Ceiling/Attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stairs or knee wall doors to unconditional attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier	Weather strip and seal attic access hatch
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance, R- value, of not less than R-3 per inch. exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.	Utilize advanced framing techniques (3-stud corners, insulated headers etc.) Walls to have blown-in insulation for tight fill.
Windows, Skylights, and Doors	The space between window/door jams and framing, and skylights and framing shall be sealed.	---	Seal with low expanding spray foam.
Rim Joists	Rim joists shall include an exterior air barrier. The junctions of the rim board to the sill board and the subfloor shall be air sealed.	Rim joists shall be insulated so that the insulation maintains permanent contact with the exterior rim board.	Caulk or spray foam rim top and bottom edges. Install insulation tight to rim
Flooring (Including above garage and cantilevered floor)	The air barrier shall be installed at any exposed edge of insulation	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking. Alternatively, floor framing cavity insulation shall be in contact with the top side of sheathing or continuous insulation installed on the underside of floor framing and extending from the bottom to the top of all perimeter floor framing members.	Glue and seal subfloor to joists. Caulk or tape seal sub floor joints.
Basement Crawl Space and Slab Foundations	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder/barrier in accordance with Section R402.2.10 Penetrations through concrete foundation walls and slabs shall be air sealed. Class I vapor retarders shall not be used as an air barrier on below-grade walls and shall be installed in accordance with Section R702.7 of the International Residential Code.	Crawl space insulation, where provided instead of floor insulation, shall be installed in accordance with Section R402.2.10. The basement foundation wall insulation shall be installed in accordance with Section R402.2.8.1. Slab-on-grade floor insulation shall be installed in accordance with Section R402.2.10.	Cover earth with min 10 mil poly barrier. Overlap 6 inches and seal joint. wrap up walls 8 inches and seal to wall. Caulk seal floor slab to wall intersection
Shafts, Penetrations	Duct and Flue shafts to exterior or unconditioned space shall be sealed. Utility penetrations of the air barrier shall be caulked, gasketed or otherwise sealed and shall allow for expansion, contraction of materials and mechanical vibration.	Insulation shall be fitted tightly around utilities passing through shafts and penetrations in the building thermal envelope to maintain required R-value.	Caulk seal all penetrations through drywall including bath exhaust fans
Narrow Cavities	Narrow cavities of 1 inch or less that are not able to be insulated shall be air sealed.	Batts to be installed in narrow cavities shall be cut to fit or narrow cavities shall be filled with insulation that on installation readily conforms to the available cavity space.	Caulk with backer rod or spray foam fill
Garage Separation	Air sealing shall be provided between the garage and conditioned spaces.	Insulated portions of the garage separation assembly shall be installed in accordance with Sections R303 and R402.2.7.	Tape and Seal all penetrations on both sides of wall
Recessed Lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed in accordance with Section R402.4.5	Recessed light fixtures installed in the building thermal envelope shall be airtight and IC rated, and shall be buried or surrounded with insulation.	Build rigid insulation box around recessed lights- seal joints. Recessed cans located adjacent to insulation shall be IC rated and sealed with gasket.
Plumbing, Wiring, or other obstructions	All holes created by wiring, plumbing, or other obstructions in the air barrier assembly shall be air sealed.	Insulation shall be installed to fill the available space and surround wiring, plumbing, or other obstructions, unless the required R-Value can be met by installing insulation and air barrier systems completely to the exterior side of the obstructions.	Fill penetrations with spray foam or gasket type sealers. Minimize number of wires at each penetration.
Shower/Tub on Exterior Wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the shower and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.	Provide continuous hardi panel behind tub and caulk seal joints and perimeter
Electrical Box on Exterior Wall	The air barrier shall be installed behind electrical boxes or air-sealed boxes shall be installed	---	Spray foam around back of elect box, caulk to drywall
HVAC Register Boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall	---	caulk seal to drywall
Concealed Sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceiling	---	N/A (none)



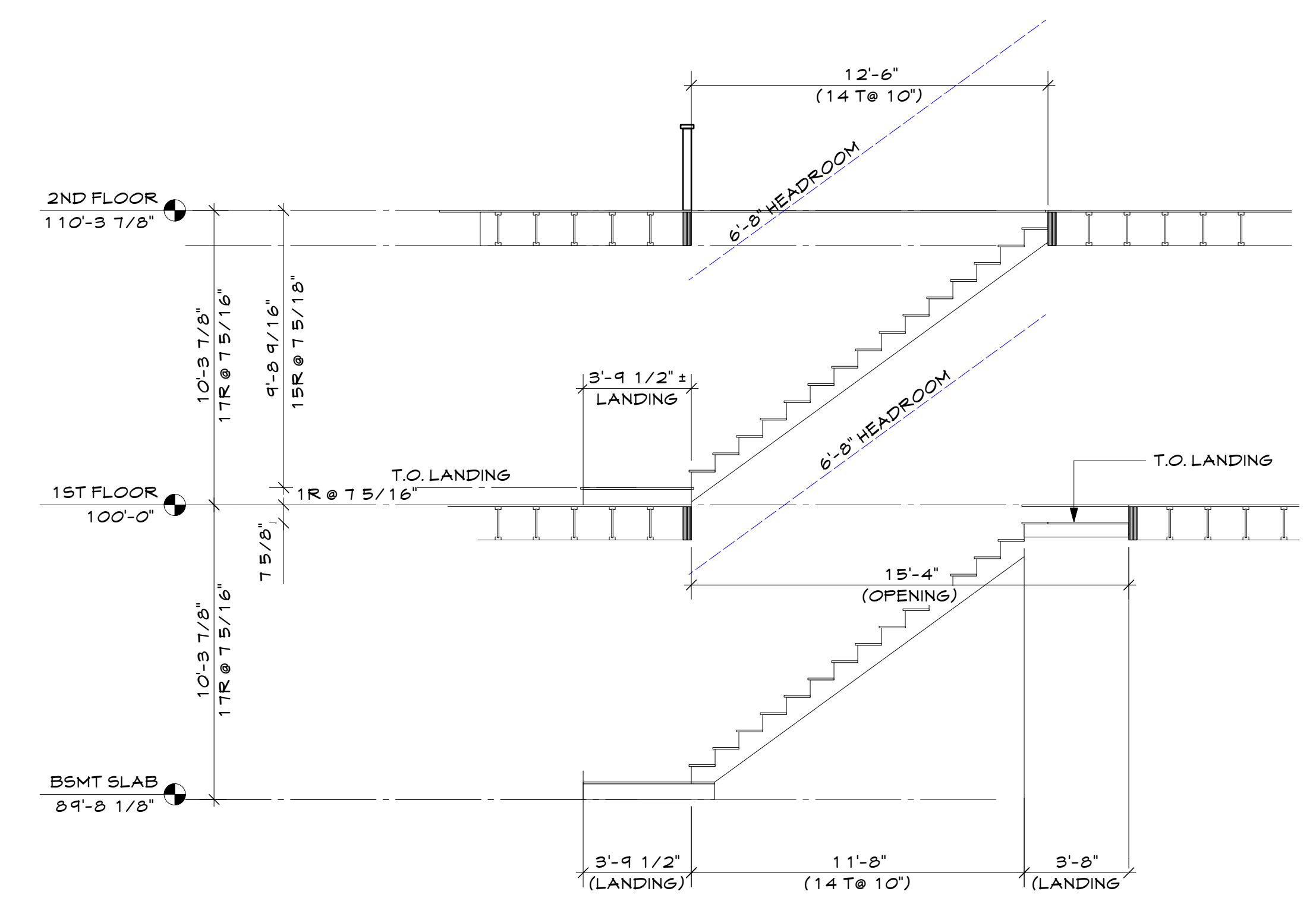
1 CROSS SECTION
A3.0 1/4"=1'-0"

STAIR & GUARDRAIL NOTES

VERIFY ALL FLOOR TO FLOOR HEIGHTS AND HEADROOM CLEARANCES.

STAIR REQUIREMENTS
 - TREADS AND RISERS - AS SPECIFIED ON DRAWINGS (MAXIMUM RISER 7 3/4", MINIMUM TREAD 10" UNLESS NOTED OTHERWISE). MAXIMUM DEVIATION 3/8".
 - MINIMUM HEADROOM 6'-8" ABOVE NOSING.
 - PROVIDE CONTINUOUS HANDRAIL FROM TOP TO BOTTOM RISER ONE SIDE OF STAIRWAY.
 - HANDRAILS TO BE 34" TO 38" ABOVE STAIR NOSING.

GUARDRAILS
 - GUARDRAILS TO BE INSTALLED 36" ABOVE FINISHED FLOOR
 - OPENINGS TO BE LESS THAN 4"



2 STAIR ELEVATION
A3.0 1/4"=1'-0"

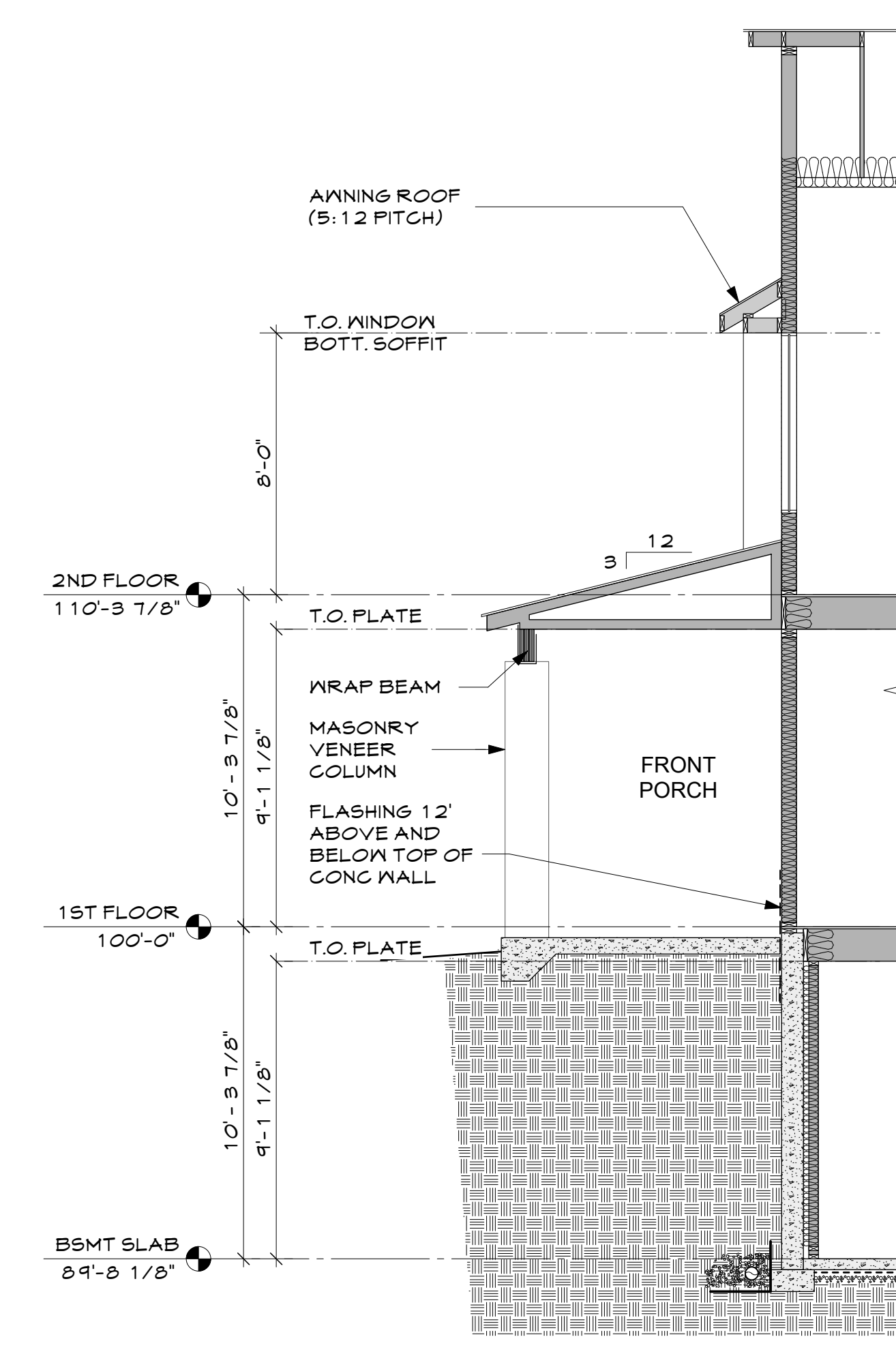
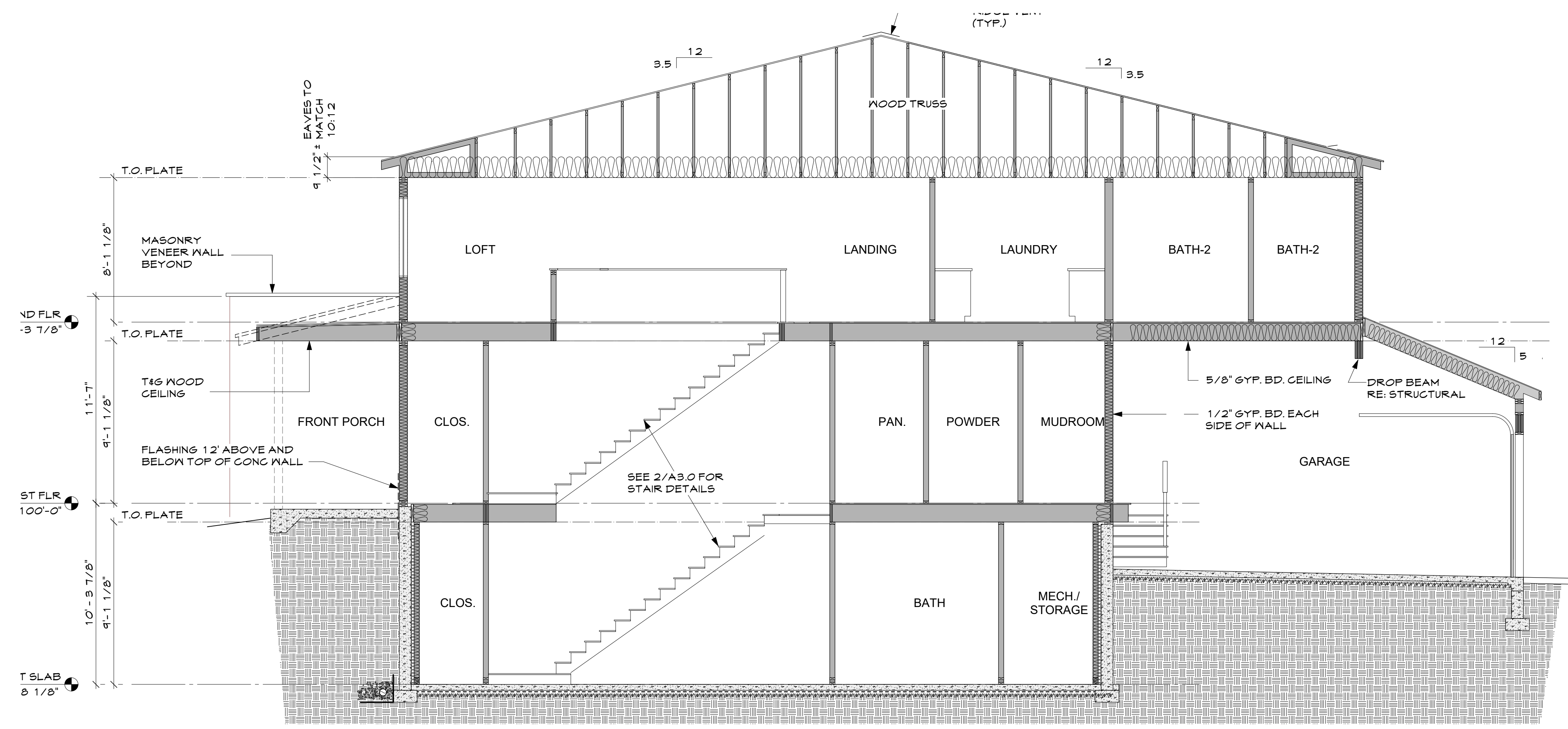
stewart
ARCHITECTURE
1132 JEFFERSON AVE.
LOUISVILLE, CO 80027
303. 665. 6668

432 & 438 MULLIGAN ST.
ERIE JUNCTION- LOT 13-14
LOT 13 & 14, ERIE JUNCTION

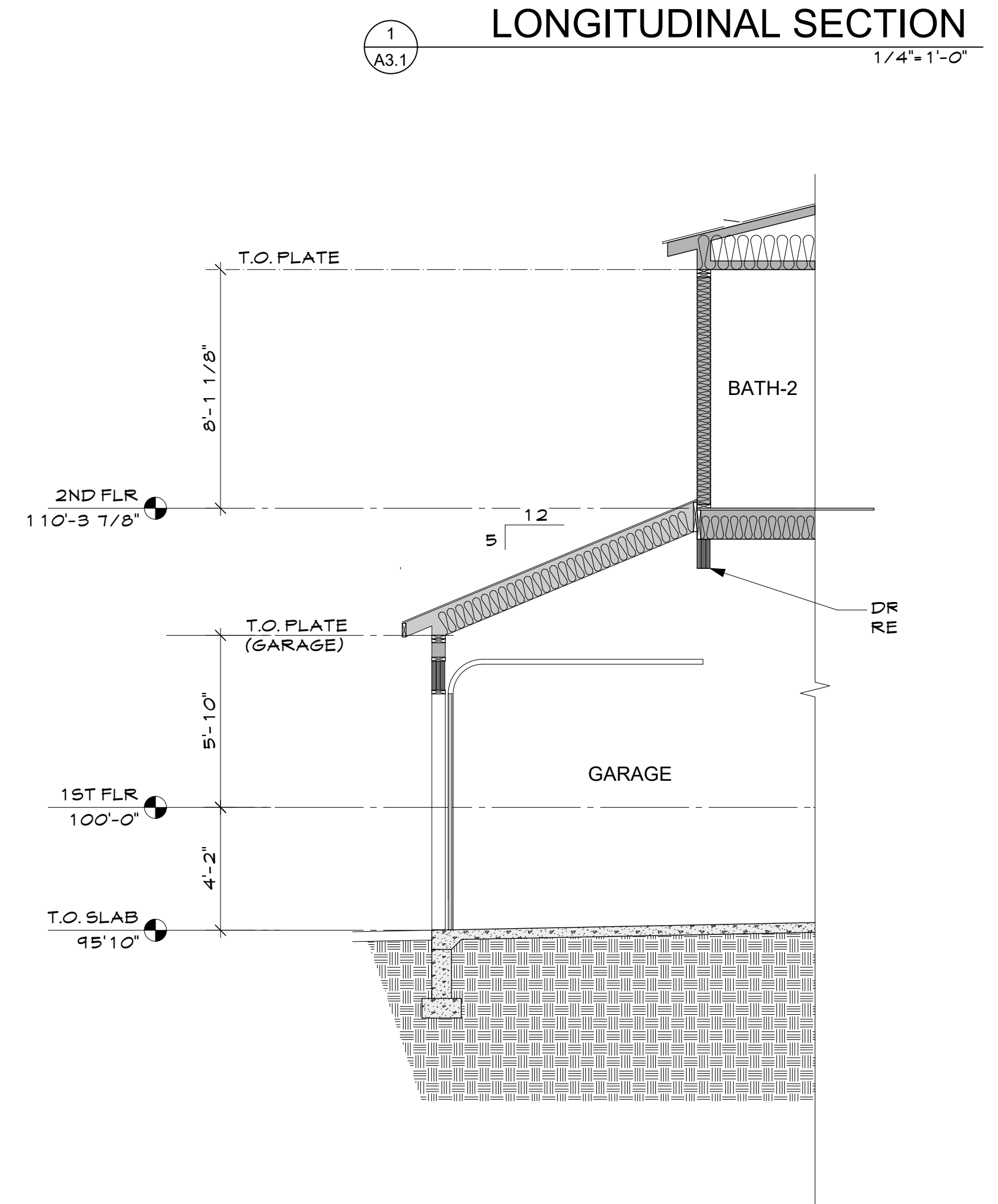
Issue:

Date	Comments	Init.
2/18/25	Permit	PS
12/3/25	Rev-1	PS

Sheet Title
Section
Sheet No.
A3.0



3 FRONT PORCH SECTION
A3.1 1/4"=1'-0"



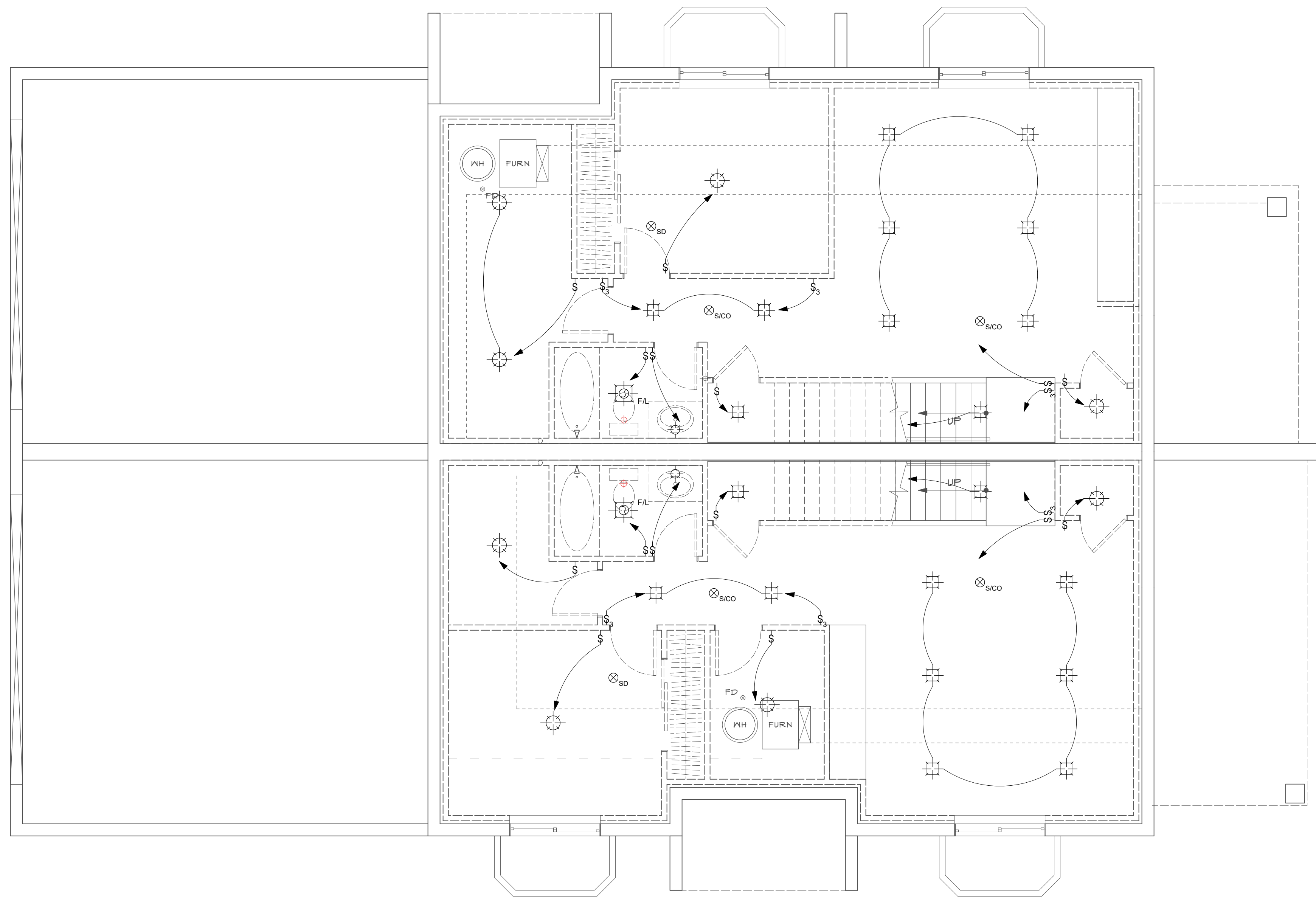
1 LONGITUDINAL SECTION
A3.1 1/4"=1'-0"

432 & 438 MULLIGAN ST.
ERIE JUNCTION- LOT 13-14
LOT 13 & 14, ERIE JUNCTION

Issue:	Date	Comments	Init.
	2/18/25	Permit	PS
	12/3/25	Rev-1	PS

Prior Approvals:
Erie Junction Preliminary
Plat & Site Plan
PP-001311-2021,
SP-001312-2021

Sheet Title
Section
Sheet No.
A3.1



LEGEND

- WALL MOUNT-
- CEILING MOUNT-
- RECESSED FIXTURE IN CEILING-
- PENDANT LIGHT
- EXHAUST FAN/LIGHT
- EXHAUST FAN
- CEILING FAN/LIGHT
- SWITCH
(MOUNT @ 48" CENTER A.F.F.)
- SWITCH- THREE WAY
(MOUNT @ 48" CENTER A.F.F.)
- SWITCH- FOUR WAY
(MOUNT @ 48" CENTER A.F.F.)
- CARBON MONOXIDE
(HARD WIRED)
- SMOKE DETECTOR
(HARD WIRE & INTERCONNECT)
- OUTLET
- WATER PROOF OUTLET
- CAT V/CABLE
- UNDER CABINET LIGHTING

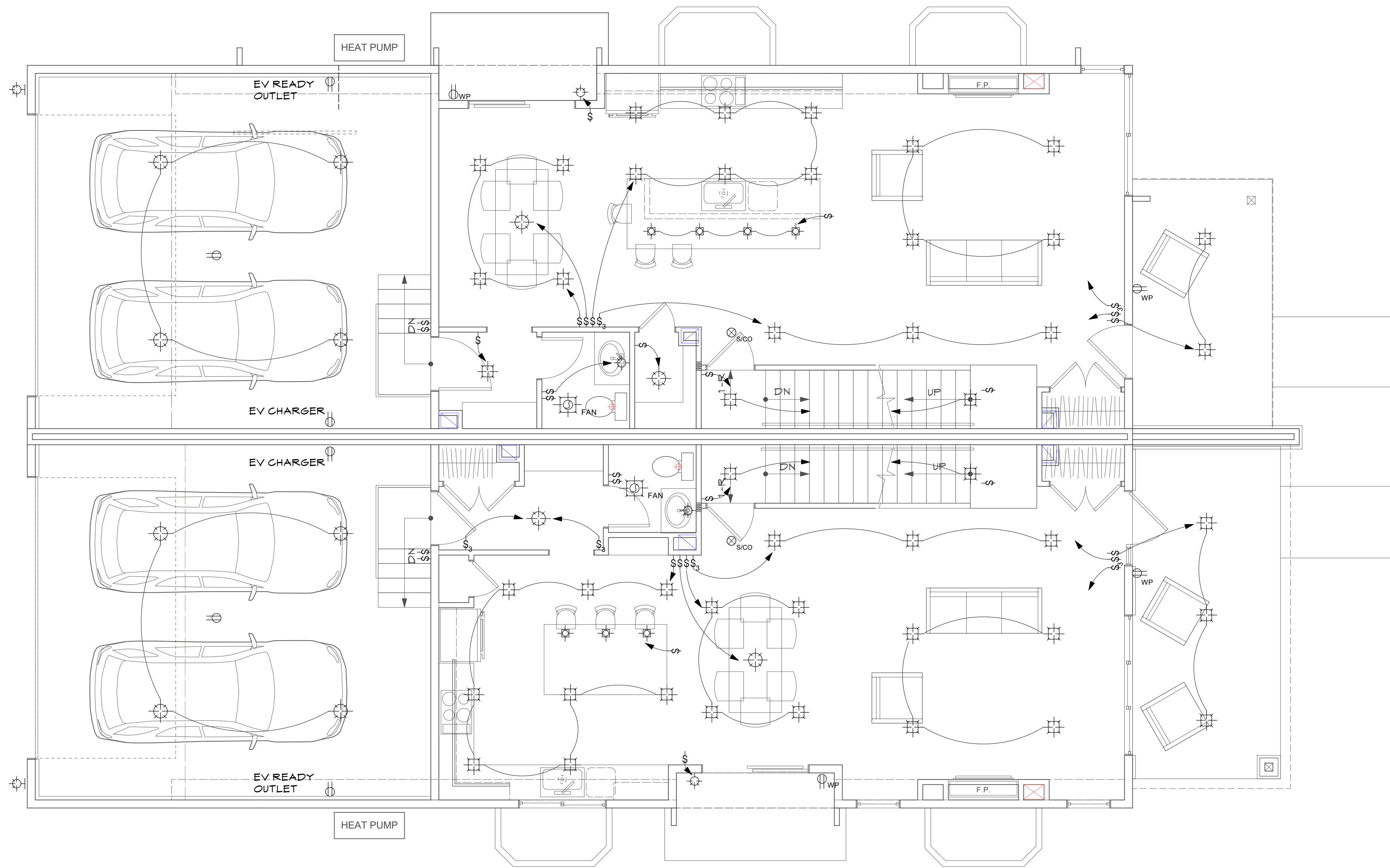
432 & 438 MULLIGAN ST.
ERIE JUNCTION- LOT 13-14
LOT 13 & 14, ERIE JUNCTION

BASEMENT LIGHTING PLAN
1/4" = 1'-0"

Issue:

Date	Comments	Init.
2/18/25	Permit	PS
12/3/25	Rev-1	PS

Sheet Title
Lighting Plan
Sheet No.
EI.0



LEGEND

	WALL MOUNT-
	CEILING MOUNT-
	RECESSED FIXTURE IN CEILING-
	PENDANT LIGHT
	EXHAUST FAN/LIGHT
	EXHAUST FAN
	CEILING FAN/LIGHT
	SWITCH (MOUNT @ 48" CENTER A.F.F.)
	SWITCH- THREE WAY (MOUNT @ 48" CENTER A.F.F.)
	SWITCH- FOUR WAY (MOUNT @ 48" CENTER A.F.F.)
	CARBON MONOXIDE (HARD WIRED)
	SMOKE DETECTOR (HARD WIRE & INTERCONNECT)
	OUTLET
	WATER PROOF OUTLET
	CAT V/CABLE
	UNDER CABINET LIGHTING

MAIN FLOOR LIGHTING PLAN
1/4" = 1'-0"

432 & 438 MULLIGAN ST.
ERIE JUNCTION- LOT 13-14
LOT 13 & 14, ERIE JUNCTION

Issue:

Date	Comments	Init.
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LEGEND

- WALL MOUNT-
- CEILING MOUNT-
- RECESSED FIXTURE IN CEILING-
- PENDANT LIGHT
- EXHAUST FAN/LIGHT
- EXHAUST FAN
- CEILING FAN/LIGHT
- SWITCH (MOUNT @ 48" CENTER A.F.F.)
- SWITCH- THREE WAY (MOUNT @ 48" CENTER A.F.F.)
- SWITCH- FOUR WAY (MOUNT @ 48" CENTER A.F.F.)
- CARBON MONOXIDE (HARD WIRED)
- SMOKE DETECTOR (HARD WIRE & INTERCONNECT)
- OUTLET
- WATER PROOF OUTLET
- CAT V/CABLE
- UNDER CABINET LIGHTING

432 & 438 MULLIGAN ST.
ERIE JUNCTION- LOT 13-14
LOT 13 & 14, ERIE JUNCTION

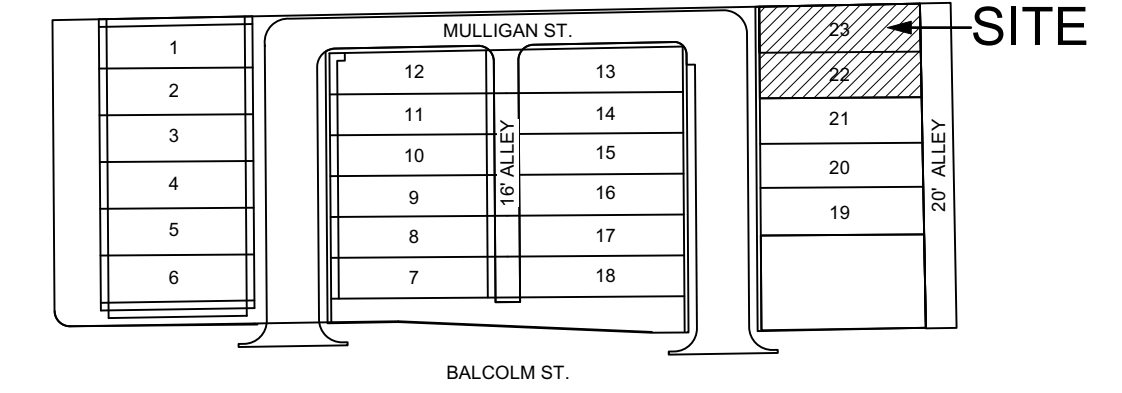
SECOND FLOOR LIGHTING PLAN
1/4" = 1'-0"

Issue:

Date	Comments	Init.
2/18/25	Permit	PS
12/3/25	Rev-1	PS

Sheet Title
Lighting Plan
Sheet No.
EI.2

KEY PLAN



PROJECT INFORMATION

LEGAL DESCRIPTION:
Lot 22 & 23, Erie Junction. Parcel located in Section 18, Township 1 North, Range 68 West of the 6th P.M. Town of Erie, County of Weld, State of Colorado

JURISDICTION:
Town of Erie

ZONING:
Zone District: Old Town Residential (OTR)
Approvals: Erie Junction Special Review Use, Preliminary Plat & Site Plan
SRU-001313-2021, PP-001311-2021, SP-001312-2021

PROJECT DESCRIPTION:
Construct Duplex 2-Family Residential Structure and detached garage

BUILDING CODES:
2021 International Residential Code (IRC)
2021 International Energy Conservation Code (IECC)
2021 ICC A117.1 (Accessibility Code)
2023 National Electrical Code (NEC)

FIRE SPRINKLERS
Sprinklers per IRC

FLOOR AREA

	441 (LOT 22)	449 (LOT 23)
Principle Structure		
Basement	964	964
First Floor	958	958
Second Floor	986	980
Total Principle Structure	2,908	2,902
Accessory Structure		
Garage	470	470
Bonus Room	470	470
Total Accessory Structure	940	940
Total (Principle + Accessory)	3,848	3,842

PROJECT DIRECTORY

BUILDER
Diverge Homes
Louisville, CO 80027
Contact: Nick Jacobs 720-539-3786

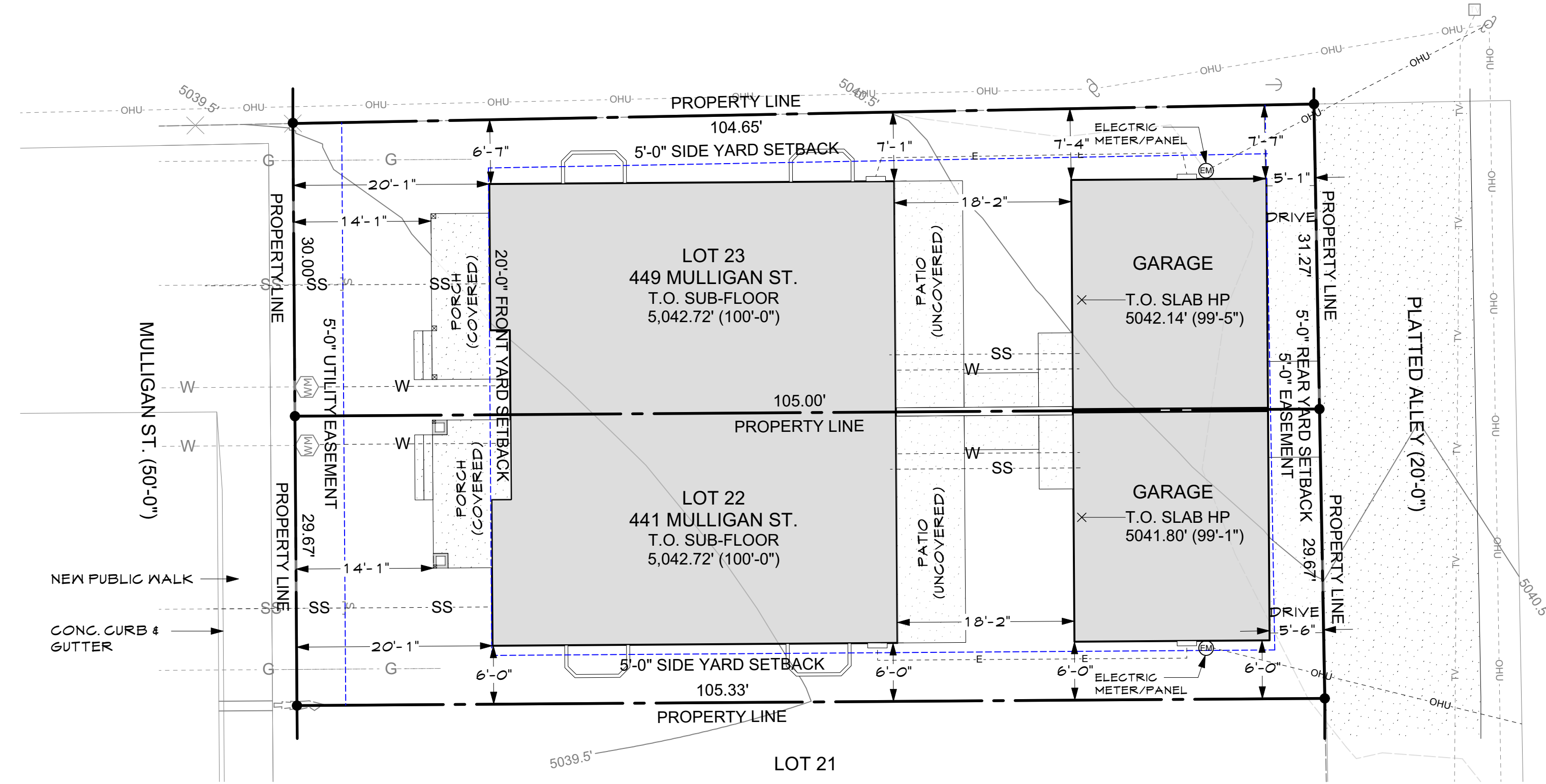
STRUCTURAL ENGINEER
Dana Michel
40th Parallel Structural Engineering
263 2nd Avenue Suite 106A
Niwot Colorado 80544
Contact: 303-913-6474

ARCHITECT
Stewart Architecture
1132 Jefferson Ave.
Louisville, CO 80027
Contact: Peter Stewart 303-665-6668

CIVIL ENGINEER
Jim Brzostowic
Civil Resources
8308 Colorado Blvd, Suite 200
Firestone, CO 80504
Contact: 303-833-1416

DRAWING INDEX

Architectural Drawings		Structural Drawings	
A0.0	Cover Sheet	S1.1	General Notes
A1.0	Basement Floor Plan	S1.2	Foundation Plan
A1.1	Main Floor Plan	S1.2	Main Floor Framing
A1.2	Second Floor Plan	S1.3	2nd Floor/Low Roof Framing
A1.3	Roof Floor Plan	S1.4	Roof Framing
A2.0	Elevation	S1.5	Garage Foundation Plan
A2.1	Elevation	S1.6	Garage Framing
A3.0	Section	S2.1	Foundation Details
A3.1	Section and Stair Elevation	S2.2	Framing Details
A4.0	Party Wall Details	S2.3	Steel Framing Details
G1.0	Garage and Bonus Room Plan		
G2.0	Garage Elevation		
G3.0	Garage Section		
E1.0	Basement Lighting Plan		
E1.1	Main Floor Lighting Plan		
E1.2	Second Floor Lighting Plan		
E1.3	Garage Lighting Plan		



441 & 449 MULLIGAN ST.
ERIE JUNCTION

LOT 22 & 23
ERIE JUNCTION SUBDIVISION

SITE PLAN BASED ON IMPROVEMENT SURVEY PLAT PREPARED BY
FLATIRONS SURVEYING DATED: 05/19/21
FOR DRAINAGE AND GRADING REFER TO LOT GRADING PLAN SHEET C.1.0
COORDINATE WITH LANDSCAPE PLAN



GENERAL NOTES

- Drawing dimensions are to rough framing unless noted.
- Do not scale drawings. Verify all dimensions and existing conditions on site. Notify architect of any condition that does not agree with drawings.
- Verify all rough openings for windows and doors.
- All products to be installed per manufacturer's recommendations
- Insulation to be minimum: See Plans
- Fire stop flues, chases and walls at 10' maximum centers vertical.
- Fireblocking at all dropped and coffered ceilings per IRC
- Firecode gypsum board required:
 - Under side of stairs where enclosed for storage.
 - Garage side of house/garage common wall
- Egress windows to be maximum sill height of 44" above finish floor, minimum vertical clear opening of 24" minimum horizontal clear opening of 20" and have a minimum clear openable area of 5.7 square feet.
- Tempered glass required at the following locations:
 - Within 24" of door openings
 - Within 18" of finished floors
 - Adjacent to bath tub areas
 - Shower enclosures
- Landings at exterior doors shall not be more than 7.75" lower than the top of threshold. (door is not to swing over lower landing)
- Finish all shower areas to 70" min. above the drain inlet with ceramic tile.
- All roofing to comply with IRC.
- All products and quality of materials to be installed to be pre-approved by Owner, prior to ordering/ installation.

* All contractors to be familiar with and enforce the regulations of the Occupational Safety and Health Act (OSHA)

COORDINATION NOTES

The following design by others and design reports are part of the Scope of Work by reference.

Soils Report:
Refer to and follow recommendations in Geotechnical Report for site drainage and subsurface foundation drains.

HVAC Design:
HVAC systems and equipment to conform with manual D, J, & S reports

Energy Efficiency
Thermal envelope, air sealing, to conform to HERS report

ENERGY EFFICIENCY

IECC Compliance Path:
2021 IECC Energy Code, Appendix RC
ERI Compliance Alternative (See HERS Report)

Air Barrier
See Air barrier table (Sheet A3.0)

Insulation & Air Barrier
Basement: Drape R-19 full perimeter at walls (in unfinished areas)
Stud walls: R-21 cavity
R-23 (CC Sprayfoam)
Rims: R-29 (2" CC Sprayfoam + 3 1/2" fiberglass fill)
Walls: R-29 (2" CC Sprayfoam + 3 1/2" fiberglass fill)
Floor: R-30
Roof/Attic: R-60

Window Specifications
U-Value: 0.27 SHGC: 0.29

Heating-Cooling System Specification
Cold Climate Heat Pump (Energy Star Next Gen certified)

Water Heating System
Heat pump water heater- 80 Gallon for 4- bedrooms

Lighting Plan
100% LED

Appliance Plan
Energy Star

SUSTAINABILITY MEASURES

Construction Waste Management
All recyclable wood, metal, and cardboard materials, will be donated, reused, or recycled.

Radon Mitigation
Install a passive radon gas vent, and prepare for post-construction active fan if necessary.

