

PARKDALE PRELIMINARY DEVELOPMENT PLAN

LOCATED IN SECTION 36,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
COUNTY OF BOULDER, STATE OF COLORADO

INDIVIDUAL PROPERTY DESCRIPTIONS:

LAFAYETTE 7 LLP PROPERTY:

FIRST AMERICAN TITLE INSURANCE COMPANY
FILE NO. NCS-766895-CO
EFFECTIVE DATE MAY 17, 2017

PARCEL I:
A TRACT OF LAND LOCATED IN SECTION 36, T1N, R69W OF THE 6TH P.M., BOULDER COUNTY, COLORADO DESCRIBED AS FOLLOWS: BEGINNING AT THE N1/4 CORNER OF SECTION 36, THENCE SOUTH 0°11'35" WEST ALONG THE NORTH-SOUTH CENTERLINE OF SAID SECTION, A DISTANCE OF 2,653.24 FEET TO THE CENTER OF SECTION 36; THENCE SOUTH 89°56'20" EAST ALONG THE EAST-WEST CENTERLINE OF SECTION 36, A DISTANCE OF 1,327.92 FEET TO THE NORTHWEST CORNER OF THE NE1/4 OF THE SE1/4 OF SECTION 36 AND THE TRUE POINT OF BEGINNING; THENCE SOUTH 0°21'10" WEST, 1,323.16 FEET TO THE SOUTHWEST CORNER OF THE NE1/4 OF THE SE1/4 OF SECTION 36; THENCE NORTH 89°55'19" EAST A DISTANCE OF 314.82 FEET ALONG THE SOUTH LINE OF THE NE1/4 OF THE SE1/4 TO A POINT ON A CURVE, SAID POINT BEING ON THE WESTERLY RIGHT-OF-WAY OF THE BURLINGTON RAILROAD, FROM WHICH A RADIAL LINE BEARS NORTH 23°08'41" WEST; THENCE ALONG A CURVE TO THE LEFT, WHOSE CENTRAL ANGLE IS 40°34', AND WHOSE RADIUS IS 666.26 FEET, A DISTANCE OF 471.70 FEET TO THE POINT OF TANGENCY; THENCE NORTH 26°17'19" EAST ALONG SAID WESTERLY RIGHT-OF-WAY A DISTANCE OF 525.34 FEET TO THE PC OF A CURVE WITH A CENTRAL ANGLE OF 4°20'04" AND A RADIUS OF 5450.80 FEET; THENCE ALONG SAID CURVE TO THE LEFT, A DISTANCE OF 413.24 FEET ALONG RAILROAD R.O.W. TO A POINT ON A CURVE, THENCE NORTH 68°02'45" WEST ALONG A RADIAL LINE A DISTANCE OF 421.85 FEET; THENCE NORTH 89°56'20" WEST ALONG THE EAST-WEST CENTERLINE OF SAID SECTION 36, 652.08 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL II:
TRACT R-9, A TRACT OF LAND LOCATED IN SECTION 36, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M. BOULDER COUNTY, COLORADO, DESCRIBED AS FOLLOWS: BEGINNING AT THE N1/4 CORNER, THENCE SOUTH 0°11'35" WEST ALONG THE NORTH-SOUTH CENTERLINE OF SAID SECTION 36, 2,653.24 FEET TO THE CENTER OF SECTION 36; THENCE SOUTH 89°56'20" EAST ALONG THE EAST-WEST CENTERLINE OF SAID SECTION 36, A DISTANCE OF 1,320 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89°56'20" EAST ALONG THE EAST-WEST CENTERLINE A DISTANCE OF 660 FEET; THENCE NORTH 0°11'35" EAST ALONG THE WEST LINE OF A TRACT SHOWN AS TRACT I-2 ON SURVEY RECORDED BOULDER COUNTY, RECEPTION NO. 807363 A DISTANCE OF 1,321.63; THENCE NORTH 89°48'25" WEST ALONG THE SOUTH LINE OF A TRACT SHOWN AS TRACT R-6 ON A SURVEY RECORDED BOULDER COUNTY, RECEPTION NO. 807363, A DISTANCE OF 660 FEET; THENCE SOUTH 0°11'35" WEST ALONG THE EAST LINE OF A TRACT SHOWN AS TRACT R-8 ON SURVEY RECORDED BOULDER COUNTY, RECEPTION NO. 807363, A DISTANCE OF 1,323.17 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL III:
THOSE CERTAIN EASEMENTS AS SET FORTH IN DOCUMENT RECORDED MARCH 6, 1967, AT RECEPTION NO. 840827, FILM NUMBER 596.
COUNTY OF BOULDER,
STATE OF COLORADO.

THE MILLICAN REVOCABLE TRUST PROPERTY:

FIRST AMERICAN TITLE INSURANCE COMPANY
FILE NO. NCS-766885-CO
EFFECTIVE DATE MAY 17, 2017

THE NORTHWEST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER (NW 1/4, SE 1/4) AND THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER (NE 1/4, SW 1/4) AND THE SOUTH ONE-HALF OF THE NORTH ONE-HALF OF THE NORTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER (S 1/2, NW 1/4, SW 1/4) OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M., COUNTY OF BOULDER, STATE OF COLORADO.

LESS AND EXCEPT ANY PORTION THEREOF LYING WITHIN THE RIGHT OF WAY OF THE BNSF RAILWAY.

RICHARD SCHILLAWSKI PROPERTY:

FIRST AMERICAN TITLE INSURANCE COMPANY
FILE NO. NCS-766894-CO
EFFECTIVE DATE MAY 18, 2017

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER, SECTION 36, T1N, R69W OF THE 6TH P.M., BOULDER COUNTY, COLORADO, SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER FROM WHENCE THE NORTHWEST CORNER OF SECTION 36 BEARS N 01°17'40" W, 1333.00 FEET AND WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO, THENCE N 89°03'27" E, 1332.38 FEET TO THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER, NORTHWEST QUARTER, THENCE S 01°08'00" E, 1329.72 FEET TO THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER, NORTHWEST QUARTER, THENCE S 88°54'59" W, 1328.62 FEET TO THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER, NORTHWEST QUARTER, THENCE N 01°17'40" W, 1333.00 TO THE POINT OF BEGINNING.

COUNTY OF BOULDER, STATE OF COLORADO.

LINN S. McDONALD PROPERTY:

FIRST AMERICAN TITLE INSURANCE COMPANY
FILE NO. NCS-773939-CO
EFFECTIVE DATE MAY 17, 2017

THAT PART OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 (S1/2 SE1/4) OF SECTION 36, T1N, R69W OF THE 6TH P.M. DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF THE SE1/4 OF SAID SECTION 36 FROM WHICH THE SOUTHWEST CORNER OF THE SE1/4 OF SAID SECTION BEARS S 0°11'E, A DISTANCE OF 75.0 FEET, THE TRUE POINT OF BEGINNING; THENCE N 89°48' E ALONG THE NORTH RIGHT OF WAY LINE OF ST. HWY NO. 7, A DISTANCE OF 850.33 FEET; THENCE N 26°59' E, A DISTANCE OF 1320 FEET; THENCE N 89°48' E, A DISTANCE OF 371 FEET TO A POINT IN THE WESTERLY RIGHT OF WAY OF BOULDER COUNTY ROAD NO. 901; THENCE NORTHEASTERLY ALONG THE WESTERLY LINE OF SAID ROAD TO NORTH LINE OF S1/2 SE1/4 OF SECTION 36; THENCE S 89°44' W ALONG SAID NORTH LINE OF S1/2 SE1/4 OF SECTION 36, A DISTANCE OF 1864.18 FEET, TO THE NW CORNER OF S1/2 SE1/4 OF SECTION 36; THENCE S 0°11' E, ALONG THE WEST LINE OF S1/2 SE1/4 OF SECTION 36, A DISTANCE OF 1242.80 FEET TO THE TRUE POINT OF BEGINNING.

LESS AND EXCEPT ANY PORTION THEREOF CONVEYED TO THE DENVER, UTAH AND PACIFIC RAILROAD CO. BY INSTRUMENTS RECORDED JUNE 4, 1890 IN BOOK 113 AT PAGE 407, JANUARY 4, 1892 IN BOOK 149 AT PAGE 267, MAY 3, 1892 IN BOOK 149 AT PAGE 470 AND JANUARY 23, 1896 IN BOOK 176 AT PAGE 454.

BNSF RAILWAY COMPANY:

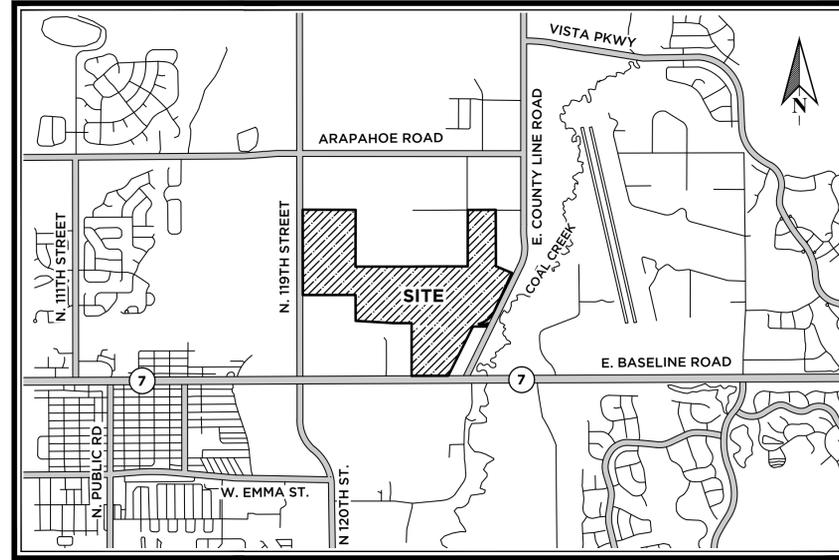
FIRST AMERICAN TITLE INSURANCE COMPANY
FILE NO. NCS-773938-CO
EFFECTIVE DATE AUGUST 01, 2016

THAT PORTION OF THE SOUTHEAST 1/4 OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M., AS DESCRIBED IN DEED RECORDED JUNE 4, 1890 IN BOOK 113 AT PAGE 407, JANUARY 4, 1892 IN BOOK 149 AT PAGE 267, MAY 3, 1892 IN BOOK 149 AT PAGE 470 AND JANUARY 23, 1896 IN BOOK 176 AT PAGE 454, COUNTY OF BOULDER, STATE OF COLORADO.

SONJA J. LEWIS PROPERTY:

FIRST AMERICAN TITLE INSURANCE COMPANY
FILE NO. NCS-773940-CO
EFFECTIVE DATE MAY 17, 2017

THE NORTH HALF OF THE NORTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF BOULDER, STATE OF COLORADO.



VICINITY MAP
1" = 2000'

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COMBINED LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN SECTION 36, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF BOULDER, STATE OF COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 36 BEING S 89°56'15" E AND MONUMENTED AS FOLLOWS:

-NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 36, BEING A FOUND 2.5" ALUMINUM CAP, RLS 4846,

-CENTER 1/4 CORNER OF SECTION 36, BEING A FOUND 2.5" ALUMINUM CAP, RLS 4846,

BEGINNING AT SAID NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 36, BEING A FOUND 2.5" ALUMINUM CAP, RLS 4846,

THENCE ALONG THE EAST-WEST CENTERLINE OF SAID SECTION 36 THE FOLLOWING TWO (2) COURSES;

1) S 89°56'15" E A DISTANCE OF 1319.94 FEET TO SAID CENTER 1/4 CORNER OF SECTION 36 TO A POINT BEING A FOUND 2.5" ALUMINUM CAP, RLS 4846;

2) N 89°00'36" E A DISTANCE OF 1341.46 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 36, BEING A FOUND 2.5" ALUMINUM CAP, RLS 4846;

THENCE N 00°18'01" W ALONG THE WEST LINE OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 36 A DISTANCE OF 1323.17 FEET TO THE NORTHWEST CORNER OF TRACT R-9 OF A PLAT OF SURVEY RECORDED AT RECEPTION NO. 90807363, BEING A FOUND 1.25" ORANGE PLASTIC CAP ON A NO. 5 REBAR, PLS 36561;

THENCE N 89°59'59" E ALONG THE NORTHERLY LINE OF SAID TRACT R-9 A DISTANCE OF 659.84 FEET TO THE NORTHWEST CORNER OF TRACT A, BLOCK 1, MUHR SUBDIVISION, A SUBDIVISION RECORDED AT RECEPTION NO. 03225164, BEING A FOUND 1.5" ALUMINUM CAP, PLS 25614;

THENCE S 00°00'51" E ALONG THE WESTERLY LINE OF SAID TRACT A, BLOCK 1 AND THE WESTERLY LINE OF LOT 1, BLOCK 1 OF SAID MUHR SUBDIVISION A DISTANCE OF 1321.63 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 1, BEING A FOUND 1.5" ALUMINUM CAP ON A NO. 5 REBAR, PLS 28283;

THENCE S 68°15'16" E ALONG THE SOUTHERLY LINE OF SAID LOT 1, BLOCK 1 A DISTANCE OF 421.85 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 1, SAID POINT ALSO BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE BURLINGTON RAILROAD AS DESCRIBED IN BOOK 113, PAGE 407, SAID RIGHT-OF-WAY LINE ALSO DESCRIBED IN A DEED RECORDED AT RECEPTION NO. 551020, SAID POINT BEING A FOUND 1.25" ORANGE PLASTIC CAP ON A NO. 5 REBAR, PLS 36561;

THENCE ALONG SAID WESTERLY RAILROAD RIGHT-OF-WAY LINE ALONG A CURVE TO THE RIGHT HAVING A CHORD OF S 23°55'02" W 413.13 FEET, A RADIUS OF 5450.80 FEET, AN ARC OF 413.22 FEET, AND A DELTA OF 04°20'37" TO A POINT BEING A FOUND 1.25" ORANGE PLASTIC CAP ON A NO. 5 REBAR, PLS 36561;

THENCE S 26°13'11" W ALONG SAID WESTERLY RAILROAD RIGHT-OF-WAY LINE A DISTANCE OF 525.34 FEET TO A POINT BEING A FOUND 1.25" ORANGE PLASTIC CAP ON A NO. 5 REBAR, PLS 36561;

THENCE CONTINUING ALONG SAID RIGHT-OF-WAY LINE DESCRIBED IN A DEED RECORDED AT RECEPTION NO. 551020 ALONG A CURVE TO THE RIGHT HAVING A CHORD OF S 46°29'50" W 461.81 FEET, A RADIUS OF 666.26 FEET, AN ARC OF 471.59 FEET, AND A DELTA OF 40°33'18" TO A POINT ON THE NORTHERLY BOUNDARY OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 1059115;

THENCE ALONG SAID BOUNDARY RECORDED AT RECEPTION NO. 1059115 THE FOLLOWING FOUR (4) COURSES:

1) N 89°44'25" E A DISTANCE OF 219.91 FEET TO A POINT BEING A FOUND 1.25" ORANGE PLASTIC CAP ON A NO. 5 REBAR, PLS 36561;

2) S 28°59'44" W A DISTANCE OF 83.70 FEET TO A POINT BEING A FOUND 1.25" ORANGE PLASTIC CAP ON A NO. 5 REBAR, PLS 36561;

3) S 89°36'29" W A DISTANCE OF 371.00 FEET TO A POINT BEING A FOUND 1.25" ORANGE PLASTIC CAP ON A NO. 5 REBAR, PLS 36561;

4) S 26°47'29" W A DISTANCE OF 1320.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF COLORADO STATE HIGHWAY NO. 7 (AKA BASELINE ROAD), BEING A FOUND 1.25" ORANGE PLASTIC CAP ON A NO. 5 REBAR, PLS 36561;

THENCE S 89°36'29" W ALONG SAID NORTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 850.33 FEET TO A POINT ON THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 36;

THENCE N 00°20'01" W ALONG SAID WEST LINE A DISTANCE OF 1241.06 FEET TO THE NORTHWEST CORNER OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 36, BEING A FOUND 2.5" ALUMINUM CAP AS AN 11" WITNESS CORNER, RLS 4846;

THENCE N 89°49'19" W ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 36 A DISTANCE OF 1319.99 FEET TO THE SOUTHWEST CORNER OF SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 36, BEING A FOUND 1.5" ALUMINUM CAP, RLS 4846;

THENCE N 00°14'20" W ALONG THE WEST LINE OF SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 36 A DISTANCE OF 664.52 FEET TO THE NORTHEAST CORNER OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 1147886, BEING A FOUND 1.5" ALUMINUM CAP ON NO. 5 REBAR, RLS 4846;

THENCE S 89°50'01" W ALONG THE NORTHERLY LINE OF SAID PARCEL OF LAND RECORDED AT RECEPTION NO. 1147886 AND ALONG THE NORTHERLY LINE OF A PARCEL OF LAND RECORDED AT RECEPTION NO. 2377724 A DISTANCE OF 1322.37 FEET TO A POINT ON THE WEST LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 36;

THENCE N 00°12'21" W ALONG SAID WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 36 A DISTANCE OF 654.37 FEET TO THE WEST QUARTER CORNER OF SAID SECTION 36, BEING A FOUND 3.25" ALUMINUM CAP, RLS 4846 IN RANGE BOX;

THENCE N 00°27'02" W ALONG WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 36 A DISTANCE OF 1344.97 FEET TO THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 36, BEING A FOUND 2" ALUMINUM CAP AS A 30" WITNESS CORNER, PLS 28273;

THENCE S 89°58'46" E ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 36 A DISTANCE OF 1332.28 FEET THE NORTHEAST CORNER OF SAID SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 36, BEING A FOUND 2" ALUMINUM CAP, PLS 28273;

THENCE S 00°04'29" W ALONG THE EAST LINE OF SAID SOUTHWEST 1/4 OF THE NORTHWEST 1/4 SECTION 36 A DISTANCE OF 1345.89 FEET TO THE POINT OF BEGINNING

THE ABOVE DESCRIBED PARCEL CONTAINS A GROSS AREA OF 9,516,935 SQUARE FEET, OR 218.4788 ACRES MORE OR LESS.

ENGINEERING:



KT ENGINEERING
12500 W. 58TH AVE. #230
ARVADA, CO 80002
P: 720.638.5190

LAND PLANNING:



pcs group inc. www.pcsgruouppco.com
25.5180 independence priso
1007 14th street - denver co 80205
7303.531.4900 - 1.303.531.4908

PREPARED FOR:

OEO, LLC
7353 SOUTHW ALTON WAY
CENTENNIAL, CO 80112
303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1.	REVISIONS PER TOWN COMMENT	10/09/2018	BSS
2.	REVISIONS PER TOWN COMMENT	01/24/2018	BSS
3.	REVISIONS PER TOWN COMMENT	04/16/2018	BSS
4.			
5.			
6.			
7.			
8.			

SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
COVER SHEET

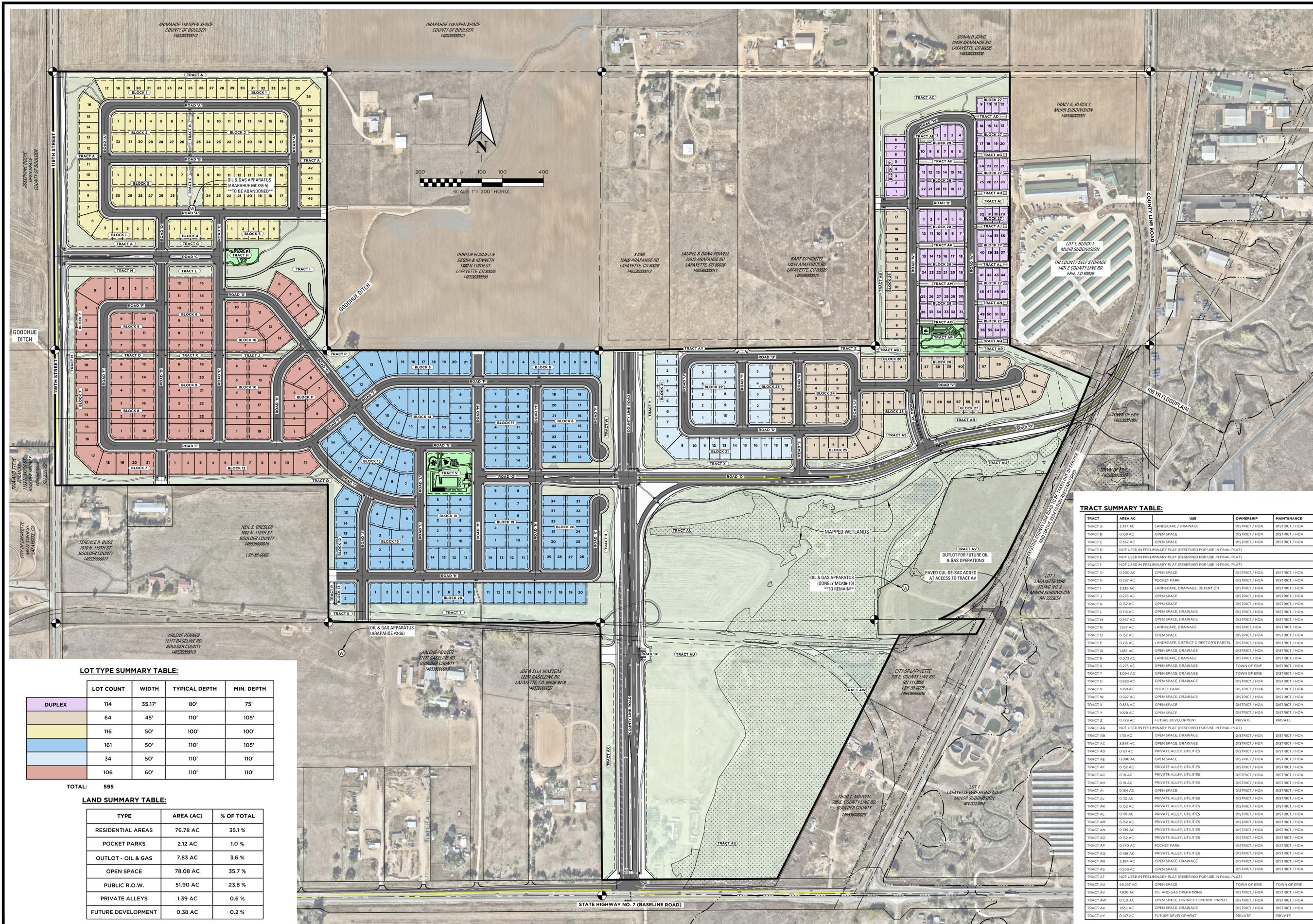
PROJECT NO:
0043-1532

DRAWN BY:
BSS
DESIGNED BY:
BSS

SCALE:
1" = NTS'

SUBMITTED ON:
05.22.17

01
OF **44**



LOT TYPE SUMMARY TABLE:

	LOT COUNT	WIDTH	TYPICAL DEPTH	MIN. DEPTH
DUPLEX	114	35.17'	80'	75'
	64	45'	110'	105'
	116	50'	100'	100'
	161	50'	110'	105'
	34	50'	110'	110'
	106	60'	110'	110'
TOTAL:	595			

LAND SUMMARY TABLE:

TYPE	AREA (AC)	% OF TOTAL
RESIDENTIAL AREAS	76.78 AC	35.1 %
POCKET PARKS	2.12 AC	1.0 %
OUTLOT - OIL & GAS	7.83 AC	3.6 %
OPEN SPACE	78.08 AC	35.7 %
PUBLIC R.O.W.	51.90 AC	23.8 %
PRIVATE ALLEYS	1.39 AC	0.6 %
FUTURE DEVELOPMENT	0.38 AC	0.2 %
TOTAL:	218.48 AC	100 %

TRACT SUMMARY TABLE:

TRACT	AREA AC	USE	OWNERSHIP	MAINTENANCE
TRACT A	1.337 AC	LANDSCAPE / DRAINAGE	DISTRICT / HOA	DISTRICT / HOA
TRACT B	0.158 AC	OPEN SPACE	DISTRICT / HOA	DISTRICT / HOA
TRACT C	0.367 AC	OPEN SPACE	DISTRICT / HOA	DISTRICT / HOA
TRACT D	NOT USED IN PRELIMINARY PLAT (RESERVED FOR USE IN FINAL PLAT)			
TRACT E	NOT USED IN PRELIMINARY PLAT (RESERVED FOR USE IN FINAL PLAT)			
TRACT F	NOT USED IN PRELIMINARY PLAT (RESERVED FOR USE IN FINAL PLAT)			
TRACT G	0.200 AC	OPEN SPACE	DISTRICT / HOA	DISTRICT / HOA
TRACT H	0.297 AC	POCKET PARK	DISTRICT / HOA	DISTRICT / HOA
TRACT I	1.329 AC	LANDSCAPE, DRAINAGE, DETENTION	DISTRICT / HOA	DISTRICT / HOA
TRACT J	0.278 AC	OPEN SPACE	DISTRICT / HOA	DISTRICT / HOA
TRACT K	0.152 AC	OPEN SPACE	DISTRICT / HOA	DISTRICT / HOA
TRACT L	0.375 AC	OPEN SPACE, DRAINAGE	DISTRICT / HOA	DISTRICT / HOA
TRACT M	0.567 AC	OPEN SPACE, DRAINAGE	DISTRICT / HOA	DISTRICT / HOA
TRACT N	1.547 AC	LANDSCAPE, DRAINAGE	DISTRICT / HOA	DISTRICT / HOA
TRACT O	0.152 AC	OPEN SPACE	DISTRICT / HOA	DISTRICT / HOA
TRACT P	0.275 AC	LANDSCAPE, DISTRICT DIRECTOR'S PARCEL	DISTRICT / HOA	DISTRICT / HOA
TRACT Q	1.287 AC	OPEN SPACE, DRAINAGE	DISTRICT / HOA	DISTRICT / HOA
TRACT R	0.071 AC	LANDSCAPE, DRAINAGE	DISTRICT / HOA	DISTRICT / HOA
TRACT S	0.275 AC	OPEN SPACE, DRAINAGE	TOWN OF ERIE	DISTRICT / HOA
TRACT T	1.094 AC	OPEN SPACE, DRAINAGE	TOWN OF ERIE	DISTRICT / HOA
TRACT U	0.883 AC	OPEN SPACE, DRAINAGE	DISTRICT / HOA	DISTRICT / HOA
TRACT V	1.058 AC	POCKET PARK	DISTRICT / HOA	DISTRICT / HOA
TRACT W	0.937 AC	OPEN SPACE, DRAINAGE	DISTRICT / HOA	DISTRICT / HOA
TRACT X	0.558 AC	OPEN SPACE	DISTRICT / HOA	DISTRICT / HOA
TRACT Y	1.028 AC	OPEN SPACE	DISTRICT / HOA	DISTRICT / HOA
TRACT Z	0.229 AC	FUTURE DEVELOPMENT	PRIVATE	PRIVATE
TRACT AA	NOT USED IN PRELIMINARY PLAT (RESERVED FOR USE IN FINAL PLAT)			
TRACT AB	1.15 AC	OPEN SPACE, DRAINAGE	DISTRICT / HOA	DISTRICT / HOA
TRACT AC	1.546 AC	OPEN SPACE, DRAINAGE	DISTRICT / HOA	DISTRICT / HOA
TRACT AD	0.21 AC	PRIVATE ALLEY, UTILITIES	DISTRICT / HOA	DISTRICT / HOA
TRACT AE	0.096 AC	OPEN SPACE	DISTRICT / HOA	DISTRICT / HOA
TRACT AF	0.152 AC	PRIVATE ALLEY, UTILITIES	DISTRICT / HOA	DISTRICT / HOA
TRACT AG	0.311 AC	PRIVATE ALLEY, UTILITIES	DISTRICT / HOA	DISTRICT / HOA
TRACT AH	0.311 AC	PRIVATE ALLEY, UTILITIES	DISTRICT / HOA	DISTRICT / HOA
TRACT AI	0.184 AC	OPEN SPACE	DISTRICT / HOA	DISTRICT / HOA
TRACT AJ	0.310 AC	PRIVATE ALLEY, UTILITIES	DISTRICT / HOA	DISTRICT / HOA
TRACT AK	0.152 AC	PRIVATE ALLEY, UTILITIES	DISTRICT / HOA	DISTRICT / HOA
TRACT AL	0.310 AC	PRIVATE ALLEY, UTILITIES	DISTRICT / HOA	DISTRICT / HOA
TRACT AM	0.152 AC	PRIVATE ALLEY, UTILITIES	DISTRICT / HOA	DISTRICT / HOA
TRACT AN	0.109 AC	PRIVATE ALLEY, UTILITIES	DISTRICT / HOA	DISTRICT / HOA
TRACT AO	0.152 AC	PRIVATE ALLEY, UTILITIES	DISTRICT / HOA	DISTRICT / HOA
TRACT AP	0.770 AC	POCKET PARK	DISTRICT / HOA	DISTRICT / HOA
TRACT AQ	0.108 AC	PRIVATE ALLEY, UTILITIES	DISTRICT / HOA	DISTRICT / HOA
TRACT AR	2.394 AC	OPEN SPACE, DRAINAGE	DISTRICT / HOA	DISTRICT / HOA
TRACT AS	0.958 AC	OPEN SPACE	DISTRICT / HOA	DISTRICT / HOA
TRACT AT	NOT USED IN PRELIMINARY PLAT (RESERVED FOR USE IN FINAL PLAT)			
TRACT AU	49.267 AC	OPEN SPACE	TOWN OF ERIE	TOWN OF ERIE
TRACT AV	7.826 AC	OIL AND GAS OPERATIONS	DISTRICT / HOA	DISTRICT / HOA
TRACT AW	0.150 AC	OPEN SPACE, DISTRICT CONTROL PARCEL	DISTRICT / HOA	DISTRICT / HOA
TRACT AX	1.652 AC	OPEN SPACE, DRAINAGE	DISTRICT / HOA	DISTRICT / HOA
TRACT AY	0.147 AC	FUTURE DEVELOPMENT	PRIVATE	PRIVATE

ENGINEERING:

KT ENGINEERING
 12500 W. 58TH AVE. #230
 ARVADA, CO 80002
 P: 720.638.5190

LAND PLANNING:

 people creating spaces
 pcs group inc. www.pcsgruonline.com
 1515 180th Street, Suite 1000
 1007 14th Street, Denver, CO 80202
 1.303.531.4900 | 1.303.531.4908

PREPARED FOR:
OEO, LLC
 7353 SOUTH ALTON WAY
 CENTENNIAL, CO 80112
 303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1.	10.09.2017	BSS	REVISIONS PER TOWN COMMENT
2.	01.24.2018	BSS	REVISIONS PER TOWN COMMENT
3.	04.16.2018	BSS	REVISIONS PER TOWN COMMENT
4.			
5.			
6.			

SHEET INFO:
PARKDALE
PRELIMINARY DEVELOPMENT PLAN
OVERALL LAND USE PLAN

PROJECT NO:
0043-1532

DRAWN BY:
BSS

DESIGNED BY:
BSS

SCALE:
1" = 200'

ISSUED ON:
05.22.17

02
OF 44

J:\0043\1532\0043-1532-PP-01-SHEETS\1532-PP-LAND USE-OVERALL.PDF

TYPE

PRINCIPLE ARTERIAL

COUNTY LINE ROAD

MINOR ARTERIAL (INTERIM SECTION)

119TH STREET NORTH OF ROAD 'C' ENTRANCE

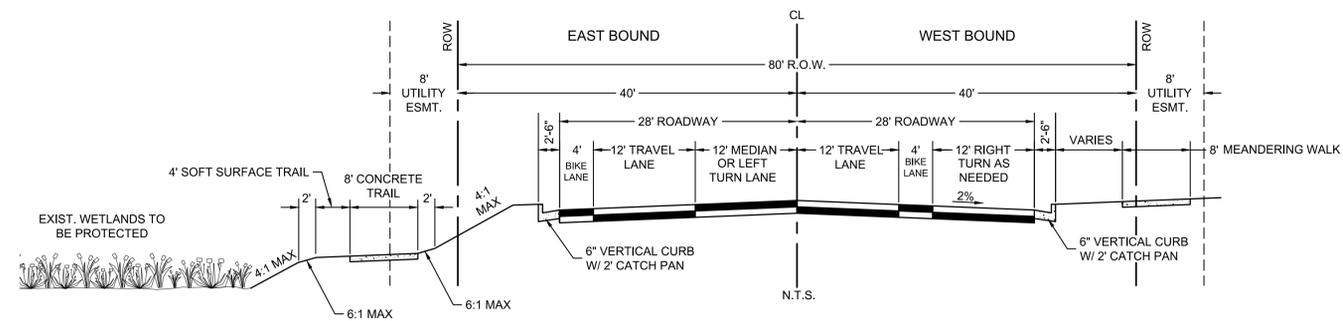
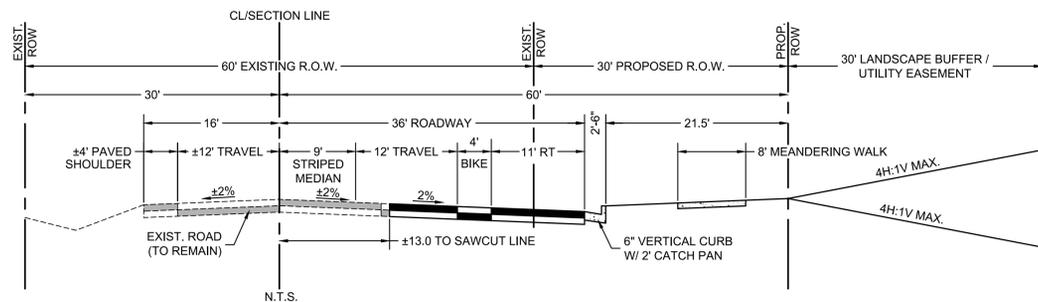
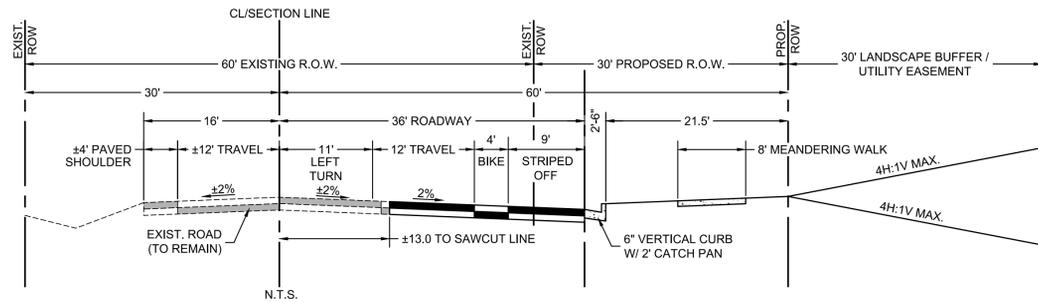
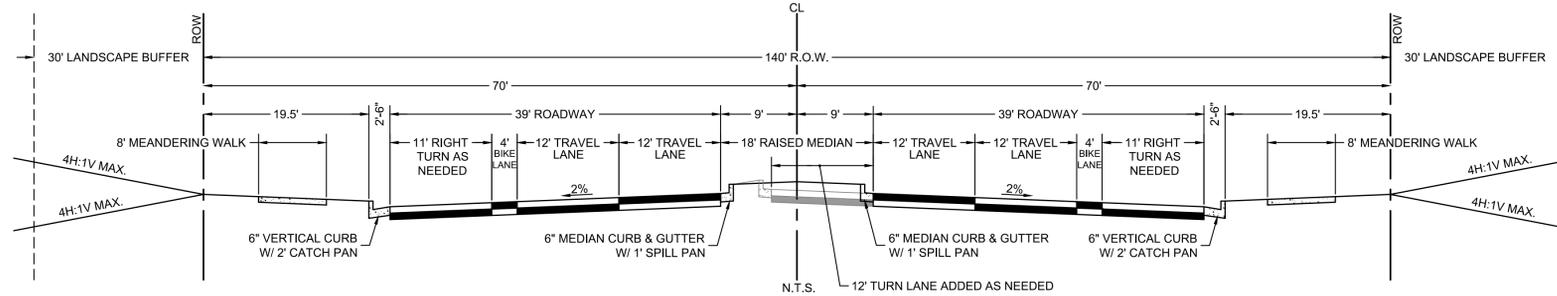
MINOR ARTERIAL (INTERIM SECTION)

119TH STREET SOUTH OF ROAD 'C' ENTRANCE

COLLECTOR (TYPE A) (WITHOUT PARKING)

ROAD 'O' EAST OF COUNTY LINE ROAD

TYPICAL STREET SECTION



NOTE:
TYPICAL CROSS SECTIONS SHALL BE IN ACCORDANCE TO THE LATEST VERSION OF THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS

ENGINEERING:



KT ENGINEERING
12500 W. 58TH AVE. #230
ARVADA, CO 80002
P: 720.638.5190

LAND PLANNING:



pcs group inc. www.pcsgruopco.com
#3, #5, #6 Independence priso
1007 14th street denver co 80202
730.531.4900 / 730.531.4908

PREPARED FOR:

OEO, LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
303.770.9111

REVISIONS:

NO.	BY	DATE	REVISION DESCRIPTION
1.	BSS	10.09.2017	REVISIONS PER TOWN COMMENT
2.	BSS	01.24.2018	REVISIONS PER TOWN COMMENT
3.	BSS	04.16.2018	REVISIONS PER TOWN COMMENT
4.			
5.			
6.			

SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
TYPICAL SECTIONS 1 OF 2

PROJECT NO:
0043-1532

DRAWN BY:
BSS
DESIGNED BY:
BSS

SCALE:
1" = NTS'

SUBMITTED ON:
05.22.17

03
OF 44

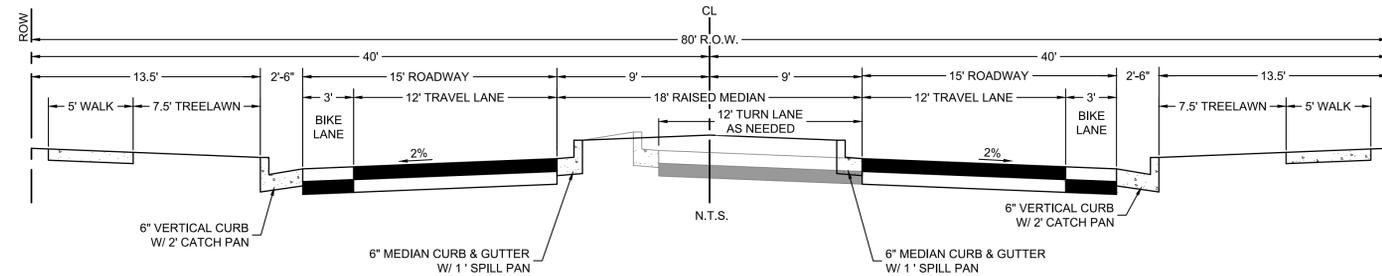
J:\0043\1532\DWG\LANDING\POP\SHEETS\1532-PDP-APP-SECT.dwg

TYPE

COLLECTOR (TYPE B) (WITHOUT PARKING)

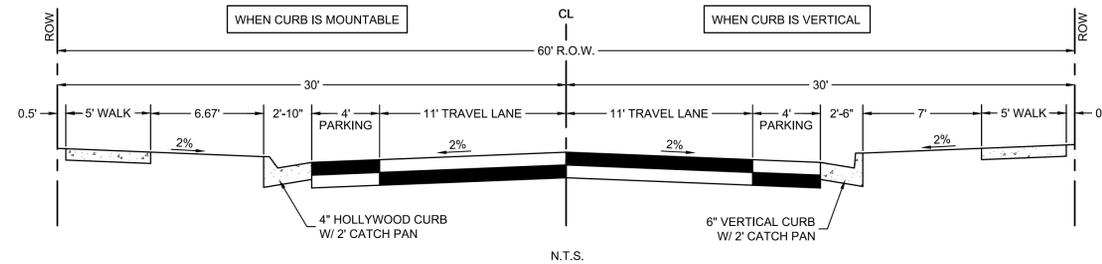
ROAD 'O' WEST OF
COUNTY LINE ROAD
ROAD 'C', ROAD 'W'

TYPICAL STREET SECTION



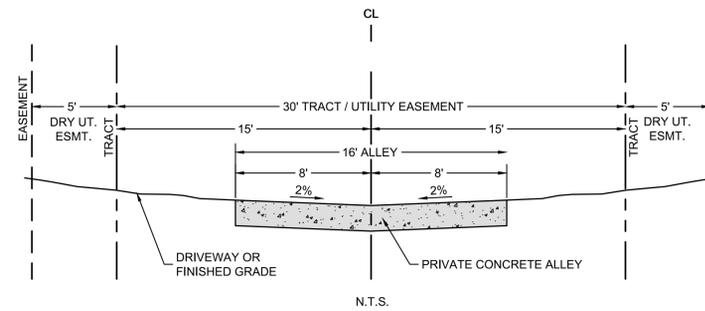
LOCAL

ALL OTHER STREETS



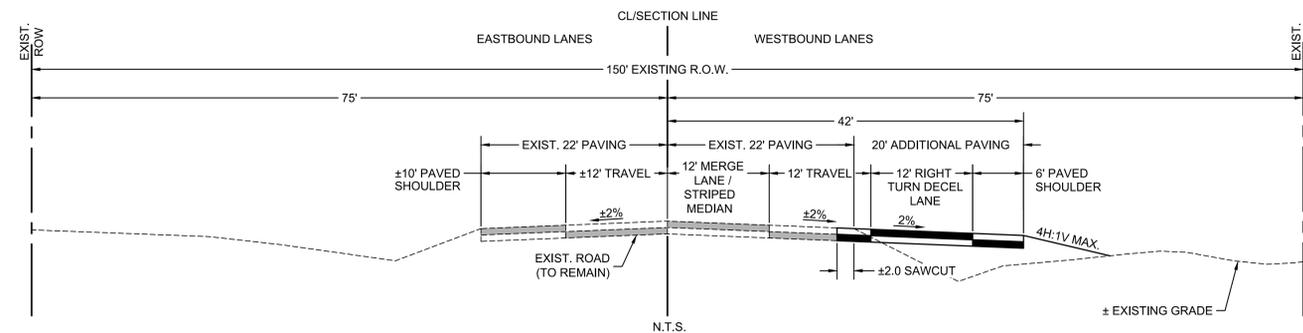
PRIVATE ALLEY

DUPLEX LOTS
FRONTING ALLEYS



NON-RURAL PRINCIPAL HIGHWAY (NR-A)

BASELINE ROAD
(SH 7)



NOTE:

TYPICAL CROSS SECTIONS SHALL BE IN ACCORDANCE TO THE LATEST VERSION OF THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS

ENGINEERING:



KT ENGINEERING
12500 W. 58TH AVE. #230
ARVADA, CO 80002
P: 720.638.5190

LAND PLANNING:



pcs group inc. www.pcsgroupco.com
13.5181 independence plaza
1007 14th street denver co 80205
1.303.531.4900 1.303.531.4908

PREPARED FOR:

OEO, LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1.	REVISIONS PER TOWN COMMENT	10.09.2017	BSS
2.	REVISIONS PER TOWN COMMENT	01.24.2018	BSS
3.	REVISIONS PER TOWN COMMENT	04.16.2018	BSS
4.			
5.			
6.			

SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
TYPICAL SECTIONS 2 OF 2

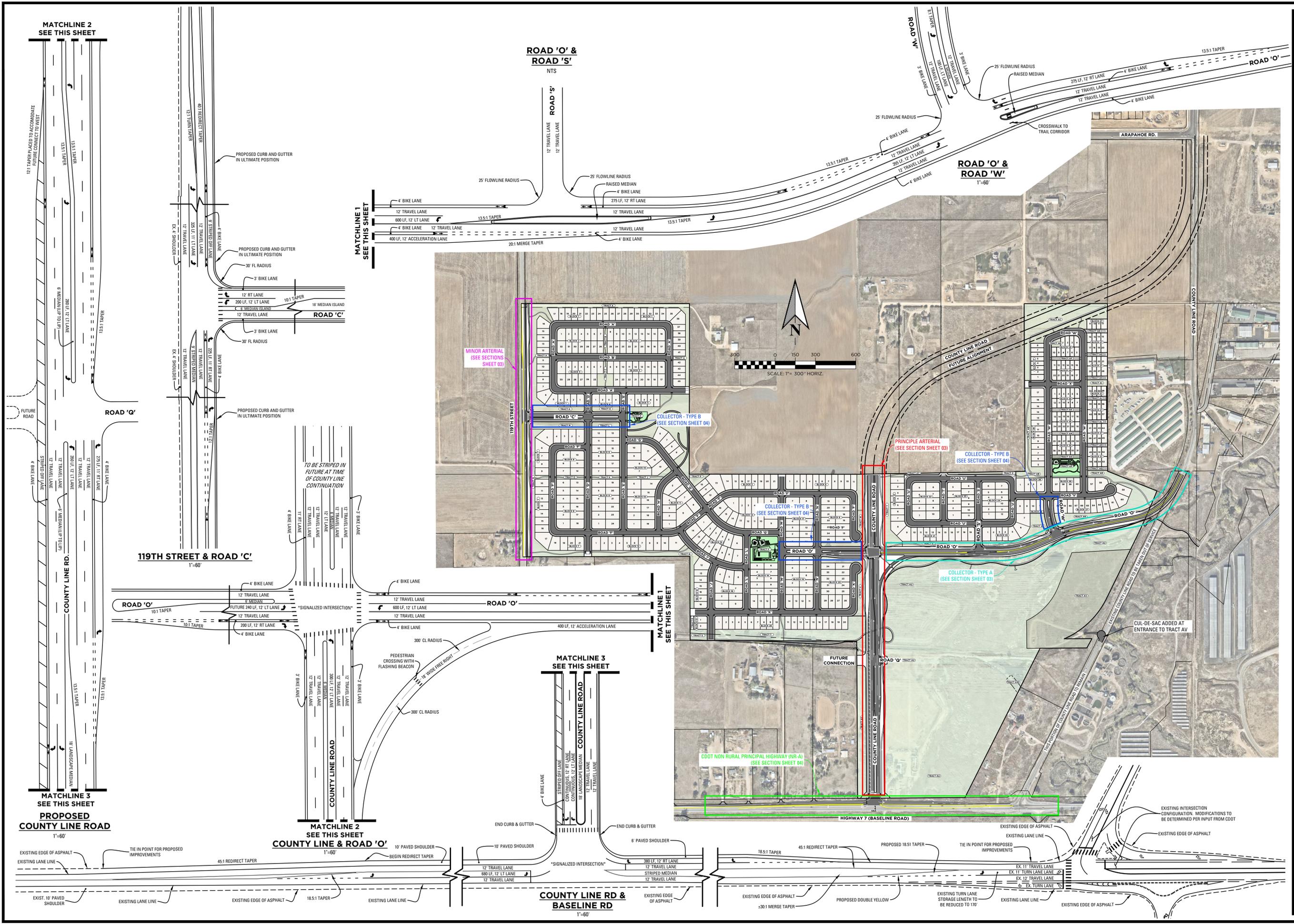
PROJECT NO:
0043-1532

DRAWN BY:
BSS
DESIGNED BY:
BSS

SCALE:
1" = NTS'

SUBMITTED ON:
05.22.17

04
OF 44



ENGINEERING:

KT ENGINEERING
 12500 W. 58TH AVE. #230
 ARVADA, CO 80002
 P: 720.638.5190

LAND PLANNING:

people creating spaces

pcs group inc. www.pcsgruouppco.com
 43.5 180 Independence Plaza
 1007 14th Street, Denver, CO 80202
 1.303.531.4900 f.303.531.4908

PREPARED FOR:

OEO, LLC
 7353 SOUTH ALTON WAY
 CENTENNIAL, CO 80112
 303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1.	10.09.2017	BSS	REVISIONS PER TOWN COMMENT
2.	01.24.2018	BSS	REVISIONS PER TOWN COMMENT
3.	04.16.2018	BSS	REVISIONS PER TOWN COMMENT
4.			
5.			
6.			

SHEET INFO:

PARKDALE
 PRELIMINARY DEVELOPMENT PLAN
 OVERALL ROAD PLANS

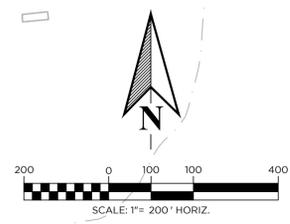
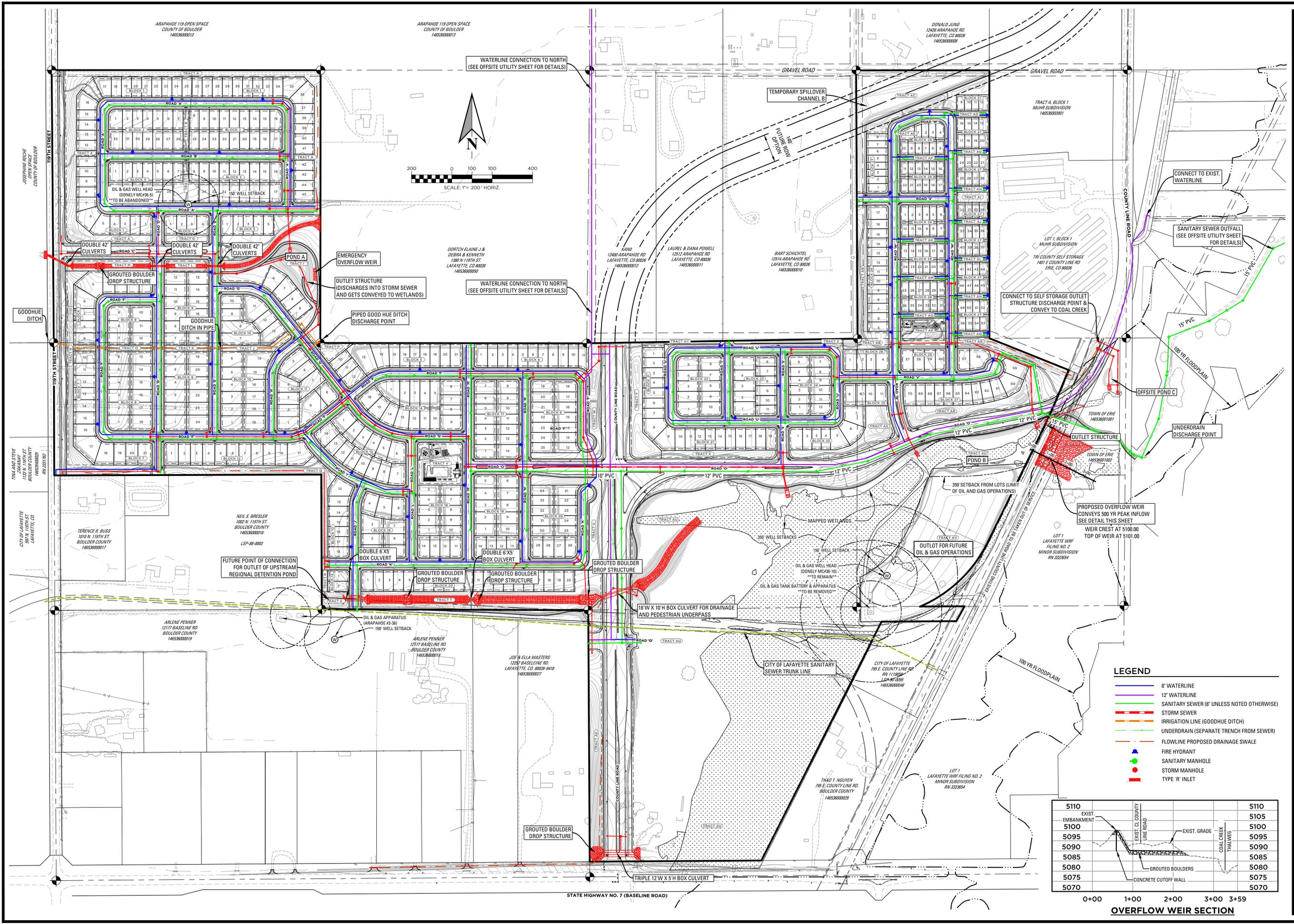
PROJECT NO:
0043-1532

DRAWN BY:
BSS
 DESIGNED BY:
BSS

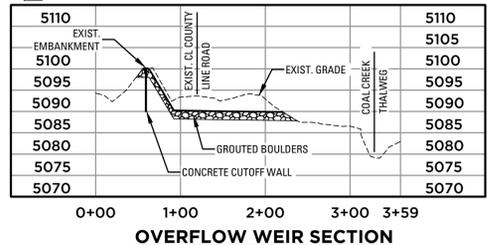
SCALE:
1" = 300'

SUBMITTED ON:
05.22.17

J:\0043\1532\CIVIL\PLANNING\POD\SHEETS\1532-PDP-ROADS-OVERALL.dwg



- LEGEND**
- 8" WATERLINE
 - 12" WATERLINE
 - SANITARY SEWER (8" UNLESS NOTED OTHERWISE)
 - STORM SEWER
 - IRRIGATION LINE (GOODHUE DITCH)
 - UNDERDRAIN (SEPARATE TRENCH FROM SEWER)
 - FLOWLINE PROPOSED DRAINAGE SWALE
 - FIRE HYDRANT
 - SANITARY MANHOLE
 - STORM MANHOLE
 - TYPE 'R' INLET



ENGINEERING:

KT ENGINEERING
 12500 W. 58TH AVE. #230
 ARVADA, CO 80002
 P: 720.638.5190

LAND PLANNING:

 pcs group inc. www.pcsgruouppco.com
 43.5180 Independence priso
 1007 14th street denver co 80202
 1.303.531.4900 1.303.531.4908

PREPARED FOR:
OEO, LLC
 7353 SOUTH ALTON WAY
 CENTENNIAL, CO 80112
 303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1.	10.09.2017	BSS	REVISIONS PER TOWN COMMENT
2.	01.24.2018	BSS	REVISIONS PER TOWN COMMENT
3.	04.16.2018	BSS	REVISIONS PER TOWN COMMENT
4.			
5.			
6.			

SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
OVERALL UTILITY PLAN

PROJECT NO:
0043-1532

DRAWN BY:
BSS

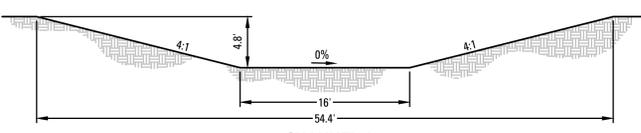
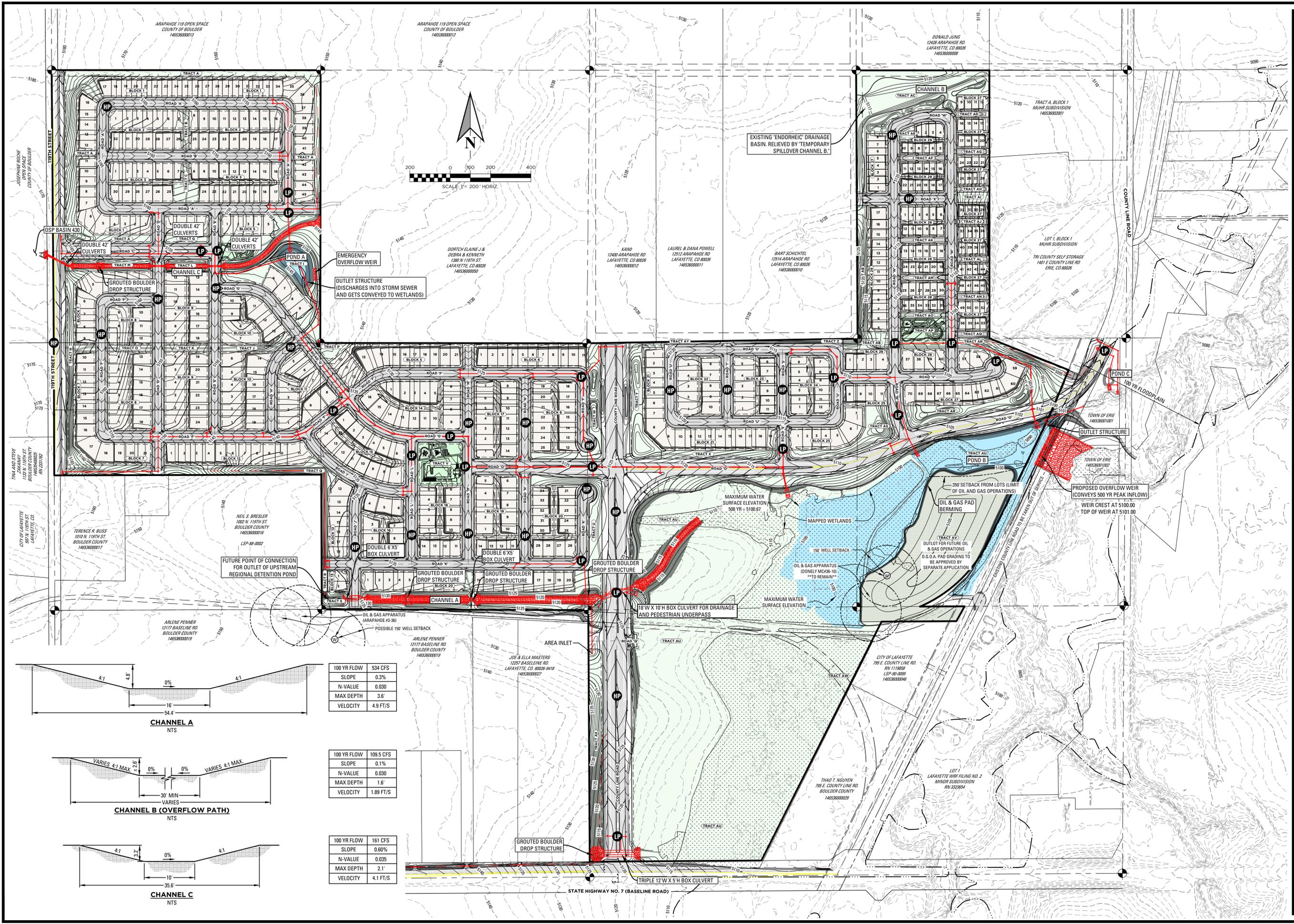
DESIGNED BY:
BSS

SCALE:
1" = 200'

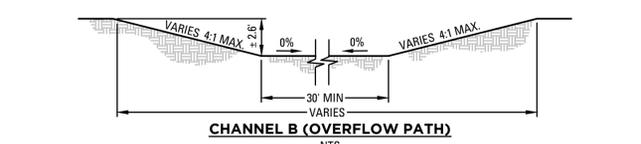
SUBMITTED ON:
05.22.17

06
OF 44

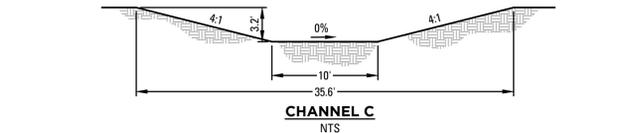
J:\0043\1532\CULP\ANNING\POP\SHEETS\1532-POP-UTILITY-OVERALL.dwg



100 YR FLOW	534 CFS
SLOPE	0.3%
N-VALUE	0.030
MAX DEPTH	3.6'
VELOCITY	4.9 FT/S



100 YR FLOW	109.5 CFS
SLOPE	0.1%
N-VALUE	0.030
MAX DEPTH	1.6'
VELOCITY	1.89 FT/S



100 YR FLOW	161 CFS
SLOPE	0.60%
N-VALUE	0.035
MAX DEPTH	2.1'
VELOCITY	4.1 FT/S

ENGINEERING:

KT ENGINEERING
 12500 W. 58TH AVE. #230
 ARVADA, CO 80002
 P: 720.638.5190

LAND PLANNING:

 pcs group inc. www.pcgrouppco.com
 13.5160 independence pkwy
 1007 14th street denver co 80202
 1.303.531.4900 1.303.531.4908

PREPARED FOR:
OEO, LLC
 7353 SOUTH ALTON WAY
 CENTENNIAL, CO 80112
 303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1.	10.09.2017	BSS	REVISIONS PER TOWN COMMENT
2.	01.24.2018	BSS	REVISIONS PER TOWN COMMENT
3.	04.16.2018	BSS	REVISIONS PER TOWN COMMENT
4.			
5.			
6.			

SHEET INFO:

PARKDALE
 PRELIMINARY DEVELOPMENT PLAN
 OVERALL GRADING PLAN

PROJECT NO:
0043-1532

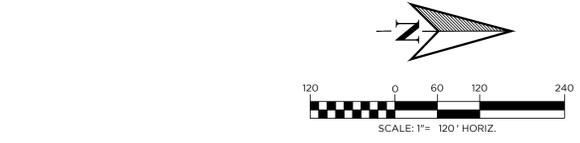
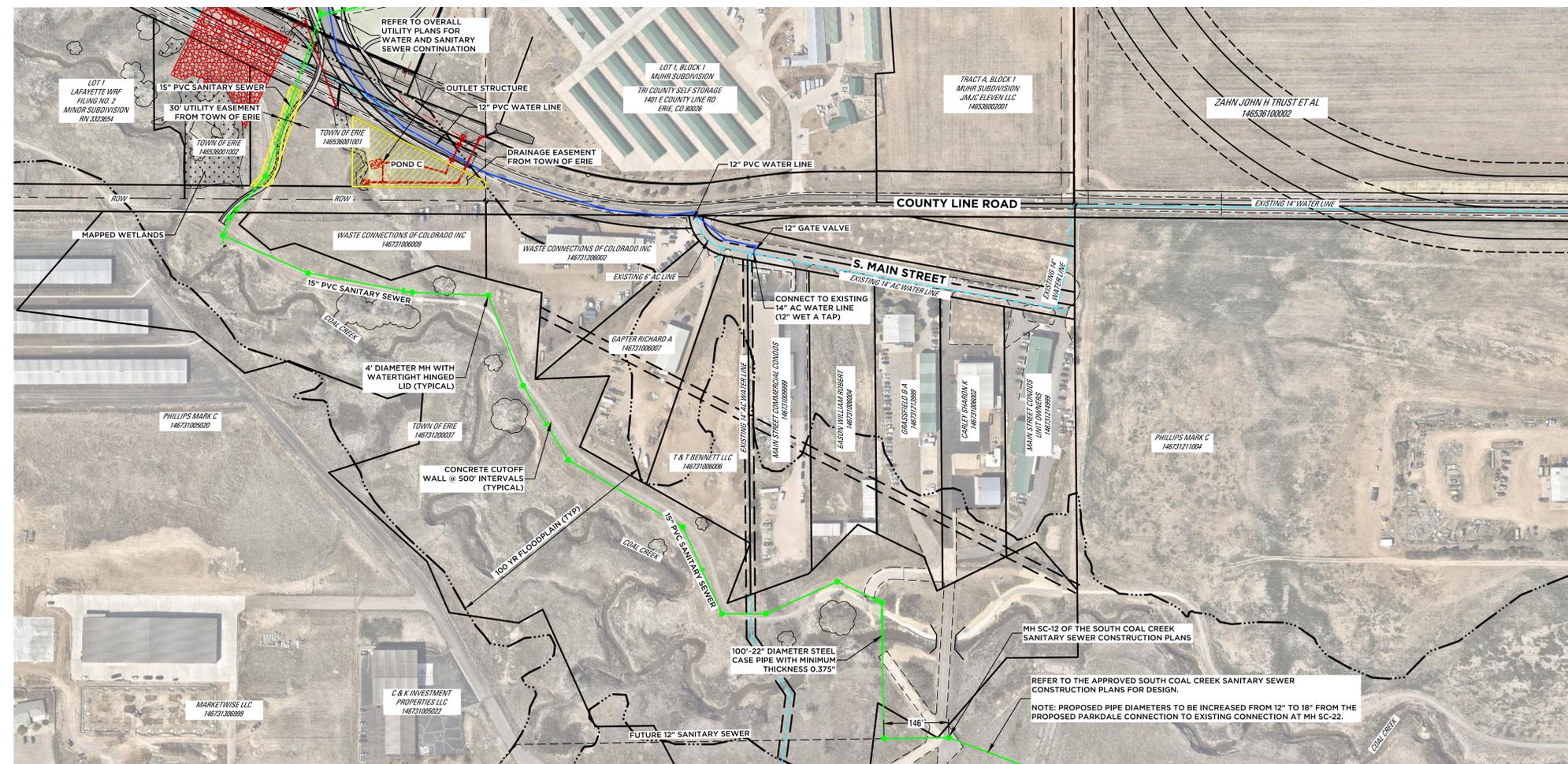
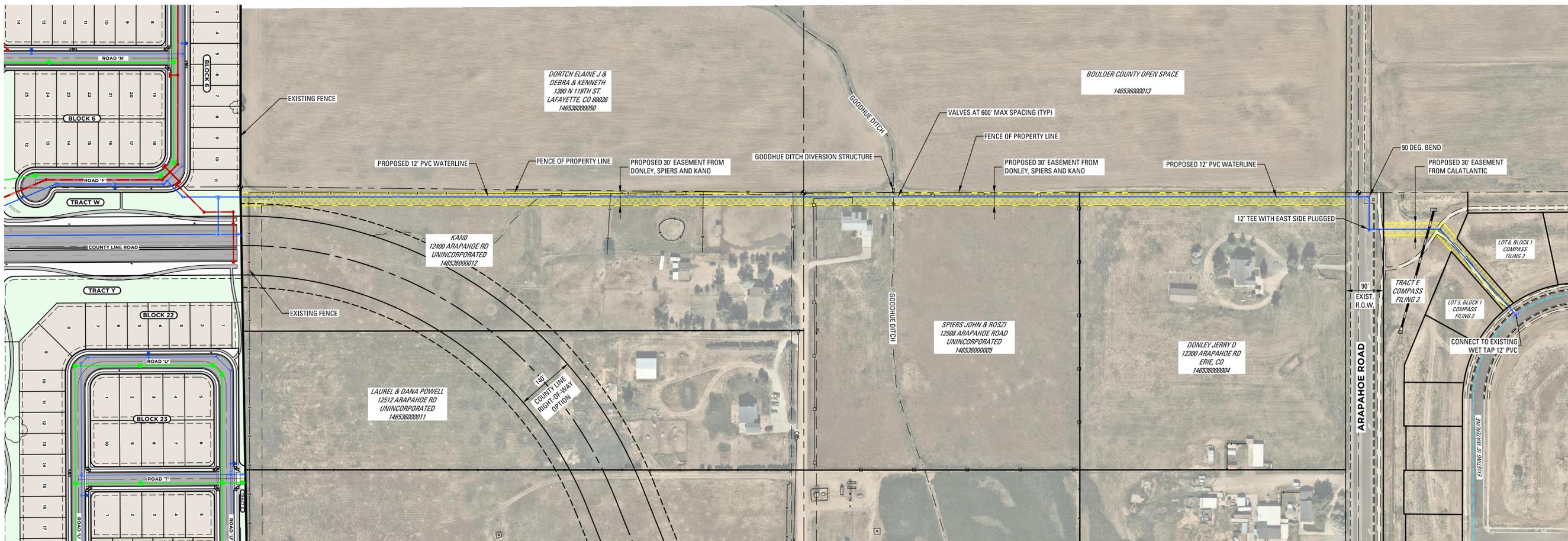
DRAWN BY:
BSS

DESIGNED BY:
BSS

SCALE:
1" = 200'

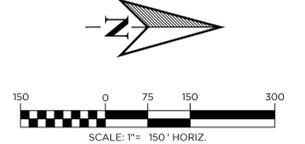
SUBMITTED ON:
05.22.17

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LEGEND

- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE



ENGINEERING:



KT ENGINEERING
 12500 W. 58TH AVE. #230
 ARVADA, CO 80002
 P: 720.638.5190

LAND PLANNING:



people creating spaces
 pcs group inc. www.pcsgruppco.com
 25 S. 180th Independence p1000
 1007 16th street denver co 80255
 730.531.4900 f. 303.531.4908

PREPARED FOR:

OEO, LLC
 7353 SOUTH ALTON WAY
 CENTENNIAL, CO 80112
 303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1.	10.09.2017	BSS	REVISIONS PER TOWN COMMENT
2.	01.24.2018	BSS	REVISIONS PER TOWN COMMENT
3.	04.16.2018	BSS	REVISIONS PER TOWN COMMENT
4.			
5.			
6.			

