TYPICAL KROGER DRAINAGE FIXTURE UNIT LOADS

REQ PLUMBING ITEMS			IPC		GREASE DFUs	
Qty	ltem	Туре	DFU per fixture	Total DFUs	Grease Classification	3-Comps, Drains, & Equipment
1	D275LSK1.5-23L	STARBUCKS KIOSK	8	8	Prep Equip - Grease	0.5
2	B109G	OVEN	3	6	Prep Equip - Grease	6
1	D15CD-208	COMBI-OVEN	3	3	Prep Equip - Grease	0.5
1	D15CS-208	CHICKEN COMBI-OVEN	3	3	Prep Equip - Grease	0.5
1	PL1L-24	ONE-COMPARTMENT SINK - PRODUCE TRIM STATION	2	2	Sink - compartment	0.5
3	PL1M	MOP SINK	2	6	Sink - prep	-
3	PL1PC-18	ONE-COMPARTMENT SINK	2	6	Sink - compartment	1.5
2	PL1R-24	ONE-COMPARTMENT SINK	2	4	Sink - compartment	1
1	PL1SLND	SEAFOOD PREP SINK	2	2	Sink - prep	-
6	PL3-24C	THREE-COMPARTMENT SINK	2	12	Sink - compartment	3
1	PL3C-24	THREE-COMPARTMENT SINK	2	2	Sink - compartment	2
36	FD-2	Drain - Floor Drain	2	72	Drain	72
18	FD-4	Drain - Floor Drain	6	108	Drain	108
6	TD-3	Drain - Trench 3 ft.	6	36	Drain	36
2	TD-4	Drain - Trench 4 ft.	8	16	Drain	16
3	TD-5	Drain - Trench 5 ft.	10	30	Drain	30

DRAINAGE FIXTURE UNITS (dfus)	442.5	277.5
INTERNATIONAL PLUMBING CODE dfus x 7.5 GPM		2081.25 GPM
UNIFORM PLUMBING CODE 2012 UPC Table 1014.3.6		2500 gal trap

PROJECT SHEET BASE DESIGN STANDARDS

Complete one Project Sheet for each project that includes Stormwater Quality Control Measures. Please email <u>stormwater@erieco.gov</u> with any questions. This document acceptance shall not be construed to relieve any requirement to conform to the Standards and Specifications not specifically addressed in this form. The engineering design and concept remains the responsibility of the professional engineer.

SITE INFORMATION

Project Name	: Nine Mile Corner Lot 10A King Soopers			
Project Locati	Project Location: Lot 10A of Nine Mile Corner			
Submitted Da	te: <i>8/31/21</i>	Submitted By: Aaron Johnston		
Applicant Ema	ail: <u>aaronjohnston@gallowayus.com</u>	Applicant Phone: 303-770-8884		
Applicant Org	anization: Galloway & Company, Inc.			
Acreage Distu	rbed: 7.635 acres			
Existing Impe	rvious: 0 acres	New Net Impervious: 7.128 acres		
Review Date:		Reviewed By:		
✓ Preparer	Requirements			
	Design Details are included for all Control Measure	sures (CM)		
List or include a description of any Source CMs (i.e. preventing pollutants from contacting stormwater) or other non-structural CMs:				
	Does project overlap multiple MS4 Jurisdiction	s? Yes No		
	If project overlaps jurisdictions, provide written agreement designating responsibility for CM requirements, review, inspections			

DESIGN STANDARDS

Design Standards may be used in combination, as necessary, to meet the requirements. Additional design methods may be considered if they comply with the MS4 Permit. Evaluation of suitability of Stormwater Quality Control Measures (CMs) is based on pollutant removal, flood attenuation and long-term maintenance. CMs must be designed in accordance with the most current version of <u>USDCM vol. 3</u>, <u>Chapter 4 "Treatment BMPs"</u> and the Town of Erie's Standards and Specifications. CMs must also meet the specific requirements for each Design Standard used. Design Standard requirements can be found on the MS4 general permit here: <u>COR90000</u>

- 1. Indicate below, which Design Standards will be used for the project, and
- 2. Complete a separate, corresponding Design Standards checklist for each CM (e.g., WQCV, etc.)