Water Efficiency
Install "WaterSense" labeled fixtures
Lavatory Faucet 1.5 gpm at 60 psi
Shower Heads 2.0 gpm at 80 psi
Sink Faucet 1.5 gpm at 60 psi
Water Closet 1.28 gallons per flush cycle

Renewable Energy
PV - roof mount solar ready
Offsite renewable (option by owner)

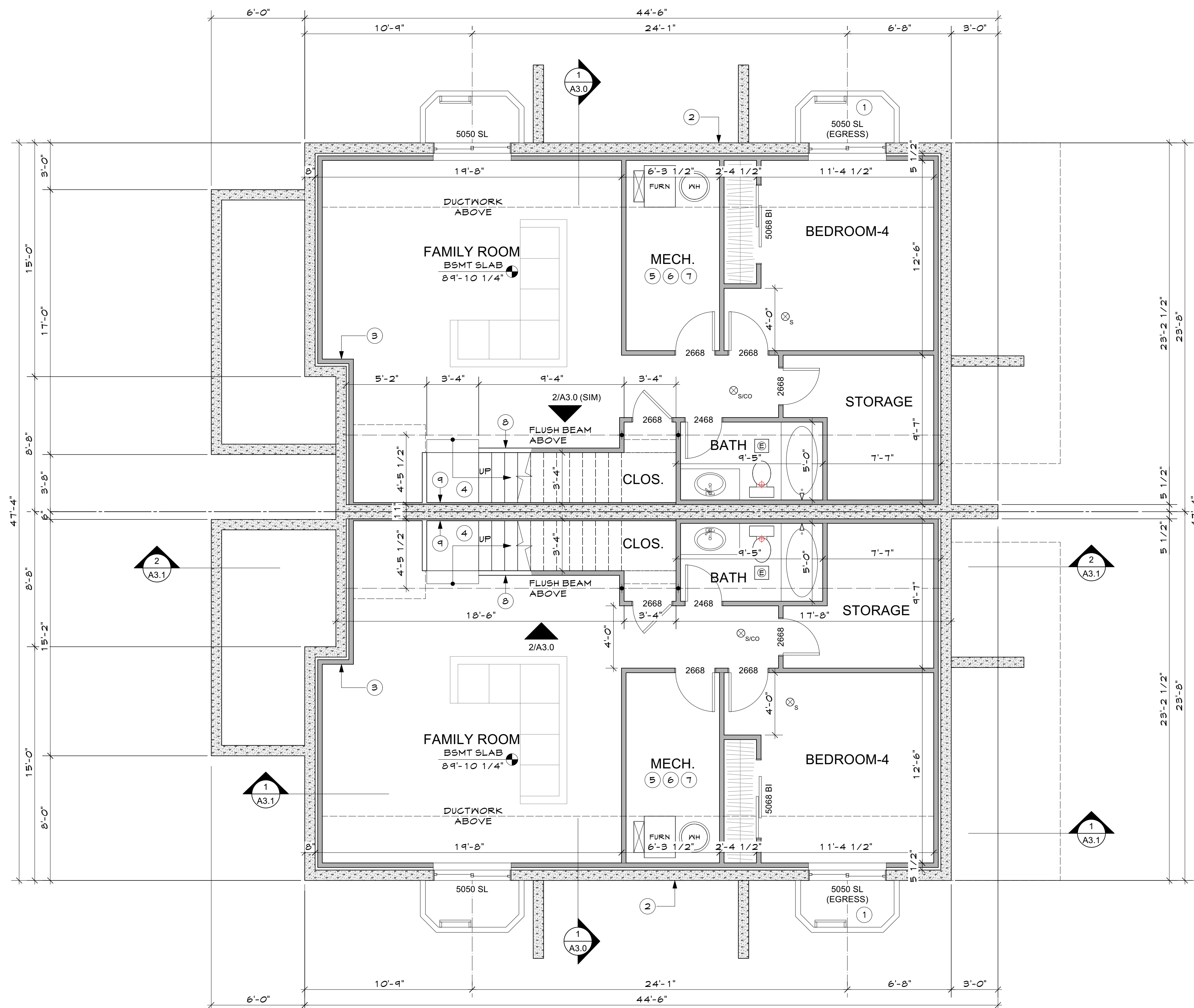
Electrical
EV Parking Space- Minimum of 40 AMP 240- volt circuit, and receptacle next to parking space
EV Ready Parking Space- Supplied with conduit sized to handle second parking space
Lighting - 100% LED

**441 & 449 MULLIGAN ST.
ERIE JUNCTION- LOT 22-23**

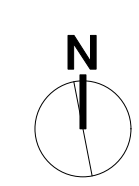
SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

Issue:	Date	Comments	Init.
	11/7/24	Permit	PS

Sheet Title
Cover Sheet
Sheet No.
A0.0



BASEMENT PLAN
1/4"=1'-0"



LEGEND:

- CONCRETE FOUNDATION WALL
- FUTURE WALL
- NEW 2X STUD WALL
- INDICATES COMBINATION SMOKE AND CARBON MONOXIDE ALARM
- INDICATES SMOKE ALARM
- INDICATES TEMPERED GLAZING WINDOWS (ALL GLAZING IN ALL DOORS TO BE TEMPERED)
- EXHUST FAN
- WINDOWS & DOORS ARE NOTED IN FEET-INCHES (3068 INDICATES 3'-0" x 6'-8")

COORDINATION NOTES

WINDOWS AND DOORS
REFER TO WINDOW AND DOOR SCHEDULE FOR ROUGH OPENING SIZES

CABINETS AND COUNTER TOPS
SEE CABINET AND COUNTERTOP SHOP DRAWINGS. COORDINATE WITH APPLIANCES

ROOM FINISHES
SEE ROOM FINISH SCHEDULE BY OTHERS

PLUMBING FIXTURES
SEE FIXTURE SCHEDULE BY OTHERS

ELECTRICAL LIGHTING
SEE FIXTURE SCHEDULE AND SWITCH LOCATIONS BY OTHERS

KEY NOTES Ⓢ

- 1 WINDOW WELL AT EGRESS WINDOW. MIN. 3'-0" X 4'-0" INSIDE DIMENSION
- 2 DAMPPROOF WALL BELOW GRADE AND INSTALL FOUNDATION DRAIN PER SOILS REPORT
- 3 2X STUD WALL & INSULATION @ EXTERIOR WALLS
- 4 UTILITY GRADE STAIRS. SEE STAIR SECTION DRAWINGS FOR DETAILS
- 5 MECHANICAL EQUIPMENT AND DUCTS PER HVAC DESIGN
- 6 RADON VENT TO ROOF (PASSIVE SYSTEM)
- 7 SUMP PIT & PUMP - CONNECT DISCHARGE TO STORM WATER CONNECTION
- 8 LOW WALL AT STAIR
- 9 1X FURRING OVER CONCRETE WALL

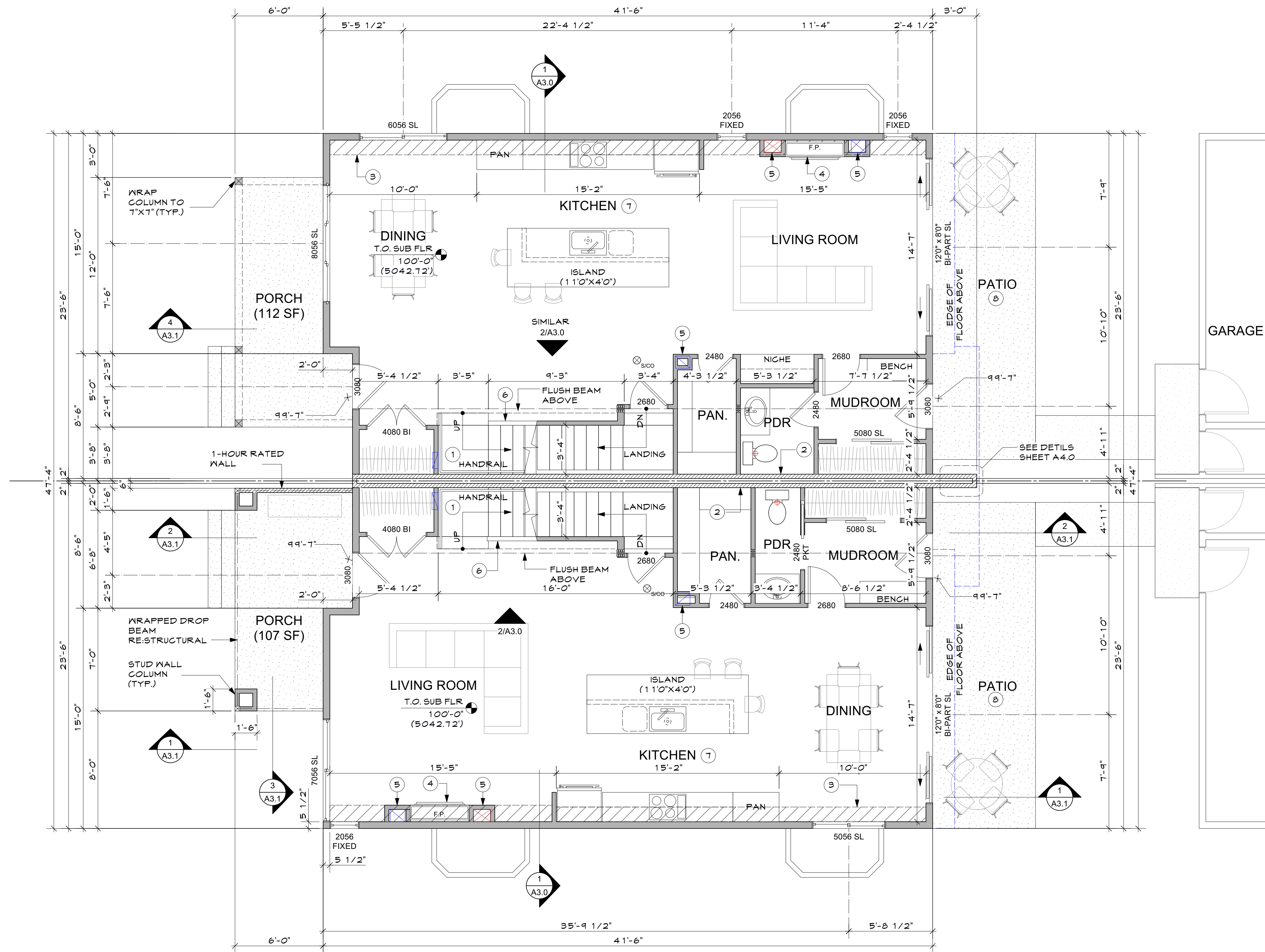
**441 & 449 MULLIGAN ST.
ERIE JUNCTION- LOT 22-23**

SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
LOT 22 & 23, ERIE JUNCTION

Issue:

Date	Comments	Init.
11/7/24	Permit	PS

Sheet Title
Basement Plan
Sheet No.
A1.0



MAIN FLOOR PLAN
1/4"=1'-0"

LEGEND:

- CONCRETE FOUNDATION WALL
- FUTURE WALL
- NEW 2X STUD WALL
- FIRE RATED WALL
- INDICATES COMBINATION SMOKE AND CARBON MONOXIDE ALARM
- INDICATES SMOKE ALARM
- INDICATES TEMPERED GLAZING WINDOWS (ALL GLAZING IN ALL DOORS TO BE TEMPERED)
- EXHUST FAN
- WINDOWS & DOORS ARE NOTED IN FEET-INCHES (3068 INDICATES 3'-0" x 6'-8")

COORDINATION NOTES

- WINDOWS AND DOORS
REFER TO WINDOW AND DOOR SCHEDULE FOR ROUGH OPENING SIZES
- CABINETS AND COUNTER TOPS
SEE CABINET AND COUNTERTOP SHOP DRAWINGS. COORDINATE WITH APPLIANCES
- ROOM FINISHES
SEE ROOM FINISH SCHEDULE BY OTHERS
- PLUMBING FIXTURES
SEE FIXTURE SCHEDULE BY OTHERS
- ELECTRICAL LIGHTING
SEE FIXTURE SCHEDULE AND SWITCH LOCATIONS BY OTHERS

KEY NOTES (#)

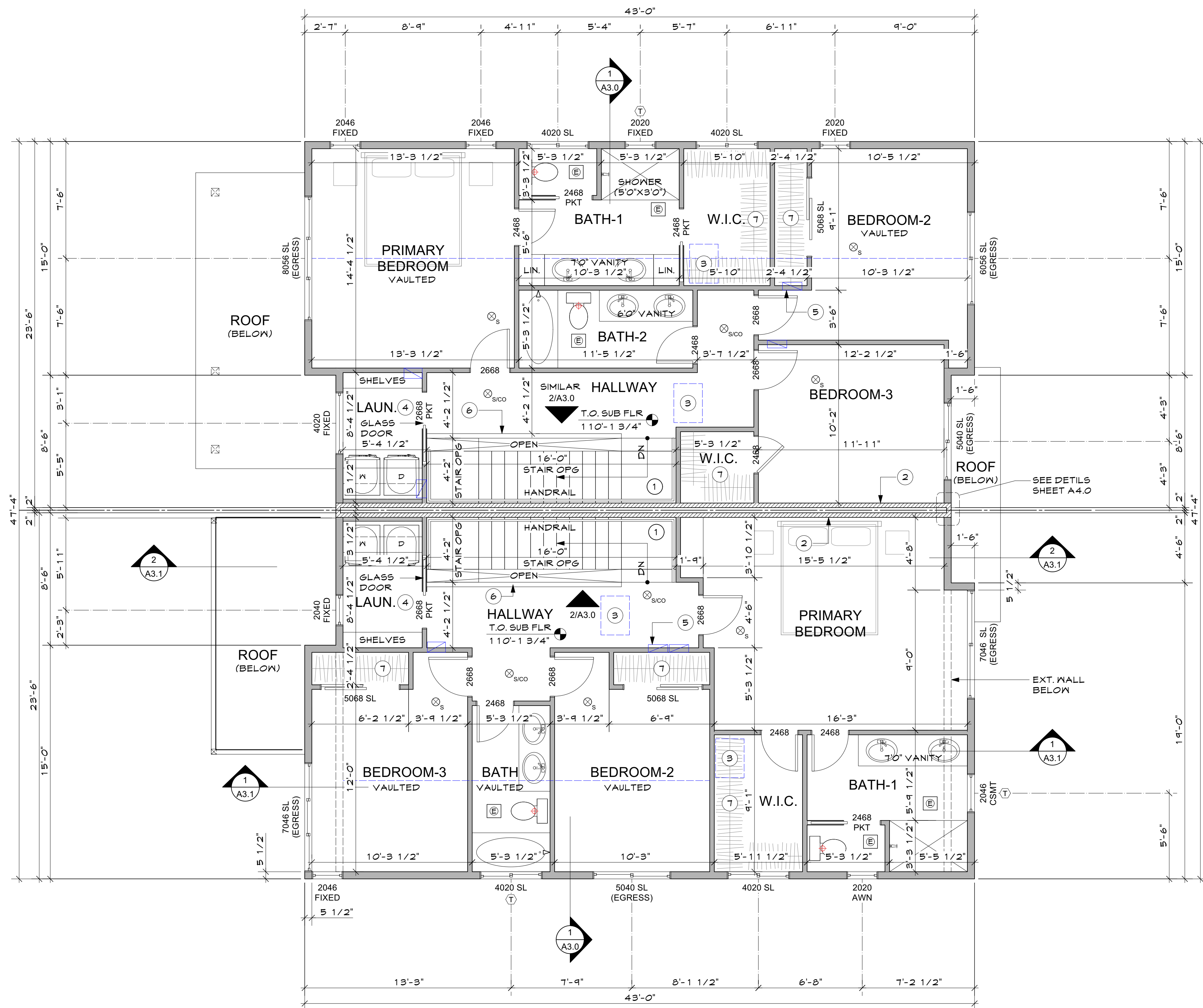
- 1 STAIR AND STAIR HANDRAILS SEE STAIR SECTION DRAWINGS FOR DETAILS
- 2 PARTY WALL, SEE DETAILS SEE SHEET A4.0
- 3 DROP SOFFIT WHERE HVAC RUNS PERPENDICULAR TO JOISTS
- 4 ELECTRIC FIREPLACE OPTION
- 5 HVAC CHASE
- 6 GUARDRAIL 36" ABOVE STAIR NOSING
- 7 VERIFY CABINET & APPLIANCE PLAN WITH SHOP DRAWINGS
- 8 VERIFY PATIO SIZE AND LOCATION WITH LANDSCAPE PLAN

**441 & 449 MULLIGAN ST.
ERIE JUNCTION- LOT 22-23**

SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
LOT 22 & 23, ERIE JUNCTION

Issue	Date	Comments	Init.
	11/7/24	Permit	PS

Sheet Title
Main Floor Plan
Sheet No.
A1.1

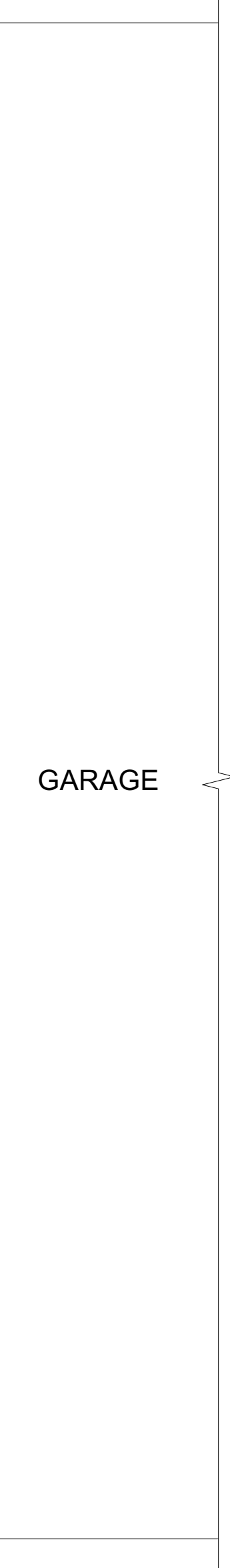


SECOND FLOOR PLAN
1/4"=1'-0"

- LEGEND:**
- CONCRETE FOUNDATION WALL
 - FUTURE WALL
 - NEW 2X STUD WALL
 - FIRE RATED WALL
 - INDICATES COMBINATION SMOKE AND CARBON MONOXIDE ALARM
 - INDICATES SMOKE ALARM
 - INDICATES TEMPERED GLAZING WINDOWS (ALL GLAZING IN ALL DOORS TO BE TEMPERED)
 - EXHUST FAN
 - WINDOWS & DOORS ARE NOTED IN FEET-INCHES (3068 INDICATES 3'-0" x 6'-8")

- COORDINATION NOTES**
- WINDOWS AND DOORS
REFER TO WINDOW AND DOOR SCHEDULE FOR ROUGH OPENING SIZES
 - CABINETS AND COUNTER TOPS
SEE CABINET AND COUNTERTOP SHOP DRAWINGS. COORDINATE WITH APPLIANCES
 - ROOM FINISHES
SEE ROOM FINISH SCHEDULE BY OTHERS
 - PLUMBING FIXTURES
SEE FIXTURE SCHEDULE BY OTHERS
 - ELECTRICAL LIGHTING
SEE FIXTURE SCHEDULE AND SWITCH LOCATIONS BY OTHERS

- KEY NOTES** #
- 1 STAIR AND STAIR HANDRAILS SEE STAIR SECTION DRAWINGS FOR DETAILS
 - 2 PARTY WALL DETAIL SEE SHEET A4.0
 - 3 ATTIC ACCESS 30"x22" MIN.
 - 4 PROVIDE WATER AND WASTE CONNECTIONS AND VENTING FOR LAUNDRY EQUIPMENT
 - 5 HVAC RETURN AIR RE-MECHANICAL
 - 6 GUARDRAIL 36" A.F.F. MIN.
 - 7 CLOSET ROD AND SHELF. INSTALL TOP OF SHELF AT 60" AFF.



**441 & 449 MULLIGAN ST.
ERIE JUNCTION- LOT 22-23**

SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
LOT 22 & 23, ERIE JUNCTION

Date	Comments	Init.
11/7/24	Permit	PS

Sheet Title
Second Floor Plan
Sheet No.
A1.2

HOUSE ROOF CALCULATIONS:

ATTIC VENT AREA REQUIRED:
 AREA OF ATTIC = 2,004 SF
 $1980 / 300 = 6.60$ SF VENT AREA REQUIRED

VENT AREA PROVIDED:
 SOFFIT VENT (LOW): 117.5 FEET X 12 SQ. IN. = 1,410 SQ. IN. OR 9.79 SF
 RIDGE VENT (HIGH): 103.5 FEET X 12 SQ. IN. = 1,242 SQ. IN. OR 8.63 SF

TOTAL NET FREE VENT AREA PROVIDED: 18.42 SF

GARAGE ROOF CALCULATIONS:

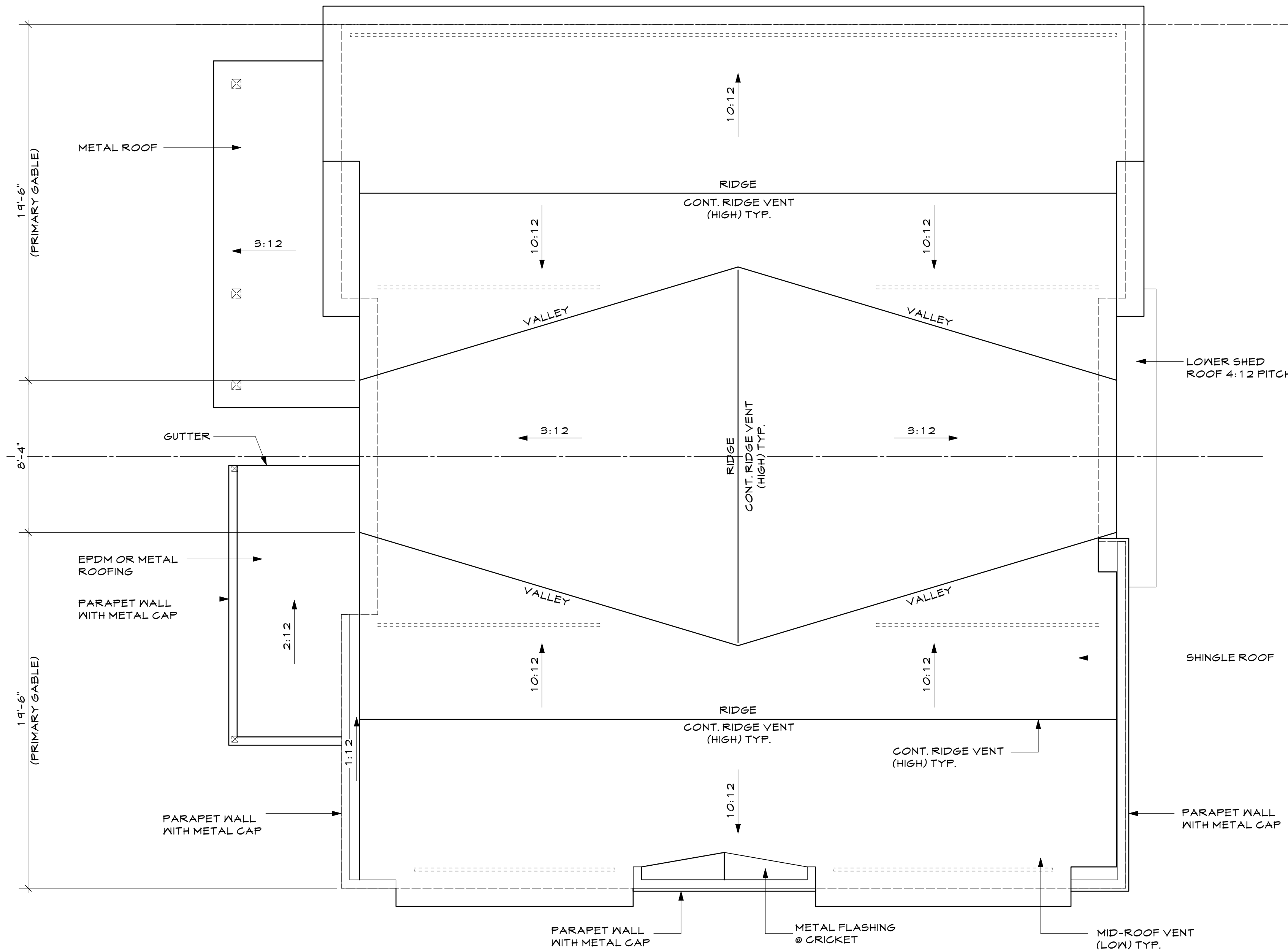
ATTIC VENT AREA REQUIRED:
 AREA OF ATTIC = 974 SF
 $974 / 300 = 3.16$ SF VENT AREA REQUIRED

VENT AREA PROVIDED:
 SOFFIT VENT (LOW): 30.5 FEET X 12 SQ. IN. = 366 SQ. IN. OR 2.54 SF
 RIDGE VENT (HIGH): 49 FEET X 12 SQ. IN. = 588 SQ. IN. OR 4.08 SF

TOTAL NET FREE VENT AREA PROVIDED: 6.62 SF

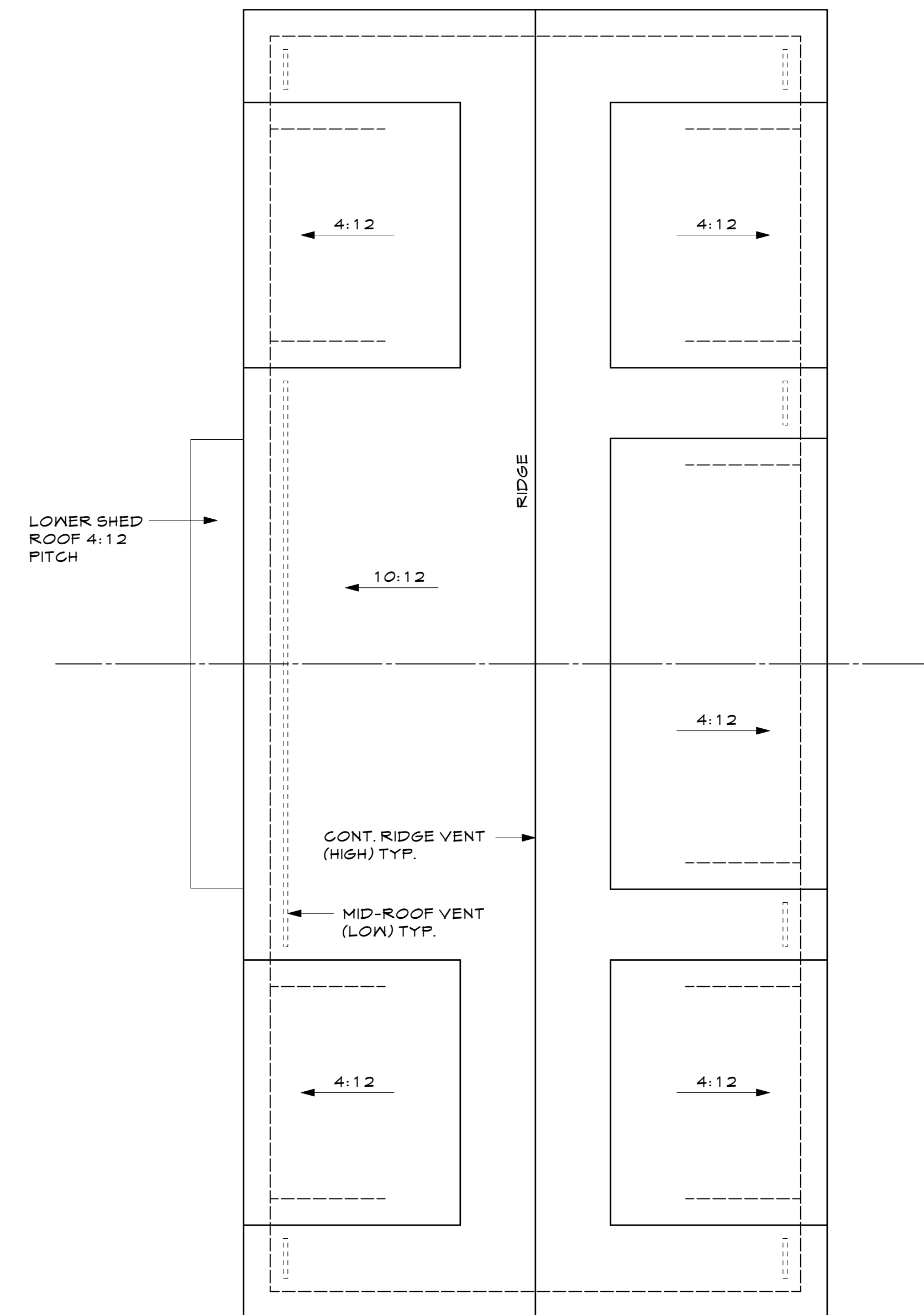
ROOF NOTES:

1. ROOF SYSTEM TO BE "CLASS A"
2. SHINGLES CLASS 4 IMPACT RATING 4 130 MPH WIND RESISTANCE WARRANTY
3. VENTS: EMBER RESISTANT
4. PROVIDE ICE & WATER GUARD UNDER SHIGLES AT 2:12 PITCH
5. LOW PITCH ROOFS (LESS THAN 2:12) TO BE FULLY ADHEARED EPDM OR TPO OVER DENS DECK
6. INSTALL ALL ROOF SYSTEMS PER MANUFACTURES RECOMMENDATIONS



HOUSE ROOF PLAN

1/4"=1'-0"



GARAGE ROOF PLAN

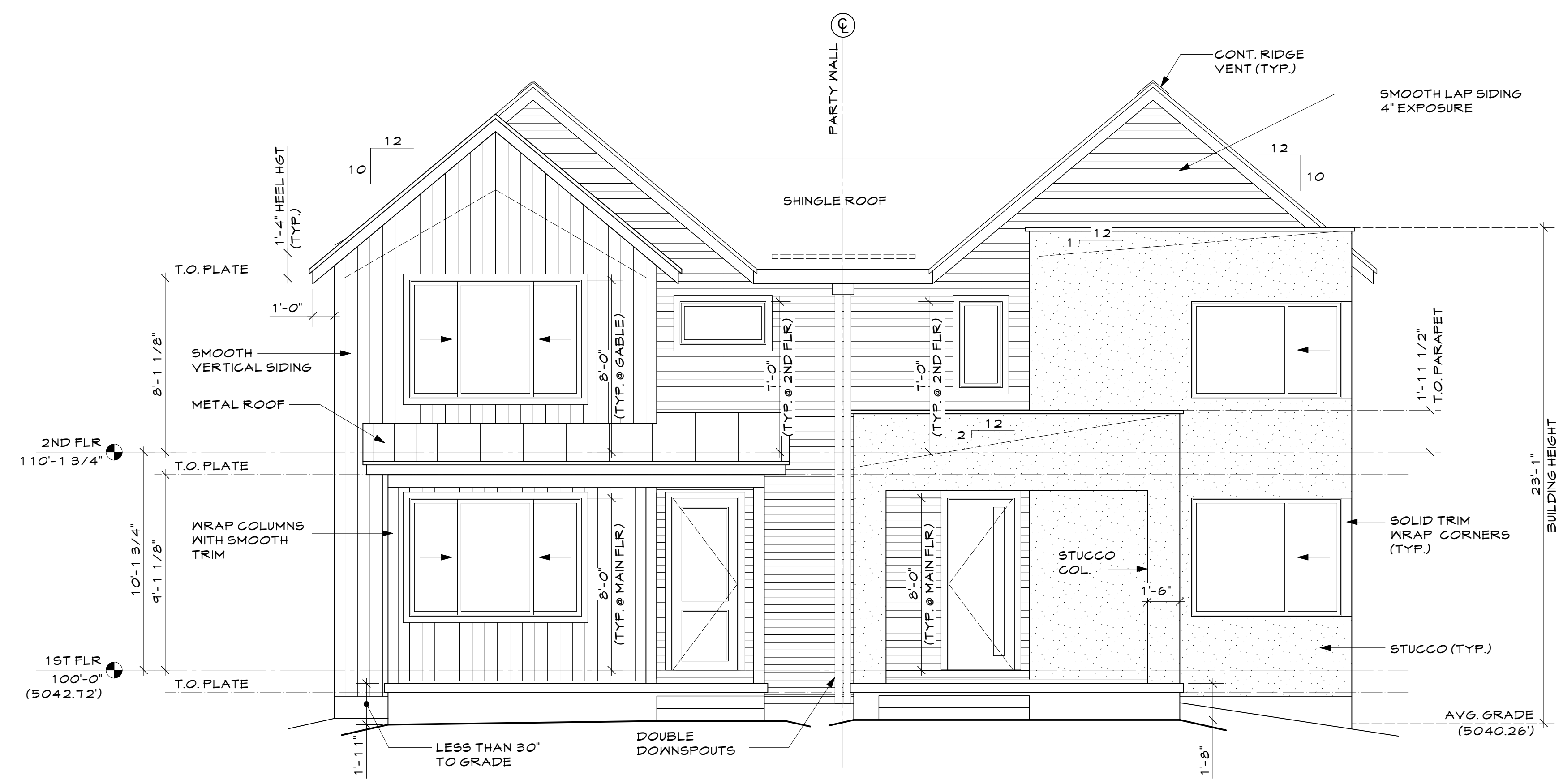
1/4"=1'-0"



**441 & 449 MULLIGAN ST.
 ERIE JUNCTION- LOT 22-23**

SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

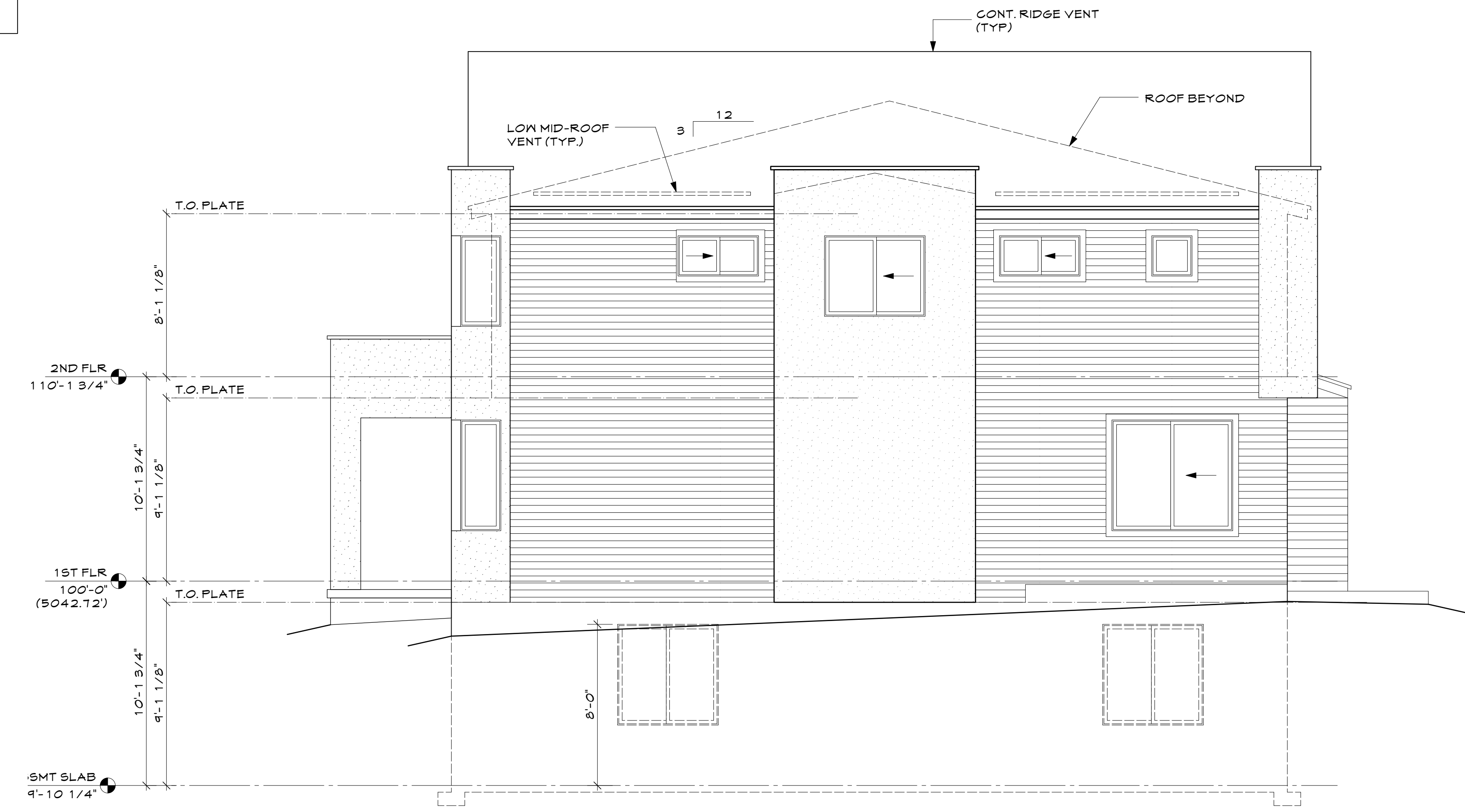
Issue:	Date	Comments	Init.
	11/7/24	Permit	PS



WEST ELEVATION
1/4"=1'-0"

EXTERIOR MATERIALS

EAVES:	SMOOTH LP SMART SIDE (NON VENTED)
HORZ. SIDING:	SMOOTH LP SMART LAP SIDING 4" EXPOSURE
STUCCO:	HARD-COAT CONC. STUCCO
VERT. SIDING:	LP SMART TRIM 5.5" WIDE SPACED WITH 3/4" GAP OVER LP SMART SMOOTH PANEL
WINDOWS:	ANDERSEN 100 SERIES, BLACK/BLACK
ROOFING:	CLASS A FIRE RATING- SEE ROOF PLAN



SOUTH ELEVATION
1/4"=1'-0"

**441 & 449 MULLIGAN ST.
ERIE JUNCTION- LOT 22-23**

SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
LOT 22 & 23, ERIE JUNCTION

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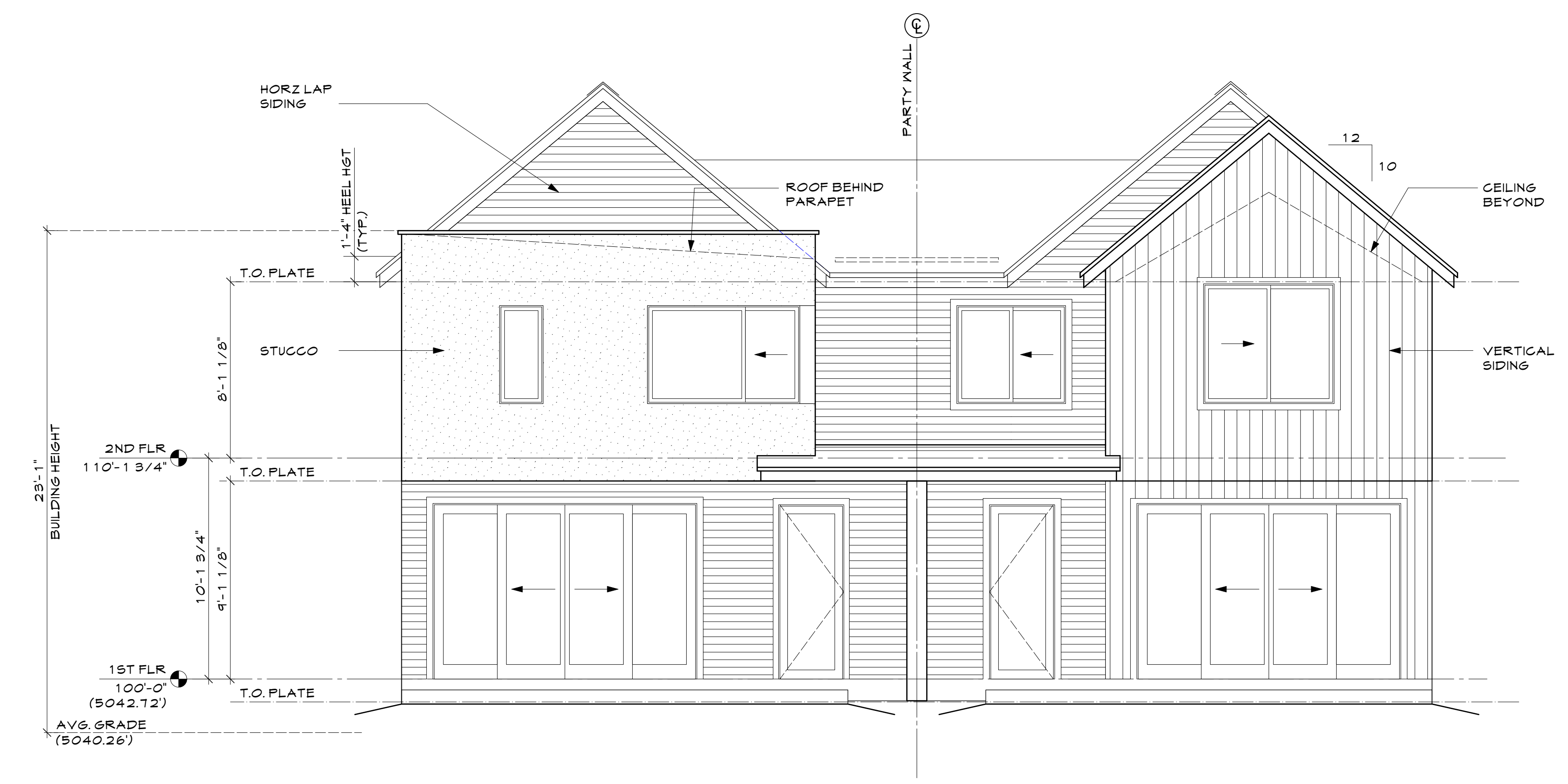
Date	Comments	Init.
11/7/24	Permit	PS

Sheet Title

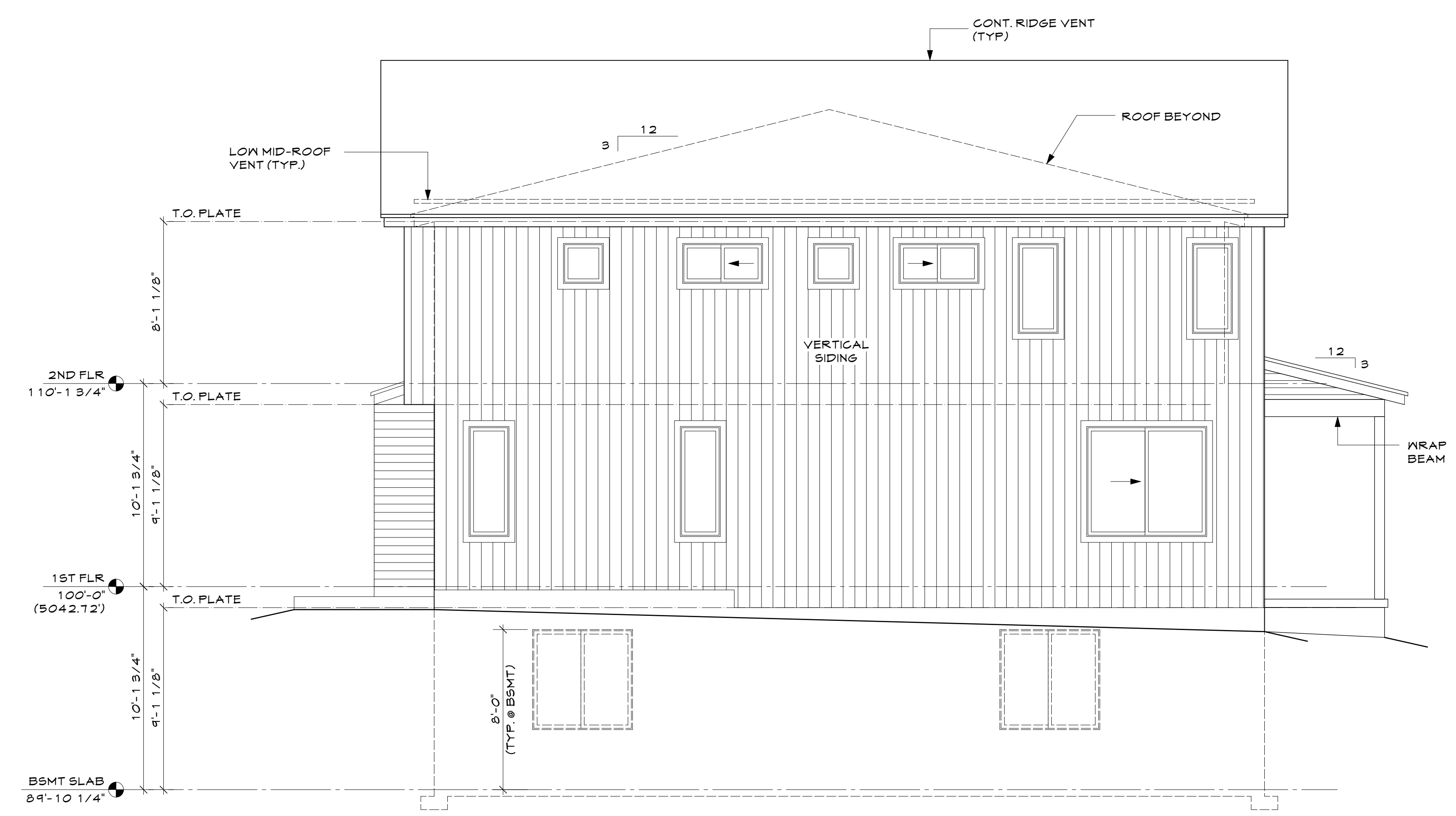
Elevation

Sheet No.