SHEET INFO:

PARKDALE
 PRELIMINARY DEVELOPMENT PLAN
 OFFSITE UTILITY PLAN

PROJECT NO:
0043-1532

DRAWN BY:
BSS
 DESIGNED BY:
BSS

SCALE:
AS SHOWN

SUBMITTED ON:
05.22.17

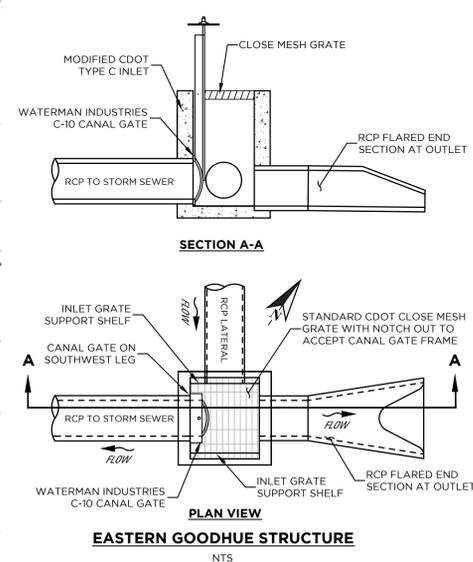
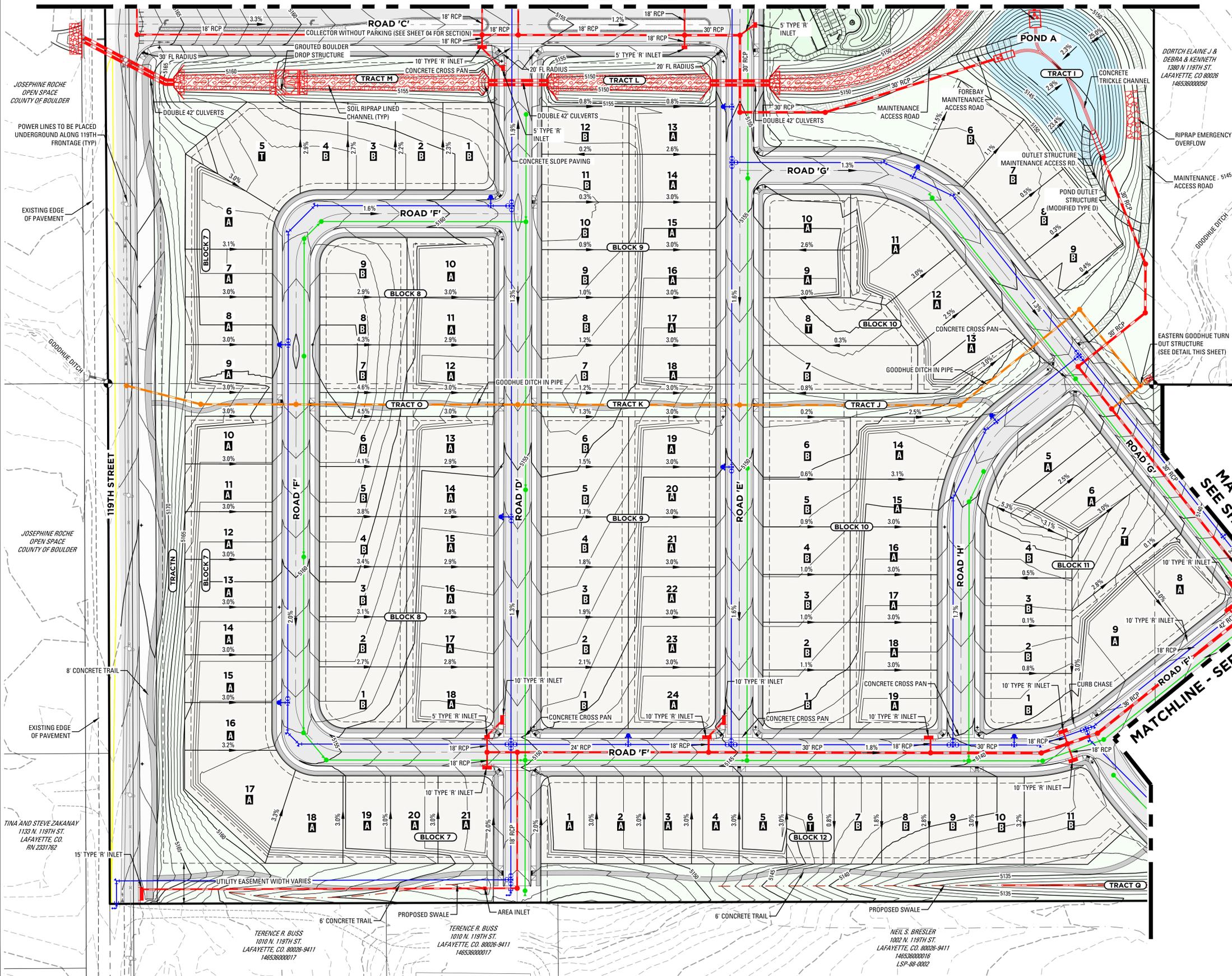
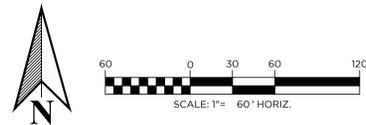
08
 OF 44

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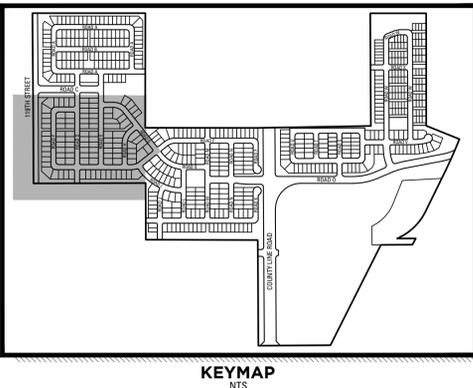
NOTES

1. TYPICAL STREET SECTIONS CAN BE FOUND ON SHEETS 03 & 04.
2. TYPICAL CHANNEL SECTIONS CAN BE FOUND ON SHEET 07.
3. STREETS ARE LOCAL UNLESS NOTED OTHERWISE.
4. ALL CURB RETURN FLOWLINE RADIUS ARE 15' UNLESS NOTED OTHERWISE.

MATCHLINE - SEE SHEET 09



- LEGEND**
- 8" WATERLINE
 - 12" WATERLINE
 - SANITARY SEWER (8" UNLESS NOTED OTHERWISE)
 - STORM SEWER
 - IRRIGATION LINE (GOODHUE DITCH)
 - FLOWLINE PROPOSED DRAINAGE SWALE
 - GATE VALVE
 - FIRE HYDRANT
 - WATERLINE MECHANICAL BEND
 - SANITARY MANHOLE
 - STORM MANHOLE
 - TYPE 'R' INLET
 - AREA INLET
 - A B T W LOT TYPE GRADING - 'A', 'B' TRANSITION, WALKOUT
 - LOT SLOPE FROM FRONT TO REAR PROPERTY LINE



ENGINEERING:

KT ENGINEERING
 12500 W. 58TH AVE. #230
 ARVADA, CO 80002
 P: 720.638.5190

LAND PLANNING:

 pcs group inc. www.pcsgruonline.com
 43 S. 180th Independence priso
 1007 14th street denver co 80255
 303.531.4900 / 303.531.4908

PREPARED FOR:
OEO, LLC
 7353 SOUTH ALTON WAY
 CENTENNIAL, CO 80112
 303.770.9111

REVISIONS:

NO.	DATE	BY	DESCRIPTION
1.	10.09.2017	BSS	REVISIONS PER TOWN COMMENT
2.	01.24.2018	BSS	REVISIONS PER TOWN COMMENT
3.	04.16.2018	BSS	REVISIONS PER TOWN COMMENT
4.			
5.			
6.			

SHEET INFO:

PARKDALE
 PRELIMINARY DEVELOPMENT PLAN
 DETAILED GRADING, UTILITY & ROADS

PROJECT NO:
0043-1532
 DRAWN BY:
BSS
 DESIGNED BY:
BSS
 SCALE:
1" = 60'
 SUBMITTED ON:
05.22.17

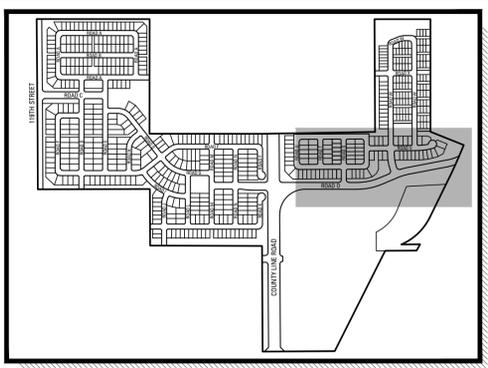
J:\0043\1532\CULVERT\LANDING\PP\09\09-PP-Detailed-Grading-Utility.dwg

TINA AND STEVE ZAKANY
 1133 N. 119TH ST.
 LAFAYETTE, CO.
 RN 231762

TERENCE R. BUSS
 1010 N. 119TH ST.
 LAFAYETTE, CO. 80026-9411
 146536000017

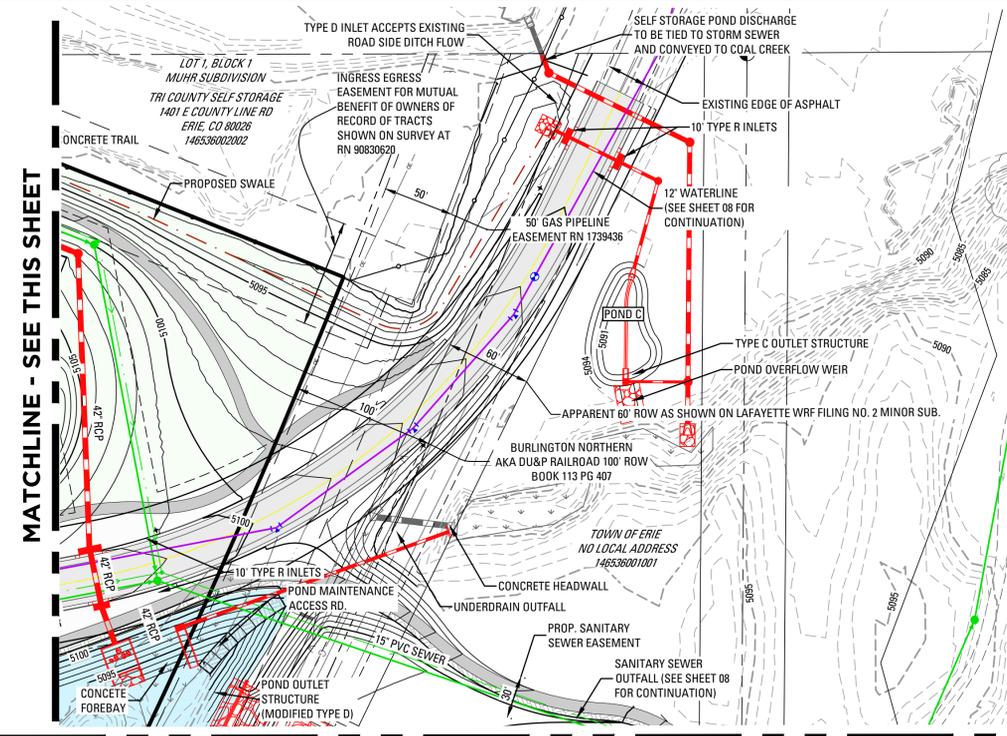
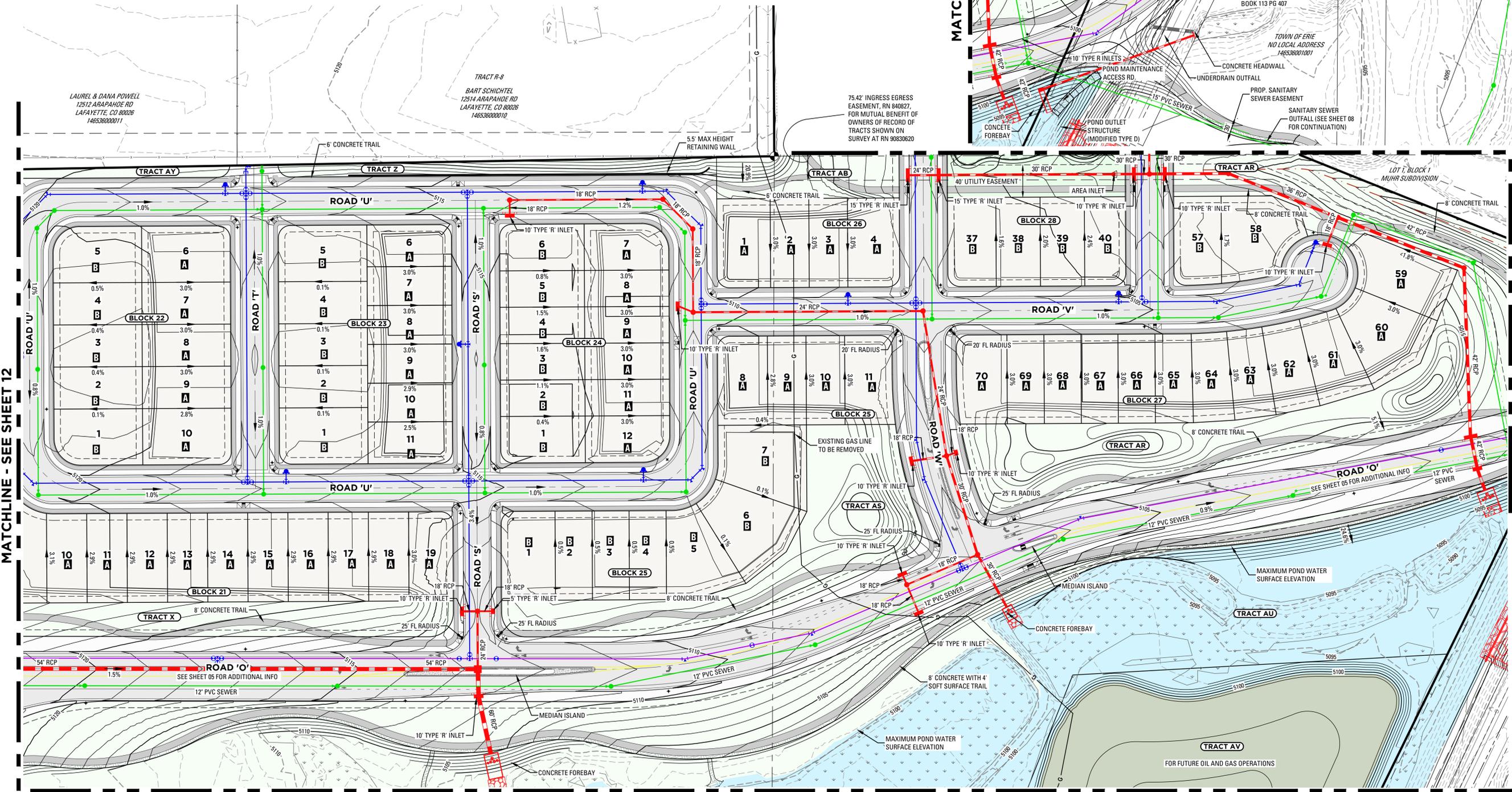
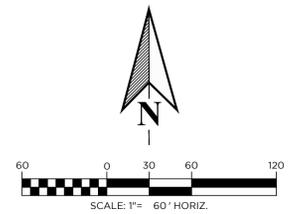
TERENCE R. BUSS
 1010 N. 119TH ST.
 LAFAYETTE, CO. 80026-9411
 146536000017

NEIL S. BRIESLER
 1002 N. 119TH ST.
 LAFAYETTE, CO. 80026-9411
 146536000016
 LSP-88-0002



- LEGEND**
- 8" WATERLINE
 - 12" WATERLINE
 - SANITARY SEWER (8" UNLESS NOTED OTHERWISE)
 - STORM SEWER
 - IRRIGATION LINE (GOODHUE DITCH)
 - FLOWLINE PROPOSED DRAINAGE SWALE
 - GATE VALVE
 - FIRE HYDRANT
 - WATERLINE MECHANICAL BEND
 - SANITARY MANHOLE
 - STORM MANHOLE
 - TYPE 'R' INLET
 - AREA INLET
 - A B T W O** LOT TYPE GRADING - 'A', 'B' TRANSITION, WALKOUT
 - LOT SLOPE FROM FRONT TO REAR PROPERTY LINE

- NOTES**
1. TYPICAL STREET SECTIONS CAN BE FOUND ON SHEETS 03 & 04.
 2. TYPICAL CHANNEL SECTIONS CAN BE FOUND ON SHEET 07.
 3. STREETS ARE LOCAL UNLESS NOTED OTHERWISE.
 4. ALL CURB RETURN FLOWLINE RADIUS ARE 15' UNLESS NOTED OTHERWISE.



ENGINEERING:

KT ENGINEERING
 12500 W. 58TH AVE. #230
 ARVADA, CO 80002
 P: 720.638.5190

LAND PLANNING:

 pcs group inc. www.pcsgruopco.com
 1515 116th street - denver co 80255
 1.303.531.4900 / 1.303.531.4908

PREPARED FOR:
OEO, LLC
 7353 SOUTH ALTON WAY
 CENTENNIAL, CO 80112
 303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
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5.			
6.			

SHEET INFO:

PARKDALE
 PRELIMINARY DEVELOPMENT PLAN
 DETAILED GRADING, UTILITY & ROADS

PROJECT NO:
0043-1532

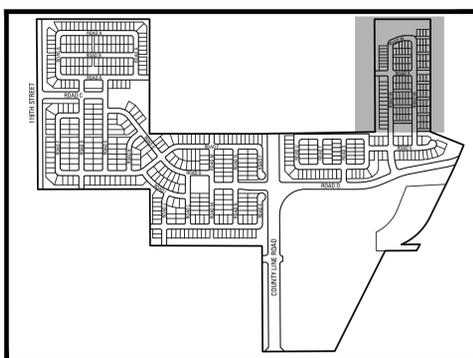
DRAWN BY:
BSS

DESIGNED BY:
BSS

SCALE:
1" = 60'

SUBMITTED ON:
05.22.17

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KEYMAP
NTS

NOTES

1. TYPICAL STREET SECTIONS CAN BE FOUND ON SHEETS 03 & 04.
2. TYPICAL CHANNEL SECTIONS CAN BE FOUND ON SHEET 07.
3. STREETS ARE LOCAL UNLESS NOTED OTHERWISE.
4. ALL CURB RETURN FLOWLINE RADIUS ARE 15' UNLESS NOTED OTHERWISE.

LEGEND

- 8" WATERLINE
- 12" WATERLINE
- SANITARY SEWER (8" UNLESS NOTED OTHERWISE)
- STORM SEWER
- IRRIGATION LINE (GOODHUE DITCH)
- FLOWLINE PROPOSED DRAINAGE SWALE
- GAS LINE (CONCEPTUAL LOCATION)
- ELECTRIC LINE (CONCEPTUAL LOCATION)
- GATE VALVE
- FIRE HYDRANT
- WATERLINE MECHANICAL BEND
- SANITARY MANHOLE
- STORM MANHOLE
- TYPE 'R' INLET
- AREA INLET
- ELECTRIC PEDESTAL (CONCEPTUAL LOCATION)
- ELECTRIC TRANSFORMER (CONCEPTUAL LOCATION)
- LOT TYPE GRADING - 'A', 'B' TRANSITION, WALKOUT

ENGINEERING:
KT
KT ENGINEERING
12500 W. 58TH AVE. #230
ARVADA, CO 80002
P: 720.638.5190

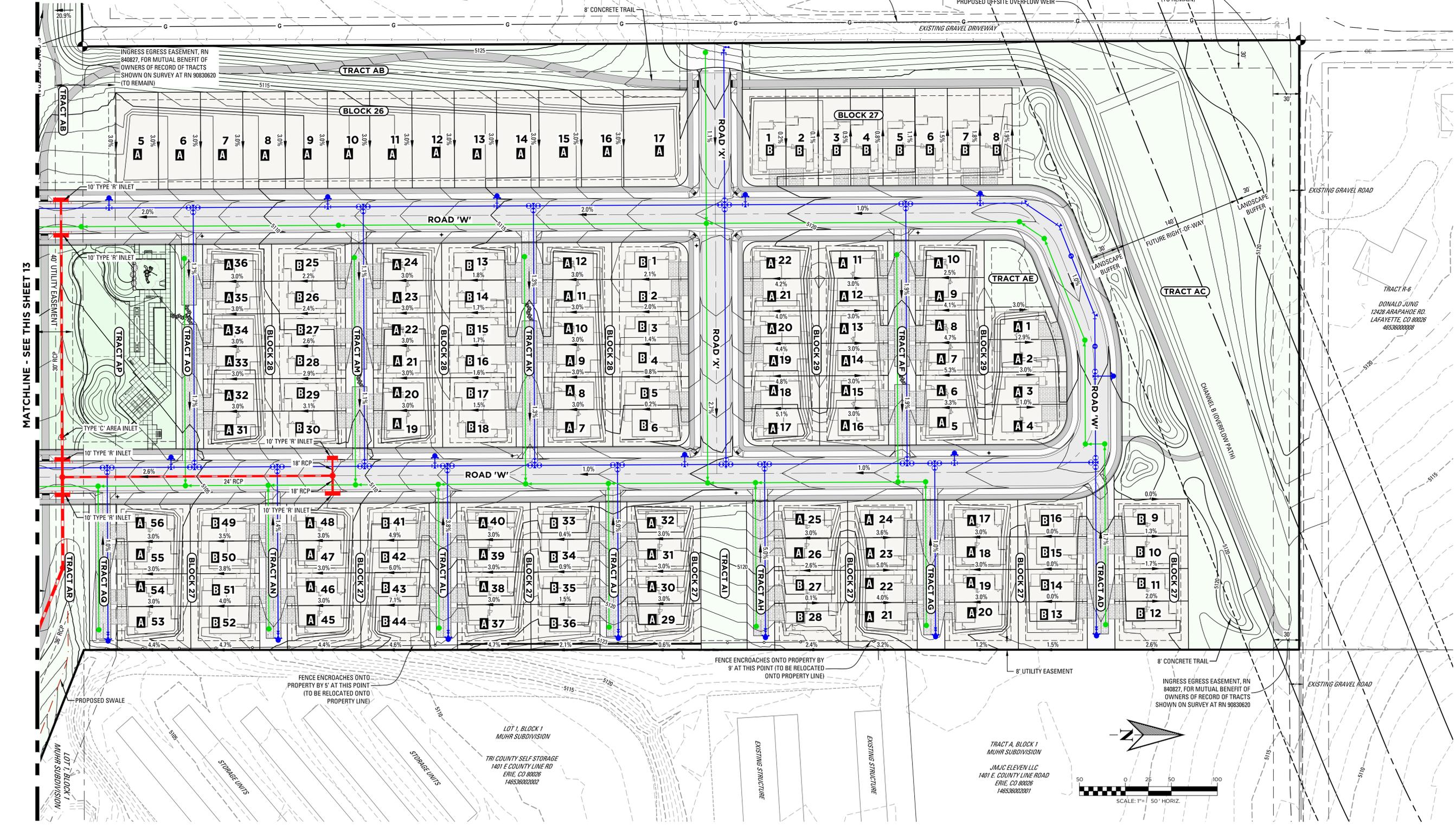
LAND PLANNING:
people creating spaces
pcsgroup inc. www.pcsgroup.com
45 S. 160th Independence p100
1007 16th street denver co 80255
730.531.4900 / 730.531.4908

PREPARED FOR:
OEO, LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
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2.	01/24/2018	BSS	REVISIONS PER TOWN COMMENT
3.	04/16/2018	BSS	REVISIONS PER TOWN COMMENT
4.			
5.			
6.			

SHEET INFO:



PARKDALE
PRELIMINARY DEVELOPMENT PLAN
DETAILED GRADING, UTILITY & ROADS

PROJECT NO:
0043-1532

DRAWN BY:
BSS

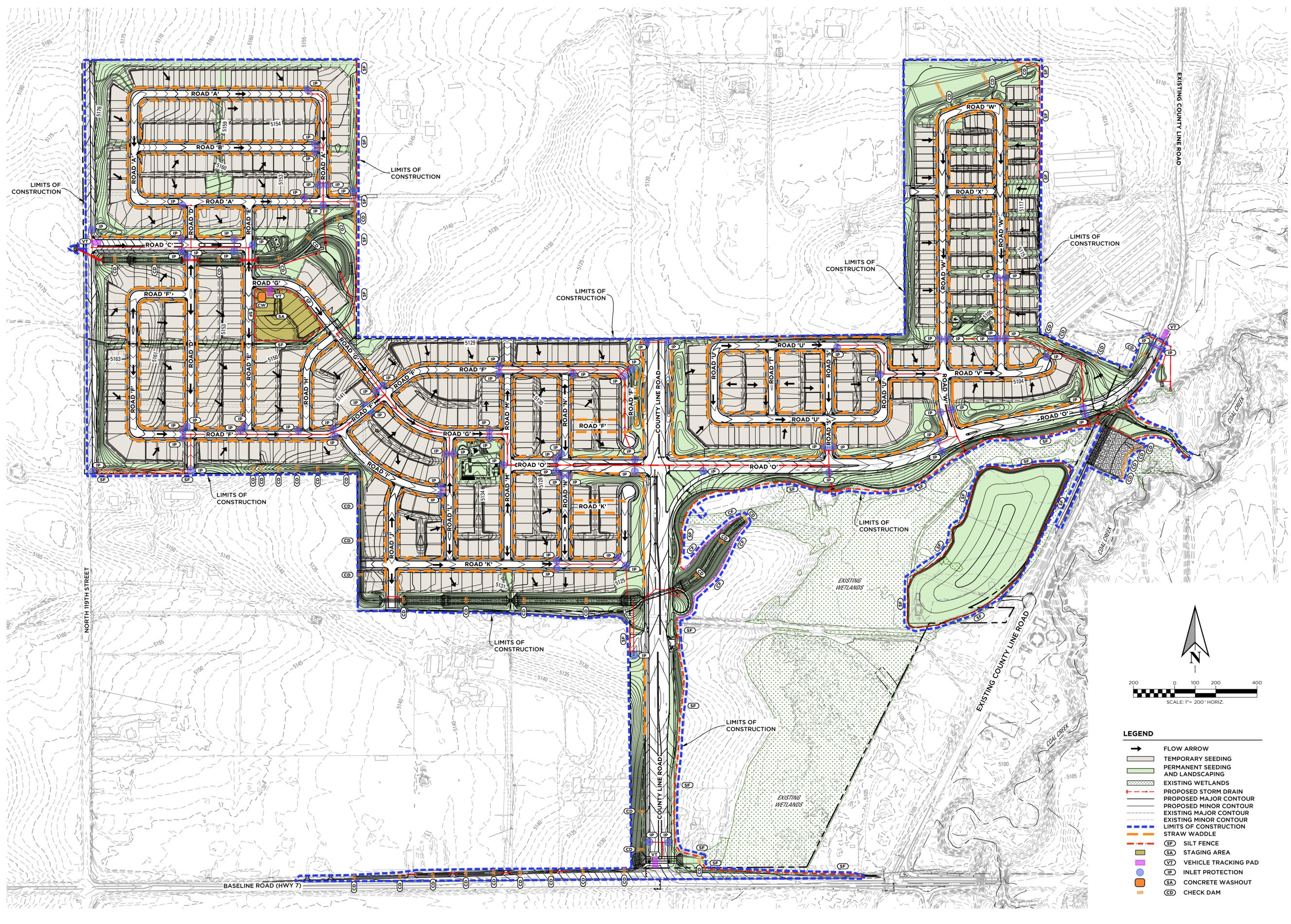
DESIGNED BY:
BSS

SCALE:
1" = 50'

SUBMITTED ON:
05.22.17

14
OF 44

J:\0043\1532\CIVIL\PLANNING\DWG\SHEETS\1532-PDP-DETAILED GRADING-UTILITY.dwg



REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1.	REVISIONS PER TOWN COMMENT	10.09.2017	BSS
2.	REVISIONS PER TOWN COMMENT	01.24.2018	BSS
3.	REVISIONS PER TOWN COMMENT	04.16.2018	BSS
4.			
5.			
6.			

SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
EROSION CONTROL PLAN

PROJECT NO:
0043-1532
 DRAWN BY:
KPT
 DESIGNED BY:
KPT

SCALE:
1" = 200'
 SUBMITTED ON:
05.22.17

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PARKDALE PRELIMINARY DEVELOPMENT PLAN

LOCATED IN SECTION 36,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
COUNTY OF BOULDER, STATE OF COLORADO
218.48 ACRES
PP-000894-2017

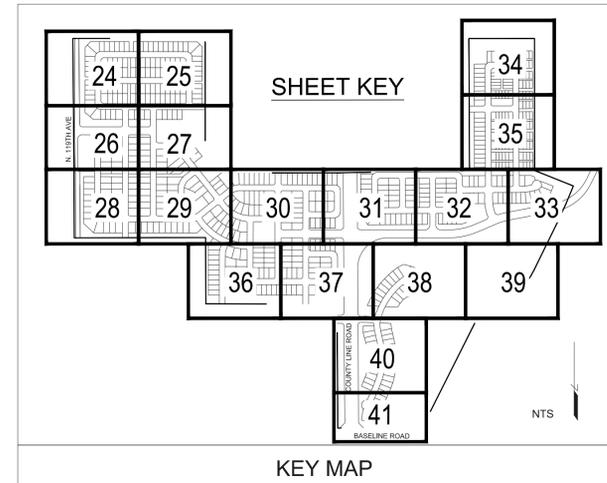
TOWN OF ERIE GENERAL NOTES - LANDSCAPE & IRRIGATION:

IRRIGATION:

- ALL WORK SHALL CONFORM TO TOWN OF ERIE STANDARDS AND SPECIFICATIONS AND WITH THE ACCEPTED PLANS. REFER TO THESE STANDARDS FOR ADDITIONAL INFORMATION AS NEEDED. A COPY OF THESE SPECIFICATIONS SHALL BE AVAILABLE ON THE WORK SITE AT ALL TIMES.
- THE DEVELOPER/ARCHITECT SHALL ENSURE THAT THE IRRIGATION PLAN IS COORDINATED WITH PLANS DONE BY OTHERS SO THE PROPOSED GRADING, DRAINAGE WORK, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- STORM WATER BEST MANAGEMENT PRACTICES SHALL CONFORM TO STATE OF COLORADO REQUIREMENTS. ALL STORM WATER REPORTS AND REQUIRED PAPERWORK SHALL ADHERE TO ALL STATE OF COLORADO REQUIREMENTS. THE CONTRACTOR SHALL CERTIFY THAT THE GRADE IS WITHIN PLUS OR MINUS ONE-TENTH (1/10TH) OF THE FINAL GRADING PLAN PRIOR TO COMMENCEMENT OF ANY LANDSCAPE OR IRRIGATION WORK.
- ONE-TENTH (1/10TH) OF THE FINAL GRADING PLAN PRIOR TO COMMENCEMENT OF ANY LANDSCAPE OR IRRIGATION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES ASSOCIATED WITH THE WORK AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- ANY REVISION TO THE IRRIGATION PLAN SHALL BE REVIEWED AND APPROVED BY THE PARKS & RECREATION DIRECTOR OR DESIGNEE PRIOR TO IMPLEMENTATION.
- THE CONTRACTOR SHALL HAVE ACCEPTED SET OF PLANS AND MUST HAVE HELD A PRE-CONSTRUCTION MEETING WITH THE TOWN OF ERIE PARKS DIVISION PRIOR TO THE COMMENCEMENT OF ANY AND ALL WORK.
- THE CONTRACTOR SHALL WARRANTY THE WORKMANSHIP AND IRRIGATION SYSTEM FOR A PERIOD OF TWO YEARS.
- DO NOT DISTURB PAVING, LIGHTING, LANDSCAPE OR IRRIGATION THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLANS.
- THE CONTRACTOR SHALL IDENTIFY, VERIFY AND PROTECT CONTROL POINT. CONTRACTOR SHALL VERIFY LOCATION OF CONTROL POINT WEEKLY AND THE ORIGINAL CONDITION OF CONTROL POINT PIN SHALL BE MAINTAINED THROUGHOUT ENTIRE PROJECT. LOCATION AND G.P.S. COORDINATES OF THE CONTROL POINT SHALL BE IDENTIFIED ON ALL PLANS AND AS-BUILTS. THE IRRIGATION SYSTEM SHALL BE INSTALLED AFTER SOIL PREPARATION AND PRIOR TO PLANT MATERIALS.

LANDSCAPE:

- ALL WORK SHALL CONFORM TO TOWN OF ERIE STANDARDS AND SPECIFICATIONS AND WITH THE ACCEPTED PLANS. REFER TO THESE STANDARDS FOR ADDITIONAL INFORMATION AS NEEDED. A COPY OF THESE SPECIFICATIONS SHALL BE AVAILABLE ON THE WORK SITE AT ALL TIMES.
- THE DEVELOPER/ARCHITECT SHALL ENSURE THAT THE IRRIGATION PLAN IS COORDINATED WITH PLANS DONE BY OTHERS SO THE PROPOSED GRADING, DRAINAGE WORK, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
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- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES ASSOCIATED WITH THE WORK AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- ANY REVISION TO THE IRRIGATION PLAN SHALL BE REVIEWED AND APPROVED BY THE PARKS & RECREATION DIRECTOR OR DESIGNEE PRIOR TO IMPLEMENTATION.
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- GRAPHIC SYMBOLS SHALL PRESIDE OVER WRITTEN PLANT QUANTITIES.
- ALL TREE SPECIES SHALL BE FROM THE TOWN OF ERIE APPROVED TREE LIST.
- NATIVE PLANTS SHALL BE USED IN NATIVE SEED AREAS. REFER TO STANDARDS AND SPECIFICATIONS FOR COMPLETE SPECIES LIST.
- ALL STREET TREE SPECIES AND THEIR LOCATIONS SHALL BE APPROVED BY THE PARKS & RECREATION DIRECTOR OR DESIGNEE FOR TREES PLANTED ADJACENT TO RESIDENTIAL HOMES WHETHER THEY ARE INSTALLED BY THE DEVELOPER, CONTRACTOR, OR HOMEOWNER
- NO ASH TREES SHALL BE PLANTED UNDER ANY CIRCUMSTANCES.