Design Standard	# CMs	Location/Identifying information
WQCV	3	Permanent extended detention basins located along the north side of the
		site.
Pollutant Removal	0	Permanent extended detention basins located along the north side of the
		site.
Runoff Reduction	0	Permanent landscaping located throughout the site will allow some
		stormwater to infiltrate.
Regional WQCV Control Measure	0	
Regional WQCV Facility	0	

CHECKLIST WQCV Standard

WQCV STANDARD Criteria

Control measure(s) must be designed to provide treatment and/or infiltration of the Water Quality Capture Volume (WQCV) for 100% of the site.

Complete checklist if using the WQCV Standard to meet Design Standard requirements.

Project Name: Nine Mile Corner Lot 10A King Soopers			
Preparer	Requirements		
х	Control measure(s) provide treatment and/or infiltration of the WQCV for 100% of the site		
х	% of site treated: 100%		
х	CM type: Extended Detention Basin	CM ID/location: Basins are located along	
		the north side of the development.	
х	See Drainage Report section: Appendix B, Drainage Maps		

If less than 100% of the site is treated, complete the following:

Preparer	Requirements	
	% of site not treated by control measures (not to exceed 20% or 1 acre):	
	%	size (acres)
	Provide explanation that the excluded area	a is impractical to treat:
	Provide explanation that another CM is not practicable for the untreated area:	

CHECKLIST Pollutant Removal Standard

POLLUTANT REMOVAL STANDARD Criteria

Control measure(s) must be designed to provide treatment of the 80th percentile storm event. The control measure(s) shall be designed to treat stormwater runoff in a manner expected to reduce the event mean concentration of total suspended solids (TSS), at a minimum, to a median value of 30mg/L or less for 100% of the site. Substantiating data must meet criteria in USDCM vol.3and be included in the submittal.

Complete checklist if using the Pollutant Removal Standard to meet Design Standard requirements.

Project Nam	le:		
Preparer	Requirements		
	Control measure(s) provide treatment of the 80th percentile storm event. The control measure(s) treat stormwater runoff in a manner expected to reduce the event mean concentration of total suspended solids (TSS) to a median value of 30mg/L or less for 100% of the site.		
	CM type:	CM ID/location:	
-	Storm event:	<u> </u>	
	TSS mg/L reduction: % of site treated:		
	See Drainage Report section:		

If less than 100% of the site is treated, complete the following:

Preparer	Requirements		
	% of site not treated by control measures (not to exceed 20% or 1 acre):		
	%	size (acres)	
	Provide explanation that the excluded area is impractical to treat:		
	Provide explanation that another CM is not practicable for the untreated area:		

CHECKLIST Runoff Reduction Standard

RUNOFF REDUCTION STANDARD Criteria

Control measure(s) must be designed to infiltrate, evaporate or evapotranspire, at a minimum, a quantity of water equal to 60% of what the calculated WQCV would be if all impervious area discharged without infiltration. This Standard can be met through practices such as Green Infrastructure and Low Impact Development practices.

Complete checklist if using the Runoff Reduction Standard to meet Design Standard requirements.

Project Name:		
Preparer Requirements		
	Control measure infiltrates, evaporates or evapotranspirates at least 60% of WQCV	
	% treated through runoff reduction:	
	CM type:	CM ID/location:
	See Drainage Report section:	

CHECKLIST Regional WQCV Control Measure Standard

REGIONAL WQCV CONTROL MEASURE STANDARD Criteria

Control Measure(s) must be designed to accept the drainage from the applicable development site. Stormwater from the site must not discharge to a water of the state before being discharged to the Regional WQCV Control Measure. The Regional WQCV Control Measure must be designed to provide treatment and/or infiltration of the WQCV for 100% of the applicable development site.

Complete checklist if using the Regional WQCV Control Measure Standard to meet Design Standard requirements.