A2.0



EAST ELEVATION
1/4"=1'-0"



NORTH ELEVATION
1/4"=1'-0"

**441 & 449 MULLIGAN ST.
ERIE JUNCTION- LOT 22-23**

SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
LOT 22 & 23, ERIE JUNCTION

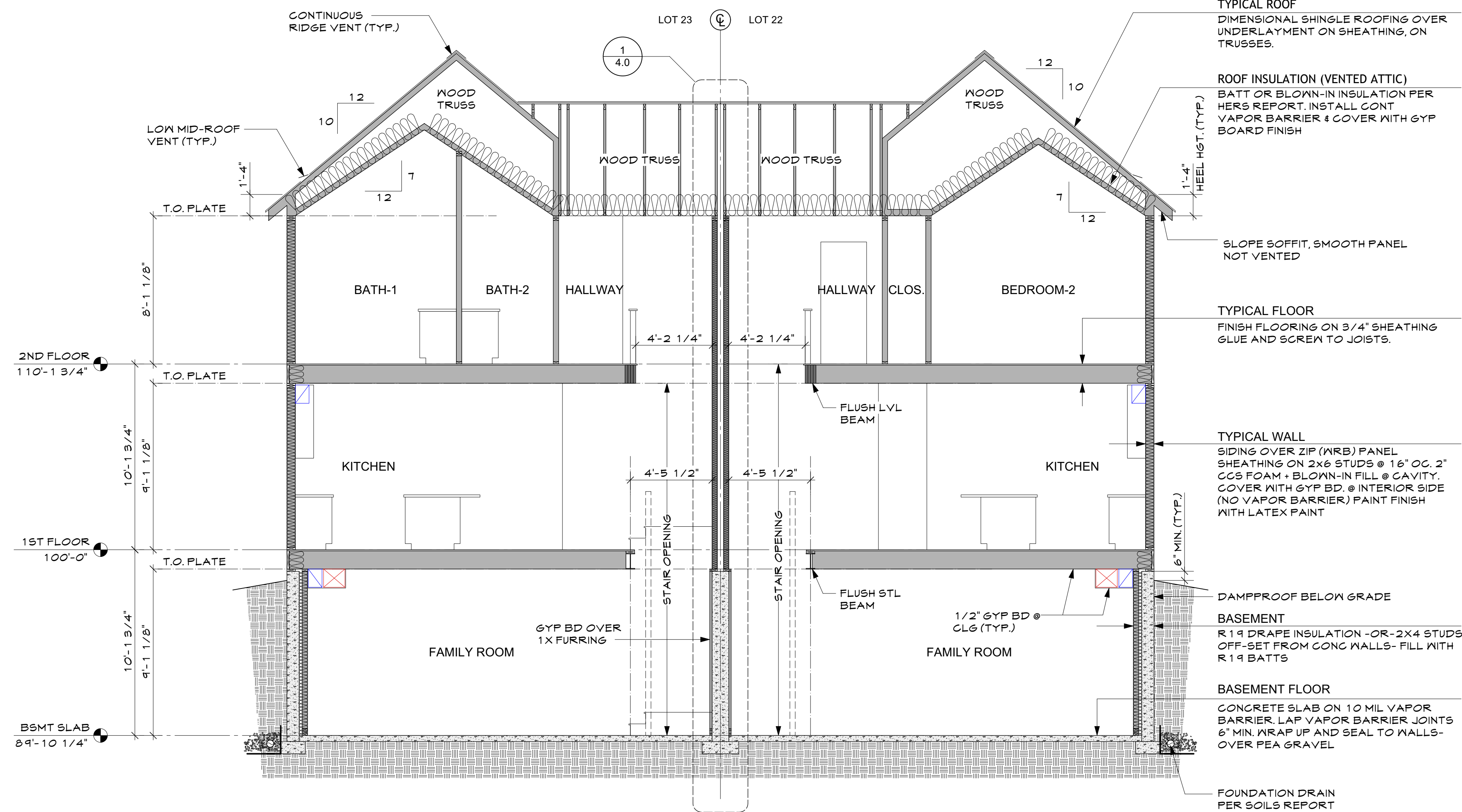
Issue:	Date	Comments	Init.
	11/7/24	Permit	PS

Sheet Title
Elevation
Sheet No.
A2.1

AIR BARRIERS

Building air leakage testing required: See HERS report

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA	PROJECT NOTES
General Requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-Permeable insulation shall not be used as a sealing material.	Exterior housewrap and interior drywall used as air barrier. Tape all housewrap seams. Caulk drywall to top and bottom plate. Gap interior wall studs to allow drywall to be cont. on exterior wall.
Ceiling/Attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stairs or knee wall doors to unconditional attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier	Weather strip and seal attic access hatch
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance, R- value, of not less than R-3 per inch. exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.	Utilize advanced framing techniques (3-stud corners, insulated headers etc.) Walls to have blown-in insulation for tight fill.
Windows, Skylights, and Doors	The space between window/door jambs and framing, and skylights and framing shall be sealed.	---	Seal with low expanding spray foam.
Rim Joists	Rim joists shall include an exterior air barrier. The junctions of the rim board to the sill board and the subfloor shall be air sealed.	Rim joists shall be insulated so that the insulation maintains permanent contact with the exterior rim board.	Caulk or spray foam rim top and bottom edges. Install insulation tight to rim
Flooring (Including above garage and cantilevered floor)	The air barrier shall be installed at any exposed edge of insulation	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking. Alternatively, floor framing cavity insulation shall be in contact with the top side of sheathing or continuous insulation installed on the underside of floor framing and extending from the bottom to the top of all perimeter floor framing members.	Glue and seal subfloor to joists. Caulk or tape seal sub floor joints.
Basement Crawl Space and Slab Foundations	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder/barrier in accordance with Section R402.2.10 Penetrations through concrete foundation walls and slabs shall be air sealed. Class I vapor retarders shall not be used as an air barrier on below-grade walls and shall be installed in accordance with Section R702.7 of the International Residential Code.	Crawl space insulation, where provided instead of floor insulation, shall be installed in accordance with Section R402.2.10. The basement foundation wall insulation shall be installed in accordance with Section R402.2.8.1. Slab-on-grade floor insulation shall be installed in accordance with Section R402.2.10.	Cover earth with min 10 mil poly barrier. Overlap 6 inches and seal joint. wrap up walls 8 inches and seal to wall. Caulk seal floor slab to wall intersection
Shafts, Penetrations	Duct and Flue shafts to exterior or unconditioned space shall be sealed. Utility penetrations of the air barrier shall be caulked, gasketed or otherwise sealed and shall allow for expansion, contraction of materials and mechanical vibration.	Insulation shall be fitted tightly around utilities passing through shafts and penetrations in the building thermal envelope to maintain required R-value.	Caulk seal all penetrations through drywall including bath exhaust fans
Narrow Cavities	Narrow cavities of 1 inch or less that are not able to be insulated shall be air sealed.	Batts to be installed in narrow cavities shall be cut to fit or narrow cavities shall be filled with insulation that on installation readily conforms to the available cavity space.	Caulk with backer rod or spray foam fill
Garage Separation	Air sealing shall be provided between the garage and conditioned spaces.	Insulated portions of the garage separation assembly shall be installed in accordance with Sections R303 and R402.2.7.	Tape and Seal all penetrations on both sides of wall
Recessed Lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed in accordance with Section R402.4.5	Recessed light fixtures installed in the building thermal envelope shall be airtight and IC rated, and shall be buried or surrounded with insulation.	Build rigid insulation box around recessed lights- seal joints. Recessed cans located adjacent to insulation shall be IC rated and sealed with gasket.
Plumbing, Wiring, or other obstructions	All holes created by wiring, plumbing, or other obstructions in the air barrier assembly shall be air sealed.	Insulation shall be installed to fill the available space and surround wiring, plumbing, or other obstructions, unless the required R-Value can be met by installing insulation and air barrier systems completely to the exterior side of the obstructions.	Fill penetrations with spray foam or gasket type sealers. Minimize number of wires at each penetration.
Shower/Tub on Exterior Wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the shower and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.	Provide continuous hardi panel behind tub and caulk seal joints and perimeter
Electrical Box on Exterior Wall	The air barrier shall be installed behind electrical boxes or air-sealed boxes shall be installed	---	Spray foam around back of elect box, caulk to drywall
HVAC Register Boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall	---	caulk seal to drywall
Concealed Sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceiling	---	N/A (none)



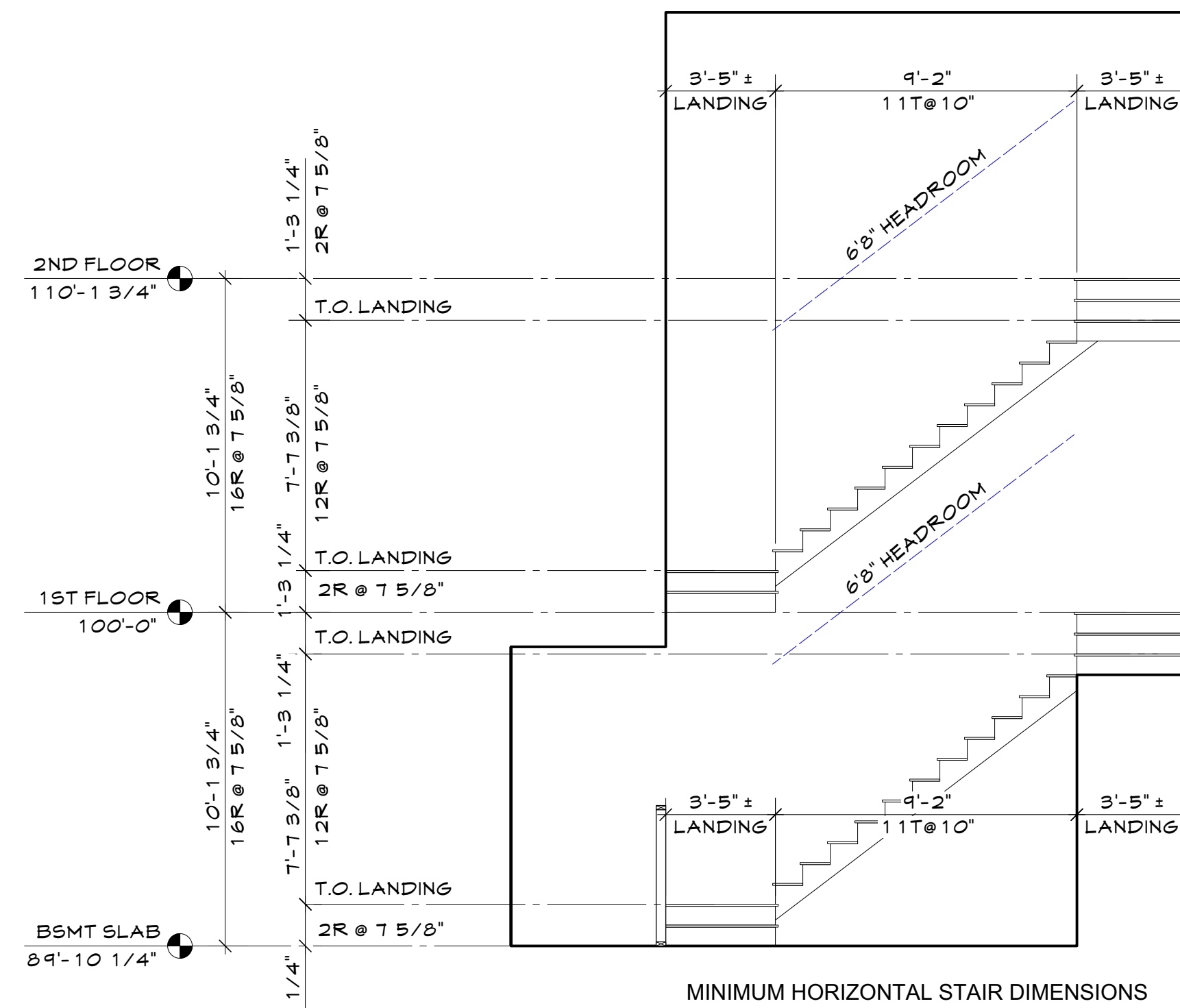
1 CROSS SECTION
A3.0 1/4"=1'-0"

STAIR & GUARDRAIL NOTES

VERIFY ALL FLOOR TO FLOOR HEIGHTS AND HEADROOM CLEARANCES.

STAIR REQUIREMENTS
 - TREADS AND RISERS - AS SPECIFIED ON DRAWINGS (MAXIMUM RISER 7 3/4", MINIMUM TREAD 10" UNLESS NOTED OTHERWISE). MAXIMUM DEVIATION 3/8".
 - MINIMUM HEADROOM 6'-8" ABOVE NOSING.
 - PROVIDE CONTINUOUS HANDRAIL FROM TOP TO BOTTOM RISER ONE SIDE OF STAIRWAY.
 - HANDRAILS TO BE 34" TO 38" ABOVE STAIR NOSING.

GUARDRAILS
 - GUARDRAILS TO BE INSTALLED 36" ABOVE FINISHED FLOOR
 - OPENINGS TO BE LESS THAN 4"



MINIMUM HORIZONTAL STAIR DIMENSIONS

LOT 23- 449 MULLIGAN STREET SIMILAR
2 STAIR ELEVATION
A3.0 1/4"=1'-0"



1132 JEFFERSON AVE.
LOUISVILLE, CO 80027
303.665.6668

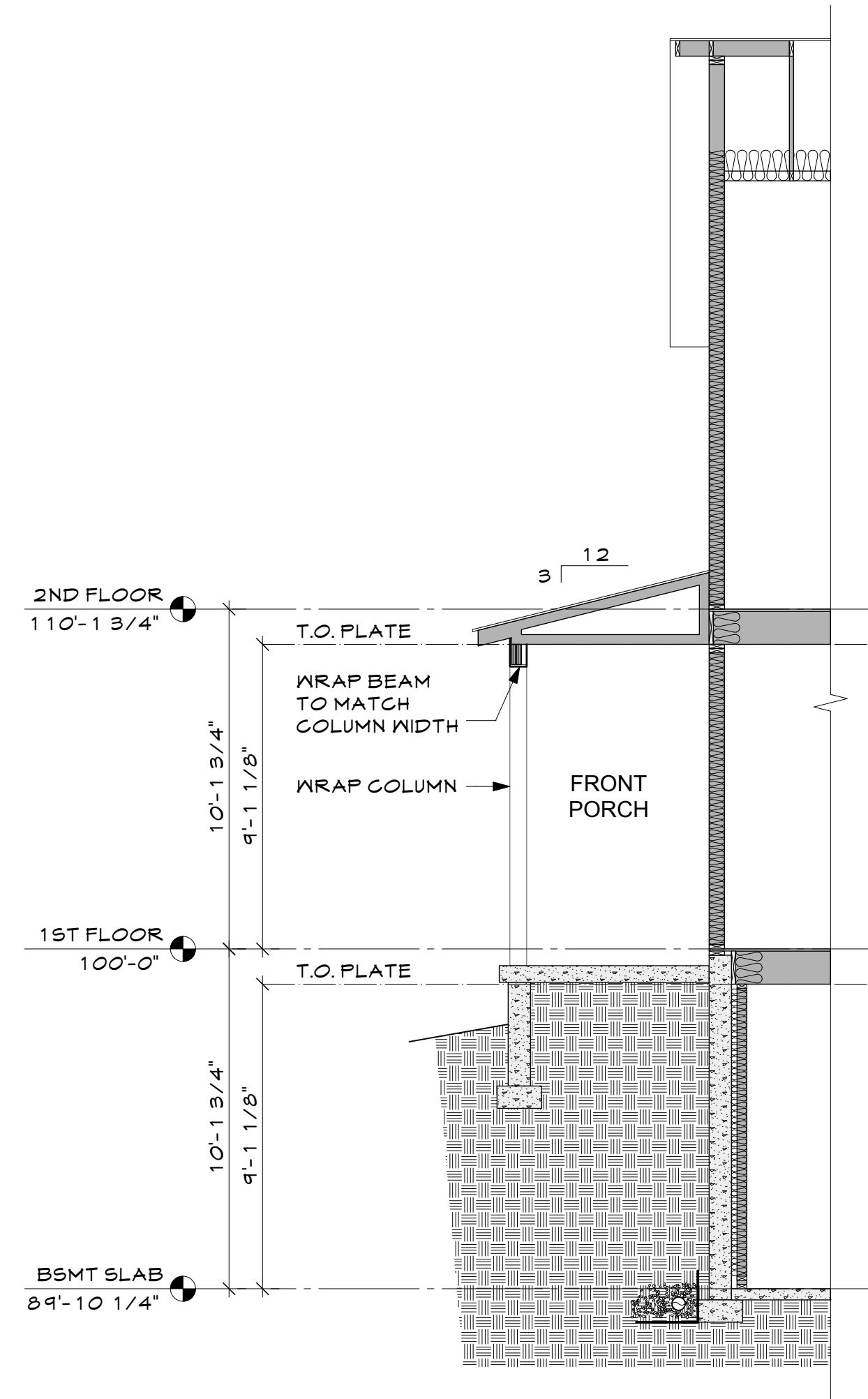
441 & 449 MULLIGAN ST.
ERIE JUNCTION- LOT 22-23

SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

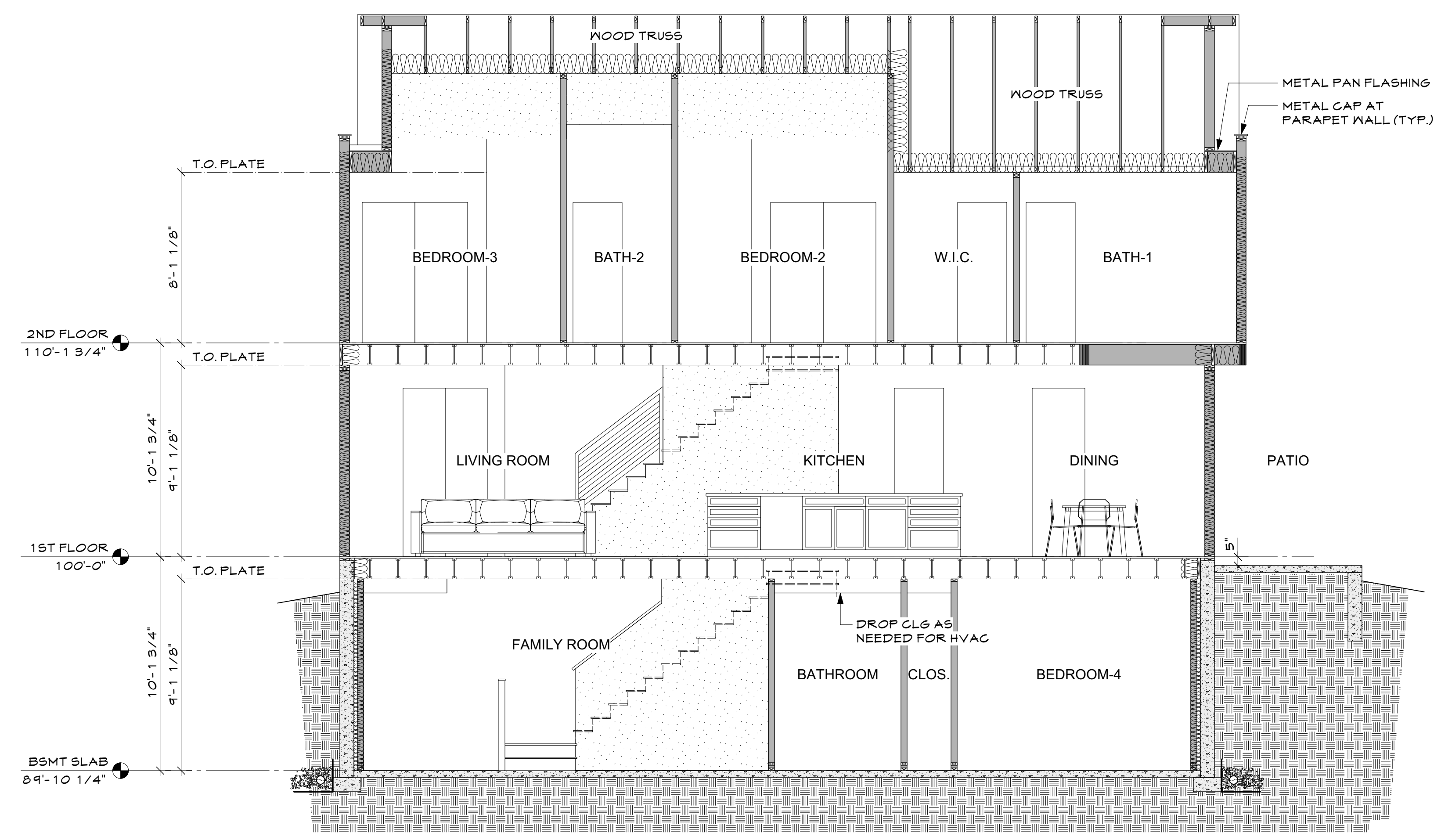
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11/7/24	Permit	PS

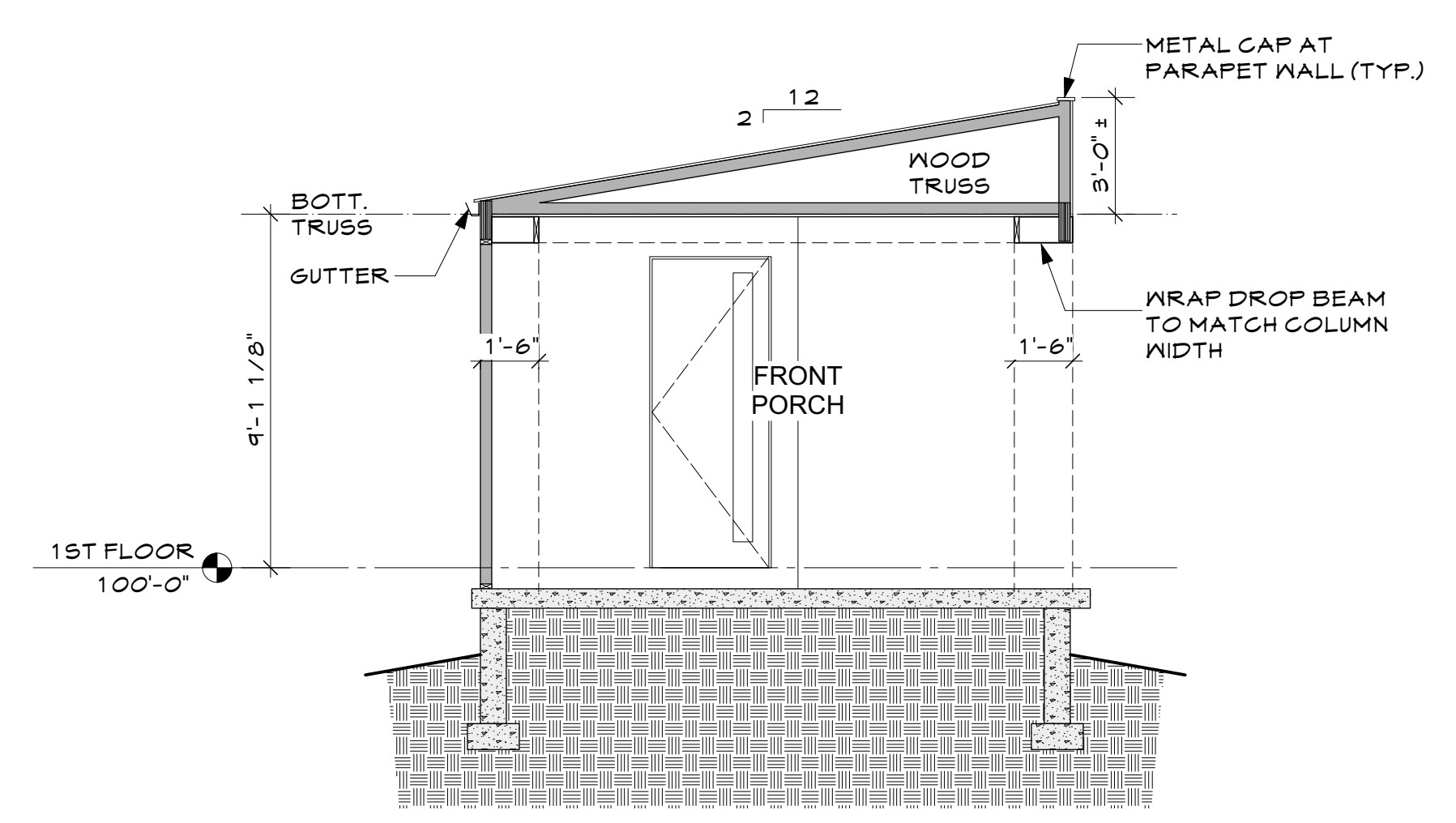
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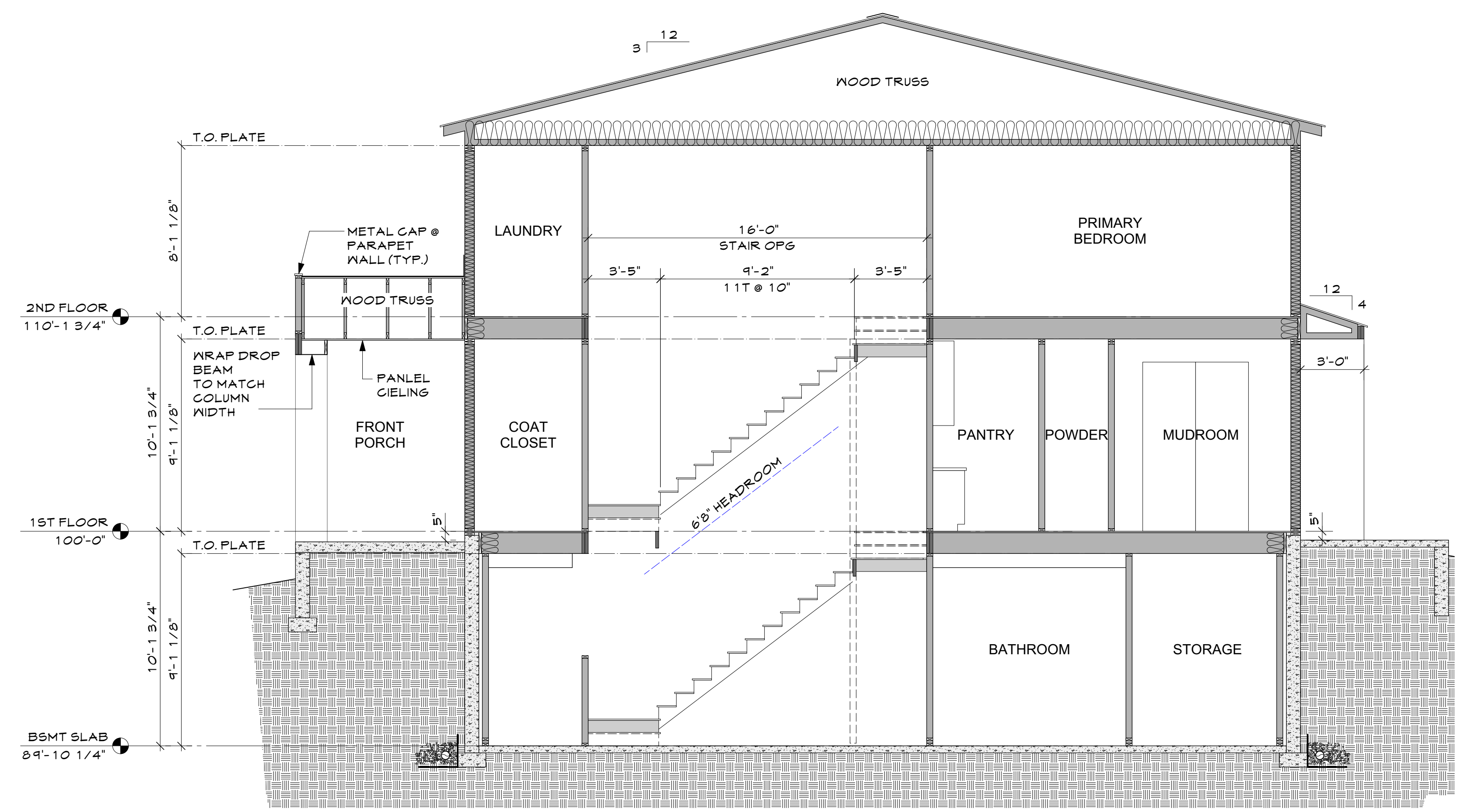
4
A3.1 FRONT PORCH SECTION
1/4"=1'-0"



1
A3.1 LONGITUDINAL SECTION
1/4"=1'-0"



3
A3.1 FRONT PORCH SECTION
1/4"=1'-0"



2
A3.1 LONGITUDINAL SECTION
1/4"=1'-0"

441 & 449 MULLIGAN ST.
ERIE JUNCTION- LOT 22-23
SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
LOT 22 & 23, ERIE JUNCTION

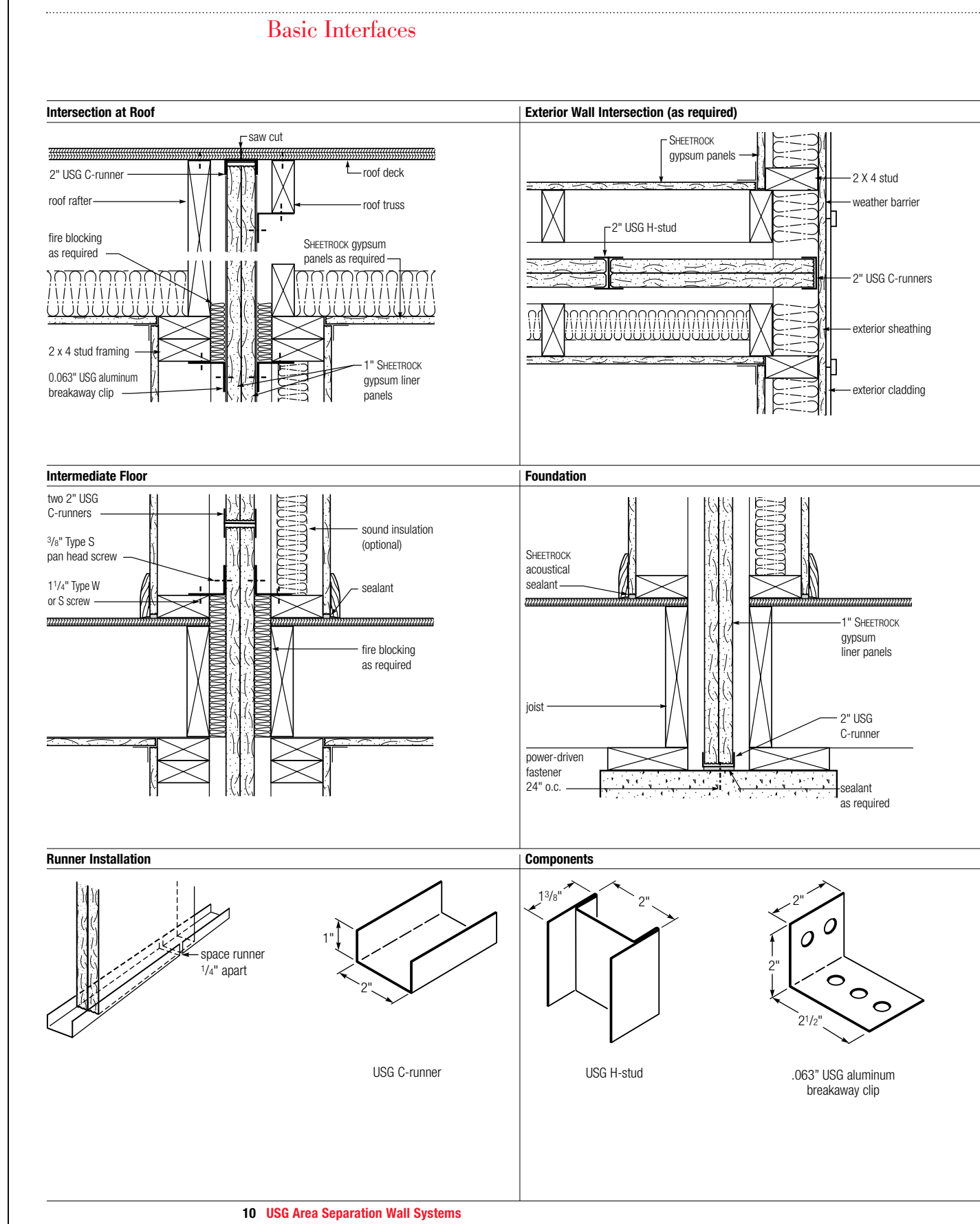
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11/7/24	Permit	PS

Sheet Title
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Sheet No.
A3.1

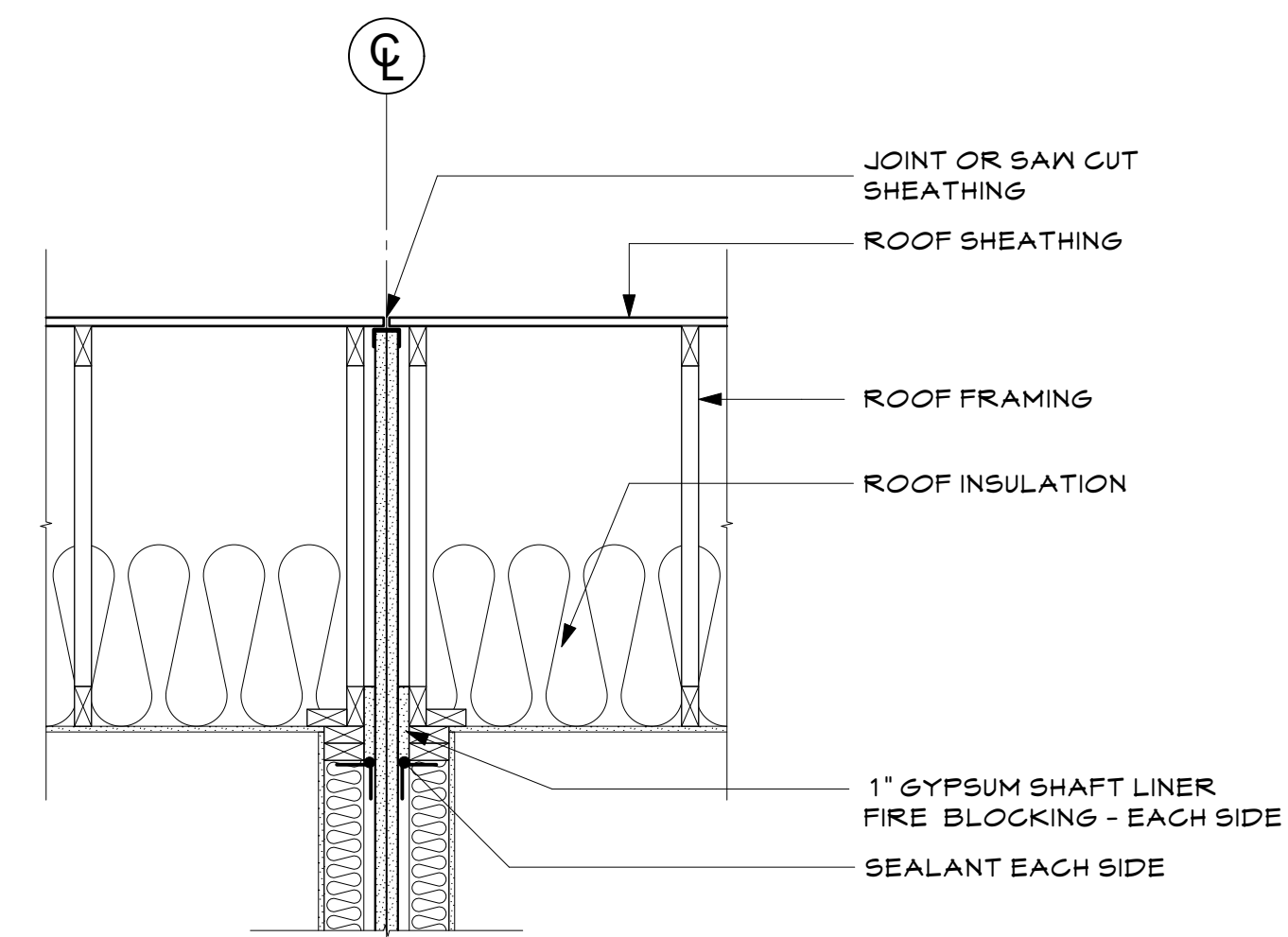
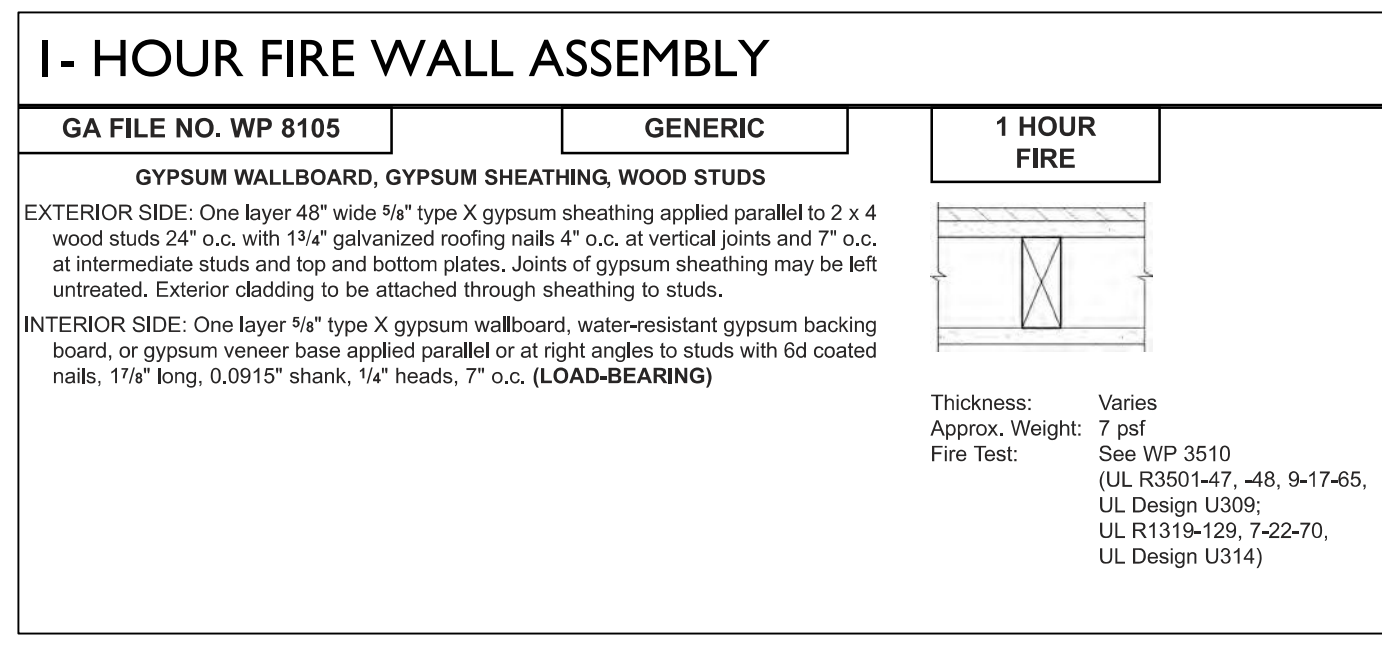
Issue:	Date	Comments	Init.
	11/7/24	Permit	PS

2-HR FIRE RATED PARTY WALL SYSTEM

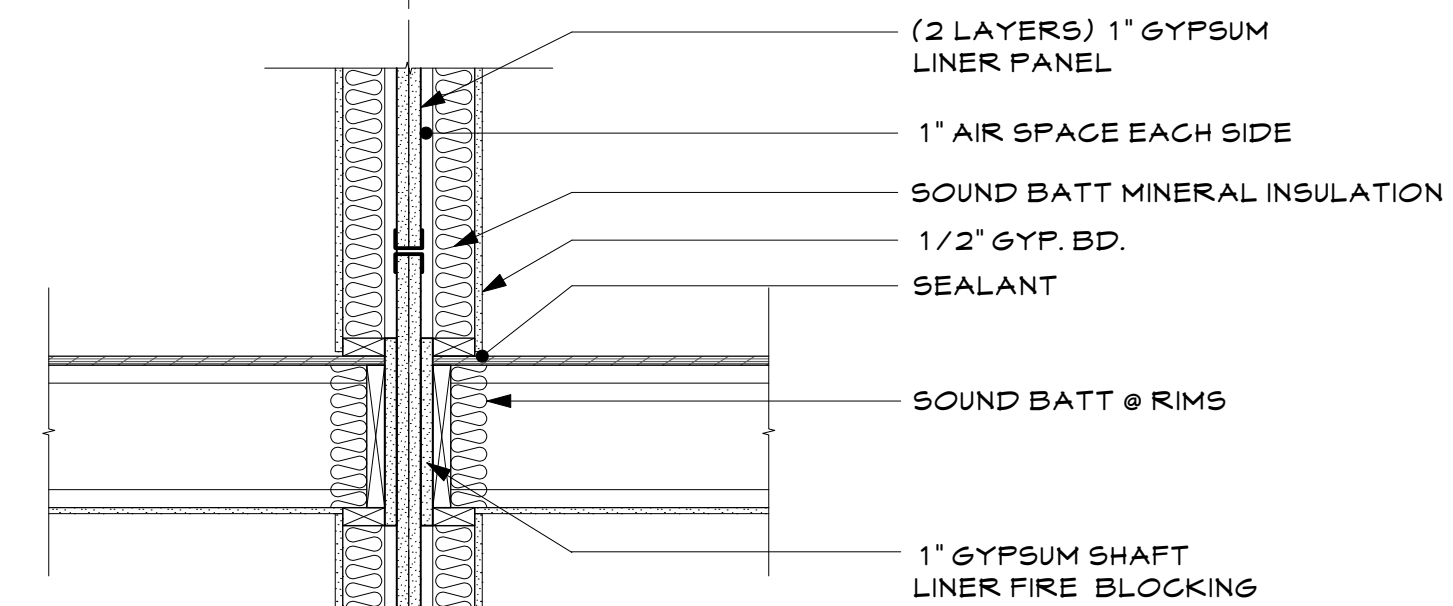


All details, specifications and data contained in this literature are intended as a general guide. These products must not be used in a design or construction of any given structure without complete and detailed evaluation by a qualified structural engineer or architect to verify suitability of a particular product for use in the structure.