SYMBOLS & ABBREVIATIONS

AC = ACRE	E.P. = EDGE OF PAVING	N.T.S. = NOT TO SCALE	DEMOLITION NOTE CONSTRUCTION NOTE
APPROXIMATE = APPROX.	EXP. = EXPANSION	O.C. = ON CENTER	
B&B = BALL AND BURLAP	E.W. = EACH WAY	O.D. = OUTSIDE DIAMETER	SPOT ELEVATION ELEVATION
BOC = BACK OF CURB	F.F. = FINISH FLOOR	P.O.B. = POINT OF BEGINNING	
B.M. = BENCH MARK	F.G. = FINISH GRADE	P.O.C. = POINT OF CONNECTION	DETAIL NUMBER DETAIL NAME SHEET NUMBER
BLDG. = BUILDING	FIN. = FINISH	P.V.C. = POLYVINYL CHLORIDE PIPE	
B.S. = BOTTOM OF STAIR	F.H. = FIRE HYDRANT	PL = PROPERTY LINE	DETAIL NUMBER SECTION DESIGNATION
B.W. = BOTTOM OF WALL	FL = FLOW LINE	R = RADIUS	
CAL. = CALIPER	FTG. = FOOTING	R.C.P. = REINFORCED CONCRETE PIPE	
C.B. = CATCH BASIN	FT. = FEET	R.O.W. = RIGHT OF WAY	
CL CATCH BASIN CENTER LINE	GA. = GAUGE	REQ'D. = REQUIRED	
C.O. = CLEANOUT	GALV. = GALVANIZED	REINF. = REINFORCED	
COL. = COLUMN	H.W. = HEAD WALL	SHT. = SHEET	
CONC. = CONCRETE	H.P. = HIGH POINT	SPEC. = SPECIFICATIONS	
CONT. = CONTINUOUS	HT. = HEIGHT	SQ. = SQUARE	
CONTR. = CONTRACTOR	HORIZ. = HORIZON	S.F. = SQUARE FEET	
C.F. = CUBIC FEET	I.D. = INNER DIAMETER	S.Y. = SQUARE YARD	
C.Y. = CUBIC YARD	IN. = INCH	S.S. = STAINLESS STEEL	
DET. = DETAIL	INV. = INVERT	T.C. = TOP OF CURB	
DIM. = DIMENSION	L.P. = LOW POINT	T.S. = TOP OF STAIR	
DIA. = DIAMETER	L.F. = LINEAR FEET	T.W. = TOP OF WALL	
DWG. = DRAWING	MAX. = MAXIMUM	TYP. = TYPICAL	
EA. = EACH	M.H. = MAN HOLE	VERT. = VERTICAL	
ELEV. = ELEVATION	MIN. = MINIMUM	W/O = WITH OUT	
EXIST. = EXISTING	MISC. = MISCELLANEOUS	W.W.M. = WOVEN WIRE MESH	
	N.I.C. = NOT IN CONTRACT		

ENGINEERING:

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PREPARED FOR:
OEO, LLC
 7353 SOUTH ALTON WAY
 CENTENNIAL, CO 80112
 303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
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SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
LANDSCAPE COVER SHEET

PROJECT NO:
000894-2017

DRAWN BY:
BM/GG
 DESIGNED BY:
BM

SCALE:
N.T.S

SUBMITTED ON:
2017-10-11

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OF 44

PARKDALE PRELIMINARY DEVELOPMENT PLAN

LOCATED IN SECTION 36,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
COUNTY OF BOULDER, STATE OF COLORADO
218.48 ACRES
PP-000894-2017

PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	CONT
AA2	ACER FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	B & B
AG	ACER GINANA 'FLAME'	FLAME MAPLE	B & B
AG4	ACER GRANDIDENTATUM	BIGTOOTH MAPLE	B & B
ABS	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B & B
WC	CATALPA SPECIOSA	NORTHERN CATALPA	B & B
HB	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B
CC	CERCIS CANADENSIS	EASTERN REDBUD	B & B
GS	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM	SHADEMASTER LOCUST	B & B
GI	GLEDITSIA TRIACANTHOS 'IMPERIAL'	IMPERIAL HONEYLOCUST	B & B
KCT	GYMNOCLADUS DIOICA	KENTUCKY COFFEE TREE	B & B
KP2	KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	B & B
PA2	POPULUS ANGLUSTIFOLIA	NARROWLEAF POPLAR	B & B
PS	POPULUS SARGENTII	PLAINS COTTONWOOD	B & B
BRO	QUERCUS MACROCARPA	BURR OAK	B & B
QR	QUERCUS X WAREI 'REGAL PRINCE'	REGAL PRINCE OAK	B & B
SJ	SOPHORA JAPONICA	JAPANESE PAGODA TREE	B & B
TL	TILIA AMERICANA 'LEGEND'	AMERICAN LEGEND	B & B
TG	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	B & B
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	CONT
JWB	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	WICHITA BLUE JUNIPER	15 GAL
JD2	JUNIPERUS VIRGINIANA 'BRODIE'	BRODIE COLUMNAR CEDAR	B & B
PD	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B & B
PP	PICEA PUNGENS	COLORADO SPRUCE	B & B
LPN	PINUS FLEXILIS	LIMBER PINE	B & B
VP	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID PINE	B & B
PN	PINUS NIGRA	AUSTRIAN BLACK PINE	B & B
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	CONT
CP	CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORN	B & B
WKH	CRATAEGUS VIRIDIS 'WINTER KING'	'WINTER KING' HAWTHORN	B & B
MFR	MALUS X 'PROFUSION'	PROFUSION CRAB APPLE	B & B
PC	PYRUS CALLERYANA 'CLEVELAND SELECT'	CLEVELAND SELECT PEAR	B & B
ANNUALS/PERENNIALS	BOTANICAL NAME	COMMON NAME	CONT
AA4	ACHILLEA X 'ANTHEA'	ANTHEA YARROW	1 GAL
AC	AGASTACHE X 'CORANADO RED'	ANISE HYSSOP	1 GAL
EP	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL
EC	EUONYMUS FORTUNEI 'COLORATA'	PURPLE-LEAF WINTER CREEPER	1 GAL
HO	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL
MNS	SALVIA X SYLVESTRIS 'MAY NIGHT'	MAYNIGHT SALVIA	1 GAL
DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME	CONT
RGB	BERBERIS THUNBERGII 'ROSE GLOW'	ROSY GLOW BARBERRY	5 GAL
BUD	BUDDLEJA DAVIDII 'BLACK KNIGHT'	BLACK KNIGHT BUTTERFLY BUSH	5 GAL
CD	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	BLUE MIST SHRUB	5 GAL
CF	CHAMAEBATIARIA MILLIFOLIUM 'FERNBUSH'	FERNBUSH	5 GAL
CR	CHRYSOTHAMNUS NAUSEOSUS	RUBBER RABBITBRUSH	5 GAL
CRN	CHRYSOTHAMNUS NAUSEOSUS NAUSEOSUS	DWARF BLUE RABBITBRUSH	5 GAL
C1	CORNUS SERICEA 'ISANTI'	ISANTI REDOSIER DOGWOOD	5 GAL
CK2	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	5 GAL
CC3	COTONEASTER APICULATUS	CORAL BEAUTY COTONEASTER	5 GAL
DB	DAPHNE X BURKWOODII 'CAROL MACKIE'	CAROL MACKIE DAPHNE	5 GAL
EC2	EUONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	5 GAL
LV	LIGUSTRUM VICARYI	GOLDEN PRIVET	5 GAL
LL	LIGUSTRUM VULGARE 'LODENSE'	LODENSE PRIVET	5 GAL
RSA	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	5 GAL
PD2	POTENTILLA FRUTICOSA 'GOLD DROP'	GOLD DROP POTENTILLA	5 GAL
PP3	PRUNUS BESSEYI 'PAWNEE BUTTES'	SAND CHERRY	5 GAL
PLS	PRUNUS X CISTENA	PURPLE LEAF SAND CHERRY	5 GAL
RA	RHUS AROMATICA 'AUTUMN AMBER'	AUTUMN AMBER SUMAC	5 GAL
RG	RIBES AUREUM	GOLDEN CURRANT	5 GAL
RF	ROSA X 'FLOWER CARPET CORAL'	CORAL FLOWER CARPET ROSE	5 GAL
PKR	ROSA X 'PINK KNOCKOUT'	PINK KNOCKOUT ROSE	5 GAL
SE	SALIX EXIGUA	SANDBAR WILLOW	5 GAL
GFS	SPIRAEA JAPONICA 'GOLDFLAME'	SPIREA	5 GAL
SS	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS JAPANESE SPIREA	5 GAL
MKL	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	5 GAL
SC	SYRINGA X PRESTONIAE 'MISS CANADA'	MISS CANADA PRESTON LILAC	5 GAL
VL2	VIBURNUM LENTAGO	NANNYBERRY	5 GAL
EVERGREEN SHRUB	BOTANICAL NAME	COMMON NAME	CONT
AC2	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAN'	MANZANITA	5 GAL
AP	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	PANCHITO MANZANITA	5 GAL
EE	EPHEDRA EQUISETINA	BLUESTEM JOINT FIR	5 GAL
HJ	JUNIPERUS HORIZONTALIS 'HUGHES'	HUGHES JUNIPER	5 GAL
JW	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	5 GAL
JUA	JUNIPERUS SABINA 'ARCADIA'	ARCADIA JUNIPER	5 GAL
JM	JUNIPERUS SABINA 'SCANDIA'	SCANDIA JUNIPER	5 GAL
JS	JUNIPERUS SCOPULORUM 'MOONGLOW'	MOONGLOW JUNIPER	10 GAL
JB	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	5 GAL
JP	JUNIPERUS X MEDIA 'PFITZERANA COMPACTA'	COMPACT PFITZER JUNIPER	5 GAL
GRASSES	BOTANICAL NAME	COMMON NAME	CONT
CR2	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	1 GAL
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL
MM	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	1 GAL
PMG	MISCANTHUS SINENSIS 'PURPURASCENS'	AUTUMN RED FLAME GRASS	1 GAL
VSG	MISCANTHUS SINENSIS 'VARIEGATUS'	VARIEGATED JAPANESE SILVER GRASS	1 GAL
DMG	MISCANTHUS SINENSIS 'YAKU JIMA'	DWARF MAIDEN GRASS	1 GAL
PD3	PANICUM VIRGATUM 'DALLAS BLUES' TM	DALLAS BLUES SWITCH GRASS	1 GAL
SL2	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM GRASS	1 GAL
SH	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	LITTLE BLUESTEM	5 GAL
ST	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSSEED	5 GAL
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT

	CRUSHER FINES	CRUSHER FINES	STAKES
	RETENTION SEED MIX	RETENTION SEED MIX	STAKES
	FIBAR	FIBAR	STAKES
	GRAY ROCK MULCH, 1.5"	GRAY ROCK MULCH, 1.5"	STAKES
	MULCH WOOD	WOOD MULCH	STAKES
	SEED, NON-IRRIG	SEED, NON-IRRIG	STAKES
	SOD, IRRIG	SOD, IRRIG	STAKES

LANDSCAPE NOTES

SITE PREP

- LANDSCAPE CONTRACTOR TO REFERENCE CIVIL ENGINEERING DRAWINGS REGARDING DRAINAGE AND EROSION CONTROL NOTES, DETAILS AND PROCEDURES.
- ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT ENTRY.
- SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE, EROSION CONTROL, PAVING AND SLEEVES, UTILITIES, AND OTHER ENGINEERED DETAILS.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- A PRE-CONSTRUCTION MEETING MAY BE REQUIRED BETWEEN THE LANDSCAPE CONTRACTOR, PROPERTY OWNER AND LANDSCAPE ARCHITECT BEFORE START OF CONSTRUCTION.
- CONTRACTOR SHALL MINIMIZE ALL DISTURBANCE TO NON-IMPACTED AREAS.
- SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES, WARNING SIGNAGE, OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER ON-SITE WORK HOURS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS FOR CONSTRUCTION WORK WITHIN THE LOCAL JURISDICTION. A SEPARATE LANDSCAPE CONSTRUCTION PERMIT IS REQUIRED AND USE AND SALES TAX WILL BE COLLECTED. WATER CONNECTION FEES ARE TO BE PAID PRIOR TO THE METER SETTING. A BACK FLOW PERMIT AND INSPECTION IS REQUIRED PRIOR TO THE METER BEING INSTALLED IN THE VAULT.
- TOPSOIL IS TO BE STRIPPED & STOCKPILED ON-SITE FOR LATER USE.
- CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING OR NEW SITE IMPROVEMENTS DISTURBED OR DAMAGED DUE TO THEIR OPERATIONS. DAMAGED MATERIALS SHALL BE REPLACED/REPAIRED TO ITS PRIOR CONDITION.
- LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OR LANDSCAPE PLANTING. CONTRACTOR SHALL HAND DIG ALL PLANTING PITS ADJACENT TO UTILITIES. IF UTILITIES ARE DAMAGED, REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSEND & AMENDED.
- ALL LANDSCAPE AREAS SHALL RECEIVE SOIL AMENDMENT ROTOTILLED AT A MIN. 8" DEPTH AT A RATE OF 5 CUBIC YARDS PER 1,000 SF.
- CONTRACTOR SHALL SUBMIT SOIL AMENDMENT SPECIFICATIONS FOR APPROVAL PRIOR TO INSTALLATION.

TURF & GROUND COVER MATERIAL

- ANY SUBSTITUTION OR ALTERATION OF PLANT OR LANDSCAPE MATERIALS IN LOCATION, SPECIES, TYPE, ETC. SHALL BE ALLOWED ONLY WITH APPROVAL OF THE LANDSCAPE ARCHITECT. OVERALL PLANT QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED PLANS AND IN ACCORDANCE WITH TOWN OF ERIE STANDARDS AND SPECIFICATIONS.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
- PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 4' BETWEEN WATER OR SEWER SERVICE LINES AND A MINIMUM SEPARATION OF 10' BETWEEN WATER OR SEWER MAIN LINES. PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 4' BETWEEN GAS LINES.
- ALL PROPOSED IRRIGATED TURF AREAS SHALL BE SODDED WITH THE BLEND SPECIFIED IN THESE PLANS. SOD SHALL BE LAID ON A FIRM BED WITH TIGHT JOINTS AND WITHOUT VOIDS.
- TREE WRAP TO BE APPLIED IN LATE FALL AFTER INSTALLATION, AND REMOVED THE FOLLOWING SPRING. REMOVE ANY STRING OR WIRE AROUND TREE TRUNKS AT TIME OF INSTALLATION.
- CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, OWNER'S REPRESENTATIVE, AND/OR THE CITY/COUNTY PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE AND REPAIR.
- MAINTAIN A MINIMUM THREE FOOT CLEARANCE AROUND FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS OR OTHER FIRE SERVICE EQUIPMENT. NO TREES OR SHRUBS WILL BE ALLOWED 10' OF FIRE HYDRANT.
- NO PLANT MATERIAL SHALL BE PLANTED WITHIN 10' OF ANY EXISTING OR PROPOSED ELECTRICAL SWITCHGEARS, TRANSFORMERS OR OTHER ELECTRICAL UTILITY EQUIPMENT. PLANT MATERIAL MAY BE FIELD ADJUSTED TO PROVIDE THE 10' CLEAR SPACE AND ACCESSIBILITY REQUIRED BY THE UTILITY'S OWNER/OPERATOR.
- PROPOSED PLANT SPECIES MAY BE SUBJECT TO CHANGE PENDING COMMERCIAL AVAILABILITY AT TIME OF CONSTRUCTION. ALL SPECIES SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. OVERALL PLANT QUANTITIES & SIZES SHALL REMAIN AS INDICATED ON THE PLANT SCHEDULE. CONTRACTOR SHALL VERIFY THAT ANY SUBSTITUTED PLANT SPECIES ARE ACCEPTABLE TO THE LOCAL MUNICIPALITY OR GOVERNING JURISDICTIONS.
- IF SPECIFIED PLANTS ARE NOT COMMERCIALY AVAILABLE AT TIME OF CONSTRUCTION/INSTALLATION, CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT FOR A SUBSTITUTION.

PLANTING BEDS

- ALL PROPOSED PLANTING BEDS SHALL CONTAIN THE SPECIFIED MULCH AND INCLUDE MIRAFI WEED BARRIER FABRIC OR EQUAL SECURED WITH PINS. OVERLAP FABRIC MIN. 24" AT EDGES.
- ROCK MULCH AROUND VEGETATION SHALL CONTAIN 1 1/2"DIA. ROUND RIVER COBBLE, GREY COLOR, 4" DEPTH.
- ROCK MULCH BEDS WITHOUT VEGETATION SHALL BE CONTAIN 3"-4" DIA. ROUND RIVER COBBLE, TAN COLOR, 4" DEPTH, SEATED.
- WOOD MULCH SHALL BE 'GORILLA HAIR' OR EQUAL SHREDDED CEDAR MULCH, 4" DEPTH.
- EDGING BETWEEN TURF AND PLANTING BEDS SHALL BE 12-GAUGE, GREEN COLOR, ROLLED-TOP, STEEL EDGING OR EQUIVALENT. ANY NO EDGING IS REQUIRED AGAINST HARDSCAPE/WALK AREAS OR AT TREE RING EDGES. EDGING SHALL BE INSTALLED TO AVOID IMPEDING DRAINAGE. RE: DETAILS FOR INSTALLATION IN LOW DRAINAGE AREAS.
- FOR TREES NOT IN PLANTING BEDS, ALLOW A 6"-0" DIAMETER BED (TREE RING) WITHOUT SOD AROUND ROOT COLLAR. APPLY SPECIFIED WOOD MULCH & DEPTH AROUND COLLAR FOLLOWING SOD INSTALLATION. NO FABRIC OR STEEL EDGER IS NECESSARY WITHIN TREE RINGS IN NATIVE AREAS. TREES IN PLANTING BEDS SHALL NOT HAVE WEED BARRIER INSTALLED WITHIN 6' OF THEIR TRUNKS.

HARDSCAPE

- REFER TO SITE PLANS & DETAILS FOR SPECIALTY CONCRETE LOCATIONS WHERE APPLICABLE.
- 3" MINIMUM FLARES AT ALL TRAIL INTERSECTION PER TOWN CODE.

IRRIGATION

- 1)PERMANENT UNDERGROUND IRRIGATION IS REQUIRED IN ALL LANDSCAPE AREAS, 2) TURF AREAS ARE ZONED SEPARATELY FROM BED AREAS, 3) CONTROLLER TO INCLUDE RAIN SHUT-OFF, 4) HYDROZONES WILL BE ON SEPARATE IRRIGATION ZONES ACCORDING TO WATER-DEMAND.
- TURF & IRRIGATED NATIVE AREAS (WHERE APPLICABLE) SHALL BE IRRIGATED BY AUTOMATIC POP-UP SPRAY SYSTEM. SHRUBS & PLANTING BEDS SHALL BE IRRIGATED WITH DRIP/BUBBLER SYSTEM.
- ALL TREES & SHRUBS OUTSIDE OF BEDS WITHIN NATIVE AREAS SHALL BE DRIP IRRIGATED. ALL IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM
- REFER TO IRRIGATION PLANS FOR DETAILED INFORMATION.

MAINTENANCE

- CONTRACTOR IS TO MAINTAIN ALL PLANTINGS AND ASSOCIATED IRRIGATION SYSTEM INSTALLED UNDER THIS CONTRACT UNTIL FINAL ACCEPTANCE BY THE CITY AND TURNOVER TO OWNER. THIS MAINTENANCE SHALL INCLUDE PROPER WATERING OF ALL PLANTS, AND MOWING OF TURF/SEED AREAS IF NECESSARY.
- SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
- ALL PLANT MATERIAL WILL BE COVERED BY A WARRANTY PERIOD. THE CONTRACTOR SHALL REPLACE DEAD, UNHEALTHY, OR OTHERWISE UNSATISFACTORY MATERIAL THROUGHOUT THIS PERIOD. THE WARRANTY SHALL BEGIN UPON FINAL ACCEPTANCE OF THE JOB.
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER OR ASSIGNS OR OWNERS DISTRICT. TREES AND SHRUBS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL (AS DETERMINED BY THE CITY) SHALL BE REPLACED PER CODE OF NOTIFICATION BY THE CITY. NON-LIVING GROUND COVERS, SUCH AS ROCK OR MULCH, MUST BE 100% INTACT AFTER ONE YEAR AND 100% INTACT THEREAFTER.
- LANDSCAPE AREAS WITHIN THE PROPERTY AND WITHIN THE ADJACENT RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER.

STREET TREE REQUIREMENTS:

AREA	LANDSCAPE QUANTITIES				
	AREA / LENGTH	UNIT	TREES REQUIRED	TREES PROVIDED	
Internal Streets Adjacent to Open Space / Parks	10,973	LF	274	275	
N. 119th Street	1,914	LF	47	50	
County Line Road	4,746	LF	118	119	
Road C	1,317	LF	32	34	
Road O	5,968	LF	149	149	
TOTAL	24,918	LF	623	627	

Note: Trees provided do not include median trees

DETENTION & DRAINAGE TREE REQUIREMENTS

Naturalized Detention Areas	1 Tree or 15-Shrub-Thicket Every 50' along all Drainages		
	Linear Feet	Required	Provided
Detention Pond	582	12	12
Drainage West	2,229	45	45
Drainage South #1	4,864	97	97
Drainage South #2	728	15	15
Drainage North (Omitted)	-	-	-
Total:	8,403	169	169

TREE REPLACEMENT REQUIREMENTS:

TREE REPLACEMENT QUANTITIES			
DBH REMOVED & REPLACED (in inches)	GROSS CALIPER (in inches)	TREE REPLACEMENT REQ'D	TREES PROVIDED
77	116	58	64

NOTE:

- REPLACEMENT TREES ADDED ALONG 119th STREET, EAST COUNTY LINE ROAD & OPEN SPACE AREAS.

* THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS SUPERSEDES THE LANDSCAPE NOTES AND SHALL BE FOLLOWED FOR TOWN OF ERIE MAINTAINED AREAS. IN ADDITION, A PRE-CONSTRUCTION MEETING, APPLICABLE INSPECTIONS AND AS-BUILTS WILL BE REQUIRED.

SEED MIXES

TOWN OF ERIE MIXED GRASS PRAIRIE NATIVE SEED MIXTURE

COMMON NAME	SCIENTIFIC NAME	VARIETY	OZ/ACRE	PLS LBS/ACRE
Buffalo grass	<i>Buchloe dactyloides</i>	Native, Bison or Texoka		3
Sideoats grama	<i>Bouteloua curtipendula</i>	Butte, Niner or El Reno		5
Prairie sandreed	<i>Calamovilfa longifolia</i>	Goshan or Bowman		1
Blue grama	<i>Chondrosium gracile</i>	Lovington, Alma, Native or Hachita		3
Western wheatgrass	<i>Pascopyrum smithii</i>	Arriba or Rosana		5
Little bluestem	<i>Schizachyriu m scoparium</i>	Pastura, Cimarron, Aldous Camper		4
Alkali sacaton	<i>Sporobolus airoides</i>	Common		1
Sand dropsseed	<i>Sporobolus cryptandrus</i>	Common		1
Switchgrass	<i>Panicum virgatum</i>	Blackwell		5
SEEDING RATE POUNDS PLS/ACRE				28
Optional Addition of Native Wildflowers				
Fringed sage	<i>Artemisia frigida</i>	Common	1	
Purple prairie clover	<i>Dalea purpurea</i>	Common	6	
Blanketflower	<i>Gallardia aristata</i>	Common	6	
Gayfeather	<i>Liatris punctata</i>	Common	4	
Tansy aster	<i>Machaeranthera tanacetifolia</i>	Common	3	
Prairie coneflower	<i>Ratibida columnifera</i>	Common	3	
OUNCES			23	1,4375
SEEDING RATE POUNDS PLS/ACRE WITH NATIVE WILDFLOWERS OPTION				29.4375

TOWN OF ERIE SHORTGRASS PRAIRIE NATIVE SEED MIXTURE

COMMON NAME	SCIENTIFIC NAME	VARIETY	OZ/ACRE	PLS LBS/ACRE
Buffalograss	<i>Buchloe dactyloides</i>	Native, Bison or Texoka		14
Blue grama	<i>Chondrosium gracile</i>	Lovington, Alma, Native, or Hachita		12
Sand dropsseed	<i>Sporobolus cryptandrus</i>	Common		4
SEEDING RATE POUNDS PLS/ACRE				30
Optional Addition of Native Wildflowers				
Fringed sage	<i>Artemisia frigida</i>	Common	1	
Purple prairie clover	<i>Dalea purpurea</i>	Common	4	
Gayfeather	<i>Liatris punctata</i>	Common	4	
Tansy aster	<i>Machaeranthera tanacetifolia</i>	Common	3	
OUNCES			12	0.75
SEEDING RATE POUNDS PLS/ACRE WITH NATIVE WILDFLOWERS OPTION				30.75

TOWN OF ERIE MOIST SWALE SEED MIXTURE

COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS LBS/ACR
Woolly sedge	<i>Carex lanuginosa</i>	Native	0.5
Nebraska sedge	<i>Carex nebrascensis</i>	Native	0.1
Blue grama	<i>Chondrosium gracile</i>	Lovington, Alma, Native or Hachita	1.5
Buffalograss	<i>Buchloe dactyloides</i>	Native, Bison or Texoka	0.5
Inland saltgrass	<i>Distichlis stricta</i>	Native	0.5
Baltic rush	<i>Juncus balticus</i>	Native	0.1
Prairie cordgrass	<i>Spartina pectinata</i>	Native	1
Alkali sacaton	<i>Sporobolus airoides</i>	Native	3
Switchgrass	<i>Panicum virgatum</i>		

PARKDALE PRELIMINARY DEVELOPMENT PLAN

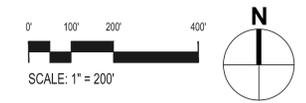
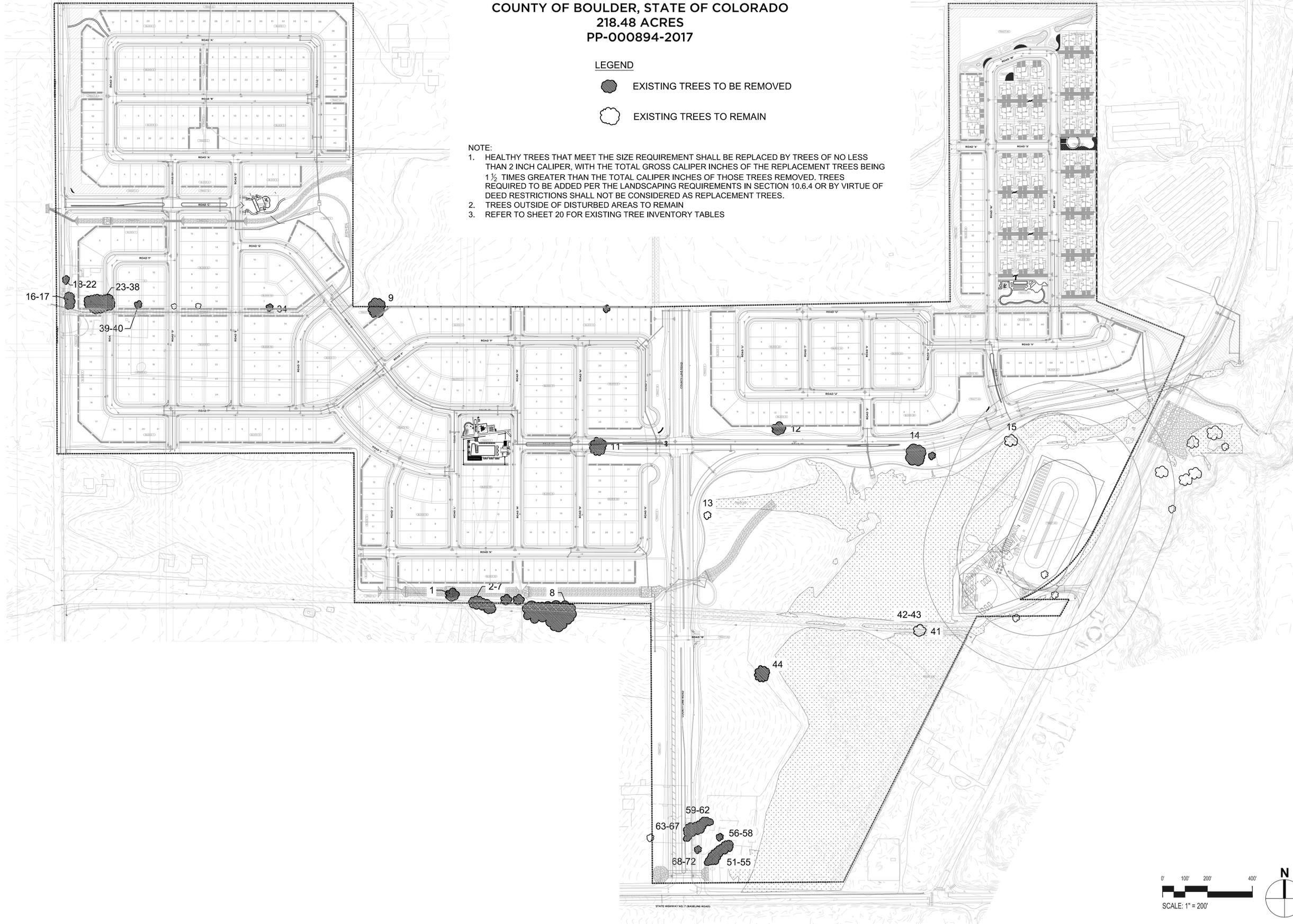
LOCATED IN SECTION 36,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
COUNTY OF BOULDER, STATE OF COLORADO
218.48 ACRES
PP-000894-2017

LEGEND

-  EXISTING TREES TO BE REMOVED
-  EXISTING TREES TO REMAIN

NOTE:

1. HEALTHY TREES THAT MEET THE SIZE REQUIREMENT SHALL BE REPLACED BY TREES OF NO LESS THAN 2 INCH CALIPER, WITH THE TOTAL GROSS CALIPER INCHES OF THE REPLACEMENT TREES BEING 1 1/2 TIMES GREATER THAN THE TOTAL CALIPER INCHES OF THOSE TREES REMOVED. TREES REQUIRED TO BE ADDED PER THE LANDSCAPING REQUIREMENTS IN SECTION 10.6.4 OR BY VIRTUE OF DEED RESTRICTIONS SHALL NOT BE CONSIDERED AS REPLACEMENT TREES.
2. TREES OUTSIDE OF DISTURBED AREAS TO REMAIN
3. REFER TO SHEET 20 FOR EXISTING TREE INVENTORY TABLES



ENGINEERING:



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ARVADA, CO 80002
P: 720.638.5190

LAND PLANNING:



PREPARED FOR:

OEO, LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1			
2			
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SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
EXISTING VEGETATION

PROJECT NO:
000894-2017

DRAWN BY:
BM/GG
DESIGNED BY:
BM

SCALE:
1" = 200'

SUBMITTED ON:
2017-10-11

19

OF 44

PARKDALE PRELIMINARY DEVELOPMENT PLAN

LOCATED IN SECTION 36,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
COUNTY OF BOULDER, STATE OF COLORADO
218.48 ACRES
PP-000894-2017

ENGINEERING:



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LAND PLANNING:

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43 S. 180 Independence grade
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1.303.531.4900 1.303.531.4908

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OEO, LLC
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CENTENNIAL, CO 80112
303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
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SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
FENCING PLAN

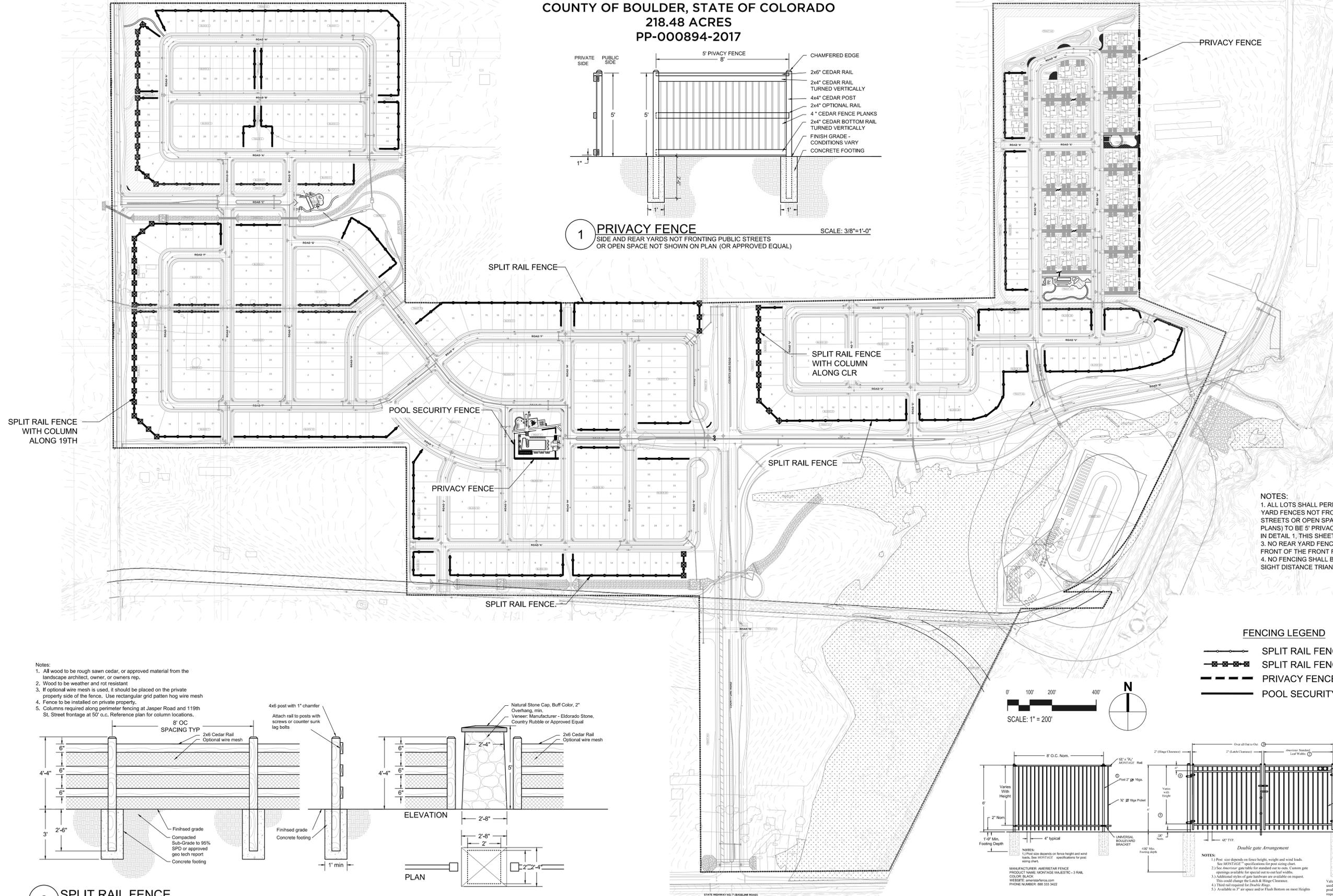
PROJECT NO:
000894-2017

DRAWN BY:
BM/GG
DESIGNED BY:
BM

SCALE:
1"=200'

SUBMITTED ON:
2017-10-11

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OF 44



1 PRIVACY FENCE
SIDE AND REAR YARDS NOT FRONTING PUBLIC STREETS
OR OPEN SPACE NOT SHOWN ON PLAN (OR APPROVED EQUAL)
SCALE: 3/8"=1'-0"

SPLIT RAIL FENCE
WITH COLUMN
ALONG 19TH

SPLIT RAIL FENCE

POOL SECURITY FENCE

PRIVACY FENCE

SPLIT RAIL FENCE
WITH COLUMN
ALONG CLR

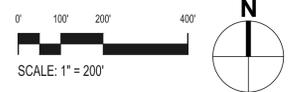
SPLIT RAIL FENCE

SPLIT RAIL FENCE

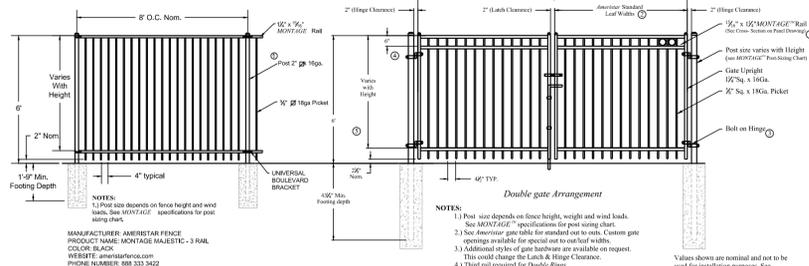
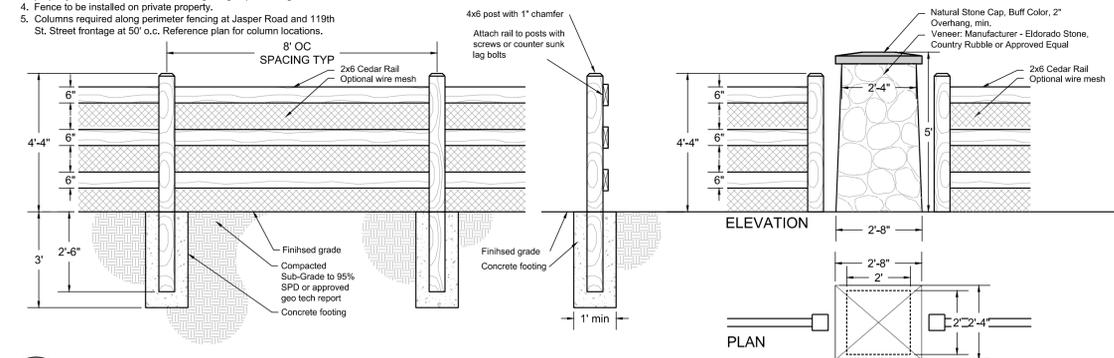
- NOTES:**
- ALL LOTS SHALL PERMIT SIDE AND REAR YARD FENCES NOT FRONTING PUBLIC STREETS OR OPEN SPACE (NOT SHOWN ON PLANS) TO BE 5' PRIVACY FENCE AS SHOWN IN DETAIL 1, THIS SHEET.
 - NO REAR YARD FENCES PERMITTED IN FRONT OF THE FRONT FACADE OF HOME.
 - NO FENCING SHALL BE INSTALLED WITHIN SIGHT DISTANCE TRIANGLES

FENCING LEGEND

- SPLIT RAIL FENCE
- SPLIT RAIL FENCE W/ COLUMN
- PRIVACY FENCE
- POOL SECURITY FENCE



- Notes:**
- All wood to be rough sawn cedar, or approved material from the landscape architect, owner, or owners rep.
 - Wood to be weather and rot resistant
 - If optional wire mesh is used, it should be placed on the private property side of the fence. Use rectangular grid pattern hog wire mesh
 - Fence to be installed on private property.
 - Columns required along perimeter fencing at Jasper Road and 119th St. Street frontage at 50' o.c. Reference plan for column locations.