Project Name:		
Preparer Requirements		
	Control Measure(s) are designed to accept the drainage from the site	
	Stormwater from the site must not discharge to a water of the state before being discharged to	
	the Regional WQCV Control Measure	
	The Regional WQCV Control Measure is designed to provide treatment and/or infiltration of the	
	WQCV for 100% of the site	
	CM ID/location:	
	See Drainage Report section:	

If less than 100% of the site is treated, complete the following:

Preparer	Preparer Requirements		
	% of site not treated by control measures (not to exceed 20% or 1 acre):		
	%	size (acres)	
Provide explanation that the excluded area is impractical to treat:		a is impractical to treat:	
	Provide explanation that another CM is no	t practicable for the untreated area:	

CHECKLIST Regional WQCV Facility Standard

REGIONAL WQCV FACILITY STANDARD Criteria

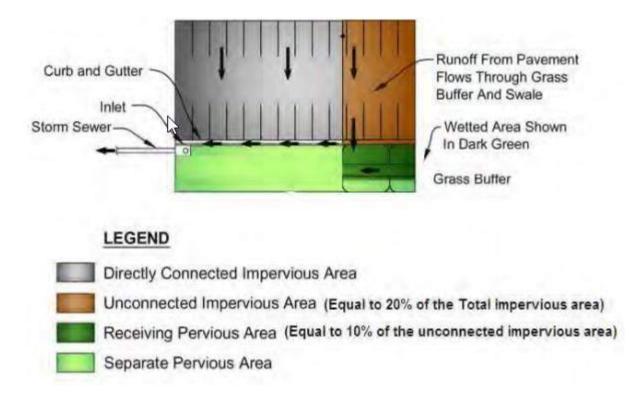
Control Measure(s) must be designed to accept drainage from the applicable development site. Stormwater from the site may discharge to a water of the state before being discharged to the Regional WQCV facility. Before discharging to a water of the state, at least 20 percent of the upstream imperviousness of the site must be disconnected from the storm drainage system and drain through a receiving pervious area control measure comprising a footprint of at least 10 percent of the upstream disconnected impervious area of the applicable development site. In addition, the stream channel between the discharge point of the applicable development site and the Regional WQCV facility must be stabilized.

Project Nar	ne:		
Preparer	Requirements		
	The Regional WQCV Facility is implemented, functional, and maintained following good engineering, hydrologic and pollution control practices.		
	The Regional WQCV Facility is designed and operating in accordance with the original design and/or USDCM vol.3.		
	The Regional WQCV Facility is designed and operating to provide 100% WQCV for its entire d area.		
	The Regional WQCV Facility has capa	city to accommodate the drainage from the site.	
The Regional WQCV Facility is designed and built to comply		ed and built to comply with all assumptions for the	
	development planned within the drainage area and site.		
	Evaluation of the minimum drain tim	e is based on the pollutant removal mechanism and	
	functionality of the facility.		
	The Regional WQCV Facility is design	V Facility is designed and constructed with flood control and water quality as the	
	primary use. Recreational ponds and	l reservoirs or Classified State Waters cannot be used as	
	Regional WQCV Facilities.		
	% of site treated in facility:	% of site treated in facility:	
	% of unconnected imperviousness ar	iousness area (prior to facility):	
	% of receiving pervious area (prior to	facility):	
	Stream channel stabilized (include do	ocumentation)	
	Stream reach:	Method of stabilization:	
	Date completed:	Included in project scope:	
	CM type:	CM ID/location:	
	See Drainage Report section:		

Complete checklist if using the Regional WQCV Facility Standard to meet Design Standard requirements.

Regional WQCV Facility Standard example

Example Water Quality Enhancements for Site Tributary to Regional Facility



Graphic courtesy of SEMSWA Criteria Regarding Onsite Treatment in a Regional System 2014

PROJECT SHEET CONSTRAINED SITE STANDARD

Complete one Project Sheet for each project <u>that is Constrained</u> and includes Stormwater Quality CMs.

CONSTRAINED REDEVELOPMENT SITES

Constrained Redevelopment Sites are sites where the existing condition is >35% imperviousness and the proposed redevelopment will result in >75% imperviousness. If the proposed redevelopment will result in >75% imperviousness, but the existing condition is <35% imperviousness, the Constrained Site Standard cannot be used and Base Design Standards must be followed. **The Constrained Site Standard can only be used if it is determined that it is not practicable to meet any of the Base Design Standards.** It is incumbent on the design engineer to demonstrate adherence to Base Design Standards has been thoroughly evaluated and found to be infeasible before a Constrained Site Standard is proposed.