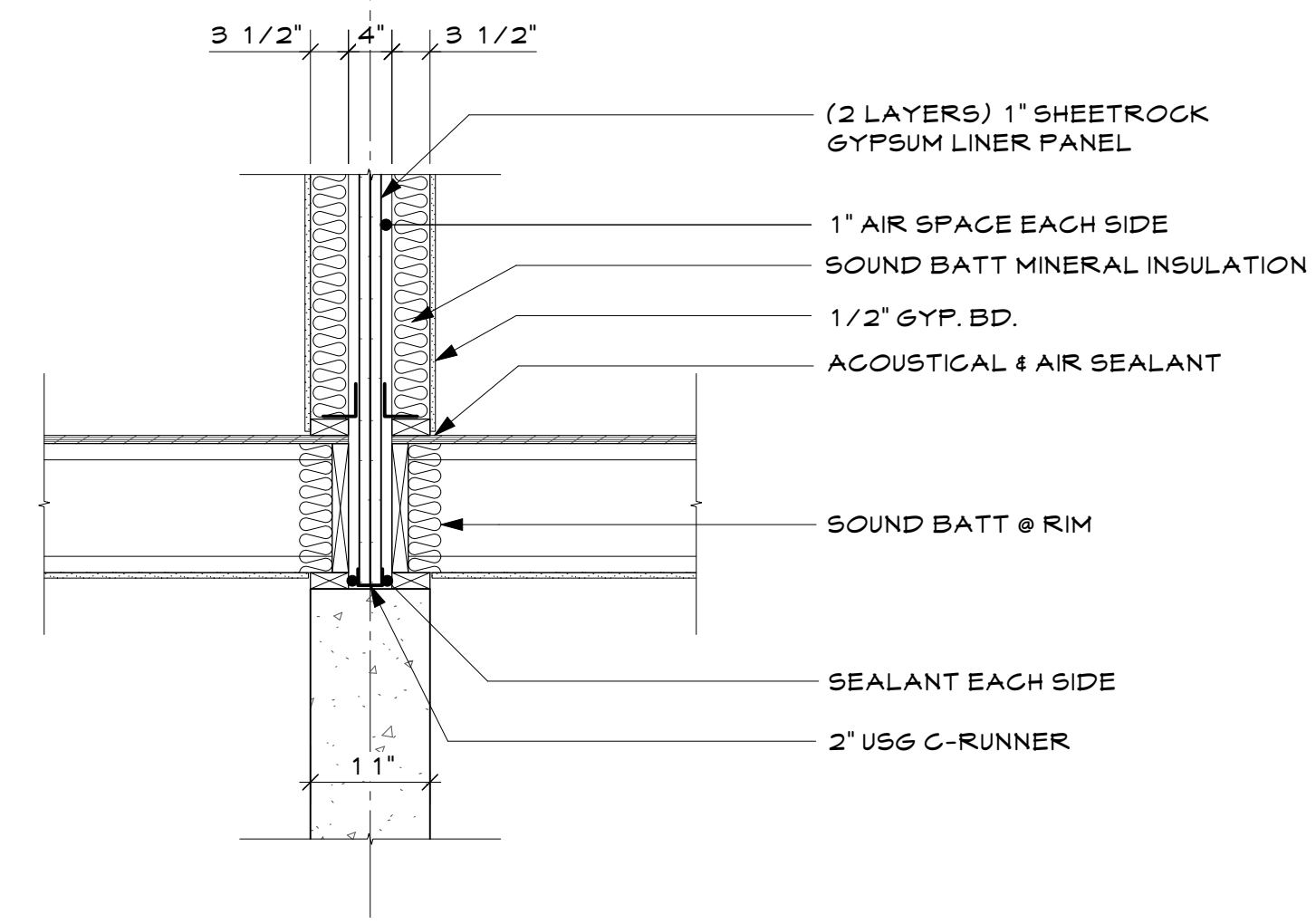
2-Hour Fire-rated Construction	Non-load-bearing	Acoustical Performance	Reference			
Construction Detail	Description	Test Number	STC	ARL	Index	
3/4"	<ul style="list-style-type: none"> 1" Sheetrock gypsum liner panels 2" USG H-studs 24" o.c. minimum 3/4" air space both sides separating liner panels from adjacent construction 	UL Des US36		SA925	1	
1 1/2"	<ul style="list-style-type: none"> Separation wall (non-load-bearing) 1" Sheetrock gypsum liner panels 2" USG H-studs 24" o.c. Protected wall (bearing or non-load-bearing) of wood or steel studs each side min 3/4" from liner panels 1/2" Sheetrock gypsum panels 	UL Des US36	48	RAL-TL-88-353	SA925	2
		54		RAL-TL-88-348		
		57		RAL-TL-88-361		
		58		RAL-TL-88-347		
		60		RAL-TL-88-350		



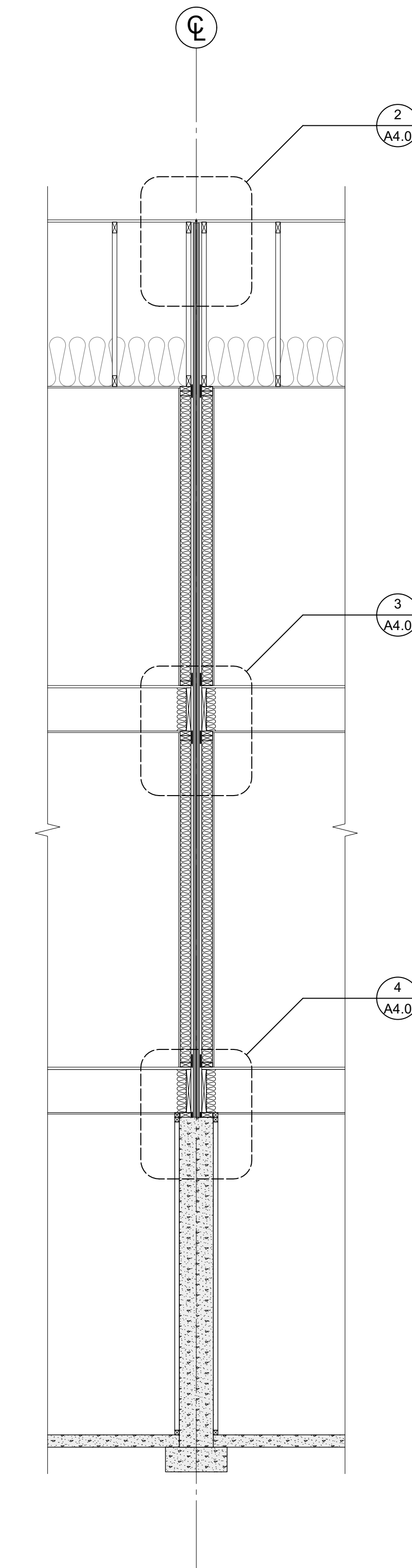
2 PARTY WALL @ ALIGNED ROOF
3/4" x 1'-0"



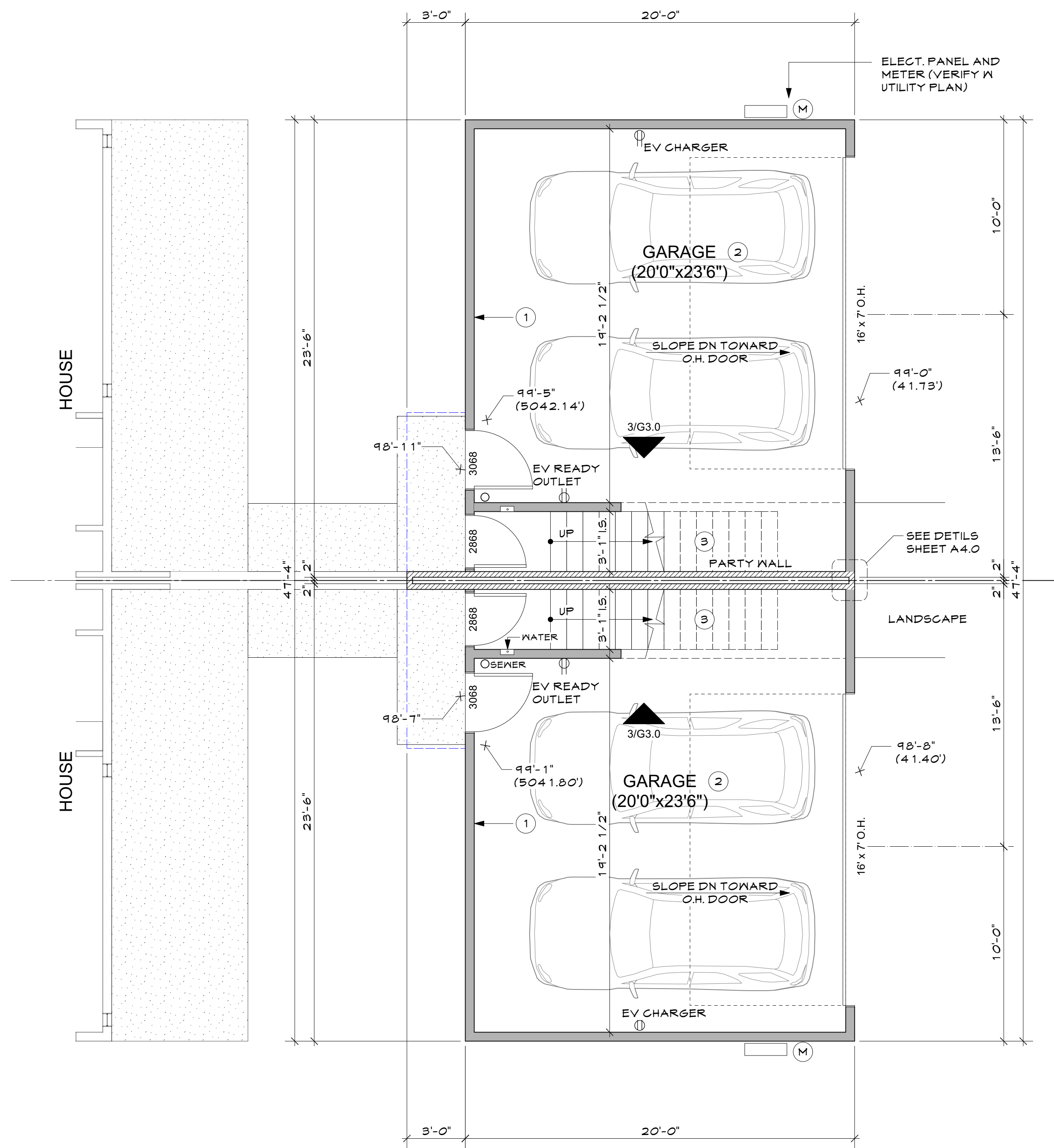
3 PARTY WALL @ INTERMEDIATE FLOORS
3/4" x 1'-0"



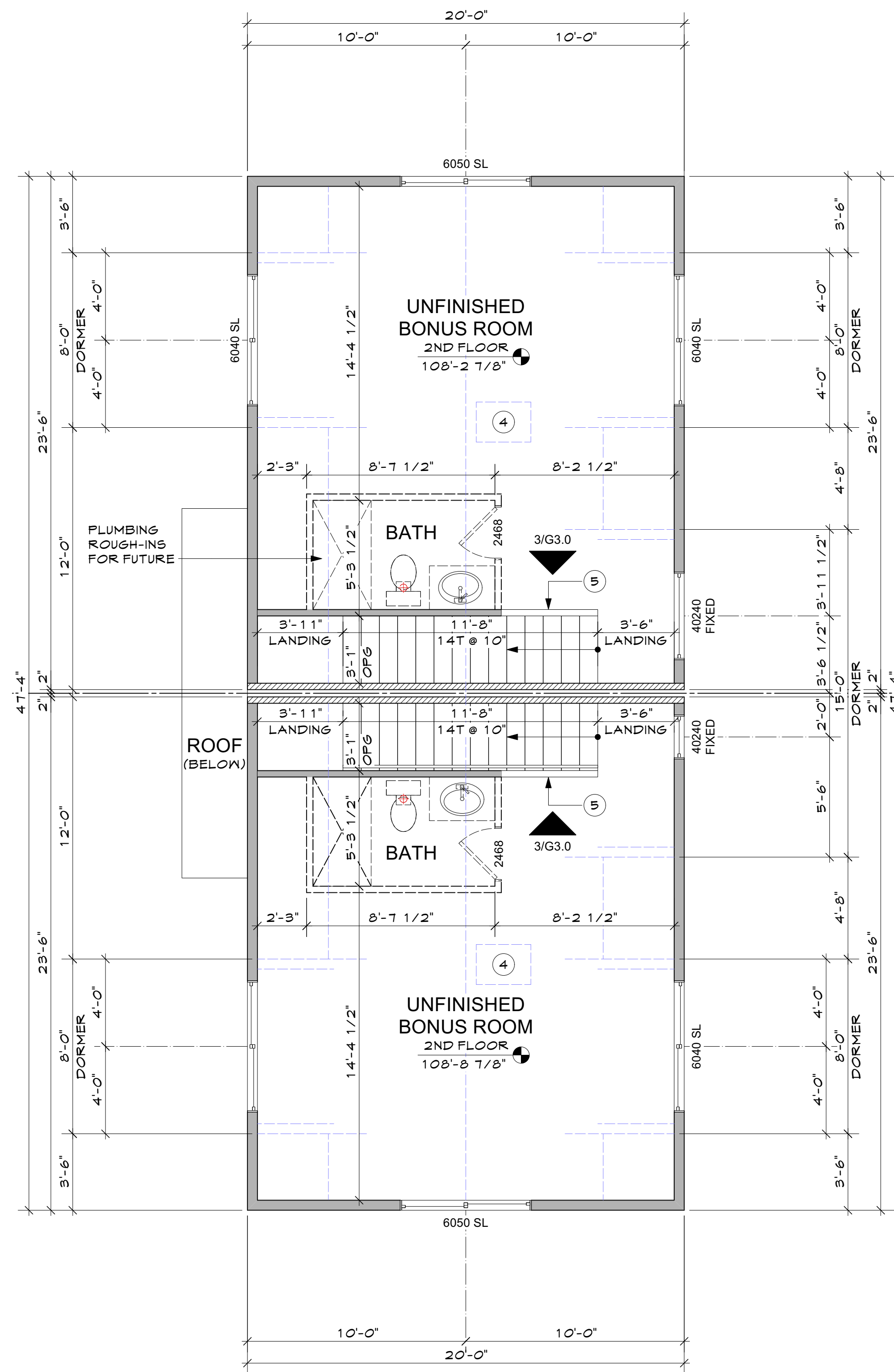
4 PARTY WALL @ FOUNDATION
3/4" x 1'-0"



1 PARTY WALL SECTION
3/8" x 1'-0"



GARAGE PLAN
1/4"=1'-0"



BONUS ROOM PLAN
1/4"=1'-0"

LEGEND:

- CONCRETE FOUNDATION WALL
- FUTURE WALL
- NEW 2X STUD WALL
- INDICATES COMBINATION SMOKE AND CARBON MONOXIDE ALARM
- INDICATES SMOKE ALARM
- INDICATES TEMPERED GLAZING WINDOWS (ALL GLAZING IN ALL DOORS TO BE TEMPERED)
- EXHAUST FAN
- WINDOWS & DOORS ARE NOTED IN FEET-INCHES (3068 INDICATES 3'-0" x 6'-8")

COORDINATION NOTES

- WINDOWS AND DOORS REFER TO WINDOW AND DOOR SCHEDULE FOR ROUGH OPENING SIZES
- CABINETS AND COUNTER TOPS SEE CABINET AND COUNTERTOP SHOP DRAWINGS. COORDINATE WITH APPLIANCES
- ROOM FINISHES SEE ROOM FINISH SCHEDULE BY OTHERS
- PLUMBING FIXTURES SEE FIXTURE SCHEDULE BY OTHERS
- ELECTRICAL LIGHTING SEE FIXTURE SCHEDULE AND SWITCH LOCATIONS BY OTHERS

KEY NOTES

- 1 1/2" GYP BOARD AT GARAGE WALLS (ONLY WHEN UPPER FLOOR IS FINISHED-FUTURE)
- 2 5/8" TYP GYP ON GARAGE CEILING (ONLY WHEN UPPER FLOOR IS FINISHED-FUTURE)
- 3 FURR DOWN UNDER STAIRS FOR R-30 INSULATION. PROVIDE 5/8" TYP "X" GYP BD UNDER STAIRS
- 4 ATTIC ACCESS 30"X22" MIN. GUARDRAIL MINIMUM 36" ABOVE FINISHED FLOOR

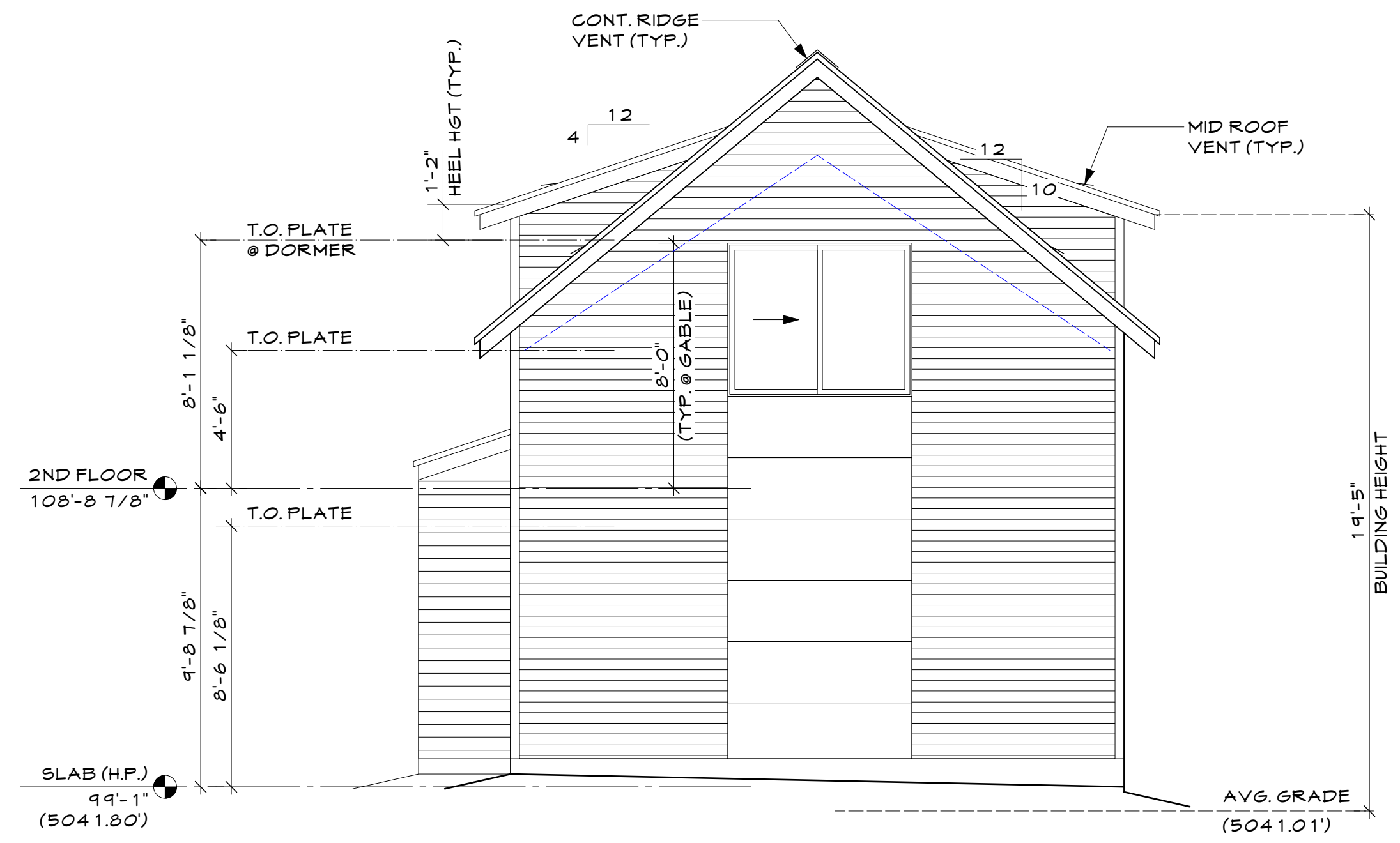
**441 & 449 MULLIGAN ST.
ERIE JUNCTION- LOT 22-23**

SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

Issue:	Date	Comments	Init.
	11/7/24	Permit	PS



WEST ELEVATION
1/4"=1'-0"



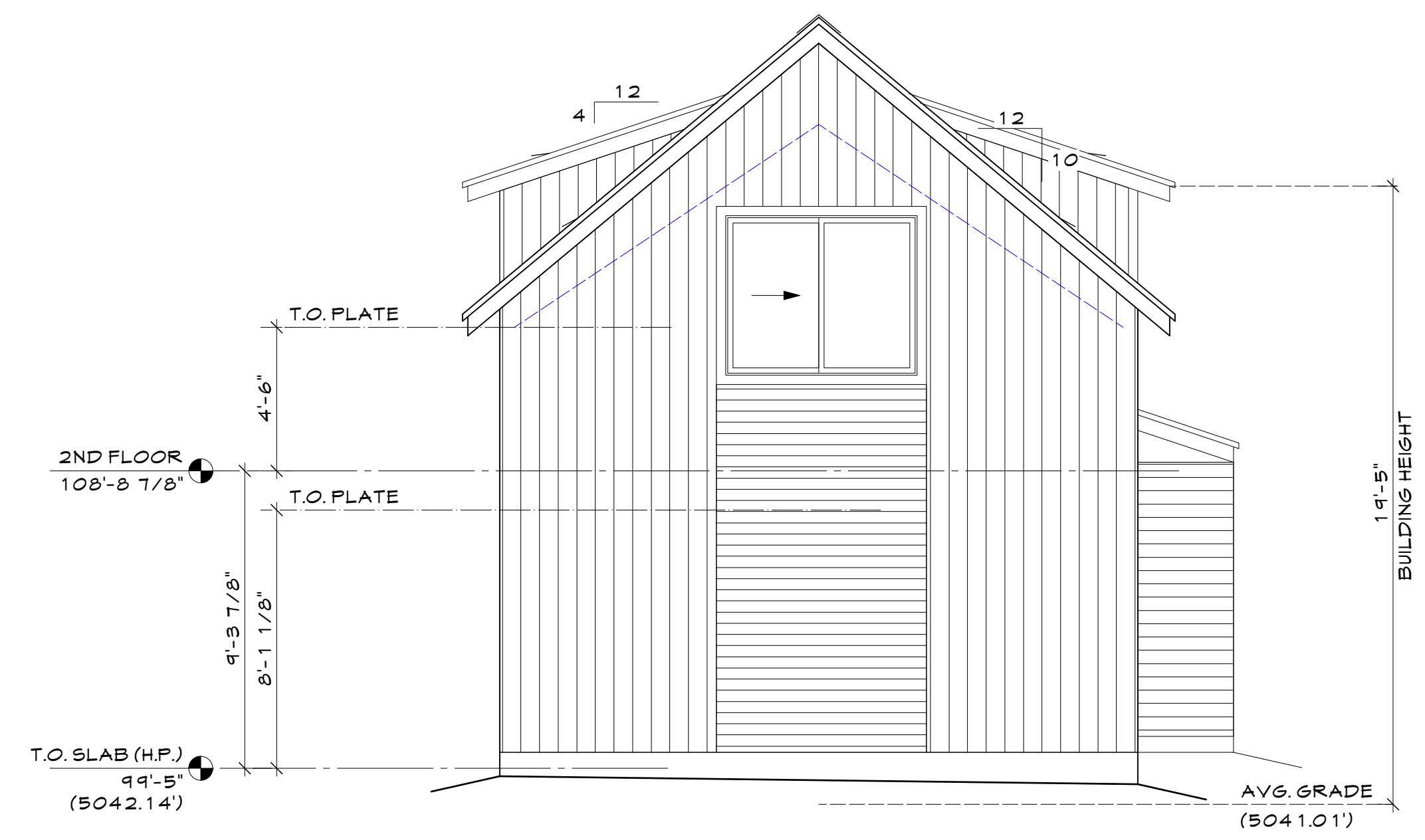
SOUTH ELEVATION
1/4"=1'-0"

EXTERIAL MATERIALS

EAVES:	SMOOTH LP SMART SIDE
SIDING:	SMOOTH LP SMART SIDE
WINDOWS:	ANDERSEN 100 SERIES, BLACK/BLACK
ROOFING:	CLASS A FIRE RATING- SEE ROOF PLAN



EAST ELEVATION
1/4"=1'-0"



NORTH ELEVATION
1/4"=1'-0"

**441 & 449 MULLIGAN ST.
ERIE JUNCTION- LOT 22-23**

SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
LOT 22 & 23, ERIE JUNCTION

Issue:

Date	Comments	Init.
11/7/24	Permit	PS

STAIR & GUARDRAIL NOTES

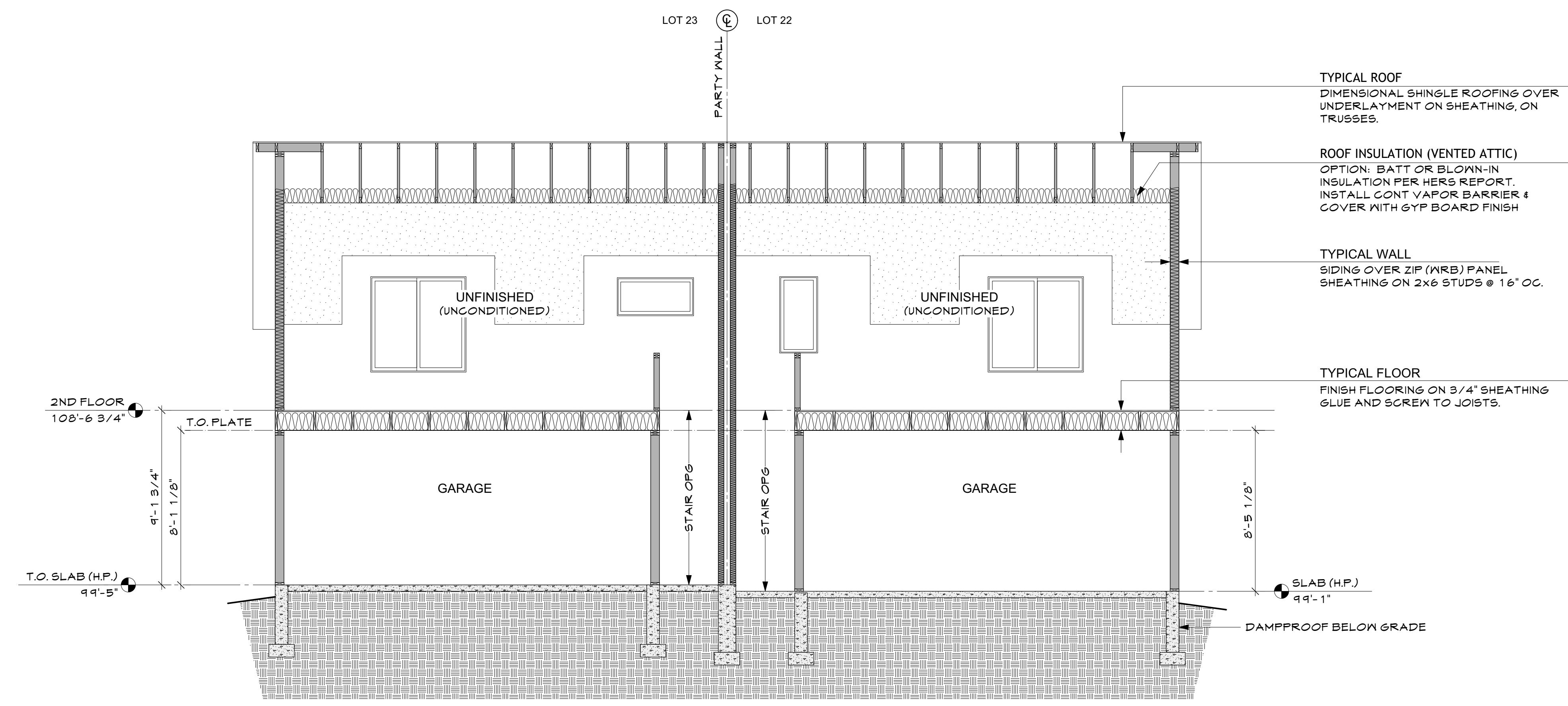
VERIFY ALL FLOOR TO FLOOR HEIGHTS AND HEADROOM CLEARANCES.

STAIR REQUIREMENTS

- TREADS AND RISERS - AS SPECIFIED ON DRAWINGS (MAXIMUM RISER 7 3/4", MINIMUM TREAD 10" UNLESS NOTED OTHERWISE), MAXIMUM DEVIATION 3/8".
- MINIMUM HEADROOM 6'-8" ABOVE NOSING.
- PROVIDE CONTINUOUS HANDRAIL FROM TOP TO BOTTOM RISER ONE SIDE OF STAIRWAY.
- HANDRAILS TO BE 34" TO 38" ABOVE STAIR NOSING.

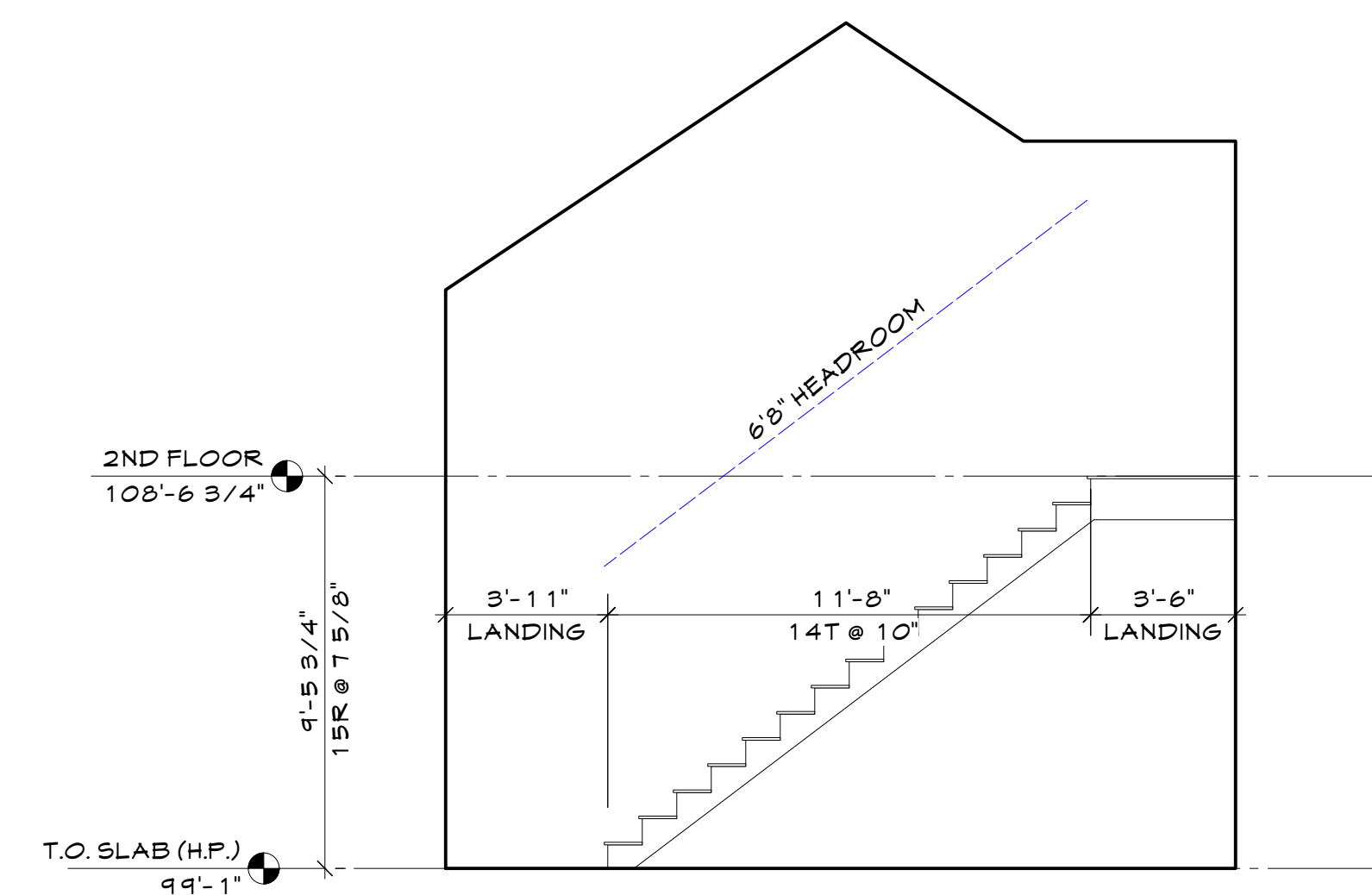
GUARD RAILS

- GUARDRAILS TO BE INSTALLED 36" ABOVE FINISHED FLOOR
- OPENINGS TO BE LESS THAN 4"

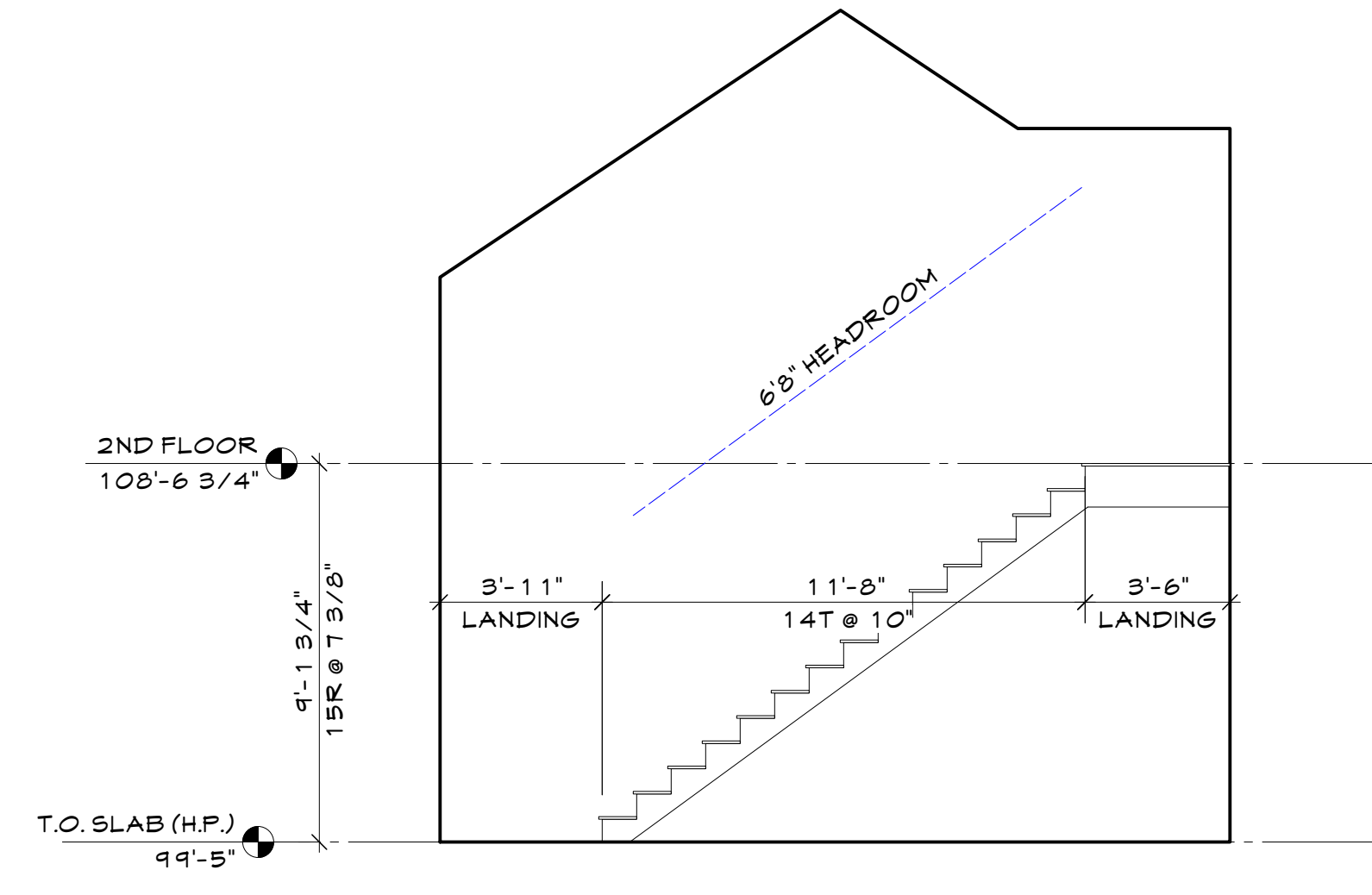


1
G3.0 **GARAGE LONGITUDINAL SECTION**
1/4"=1'-0"

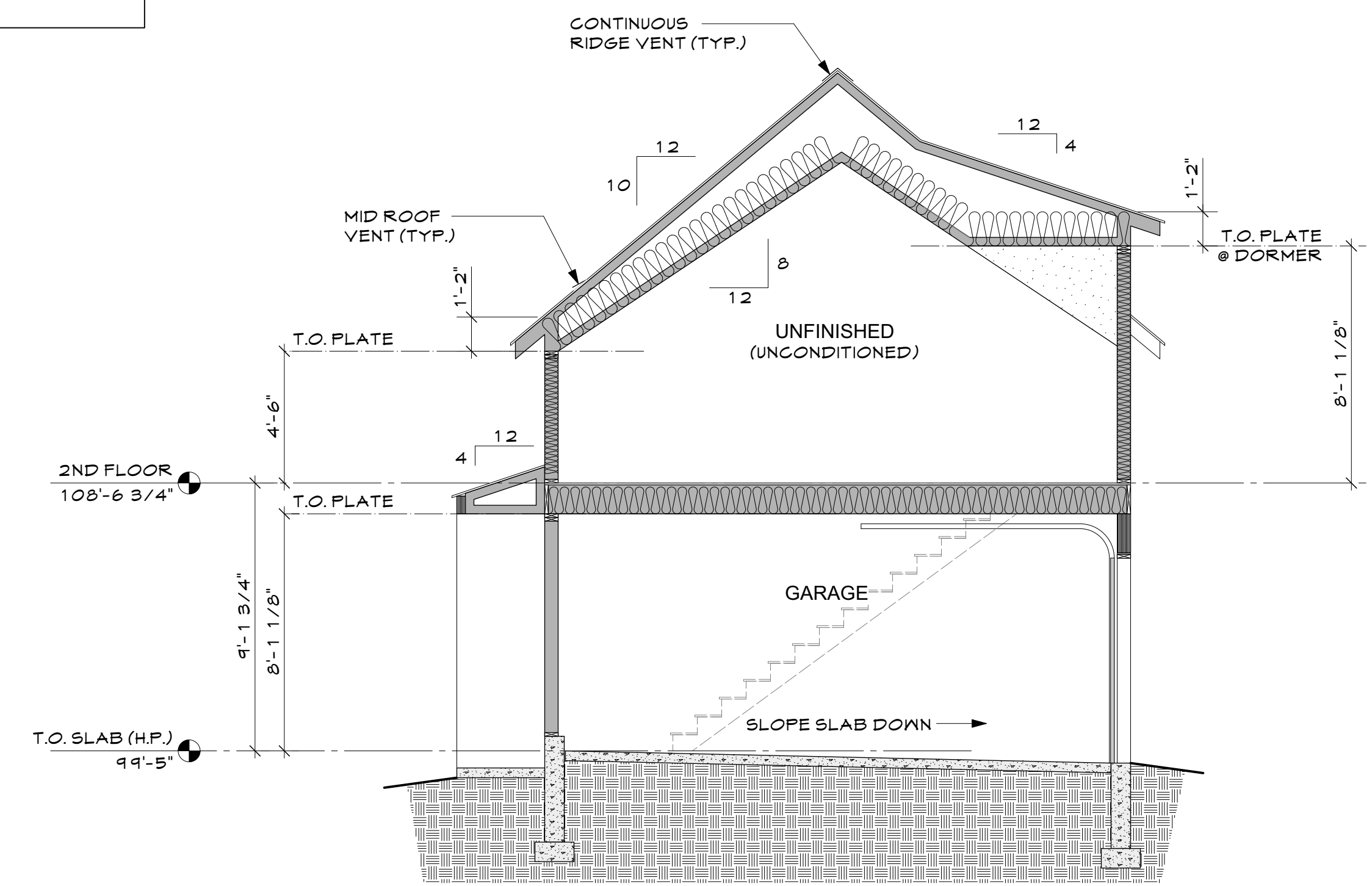
NOTE:
2ND LEVEL IS UNFINISHED AND UNCONDITIONED
INSULATION AND FINISHES SHOWN FOR FUTURE
FINISHED CONDITIONED SPACE. (NIC) REQUIRES
SEPERATE PERMIT