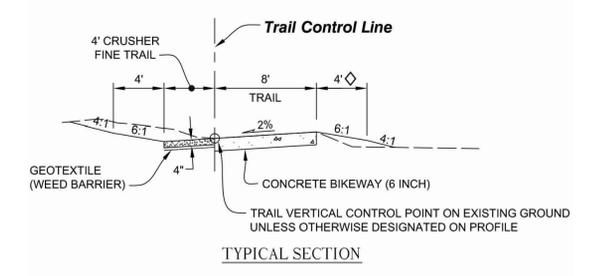
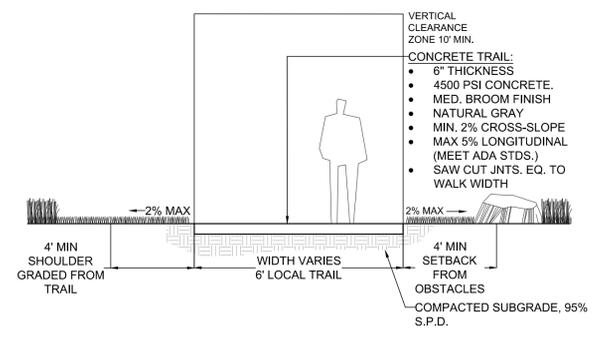
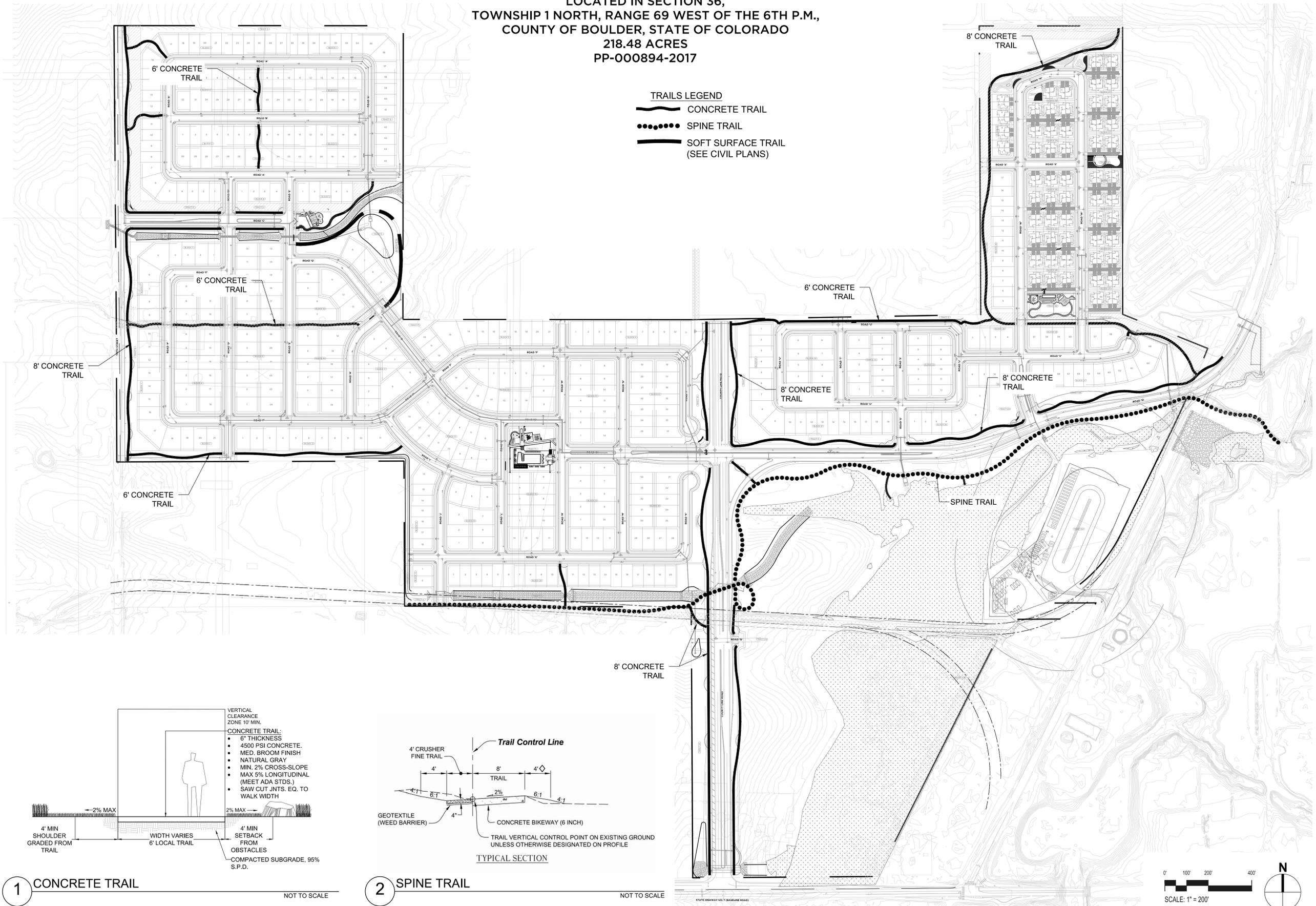


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PARKDALE PRELIMINARY DEVELOPMENT PLAN

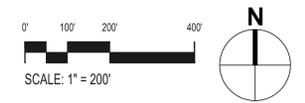
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COUNTY OF BOULDER, STATE OF COLORADO
218.48 ACRES
PP-000894-2017

TRAILS LEGEND
 CONCRETE TRAIL
 SPINE TRAIL
 SOFT SURFACE TRAIL
 (SEE CIVIL PLANS)



1 CONCRETE TRAIL NOT TO SCALE

2 SPINE TRAIL NOT TO SCALE



ENGINEERING:

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 12500 W. 58TH AVE. #230
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PREPARED FOR:
OEO, LLC
 7353 SOUTH ALTON WAY
 CENTENNIAL, CO 80112
 303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
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SHEET INFO:

PARKDALE
 PRELIMINARY DEVELOPMENT PLAN
 TRAILS PLAN

PROJECT NO:
000894-2017

DRAWN BY:
BM/GG
 DESIGNED BY:
BM

SCALE:
1" = 200'

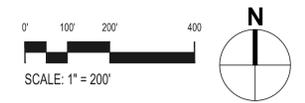
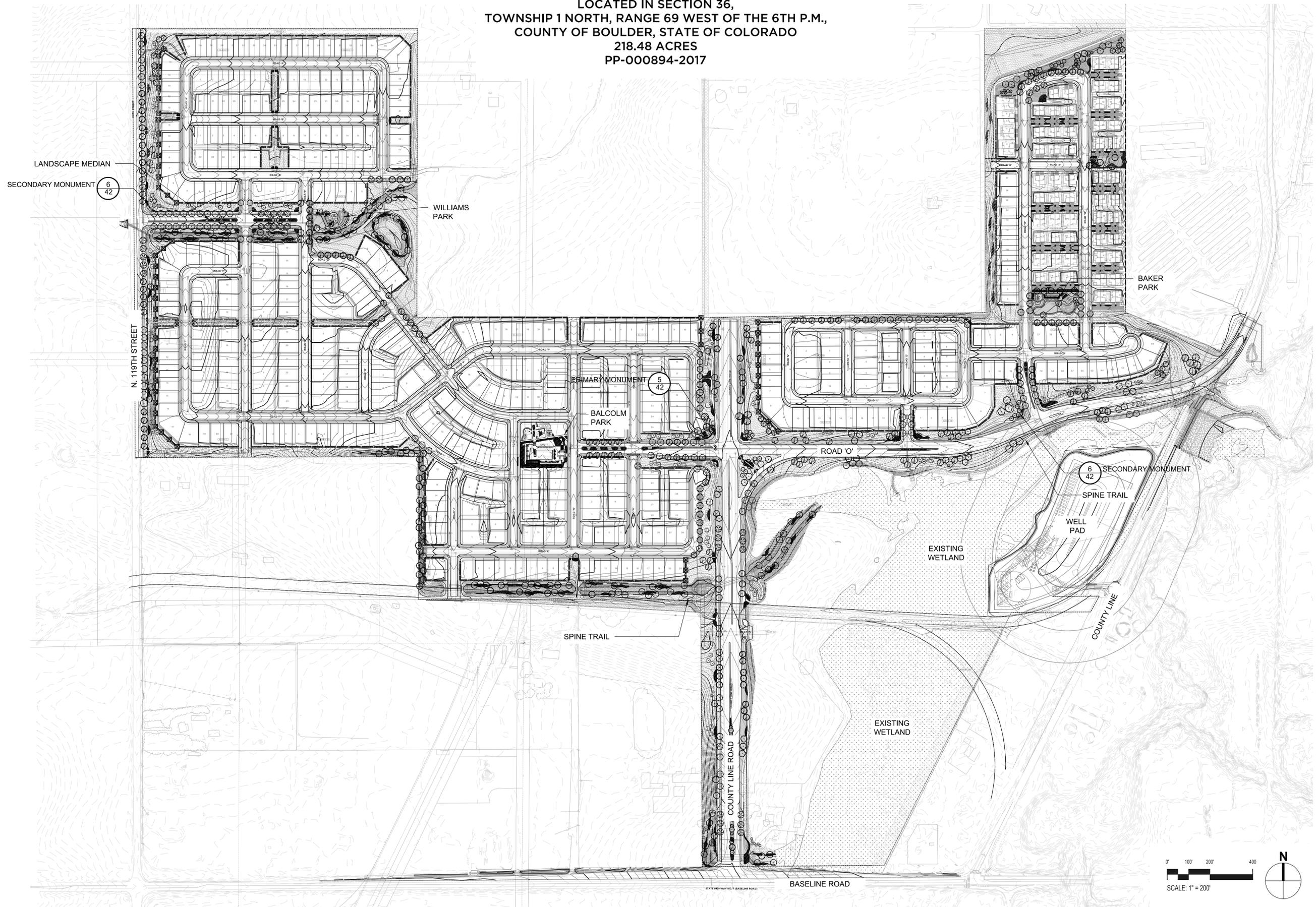
SUBMITTED ON:
2017-10-11

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PARKDALE PRELIMINARY DEVELOPMENT PLAN

LOCATED IN SECTION 36,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
COUNTY OF BOULDER, STATE OF COLORADO
218.48 ACRES
PP-000894-2017



ENGINEERING:



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P: 720.638.5190

LAND PLANNING:

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pcg group inc. www.pcggroupco.com
13, 8, 180 Independence Plaza
1007 16th Street, Denver, CO 80202
303.531.4900 / 303.531.4908

PREPARED FOR:

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7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
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REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
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SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
OVERALL LANDSCAPE PLAN

PROJECT NO:
000894-2017

DRAWN BY:
BM/GG
DESIGNED BY:
BM

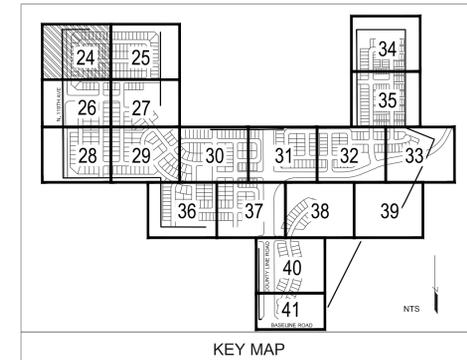
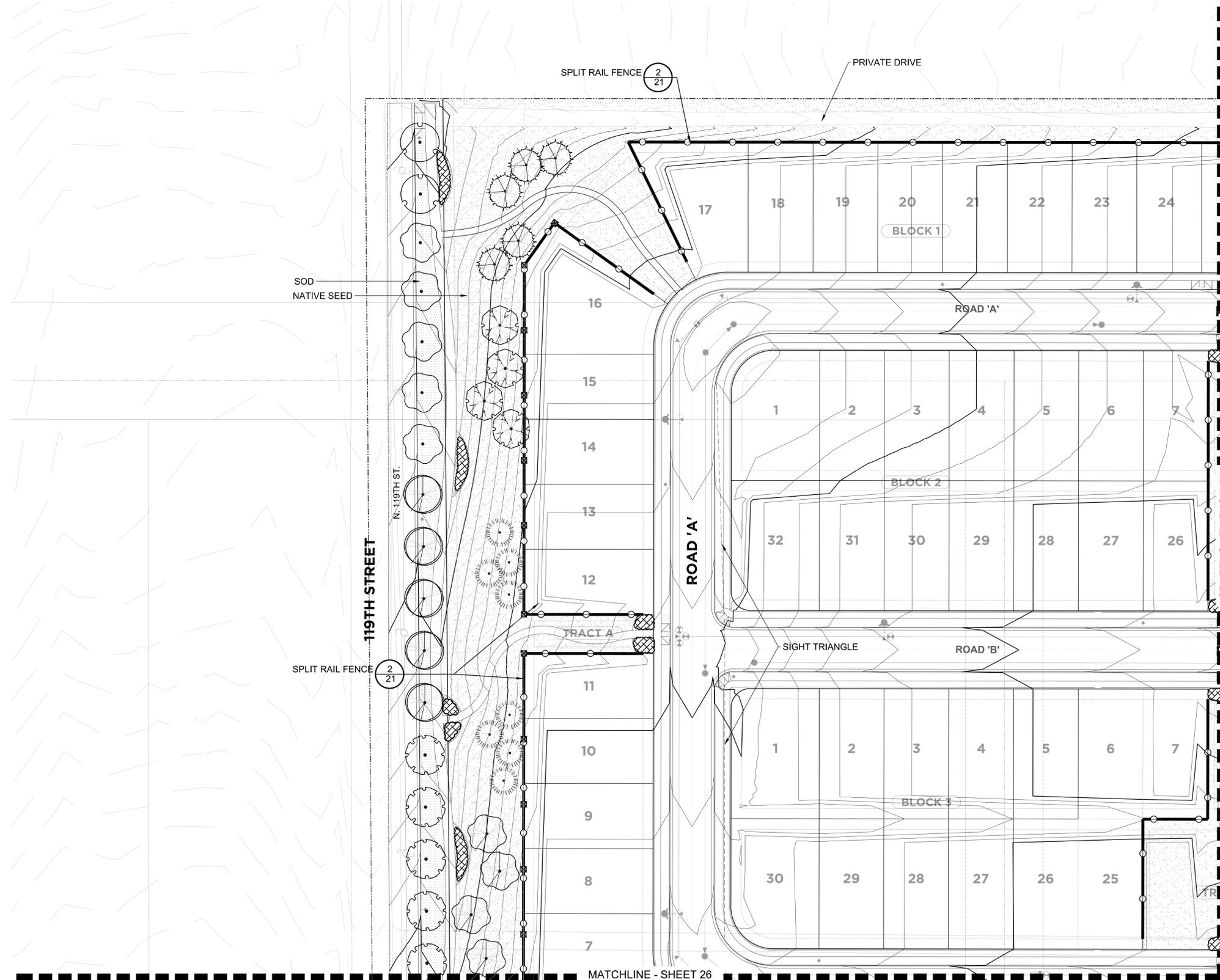
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OF 44

PARKDALE PRELIMINARY DEVELOPMENT PLAN

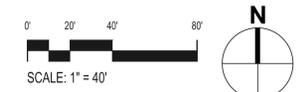
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COUNTY OF BOULDER, STATE OF COLORADO
218.48 ACRES
PP-000894-2017



LEGEND

- DECIDUOUS TREES
* TREES SHALL NOT BE PLANTED WITHIN 10FT OF ALL UTILITIES
- EVERGREEN TREES
- SHRUBS
- PROPERTY LINE
- SPLIT RAIL FENCE
- SPLIT RAIL FENCE WITH COLUMN
- PRIVACY FENCE
- SECURITY FENCE
- LANDSCAPE BOULDERS
- SOD
- NATIVE SEED
ALL NATIVE SEED AREAS ADJACENT TO ALL SPINE TRAILS AND ROADS SHALL HAVE TOWN OF ERIE SPECIFIED SHORTGRASS NATIVE PRAIRIE MIX WITHIN (15) FEET OF EDGE OF SPINE TRAILS AND ROADS
- DETENTION SEED
- ROCK MULCH
- STEEL EDGING

NOTES:
1. ALL TREES TO BE PLANTED A MINIMUM OF 10' FROM ALL UTILITY LINES AND STRUCTURES. TREE LOCATIONS ARE NOT FINAL AND MAY CHANGE BASED UPON FINAL LOCATION OF UTILITIES.
2. TREES ADJACENT TO LOTS ARE THE RESPONSIBILITY OF THE HOMEOWNER.



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13, 15, 160 Independence plaza
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CENTENNIAL, CO 80112
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REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
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SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
LANDSCAPE PLAN

PROJECT NO:
000894-2017

DRAWN BY:
BM/GG
DESIGNED BY:
BM

SCALE:
1" = 40'

SUBMITTED ON:
2017-10-11

24
OF 44

PARKDALE PRELIMINARY DEVELOPMENT PLAN

LOCATED IN SECTION 36,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
COUNTY OF BOULDER, STATE OF COLORADO
218.48 ACRES
PP-000894-2017

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SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
LANDSCAPE PLAN

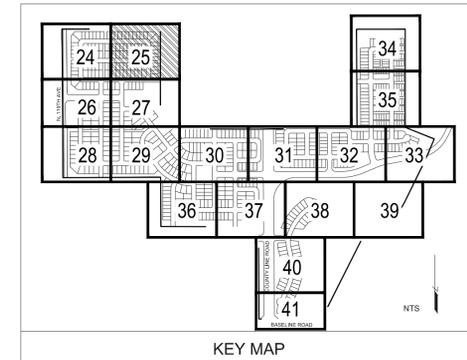
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DESIGNED BY:
BM

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1"=40'

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2017-10-11

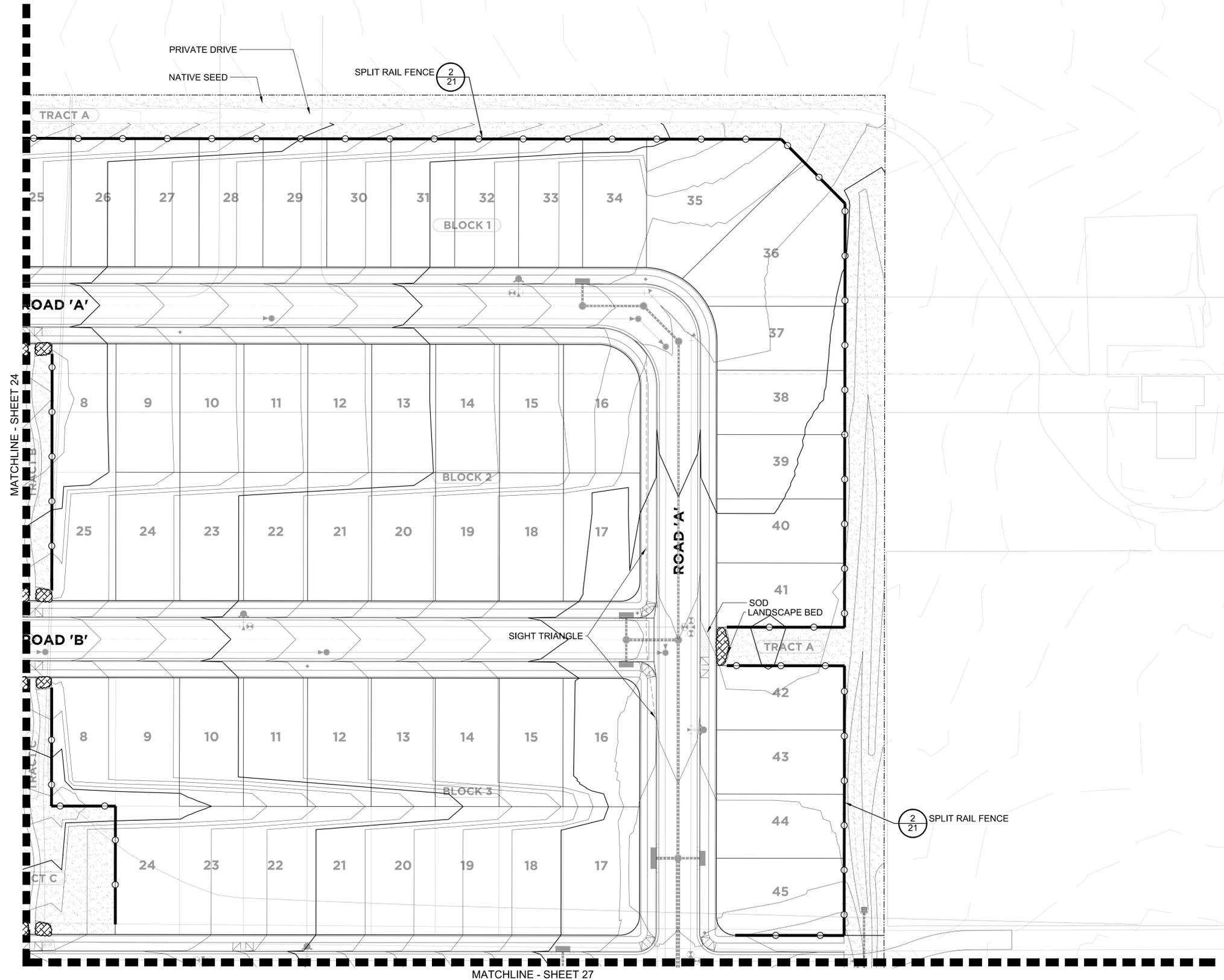
25
OF 44



LEGEND

- DECIDUOUS TREES
* TREES SHALL NOT BE PLANTED WITHIN 10FT OF ALL UTILITIES
- EVERGREEN TREES
- SHRUBS
- PROPERTY LINE
- SPLIT RAIL FENCE
- SPLIT RAIL FENCE WITH COLUMN
- PRIVACY FENCE
- SECURITY FENCE
- LANDSCAPE BOULDERS
- SOD
- NATIVE SEED
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2. TREES ADJACENT TO LOTS ARE THE RESPONSIBILITY OF THE HOMEOWNER.



MATCHLINE - SHEET 24

MATCHLINE - SHEET 27

PARKDALE PRELIMINARY DEVELOPMENT PLAN

LOCATED IN SECTION 36,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
COUNTY OF BOULDER, STATE OF COLORADO
218.48 ACRES
PP-000894-2017

ENGINEERING:



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ARVADA, CO 80002
P: 720.638.5190

LAND PLANNING:



PREPARED FOR:

OEO, LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
303.770.9111

REVISIONS:

NO.	DATE	REVISION DESCRIPTION
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SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
LANDSCAPE PLAN

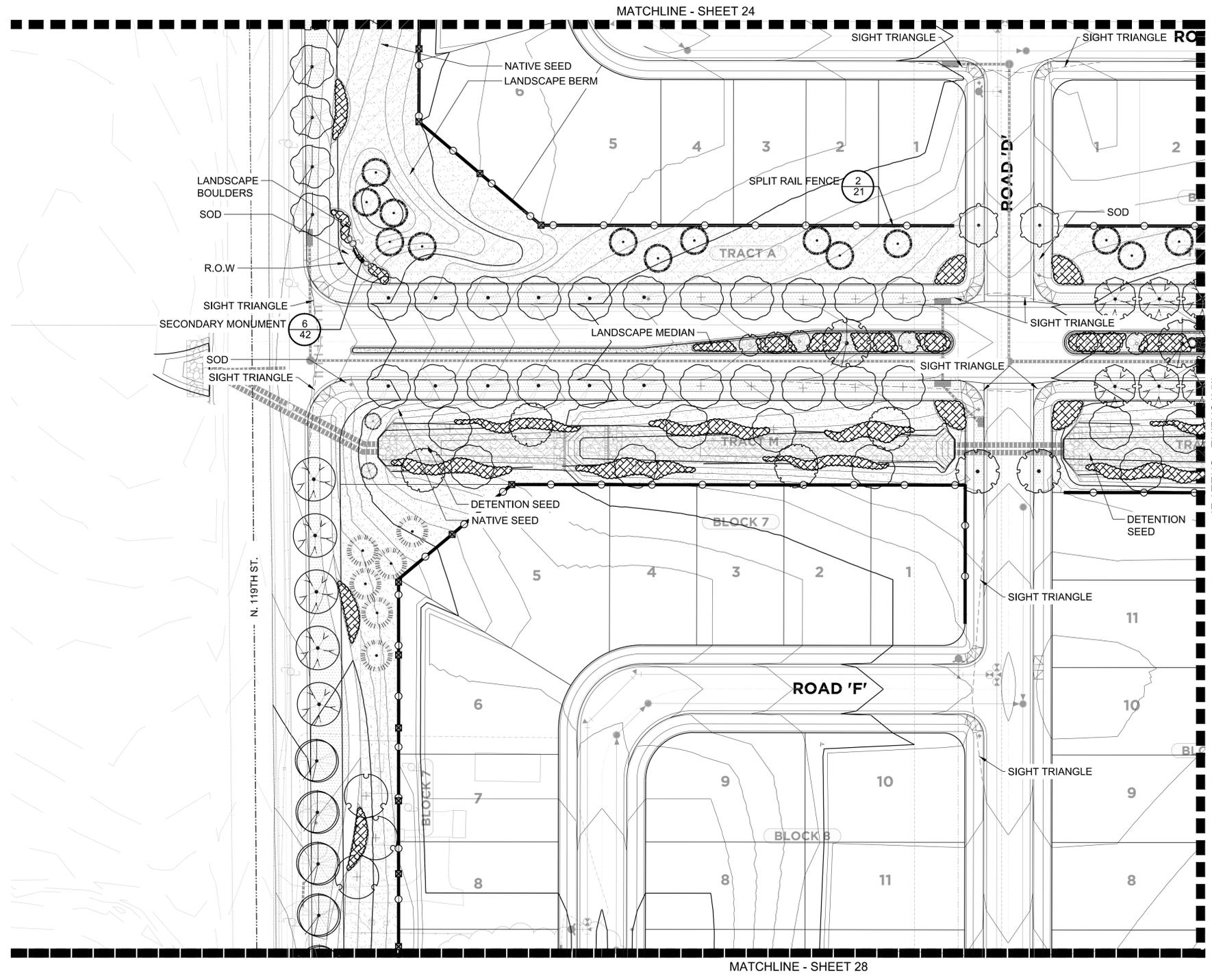
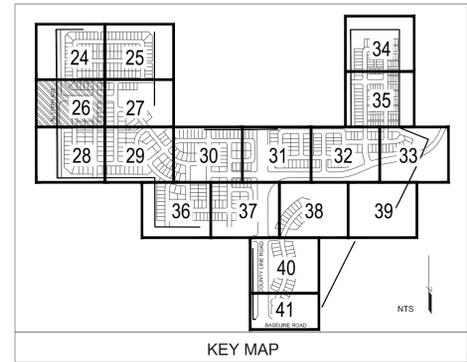
PROJECT NO:
000894-2017

DRAWN BY:
BM/GG
DESIGNED BY:
BM

SCALE:
1" = 40'

SUBMITTED ON:
2017-10-11

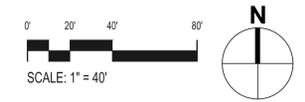
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OF 44



LEGEND

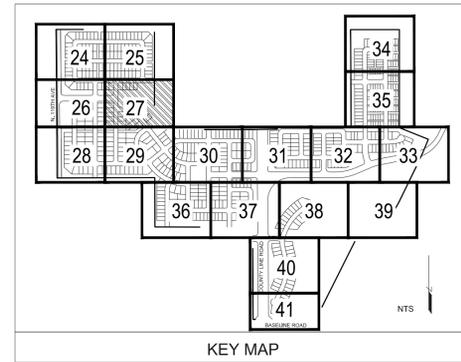
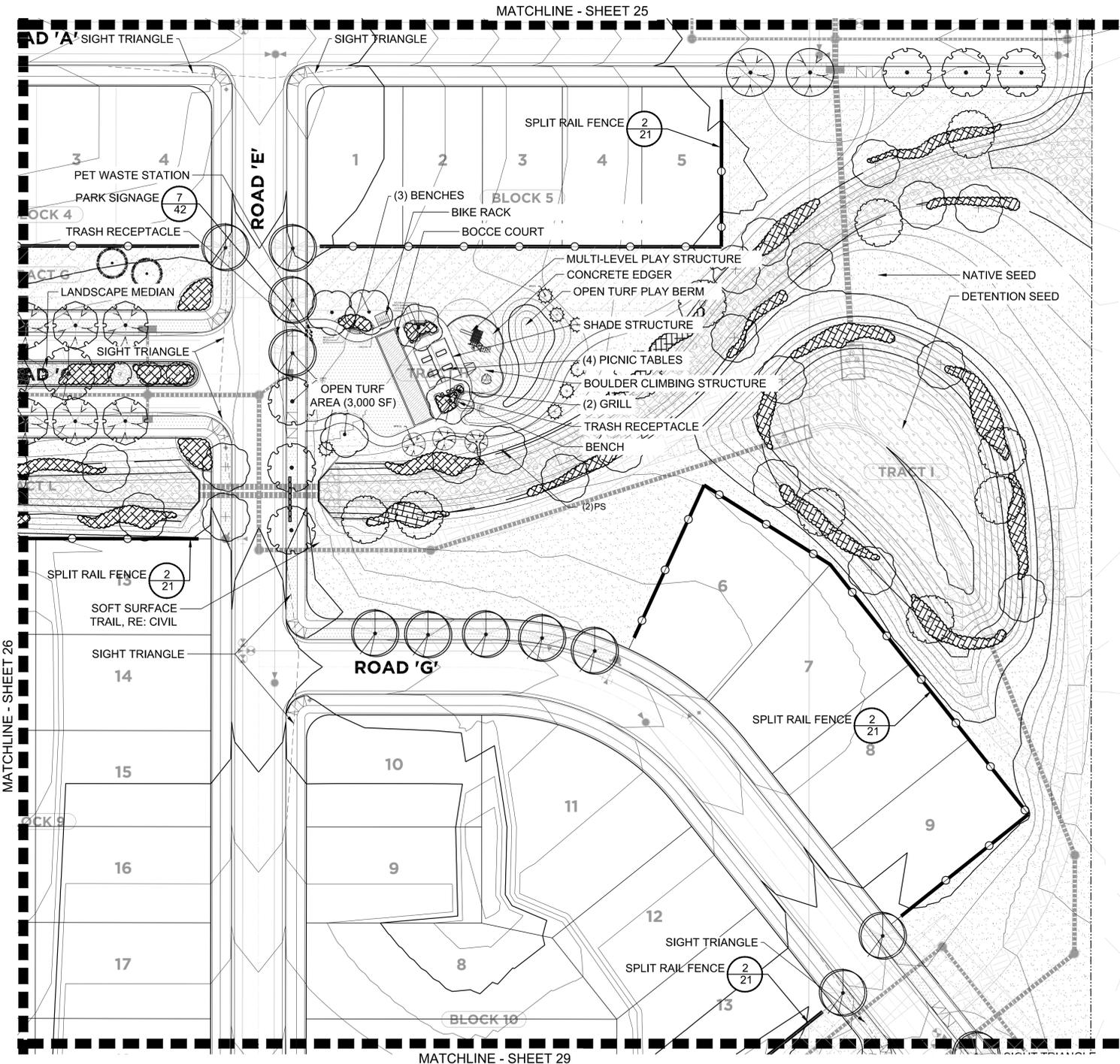
- DECIDUOUS TREES
* TREES SHALL NOT BE PLANTED WITHIN 10FT OF ALL UTILITIES
- EVERGREEN TREES
- SHRUBS
- PROPERTY LINE
- SPLIT RAIL FENCE
- SPLIT RAIL FENCE WITH COLUMN
- PRIVACY FENCE
- SECURITY FENCE
- LANDSCAPE BOULDERS
- SOD
- NATIVE SEED
ALL NATIVE SEED AREAS ADJACENT TO ALL SPINE TRAILS AND ROADS SHALL HAVE TOWN OF ERIE SPECIFIED SHORTGRASS NATIVE PRAIRIE MIX WITHIN (15) FEET OF EDGE OF SPINE TRAILS AND ROADS
- DETENTION SEED
- ROCK MULCH
- STEEL EDGING

NOTES:
1. ALL TREES TO BE PLANTED A MINIMUM OF 10' FROM ALL UTILITY LINES AND STRUCTURES. TREE LOCATIONS ARE NOT FINAL AND MAY CHANGE BASED UPON FINAL LOCATION OF UTILITIES.
2. TREES ADJACENT TO LOTS ARE THE RESPONSIBILITY OF THE HOMEOWNER.