SITE INFORMATION

r				
Project Name	2:			
Project Locat	ion:			
Submitted D	ate:	Submitted By	:	
Acreage Dist	urbed:			
Existing Impe	ervious:	New Net Imp	ervious:	
Review Date	:	Reviewed By:		
✓ Preparer	Requirements			
	Design Details are included for all CMs			
	List or include a description of any Source C stormwater) or other non-structural CMs:	· ·	ting polluta	ants from contacting
	Does project overlap multiple MS4 Jurisdict	ions?	Yes	No
	If project overlaps jurisdictions, provide wri requirements, review, inspections	tten agreement	designatii	ng responsibility for CM

DESIGN STANDARDS

Design Standards may be used in combination, as necessary, to meet the requirements. Additional design methods may be considered if they comply with the MS4 Permit. Evaluation of suitability of Stormwater Quality Control Measures (CMs) is based on pollutant removal, flood attenuation and long-term maintenance. CMs must be designed in accordance with the most current version of <u>USDCM vol. 3</u>, <u>Chapter 4 "Treatment BMPs"</u> and the Town of Erie's Standards and Specifications. CMs must also meet the specific requirements for each Design Standard used.

- 1. Indicate below, which Design Standards will be used for the project, and
- 2. Complete a separate, corresponding Design Standards checklist for each CM (e.g., WQCV, etc.)

Design Standard	# CMs	Location/Identifying information
WQCV		
Pollutant Removal		
Runoff Reduction		

CHECKLIST Constrained WQCV Standard

APPLICABILITY

Project Name

Constrained Redevelopment Sites are sites where the existing condition is >35% imperviousness and the proposed redevelopment will result in >75% imperviousness. If the proposed redevelopment will result in >75% imperviousness, but the existing condition is <35% imperviousness, the Constrained Site Standard cannot be used and Base Design Standards must be followed. **The Constrained Site Standard can only be used if it is determined that it is not practicable to meet any of the Base Design Standards.** It is incumbent on the design engineer to demonstrate adherence to Base Design Standards has been thoroughly evaluated and found to be infeasible before a Constrained Site Standard is proposed.

The minimum treatment levels are included below and treatment should be maximized to the extent feasible under constrained site conditions.

CONSTRAINED WQCV STANDARD Criteria

Control measure(s) must be designed to provide, at a minimum, treatment and/or infiltration of the WQCV for 50% of the site.

i i oject i tai		
Preparer	Requirements	
	Control measure(s) provide treatment and	/or infiltration of the WQCV for 50% of the site
	% of site treated:	
	CM type:	CM ID/location:
	See Drainage Report section:	
	Provide an evaluation of the infeasibility of	f Base Design Standards and justification for use of
	Constrained Site Standard:	

Complete checklist if using the Constrained WQCV Standard to meet Design Standard requirements.

CHECKLIST Constrained Pollutant Removal Standard

APPLICABILITY

Constrained Redevelopment Sites are sites where the existing condition is >35% imperviousness and the proposed redevelopment will result in >75% imperviousness. If the proposed redevelopment will result in >75% imperviousness, but the existing condition is <35% imperviousness, the Constrained Site Standard cannot be used and Base Design Standards must be followed. **The Constrained Site Standard can only be used if it is determined that it is not practicable to meet any of the Base Design Standards.** It is incumbent on the design engineer to demonstrate adherence to Base Design Standards has been thoroughly evaluated and found to be infeasible before a Constrained Site Standard is proposed.

The minimum treatment levels are included below and treatment should be maximized to the extent feasible under constrained site conditions.

CONSTRAINED POLLUTANT REMOVAL STANDARD Criteria

Control measure(s) must be designed to provide treatment of the 80th percentile storm event. The control measure(s) shall be designed to treat stormwater runoff in a manner expected to reduce the event mean concentration of total suspended solids (TSS), at a minimum, to a median value of 30mg/L or less for 50% of the site. Substantiating data must meet criteria in USDCM vol.3and be included in the submittal.