3
G3.0 **LOT 22 GARAGE STAIR SECTION**
1/4"=1'-0"

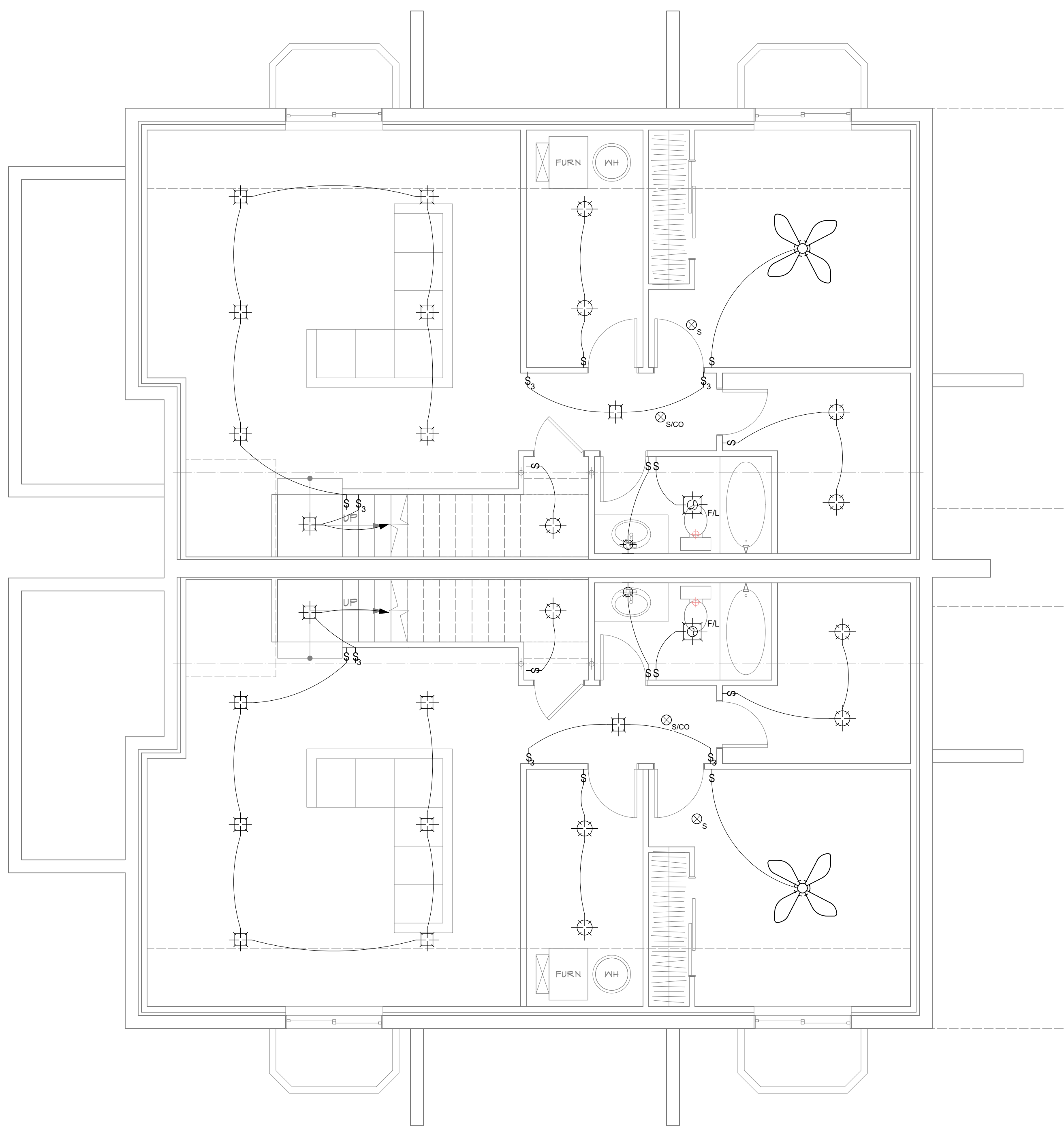


3
G3.0 **LOT 23 GARAGE STAIR SECTION**
1/4"=1'-0"



2
G3.0 **GARAGE CROSS SECTION**
1/4"=1'-0"

Issue:	Date	Comments	Init.
	11/7/24	Permit	PS



LEGEND

	WALL MOUNT-
	CEILING MOUNT-
	RECESSED FIXTURE IN CEILING-
	PENDANT LIGHT
	EXHAUST FAN/LIGHT
	EXHAUST FAN
	CEILING FAN/LIGHT
	SWITCH (MOUNT @ 48" CENTER A.F.F.)
	SWITCH- THREE WAY (MOUNT @ 48" CENTER A.F.F.)
	SWITCH- FOUR WAY (MOUNT @ 48" CENTER A.F.F.)
	CARBON MONOXIDE (HARD WIRED)
	SMOKE DETECTOR (HARD WIRE & INTERCONNECT)
	OUTLET
	WATER PROOF OUTLET
	FLOOR OUTLET
	SOFFIT LIGHT
	CAT V/CABLE
	UNDER CABINET LIGHTING
	TREAD LIGHTING

BASEMENT LIGHTING PLAN
1/4"=1'-0"

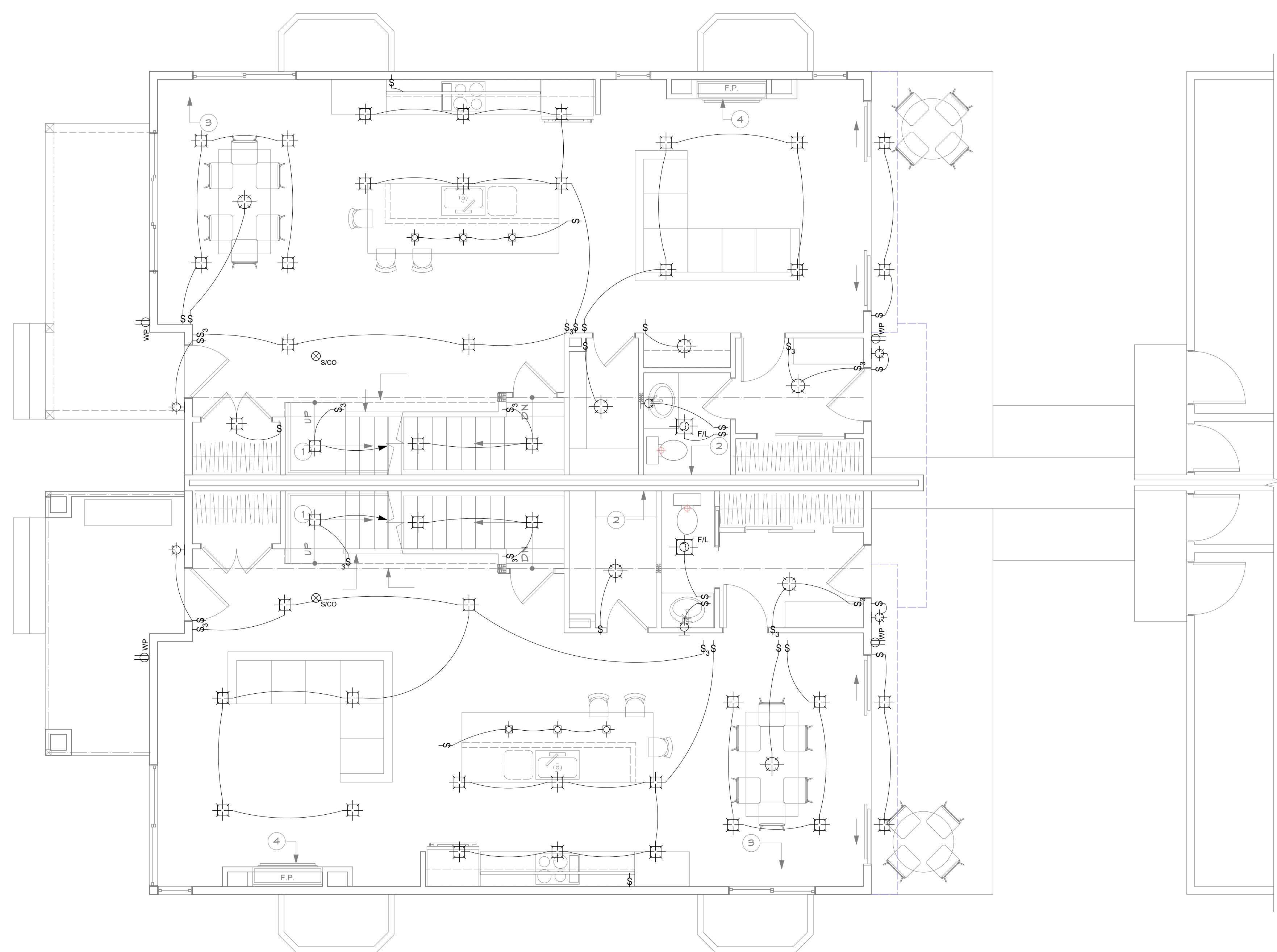
**441 & 449 MULLIGAN ST.
ERIE JUNCTION- LOT 22-23**

SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
LOT 22 & 23, ERIE JUNCTION

Issue:

Date	Comments	Init.
11/7/24	Permit	PS

Sheet Title
Basement Lighting Plan
Sheet No.
E1.0



LEGEND

	WALL MOUNT-
	CEILING MOUNT-
	RECESSED FIXTURE IN CEILING-
	PENDANT LIGHT
	EXHAUST FAN/LIGHT
	EXHAUST FAN
	CEILING FAN/LIGHT
	SWITCH (MOUNT @ 48" CENTER A.F.F.)
	SWITCH- THREE WAY (MOUNT @ 48" CENTER A.F.F.)
	SWITCH- FOUR WAY (MOUNT @ 48" CENTER A.F.F.)
	CARBON MONOXIDE (HARD WIRED)
	SMOKE DETECTOR (HARD WIRE & INTERCONNECT)
	OUTLET
	WATER PROOF OUTLET
	FLOOR OUTLET
	SOFFIT LIGHT
	CAT V/CABLE
	UNDER CABINET LIGHTING
	TREAD LIGHTING

MAIN FLOOR LIGHTING PLAN
1/4"=1'-0"

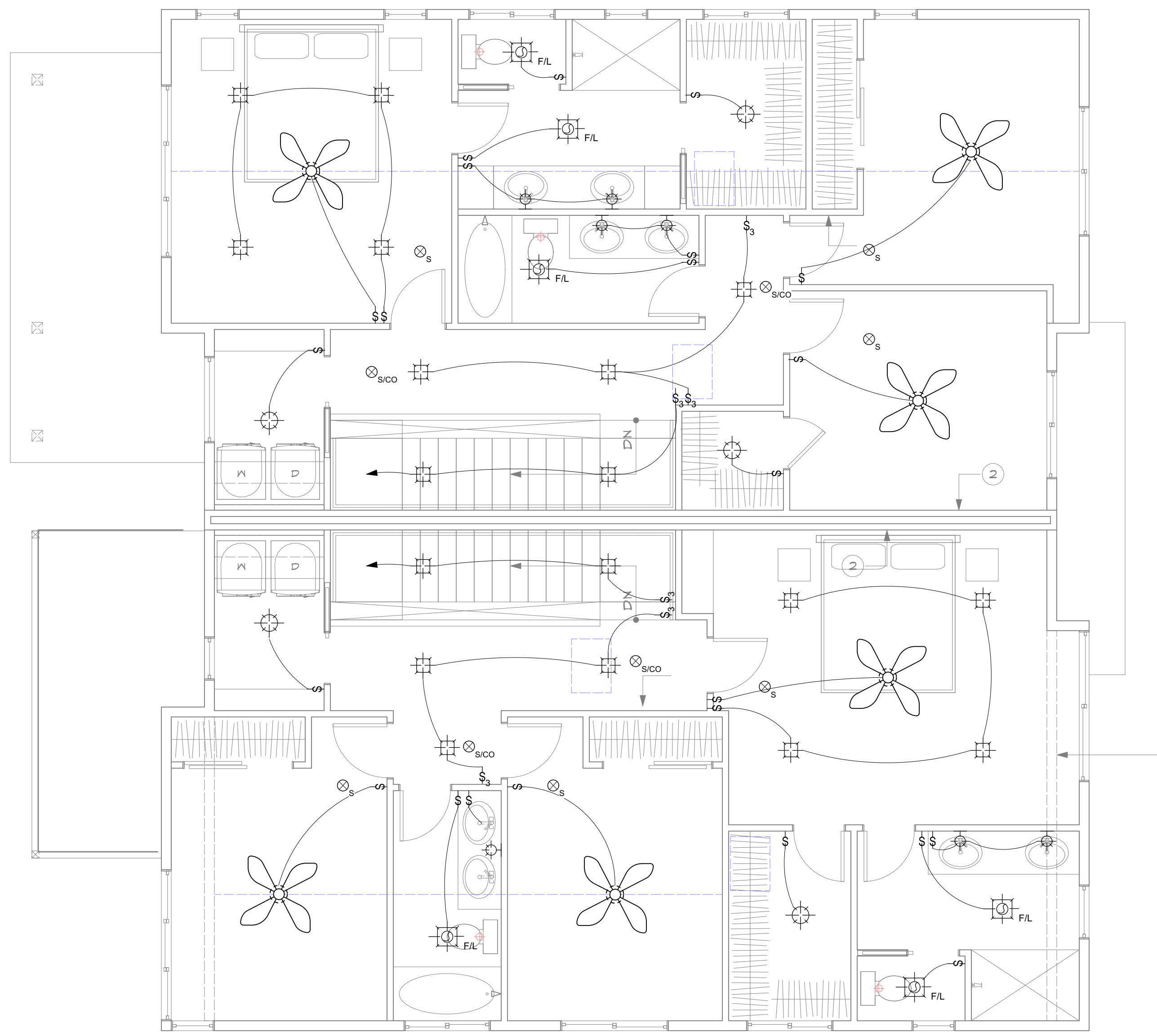
**441 & 449 MULLIGAN ST.
ERIE JUNCTION- LOT 22-23**

SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
LOT 22 & 23, ERIE JUNCTION

Issue:

Date	Comments	Init.
11/7/24	Permit	PS

Sheet Title
Main Floor Lighting Plan
Sheet No.
E1.1



LEGEND

	WALL MOUNT-
	CEILING MOUNT-
	RECESSED FIXTURE IN CEILING-
	PENDANT LIGHT
	EXHAUST FAN/LIGHT
	EXHAUST FAN
	CEILING FAN/LIGHT
	SWITCH (MOUNT @ 48" CENTER A.F.F.)
	SWITCH- THREE WAY (MOUNT @ 48" CENTER A.F.F.)
	SWITCH- FOUR WAY (MOUNT @ 48" CENTER A.F.F.)
	CARBON MONOXIDE (HARD WIRED)
	SMOKE DETECTOR (HARD WIRE & INTERCONNECT)
	OUTLET
	WATER PROOF OUTLET
	FLOOR OUTLET
	SOFFIT LIGHT
	CAT V/CABLE
	UNDER CABINET LIGHTING
	TREAD LIGHTING

**441 & 449 MULLIGAN ST.
ERIE JUNCTION- LOT 22-23**

SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
LOT 22 & 23, ERIE JUNCTION

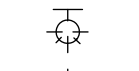

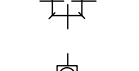
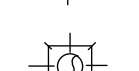
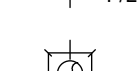

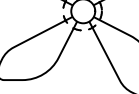
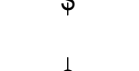
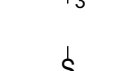




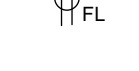

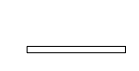



SECOND FLOOR LIGHTING PLAN
1/4"=1'-0"

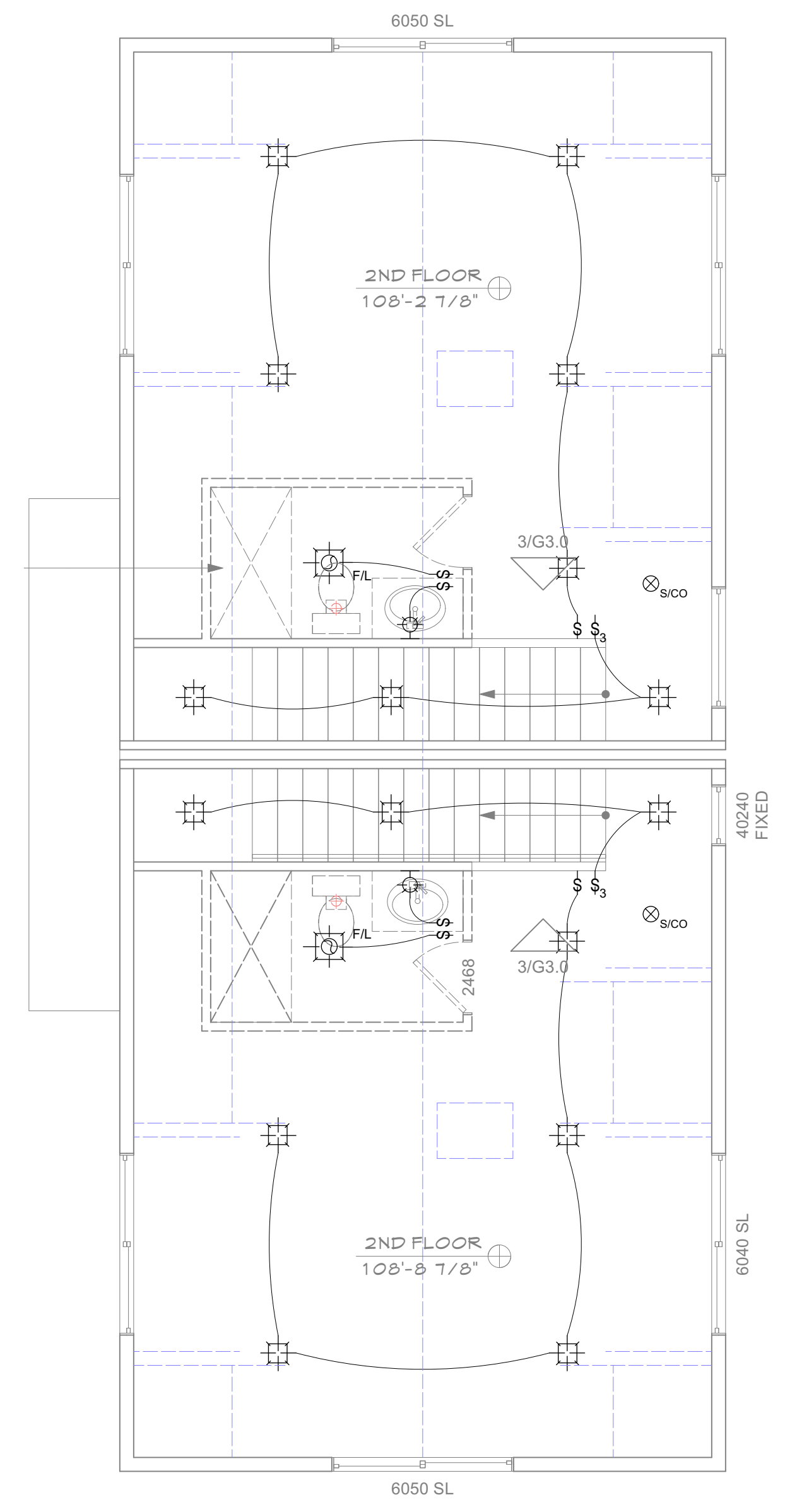
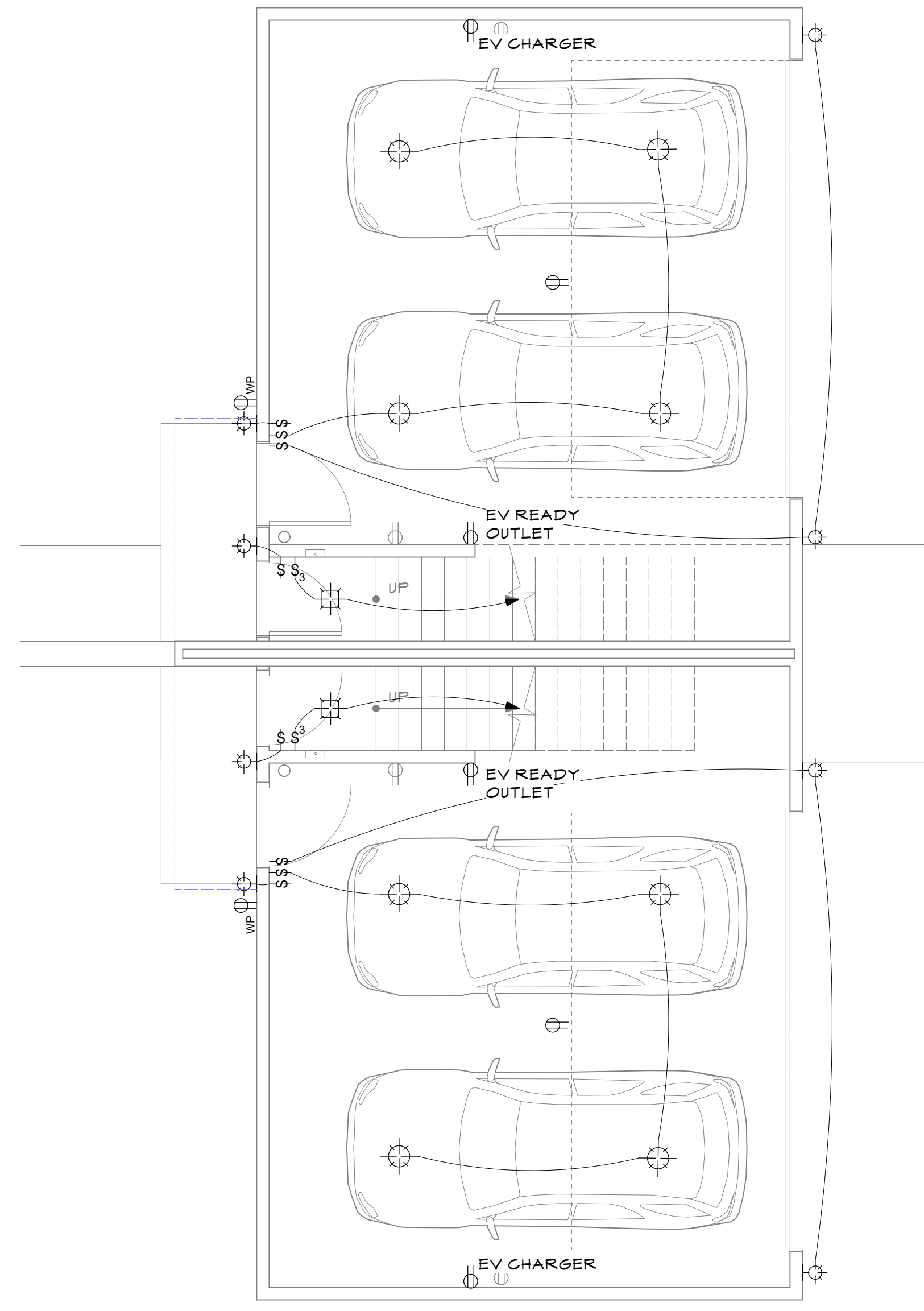
Issue:

Date	Comments	Init.
11/7/24	Permit	PS

Sheet Title
Main Floor Lighting Plan
Sheet No.
E1.2

LEGEND

	WALL MOUNT-
	CEILING MOUNT-
	RECESSED FIXTURE IN CEILING-
	PENDANT LIGHT
	EXHAUST FAN/LIGHT
	EXHAUST FAN
	CEILING FAN/LIGHT
	SWITCH (MOUNT @ 48" CENTER A.F.F.)
	SWITCH- THREE WAY (MOUNT @ 48" CENTER A.F.F.)
	SWITCH- FOUR WAY (MOUNT @ 48" CENTER A.F.F.)
	CARBON MONOXIDE (HARD WIRED)
	SMOKE DETECTOR (HARD WIRE & INTERCONNECT)
	OUTLET
	WATER PROOF OUTLET
	FLOOR OUTLET
	SOFFIT LIGHT
	CAT V/CABLE
	UNDER CABINET LIGHTING
	TREAD LIGHTING



**441 & 449 MULLIGAN ST.
ERIE JUNCTION- LOT 22-23**

SECTION 18, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO
LOT 22 & 23, ERIE JUNCTION

Issue:

Date	Comments	Init.
11/7/24	Permit	PS

Sheet Title
Garage Lighting Plan
Sheet No.
E1.3



Project Reviews

Town of Erie

Project Number: SRU2025-00005

Description: **Erie Junction Special Review Use for duplex uses in OTR**

Applied: **12/23/2025**

Approved:

Site Address: **432 MULLIGAN ST**

Closed:

Expired:

City, State Zip Code: **ERIE, CO 80516**

Status: **PAID ONLINE**

Applicant: **Diverge Homes LLC**

Parent Project:

Owner: **Diverge Homes LLC**

Contractor: **Diverge Homes LLC**

Details:

Hold per CL until SP submitted etc.

LIST OF REVIEWS

LIST OF REVIEWS						
SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
Review Group: 1ST SUBMITTAL						
2/27/2026	3/13/2026	4/9/2026	BUILDING REVIEW	Joel Champagne	COMPLETE NO COMMENTS	DRT on 4/2
Notes:						
2/27/2026	4/13/2026	4/9/2026	DNS REVIEW	Shane Greenburg	COMPLETE NO COMMENTS	DRT on 4/2
Notes:						
2/27/2026		4/9/2026	ECONOMIC DEVELOPMENT REVIEW	ECONOMIC DEVELOPMENT BUCKET		DRT on 4/2
Notes:						
2/27/2026	4/2/2026	4/9/2026	ENGINEERING REVIEW	Nicole Johnson	COMPLETE NO COMMENTS	No comments
Notes:						
2/27/2026	4/9/2026	4/9/2026	ENVIRONMENTAL REVIEW	Ben Kellond	COMPLETE NO COMMENTS	DRT on 4/2
Notes:						
2/27/2026	3/19/2026	4/9/2026	GIS REVIEW	Ryley Gross	COMPLETE NO COMMENTS	Addressing has already been approved, no changes.
Notes:						



Project Reviews

Town of Erie

2/27/2026	4/10/2026	4/10/2026	OUTSIDE AGENCY REVIEW	Chris LaRue	COMPLETE NO COMMENTS	DRT on 4/2
Notes:						
2/27/2026	4/10/2026	4/10/2026	PLANNING REVIEW	Chris LaRue	COMPLETE NO COMMENTS	DRT on 4/2
Notes:						
2/27/2026	4/7/2026	4/9/2026	STORMWATER REVIEW	Misty Hall	COMPLETE NO COMMENTS	DRT on 4/2
Notes:						
2/27/2026	4/6/2026	4/9/2026	STRATEGIC REVIEW	Josh Campbell	COMPLETE WITH COMMENTS	DRT on 4/2
Notes: See attachment "Strategic DRT Memo SRU26-00005" for comments.						
2/27/2026		4/9/2026	SUSTAINABILITY REVIEW	Eryka Thorley		DRT on 4/2
Notes:						
Review Group: AUTO						
12/23/2025	12/26/2025	12/26/2025	ENGINEER ASSIGNMENT	Chad Schroeder	COMPLETE NO COMMENTS	Chad Schroeder
Notes:						
12/23/2025	2/27/2026	12/26/2025	PLANNER ASSIGNMENT	Chris LaRue		
Notes:						
12/23/2025	3/4/2026	1/2/2026	ENGINEERING COMPLETENESS REVIEW	Chad Schroeder	COMPLETE NO COMMENTS	
Notes: r						
12/23/2025		1/2/2026	PLANNING COMPLETENESS REVIEW	Chris LaRue		
Notes:						



Erie Junction SRU for Duplex Uses – Special Review Use

Strategic Planning Division

To: Diverge Homes LLC
From: Josh Campbell, Senior Strategic Planner
Date: April 6, 2026
Re: SRU2026-00005 Erie Junction SRU for Duplex Uses – Special Review Use

Strategic Planning Comments

The Strategic Planning Division, as part of the Planning & Development Department, has reviewed the application for the Erie Junction SRU for Duplex Uses – Special Review Use for conformance with the 2024 Comprehensive Plan and the Town's commitment to increasing its livability, connectivity, and sustainability.

Land Use Conformance

Staff find that the rezoning application conforms with the Future Land Use Map designation of Residential – Medium in the 2024 Comprehensive Plan.

Policy Conformance

The Strategic Planning Division finds that the application conforms with multiple goals and policies within the 2024 Comprehensive Plan, especially the following policies:

1. **C.5.1:** Ensure that new development meets Comprehensive Plan vision, priorities, and resources management.
 - a) Developing duplexes will help contribute to the need for more diverse housing typologies and affordability within the community.
2. **H.1.1:** Locate higher density housing and mixed use development in areas that are currently served or will be served by bus transit and neighborhood centers.
 - b. This more dense development serves the neighborhood center of Historic Old Town but also close proximity of Erie Town Center.

Policy Recommendations

In response to the 2024 Comprehensive Plan goals, staff make the following recommendations:

1. Staff recommend the consideration of policy **C.1.6** to ensure that the development provides unique but compatible character to the surrounding neighborhood.
2. Staff recommend the consideration of policy **C.2.1** to ensure that the development is in alignment with the goals of the Historic Old Town neighborhood. Historic Old Town is an area of Special Consideration.
3. Staff recommend the consideration of policy **C.3.2** to ensure that the development is of high quality and accessible to current and future residents.
4. Staff recommend the alignment with policy **C.3.5** of the Comprehensive Plan as County Line Road is seen as a corridor of special consideration.

The review process is a cumulative process and dependent on various criteria. We reserve the right to provide further comment(s) and request additional information. Please contact me at

(720) 955-2566 or jcampbell@erieco.gov for further clarification. Staff would be happy to schedule a virtual meeting to discuss the comments and answer any questions.

Sincerely,

Josh Campbell | Senior Strategic Planner
Planning & Development



Town of Erie
645 Holbrook Street | P.O. Box 750 | Erie, CO 80516
Phone: 720-955-2566
www.erieco.gov | [Facebook](#) | [Twitter](#) | [LinkedIn](#)

Delivering exception public service with honesty, efficiency, and compassion.

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NEIGHBORHOOD MEETING NOTICE

PURPOSE: A neighborhood meeting to update the community on the Erie Junction project status and the expected start date of construction in Summer 2026.

DATE: Thursday, April 16th, 2026

TIME: 6:30 p.m. to 7:30 p.m.

PLACE: VIRTUAL MEETING

GO TO: <https://www.microsoft.com/en-us/microsoft-teams/join-a-meeting>
Meeting ID: 258 013 681 622 74
Passcode: iv2eL3Nx

APPLICATION TYPE: Special Review Use

PROJECT LOCATION: Northeast corner of County Line Rd (WCR1) and Balcolm St.

PROJECT DESCRIPTION:

Hello Everyone, I am excited to let you know that we are finally going to begin construction on the Erie Junction project! The Final Plat approved in 2023 allows for one triplex and ten duplex lots, which is a total of 23 homes. The roads and infrastructure are complete and were accepted by the Town in Fall 2025. Construction of homes is set to begin in June 2026. Building style is proposed as transitional modern, created in-line with the character and design of the surrounding neighborhood. We will have the building plans available on screen during the call. It has been quite the journey working with the Town administration and we are eager to get started.

CONTACT INFORMATION:

For additional information or to comment prior to the meeting, please contact me at:

Nick Jacobs
Diverge Homes
603 S. Public Rd., Unit 765 Lafayette, CO 80026
Nick.jacobs@divergehomes.com

Sincerely,

Nick Jacobs

A public copy of the application materials is available for viewing in the Community Development office of Town Hall at 645 Holbrook Street, Erie, CO; phone 303-926-2770

**TOWN OF ERIE
AFFIDAVIT OF NEIGHBORHOOD MEETING NOTICE POSTING**

ERIE JUNCTION - SRJ 2025 00005

(PROJECT NAME & APPLICATION TYPE)



BALCOLM ST



COUNTY LINE RD

(Under each photo identify where the posting location is: example -Erie Parkway/County Line Road)

I, (INSERT NAME OF PERSON THAT POSTED NOTICE), ATTEST THAT NOTICE WAS POSTED IN ACCORDANCE WITH THE ERIE MUNICIPAL CODE, TITLE 10.7.2 D. NOTICE WAS POSTED ON FOR **MARCH 17TH, 2026** THE NEIGHBORHOOD MEETING ON **APRIL 16TH, 2026** WHICH IS AT LEAST 15 DAYS BEFORE THE SCHEDULED NEIGHBORHOOD MEETING. THE PHOTOS, ABOVE, ARE A TRUE AND CORRECT REPRESENTATION OF THE NEIGHBORHOOD MEETING NOTICE SIGNS THAT HAVE BEEN POSTED.


 (SIGNATURE OF PERSON THAT POSTED NOTICE)

STATE OF COLORADO)
) ss.
 COUNTY OF Boulder)

ACKNOWLEDGED BEFORE ME THIS 20th DAY OF April, 2026
 BY Catherine Colbeck AS Notary Public.

CATHERINE JEAN COLBECK
 NOTARY PUBLIC
 STATE OF COLORADO
 NOTARY ID 20234028224
 MY COMMISSION EXPIRES 07/26/2027

WITNESS MY HAND AND OFFICIAL SEAL


 NOTARY PUBLIC

MY COMMISSION EXPIRES: 07-26-2027



D I V E R G E

Erie Junction Neighborhood Meeting

Held on: April 16, 2025
Time: 6:30PM to 7:30PM

Attendees:

- 1) Nick Jacobs – President, Diverge Homes
- 2) Mark Merline – Director of Operations, Diverge Homes
- 3) Ruth Selover – Neighbor, 684 Moffat
- 4) Mardell Chelon – Neighbor, 454 High St.
- 5) Paul C. & Christalynn – Neighbor, 415 Main St.
- 6) Teresa & Mark Buttler – Neighbor, 424 Main St.

Summary of Discussion Topics

Nick Jacobs described purpose of the meeting, which is allow for the construction of an attached garage in addition to detached garage. The point in doing so is to have the flexibility to let the market decide and to offer the most flexible options for us given the extremely difficult housing market in the Town.

Nick Jacobs described frustration with Town of Erie and why this meeting and subsequent hearing was required. He said that the Plat of the development is not changing. The roads and infrastructure originally designed for the property is installed with no intent of changing. We aren't asking to change anything from our approved Plat. No changes to the number of units. No changes to the type of units.

Nick Jacobs said that they are going to build duplexes that match the Code for the Town with no intent of seeking changes on architecture requirements. They simply want the ability to build different types of garages – attached and detached – to offer the most flexibility of cost in the market.

Nick Jacobs shared on screen samples of the site plan and elevations for the two different types of duplexes.

Nick Jacobs asked the attendees if they had any questions for him.

Ruth Selover asked about the existing fence along the north boundary line of the Erie Junction Plat which currently is owned and maintained by each of the homeowners on their respective property. She asked if Diverge Homes would replace all the fencing with new.





Nick Jacobs said that there was no intention of replacing the fence except as needed for the two duplexes which will share the north boundary line.

Ruth Selover asked about the 2 ft border between the backyard fence of her home on Main St. and the newly constructed concrete alley that Diverge installed as part of the Development Agreement for the Plat. Mark Butler also commented on the same issue.

Nick Jacobs said that the Town construction guideline did not allow concrete to extend beyond the ROW up to their fences. Nick Jacobs said that each homeowner will need to maintain that area.

Mark Butler asked about sequencing of the build plan, in what order did we plan to build the units.

Nick Jacobs said that they are going to build from east to west. The first two buildings will be the northeast corner duplex and the duplex directly across the street from it. Nick Jacobs showed on screen the Plat and overall site plan of the development and then showed on screen which two buildings he was referring to. Nick Jacobs said that the Triplex would likely be built last, after the units facing County Line road.

Nick Jacobs said that the homes on County Line road were originally proposed with one-car garages but need the ability to design them with two-car garages or no garage at all.

Nick Jacobs commented that the Town's approval of the affordable housing project just north of Erie Junction has had a tremendously negative impact on the value and perception of Erie Junction. Potential buyers Mr. Jacobs has spoken to no longer view Erie Junction as a higher-end development, they view it as a low-cost project similar to the affordable housing project which is in the same proximity to Old Town. Combining the affordable housing project with the massive development of homes from publicly-traded production builders, Toll Brothers and KB Homes, has had a tremendous impact to depress the value of houses in and around Erie. Mr. Jacobs commented that this effect could cause the Erie Junction project to go bankrupt and never get done because the Town will not afford us the same the density, construction methods, water rights, or other factors that they give to the affordable housing and large-scale production builders.

Mr. Jacobs then explained the other cost increases imposed by the Town for sprinklers. Mr. Jacobs then shared on screen the quoted cost from sprinkler suppliers. Nick Jacobs and Mark Merline then described the fact that the permit to start construction will cost \$178,000 per building due to the Town's inability to support water services for the new homeowners.

Mark Butler asked about the construction timeline for a building.

Nick Jacobs said it would take approximately 11 months per building with the dustiest portion happening in the first month of each building due to the excavation and foundation work.



Ruth Selover asked when we expected to break ground on the first building. Mardell Chelon seconded the request.

Nick Jacobs said that they expected to start construction in late Summer.

Mardell Chelon commented that this development, no matter what gets built, will be much better than the eyesore of a concrete plant that was there. She stated that the dust from that plant was a terrible nuisance, killed trees, and that it was horrible.

Nick Jacobs asked if there were any more questions. None were asked.

Nick Jacobs then stated that he and Mark Merline would be their points of contact throughout the entire construction process. He asked them to reach out to either of us at any time. He said that construction can be a nuisance for parking, noise, and dust and that sometimes the workers make mistakes. He asked them to contact them with any concerns.

The meeting ended approximately 40 minutes after it began.

accountno	Accttype	SITUS
R5784986	Residential	165 LAWLEY DR ERIE
R5784886	Residential	175 LAWLEY DR ERIE
R5783886	Residential	140 LAWLEY DR ERIE
R5765886	Residential	634 MOFFAT ST ERIE
R5783586	Residential	170 LAWLEY DR ERIE
R5766886	Residential	364 MAIN ST ERIE
R5752786	Residential	515 MAIN ST ERIE
R5783186	Residential	110 LAWLEY DR ERIE
R8946801	Residential	665 MOFFAT ST ERIE
R5751886	Residential	504 MAIN ST ERIE
R5751686	Residential	635 MOFFAT ST ERIE
R5766386	Residential	424 MAIN ST ERIE
R5765486	Residential	694 MOFFAT ST ERIE
R5765386	Residential	475 MAIN ST ERIE
R5767986	Residential	300 HIGH ST ERIE
R5766086	Residential	484 MAIN ST ERIE
R5753986	Residential	575 MOFFAT ST ERIE
R5764586	Residential	415 MAIN ST ERIE
R5785186	Residential	380 LAWLEY DR ERIE
R5783486	Residential	160 LAWLEY DR ERIE
R5784286	Residential	135 LAWLEY DR ERIE
R8946802	Residential	655 MOFFAT ST ERIE
R0184488	Residential	454 HIGH ST ERIE
R5753086	Residential	515 MOFFAT ST ERIE
R5747186	Vacant Land	
R5747486	Exempt	
R0180590	Exempt	
R0184588	Residential	514 MOFFAT ST ERIE
R5785386	Residential	360 LAWLEY DR ERIE
R5767686	Residential	330 HIGH ST ERIE
R5767786	Residential	320 HIGH ST ERIE
R5783086	Residential	100 LAWLEY DR ERIE
R5767386	Residential	355 MAIN ST ERIE
R8965174	Residential	524 HIGH ST ERIE
R5765786	Residential	654 MOFFAT ST ERIE
R5784386	Residential	155 LAWLEY DR ERIE
R5765286	Residential	455 MAIN ST ERIE
R5766986	Residential	348 MAIN ST ERIE
R5751386	Residential	685 MOFFAT ST ERIE
R8946800	Residential	?
R5752986	Residential	535 MOFFAT ST ERIE
R5784586	Residential	205 LAWLEY DR ERIE
R8960731	Residential	514 BALCOLM ST ERIE

R5784086	Residential	115 LAWLEY DR ERIE
R5783986	Residential	105 LAWLEY DR ERIE
R5767186	Residential	375 MAIN ST ERIE
R5765586	Residential	674 MOFFAT ST ERIE
R5765686	Residential	664 MOFFAT ST ERIE
R5785286	Residential	370 LAWLEY DR ERIE
R5764686	Residential	405 MAIN ST ERIE
R5753886	Residential	585 MOFFAT ST ERIE
R5766186	Residential	464 MAIN ST ERIE
R5752386	Residential	695 MOFFAT ST ERIE
R5767886	Residential	310 HIGH ST ERIE
R5764986	Residential	444 HIGH ST ERIE
R5785086	Residential	390 LAWLEY DR ERIE
R5751986	Residential	514 MAIN ST ERIE
R4192906	Residential	545 MAIN ST ERIE
R5784186	Residential	125 LAWLEY DR ERIE
R5766686	Residential	404 MAIN ST ERIE
R8960730	Residential	340 HIGH ST ERIE
R8960730	Residential	340 HIGH ST ERIE
R5767286	Residential	365 MAIN ST ERIE
R5766786	Residential	374 MAIN ST ERIE
R5751786	Residential	625 MOFFAT ST ERIE
R5747286	Vacant Land	
R0089888	Residential	485 MAIN ST ERIE
R5764886	Residential	424 HIGH ST ERIE
R5784486	Residential	145 LAWLEY DR ERIE
R5784686	Residential	195 LAWLEY DR ERIE
R5783386	Residential	150 LAWLEY DR ERIE
R8975335	Residential	342 MAIN ST ERIE
R5746586	Residential	345 MAIN ST ERIE
R0089988	Residential	544 MOFFAT ST ERIE
R5766586	Residential	688 MOFFAT ST ERIE
R5751186	Exempt	635 WELLS ST ERIE
R5766486	Residential	684 MOFFAT ST ERIE
R5752286	Residential	544 MAIN ST ERIE
R5765986	Residential	624 MOFFAT ST ERIE
R5785486	Residential	350 LAWLEY DR ERIE
R5764486	Residential	435 MAIN ST ERIE
R5783286	Residential	120 LAWLEY DR ERIE
R5783786	Residential	130 LAWLEY DR ERIE
R5764786	Residential	404 HIGH ST ERIE
R5784786	Residential	185 LAWLEY DR ERIE

ownername1	mailaddress1	mailaddress2
165 LAWLEY DRIVE LLC	165 LAWLEY DR	
455 S 43RD STREET LLC	C/O SHARON SANTA	8969 LITTLE RAVEN T
ABEYTA CARMEN	PO BOX 225	
ACEVEDO ARMANDO	2995 S BRYANT ST	
ANDREWS ALEX & ANDREWS DIANA	PO BOX 92	
ARNESON FAMILY TRUST	PO BOX 287	
BAACK REBECCA A & EWING CORI BAACK & FREESTONE HEIDI	PO BOX 1331	
BERGER ATHENA & CLIFTON ALEC	110 LAWLEY DR	
BERMAN RICHARD A	7342 WINDSOR DR	
BLANCH DOMINIC J	PO BOX 1154	
BRIARS JAMES D	PO BOX 411	
BUTLER MARC A & BUTLER TERESA M	PO BOX 784	
BUTTS KENNETH F & BUTTS NANCY J	694 MOFFAT ST	
CARTER HARLEY D	PO BOX 1325	
CASTRO JESS & CASTRO TERESA E	PO BOX 12	
CHAMPION DARREN	484 MAIN ST	
CONE TARA & MOHORNE ERIK E	PO BOX 882	
CROSSON PAUL R & CHRYSTALYNN	PO BOX 248	
CULLISON JOSH	PO BOX 895	
DICKINSON GREGORY A & DICKINSON GWENDOLYN B	160 LAWLEY DR	PO BOX 1134
DITLOW ROBERT L & DITLOW MARY F	PO BOX 1235	
DOW GERI-ELLEN & DOW STEPHEN	PO BOX 351	
DURAN FAMILY TRUST	PO BOX 892	
EARL BARBARA A	PO BOX 1002	
ERIE TOWN OF	PO BOX 750	
ERIE TOWN OF	PO BOX 9	
ERIE TOWN OF	PO BOX 9	
FARINEAU RAMONA THERESE	PO BOX 766	
FERGUSON ANDREA J	PO BOX 854	
FOBARE CHARLES F & FOBARE SANDRA J	PO BOX 654	
FULTON STEVEN M & FULTON ROBYN L	PO BOX 288	
GEILING LINDA KAY	PO BOX 1411	
GEITHMAN WILLIAM A & GEITHMAN DONNA K	PO BOX 191	
GHUMM JOHN W JR	PO BOX 423	
GILL CHRISTINE & COLON JASON	654 MOFFAT ST	
HARRIS EDDIE LEE & HARRIS HANNELORE	PO BOX 588	
HART BRYANT E	PO BOX 1214	
HERNANDEZ MARIA GUADALUPE	PO BOX 701	
HERREL PAMELA HELTON	49 E TILDEN DR	
HULL NATHAN	386 PAINTED HORSE WAY	
IHLE MEGAN E	535 MOFFAT ST	
JOHNSTON LAKRISHA E & JOHNSTON DANIEL W	245 ASPEN MEADOWS RD	
JOYCE LOIS A	PO BOX 585	