PARKDALE PRELIMINARY DEVELOPMENT PLAN

LOCATED IN SECTION 36,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
COUNTY OF BOULDER, STATE OF COLORADO
218.48 ACRES
PP-000894-2017



LIST 'A' - REQUIRED POCKET PARK PLANT MATERIAL QUANTITIES

DECIDUOUS TREES	QTY	COMMON NAME
BRO	2	BURR OAK
QR	3	REGAL PRINCE OAK
EVERGREEN TREES	QTY	COMMON NAME
JB2	3	BRODIE COLUMNAR CEDAR
ORNAMENTAL TREES	QTY	COMMON NAME
MPR	3	PROFUSION CRAB APPLE
ANNUALS/PERENNIALS	QTY	COMMON NAME
EP	9	PURPLE CONEFLOWER
EC	26	PURPLE-LEAF WINTER CREEPER
DECIDUOUS SHRUBS	QTY	COMMON NAME
CC3	11	CORAL BEAUTY COTONEASTER
LV	8	GOLDEN PRIVET
RF	5	CORAL FLOWER CARPET ROSE
MKL	3	MISS KIM LILAC
GRASSES	QTY	COMMON NAME
CR2	14	KOREAN FEATHER REED GRASS

WILLIAM'S PARK REQUIREMENTS PER TOWN OF ERIE POCKET PARK DESIGN STANDARDS

LIST A - BENCHES (2); BICYCLE RACKS (4 BIKES); PET WASTE STATION; PARK ID SIGNAGE; IRRIGATION; OPEN TURF AREA; SIDEWALKS; TRASH RECEPTACLES (2);

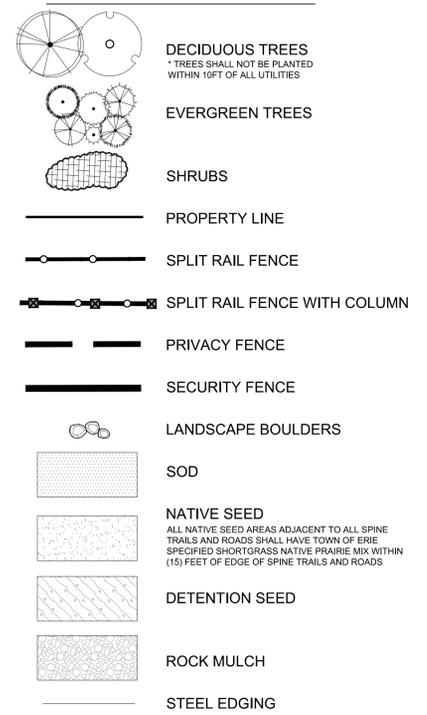
PLANT TYPE	PLANT MATERIAL: QTY REQUIRED	QTY PROVIDED
DECIDUOUS TREES	5	5
ORNAMENTAL TREES	3	3
EVERGREEN TREES	2	3
SHRUBS	20	27
PERENNIALS	24	35
ORNAMENTAL GRASS	3	14

LIST B - GROUP PICNIC SHELTER W/ FOUR TABLES (REPLACING SHELTER REQUIRED IN LIST A); MULTI-LEVEL PLAY STRUCTURE

LIST C - OPEN TURF PLAY BERM; BOULDER CLIMBING STRUCTURE; BOCCO COURT

LIST D - BBQ GRILLS (2); ADDITIONAL BENCHES (2)

LEGEND



NOTES:
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ENGINEERING:
KT
KT ENGINEERING
12500 W. 58TH AVE. #230
ARVADA, CO 80002
P: 720.638.5190

LAND PLANNING:
people creating spaces
pcsgroup inc. www.pcsgroupco.com
1007 16th Street, Denver, CO 80202
303.531.4900 / 303.531.4908

PREPARED FOR:
OEO, LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1			
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SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
LANDSCAPE PLAN

PROJECT NO:
000894-2017

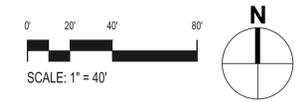
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BM/GG

DESIGNED BY:
BM

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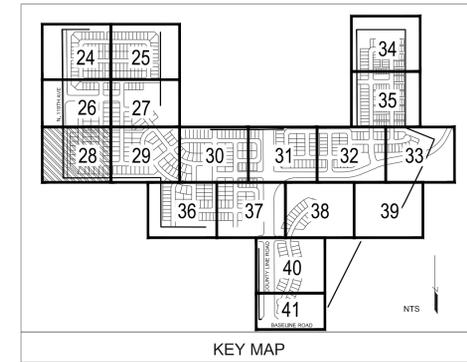
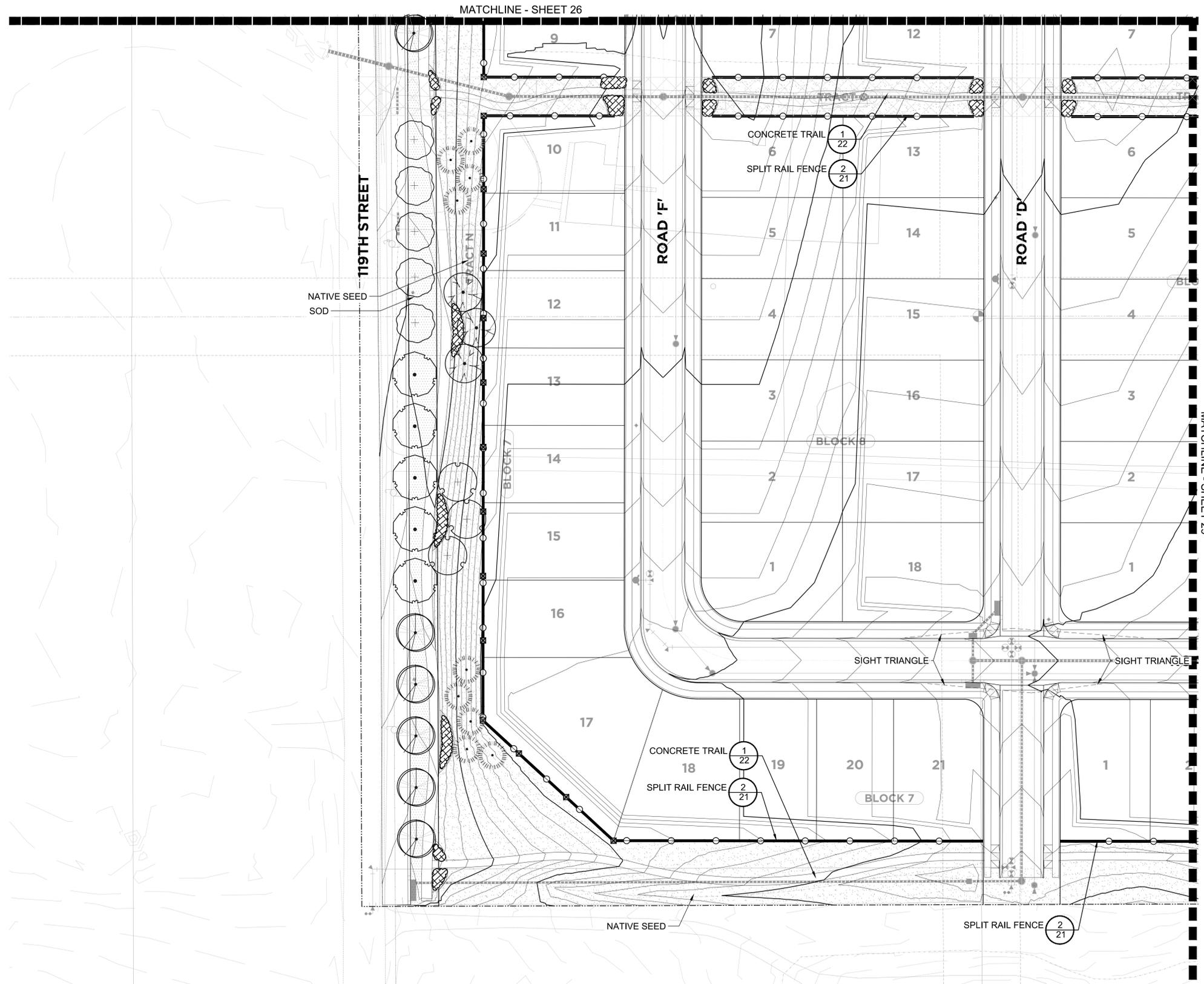
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2017-10-11

27
OF 44



PARKDALE PRELIMINARY DEVELOPMENT PLAN

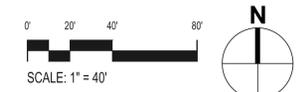
LOCATED IN SECTION 36,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
COUNTY OF BOULDER, STATE OF COLORADO
218.48 ACRES
PP-000894-2017



LEGEND

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- DETENTION SEED
- ROCK MULCH
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NOTES:
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ENGINEERING:
KT
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LAND PLANNING:
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pcsgroup inc. www.pcsgroup.com
23, 25, 30 Independence prairie
1007 16th street denver co 80202
303.531.4900 / 303.531.4908

PREPARED FOR:
OEO, LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
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SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
LANDSCAPE PLAN

PROJECT NO:
000894-2017

DRAWN BY:
BM/GG
DESIGNED BY:
BM

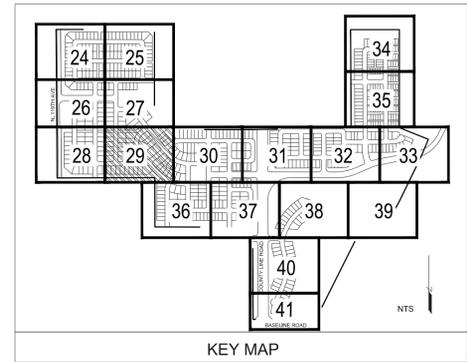
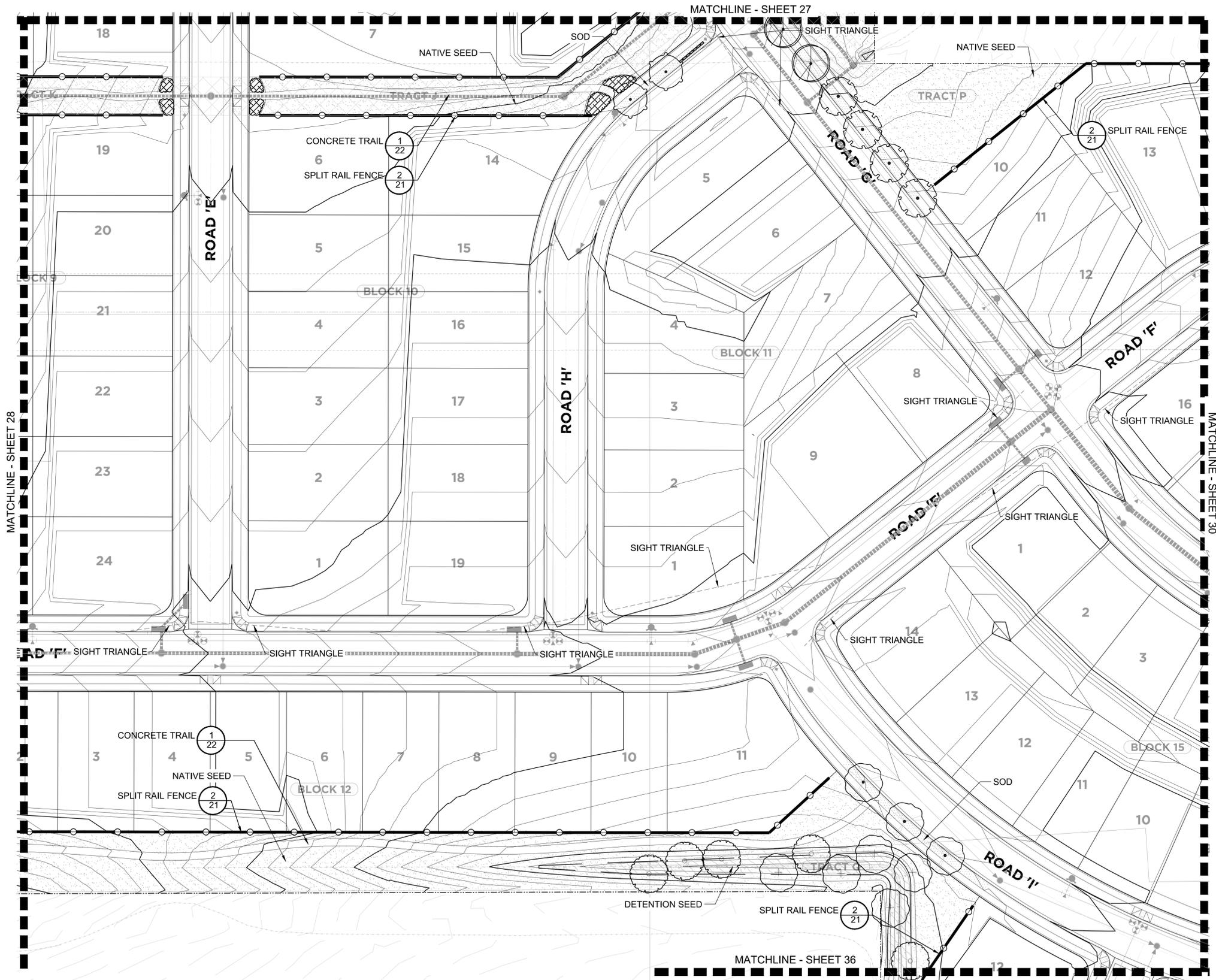
SCALE:
1" = 40'

SUBMITTED ON:
2017-10-11

28
OF 44

PARKDALE PRELIMINARY DEVELOPMENT PLAN

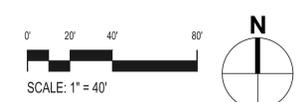
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TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
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218.48 ACRES
PP-000894-2017



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- DETENTION SEED
- ROCK MULCH
- STEEL EDGING

NOTES:
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2. TREES ADJACENT TO LOTS ARE THE RESPONSIBILITY OF THE HOMEOWNER.



ENGINEERING:
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ARVADA, CO 80002
P: 720.638.5190

LAND PLANNING:

people creating spaces
pcg group inc. www.pcggroup.com
13, 19 Independence prado
1007 16th street denver co 80265
303.531.4900 / 303.531.4908

PREPARED FOR:
OEO, LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
303.770.9111

REVISIONS:

NO.	DATE	REVISION DESCRIPTION
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SHEET INFO:

PARKDALE PRELIMINARY DEVELOPMENT PLAN LANDSCAPE PLAN

PROJECT NO:
000894-2017

DRAWN BY:
BM/GG
DESIGNED BY:
BM

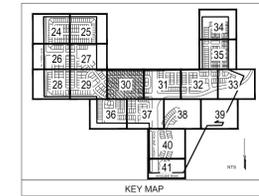
SCALE:
1" = 40'

SUBMITTED ON:
2017-10-11

29
OF 44

PARKDALE PRELIMINARY DEVELOPMENT PLAN

LOCATED IN SECTION 36,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
COUNTY OF BOULDER, STATE OF COLORADO
218.48 ACRES
PP-000894-2017



- ### LEGEND
- DECIDUOUS TREES
* TREES SHALL NOT BE PLANTED WITHIN 10 FT OF ALL UTILITIES
 - EVERGREEN TREES
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 - SPLIT RAIL FENCE WITH COLUMN
 - PRIVACY FENCE
 - SECURITY FENCE
 - LANDSCAPE BOULDERS
 - SOD
 - NATIVE SEED
ALL NATIVE SEED AREAS ADJACENT TO ALL SPRINKLER TRAILS AND ROADS SHALL HAVE TOWN OF ERIE SPECIFIED SHORTGRASS NATIVE PRORAGE MIX WITHIN 100 FEET OF EDGE OF SPRINKLER TRAILS AND ROADS
 - DETENTION SEED
 - ROCK MULCH
 - STEEL EDGING

ENGINEERING:
KT
KT ENGINEERING
12500 W. 58TH AVE. #230
ARVADA, CO 80002
P: 720.638.5190

LAND PLANNING:

people creating spaces

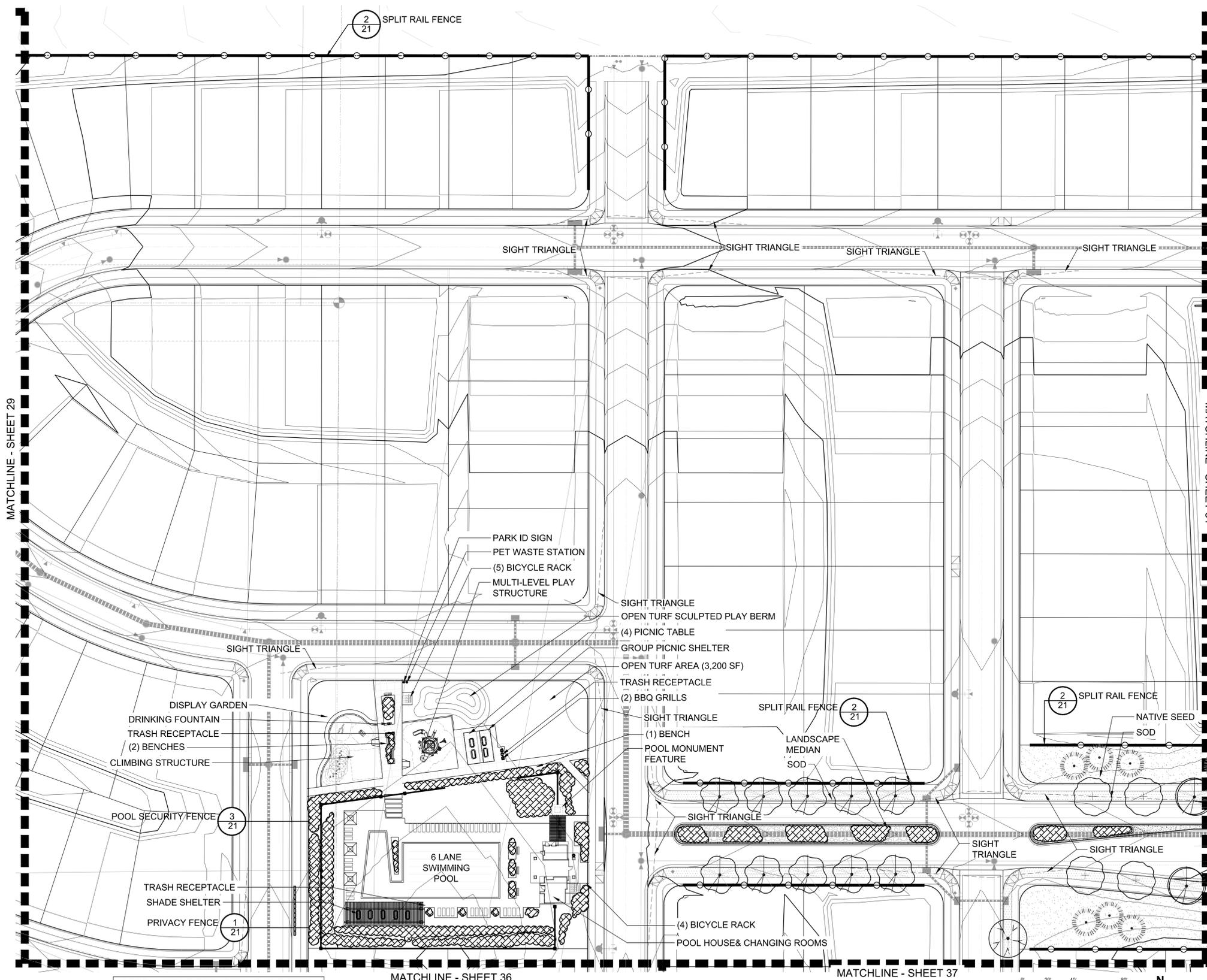
pcg group inc. www.pcggroup.com
#3, #180 Independence Blvd
1007 16th Street, Denver, CO 80202
1.303.531.4900 / 1.303.531.4908

PREPARED FOR:
OEO, LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
303.770.9111

REVISIONS:

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1			
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SHEET INFO:



LIST 'A' - REQUIRED POCKET PARK PLANT MATERIAL QUANTITIES*

DECIDUOUS TREES	QTY	COMMON NAME
WC	3	NORTHERN CATALPA
BRO	2	BURR OAK
EVERGREEN TREES	QTY	COMMON NAME
JWB	2	WICHITA BLUE JUNIPER
PN	2	AUSTRIAN BLACK PINE
ORNAMENTAL TREES	QTY	COMMON NAME
CP	3	WASHINGTON HAWTHORN
ANNUALS/PERENNIALS	QTY	COMMON NAME
EC	148	PURPLE-LEAF WINTER CREEPER
DECIDUOUS SHRUBS	QTY	COMMON NAME
CC3	2	CORAL BEAUTY COTONEASTER
LV	27	GOLDEN PRIVET
LL	10	LODENSE PRIVET
PP3	6	SAND CHERRY
RF	40	CORAL FLOWER CARPET ROSE
MKL	18	MISS KIM LILAC
GRASSES	QTY	COMMON NAME
MM	7	MORNING LIGHT MAIDEN GRASS
DMG	11	DWARF MAIDEN GRASS

*THESE QUANTITIES DO NOT INCLUDE DISPLAY GARDEN PLANT MATERIALS. RE: "REQUIREMENTS PER TOWN OF ERIE POCKET PARK DESIGN STANDARDS" FOR TOTAL REQUIRED VS. TOTAL PROVIDED QUANTITIES.

BALCOM PARK REQUIREMENTS PER TOWN OF ERIE POCKET PARK DESIGN STANDARDS

LIST A - BENCHES (2); BICYCLE RACKS (4 BIKES); PET WASTE STATION; PARK ID SIGNAGE; IRRIGATION; OPEN TURF AREA; SIDEWALKS; TRASH RECEPTACLES (2);

PLANT TYPE	QTY REQUIRED	QTY PROVIDED
DECIDUOUS TREES	5	5
ORNAMENTAL TREES	3	3
EVERGREEN TREES	2	4
SHRUBS	20	102
PERENNIALS	24	149
ORNAMENTAL GRASS	3	18

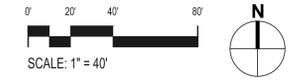
- LIST B - GROUP PICNIC SHELTER W/ FOUR TABLES (REPLACING SHELTER REQUIRED IN LIST A); MULTI-LEVEL PLAY STRUCTURE
- LIST C - CLIMBING STRUCTURE; DISPLAY GARDEN; OPEN TURF SCULPTED BERM
- LIST D - BBQ GRILLS (2); DRINKING FOUNTAIN (1)

DISPLAY GARDEN PLANT MATERIAL QUANTITIES*

ANNUALS/PERENNIALS	QTY	COMMON NAME
AC	22	ANISE HYSOP
DECIDUOUS SHRUBS	QTY	COMMON NAME
CF	19	FERNBUSH
DB	3	CAROL MACKIE DAPHNE
PLS	5	PURPLE LEAF SAND CHERRY
RF	7	CORAL FLOWER CARPET ROSE
MKL	6	MISS KIM LILAC
EVERGREEN SHRUB	QTY	COMMON NAME
AC2	15	MANZANITA
AP	27	PANCHITO MANZANITA
EE	9	BLUESTEM JOINT FIR
GRASSES	QTY	COMMON NAME
MM	11	MORNING LIGHT MAIDEN GRASS
PD3	20	DALLAS BLUES SWITCH GRASS

*THESE QUANTITIES INCLUDE DISPLAY GARDEN PLANT QUANTITIES ONLY

* POOL LAYOUT, POOL DETAILS, SHELTERS AND OTHER AMENITY DETAILS TO BE PROVIDED AT FINAL DESIGN



PARKDALE PRELIMINARY DEVELOPMENT PLAN LANDSCAPE PLAN

PROJECT NO:
000894-2017

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BM/GG

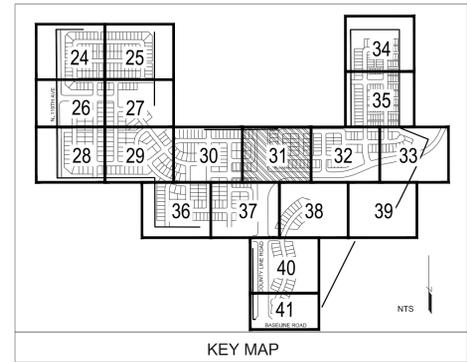
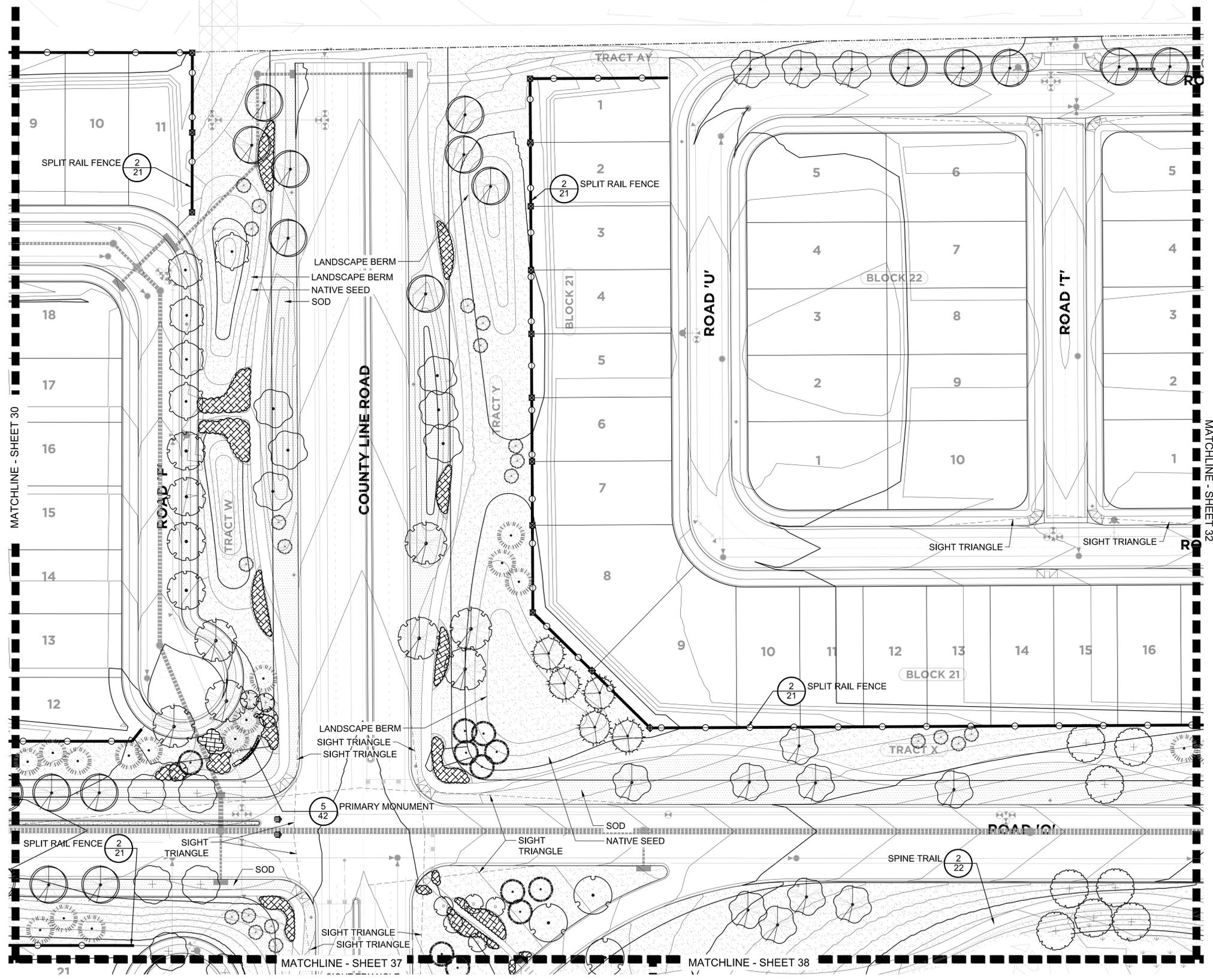
DESIGNED BY:
BM

SCALE:
1"=40'

SUBMITTED ON:
2017-10-11

PARKDALE PRELIMINARY DEVELOPMENT PLAN

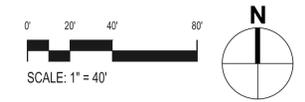
LOCATED IN SECTION 36,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
COUNTY OF BOULDER, STATE OF COLORADO
218.48 ACRES
PP-000894-2017



LEGEND

- DECIDUOUS TREES
* TREES SHALL NOT BE PLANTED WITHIN 10FT OF ALL UTILITIES
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- PROPERTY LINE
- SPLIT RAIL FENCE
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- ROCK MULCH
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NOTES:
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ENGINEERING:
KT
KT ENGINEERING
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LAND PLANNING:

people creating spaces
pcsgroup inc. www.pcsgroupco.com
43.5180 Independence prado
1007 16th street denver co 80202
1.303.531.4900 1.303.531.4908

PREPARED FOR:
OEO, LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
303.770.9111

REVISIONS:

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SHEET INFO:

PARKDALE PRELIMINARY DEVELOPMENT PLAN LANDSCAPE PLAN

PROJECT NO:
000894-2017

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DESIGNED BY:
BM

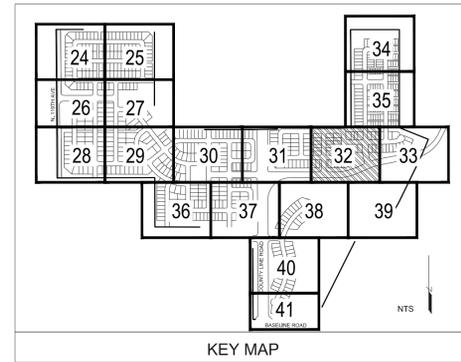
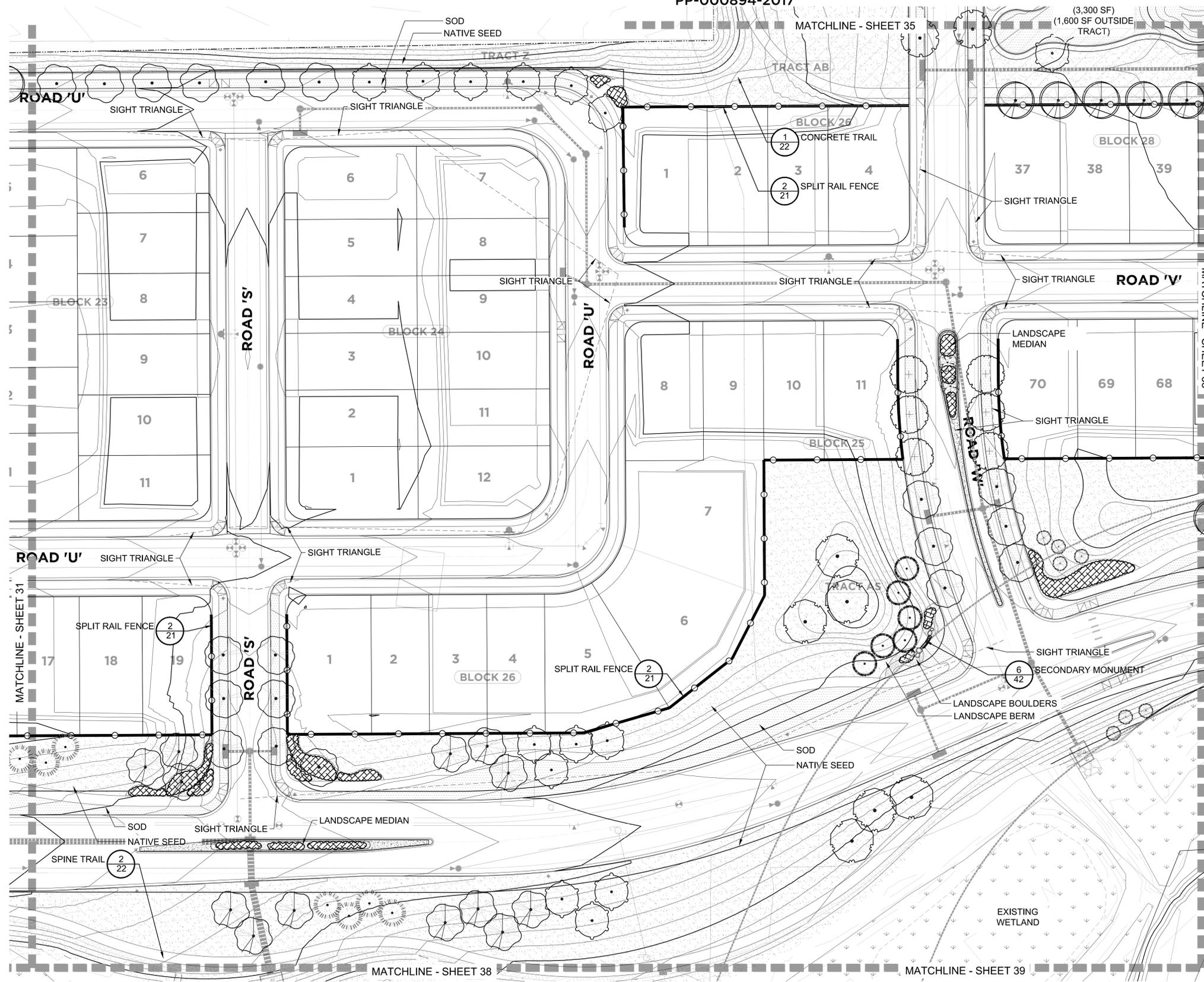
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1" = 40'