Preparer	Requirements			
	Control measure(s) provide treatment of the 80th percentile storm event. The control measure(s) shall be designed to treat stormwater runoff in a manner expected to reduce the event mean concentration of total suspended solids (TSS) to a median value of 30mg/L or less for 50% of the site.			
	CM type:		CM ID/location:	
	Storm event:			
	TSS mg/L reduction:			
	% of site treated:			
	See Drainage Report section:			
	Provide an evaluation of the i Constrained Site Standard:	infeasibility of	Base Design Standards and justification for use of	

Complete checklist if using the Constrained Pollutant Removal Standard to meet Design Standard requirements. Project Name:

CHECKLIST Constrained Runoff Reduction Standard

APPLICABILITY

Constrained Redevelopment Sites are sites where the existing condition is >35% imperviousness and the proposed redevelopment will result in >75% imperviousness. If the proposed redevelopment will result in >75% imperviousness, but the existing condition is <35% imperviousness, the Constrained Site Standard cannot be used and Base Design Standards must be followed. **The Constrained Site Standard can only be used if it is determined that it is not practicable to meet any of the Base Design Standards.** It is incumbent on the design engineer to demonstrate adherence to Base Design Standards has been thoroughly evaluated and found to be infeasible before a Constrained Site Standard is proposed.

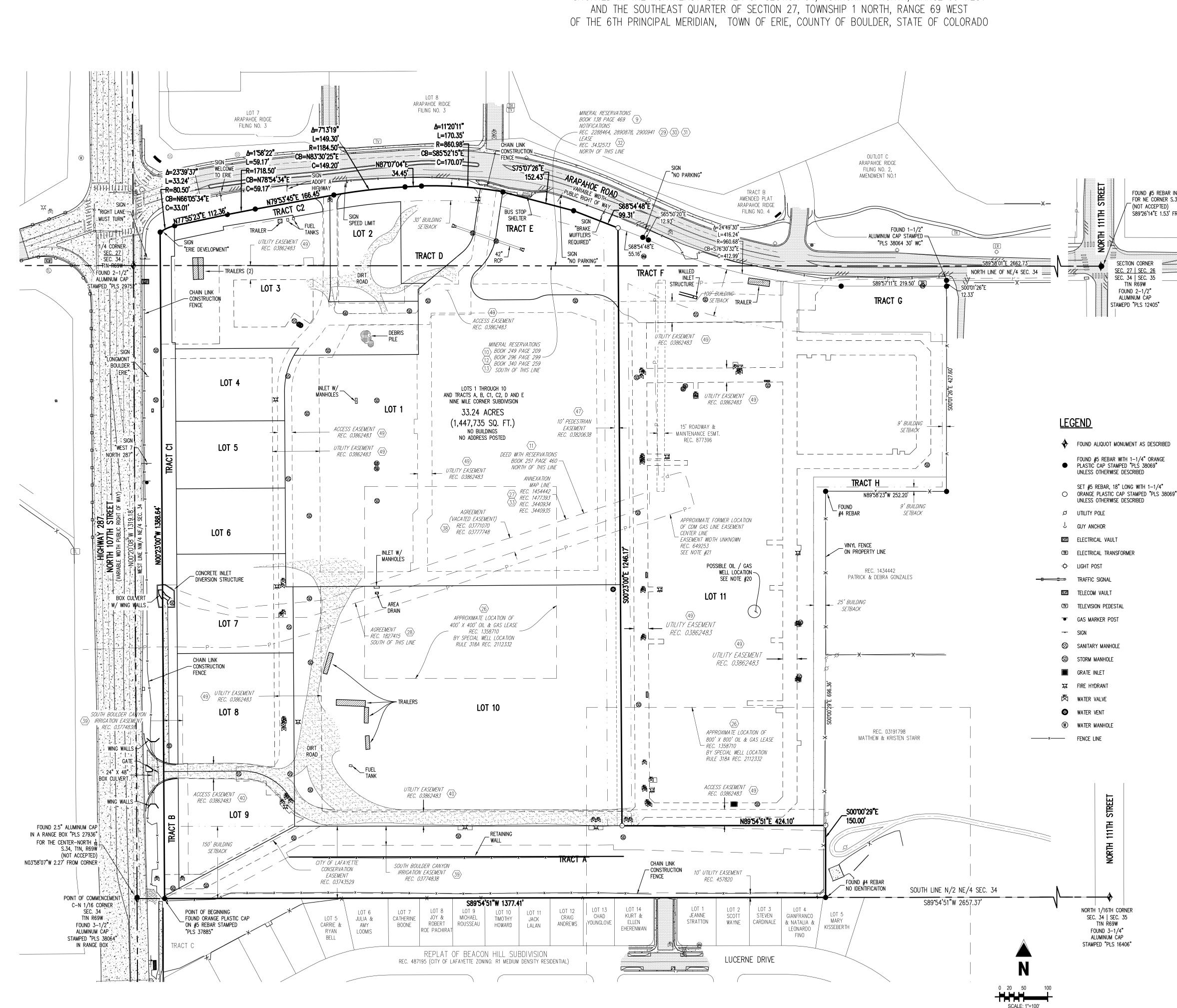
The minimum treatment levels are included below and treatment should be maximized to the extent feasible under constrained site conditions.