KIPPLE JOSHUA & KIPPLE CASEY	115 LAWLEY DR
KORBE RICHARD ALLEN	PO BOX 923
KRIDEL KATHY	630 CORONADO PL
LANGERAK DEBRA & LANGERAK STEPHEN	PO BOX 87
LANGERAK STEPHEN R & LANGERAK DEBRA JO	PO BOX 87
LARINGTON ANGELA & LARINGTON MICHAEL	PO BOX 130
LEWIS JEAN A & POYEZDALA TODD	PO BOX 1221
LOUIS KATHERINE O	PO BOX 363
LOUIS KATHERINE O	PO BOX 363
LOUIS KATHERINE ODONNELL	PO BOX 363
MACKENZIE MALCOLM & MACKENZIE JULI BETH	PO BOX 4
MADISON BRUCE	PO BOX 1251
MATTERN JOHN WILLIAM & MATTERN DEBRA MARIE	PO BOX 446
MILLER THOMAS DALE & MILLER KELLY ANN	PO BOX 342
MILLICENT E HAMPTON REVOCABLE LIVING TRUST	545 MAIN ST
MONTANO RAY	125 LAWLEY DR
MURPHY JOHN R & MURPHY ROSE P	1381 WASHBURN ST
NAVE GREGORY A	PO BOX 835
NAVE KYLIE J	
NAVE KYLIE JANE & STORK CATHERINE JANE & GOULANDRIS KATHI	PO BOX 835
NEAVE NADIA	833 DAWN AVE
ODOM JARED KARSTEN & DANYA SUE	PO BOX 451
OLD TOWN LIVING LLC	458 DISTEL DR
ORMSBEE MYA ROSE & ORMSBEE KRISTIN J	485 MAIN ST
PETTRONE CHAD A & PETTRONE BRITTANY E	PO BOX 1361
QUESADA HENRY P & QUESADA ELAINE J	PO BOX 251
QUICK KIMBERLY	195 LAWLEY DR
ROCKTON 150 LAWLEY LLC	PO BOX 1111
ROCKTON 342 MAIN LLC	2801 N 111TH ST
ROSARIO DOMINIQUE A & ROSARIO THURLOW CAREY S	345 MAIN ST
ROSENBERG DAVID	109 W CLEVELAND ST
SANTI MANUEL A & SANTI DEBRA J	688 MOFFAT ST
SCHOOL DIST No. RE1-J	395 S PRATT PKWY
SELOOVER JACK LEE & SELOOVER RUTH E	684 MOFFAT
SINKULE BRICE & SINKULE JANESSA	544 MAIN ST
SOMSKY TONI & NEIBERGER ANGELA S	PO BOX 104
TATRO JENNIFER	350 LAWLEY DR
THEISEN DAVID K & THEISEN TRINA L	435 MAIN ST
WAGENER DAVE V & WAGENER MONICA C	PO BOX 1452
WAGENER ROBERT A & RAUDABAUGH KENDRA S	PO BOX 1211
WENDZEL DAN J & WENDZEL JIMA S	PO BOX 253
WETZBARGER ANDREW	185 LAWLEY DR

mailcity	mailstate	New Zip3	Comments
ERIE	CO	80516-5004	Return to Sender Not Deliverable
NIWOT	CO	80503-7185	
ERIE	CO	80516-0225	
DENVER	CO	80236-2820	
ERIE	CO	80516-0092	
ERIE	CO	80516-0287	
ERIE	CO	80516-1331	
ERIE	CO	80516-5007	
BOULDER	CO	80301-3718	Return to Sender Not Deliverable
ERIE	CO	80516-1154	
ERIE	CO	80516-0411	
ERIE	CO	80516-0784	
ERIE	CO	80516-8402	
ERIE	CO	80516-1325	
ERIE	CO	80516-0012	
ERIE	CO	80516-8700	
ERIE	CO	80516-0882	
ERIE	CO	80516-0248	
ERIE	CO	80516-0895	
ERIE	CO	80516-1134	
ERIE	CO	80516-1235	
ERIE	CO	80516-0351	
ERIE	CO	80516-0892	
ERIE	CO	80516-1002	
ERIE	CO	80516-0750	
ERIE	CO	80516-0098	
ERIE	CO	80516-0098	
ERIE	CO	80516-0766	
ERIE	CO	80516-0854	
ERIE	CO	80516-0654	
ERIE	CO	80516-0288	
ERIE	CO	80516-1411	
ERIE	CO	80516-0191	
ERIE	CO	80516-0423	
ERIE	CO	80516-8402	
ERIE	CO	80516-0588	
ERIE	CO	80516-1214	
ERIE	CO	80516-0701	
BROWNSBURG	IN	46112-1660	
ERIE	CO	80516-2663	
ERIE	CO	80516-5003	
NEDERLAND	CO	80466-9634	
ERIE	CO	80516-0585	

ERIE	CO	80516-7043	
ERIE	CO	80516-0923	
LONGMONT	CO	80504-2319	
ERIE	CO	80516-0087	
ERIE	CO	80516-0087	
ERIE	CO	80516-0130	
ERIE	CO	80516-1221	
ERIE	CO	80516-0363	
ERIE	CO	80516-0363	
ERIE	CO	80516-0363	
ERIE	CO	80516-0004	
ERIE	CO	80516-1251	
ERIE	CO	80516-0446	
ERIE	CO	80516-0342	
ERIE	CO	80516-5001	Return to Sender Not Deliverable
ERIE	CO	80516-7043	
ERIE	CO	80516-6985	
ERIE	CO	80516-0835	
		-	
ERIE	CO	80516-0835	
ERIE	CO	80516-2549	
ERIE	CO	80516-0451	
LOS ALTOS	CA	94022-1715	
ERIE	CO	80516-5000	
ERIE	CO	80516-1361	
ERIE	CO	80516-0251	
ERIE	CO	80516-5004	
ERIE	CO	80516-1111	
ERIE	CO	80516-3003	
ERIE	CO	80516-5005	
LAFAYETTE	CO	80026-1621	
ERIE	CO	80516-8402	
LONGMONT	CO	80501-6436	
ERIE	CO	80516-8402	
ERIE	CO	80516-5055	
ERIE	CO	80516-0104	
ERIE	CO	80516-5051	
ERIE	CO	80516-5000	
ERIE	CO	80516-1452	
ERIE	CO	80516-1211	
ERIE	CO	80516-0253	
ERIE	CO	80516-5004	

NOTICE OF PUBLIC HEARING
PLANNING COMMISSION
TOWN OF ERIE

Notice is hereby given that on Wednesday, May 20, 2026, at 6:30 PM, or as soon as possible thereafter at the Erie Town Hall Council Chambers, 645 Holbrook Street, Erie, CO 80516, a PUBLIC HEARING will be held upon the application made by Erie Junction LLC, 603 S. Public Road, Unit 765, Lafayette, CO 80026 for the purpose of considering a Special Review Use Land Use Application pursuant to the Codes of the Town of Erie and applicable State Statutes. The intent of the Special Review Use is to propose 23 residential lots that could allow ten duplex units.

The affected property is located: Northeast corner of County Line Road and Balcolm Street

The legal description of the property is: Southwest Quarter of Section 18, Township 1 North, Range 68 West of the 6th P.M., Town of Erie, County of Weld, State of Colorado

The application is on file with the Town of Erie.

Interested and affected parties are encouraged to attend. The Planning Commission will be taking comments prior to making a determination or taking any action on this matter.

Debbie Stamp
Town Clerk

FOR QUESTIONS OR COMMENTS, CONTACT
TOWN OF ERIE
PLANNING & DEVELOPMENT DEPARTMENT
P.O. BOX 750
ERIE, COLORADO 80516
PHONE: (303) 926-2770
FAX: (303) 926-2706

Please publish in the Colorado Hometown Weekly on Wednesday, April 29, 2026.
Please send the affidavit of publication and billing to:

Town Clerk
Town of Erie
PO Box 750
Erie, CO 80516

**NOTICE OF PUBLIC HEARING
PLANNING COMMISSION
TOWN OF ERIE**

Notice is hereby given that on Wednesday, May 20, 2026, at 6:30 PM, or as soon as possible thereafter at the Erie Town Hall Council Chambers, 645 Holbrook Street, Erie, CO 80516, a PUBLIC HEARING will be held upon the application made by Erie Junction LLC, 603 S. Public Road, Unit 765, Lafayette, CO 80026 for the purpose of considering a Special Review Use Land Use Application pursuant to the Codes of the Town of Erie and applicable State Statutes. The intent of the Special Review Use is to propose ten duplex buildings – a total of twenty dwelling units.

The affected property is located: Northeast corner of County Line Road and Balcolm Street

The legal description of the property is: Southwest Quarter of Section 18, Township 1 North, Range 68 West of the 6th P.M., Town of Erie, County of Weld, State of Colorado

The application is on file with the Town of Erie.

Interested and affected parties are encouraged to attend. The Planning Commission will be taking comments prior to making a determination or taking any action on this matter.

Debbie Stamp _____
Town Clerk

FOR QUESTIONS OR COMMENTS, CONTACT
TOWN OF ERIE
PLANNING & DEVELOPMENT DEPARTMENT
P.O. BOX 750
ERIE, COLORADO 80516
PHONE: (303) 926-2770
FAX: (303) 926-2706



TOWN OF ERIE PUBLIC HEARING NOTICE

4/29/2026

The Town of Erie Planning & Development Department has scheduled the following item for consideration:

Applicant/Developer: Diverge Homes LLC

Project Description: Erie Junction Special Review Use 2025-00005

Legal Description: Erie Junction Final Plat – A parcel of land, located in the southwest quarter of Section 18, Township 1 North, Range 68 West of the 6th P.M., Town of Erie County of Weld, State of Colorado

Location: The intersection of County Line Road & Balcolm Street heading east toward Main Street.



(Public Hearing information on back of page)



Planner: Chris LaRue, Senior Planner (clarue@erie.gov)

Board or Commission: Planning Commission

Hearing For: Erie Junction Special Review Use 2025-00005

Date of Hearing: Wednesday, May 20, 2026

Time: 6:30 PM

Place: Planning Commission meetings will be held in person in the Town Hall Council Chambers, 645 Holbrook Street (first floor, northwest entrance) **UNLESS** otherwise noted in the **Town Calendar on the Town's website**. You can access the Town Calendar by going to the Town's website, www.erieco.gov and scrolling to the bottom of the page to "Events & Meetings". Select the "Planning Commission Meeting" in the box or click "View All" for more information, dates, and access to the meeting agenda. Please note: Public Comment can be given both in person and via Zoom (please see the Town Calendar at www.erieco.gov for Zoom information).

This letter is your notice of the above referenced hearing(s). We are sending you this notice as required by Erie Municipal Code Title X, Chapter 7.2.F.4.a. or as a referral agency of the Town. Copies of the application and support material for this project are on file and available for public inspection. Applicant materials are typically posted to the Town of Erie Agenda Center, online at <https://erie.legistar.com>, the Friday before the public hearing date. Public comment is welcome during public hearings; or, you may send email comments to Planner Chris Larue at clarue@erie.gov; or, written comments to Town of Erie - Planning, P.O. Box 750, Erie, CO 80516-0750. **If you have any questions, please call Planning at 303-926-2770.**

TOWN OF ERIE

AFFIDAVIT OF MAILING - PUBLIC HEARING NOTICE

I, Nicholas Jacobs, as the applicant/representative for the Erie Junction SRU 2025-00005 (project name & application type), hereby attest that on this 29th day of April, 2026, a true and correct copy of the Town of Erie Public Hearing Notice for the public hearing with the Planning Commission (Planning Commission or Board of Trustees) scheduled for 5/20/26 (public hearing date), marked as Exhibit "A" attached hereto and by reference incorporate herein, was mailed to those referenced in Exhibit "B" in accordance with the requirements of the Unified Development Code of the Town of Erie.

I further attest that the addresses shown in Exhibit "B" are true and correct addresses as determined from the records of the associated County Property Portal Records Search and that said Notices were placed in the United States Mail with the appropriate postage affixed thereon.

[Signature]
Applicant/Representative's Signature

4/29/2026
Date

STATE OF COLORADO)
) ss.
COUNTY OF Boulder)

ACKNOWLEDGED BEFORE ME THIS 29th DAY OF April, 2026 BY Catherine Jean Colbeck AS Notary public.

WITNESS MY HAND AND OFFICIAL SEAL:

[Signature]
NOTARY PUBLIC

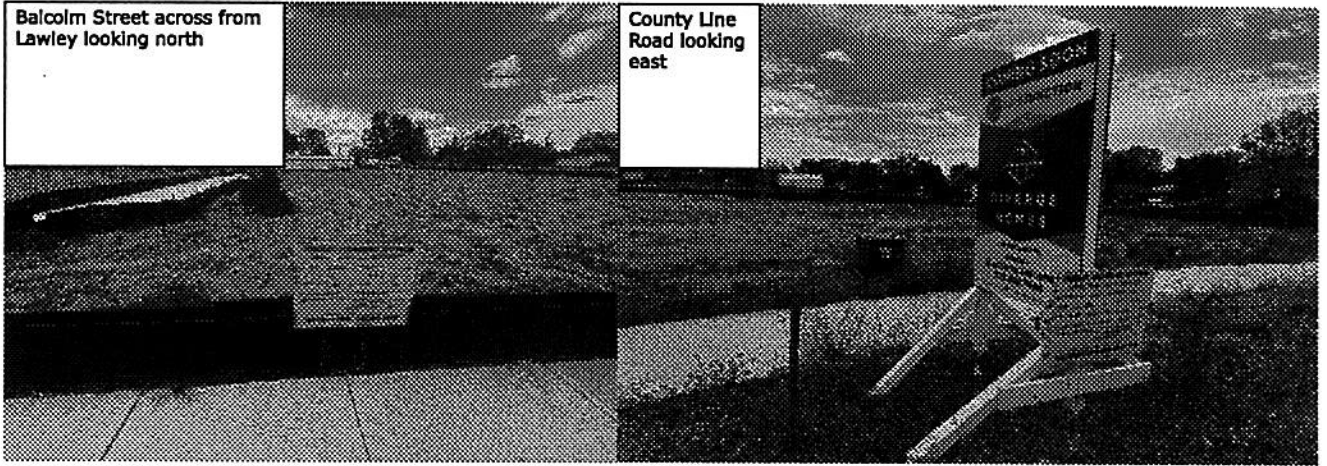
MY COMMISSION EXPIRES: 07-26-2027

CATHERINE JEAN COLBECK
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20234028224
MY COMMISSION EXPIRES 07/26/2027

**TOWN OF ERIE
AFFIDAVIT OF NOTICE POSTING**

ERIE JUNCTION PC COMM SRU 2025-00005

(PROJECT NAME & PUBLIC HEARING TYPE – PLANNING COMMISSION, BOARD OF TRUSTEES, BOA)



I, NICHOLAS JACOBS, ATTEST THAT NOTICE WAS POSTED IN ACCORDANCE WITH THE ERIE MUNICIPAL CODE, TITLE 10, – "UNIFIED DEVELOPMENT CODE AND DESIGN GUIDELINES," AT LEAST 15 DAYS BEFORE THE SCHEDULED HEARING TO BE HELD ON THE 20TH DAY OF MAY, 2026 A.D. THE PHOTO, ABOVE, IS A TRUE AND CORRECT PHOTO OF THE NOTICE SO POSTED ON APRIL 29, 2026.

(SIGNATURE OF PERSON LISTED ABOVE)

STATE OF COLORADO)
) ss.
COUNTY OF Boulder)

ACKNOWLEDGED BEFORE ME THIS 29th DAY OF April, 2026 BY Catherine Jean Colbeck
AS Notary Public.

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: 07-26-2027

CATHERINE JEAN COLBECK
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20234028224
MY COMMISSION EXPIRES 07/26/2027

#	accountno	SITUS	ownername1	mailaddress1	mailaddress2	mailcity	mailstate	New Zip3	Comments
1	R5784986	165 LAWLEY DR ERIE	165 LAWLEY DRIVE LLC	165 LAWLEY DR		ERIE	CO	80516-5004	Return to Sender Not Deliverable
2	R5784886	175 LAWLEY DR ERIE	455 S 43RD STREET LLC	C/O SHARON SANTA	8969 LITTLE RAVEN T	NIWOT	CO	80503-7185	
3	R5783886	140 LAWLEY DR ERIE	ABEYTA CARMEN	PO BOX 225		ERIE	CO	80516-0225	
4	R5765886	634 MOFFAT ST ERIE	ACEVEDO ARMANDO	2995 S BRYANT ST		DENVER	CO	80236-2820	
5	R5783586	170 LAWLEY DR ERIE	ANDREWS ALEX & ANDREWS DIANA	PO BOX 92		ERIE	CO	80516-0092	
6	R5766886	364 MAIN ST ERIE	ARNESON FAMILY TRUST	PO BOX 287		ERIE	CO	80516-0287	
7	R5752786	515 MAIN ST ERIE	BAACK REBECCA A & EWING CORI BAACK & FREESTONE HEIDI	PO BOX 1331		ERIE	CO	80516-1331	
8	R5783186	110 LAWLEY DR ERIE	BERGER ATHENA & CLIFTON ALEC	110 LAWLEY DR		ERIE	CO	80516-5007	
9	R8946801	665 MOFFAT ST ERIE	BERMAN RICHARD A	7342 WINDSOR DR		BOULDER	CO	80301-3718	Return to Sender Not Deliverable
10	R5751886	504 MAIN ST ERIE	BLANCH DOMINIC J	PO BOX 1154		ERIE	CO	80516-1154	
11	R5751686	635 MOFFAT ST ERIE	BRIARS JAMES D	PO BOX 411		ERIE	CO	80516-0411	
12	R5766386	424 MAIN ST ERIE	BUTLER MARC A & BUTLER TERESA M	PO BOX 784		ERIE	CO	80516-0784	
13	R5765486	694 MOFFAT ST ERIE	BUTTS KENNETH F & BUTTS NANCY J	694 MOFFAT ST		ERIE	CO	80516-8402	
14	R5765386	475 MAIN ST ERIE	CARTER HARLEY D	PO BOX 1325		ERIE	CO	80516-1325	
15	R5767986	300 HIGH ST ERIE	CASTRO JESS & CASTRO TERESA E	PO BOX 12		ERIE	CO	80516-0012	
16	R5766086	484 MAIN ST ERIE	CHAMPION DARREN	484 MAIN ST		ERIE	CO	80516-8700	
17	R5753986	575 MOFFAT ST ERIE	CONE TARA & MOHORNE ERIK E	PO BOX 882		ERIE	CO	80516-0882	
18	R5764586	415 MAIN ST ERIE	CROSSON PAUL R & CHRYSALYNN	PO BOX 248		ERIE	CO	80516-0248	
19	R5785186	380 LAWLEY DR ERIE	CULLISON JOSH	PO BOX 895		ERIE	CO	80516-0895	
20	R5783486	160 LAWLEY DR ERIE	DICKINSON GREGORY A & DICKINSON GWENDOLYN B	160 LAWLEY DR	PO BOX 1134	ERIE	CO	80516-1134	
21	R5784286	135 LAWLEY DR ERIE	DITLOW ROBERT L & DITLOW MARY F	PO BOX 1235		ERIE	CO	80516-1235	
22	R8946802	655 MOFFAT ST ERIE	DOW GERI-ELLEN & DOW STEPHEN	PO BOX 351		ERIE	CO	80516-0351	
23	R0184488	454 HIGH ST ERIE	DURAN FAMILY TRUST	PO BOX 892		ERIE	CO	80516-0892	
24	R5753086	515 MOFFAT ST ERIE	EARL BARBARA A	PO BOX 1002		ERIE	CO	80516-1002	
25	R5747186		ERIE TOWN OF	PO BOX 750		ERIE	CO	80516-0750	
26	R5747486		ERIE TOWN OF	PO BOX 9		ERIE	CO	80516-0098	
27	R0180590		ERIE TOWN OF	PO BOX 9		ERIE	CO	80516-0098	
28	R0184588	514 MOFFAT ST ERIE	FARINEAU RAMONA THERESE	PO BOX 766		ERIE	CO	80516-0766	
29	R5785386	360 LAWLEY DR ERIE	FERGUSON ANDREA J	PO BOX 854		ERIE	CO	80516-0854	
30	R5767686	330 HIGH ST ERIE	FOBARE CHARLES F & FOBARE SANDRA J	PO BOX 654		ERIE	CO	80516-0654	
31	R5767786	320 HIGH ST ERIE	FULTON STEVEN M & FULTON ROBYN L	PO BOX 288		ERIE	CO	80516-0288	
32	R5783086	100 LAWLEY DR ERIE	GEILING LINDA KAY	PO BOX 1411		ERIE	CO	80516-1411	
33	R5767386	355 MAIN ST ERIE	GEITHMAN WILLIAM A & GEITHMAN DONNA K	PO BOX 191		ERIE	CO	80516-0191	
34	R8965174	524 HIGH ST ERIE	GHUMM JOHN W JR	PO BOX 423		ERIE	CO	80516-0423	
35	R5765786	654 MOFFAT ST ERIE	GILL CHRISTINE & COLON JASON	654 MOFFAT ST		ERIE	CO	80516-8402	
36	R5784386	155 LAWLEY DR ERIE	HARRIS EDDIE LEE & HARRIS HANNELORE	PO BOX 588		ERIE	CO	80516-0588	
37	R5765286	455 MAIN ST ERIE	HART BRYANT E	PO BOX 1214		ERIE	CO	80516-1214	
38	R5766986	348 MAIN ST ERIE	HERNANDEZ MARIA GUADALUPE	PO BOX 701		ERIE	CO	80516-0701	
39	R5751386	685 MOFFAT ST ERIE	HERREL PAMELA HELTON	49 E TILDEN DR		BROWNSBURG	IN	46112-1660	
40	R8946800	?	HULL NATHAN	386 PAINTED HORSE WAY		ERIE	CO	80516-2663	
41	R5752986	535 MOFFAT ST ERIE	IHLE MEGAN E	535 MOFFAT ST		ERIE	CO	80516-5003	
42	R5784586	205 LAWLEY DR ERIE	JOHNSTON LAKRISHA E & JOHNSTON DANIEL W	245 ASPEN MEADOWS RD		NEDERLAND	CO	80466-9634	
43	R8960731	514 BALCOLM ST ERIE	JOYCE LOIS A	PO BOX 585		ERIE	CO	80516-0585	
44	R5784086	115 LAWLEY DR ERIE	KIPPLE JOSHUA & KIPPLE CASEY	115 LAWLEY DR		ERIE	CO	80516-7043	
45	R5783986	105 LAWLEY DR ERIE	KORBE RICHARD ALLEN	PO BOX 923		ERIE	CO	80516-0923	
46	R5767186	375 MAIN ST ERIE	KRIDEL KATHY	630 CORONADO PL		LONGMONT	CO	80504-2319	
47	R5765586	674 MOFFAT ST ERIE	LANGERAK DEBRA & LANGERAK STEPHEN	PO BOX 87		ERIE	CO	80516-0087	
48	R5765686	664 MOFFAT ST ERIE	LANGERAK STEPHEN R & LANGERAK DEBRA JO	PO BOX 87		ERIE	CO	80516-0087	
49	R5785286	370 LAWLEY DR ERIE	LARINGTON ANGELA & LARINGTON MICHAEL	PO BOX 130		ERIE	CO	80516-0130	
50	R5764686	405 MAIN ST ERIE	LEWIS JEAN A & POYEZDALA TODD	PO BOX 1221		ERIE	CO	80516-1221	

51	R5753886	585 MOFFAT ST ERIE	LOUIS KATHERINE O	PO BOX 363	ERIE	CO	80516-0363	
52	R5766186	464 MAIN ST ERIE	LOUIS KATHERINE O	PO BOX 363	ERIE	CO	80516-0363	
53	R5752386	695 MOFFAT ST ERIE	LOUIS KATHERINE O'DONNELL	PO BOX 363	ERIE	CO	80516-0363	
54	R5767886	310 HIGH ST ERIE	MACKENZIE MALCOLM & MACKENZIE JULI BETH	PO BOX 4	ERIE	CO	80516-0004	
55	R5764986	444 HIGH ST ERIE	MADISON BRUCE	PO BOX 1251	ERIE	CO	80516-1251	
56	R5785086	390 LAWLEY DR ERIE	MATTERN JOHN WILLIAM & MATTERN DEBRA MARIE	PO BOX 446	ERIE	CO	80516-0446	
57	R5751986	514 MAIN ST ERIE	MILLER THOMAS DALE & MILLER KELLY ANN	PO BOX 342	ERIE	CO	80516-0342	
58	R4192906	545 MAIN ST ERIE	MILLICENT E HAMPTON REVOCABLE LIVING TRUST	545 MAIN ST	ERIE	CO	80516-5001	Return to Sender Not Deliverable
59	R5784186	125 LAWLEY DR ERIE	MONTANO RAY	125 LAWLEY DR	ERIE	CO	80516-7043	
60	R5766686	404 MAIN ST ERIE	MURPHY JOHN R & MURPHY ROSE P	1381 WASHBURN ST	ERIE	CO	80516-6985	
61	R8960730	340 HIGH ST ERIE	NAVE GREGORY A	PO BOX 835	ERIE	CO	80516-0835	
62	R8960730	340 HIGH ST ERIE	NAVE KYLIE J				-	
63	R5767286	365 MAIN ST ERIE	NAVE KYLIE JANE & STORK CATHERINE JANE & GOULANDRIS KATH	PO BOX 835	ERIE	CO	80516-0835	
64	R5766786	374 MAIN ST ERIE	NEAVE NADIA	833 DAWN AVE	ERIE	CO	80516-2549	
65	R5751786	625 MOFFAT ST ERIE	ODOM JARED KARSTEN & DANYA SUE	PO BOX 451	ERIE	CO	80516-0451	
66	R5747286		OLD TOWN LIVING LLC	458 DISTEL DR	LOS ALTOS	CA	94022-1715	
67	R0089888	485 MAIN ST ERIE	ORMSBEE MYA ROSE & ORMSBEE KRISTIN J	485 MAIN ST	ERIE	CO	80516-5000	
68	R5764886	424 HIGH ST ERIE	PETTRONE CHAD A & PETTRONE BRITTANY E	PO BOX 1361	ERIE	CO	80516-1361	
69	R5784486	145 LAWLEY DR ERIE	QUESADA HENRY P & QUESADA ELAINE J	PO BOX 251	ERIE	CO	80516-0251	
70	R5784686	195 LAWLEY DR ERIE	QUICK KIMBERLY	195 LAWLEY DR	ERIE	CO	80516-5004	
71	R5783386	150 LAWLEY DR ERIE	ROCKTON 150 LAWLEY LLC	PO BOX 1111	ERIE	CO	80516-1111	
72	R8975335	342 MAIN ST ERIE	ROCKTON 342 MAIN LLC	2801 N 111TH ST	ERIE	CO	80516-3003	
73	R5746586	345 MAIN ST ERIE	ROSARIO DOMINIQUE A & ROSARIO THURLOW CAREY S	345 MAIN ST	ERIE	CO	80516-5005	
74	R0089988	544 MOFFAT ST ERIE	ROSENBERG DAVID	109 W CLEVELAND ST	LAFAYETTE	CO	80026-1621	
75	R5766586	688 MOFFAT ST ERIE	SANTI MANUEL A & SANTI DEBRA J	688 MOFFAT ST	ERIE	CO	80516-8402	
76	R5751186	635 WELLS ST ERIE	SCHOOL DIST No. RE1-J	395 S PRATT PKWY	LONGMONT	CO	80501-6436	
77	R5766486	684 MOFFAT ST ERIE	SELOOVER JACK LEE & SELOOVER RUTH E	684 MOFFAT	ERIE	CO	80516-8402	
78	R5752286	544 MAIN ST ERIE	SINKULE BRICE & SINKULE JANESSA	544 MAIN ST	ERIE	CO	80516-5055	
79	R5765986	624 MOFFAT ST ERIE	SOMSKY TONI & NEIBERGER ANGELA S	PO BOX 104	ERIE	CO	80516-0104	
80	R5785486	350 LAWLEY DR ERIE	TATRO JENNIFER	350 LAWLEY DR	ERIE	CO	80516-5051	
81	R5764486	435 MAIN ST ERIE	THEISEN DAVID K & THEISEN TRINA L	435 MAIN ST	ERIE	CO	80516-5000	
82	R5783286	120 LAWLEY DR ERIE	WAGENER DAVE V & WAGENER MONICA C	PO BOX 1452	ERIE	CO	80516-1452	
83	R5783786	130 LAWLEY DR ERIE	WAGENER ROBERT A & RAUDABAUGH KENDRA S	PO BOX 1211	ERIE	CO	80516-1211	
84	R5764786	404 HIGH ST ERIE	WENDZEL DAN J & WENDZEL JIMA S	PO BOX 253	ERIE	CO	80516-0253	
85	R5784786	185 LAWLEY DR ERIE	WETZBARGER ANDREW	185 LAWLEY DR	ERIE	CO	80516-5004	

**Town of Erie
Resolution No. 22-03**

**A Resolution of the Board of Trustees of the Town of Erie
Approving the Erie Junction Preliminary Plat**

Whereas, Erie Junction LLC ("Applicant") owns the real property more particularly described as a parcel of land, located in the Southwest Quarter of Section 18, Township 1 North, Range 68 West of the 6th Principal Meridian, Town of Erie, County of Weld, State of Colorado (the "Property");

Whereas, on July 13, 2021 Applicant filed an application for approval of a Preliminary Plat for the Property (the "Application");

Whereas, on December 15, 2021 the Planning Commission held a properly-noticed public hearing on the Application and recommended that the Board of Trustees approve the Application with one condition; and

Whereas, on January 25, 2022, the Board of Trustees conducted a properly-noticed public hearing on the Application.

Now Therefore be it Resolved by the Board of Trustees of the Town of Erie, Colorado, that:

Section 1. Findings of Fact. The Board of Trustees, upon reviewing the recommendation of the Planning Commission, hearing the statements of staff and the public, and giving due consideration to the matter, finds and determines as follows:

- a. The Application complies with Title 10 of the Erie Municipal Code (the "UDC") and other applicable law and is consistent with the Town's Comprehensive Plan;
- b. The Preliminary Plat is consistent with and implements the intent of the zone district in which it is located;
- c. The Preliminary Plat will not result in significant adverse impacts on the natural environment, including air, water, noise, storm water management, wildlife, and vegetation, or such impacts will be substantially mitigated;
- d. The Preliminary Plat will not result in significant adverse impacts on adjacent properties; and
- e. Adequate and sufficient public safety, transportation, utility facilities and services, recreation facilities, parks, and schools are available to serve the Property, while maintaining sufficient levels of service to existing development.

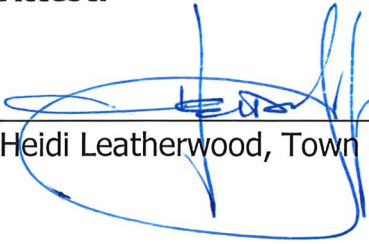
Section 2. Decision. Based on the foregoing findings of fact, the Application is hereby approved with the following condition, which shall be satisfied prior to approval of the Final Plat for the Property: at the time of Final Plat, Applicant shall execute a detailed Development Agreement, in the form provided by the Town.

Adopted this 25th day of January, 2022.



Jennifer Carroll, Mayor

Attest:



Heidi Leatherwood, Town Clerk



**Town of Erie
Resolution No. 23-134**

**A Resolution of the Board of Trustees of the Town of Erie Approving
a Development Agreement and Accepting Dedications as Shown on
the Final Plat for the Erie Junction Subdivision**

Whereas, on April 4, 2022, Erie Junction, LLC filed an application for approval of the Final Plat for the Erie Junction Subdivision (the "Final Plat");

Whereas, the Planning and Development Director has conditionally approved the Final Plat, on the condition that the Board of Trustees approve an associated development agreement and accept certain dedications as shown on the Final Plat;

Whereas, on November 14, 2023, the Board of Trustees considered the Development Agreement and the acceptance of the dedications as shown on the Final Plat; and


Whereas, the Board of Trustees desires to approve the Development Agreement and to accept the dedications as shown on the Final Plat.

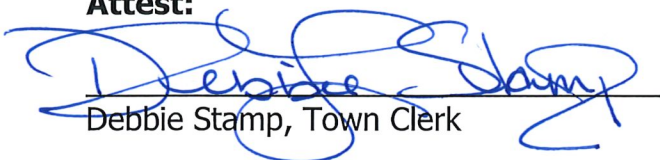
Now Therefore be it Resolved by the Board of Trustees of the Town of Erie, Colorado, that:

Section 1. The Board of Trustees hereby approves the Development Agreement for the Erie Junction Subdivision in substantially the form attached hereto, subject to final approval by the Town Attorney. Upon such approval, the Mayor is authorized to execute the development agreement on behalf of the Town.

Section 2. The Board of Trustees hereby accepts the dedications shown on the Final Plat for the Erie Junction Subdivision.

Adopted this 14th day of November, 2023.


Justin Brooks, Mayor
Sara Loftin, Mayor Pro Tem

Attest:

Debbie Stamp, Town Clerk



From: [Liz Fisher](#)
To: [Planning Commission Board](#)
Subject: Erie Junction
Date: Tuesday, May 19, 2026 10:05:09 AM

External Email: Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Planning Commissioners,

We were not able to join the virtual Neighborhood Meeting on 4/16 but have reviewed the Notes and all associated materials.

Frankly, we were shocked to read the comments made by Nick Jacobs of Diverge Homes. It seems he used the meeting as an opportunity to air his personal grievances about Erie's water restrictions and the Town's development code requirements, along with venting his personal distaste for the nearby Cheseman St. Residences. We are very concerned that this apparent lack of professionalism will also be reflected in the building of Erie Junction.

We do not object to the proposed garage options, per se. But we do object to the entitled attitude of a developer who casually states that "construction can be a nuisance for parking, noise and dust and that sometimes workers make mistakes", and wonder how responsive Mr. Jacobs and his associates will actually be to the inevitable calls from neighbors.

In our opinion, more should be done proactively to protect the folks who live there now from the parking, noise and dust issues, because those "nuisance" conditions can easily rise to the level of health and safety concerns. What measures, if any, have been planned for mitigation? Erie Junction is not being built in a vacuum. It is smack dab in the middle of a long-established, densely populated residential neighborhood.

We also think that new contiguous fencing along the entire northern perimeter should be provided by the developer for both privacy and aesthetics, and that the 2 foot buffer area should be maintained by the developer as a basic courtesy to the neighbors whose homes will be the most impacted.

On its website, Diverge Homes refers to the "architectural legacy and timeless charm" of Old Town. How about respecting that legacy and charm by building responsibly?

Thank you for considering our thoughts.

James Briars and Elisabeth Fisher
635 Moffat St.
Erie, CO 80516



TOWN OF ERIE

645 Holbrook Street
Erie, CO 80516

Planning Commission

Board Meeting Date: 5/20/2026

File #: 2026-321, **Version:** 1

SUBJECT:

A Resolution of the Planning Commission of the Town of Erie Recommending that the Town Council Adopt an Ordinance Amending Chapters 6 and 11 of Title 10 of the Erie Municipal Code Regarding Landscaping

DEPARTMENT: Planning & Development

PRESENTER(S): Kelly Driscoll, Deputy Director of Planning & Development
Eliot Schaefer, Deputy Town Attorney

TIME ESTIMATE: 15 minutes

For time estimate: please put 0 for Consent items.

FISCAL SUMMARY:

N/A

POLICY ISSUES:

Current provisions in the code are not consistent with State law on 'non-functional turf'. The Planning Commission will consider an update to the code to bring the Town into compliance and make a recommendation to Town Council.

STAFF RECOMMENDATION:

Adoption of Resolution No. P26-09 recommending the Town Council Adopt an Ordinance Amending Chapters 6 and 11 of Title 10 of the Erie Municipal Code Regarding Landscaping.

SUMMARY/KEY POINTS

- HB 24-005 and SB 25-113, codified as CRS Sec. 37-99-101 through 104, require that municipalities prohibit nonfunctional turf, artificial turf, and invasive plant species from being installed on the following properties:
 - commercial, institutional, or industrial;
 - property within a common interest community that is owned and maintained by a unit owners' association;
 - rights-of-way, parking lots, medians, or transportation corridors;
 - property with a multifamily dwelling unit containing 12 or more dwelling units.

File #: 2026-321, **Version:** 1

- Chapters 6 and 11 of Title 10 of Erie municipal code must be amended to comply with tSate law.
- The staff report and presentation contain more detail on the proposed changes.

ATTACHMENT(S):

1. Resolution P26-09
2. Draft Ordinance
3. Staff Report
4. Presentation

**Town of Erie
Ordinance No. __-2026**

**An Ordinance of the Town Council of the Town of Erie Amending
Chapters 6 and 11 of Title 10 of the Erie Municipal Code Regarding
Landscaping**

Whereas, during the 2024 General Session, the Colorado General Assembly enacted SB24-005 to establish a State law concerning the conservation of water in the State through the prohibition of certain landscaping practices, and the laws established by SB24-005 were modified during the 2025 General Session by HB25-1113 which expanded the applicability of the law; and

Whereas, the Town supports the policy goal of water conservation and desires to update the landscaping standards in the Town of Erie’s Unified Development Code to implement the provisions of State law.

Now Therefore be it Ordained by the Town Council of the Town of Erie, Colorado, as follows:

Section 1. Section 10-6-4 of the Erie Municipal Code is hereby amended to read as follows:

10-6-4 Landscaping, screening, and fencing.

* * *

- B. *Landscape plan:* All development applications shall be accompanied by a landscape plan meeting the requirements of this section. The landscape plans shall be submitted and reviewed as part of the site plan process. Installation of approved landscaping shall occur prior to issuance of a certificate of occupancy or during the first month of the planting season, whichever is sooner. If the landscaping installation does not occur before issuance of a certificate of occupancy, then the town will require a letter of credit or other guarantee for improvements not installed as detailed in section ~~10-6-4 F.7~~ 10-6-4 D.9.
- C. *Minimum landscaping requirements:* The minimum landscaping requirements in this chapter are cumulative.
 - 1. *Right-of-way:* The property owner shall provide:

* * *

- b. Live groundcover as appropriate to the use and function of the area described in section ~~10-6-4 E.1.a~~ 10-6-4 C.1.a, including grass, trees, flowers, or shrubs, or grass seed or sod that (i) is a native plant, or (ii) has been hybridized for arid conditions. In commercial areas, such area

may be paved if it functions as pedestrian access to storefronts and is integrated into the overall design of the other improvements on the site.

* * *

2. *Single-family and duplex dwelling units:* In addition to the right-of-way landscaping described in section ~~10-6-4 E.1~~ 10-6-4 C.1., the property owner shall:

* * *

3. *Multi-family dwelling units:* In addition to the right-of-way landscaping described in section ~~10-6-4 E.1~~ 10-6-4 C.1., the property owner shall:

* * *

- c. Install groundcover, either irrigated functional turf maintained to appropriate standards for active recreation in active recreation areas, or where appropriate, native grass or grass that has been hybridized for arid conditions for areas that will not function as active recreation areas. Native grass or grass that has been hybridized for arid conditions shall be weed-free and maintained at an appropriate height according to species. Use of irrigated turf is discouraged and shall be minimized to the maximum extent reasonably practicable.
- d. Install parking lot landscaping as required in section ~~10-6-4 E.5~~ 10-6-4 C.5.

* * *

4. *Nonresidential:*

- a. The property owner shall provide right-of-way landscaping pursuant to section ~~10-6-4 E.1~~ 10-6-4 C.1.

* * *

6. *Stormwater facilities:*

* * *

- f. Credit towards minimum park or open space requirements may be available for portions of detention ponds that are outside the area required to store water quality volume, provided they are designed according to sections ~~10-6-4 E.6.a and b~~ 10-6-4 C.6.a. and b., and are useable by residents as parks or open space. To be eligible for this credit, detention basins shall not be more than an average of three feet deep and shall also meet at least one of the use definitions of parks and open space. Average depth shall be measured from existing grade.

* * *

- D. *Additional landscaping requirements and standards:*

* * *

2. *Water efficiency in landscape design:* Landscape improvements shall be designed with water efficiency as a major goal. Landscape plans shall use the follow design treatments to facilitate water conservation:
 - a. Appropriate selection of turf, native grass, or grass that has been hybridized for arid conditions ~~selection to minimize the use of bluegrass;~~

* * *

4. *Artificial materials prohibited:* Artificial plants, ~~artificial grasses nonfunctional artificial turf,~~ and other artificial plant material are prohibited as a means of complying with these landscaping regulations. However, they functional artificial turf may be used ~~for athletic fields and similar uses as~~ approved by the town, but shall not be used in any manner to satisfy the requirements of these landscape regulations.
5. *Plant ~~quality~~ materials and prohibitions:*
 - a. Xeriscape plant materials are strongly encouraged.
 - b. All landscape materials shall be in compliance with the current standards recommended by the American Association of Nurserymen. Plants shall have a habit of growth that is normal for the species and shall be of good health, vigorous growth, and free from insect pests, diseases, and injuries. All plants shall equal or exceed the measurements specified on the landscape plan. Substitutions shall not be permitted without the written approval of the director.
 - c. Invasive species, nonfunctional turf, and nonfunctional artificial turf are prohibited from being installed, planted, or placed on any portion of (i) commercial, institutional, or industrial property; (ii) property within a common interest community that is owned and maintained by a unit owners' association; (iii) rights-of-way, parking lots, medians, or transportation corridors; or (iv) property with a multifamily dwelling unit containing 12 or more dwelling units.
 - d. Notwithstanding subsection c., a person may install, plant, or place grass seed or sod that is native or has been hybridized for arid conditions.

* * *

8. *Irrigation:* All landscape areas shall be provided with an adequate and complete-coverage automatic water-efficient irrigation system as provided in section ~~10-6-4 E.3~~ 10-6-4 D.3.

* * *

Section 2. Section 10-11-3 of the Erie Municipal Code is hereby amended to read as follows:

* * *

Artificial turf. An installation of synthetic materials developed to resemble natural grass.