SUBMITTED ON:
2017-10-11

31
OF 44

PARKDALE PRELIMINARY DEVELOPMENT PLAN

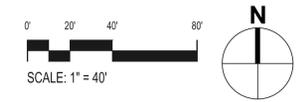
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LAND PLANNING:

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15, 180 Independence prado
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1.303.531.4902 1.303.531.4908

PREPARED FOR:
OEO, LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
303.770.9111

REVISIONS:

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SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
LANDSCAPE PLAN

PROJECT NO:
000894-2017

DRAWN BY:
BM/GG
DESIGNED BY:
BM

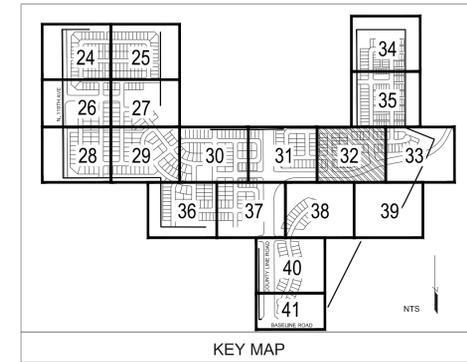
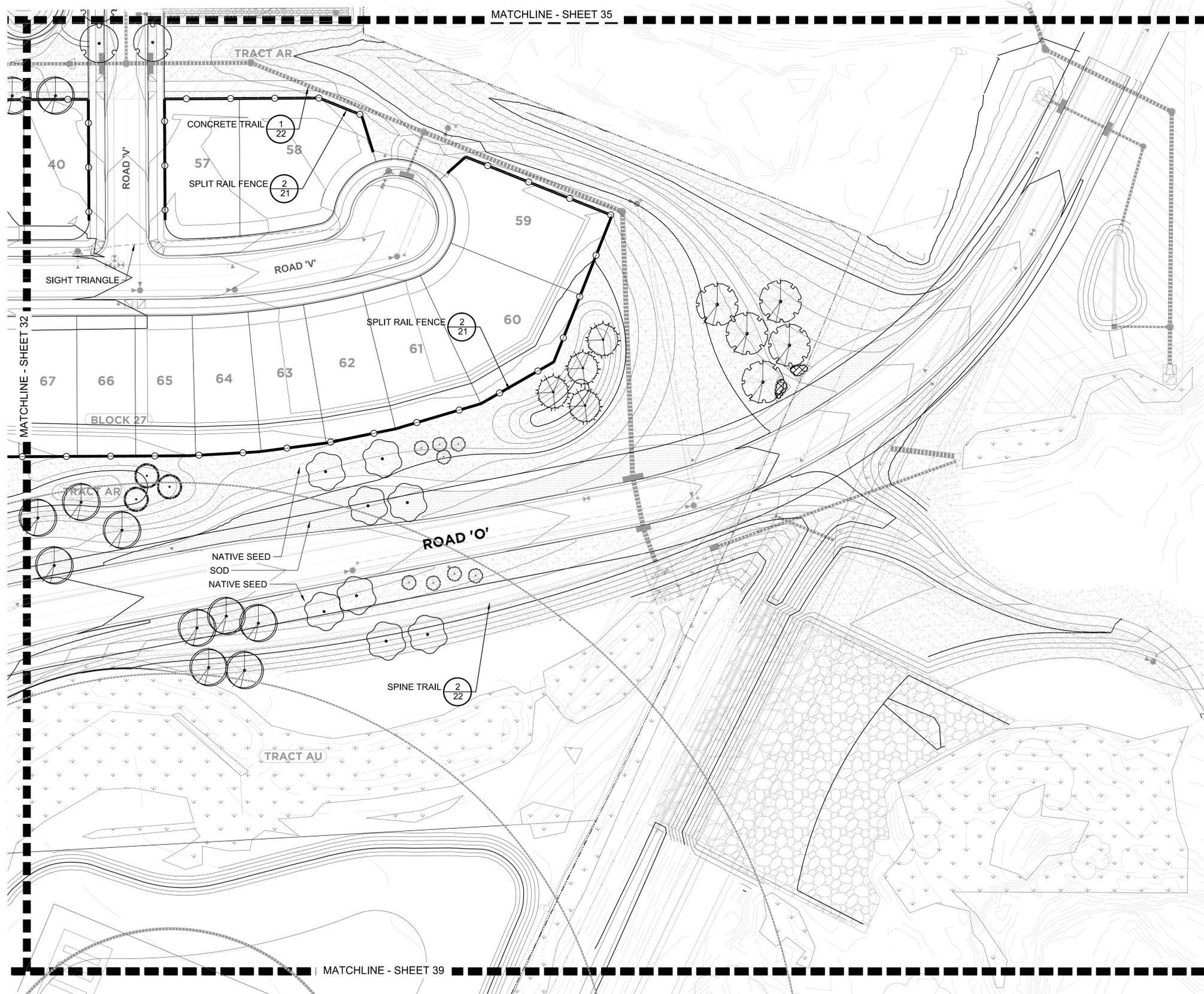
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1" = 40'

SUBMITTED ON:
2017-10-11

32
OF 44

PARKDALE PRELIMINARY DEVELOPMENT PLAN

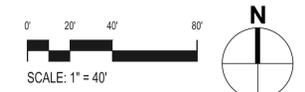
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LEGEND

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1.303.531.4900 1.303.531.4908

PREPARED FOR:
OEO, LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
303.770.9111

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PARKDALE
PRELIMINARY DEVELOPMENT PLAN
LANDSCAPE PLAN

PROJECT NO:
000894-2017

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BM/GG
DESIGNED BY:
BM

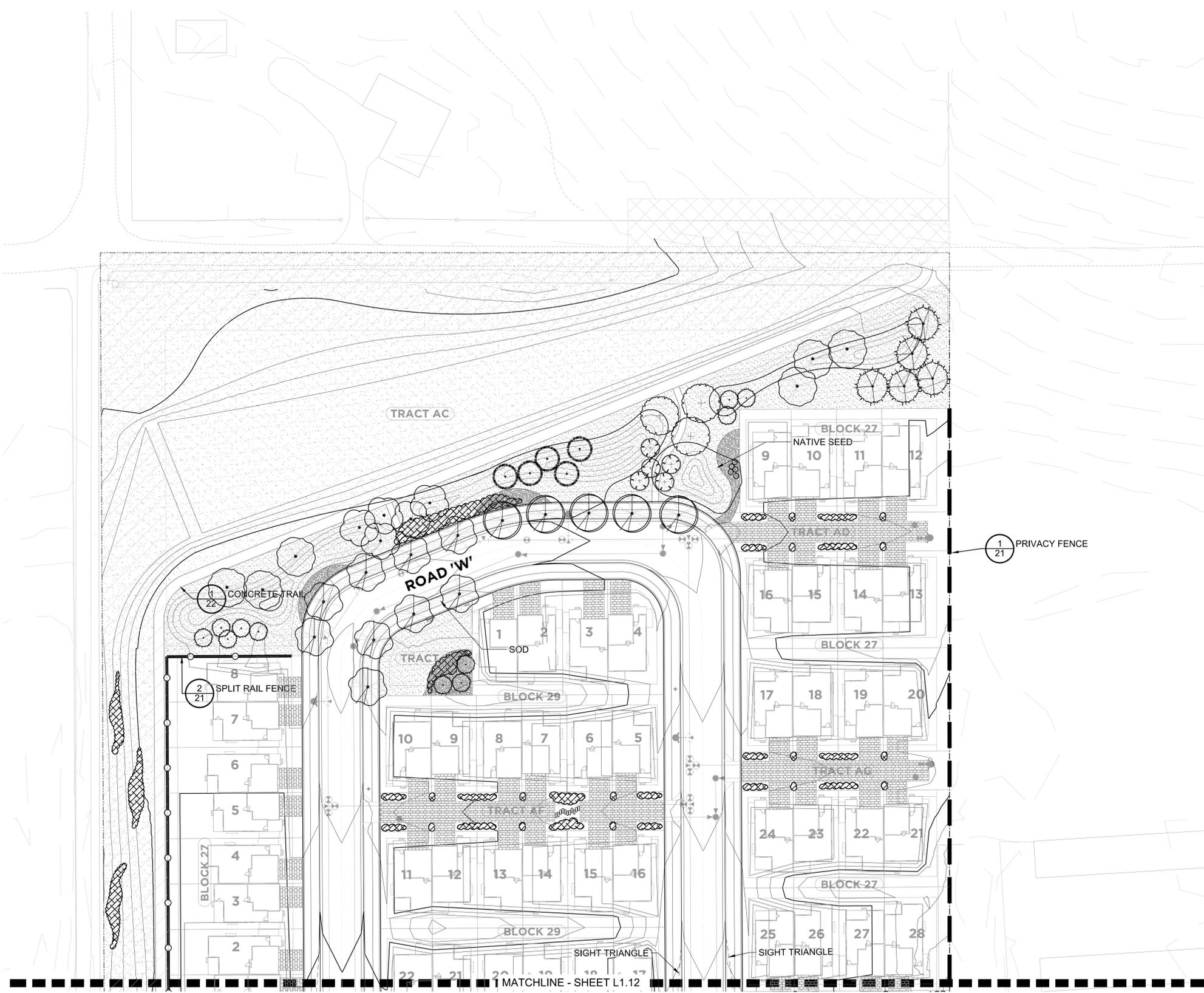
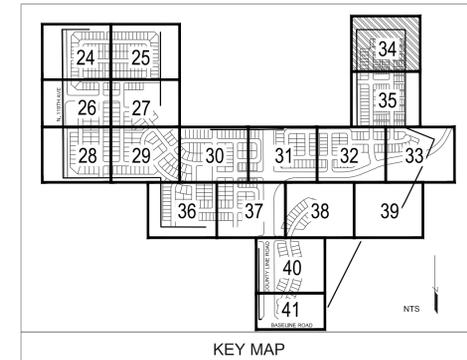
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1" = 40'

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2017-10-11

33
OF 44

PARKDALE PRELIMINARY DEVELOPMENT PLAN

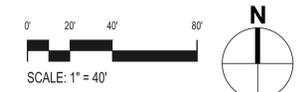
LOCATED IN SECTION 36,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
COUNTY OF BOULDER, STATE OF COLORADO
218.48 ACRES
PP-000894-2017



LEGEND

- DECIDUOUS TREES
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ENGINEERING:
KT
KT ENGINEERING
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P: 720.638.5190

LAND PLANNING:

people creating spaces
pcg group inc. www.pcggroupco.com
#3, #180 Independence group
1007 16th street denver co 80202
1.303.531.4900 1.303.531.4908

PREPARED FOR:
OEO, LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1			
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SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
LANDSCAPE PLAN

PROJECT NO:
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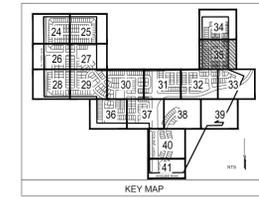
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34
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PARKDALE PRELIMINARY DEVELOPMENT PLAN

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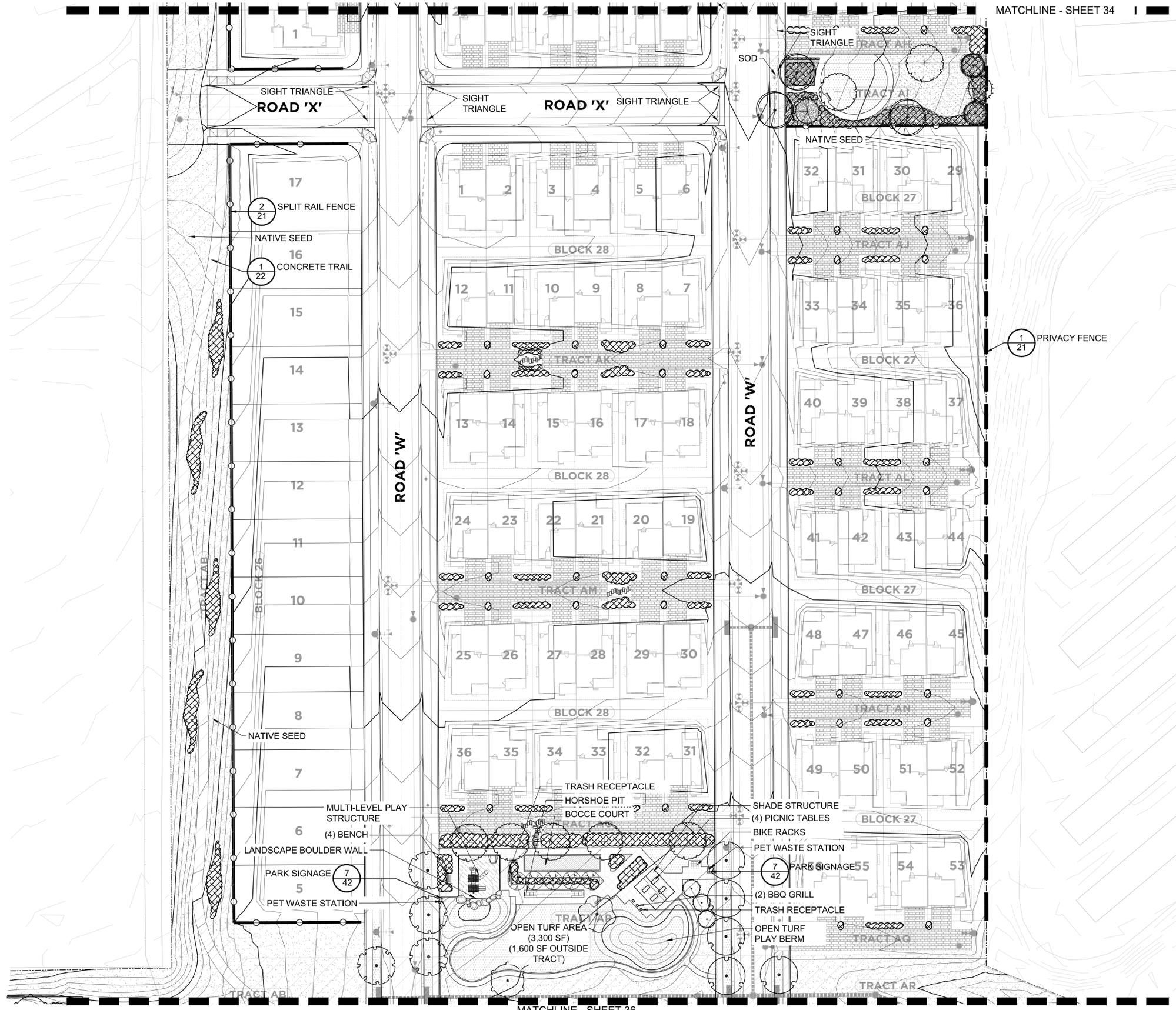
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LIST 'A' - REQUIRED POCKET PARK PLANT MATERIAL QUANTITIES

COMMON NAME	QTY	COMMON NAME	QTY
DECIDUOUS TREES		COMMON NAME	
CC	6	EASTERN REDBUD	
BRO	1	BURR OAK	
SJ	1	JAPANESE PAGODA TREE	
EVERGREEN TREES		COMMON NAME	
VP	3	VANDERWOLF'S PYRAMID PINE	
ORNAMENTAL TREES		COMMON NAME	
MPR	5	PROFUSION CRAB APPLE	
ANNUALS/PERENNIALS		COMMON NAME	
EP	32	PURPLE CONEFLOWER	
MNS	13	MAYNIGHT SALVIA	
DECIDUOUS SHRUBS		COMMON NAME	
BUD	12	BLACK KNIGHT BUTTERFLY BUSH	
CD	66	BLUE MIST SHRUB	
LV	56	GOLDEN PRIVET	
PLS	4	PURPLE LEAF SAND CHERRY	
RG	16	GOLDEN CURRANT	
RF	31	CORAL FLOWER CARPET ROSE	
PKR	4	PINK KNOCKOUT ROSE	
MKL	14	MISS KIM LILAC	
EVERGREEN SHRUB		COMMON NAME	
JM	10	MOONGLOW JUNIPER	
GRASSES		COMMON NAME	
CK	33	FEATHER REED GRASS	
VSG	44	VARIEGATED JAPANESE SILVER GRASS	
DMG	13	DWARF MAIDEN GRASS	

BAKER PARK REQUIREMENTS PER TOWN OF ERIE POCKET PARK DESIGN STANDARDS

LIST A - BENCHES (2); BICYCLE RACKS (4 BIKES); PET WASTE STATION; PARK ID SIGNAGE; IRRIGATION; OPEN TURF AREA; SIDEWALKS; TRASH RECEPTACLES (2);

PLANT TYPE	QTY REQUIRED	QTY PROVIDED
DECIDUOUS TREES	5	8
ORNAMENTAL TREES	3	5
EVERGREEN TREES	2	3
SHRUBS	20	213
PERENNIALS	24	45
ORNAMENTAL GRASS	3	90

LIST B - GROUP PICNIC SHELTER W/ FOUR TABLES (REPLACING SHELTER REQUIRED IN LIST A); MULTI-LEVEL PLAY STRUCTURE

LIST C - HORSESHOE PIT; OPEN TURF PLAY BERM; BOCCIE BALL COURT

LIST D - BBQ GRILLS (2); ADDITIONAL BENCHES (2)

REVISIONS:

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SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
LANDSCAPE PLAN

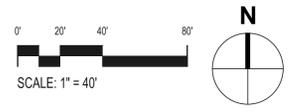
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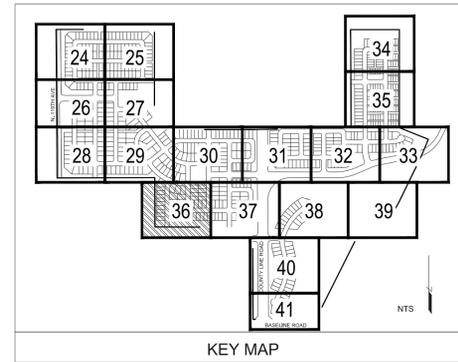
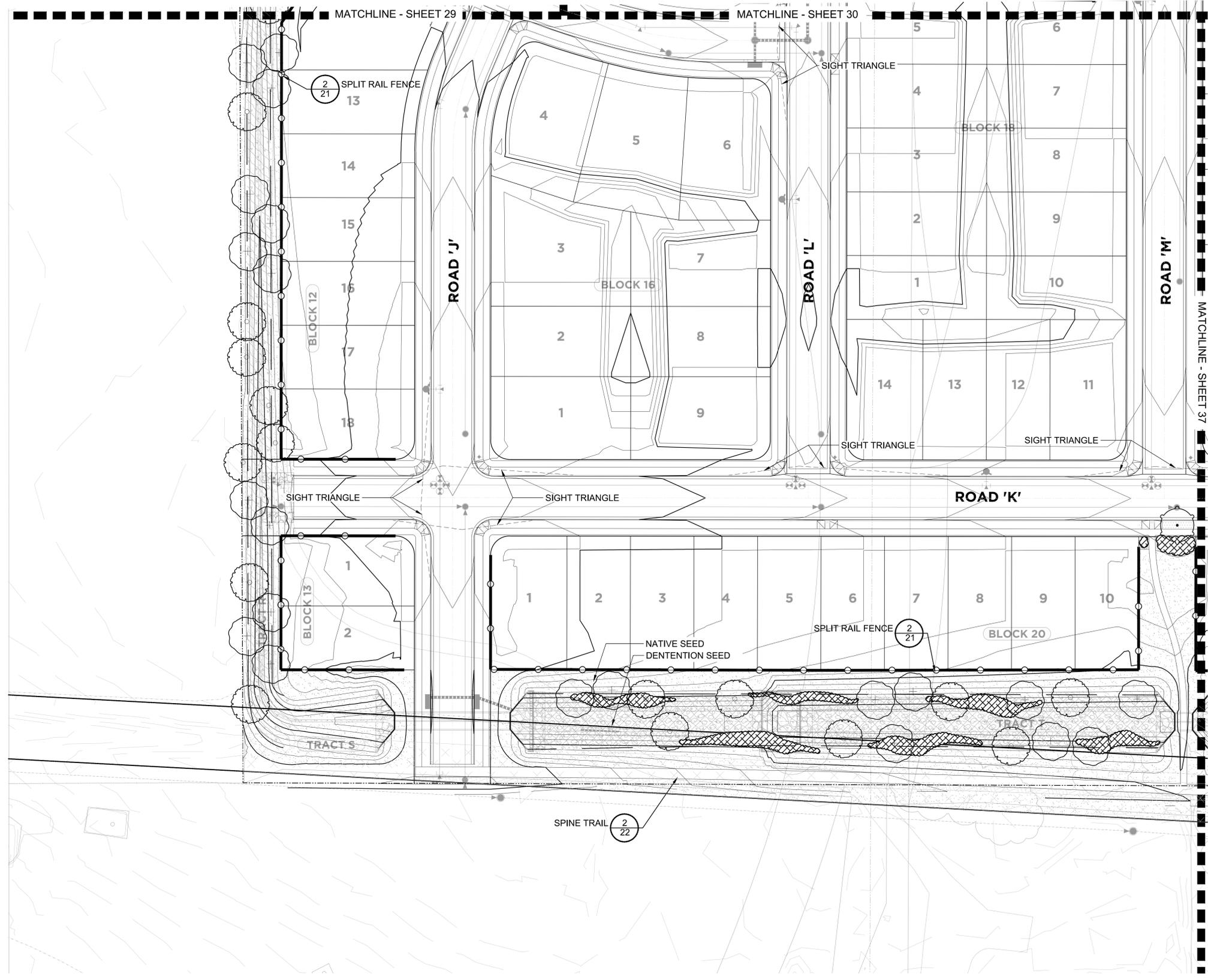
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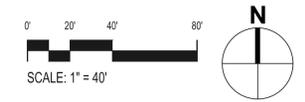
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LAND PLANNING:

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303.531.4900 / 303.531.4908

PREPARED FOR:
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CENTENNIAL, CO 80112
303.770.9111

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PRELIMINARY DEVELOPMENT PLAN
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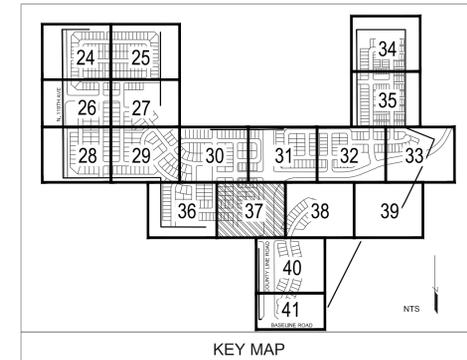
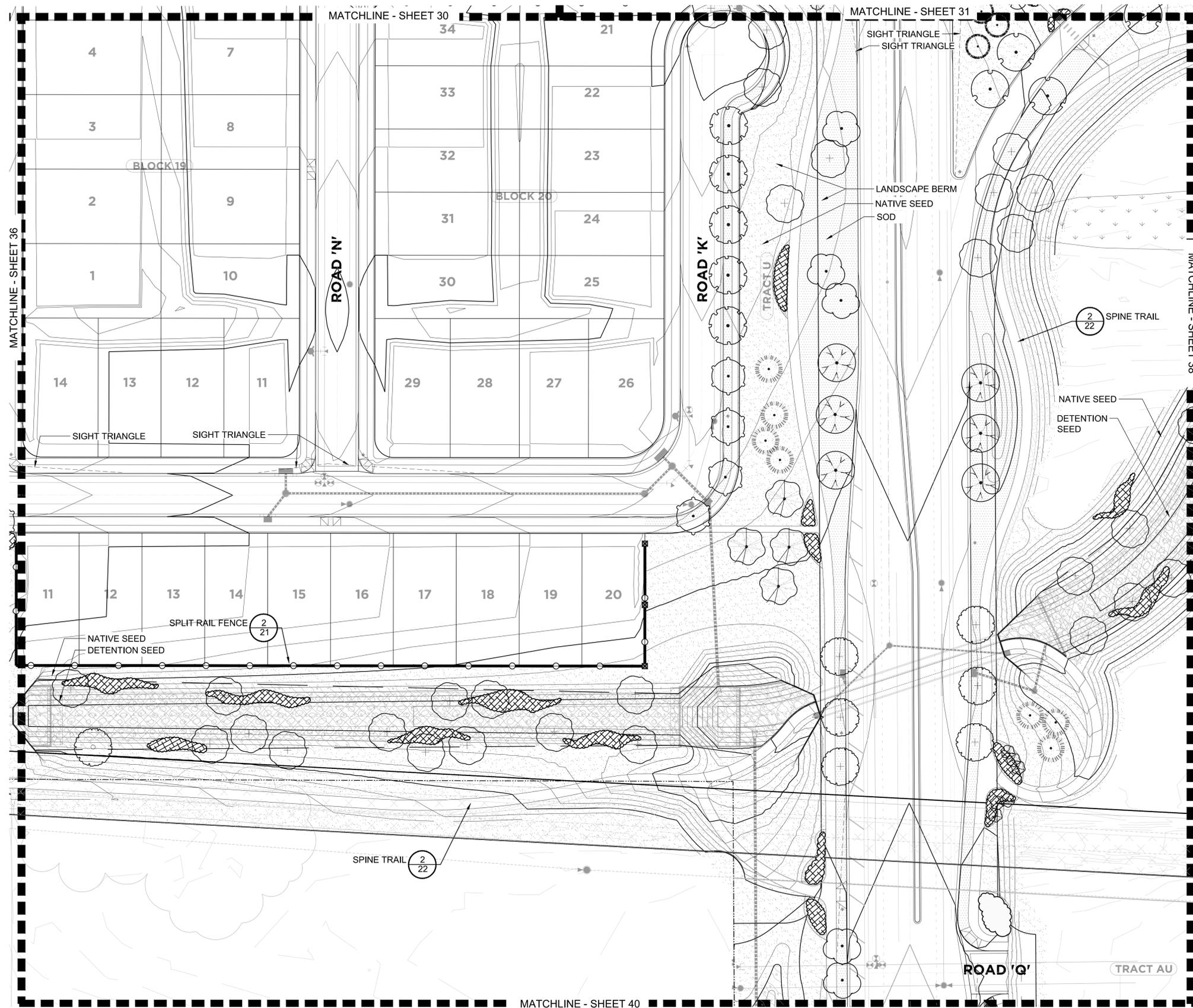
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36
OF 44

PARKDALE PRELIMINARY DEVELOPMENT PLAN

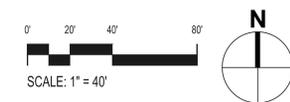
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1.303.531.4900 1.303.531.4908

PREPARED FOR:
OEO, LLC
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CENTENNIAL, CO 80112
303.770.9111

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PARKDALE PRELIMINARY DEVELOPMENT PLAN LANDSCAPE PLAN

PROJECT NO:
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DESIGNED BY:
BM

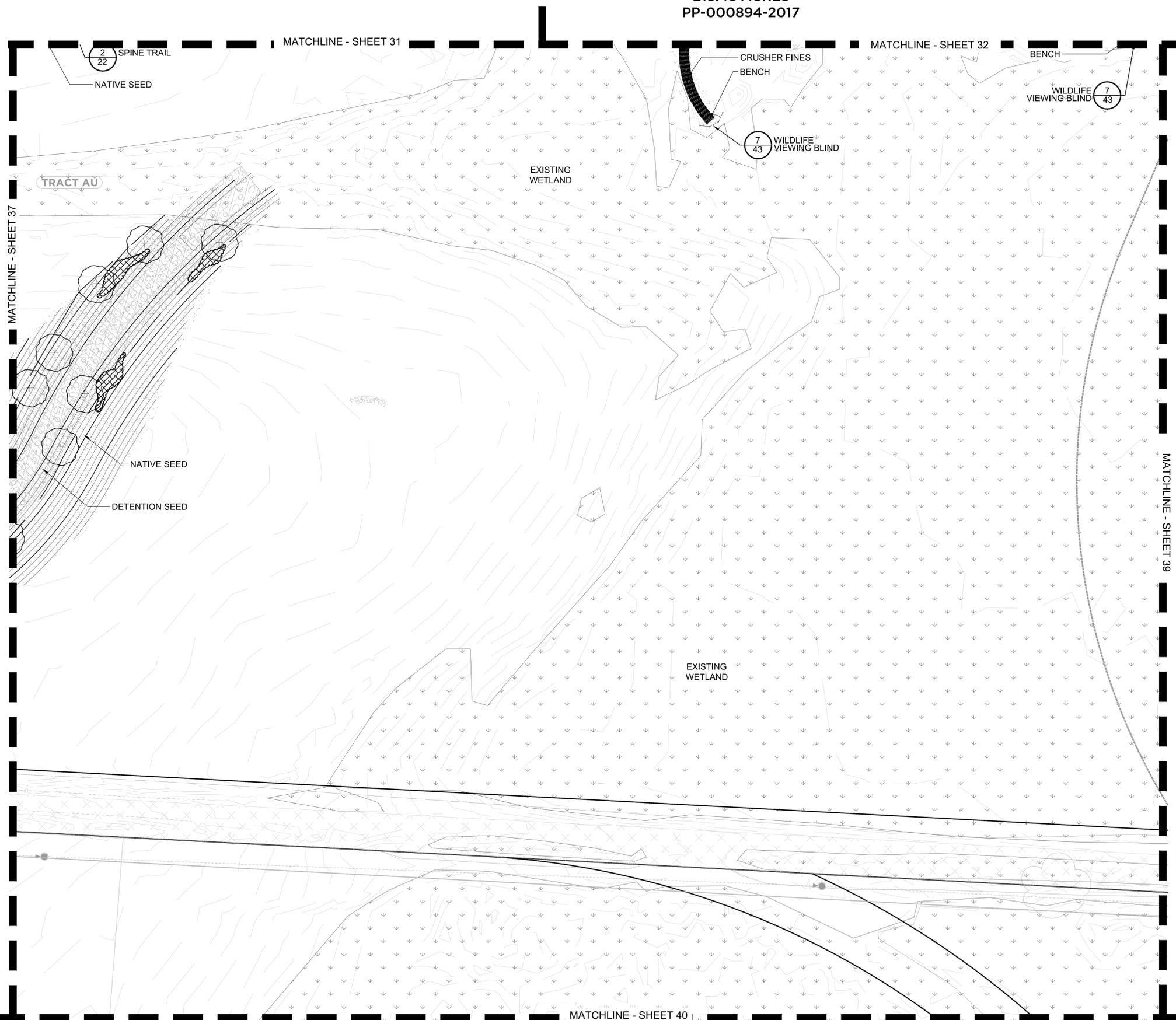
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37
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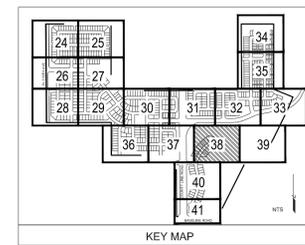
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ARVADA, CO 80002
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LAND PLANNING:

people creating spaces

pc3 group inc. www.pc3group.com
23 S. 190 Independence grade
1007 16th street denver co 80202
303.531.4900 - 303.531.4908

PREPARED FOR:

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7353 SOUTH ALTON WAY
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303.770.9111