* * *

Functional artificial turf. Artificial turf that is (i) located in an area that is regularly used for civic, community, or recreational purposes, which may include a playground, a sports field, a picnic ground, an amphitheater, a portion of a park, and the playing area of a golf course, such as a driving range, chipping and putting green, tee box, green, fairway, and rough; or (ii) a component of a product designed and approved to a professional engineer for civil infrastructure projects, including, but not limited to, covers for solid waste facilities and revetments for slopes, channels, levees, and dams.

* * *

Functional turf. Continuous plant coverage consisting of nonnative grasses or grasses that have not been hybridized for arid conditions, and which, when regularly mowed, form a dense growth of leaf blades and roots, that is located in an area that is regularly used for civic, community, or recreational purposes, which may include a playground, a sports field, a picnic ground, an amphitheater, a portion of a park, and the playing area of a golf course, such as a driving range, chipping and putting green, tee box, green, fairway, and rough.

* * *

Invasive plant species. Plants that (a) are not native to the state and that are (i) introduced to the state accidentally or intentionally, (ii) have no natural predators or competitors in the state, because the state is outside of their natural competitor or predator range, and (iii) have harmful effects on the state's environment or economy or both, or (b) appear on the Noxious Weed List maintained and published by the Colorado Department of Agriculture.

* * *

Native plants. A plant species that is indigenous to the state of Colorado.

* * *

Nonfunctional artificial turf. Turf that is not functional artificial turf.

* * *

Nonfunctional turf. Turf that is not functional turf.

* * *

Section 3. Severability. If any article, Section, paragraph, sentence, clause, or phrase of this Ordinance is held to be unconstitutional or invalid for any reason, such decision shall not affect the validity or constitutionality of the remaining portions of this Ordinance. The Town Council hereby declares that it would have passed this Ordinance and each part or parts hereof irrespective of the fact that any one, or part, or parts be declared unconstitutional or invalid.

Section 4. Safety. The Town Council finds that the adoption of this Ordinance is necessary for the protection of the public health, safety and welfare.

Section 5. Effective Date. This Ordinance shall take effect 10 days after publication following adoption.

EXPLANATORY NOTE:

~~STRIKETHROUGHS~~ INDICATE MATERIAL DELETED FROM EXISTING LAW;
UNDERLINES INDICATE MATERIAL ADDED TO EXISTING LAW;
ASTERISKS * * * INDICATE MATERIAL UNCHANGED BY THIS ORDINANCE.

Introduced, Read, Passed and Ordered Published this ___ day of _____, 2026.

Andrew J. Moore, Mayor

Attest:

Debbie Stamp, Town Clerk

**TOWN OF ERIE
PLANNING COMMISSION MEETING
May 20, 2026**

SUBJECT: **Resolution P26-09**
A Resolution of the Planning Commission of the Town of Erie
Recommending that the Town Council Adopt an Ordinance
Amending Chapters 6 and 11 of Title 10 of the Erie Municipal
Code Regarding Landscaping

PURPOSE: Align the Unified Development Code with State law regarding
landscaping

CODE REVIEW: Erie Municipal Code, Title 10

DEPARTMENT: Planning and Development

PRESENTER: Kelly Driscoll, Deputy Planning & Development Director
Eliot Schafer, Deputy Town Attorney

STAFF RECOMMENDATION:

Staff recommend that the Planning Commission adopt Resolution P26-09
recommending the Town Council adopt an ordinance amending Title 10 of the Erie
Municipal Code regarding landscaping.

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

State law requires municipalities prohibit non-functional turf, artificial turf, and
invasive plant species from being installed on “applicable properties”; enumerated as
follows:

- Commercial, Institutional, or Industrial;
- Property within a common interest community that is owned and maintained
by a unit owners’ association;
- Rights of way, parking lots, medians, or transportation corridors; and
- A multifamily dwelling unit containing 12 or more units.

State law defines functional turf as

*Turf that is located in a recreational use area or other space that is regularly
used for civic, community or recreational purposes, which may include
playgrounds; sports fields; picnic grounds; amphitheaters; portions of parks;
and the playing areas of golf courses, such as driving ranges, chipping and
putting greens, tee boxes, greens fairways, and roughs.*

State law exempts turf that is a part of a water quality treatment solution required for compliance with federal, State, or local agency water quality permitting requirements that is not irrigated and does not have herbicides applied. Nonfunctional turf includes turf located in a street right-of-way, parking lot, median, or transportation corridor.

The State law makes a distinction between non-native grasses (i.e., "turf," as defined by the law) and native grasses and grasses that have been hybridized for arid conditions. The use of native grass and grass hybridized for arid conditions is still allowed on "applicable property." See [CRS Sec. 37-99-103\(4\)\(c\)](#).

PROPOSED CHANGES:

The State law necessitates changes to the Unified Development Code (UDC), specifically Chapters 6 and 11. The proposed changes are as follows:

- Prohibit invasive species, nonfunctional turf, and nonfunctional artificial turf on applicable properties;
- Allow grass seed or sod that is native or has been hybridized for arid conditions;
- Correct various code section references; and
- Update and add definitions to align with State law.

A communications plan is underway to aid in explaining these changes to developers and the community. The plan will include FAQs, suggested native or hybridized grass types, direct email communications to stakeholders, and a webpage.

The Town Council public hearing for the proposed UDC amendments is scheduled for June 9, 2026.

Approval Criteria

Section 10-7-18(C)(9) of the Erie Municipal Code states the following approval criteria when considering amendments to the text of the UDC:

1. The proposed amendment will promote the public health, safety, and general welfare; and
2. The proposed amendment is generally consistent with the Town's Comprehensive Master Plan and the stated purposes of this UDC; and
3. The proposed amendment is necessary or desirable because of changing conditions, new planning concepts, or other social or economic conditions.

Staff find these amendments necessary to comply with State law and recommend that the Planning Commission adopt Resolution No. P26-09 recommending that the Town Council adopt an ordinance, amending Chapters 6 and 11 of Title 10 of the Erie Municipal Code regarding landscaping.

Attachments

1. Resolution P26-09
2. Draft Ordinance

3. Staff Report
4. Staff Presentation



ERIE
COLORADO

Proposed UDC Changes to Title 10

Planning Commission

Kelly Driscoll, Deputy Planning & Development Director
Eliot Schaefer, Deputy Town Attorney

May 20, 2026



Request

Amendments to Title 10 regarding turf and landscaping



Overview

- Background
- Proposal
- Decision



Background

State law requires municipalities prohibit non-functional turf, artificial turf and invasive plant species from being installed on “applicable properties”; enumerated as follows:

- Commercial, Institutional, or Industrial;
- Property within a common interest community that is owned and maintained by a unit owners’ association;
- Rights of way, parking lots, medians, or transportation corridors;
- A multifamily dwelling unit containing 12 or more units



Background

State law defines functional turf as

Turf that is located in a recreational use area or other space that is regularly used for civic, community or recreational purposes, which may include playgrounds; sports fields; picnic grounds; amphitheaters; portions of parks; and the playing areas of golf courses, such as driving ranges, chipping and putting greens, tee boxes, greens fairways, and roughs.



Background

Nonfunctional turf includes turf located in a street right-of-way, parking lot, median, or transportation corridor.

The use of native grass and grass hybridized for arid conditions is still allowed on “applicable property.”



Proposal

- Prohibit invasive species, nonfunctional turf, and nonfunctional artificial turf on applicable properties
- Allow grass seed or sod that is native or has been hybridized for arid conditions
- Correct various code section references
- Update and add definitions to align with state law



Overview

- ✓ Background
- ✓ Proposal
- Decision



Approval Criteria – 10-7-18

- a. The proposed amendment will promote the public health, safety, and general welfare;
- b. The proposed amendment is generally consistent with the Town's Comprehensive Master Plan and the stated purposes of this UDC; and
- c. The proposed amendment is necessary or desirable because of changing conditions, new planning concepts, or other social or economic conditions.



Public Notice

Neighborhood Meeting: Not Applicable

PUBLIC NOTICE OF HEARING

Public Hearing is not required at Planning Commission for UDC changes



Next Steps

The Town Council public hearing for these amendments is scheduled for June 9, 2026



Staff Recommendation

Adoption of Resolution P26-09

Recommending the Town Council Adopt an Ordinance Amending Chapters 6 and 11 of Title 10 of the Erie Municipal Code Regarding Landscaping



ERIE
COLORADO

Proposed UDC Changes to Title 10

Planning Commission

Kelly Driscoll, Deputy Planning & Development Director
Eliot Schaefer, Deputy Town Attorney

May 20, 2026



Planning Commission

Board Meeting Date: 5/20/2026

File #: 2026-324, **Version:** 1

SUBJECT:

Discussion on Proposition 123 Fast Track

DEPARTMENT: Planning & Development

PRESENTER(S): Ben Hemphill, Planning Commission Chair

TIME ESTIMATE: 20 minutes

For time estimate: please put 0 for Consent items.

POLICY ISSUES:

Discussion item only.

STAFF RECOMMENDATION:

Discussion item only.

SUMMARY/KEY POINTS

Item added at Chair Hemphill's request for discussion in preparation for June 2 Study Session.

BACKGROUND OF SUBJECT MATTER:

At the request of Chair Hemphill, this item is on the agenda for the Commission to discuss Proposition 123 Fast Track in advance of the Joint Session with Town Council. The Joint Session with Council is scheduled for June 2.

- Proposition 123 was approved by voters in 2022 creating the State Affordable Housing Fund (\$300M).
 - Eligible entities are nonprofits, developers, local governments and community land trusts within a jurisdiction that has made a Prop 123 commitment
 - Erie's three-year commitment was filed with DOLA on June 27, 2023 - for a total of 15 units. The Cheesman Residences have satisfied the initial commitment.
- Planning Commission discussed amendments to Chapters 6 and 7 of Title 10 of the municipal code regarding alternative standards for affordable housing projects at their July 2, 2025, meeting.
- Town Council removed the alternative standard for affordable housing projects at their August 12, 2025, meeting.

File #: 2026-324, **Version:** 1

- HB 26-1360 transfers 40% from the State Affordable Housing Fund to the General Fund on June 30, 2026, to balance the budget.

Various documents are provided as attachments for reference.

ATTACHMENT(S):

1. Planning Commission Meeting Minutes July 2, 2025
2. Resolution P25-07
3. Ordinance No. 023-2025
4. Proposition 123
5. DOLA Commitment Filings - First Cycle

TOWN OF ERIE

*645 Holbrook Street
Erie, CO 80516*



Meeting Minutes

Wednesday, July 2, 2025

6:30 PM

In Person Meeting

To View Meeting Virtually on Zoom: <https://bit.ly/2July25PCMtg>
Council Chambers
To Sign Up for Public Comment: www.erieco.gov/PublicComment

Planning Commission

I. CALL TO ORDER & PLEDGE OF ALLEGIANCE TO FLAG

Chair Burns called the July 2, 2025 Planning Commission Meeting to order at 6:38pm.

II. ROLL CALL

Roll Call:

Commissioner Dreckman - present
Commissioner Sawusch - present
Commissioner Booth - present
Commissioner Braudes - present
Commissioner Baham - present
Vice Chair Hemphill - present
Chair Burns - present

A quorum was present.

III. APPROVAL OF THE AGENDA

Commissioner Booth moved to approve the agenda of the July 2, 2025 Planning Commission Meeting. The motion, seconded by Commissioner Dreckman, carried with the following roll call vote:

Commissioner Dreckman - yes
Commissioner Sawusch - yes
Commissioner Booth - yes
Commissioner Braudes - yes
Commissioner Baham - yes
Vice Chair Hemphill - yes
Chair Burns - yes

The motion carried unanimously.

IV. APPROVAL OF MINUTES

[25-411](#) Approval of the June 18, 2025 Planning Commission Meeting Minutes

Attachments: [June 18, 2025 Planning Commission Meeting Minutes](#)

Commissioner Braudes moved to approve the meeting minutes of the June 18, 2025 Planning Commission Meeting. The motion, seconded by Commissioner Booth, carried with the following roll call vote:

Commissioner Dreckman - yes
Commissioner Sawusch - yes
Commissioner Booth - yes
Commissioner Braudes - yes
Commissioner Baham - yes
Vice Chair Hemphill - yes
Chair Burns - yes

The motion carried unanimously.

V. PUBLIC COMMENTS

No public comments were taken.

VI. GENERAL BUSINESS

[25-393](#) PUBLIC HEARING: A Resolution of the Planning Commission of the Town of Erie Approving the Erie Highlands Filing 17 Commercial Site Plan

Attachments: [Resolution P25-11](#)
[Staff Report](#)
[Staff Presentation](#)
[Applicant Presentation](#)
[Proposed Site Plan](#)
[Application and Narrative](#)
[Additional Application Materials](#)
[DRT Comments](#)
[Neighborhood Meeting Notice and Summary](#)
[Public Notice](#)

Chair Burns announced Agenda Item 25-393: A Public Hearing for a Resolution of the Planning Commission of the Town of Erie Approving the Erie Highlands Filing 17 Commercial Site Plan.

Chair Burns opened the public hearing at 6:42pm and turned it over to staff for presentation.

Harry Brennan, Senior Planner, provided a presentation to the Commission on the Erie Highlands Filing 17 Site Plan.

The applicant, Erica Shorter of Evergreen Development, provided a presentation and additional background information on the project to the Commission.

Chair Burns opened up the Public Comments portion of the Public Hearing at 7:04pm. Public comment was taken from the following resident:

Cord-Patrick Kammholz of 1078 Magnolia Street, Erie, CO 80516. Mr. Kammholz noted that he disagrees with the compatibility with the proposed neighborhood. The proposed development would appear to have a higher impact than described. There is concern with the amount of vehicular movement brought forth by a McDonald's and QuikTrip which are the only two names uses of the pad sites. The property is surrounded by residential uses and a high school. Mr. Kammholz is specifically concerned with the amount of traffic that will be diverted to Glacier Drive and encourages the Planning Commission to encourage staff to consider taking a second look at the traffic layout of the site.

Chair Burns brought it back to the Commission for any questions and comments of the applicant and/or staff.

Some questions and comments included the following:

- Clarification as to why this application is being brought to the Planning Commission again since it's not a standard specific process though it's in the UDC

- In terms of the Administrative Review, we're looking at it as the multiple buildings that are over 25,000 square feet and move it to the Planning Commission.
- Total trips/trip generation at commercial side - 2348 estimated trips to generate from full build out, is this correct?
- There could be a large number of trips generated depending on the tenant
- Based on expressed concerns, what has been the outcome, what was changed in initial plan to current plan to alleviate some of those traffic concerns?
- What is the current use of the site as it currently sits?
- Does the site act as a detention pond currently?
- Regarding storm drainage and run off - confirming there's sufficient detention/retention at that site for not only current residential including the new commercial area
- Initial traffic study was conducted in 2013; when was the property annexed, when was the initial PD?
- This has been designated as commercial for many years, correct?
- This has always remained commercial designated?
- Comprehensive Plan has designated this site as commercial, correct?
- What is the distance to the oil and gas facility from the auto service to the south? Is it greater than 500 feet or does the annexation agreement say 350 feet?
- An agreement at one point set the distance at that time?
- There was an agreement at one time that set the distances for oil and gas.
- Are there any proposed tenants for any of the sites?
- Is the area across from Westerly staying open or blocking resident views? (Westerly's detention)
- Do we anticipate any of these sites going up to 3 stories?
- Is there pedestrian access going across Weld County Road 5 from Westerly and is there access from the high school site? - With the right it, right out on Weld County Road 5, there could be potential traffic issues.
- What kind of fencing do they have on these residential properties on Glacier Drive that have direct view of the site?
- Looks like there's landscaping to block the residential from the commercial site.
- Will the Planning Commission see anything going forward from here in the way of site plan applications on this site?
- Are the building materials similar to the ones in the Erie Highlands neighborhood?
- How does the land use (neighborhood commercial) fit with the comprehensive plan?
- Floor to Area Ratio is significantly lower than our land use plan which is concerning.
- There is potential for high school and middle school aged students to visit the site and possibly walk through the drainage area for quicker access. Was this taken into consideration when determining pedestrian access?
- To clarify, we haven't codified the Floor to Area Ratio?
- The code states that the site should generally comply with the comprehensive plan - there is some leeway.
- The definition of neighborhood commercial in the Comprehensive Plan under primary use, it accommodates a pedestrian oriented environment. The other primary use is to limit development and redevelopment to non-vehicular oriented land use. (drive-thru's, gas stations, oil change facilities, etc.)
- There is encouragement for staff to take a look at the site uses during the administrative site plan review for potential tenants with drive through access
- Is there any idea for a bridge over the drainage ditch to allow easier access to the site?

- Public parking concept plan: are the parking spots selected due to our minimums on the pad sites? Why were they chosen through this concept?
- The Sunset development does not have a sidewalk connection. Is there a plan to connect to this commercial area?
- Streets were re-aligned to make it safer, thank you
- Is there going to be fencing around the commercial space to keep people from coming through Erie Parkway and the buildings?
- Floor to Area Ratio: There is a trade off to what makes sense there (regarding density)
- Will parking be in each individual site plan
- Appreciates the traffic being included
- It is hard at this point since its conceptual and appreciates
- Along the created northern lots/pads, is there any consideration for moving them closer to main thoroughfare
- May help with pedestrian access and movement through the site more freely
- Concern regarding U-turns with right in, right out on the far east. People disregard this a lot.
- Are we within the requirements for allowing this for transportation standards? (right in, right out)
- Emergency vehicle access
- How much movement do you anticipate in the lot line placement with the final build out?
- Would be interesting to see less curb-cuts and shared entrances for easier access
- Unannexed property on County Road 5: town is interested in annexing it?
- Crosswalk on Glacier Drive and Highlands Drive, will that have a stop sign or blinking lights? This seems unsafe with pedestrian access if there isn't proper stop signs or lights.
- Strong encouragement for stop signs in this area
- Right in, right out will push more traffic into that intersection
- Definitely some increased traffic because you can't turn left out to Erie Parkway
- The setback from the existing oil and gas pad appears to be about 200 ft. to the corner of this site (especially with the daycare)
- The high school had to extend the soft barricades due to exiting issues
- Is there a way ideally that this would be an intersection?
- Between cars leaving, the school traffic, large vehicles from the landfill, this is a real concern.
- With more housing coming into Westerly the foot traffic will increase
- What was the "child safety" and cut-thru traffic note/concern that was noted in the Neighborhood Meeting?
- Is more concerned with the traffic on Weld County Road 5 with the heavy vehicle traffic (landfill trucks)
- When referring to the Floor to Area Ratio (FAR) that was in the Comprehensive Plan in Neighborhood Commercial, can you clarify the parking requirements? One or two of the pad sites may be under the minimum parking requirements.
- Are we taking into consideration the parking when referring to the FAR?
- Looking at the PUD, the Oil and Gas setback is 150 ft. for reference
- The daycare lot is about 350 ft (under 500 ft.) under this concept plan
- The Unified Development Code Section 10.1.3 b.9: "ensure that developments are substantially compatible with the town's comprehensive plan" was the code that was referenced in the earlier part of the discussion.
- Reiterating to staff, when going through the administrative site plan, try to ensure the site fits with what we are trying accomplish in the town

Chair Burns closed the public hearing for this agenda item at 8:09 pm and asked if there were any final comments of the Commission.

Final comments from the Commission included the following:

- This being a concept site plan, thinks it does meet the code requirements.
- Reminder of approval criteria and concerns noted, still need to be consistent with this criteria.
- Other consideration is some of the pad site loading areas/back of house and how they are configured. This would be good to have the shared space screened. If we can help facilitate more pedestrian friendly areas that would be helpful.
- Going to the approval criteria section of the code, it is "generally consistent". Some items may not be exact with the town's comprehensive plan. If there's a way to push the daycare further back from oil well that would be appreciated. Doesn't see anything that warrants any issues here. The main concern is the "right out" on Weld County Road 5 because of the landfill truck traffic and accidents in that area. There could be considerable traffic in that area and adding to it. This is just something to keep in mind.

Commissioner Braudes moved to approve Planning Commission Resolution P25-11, a Resolution of the Planning Commission of the Town of Erie Approving the Erie Highlands Filing 17 Commercial Site Plan. The motion, seconded by Commissioner Baham, with the following roll call vote.

Commissioner Booth - yes
Commissioner Baham - yes
Commissioner Dreckman - yes
Commissioner Sawusch - yes
Commissioner Braudes - yes
Vice Chair Hemphill - yes
Chair Burns - yes

Motion passes unanimously.

[25-397](#)

A Resolution of the Planning Commission of the Town of Erie Recommending that the Town Council Adopt an Ordinance Amending Chapters 6 and 7 of Title 10 of the Erie Municipal Code Removing Alternative Standards for Affordable Housing Projects

Attachments: [ORIGINAL Resolution No. P25-07](#)
[DRAFT REVISED Resolution No P25-07](#)
[ORIGINAL TO DRAFT COMPARISION No P25-07](#)
[Draft Ordinance](#)
[Staff Report 25-397](#)
[Ordinance No 017-2023](#)

Chair Burns announced the continuation of Resolution P25-07, a Resolution of the Planning Commission of the Town of Erie Recommending that the Town Council Adopt an Ordinance Amending Chapters 6 and 7 of Title 10 of the Erie Municipal Code Removing Alternative Standards for Affordable Housing Projects.

Chair Burns noted this was a discussion initiated at the May 7, 2025 Planning Commission Meeting. This agenda item was voted to be continued to today's meeting to finalize the recommendation to Town Council. Chair Burns reminded everyone that this is not a public hearing item and opened it up to Commissioners for comments, questions, and discussion. There was one proposed amended resolution/recommendation and Chair Burns asked Commissioner Braudes and Commissioner Sawusch to provide an explanation to the Commission and go forward from there.

The Commission had a very lengthy discussion regarding the direction from Council to remove all aspects of the Affordable Housing code, except for the definition of Affordable Housing project. Commissioners discussed possible changes to the ordinance to address some of the stated issues without repealing – limiting the number of units, capping the density bonus, minimum lot sizes, and approval of an expedited process by Planning Commission and Town Council.

Some questions and discussion points included the following:

- Original recommendation had the expedited process with a limit of 1,000 units and new proposal brought it down to 400. What is the reasoning?
- What was the number approved in Westerly, was it 2,000?
- Commissioner Sawusch and Mayor Moore brought up any number - is 400 to high to get people on board?
- Would 100 units even be feasible to fast track? There's an argument to go lower to get us by.
- There is a compromise between Planning Commission's view and Town Council's view.
- Item c notes the words "should" be approved and the Commission would recommend it be changed to state "shall"
- Clarification was requested on the expedited process with both Planning Commission and Council shall approve. Does the (90 day) clock restart once it's been brought to Council?
- Does the guidance include the two hearings within the 90 day time frame?
- Is the 90 day time frame for two boards/council to review?
- Are we putting something forward that is just going to be changed again?
- Ordinance that should be applied for applications now with the intent of revising it by some point next year
- Direction given to staff is to rescind
- We are putting three versions: What we have today; What we potentially might be proposing; and what it might actually end up being
- The version voted on will likely end up being different than what is existing. It's just a question on what the Planning Commission ends up recommending
- Request for clarification: There is no funding that is going to be allocated for those who have a fast track process currently in place or in place by November 2026. There is no difference in terms of the funding meaning if the Commission were to remove this, we're not at risk of losing funding as long as we have something in place by November 2026.
- For having a fast track process in place by November 2026, there are \$50,000 in grants
- After that date, there is still eligibility but at a lower amount (under \$50,000)
- The grant funds are for specific affordable housing planning even for a consultant to help rewrite the UDC to include these said items
- The 400 units needs to go down
- The use of the expedited process should be approved by both the Planning Commission and Town Council

- Increase and limits in density/minimums/percentages and zoning class - adding clarification with rezoning triggers
- Automatic review applications with 50% or more by law
- Commissioner Sawusch noted for the record, he has talked to every single Council member and 5 of the 7 Commissioners - there's no debate on there being holes, gaps or issues with this. Staff has also seen this. An amendment has to come - the question is about timing.
- Does the Commission repeal and later amend? Or keep it on the books and repeal and replace at a later date?
- The direction provided to staff from Council is a repeal.
- Does staff recommend a repeal?
- What is the timeline in terms of answers?
- If the recommendation came to staff to revise it, would that be staff's recommendation?
- Clear direction came from the Mayor to staff
- Can the Commission come up with something to address the concerns?
- Outright rescinding it leaves a hole
- No enforcement from the state
- No one is going to do this without incentive
- Density bonus and lot setbacks
- Burden on staff, public outcry and proper direction
- Application process and timing of requests
- Previously approved applications requesting the process without informing the Council or Planning Commission during public hearings/related public comment
- Proposition 123 requirements
- Whether staff can accommodate
- Ownership/rental AMI's between town requirements and Proposition 123 requirements
- Alternative equivalent compliance and standards
- Administrative approvals
- Town had one application utilize the fast track process (Cheesman Property)
- Commissioner Sawusch proposed there's a risk to leave it on the books and a risk to remove it
- Propose alternative recommendation repeal and recommend that the "Town Council task the Planning Commission to work with staff and Town Council including 1 or more study sessions with Town Council in order to develop a UDC amendment that addresses the concerns identified that is an application process which is Proposition 123 compliant which allows Town Council the necessary time to receive and review the community wide survey results and which allows staff the time to work with the DOLA consultant to address outstanding questions."
- There is majority support from the Council
- Concern surrounding maximizing densities
- Incentives
- Set process addressing specific concerns without removing everything
- Did the Commission request a working session with the Council?
- Why does the Council need to repeal? Is there a way to make recommendations to the resolution without repealing?
- Ultimate goal is to get the incentives and people into homes
- Guidelines and deadlines in the interim
- Struggles with removing the alternative standards

Due to the length of discussion, the Commissioners decided to conduct a straw

poll vote of the ordinance.

The majority of the Commissioners were in favor of not repealing the ordinance and taking a collaborative approach with Town Council for a new ordinance.

Chair Burns asked if there was a motion on this agenda item.

Commissioner Braudes moved to approve Resolution P25-07 with conditions. Those conditions being that the expedited process shall be limited to developments that are less than or equal to 100 units, of which 12 or more are designated affordable; and the Town Council task the Planning Commission to work with staff and Town Council including 1 or more joint study sessions with Town Council, in order to develop a UDC amendment that addresses the concerns identified, that is an application process which is Proposition 123 compliant which allows Town Council the necessary time to receive and review the community wide survey results, and which allows staff the time to work with the DOLA consultant to address outstanding questions.

The motion, seconded by Vice Chair Hemphill, carried with the following roll call vote:

Commissioner Booth - yes
Commissioner Baham - yes
Commissioner Dreckman - yes
Commissioner Sawusch - no
Commissioner Braudes - yes
Vice Chair Hemphill - yes
Chair Burns - yes

Motion passes 6 to 1 with Commissioner Sawusch voting no.

[25-399](#)

Election of Chair and Vice Chair of the Planning Commission

Chair Burns announced Agenda Item 25-399: Election of Chair and Vice Chair of the Planning Commission.

Chair Burns announced that the Commission would be voting on a new Chair and Vice Chair of the Planning Commission. Positions will serve for the next year and will be effective immediately.

Chair Burns asked if there was a motion to nominate a Chair of the Planning Commission.

Commissioner Booth was going to make a motion to move this agenda item to the next Planning Commission meeting but asked for clarification on the positions being effective immediately. Chair Burns noted that there may not be another meeting this month as there are no items on the agenda and the next meeting wouldn't be until August. Last election was held in June and it's time to vote on the next Chair and Vice Chair as the Commission is overdue.

Commissioner Sawusch asked if there were things that the Commission could be doing instead of canceling meetings. It was noted that there are no agenda items but the Commission could discuss this after the elections.

Commissioner Booth asked about the process for election and if it was generally asked if anyone had interest in serving.

Chair Burns noted that he is willing to step to back from the position of Chair as

this was his original intention, unless there was no interest in filling the position. He noted that Vice Chair Hemphill has expressed interest. Therefore, Chair Burns is nominating Vice Chair Hemphill as Chair of the Planning Commission. The nomination was seconded by Commissioner Dreckman.

Chair Burns asked if there were any other nominations for Chair. Seeing none, Vice Chair Hemphill accepted the nomination as Chair.

Chair Burns noted that there was a motion and a second, and asked for a roll call vote for Vice Chair Hemphill as Chair of the Planning Commission. The roll call vote is as follows:

- Commissioner Booth - no
- Commissioner Baham - yes
- Commissioner Dreckman - yes
- Commissioner Sawusch - yes
- Commissioner Braudes - yes
- Vice Chair Hemphill - yes
- Chair Burns - yes

The roll call vote carries with 6-1 in favor of Vice Chair Hemphill as the new Chair of the Planning Commission.

Chair Burns asked if there was a motion to nominate a Vice Chair.

Commissioner Booth made a motion to nominate Commissioner Sawusch as Vice Chair. The motion was seconded by Commissioner Baham.

Chair Burns asked if there were any other candidates for Vice Chair.

Chair Burns nominated Commissioner Braudes as Vice Chair. The motion was seconded by Commissioner Dreckman.

Chair Burns stated that there is a motion and a second for 2 candidates as Vice Chair: Commissioner Sawusch and Commissioner Braudes. Chair Burns asked for a roll call vote and for each Commissioner to state their vote.

The roll call vote is as follows:

- Commissioner Booth - Sawusch
- Commissioner Baham - Sawusch
- Commissioner Dreckman - Braudes
- Commissioner Sawusch - Sawusch
- Commissioner Braudes - Braudes
- Vice Chair Hemphill - Braudes
- Chair Burns - Braudes

The roll call vote carries with a 4 to 3 vote in favor of Commissioner Braudes as the new Vice Chair of the Planning Commission.

VII. STAFF REPORTS

Kelly Driscoll, Planning Manager noted that there are no hearings or agenda items on the July 16, 2025 Planning Commission Meeting Agenda unless the Commission has items they would like to add or would they like to cancel.

Newly elected Vice Chair Braudes asked if the Commission could defer until

Town Council decides to accept the recommendation. Mrs. Driscoll stated that the item would not be in front of the Council until August 12, 2025.

Newly elected Chair Hemphill suggested tentatively cancelling until he talks with other Commissioners about tentative agenda items and can work with staff from there. There is time since agenda's need to be posted 24 hours in advance of the meeting date.

VIII. COMMISSIONER REPORTS AND DISCUSSION ITEMS

Newly elected Chair Hemphill asked everyone not to hurt themselves on the 4th of July. He was also invited by the Sustainability Board to be on the Steering Committee to help shape Erie's Sustainability Action Plan. He will be participating as a resident and because he was a former member of the Board and is currently on the Planning Commission. They are currently talking about a pollinator district and bringing awareness on pollinator yards.

Chair Burns gave a welcome back to Commissioner Dreckman, and welcome back to Planning Manager, Kelly Driscoll.

Town Attorney, Kunal Parikh will not be at the next Planning Commission Meeting and Austin P. Flannagan will be in attendance in his absence.

IX. ADJOURNMENT

Commissioner Dreckman moved to adjourn the July 2, 2025 Planning Commission Meeting. The motion, seconded by Commissioner Sawusch, carried with all voting in favor thereof.

Chair Burns adjourned the July 2, 2025 Planning Commission Meeting at 10:04pm.

**Town of Erie
Planning Commission
Resolution No. P25-07**

**A Resolution of the Planning Commission of the Town of Erie
Recommending that the Town Council Adopt an Ordinance
Amending Chapters 6 and 7 of Title 10 of the Erie Municipal Code
Removing Alternative Standards for Affordable Housing Projects
with Conditions**

Whereas, on July 25, 2023, the Town Council adopted Ordinance No. 017-2023, which modified Chapters 6 and 7 of Title 10 of the Erie Municipal Code (the "UDC") to allow for streamlined approvals and flexible development standards for certain affordable housing projects while reducing the cost of housing and making affordable housing projects less cost prohibitive in the Town; and

Whereas, on March 4, 2025, the Town Council directed staff to prepare a proposed amendment to Ordinance No. 017-2023, to remove the alternative standards for affordable housing projects.

Now, Therefore be it Resolved by the Planning Commission of the Town of Erie, Colorado, that:

Section 1. Findings. The Planning Commission finds and determines that the ordinance amending Chapters 6 and 7 of the UDC to remove alternative standards for affordable housing projects, as attached hereto, meets the approval criteria with the conditions listed in Section 2, and as specified in Section 10-7-18(C)(9) as follows:

- a. The ordinance will promote the public health, safety, and general welfare;
- b. The ordinance is generally consistent with the Town's comprehensive master plan and the stated purposes of the UDC; and
- c. The ordinance is necessary or desirable because of changing conditions, new planning concepts, or other social or economic conditions.

Section 2. Conditions. The Planning Commission recommends that Town Council preserve the alternative standards defined by Ordinance No. 017-2023 and shall incorporate the following changes to the ordinance:

- a. That the expedited process shall be limited to developments that are less than or equal to 100 units of which 12% or more are affordable; and
- b. That Town Council tasks the Planning Commission to work with Town staff and Town Council in order to develop a UDC amendment that addresses the concerns identified in one or more joint study sessions with Town Council and

the Planning Commission. This shall include creating an application process which is Proposition 123 compliant, which allows Town Council the necessary time to receive and review the community wide survey results, and which allows staff time to work with a Colorado Department of Local Affairs consultant to address outstanding questions.


Section 3. Decision. Based on the foregoing findings, the Planning Commission hereby recommends that the Town Council approve the ordinance with the conditions listed in Section 2.

Adopted this 2nd day of July 2025.



Tim Burns, Chair

Attest:



~~Doug Trettin, Secretary~~
Melinda Helmer

**Town of Erie
Ordinance No. 023-2025**

**An Ordinance of the Town Council of the Town of Erie Amending
Chapters 6 and 7 of Title 10 of the Erie Municipal Code to Remove
the Alternative Standards for Affordable Housing Projects**

Whereas, the Town Council finds it in the best interest of the public health, safety and welfare to modify Title 10 of the Erie Municipal Code to remove the alternative standards for affordable housing projects.

Now Therefore be it Ordained by the Town Council of the Town of Erie, Colorado, as follows:

Section 1. Section 10-6-15 of the Erie Municipal Code is hereby deleted in its entirety.

Section 2. Section 10-7-7(F)(1) of the Erie Municipal Code is hereby amended as follows:

10-7-7 – Subdivision.

* * *

F. *Procedure for review of minor subdivisions:*

1. Applicability.

a. The procedure set forth in this Section shall apply to:

i. ~~Subdivisions that create ten (10) or fewer lots in any zone district;~~

ii. ~~Affordable housing projects.~~

b. Review procedure and submittal requirements: See Table 2.1, Section 10-7-2.

* * *

Section 3. Section 10-7-10(C) of the Erie Municipal Code is hereby amended as follows:

10-7-10 – Site plan.

* * *

C. *Types of site plan review:*

1. *Administrative review:* The following types of projects may be approved by the Director using the administrative site plan approval process:

- a. A single use proposed in a structure that is less than twenty-five thousand (25,000) square feet in building size for that use, not including a single-family detached or duplex dwelling unit;
- b. A combination of uses proposed in a single structure, such as a shopping center, that is less than twenty-five thousand (25,000) square feet in building size, not including a single-family detached or duplex dwelling unit; *and*
- c. Multiple buildings proposed where the combined total of all structures will not exceed twenty-five thousand (25,000) square feet in building size, not including single-family detached or duplex dwelling units on lots larger than 5,000 square feet; ~~and~~
- d. ~~Affordable housing projects.~~

* * *

4. *Review of site plan with subdivision:* At the option of the applicant, a subdivision application may be submitted concurrent with a site plan application for the following types of projects:

- a. Property in Old Town for which the site plan includes more than one (1) legal lot;
- b. A site plan on property that does not have a legal building lot platted within the Town; *and*
- c. A site plan on property that is identified by the Town as needing to dedicate or convey easements, right-of-way, or other property; ~~and.~~
- d. ~~An affordable housing project.~~

* * *

Section 4. Severability. If any article, section, paragraph, sentence, clause, or phrase of this Ordinance is held to be unconstitutional or invalid for any reason, such decision shall not affect the validity or constitutionality of the remaining portions of this Ordinance. The Town Council hereby declares that it would have passed this Ordinance and each part or parts hereof irrespective of the fact that any one, or part, or parts be declared unconstitutional or invalid.

Section 5. Safety. The Town Council finds that the adoption of this Ordinance is necessary for the protection of the public health, safety and welfare.

Section 6. Effective Date. This Ordinance shall take effect 10 days after publication following adoption.

Introduced, Read, Passed and Ordered Published this 12th day of August, 2025.

Andrew J. Moore, Mayor

Attest:

Debbie Stamp, Town Clerk

licensing, or other applicable legal requirements deny the use of the site as described in this section.

Source: L. 2019: Entire article added, (HB 19-1191), ch. 106, p. 380, § 1, effective July 1.

ARTICLE 32

Statewide Affordable Housing Fund

Editor's note: This article 32 was added by Proposition 123, effective upon proclamation of the governor, December 27, 2022. The vote count for the measure at the general election held November 8, 2022, was as follows:

FOR: 1,269,816

AGAINST: 1,143,974

29-32-101. Definitions. As used in this article, unless the context otherwise requires:

(1) "Administrator" means a political subdivision of the State of Colorado established for the purposes, among others, of increasing the supply of decent, safe, and sanitary housing for low- and moderate-income families, or other third party established for such purposes, selected by the office to administer certain affordable housing programs created in section 29-32-104.

(2) "Affordable housing" means rental housing affordable to a household with an annual income of at or below sixty percent of the area median income, and that costs the household less than thirty percent of its monthly income. "Affordable housing" also means for-sale housing that could be purchased by a household with an annual income of at or below one hundred percent of the area median income, for which the mortgage payment costs the household thirty percent or less of its monthly income. Targets set for the local governments and tribal governments under section 29-32-105 for affordable housing shall be based on the area median income. If a local government or tribal government determines that application of this definition of affordable housing would cause implementation of this article in a manner inconsistent with demonstrated housing and workforce needs within the jurisdiction, it may petition the division for leave to use the calculation applicable to an adjacent jurisdiction or the state median income that better reflects the local government's or tribal government's demonstrated needs.

(3) "Area median income" means the median household income of households of a given size in the municipality, or metropolitan statistical area encompassing a municipality, or county in which the housing is located, as calculated and published for a given year by the United States Department of Housing and Urban Development.

(4) "Division" means the division of housing in the department of local affairs created in section 24-32-704 (1).

(5) "Support fund" means the affordable housing support fund created in section 29-32-103 (1).

(6) "Fund" means the state affordable housing fund created in section 29-32-102 (1).

(7) "Local government" means a municipality, whether home rule or statutory; a county, whether home rule or statutory; a city and county; or a local housing authority.

(8) "Office" means the office of economic development created in section 24-48.5-101.

(9) "Financing fund" means the affordable housing financing fund created in section 29-32-103 (2).

(10) "Rural resort community" means any county classified as a "rural resort" by the division in accordance with section 29-4-1107 (1)(d), or a municipality, whether home rule or statutory, or a local housing authority located within the county so classified.

(11) "Tribal government" means a federally recognized tribal nation that has land within Colorado.

Source: Initiated 2022: Entire article added, Proposition 123, effective upon proclamation of the Governor, December 27, 2022. **L. 2023:** (2) amended and (10) and (11) added, (HB 23-1304), ch. 381, p. 2282, § 1, effective June 5.

29-32-102. State affordable housing fund. (1) The state affordable housing fund is hereby created in the state treasury. Commencing on January 1, 2023, all state revenues collected from an existing tax on one-tenth of one percent on federal taxable income, as modified by law, of every individual, estate, trust, and corporation, as defined in law, as calculated pursuant to subsection (4) of this section, shall be deposited in the fund by the state treasurer. The revenue deposited into the fund pursuant to this subsection (1) shall not be subject to the limitation on fiscal year spending specified in section 20 of article X of the state constitution.

(2) The fund shall consist of money deposited into the fund under subsection (1) of this section; any money appropriated to the fund by the general assembly; and any gifts, grants, or donations from any public or private sources, including governmental entities, that the division and the office are hereby authorized to seek and accept.

(3) All money not expended or encumbered, and all interest earned on the investment or deposit of money in the fund, shall remain in the fund and shall not revert to the general fund or any other fund at the end of any fiscal year.

(4) (a) The legislative council, in consultation with the office of state planning and budgeting, shall calculate the amount of revenues to be deposited in the fund for the period commencing January 1, 2023 and ending June 30, 2023, and for each state fiscal year commencing on or after July 1, 2023. The legislative council and the office of state planning and budgeting shall rely upon the quarterly state revenue estimates issued by the legislative council in calculating such amounts and shall update its calculations not later than five days following the issuance of each quarterly state revenue estimate.

(b) To ensure that all fund revenues are transferred to the fund and that other state revenues are not erroneously transferred to the fund:

(I) No later than two days after calculating or recalculating the amount of fund revenues for the period commencing January 1, 2023 and ending June 30, 2023, and for any fiscal year commencing on or after July 1, 2023, the legislative council, in consultation with the office of state planning and budgeting, shall certify to the department of revenue the amount of fund revenues that the department shall transfer to the state treasurer for deposit into the fund on the first day of each of the three succeeding calendar months as required by paragraph (c) of this subsection (4);

(II) Notwithstanding the provisions of subparagraph (I) of this paragraph (b), no later than May 25 of 2023 and of any state fiscal year commencing on or after July 1, 2023, the legislative council, in consultation with the office of state planning and budgeting, may certify to

the department of revenue an adjusted amount for any transfer to be made on the first business day of the immediately succeeding June; and

(III) Subject to review by the state auditor, the legislative council, in consultation with the office of state planning and budgeting, may correct any error in the total amount of state affordable housing revenues transferred during any state fiscal year by adjusting the amount of any transfer to be made during the next state fiscal year.

(c) On the first business day of each calendar month that commences after January 5, 2023, the department of revenue shall transfer to the state treasurer for deposit into the fund revenues in an amount certified to the department by the legislative council, in consultation with the office of state planning and budgeting, pursuant to paragraph (b) of this subsection (4).

Source: Initiated 2022: Entire article added, Proposition 123, effective upon proclamation of the Governor, December 27, 2022.

29-32-103. Transfers of money - permitted uses of the fund - continuous appropriation. (1) (a) The affordable housing support fund is hereby created in the state treasury. The support fund consists of money deposited into it under subsections (1)(b)(II) and (3) of this section. The division of housing shall administer the support fund and expend the money in the support fund only for the purposes set forth in section 29-32-104 (3)(a) and (3)(b). The division of local government in the department of local affairs created in section 24-32-103 shall expend the money in the support fund only for the purposes set forth in section 29-32-104 (3)(c). Except as otherwise provided in subsection (1)(b) of this section, all money not expended or encumbered, and all interest earned on the investment or deposit of money in the support fund, remains in the support fund and does not revert to the general fund or any other fund at the end of any fiscal year. Except as otherwise provided in subsections (1)(b) and (1)(c) of this section and section 29-32-104 (3)(b)(II), all money transferred to the support fund pursuant to subsection (3) of this section is continuously appropriated to the division of housing for the purposes set forth in section 29-32-104 (3)(a) and (3)(b) and, to the extent allocated by the division of housing, to the division of local government for the purposes set forth in section 29-32-104 (3)(c).

(b) (I) Subject to annual appropriation by the general assembly, the department of health care policy and financing may spend money from the affordable housing support fund for services that are:

(A) For health-related social needs, as described in the federal authorization the department of health care policy and financing received from the federal centers for medicare and medicaid services to provide coverage for health-related social needs through the state medical assistance program; and

(B) An allowable use of money in the fund as described in section 29-32-104 (3)(b).

(II) The money appropriated to the department of health care policy and financing pursuant to this subsection (1)(b) is an allocation from the fund for the purposes of determining the amount of money allowed for administrative costs pursuant to section 29-32-104 (3)(b).

(c) Subject to annual appropriation by the general assembly, beginning in state fiscal year 2026-27, and subject to the limitations set forth in section 29-32-104 (3)(a), (3)(b), and (3)(c), the division of housing or the division of local government may expend money from the

fund for direct and indirect costs of administering the programs set forth in section 29-32-104 (3)(a), (3)(b), and (3)(c).

(2) The affordable housing financing fund is hereby created in the state treasury. The financing fund shall consist of money deposited into it under subsection (3) of this section. The office shall administer the financing fund and expend the money in the financing fund only for the purposes set forth in section 29-32-104 (1) and for the office's administrative expenses related to the programs created in that section. All money not expended or encumbered, and all interest earned on the investment or deposit of money in the financing fund, shall remain in the financing fund and shall not revert to the general fund or any other fund at the end of any fiscal year. All money transferred to the financing fund pursuant to subsection (3) of this section is continuously appropriated to the office for the purposes set forth in section 29-32-104 (1) and this section.

(3) On July 1, 2023, or as soon as practicable thereafter, and on July 1 of each state fiscal year thereafter, the state treasurer shall transfer forty percent of the balance of the fund on the date of the transfer to the support fund and sixty percent of the balance of the fund on the date of the transfer to the financing fund.

Source: Initiated 2022: Entire article added, Proposition 123, effective upon proclamation of the Governor, December 27, 2022. **L. 2023:** (1) and (2) amended, (HB 23-1304), ch. 381, p. 2283, § 2, effective June 5. **L. 2025:** (1) amended, (SB 25-308), ch. 299, p. 1525, § 5, effective May 30; (1) amended, (SB 25-313), ch. 302, p. 1578, § 1, effective May 30.

Editor's note: Amendments to subsection (1) by SB 25-308 and SB 25-313 were harmonized.

29-32-104. Permissible expenditures - affordable housing programs - report - definitions. (1) The office shall contract with the administrator. The office may select an administrator without a competitive procurement process but shall announce the contract opening publicly and select the administrator in a meeting that is open to the public, no less than seventy-two hours after notice of such meeting is publicly available. No single contract may exceed five years in duration. Upon the expiration of any contract term, the office may renew the contract with the same administrator or may select another administrator. The administrator selected by the office shall expend the money transferred to the financing fund in section 29-32-103 (2) that the administrator receives from the office to support the following programs only:

(a) A land banking program to be administered by the administrator. The program shall provide grants to local governments and tribal governments and loans to non-profit organizations with a demonstrated history of providing affordable housing to acquire and preserve land for the development of affordable housing. For purposes of this subsection (1)(a), "affordable housing" means rental housing that has a designated imputed income limit by household size not to exceed sixty percent of the area median income as established by the United States Department of Housing and Urban Development and published by the department or a statewide political subdivision or authority on housing, and regulated units in the project must have a gross rent limit that does not exceed thirty percent of the imputed income limitation applicable to the units and for-sale housing that could be purchased by a household with an annual income of at or below one hundred percent of the area median income. Mixed use development is an allowable

use of land purchased under this program if the predominant use of the land is affordable housing. Loans made by the program shall be forgiven if land acquired with the assistance of the program is properly zoned with an active plan for the development of affordable housing within 5 years of date the loan is made and if the development is permitted and funded within 10 years. The lender and borrower may establish additional terms if needed. If land acquired with the assistance of the program is not developed within the timeline above, the loan must be repaid, with interest, as soon as practical, but not more than six months after expiration of said timeline, unless the office agrees to extend all or a portion of the timeline in its reasonable discretion. Land acquired with the assistance of the program that is not developed within the timeline above may be used by the owner for any purpose upon payment of the loan with interest or, in exchange for a waiver of interest, conveyed to a state agency or other entity for the development of affordable housing with the approval of the administrator. All principal and interest payments on loans made under this paragraph (a) shall be paid to the administrator and used by the administrator for the purposes set forth in this subsection (1). As determined by the administrator, a minimum of 15% and a maximum of 25% of monies transferred to the financing fund annually may be used for the program. The administrator may utilize the funds it receives from the office for the program to pay for the costs of administering the program; except that the total combined annual administrative expenditures of money from the financing fund by the administrator and the office shall not exceed two percent of the funds the administrator receives from the office for the program for the state fiscal year.

(b) An affordable housing equity program to be administered by the administrator. The program shall make equity investments in low- and middle-income multi-family rental developments. The program shall also make equity investments in existing projects which include multi-family rental units for the purpose of ensuring that said projects remain affordable. The average designated imputed income by household size for projects funded by the program must not exceed 90% of the area median income as established by the United States Department of Housing and Urban Development and published by the department or a statewide political subdivision or authority on housing, and regulated units in the project must have a gross rent limit that does not exceed thirty percent of the imputed income limitation applicable to the units. The program shall include a tenant equity vehicle, meaning, in projects funded by the program, tenants who reside in the project for at least one year shall be entitled to a share of the equity growth in the project, if any, in the form of funding from the program for a down-payment on housing or related purposes, which may also include ongoing opportunities for tenants to build up their savings, in an amount determined by the administrator. Equity investments made by the program shall be made with the expectation of returns that are below the prevailing market returns. Returns on program investments up to the amount of the program's initial investment shall be retained in the program and reinvested. Returns on program investments greater than the program's initial investment shall be retained in the program to fund the tenant equity vehicle. In selecting investments under this program, the administrator shall prioritize high-density housing, mixed-income housing, and projects consistent with the goal of environmental sustainability. As determined by the administrator, a minimum of 40% of monies and a maximum of 70% of monies transferred to the financing fund annually may be used for the program. The administrator may utilize the funds it receives from the office for the program to pay for the costs of administering the program; except that the total combined annual administrative expenditures of money from the financing fund by the administrator and the office shall not

exceed two percent of the funds the administrator receives from the office for the program for the state fiscal year.

(c) A concessionary debt program to be administered by the administrator. The program shall:

(I) Provide debt financing of low- and middle-income multi-family rental developments,
(II) Provide gap financing in the form of subordinate debt and pre-development loans for projects that qualify for federal low income housing tax credits,

(III) Provide debt financing of existing projects for the purpose of preserving existing affordable multi-family rental units;

(IV) Provide debt financing for modular and factory build housing manufacturers; and

(V) Include the following features:

(A) The average designated imputed income by household size for projects funded by the subprograms specified in subsections (1)(c)(I), (1)(c)(II), and (1)(c)(III) of this section must not exceed 60% of the area median income as established by the United States Department of Housing and Urban Development and published by the department or a statewide political subdivision or authority on housing, and a unit in the project must have a gross rent limit that does not exceed thirty percent of the imputed income limitation applicable to the unit; except that where the subprogram is a secondary source of funding, the affordability threshold required by the primary funding source, if any, may be operative. The subprogram specified in subsection (1)(c)(IV) of this section does not have a designated imputed income or rent limit. Debt financing and loans made by the program shall be made at below market interest rates as determined by the administrator. Returns on program investments up to the amount of the program's initial investment shall be retained in the program and reinvested by the administrator in the program established in this subsection (1)(c). Returns on program investments greater than the program's initial investment shall be retained in the program to fund the tenant equity vehicle of the affordable housing equity program created in subsection (1)(b) of this section.

(B) As determined by the administrator, a minimum of 15% of monies and a maximum of 35% of monies transferred to the financing fund annually may be used for the program. The administrator may utilize the funds it receives from the office for the program to pay for the costs of administering the program; except that the total combined annual administrative expenditures of money from the financing fund by the administrator and the office shall not exceed two percent of the funds the administrator receives from the office for the program for the state fiscal year.

(2) In selecting investments to be made by the programs of subsection (1) of this section, the administrator shall prioritize projects that achieve high-density housing, mixed-income housing, and projects consistent with the goal of environmental sustainability, as appropriate.

(3) The division of housing and the division of local government shall expend the money transferred to the support fund in section 29-32-103 (1) to support the following programs only:

(a) An affordable home ownership program administered by the division or one or more contractors of the division. The program shall offer home ownership down-payment assistance to first-time homebuyers and shall prioritize assistance, to the extent practicable, to first-generation homebuyers. The assistance shall be provided to households with income less than or equal to one hundred twenty percent of the area median income of households of that size in the territory or jurisdiction of local government or tribal government in which the housing is located, as calculated and published for a given year by the United States department of housing and urban

development, and the cost of the monthly housing payment toward mortgage principal, mortgage interest, property taxes, mortgage and homeowner's insurance, homeowner association fees, land lease fees, and metropolitan district fees shall not cost more than thirty-five percent of monthly household income. The program shall also make grants to nonprofit organizations, local governments, tribal governments, community development financial institutions, and community land trusts to support affordable home ownership. The program shall also make grants or loans to groups or associations of mobile home owners and their assignees to assist them with the purchase of a mobile home park pursuant to section 38-12-217. Said grants and loans shall be used to support affordable home ownership for households with income less than or equal to one hundred percent of the area median income of households of that size in the territory or jurisdiction of local government or tribal government in which the households are located, as calculated and published for a given year by the United States department of housing and urban development, and the cost of the monthly housing payment toward mortgage principal, mortgage interest, property taxes, mortgage and homeowner's insurance, homeowner association fees, land lease fees, and metropolitan district fees shall not cost more than thirty-five percent of monthly household income. All principal and interest payments on loans made under this subsection (3)(a) shall be paid to the division and used by the division for the purposes set forth in this subsection (3). Up to fifty percent of money transferred to the support fund annually may be used for the program. The division shall determine how much of the available funding shall be allocated to each aspect of the program. The division may utilize up to five percent of the funds it receives from the fund for the program to pay for the direct and indirect costs of administering the program.

(b) (I) A program serving persons experiencing homelessness to be administered by the division or one or more contractors or grantees of the division. The program shall provide rental assistance, housing vouchers, and eviction defense assistance, including legal, financial, and case management, to persons experiencing homelessness or at risk of experiencing homelessness. The program shall also make grants or loans to nonprofit organizations, local governments, tribal governments, or private entities to support the development and preservation of supportive housing for persons experiencing homelessness, and other homelessness-related activities the division determines contribute to the resolution of or prevention of homelessness, including housing programs paid for by nonprofit organizations, local governments, tribal governments, or private entities on a pay-for-success basis, meaning an organization, local government, tribal government, or private entity would receive financial support from the program upon achieving objectives contractually agreed upon with the division. All principal and interest payments on loans made under this subsection (3)(b)(I) shall be paid to the division and used by the division for the purposes set forth in this subsection (3). Up to forty-five percent of the money transferred to the support fund annually may be used for the program. The division may utilize up to five percent of the money it receives from the fund for the program to pay for the direct and indirect costs of administering the program. The division may negotiate reasonable administrative or project delivery costs for one or more contractors or grantees to administer the program in addition to the five percent retained by the division for program administration and oversight. The division shall consider the past performance history of a contractor or grantee when selecting a contractor or grantee to administer the program.

(II) The program set forth in subsection (3)(b)(I) of this section may also:

(A) Beginning in state fiscal year 2025-26 and subject to annual appropriation by the general assembly, provide funding to the state or any other entity for capital construction needs at the Ridge View Supportive Residential Community and the Fort Lyon Supportive Residential Community; and

(B) Provide funding to the state or any other entity for direct and indirect costs of operating to the Ridge View Supportive Residential Community and the Fort Lyon Supportive Residential Community and, beginning in state fiscal year 2026-27, provide such funding subject to annual appropriation by the general assembly;

(III) As used in subsection (3)(b)(II) of this section:

(A) "Fort Lyon Supportive Residential Community" means the portion of the Fort Lyon property that is designated by the division for providing homelessness-related activities that the division determines contribute to the resolution of or prevention of homelessness.

(B) "Ridge View Supportive Residential Community" means, as set forth in section 24-32-730 (2)(a), the Ridge View campus that, after July 1, 2022, is designated by the division for providing homelessness-related activities that the division determines contribute to the resolution of or prevention of homelessness.

(c) A local planning capacity development program administered by the division of local government. The program shall provide grants to local governments and tribal governments to increase the capacity of local government and tribal government planning departments responsible for processing land use, permitting and zoning applications for housing projects. Up to five percent of money transferred to the support fund annually may be used for the program. The division of local government may utilize up to five percent of the funds that the division of housing allocates from the fund for the program to pay for the direct and indirect costs of administering the program.

(4) On or before October 1, 2024, and October 1 of the next two years thereafter, the office and division shall respectively provide to the joint budget committee, the senate local government and housing committee, and the house of representatives transportation, housing, and local government committee, or their successor committees, a report about the disbursements from the financing fund and support fund for the prior state fiscal year. In the reports, the office and the division shall include the following information about each affordable housing program:

(a) The applicants for funding, the projects funded, and the projects that were denied, along with the reason for the denial;

(b) The anticipated or actual number of households served and the number of affordable housing rental units and for-sale units funded; and

(c) The geographic distribution of the funding.

(5) If the Legislative Council Staff's March Economic and Revenue Forecast in any given year projects revenue for the next state fiscal year will fall below the revenue limit imposed under section 20 of article X of the state constitution, the general assembly may reduce the funding allocated to the office required by this section for the next state fiscal year in order to balance the state budget for said state fiscal year.

Source: Initiated 2022: Entire article added, Proposition 123, effective upon proclamation of the Governor, December 27, 2022. **L. 2023:** IP(1), (1)(a), (1)(b), (1)(c)(III), (1)(c)(IV), and (3) amended and (1)(c)(V) and (4) added, (HB 23-1304), ch. 381, p. 2283, § 3,

effective June 5. **L. 2025:** (3)(b) amended, (HB 25-1019), ch. 5, p. 11, § 1, effective March 7; (3) amended, (SB 25-313), ch. 302, p. 1579, § 2, effective May 30.

Editor's note: Amendments to subsection (3)(b) by SB 25-313 and HB 25-1019 were harmonized.

29-32-105. Affordable housing commitments - local governments - tribal governments - three-year commitment cycle - expedited development approval process - eligibility for assistance from the fund. (1) (a) Not later than November 1, 2023, the governing body of each local government, other than local housing authorities, or tribal government desiring to receive funding under this article or desiring to make affordable housing projects within its territorial boundaries eligible for funding under this article shall make and file with the division a commitment specifying how, by December 31, 2026, the combined number of newly constructed affordable housing units and existing units converted to affordable housing, within its territorial boundaries shall be increased by three percent each year over the baseline number of affordable housing units within its territorial boundaries, determined as provided in subsection (1)(c) of this section.

(b) In the case of a county, the requirements of this subsection (1) only apply to the unincorporated areas of the county, except as set forth in subsection (3)(d)(II) of this section.

(c) The baseline number of affordable housing units within the territorial boundaries of a local government or tribal government, as referenced in this subsection (1), shall be determined by the local government or tribal government by reference to:

(I) The 2017-2021 American Community Survey 5-year estimates published by the United States Census Bureau. The baseline number shall reset for 2027, based on the 2020-2024 American Community Survey 5-year estimates, expected to be published in the spring of 2026 and every third year thereafter with the publication of the corresponding American Community Survey 5-year estimates; or

(II) The most recently available Comprehensive Housing Affordability Strategies estimates published by the United States Department of Housing and Urban Development; or

(III) A web-based system created, maintained, and updated by the division with the estimates specified in subsection (1)(c)(I) of this section, or if the division finds that the estimates specified in said subsection (1)(c)(I) would be impractical or deleterious to the efficacious implementation of this section, an alternative source of estimates that the division finds to be appropriate.

(d) By November 1, 2026 and by November 1st of each subsequent year in which the baseline resets, the governing body of each local government, other than local housing authorities, or tribal government desiring to receive funding under this article or desiring to make affordable housing projects within its territorial boundaries eligible for funding under this article shall make and file with the division a commitment specifying how, by December 31 of the third year thereafter, the combined number of newly constructed affordable housing units and existing units converted to affordable housing, within its territorial boundaries shall be increased by three percent each year over the baseline number of affordable housing units within its territorial boundaries determined as provided in subsection (1)(c) of this section.

(e) In drafting and enacting commitments under this subsection (1) local governments and tribal governments should prioritize high-density housing, mixed-income housing, and

projects consistent with the goal of environmental sustainability, when appropriate, and should prioritize affordable housing in communities in which low concentrations of affordable housing exist.

(2) (a) In order to receive financial assistance under this article 32, or for affordable housing projects within a tribal government, municipality, a city and county, or the unincorporated area of a county to be eligible for funding, the tribal government or local government, other than a local affordable housing authority, must establish processes to enable it to provide a final decision on any application for a special permit, variance, or other development permit, including a for-sale multifamily condominium project and excluding subdivisions, of a development project, for which fifty percent or more of the residential units in the development constitute affordable housing not more than ninety calendar days after submission of a complete application, referred to herein as a "fast-track approval process."

(b) A local government's or tribal government's fast-track approval process may include an option to extend the review period for an additional ninety days at the request of a developer, for compliance with state law or court order, or for a review period required by another local government, tribal government, or agency, within the local government or tribal government or outside, for any component of the application requiring that government's or agency's approval.

(c) A local government's or tribal government's fast-track approval process may include extensions to allow for the submission of additional information or revisions to an application in response to requests from the local government or tribal government. Such extensions shall not exceed the amount of time from the request to the submission of the applicant's response plus thirty days. Applicants shall provide such additional information or responses promptly and shall, whenever practicable, provide a response within five business days.

(d) Nothing in this subsection (2) shall be interpreted as requiring an affordable housing developer to utilize a fast-track approval process.

(3) (a) Beginning in 2027, to be eligible under this article for direct funding, or for affordable housing projects within a local government's or tribal government's territorial boundaries to be eligible for funding, local governments, other than local housing authorities, or tribal governments must satisfy both the requirements of subsection (1) of this section to commit to and achieve annual increases in the number of affordable housing units within their territorial boundaries, and the requirements of subsection (2) of this section to implement a system to expedite the development approval process for affordable housing projects.

(b) (I) If a local government or tribal government makes and files with the division the commitment required by subsection (1) of this section by November 1, 2023, it shall be deemed to have satisfied the requirements of subsection (1) of this section through December 31, 2026.

(II) If a local government or tribal government makes and files with the division the commitment required by subsection (1) of this section by November 1, 2026, or by November 1st of a subsequent year in which the baseline resets, and it met its commitment to increase affordable housing made under subsection (1) of this section for the previous three-year cycle, it shall be deemed to have satisfied the requirements of subsection (1) of this section through the end of the current three-year cycle.

(III) If a local government, other than a local housing authority, or tribal government fails to make and file with the division the commitment required by subsection (1) of this section by November 1, 2023, or by November 1st of a subsequent year in which the baseline resets, it

shall be ineligible to receive financial assistance from the division or administrator during the following calendar year.

(IV) If a local government or tribal government fails to meet its commitment to increase affordable housing made and filed pursuant to subsection (1) of this section for any three-year cycle, it shall be ineligible to receive financial assistance from the division or administrator during the first calendar year of the next three-year cycle.

(V) An ineligible local government or tribal government may apply for a subsequent year with a new commitment under subsection (1) of this section for the balance of the then-current three-year cycle.

(VI) A developer, whether for-profit or nonprofit, or a local government or tribal government developing an affordable housing project within the territorial boundaries of a local government or tribal government that fails to meet the requirements of subsection (1) or (2) of this section shall be ineligible to receive financial assistance from the division or administrator. Notwithstanding this restriction, a project within the territorial boundaries of an eligible municipality shall be eligible for funding even if the county in which the project is located is ineligible.

(VII) Ineligible local governments and tribal governments and developers of projects in ineligible local government and tribal government jurisdictions shall not be required to pay back to the division or the administrator money paid to them under this article prior to ineligibility.

(d) (I) The division shall be responsible for determining compliance with this section. For the purpose of calculating whether a local government or tribal government has met the requirements of subsection (1) of this section, a new residential housing unit is to be counted at the time it is permitted rather than the time it is constructed. An existing housing unit newly qualifying as affordable housing is to be counted at the time it is permitted and fully funded rather than at the time the conversion is completed. For the purpose of calculating whether a local government or tribal government has met the requirements of subsection (1) of this section, in addition to affordable housing growth achieved through the programs in this article, any new deed restricted affordable housing, newly constructed or converted to affordable, within a local government's or tribal government's territorial boundaries shall be counted toward the local government's or tribal government's growth requirement. For the purpose of calculating whether a local government or tribal government has met the requirements of subsection (1) of this section, all units funded through the programs created in section 29-32-104 (1)(b), (1)(c)(I), (1)(c)(II), and (1)(c)(III) are counted towards the local government's or tribal government's growth requirement.

(II) Regional collaboration and partnership is encouraged. Local governments and tribal governments may enter into written agreements with other local governments and tribal governments that allow each jurisdiction to receive partial credit towards the local government's or tribal government's growth requirement for the purpose of calculating whether a local government or tribal government has met the requirements of subsection (1) of this section. The sum of the total units credited to the local governments and tribal governments shall not exceed the total number of units produced through the collaboration.

Source: Initiated 2022: Entire article added, Proposition 123, effective upon proclamation of the Governor, December 27, 2022. **L. 2023:** (1)(a), (1)(b), IP(1)(c), (1)(d),

(1)(e), (2)(a), (2)(b), (2)(c), and (3) amended, (HB 23-1304), ch. 381, p. 2288, § 4, effective June 5. **L. 2025:** (2)(a) amended, (HB 25-1272), ch. 183, p. 794, § 7, effective August 6.

Editor's note: Section 8(2) of chapter 183 (HB 25-1272), Session Laws of Colorado 2025, provides that the act changing this section applies to construction defect claims brought on or after August 6, 2025.

Cross references: For the short title ("Colorado American Dream Act") and the legislative declaration in HB 25-1272, see section 1 of chapter 183, Session Laws of Colorado 2025.

29-32-105.5. Alternative eligibility for programs - rural resort community - petition - legislative declaration - definition. (1) (a) The general assembly hereby finds and declares that:

(I) The lack of affordable housing is an issue throughout the state, and voters throughout the state voted in favor of proposition 123 at the statewide general election in 2022 to address this issue;

(II) The state income tax revenue that is the dedicated source of funding for the affordable housing programs created in this article should be available to all eligible communities in the state; and

(III) Coloradans should be able to live where they work and not have to spend more than thirty percent of their income on housing costs, especially in rural and rural resort communities where housing needs are unique.

(b) Therefore, it is the general assembly's intent that the petition process established in this section helps to ensure that eligible rural resort communities are able to receive funding for affordable housing projects that meet the demonstrated housing needs of their communities.

(2) As used in this section, unless the context otherwise requires, "petition" means a petition submitted by a rural resort community to the division in accordance with subsection (3) of this section.

(3) Notwithstanding the requirements set forth in section 29-32-104 (1), a rural resort community may, based on the average needs identified in a housing needs assessment, petition the division to use different percentages of area median income than those percentages specified for eligibility for a given funding cycle for:

(a) The land banking program;

(b) The affordable housing equity program; and

(c) Debt financing programs that are part of the concessionary debt program specified in section 29-32-104 (1)(c)(I) and (1)(c)(III).

(4) The division shall post notice that a petition has been filed on the division's website and shall establish a procedure for receiving public comments on a petition, including comments through the division's website. The division shall consider the public comments when considering the petition.

(5) The division may approve the petition to use different percentages of area median income, but only if:

(a) The submitted housing needs assessment:

(I) Is published by the state or is a local housing needs assessment that utilizes data from the state demographer or other publicly accessible sources, which in either case may be supported by other relevant and verifiable community data;

(II) Has been completed within the past three years of the petition date; and

(III) Is accompanied by a narrative description of why other funding sources cannot be utilized, are not sufficient, or are not accessible to meet the housing needs described within the petition; and

(b) The division determines that the current eligibility standards would cause implementation of this article in a manner inconsistent with demonstrated housing and workforce needs within the jurisdiction, taking into consideration regional workforce commuting trends.

(6) If the division grants the petition, the division shall establish the percentages of area median income based on the average needs identified in a housing needs assessment. A rural resort community may apply for more than one program in a petition.

(7) The approval of a rural resort community's petition does not affect the administrator's obligation in selecting investments that prioritize high-density housing, mixed-income housing, and projects consistent with the goal of environmental sustainability. A project must still meet the rural resort community's demonstrated housing needs.

Source: L. 2023: Entire section added, (HB 23-1304), ch. 381, p. 2291, § 5, effective June 5.

29-32-106. Appropriation requirement for affordable housing projects - definition.

(1) For any state fiscal year in which money is appropriated from the financing fund or the support fund in accordance with the requirements of this article 32, any such money appropriated must supplement and shall not supplant the level of state funding support for affordable housing programs for the state fiscal year 2022-23.

(2) Repealed.

(3) (a) The general assembly violates subsection (1) of this section only if, for a state fiscal year for which the legislative council staff forecast for the March immediately preceding the state fiscal year projected that state revenue in the state fiscal year would exceed the state fiscal year spending limit imposed by section 20 of article X of the state constitution, the general assembly appropriates money from the financing fund or the support fund in accordance with the requirements of this article 32 for affordable housing programs and the total amount of state funding support for affordable housing programs is less in that state fiscal year than the total amount of state funding support for affordable housing programs during the 2022-23 state fiscal year.

(b) As used in this subsection (3), unless the context otherwise requires, "state funding support" means, for a state fiscal year, the total of:

(I) The amount of state money appropriated for affordable housing programs by the general assembly in that state fiscal year that are not appropriations of money:

(A) From the support fund or the financing fund;

(B) That originated from the coronavirus state fiscal recovery fund;

(C) From the general fund that were refinanced in House Bill 24-1466;

(D) That the state treasurer transferred to the housing development grant fund pursuant to section 24-22-118 (2);

(E) That the state treasurer transferred from the affordable housing and home ownership cash fund to the transformational affordable housing revolving fund pursuant to section 24-32-731 (9)(d); or

(F) That the general assembly appropriated from the affordable housing and home ownership cash fund pursuant to section 24-32-721.3.

(II) The reduction in state revenue for the state fiscal year that is attributable to tax expenditures concerning affordable housing programs that the office of state planning and budgeting projects during the March revenue forecast that immediately precedes the state fiscal year will be claimed in the state fiscal year; and

(III) The reduction in state revenue for the state fiscal year that is attributable to tax expenditures concerning affordable housing programs, is not included in the projection described in subsection (3)(b)(II) of this section, and is described in fiscal notes provided by the legislative council of the general assembly pursuant to section 2-2-322.

Source: Initiated 2022: Entire article added, Proposition 123, effective upon proclamation of the Governor, December 27, 2022. **L. 2023:** Entire section amended, (HB 23-1304), ch. 381, p. 2293, § 6, effective June 5. **L. 2025:** (1) amended, (2) repealed, and (3) added, (SB 25-313), ch. 302, p. 1581, § 3, effective May 30.

ARTICLE 33

Protections for Public Workers

29-33-101. Short title. The short title of this article 33 is the "Protections for Public Workers Act".

Source: L. 2023: Entire article added, (SB 23-111), ch. 393, p. 2349, § 1, effective August 7.

29-33-102. Legislative declaration. (1) The general assembly hereby declares that public employees are the backbone of the state and ensure that Coloradans have access to strong public services. However, because public employees are exempt from protections afforded by the "National Labor Relations Act" and the "Colorado Labor Peace Act", when they speak out on issues in their workplace or come together with their coworkers to improve their working conditions, they can be disciplined and terminated. The general assembly further declares that public employees should have the following rights and should be protected from retaliation, including discipline or termination, if they choose to exercise these rights:

(a) To speak out on issues of public concern and fully engage in the political process outside of work in the same manner as other citizens of Colorado;

(b) To speak out about concerns with the terms and conditions of their employment;

(c) To engage in protected concerted activity for the purpose of mutual aid or protection;

(d) To organize, form, join, or assist an employee organization or to refrain from doing so; and

Jurisdiction	 Date of Commitment 	Length of Commitment	Proposed # of Increased Units by 12/31/2026
Adams, County of	10/9/2023	3-Year (9%)	501
Akron, Town of	10/13/2023	3-Year (9%)	24
Alamosa, City of	9/8/2023	3-Year (9%)	159
Arapahoe, County of	10/3/2023	3-Year (9%)	141
Archuleta, County of	10/17/2023	3-Year (9%)	16
Arvada, City of	7/14/2023	3-Year (9%)	417
Aspen, City of	10/31/2023	3-Year (9%)	27
Aurora, City of	8/1/2023	3-Year (9%)	1650
Avon, Town of	11/1/2023	3-Year (9%)	34
Baca, County of	10/1/2024	2-Year (6%)	6
Basalt, Town of	9/29/2023	3-Year (9%)	5
Bayfield, Town of	8/7/2023	3-Year (9%)	14
Bennett, Town of	8/30/2023	3-Year (9%)	16
Bent, County of	10/12/2023	3-Year (9%)	13
Berthoud, Town of	10/12/2023	3-Year (9%)	38
Boulder, City of	6/27/2023	3-Year (9%)	655
Boulder, County of	6/26/2023	3-Year (9%)	125
Breckenridge, Town of	6/15/2023	3-Year (9%)	18
Brighton, City of	9/25/2023	3-Year (9%)	134
Broomfield, City and County of	8/18/2023	3-Year (9%)	166
Brush, City of	8/15/2023	3-Year (9%)	64
Buena Vista, Town of	8/25/2023	3-Year (9%)	26
Canon City, City of	9/1/2023	3-Year (9%)	203
Carbondale, Town of	10/22/2023	3-Year (9%)	17
Castle Pines, City of	10/23/2023	3-Year (9%)	19
Castle Rock, Town of	10/25/2023	3-Year (9%)	276
Cedaredge, Town of	9/22/2023	3-Year (9%)	35
Centennial, City of	9/27/2023	3-Year (9%)	108
Center, Town of	10/18/2023	3-Year (9%)	32
Central, City of	10/25/2023	3-Year (9%)	13
Chaffee, County of	7/18/2023	3-Year (9%)	36

Jurisdiction	 Date of Commitment 	Length of Commitment	Proposed # of Increased Units by 12/31/2026
Cheraw, Town of	9/17/2023	3-Year (9%)	1
Clear Creek, County of	10/18/2023	3-Year (9%)	19
Colorado Springs, City of	6/26/2023	3-Year (9%)	2274
Commerce City, City of	10/4/2023	3-Year (9%)	194
Cortez, City of	10/16/2023	3-Year (9%)	89
Costilla, County of	10/17/2023	3-Year (9%)	16
Craig, City of	7/20/2023	3-Year (9%)	116
Creede, City of	10/27/2023	3-Year (9%)	5
Crested Butte, Town of	10/31/2023	3-Year (9%)	5
Crestone, Town of	9/21/2023	3-Year (9%)	1
Cripple Creek, City of	8/28/2023	3-Year (9%)	14
Crowley, County of	10/12/2023	3-Year (9%)	7
De Beque, Town of	10/21/2025	1-Year (3%)	1
Del Norte, Town of	10/28/2024	2-Year (6%)	7
Delta, City of	9/19/2023	3-Year (9%)	115
Delta, County of	10/30/2023	3-Year (9%)	43
Denver, City and County of	6/30/2023	3-Year (9%)	4631
Dolores, County of	10/26/2023	3-Year (9%)	1
Dolores, Town of	11/13/2023	3-Year (9%)	27
Douglas, County of	10/17/2023	3-Year (9%)	434
Dove Creek, Town of	10/24/2023	3-Year (9%)	4
Durango, City of	7/3/2023	3-Year (9%)	184
Eads, Town of	10/25/2023	3-Year (9%)	10
Eagle, County of	9/21/2023	3-Year (9%)	55
Eagle, Town of	9/13/2023	3-Year (9%)	32
Eaton, Town of	10/27/2023	3-Year (9%)	24
Edgewater, City of	9/13/2023	3-Year (9%)	20
Empire, Town of	9/27/2023	3-Year (9%)	4
Englewood, City of	8/16/2023	3-Year (9%)	170
Erie, Town of	6/27/2023	3-Year (9%)	15
Estes Park, Town of	8/17/2023	3-Year (9%)	46

Jurisdiction	 Date of Commitment 	Length of Commitment	Proposed # of Increased Units by 12/31/2026
Fairplay, Town of	10/25/2023	3-Year (9%)	8
Firestone, City of	10/26/2023	3-Year (9%)	20
Flagler, Town of	7/6/2023	3-Year (9%)	10
Florence, City of	9/6/2023	3-Year (9%)	56
Fort Collins, City of	6/12/2023	3-Year (9%)	555
Fort Lupton, City of	10/3/2023	3-Year (9%)	77
Fort Morgan, City of	10/27/2023	3-Year (9%)	104
Fraser, Town of	10/31/2023	3-Year (9%)	8
Frisco, Town of	7/20/2023	3-Year (9%)	16
Fruita, City of	7/18/2023	3-Year (9%)	108
Garden City, Town of	9/12/2023	3-Year (9%)	4
Garfield, County of	10/31/2024	2-Year (6%)	57
Georgetown, Town of	9/19/2023	3-Year (9%)	14
Gilcrest, Town of	10/22/2025	1-Year (3%)	1
Gilpin, County of	8/8/2023	3-Year (9%)	18
Glenwood Springs, City of	7/14/2023	3-Year (9%)	64
Golden, City of	7/26/2023	3-Year (9%)	78
Granada, Town of	10/12/2023	3-Year (9%)	7
Granby, Town of	10/24/2023	3-Year (9%)	22
Grand Junction, City of	8/4/2023	3-Year (9%)	374
Grand Lake, Town of	10/26/2023	3-Year (9%)	7
Grand, County of	11/1/2023	3-Year (9%)	34
Greeley, City of	10/19/2023	3-Year (9%)	629
Gunnison, City of	10/5/2023	3-Year (9%)	67
Gunnison, County of	6/30/2023	3-Year (9%)	41
Gypsum, Town of	9/25/2023	3-Year (9%)	15
Haswell, Town of	10/31/2023	3-Year (9%)	1
Hayden, Town of	6/15/2023	3-Year (9%)	1
Hinsdale, County of	11/1/2023	3-Year (9%)	2
Holly, Town of	10/19/2023	3-Year (9%)	6
Holyoke, Town of	10/31/2023	3-Year (9%)	17

Jurisdiction	 Date of Commitment 	Length of Commitment	Proposed # of Increased Units by 12/31/2026
Hotchkiss, Town of	10/13/2023	3-Year (9%)	13
Huerfano, County of	10/17/2023	3-Year (9%)	16
Hugo, Town of	10/13/2023	3-Year (9%)	13
Idaho Springs, City of	10/30/2023	3-Year (9%)	22
Ignacio, City of	9/28/2023	3-Year (9%)	13
Jefferson, County of	10/29/2023	3-Year (9%)	502
Julesburg, Town of	10/19/2023	3-Year (9%)	21
Keystone, Town of	10/30/2024	2-Year (6%)	5
Kiowa, County of	10/23/2023	3-Year (9%)	5
Kiowa, Town of	10/22/2025	1-Year (3%)	2
Kit Carson, Town of	10/6/2023	3-Year (9%)	3
Kremmling, Town of	10/6/2023	3-Year (9%)	8
La Jara, Town of	10/24/2023	3-Year (9%)	8
La Junta, City of	9/8/2023	3-Year (9%)	97
La Plata, County of	10/18/2023	3-Year (9%)	108
La Veta, Town of	10/30/2023	3-Year (9%)	7
Lafayette, City of	7/27/2023	3-Year (9%)	115
Lake City, Town of	9/28/2023	3-Year (9%)	7
Lake, County of	8/11/2023	3-Year (9%)	23
Lakewood, City of	9/13/2023	3-Year (9%)	475
Lamar, City of	10/25/2023	3-Year (9%)	87
Larimer, County of	9/26/2023	3-Year (9%)	113
Leadville, City of	8/11/2023	3-Year (9%)	23
Limon, Town of	10/17/2024	2-Year (6%)	6
Littleton, City of	9/1/2023	3-Year (9%)	159
Log Lane Village, Town of	10/20/2023	3-Year (9%)	11
Logan, County of	10/22/2025	1-Year (3%)	4
Lone Tree, City of	8/16/2023	3-Year (9%)	66
Longmont, City of	7/24/2023	3-Year (9%)	304
Louisville, Town of	10/24/2023	3-Year (9%)	77
Loveland, City of	10/24/2023	3-Year (9%)	246

Jurisdiction	 Date of Commitment 	Length of Commitment	Proposed # of Increased Units by 12/31/2026
Lyons, Town of	10/25/2023	3-Year (9%)	10
Mancos, Town of	10/12/2023	3-Year (9%)	14
Manitou Springs, City of	10/31/2023	3-Year (9%)	46
Manzanola, Town of	10/12/2023	3-Year (9%)	6
Meeker, Town of	10/4/2023	3-Year (9%)	15
Mesa, County of	8/31/2023	3-Year (9%)	253
Mineral, County of	9/12/2023	3-Year (9%)	1
Minturn, Town of	10/27/2023	3-Year (9%)	1
Monte Vista, City of	8/8/2023	3-Year (9%)	48
Montezuma, County of	10/10/2023	3-Year (9%)	29
Montrose, City of	8/17/2023	3-Year (9%)	162
Montrose, County of	10/9/2023	3-Year (9%)	71
Mount Crested Butte, Town of	10/27/2023	3-Year (9%)	8
Mountain View, Town of	10/25/2024	2-Year (6%)	4
Mountain Village, Town of	8/30/2023	3-Year (9%)	28
Naturita, Town of	8/25/2023	3-Year (9%)	6
Nederland, Town of	9/21/2023	3-Year (9%)	12
New Castle, Town of	10/13/2023	3-Year (9%)	18
Norwood, Town of	9/4/2025	1-Year (3%)	1
Nucla, Town of	10/18/2023	3-Year (9%)	9
Oak Creek, Town of	9/28/2023	3-Year (9%)	12
Olathe, Town of	11/1/2023	3-Year (9%)	15
Ordway, Town of	9/7/2023	3-Year (9%)	15
Otero, County of	10/3/2023	3-Year (9%)	39
Ouray, City of	10/11/2023	3-Year (9%)	9
Ouray, County of	9/13/2023	3-Year (9%)	6
Ovid, Town of	10/19/2023	3-Year (9%)	2
Pagosa Springs, Town of	10/11/2023	3-Year (9%)	19
Palisade, Town of	10/29/2025	1-Year (3%)	9
Paonia, Town of	7/27/2023	3-Year (9%)	25
Parachute, Town of	7/20/2023	3-Year (9%)	27

Jurisdiction	 Date of Commitment 	Length of Commitment	Proposed # of Increased Units by 12/31/2026
Parker, Town of	10/25/2023	3-Year (9%)	223
Phillips, County of	10/31/2023	3-Year (9%)	5
Pitkin, County of	9/28/2023	3-Year (9%)	13
Platteville, Town of	10/25/2023	3-Year (9%)	27
Poncha Springs, Town of	10/30/2023	3-Year (9%)	10
Pritchett, Town of	6/30/2023	3-Year (9%)	1
Prowers, County of	11/1/2023	3-Year (9%)	17
Pueblo, City of	8/25/2023	3-Year (9%)	1206
Pueblo, County of	10/6/2023	3-Year (9%)	190
Rangely, Town of	6/7/2023	3-Year (9%)	23
Red Cliff, Town of	10/30/2023	3-Year (9%)	1
Rico, Town of	10/23/2023	3-Year (9%)	1
Ridgway, Town of	7/26/2023	3-Year (9%)	10
Rifle, City of	9/12/2023	3-Year (9%)	65
Rio Grande, County of	8/17/2023	3-Year (9%)	3
Rocky Ford, City of	7/28/2023	3-Year (9%)	33
Saguache, County of	7/27/2023	3-Year (9%)	2
Saguache, Town of	9/11/2023	3-Year (9%)	1
Salida, City of	5/11/2023	3-Year (9%)	32
San Luis, Town of	10/30/2023	3-Year (9%)	6
San Miguel, County of	10/27/2023	3-Year (9%)	11
Sedgwick, City of	10/19/2023	3-Year (9%)	1
Sedgwick, County of	10/19/2023	3-Year (9%)	1
Sheridan Lake, Town of	10/30/2023	3-Year (9%)	1
Sheridan, City of	6/13/2023	3-Year (9%)	66
Silt, Town of	7/11/2023	3-Year (9%)	26
Silver Cliff, Town of	9/13/2023	3-Year (9%)	7
Silver Plume, Town of	9/18/2023	3-Year (9%)	2
Silverthorne, Town of	7/30/2023	3-Year (9%)	16
Silverton, Town of	10/5/2023	3-Year (9%)	10
Snowmass Village, Town of	8/23/2023	3-Year (9%)	28

Jurisdiction	 Date of Commitment 	Length of Commitment	Proposed # of Increased Units by 12/31/2026
South Fork, Town of	10/27/2023	3-Year (9%)	3
Southern Ute, Tribe of	10/31/2023	3-Year (9%)	63
Springfield, Town of	10/17/2023	3-Year (9%)	21
Steamboat Springs, City of	7/20/2023	3-Year (9%)	42
Sterling, City of	10/31/2023	3-Year (9%)	125
Sugar City, Town of	10/23/2023	3-Year (9%)	3
Summit, County of	8/7/2023	3-Year (9%)	59
Superior, Town of	10/25/2023	3-Year (9%)	22
Teller, County of	10/27/2024	2-Year (6%)	16
Telluride, Town of	7/10/2023	3-Year (9%)	12
Thornton, City of	10/17/2023	3-Year (9%)	268
Trinidad, City of	9/20/2023	3-Year (9%)	106
Ute Mountain Ute, Tribe of	9/12/2023	3-Year (9%)	5
Vail, Town of	9/25/2023	3-Year (9%)	26
Victor, City of	11/1/2023	3-Year (9%)	4
Walsenburg, City of	11/1/2023	3-Year (9%)	34
Walsh, Town of	10/17/2023	3-Year (9%)	6
Washington, County of	10/31/2023	3-Year (9%)	13
Wellington, Town of	8/25/2025	1-Year (3%)	2
Westcliffe, Town of	10/10/2023	3-Year (9%)	6
Westminster, City of	7/13/2023	3-Year (9%)	271
Wheat Ridge, City of	10/2/2023	3-Year (9%)	218
Wiggins, Town of	11/1/2023	3-Year (9%)	10
Wiley, Town of	10/12/2023	3-Year (9%)	3
Windsor, Town of	10/18/2023	3-Year (9%)	44
Winter Park, Town of	10/31/2023	3-Year (9%)	4
Woodland Park, City of	10/29/2024	2-Year (6%)	8
Wray, City of	10/31/2023	3-Year (9%)	27
Yampa, Town of	10/19/2023	3-Year (9%)	4
Yuma, City of	10/25/2023	3-Year (9%)	36
Yuma, County of	10/27/2023	3-Year (9%)	37