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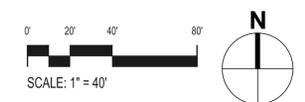
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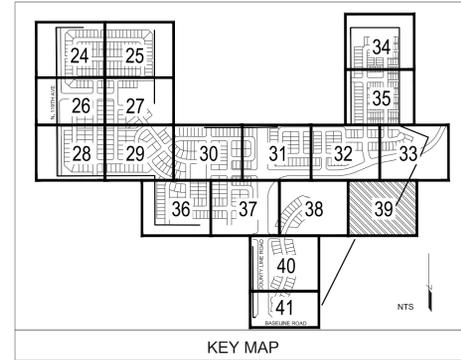
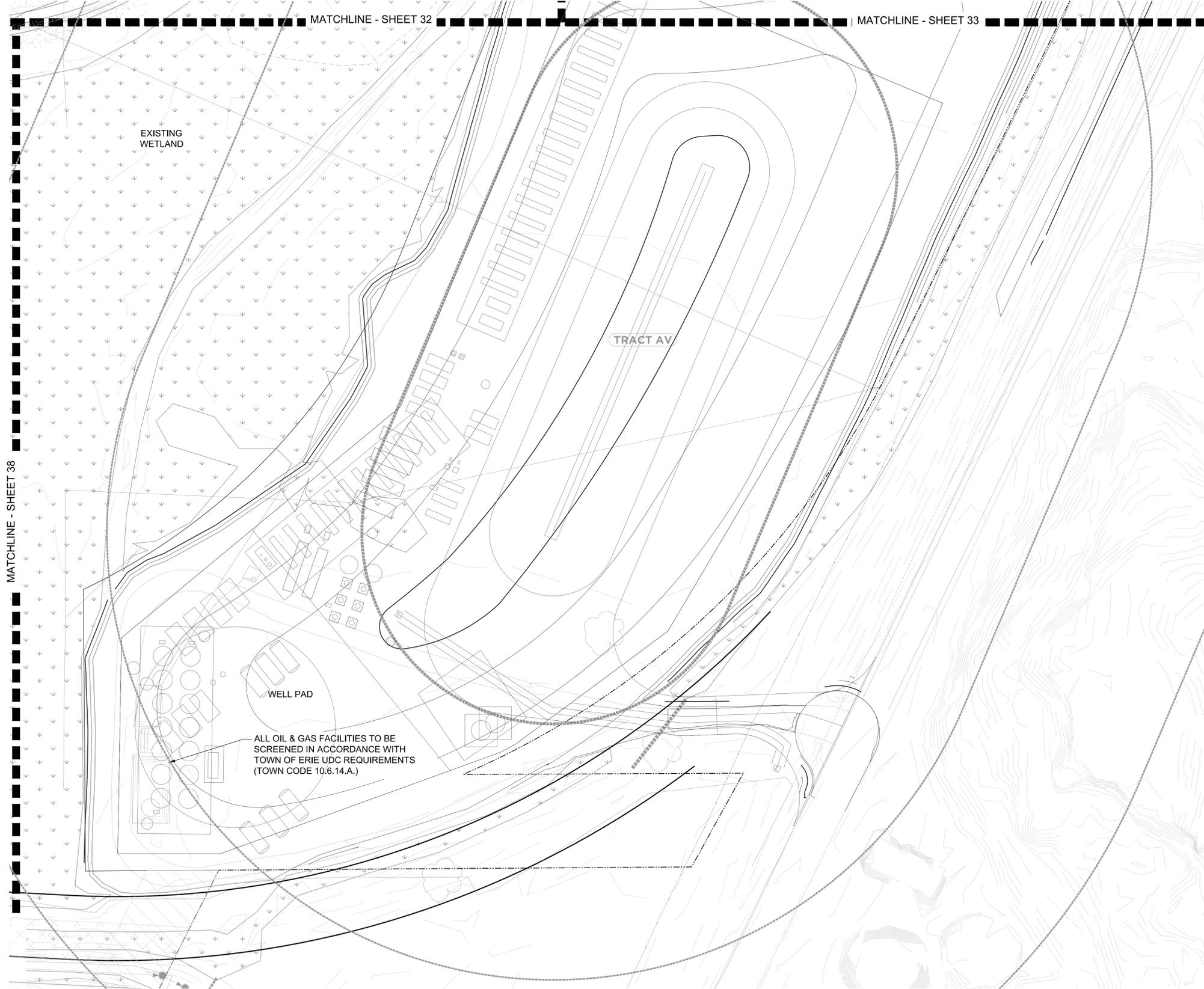
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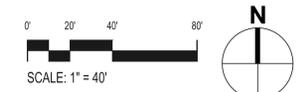
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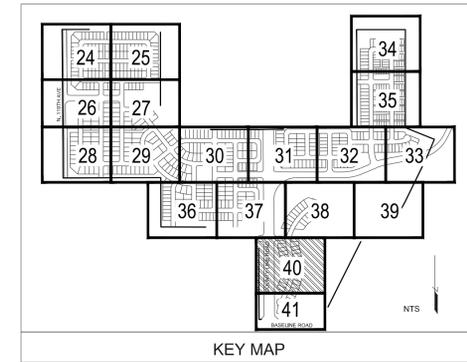
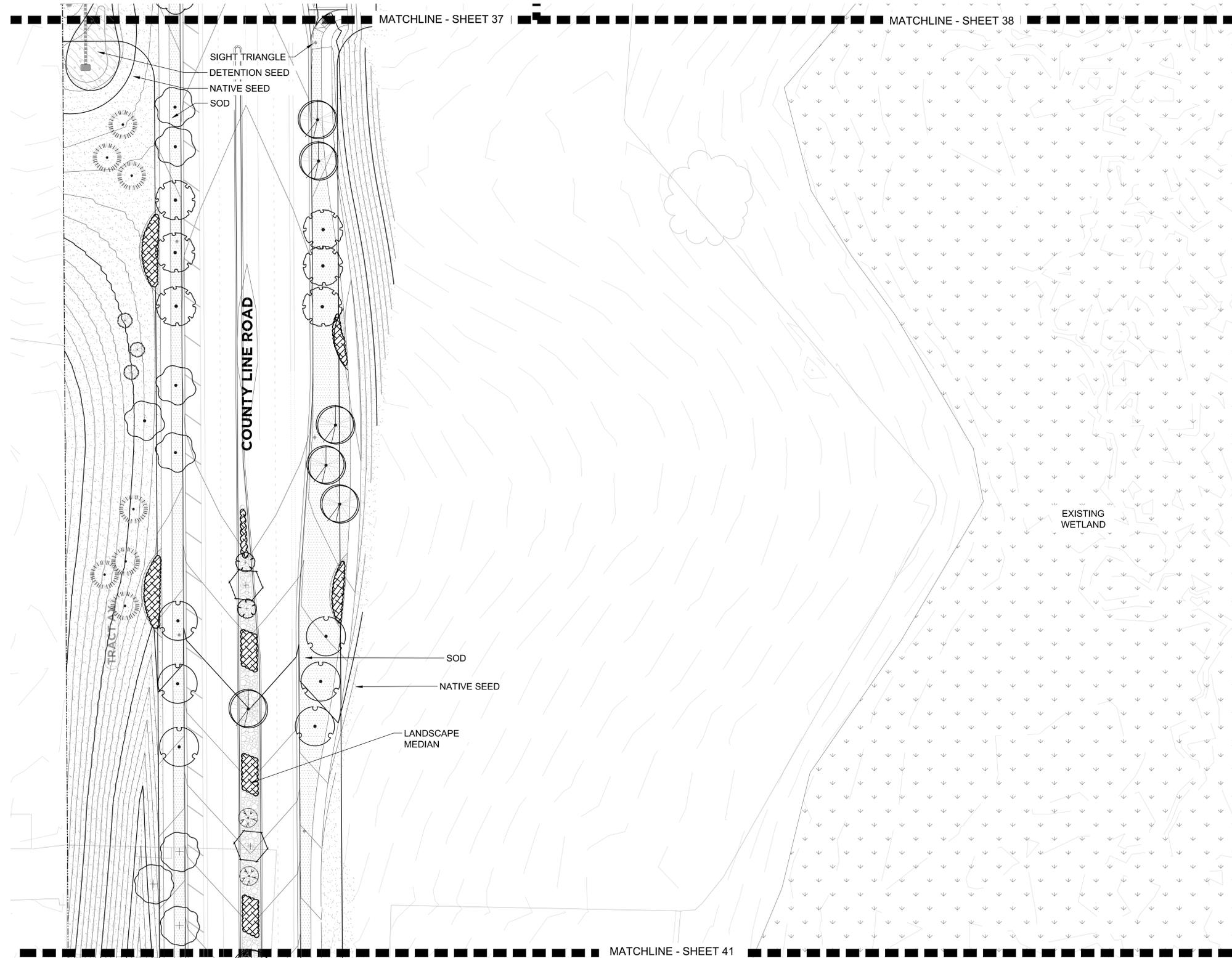
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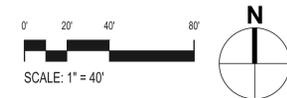
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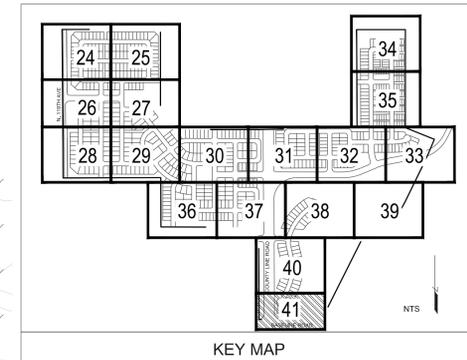
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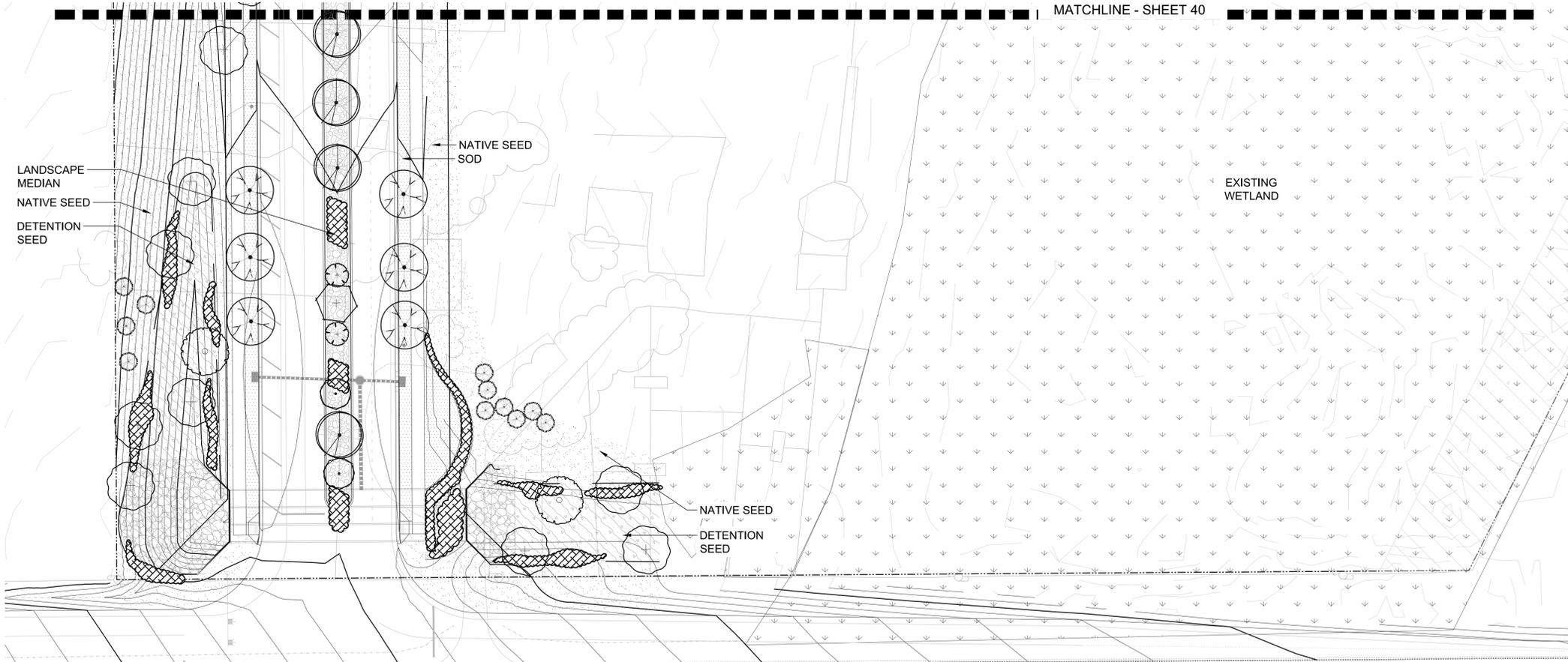
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OF 44



MATCHLINE - SHEET 40



LANDSCAPE
MEDIAN
NATIVE SEED
DETENTION
SEED

NATIVE SEED
SOD

EXISTING
WETLAND

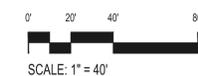
NATIVE SEED
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STATE HIGHWAY NO. 7 (BASELINE ROAD)

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- SPLIT RAIL FENCE WITH COLUMN
- PRIVACY FENCE
- SECURITY FENCE
- LANDSCAPE BOULDERS
- SOD
- NATIVE SEED
ALL NATIVE SEED AREAS ADJACENT TO ALL SPINE TRAILS AND ROADS SHALL HAVE TOWN OF ERIE SPECIFIED SHORTGRASS NATIVE PRAIRIE MIX WITHIN (15) FEET OF EDGE OF SPINE TRAILS AND ROADS
- DETENTION SEED
- ROCK MULCH
- STEEL EDGING

NOTES:
1. ALL TREES TO BE PLANTED A MINIMUM OF 10' FROM ALL UTILITY LINES AND STRUCTURES. TREE LOCATIONS ARE NOT FINAL AND MAY CHANGE BASED UPON FINAL LOCATION OF UTILITIES.
2. TREES ADJACENT TO LOTS ARE THE RESPONSIBILITY OF THE HOMEOWNER.

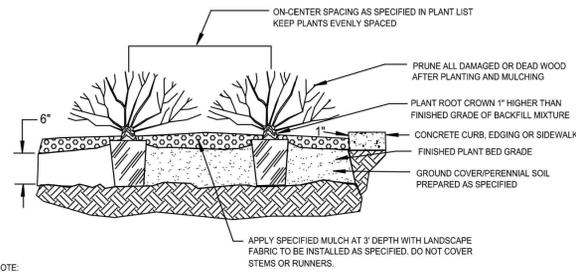


SCALE: 1" = 40'



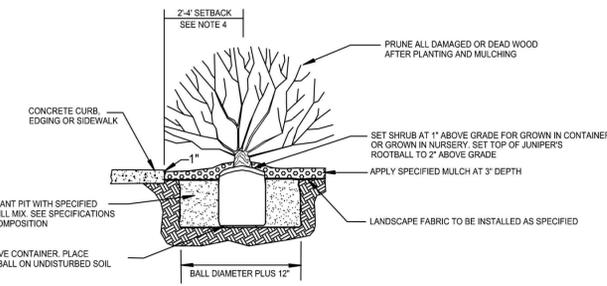
PARKDALE PRELIMINARY DEVELOPMENT PLAN

LOCATED IN SECTION 36,
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
COUNTY OF BOULDER, STATE OF COLORADO
218.48 ACRES
PP-000894-2017



NOTE:
1. HOLD MULCH GRADE 1\"/>

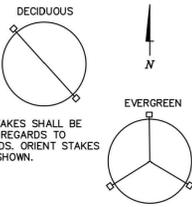
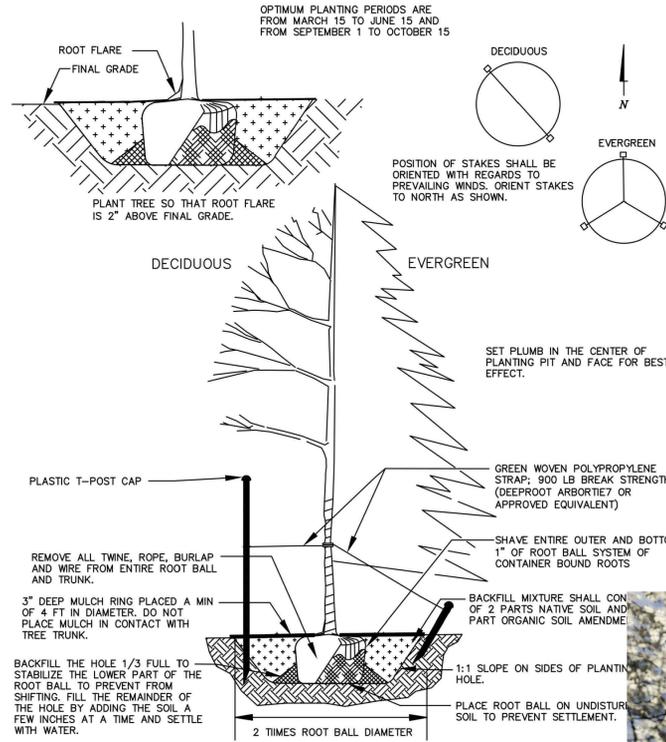
GROUND COVER / PERENNIAL



NOTE:
1. DO NOT PLANT ANY PLANT WITH ROOTBALL NOT IN CONFORMANCE WITH COLORADO NURSERY ACT REQUIREMENTS
2. HOLD MULCH GRADE 1\"/>

1 SHRUB PLANTING

NOT TO SCALE



POSITION OF STAKES SHALL BE ORIENTED WITH REGARDS TO PREVAILING WINDS. ORIENT STAKES TO NORTH AS SHOWN.

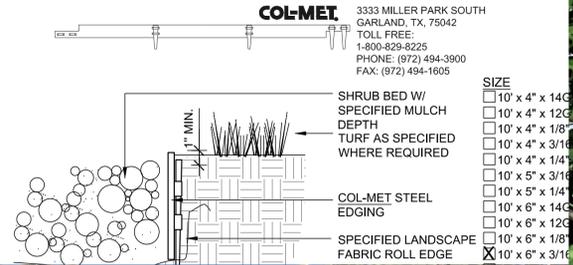
SET PLUMB IN THE CENTER OF PLANTING PIT AND FACE FOR BEST EFFECT.

BACKFILL THE HOLE 1/3 FULL TO STABILIZE THE LOWER PART OF THE ROOT BALL TO PREVENT FROM SHIFTING. FILL THE REMAINDER OF THE HOLE BY ADDING THE SOIL A FEW INCHES AT A TIME AND SETTLE WITH WATER.
1:1 SLOPE ON SIDES OF PLANTING HOLE.
PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.

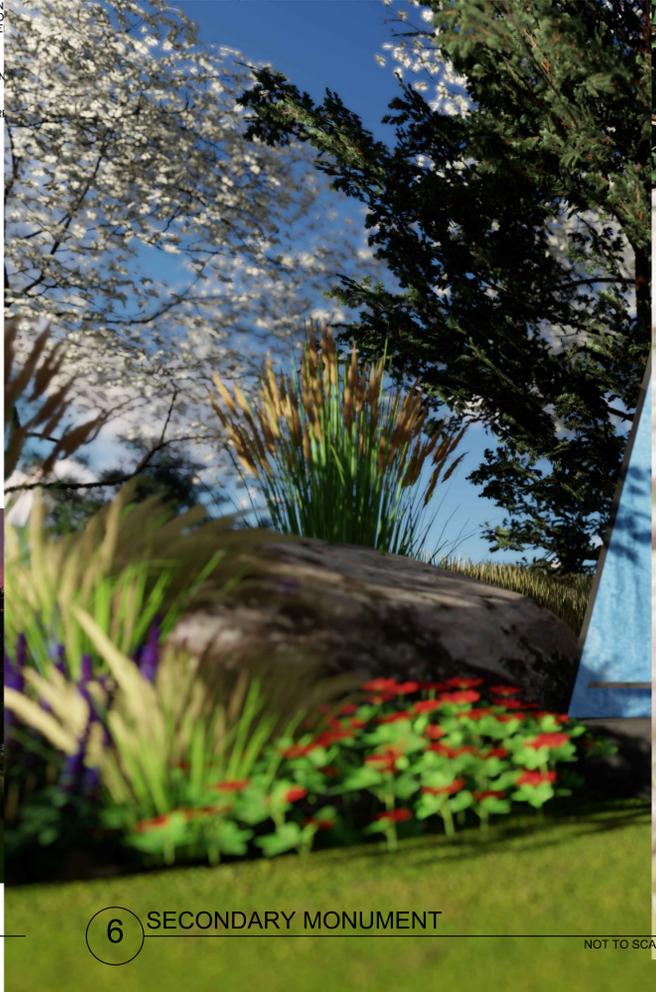
STAKING NOTES:
DECIDUOUS TREES SHALL BE STAKED USING TWO(2) SIX(6) FOOT STEEL T-POSTS DRIVEN PERPENDICULAR TO THE TREE AT 180 DEGREES.
EVERGREEN TREES SHALL BE STAKED USING THREE(3) TWO(2) FOOT STAKES DRIVEN AT 120 DEGREES.
ALL STAKES SHALL BE DRIVEN OUTSIDE OF ROOTBALL AND IN UNDISTURBED SOIL.

2 TREE PLANTING

NOT TO SCALE



SIZE
10' x 4' x 14G
10' x 4' x 12G
10' x 4' x 1/8"
10' x 4' x 3/16"
10' x 4' x 1/4"
10' x 5' x 3/16"
10' x 5' x 1/4"
10' x 6' x 14G
10' x 6' x 12G
10' x 6' x 1/8"
10' x 6' x 3/16"



6 SECONDARY MONUMENT

NOT TO SCALE



5 PRIMARY MONUMENT

NOT TO SCALE



7 PARK SIGNAGE

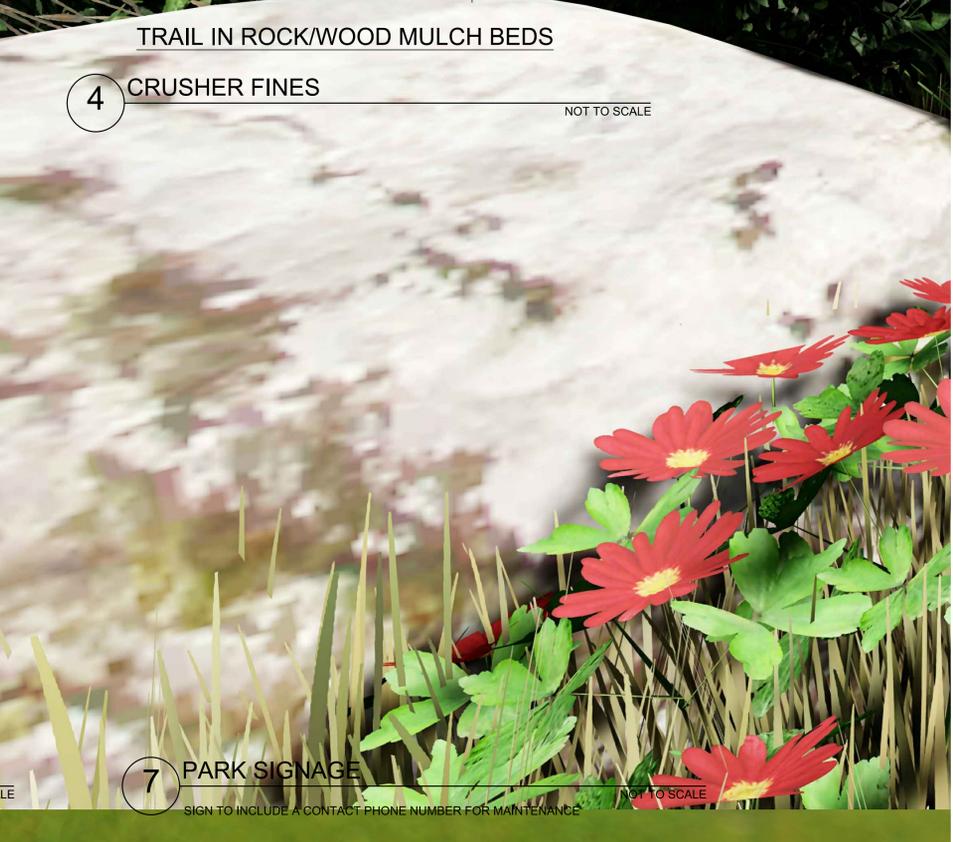
NOT TO SCALE



TRAIL IN ROCK/WOOD MULCH BEDS

4 CRUSHER FINES

NOT TO SCALE



7 PARK SIGNAGE

SIGN TO INCLUDE A CONTACT PHONE NUMBER FOR MAINTENANCE

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PP-000894-2017

ENGINEERING:



KT ENGINEERING
12500 W. 58TH AVE. #230
ARVADA, CO 80002
P: 720.638.5190

LAND PLANNING:



pcg group inc. www.pcggroupco.com
#3, #10 Independence plaza
1007 16th street denver co 80202
1.303.531.4900 1.303.531.4908

PREPARED FOR:

OEO, LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			
6			
7			
8			

SHEET INFO:

PARKDALE
PRELIMINARY DEVELOPMENT PLAN
SITE & LANDSCAPE DETAILS

PROJECT NO:
000894-2017

DRAWN BY:
BM/GG
DESIGNED BY:
BM

SCALE:

SUBMITTED ON:
2017-10-11

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OF 44



VICTOR STANLEY™

Create a timeless moment.™

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1 PICNIC TABLE

NOT TO SCALE



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2 BENCH W/ BACK

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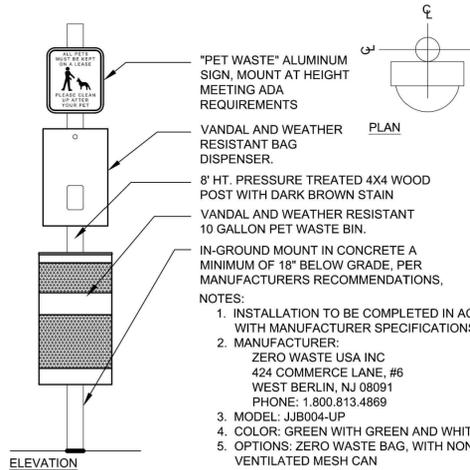
3 TRASH RECEPTACLE

NOT TO SCALE



4 BIKE RACK

NOT TO SCALE



"PET WASTE" ALUMINUM SIGN, MOUNT AT HEIGHT MEETING ADA REQUIREMENTS

VANDAL AND WEATHER RESISTANT BAG DISPENSER.

8' HT. PRESSURE TREATED 4X4 WOOD POST WITH DARK BROWN STAIN

VANDAL AND WEATHER RESISTANT 10 GALLON PET WASTE BIN.

IN-GROUND MOUNT IN CONCRETE A MINIMUM OF 18" BELOW GRADE, PER MANUFACTURERS RECOMMENDATIONS.

- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
 2. MANUFACTURER:
ZERO WASTE USA INC
424 COMMERCE LANE, #6
WEST BERLIN, NJ 08091
PHONE: 1.800.813.4869
 3. MODEL: JJB004-LJP
 4. COLOR: GREEN WITH GREEN AND WHITE SIGN
 5. OPTIONS: ZERO WASTE BAG, WITH NON-LOCKING VENTILATED MESH CAN
 6. OWNER SHALL APPROVE FINAL LOCATIONS OF PET STATION PRIOR TO INSTALLATION.

5 PET WASTE STATION

NOT TO SCALE



6 SHELTER

NOT TO SCALE



7 WILDLIFE VIEWING BLIND

NOT TO SCALE

* WILDLIFE VIEWING BLIND DEPICTED IS FOR CONCEPTUAL USE ONLY. FINAL DESIGN TO BE COMPLETED AS PART OF FINAL CD PACKAGE.

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pcj group inc. www.pcgrouppco.com
#3, #180 Independence Blvd
1007 16th Street, Denver, CO 80202
1.303.531.4900 / 1.303.531.4908

PREPARED FOR:

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7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
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PARKDALE
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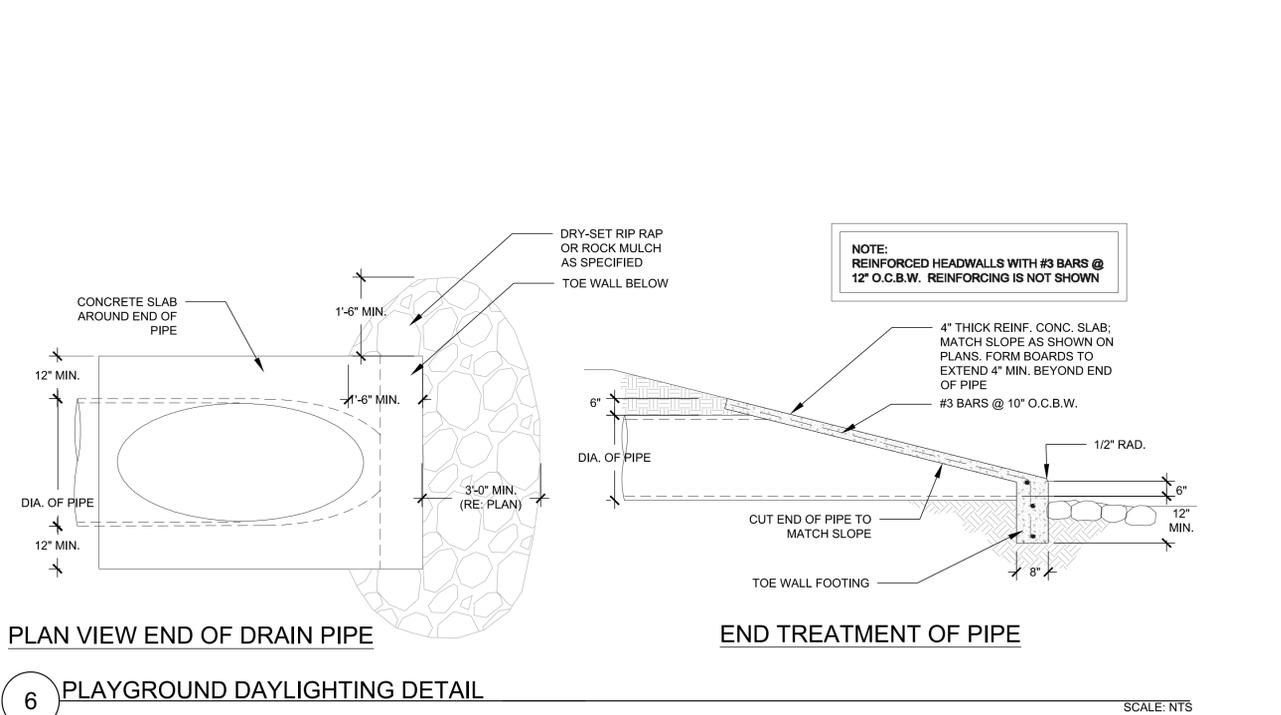
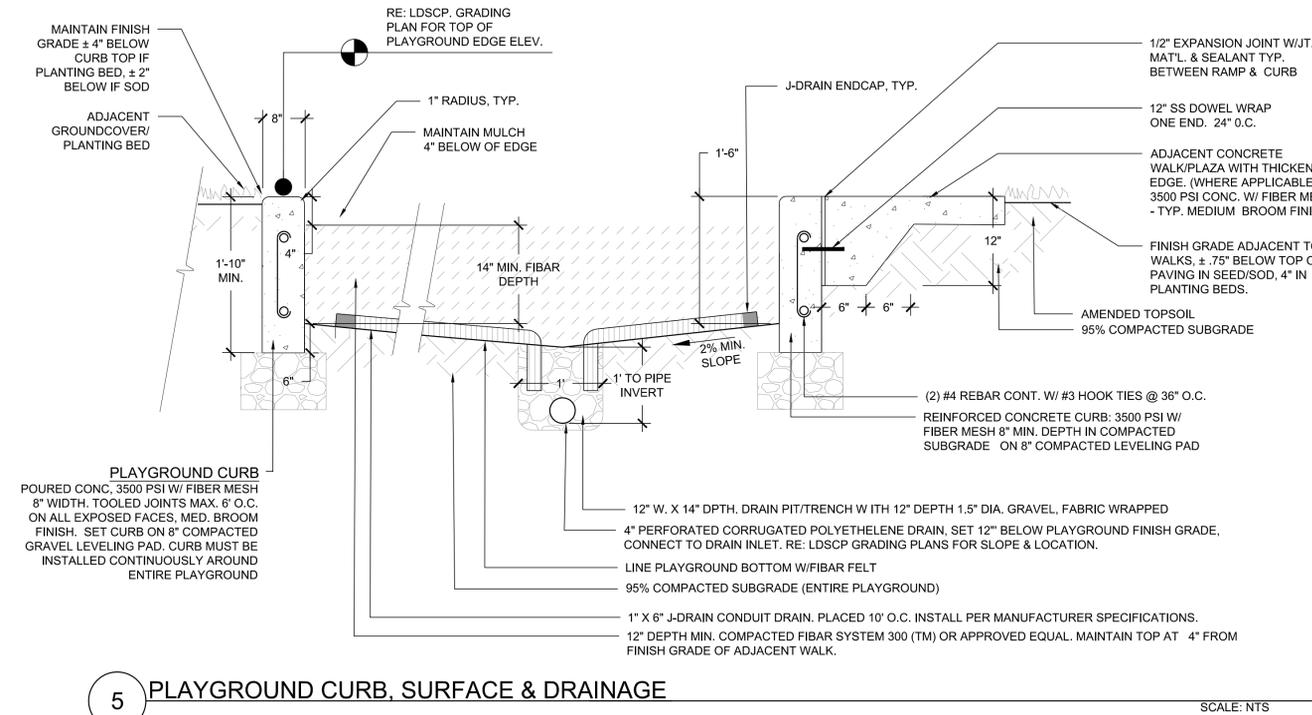
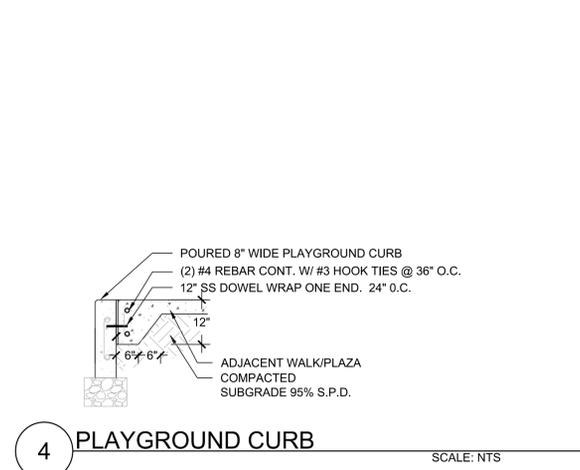
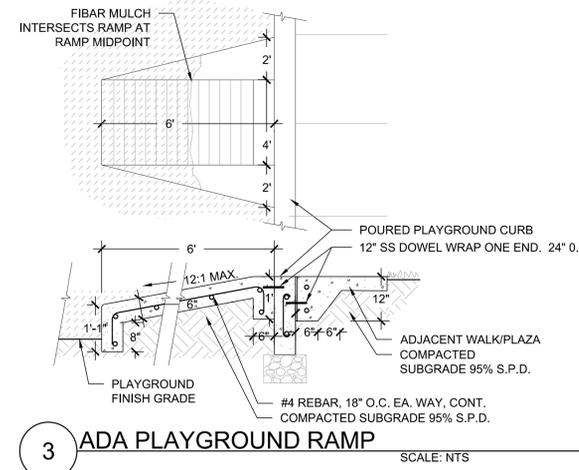
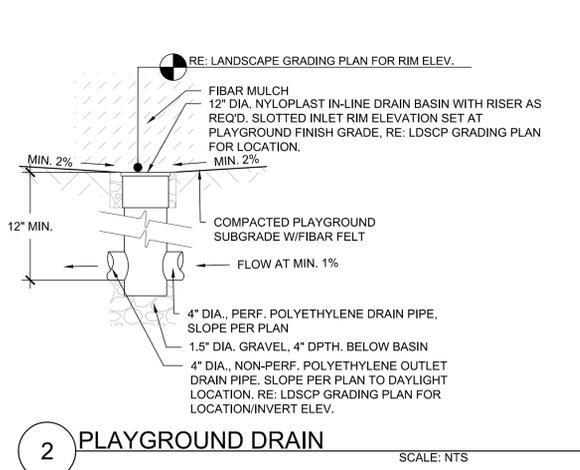
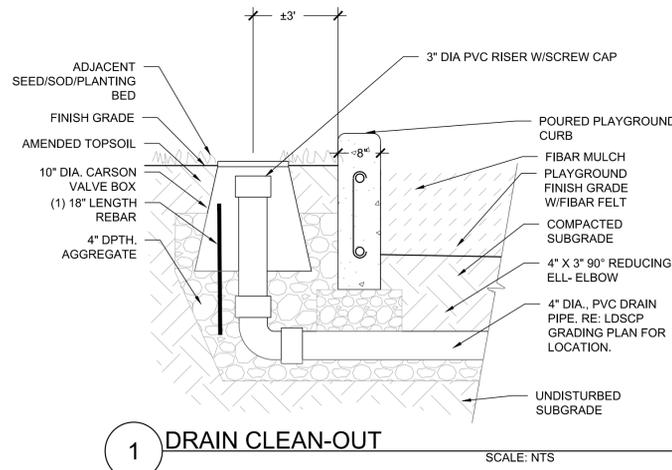
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DRAWN BY:
BM/GG
DESIGNED BY:
BM

SCALE:

SUBMITTED ON:
2017-10-11

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OF 44



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