CONSTRAINED RUNOFF REDUCTION STANDARD Criteria

Control measure(s) must be designed to infiltrate, evaporate or evapotranspire, at a minimum, a quantity of water equal to 30% of what the calculated WQCV would be if all impervious area discharged without infiltration. This Standard can be met through practices such as Green Infrastructure and Low Impact Development practices.

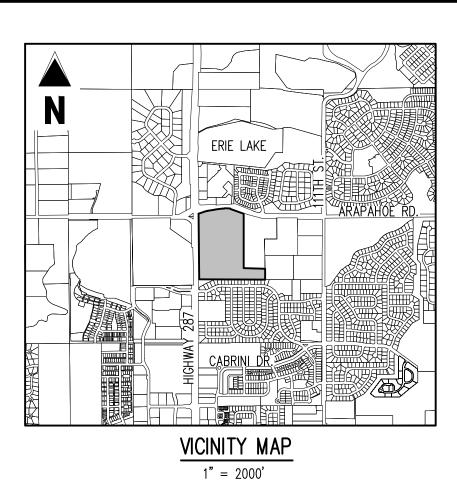
Project Na	me:	
Preparer	Requirements	
	Control measure infiltrates, evaporates or	evapotranspires at least 30% of WQCV
	% treated through runoff reduction:	
	CM type:	CM ID/location:
	See Drainage Report section:	L
	Provide an evaluation of the infeasibility o Constrained Site Standard:	f Base Design Standards and justification for use of

Complete checklist if using the Constrained Runoff Reduction Standard to meet Design Standard requirements.



ALTA/NSPS LAND TITLE SURVEY

LOTS 1 THROUGH 10 AND TRACTS A, B, C1, C2, D AND E; NINE MILE CORNER AMENDMENT NO. SITUATED IN THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST



PROPERTY DESCRIPTION

LOTS 2, 3, 4, 5, 6, 8 AND 9, NINE MILE CORNER AMENDMENT NO. 1, THE PLAT OF WHICH WAS RECORDED FEBRUARY 25, 2021 UNDER RECEPTION NO. 03862483, COUNTY OF BOULDER, STATE OF COLORADO. PARCEL B:

THOSE BENEFICIAL EASEMENTS SET FORTH AND CREATED IN INSTRUMENT ENTITLED EASEMENTS COVENANTS, CONDITIONS AND RESTRICTIONS BY AND BETWEEN LOWE'S HOME CENTERS, LLC AND EVERGREEN-287 & ARAPHOE, L.L.C., RECORDED OCTOBER 1, 2020 AT RECEPTION NO. 03820570, IN THE RECORDS OF THE COUNTY OF BOULDER. STATE OF COLORADO

GENERAL NOTES

PARCEL A

-///

FOUND #5 REBAR IN A RANGE BOX

FOR NE["]CORNER S.34, T1N, R69W

\$89'26'14"E 1.53' FROM CORNER

(NOT ACCEPTED)

- ACCESS TO THE PROPERTY IS OBTAINED DIRECTLY VIA ARAPAHOE ROAD AND NORTH 107TH STREET.
- 2) FIELD WORK WAS COMPLETED ON: MARCH 12, 2021.
- BASIS OF BEARING: BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 34 AND MONUMENTED ON THE WEST BY A 2.5" ALUMINUM CAP STAMPED "PLS29752" IN A RANGE BOX FOR THE N 1/4 CORNER AND MONUMENTED ON THE EAST BY A 2.5" ALUMINUM CAP STAMPED "PLS12405" FOR THE NE CORNER AND IS ASSUMED TO BEAR S 89'58'01" E.
- UTILITY NOTE: THE LOCATION OF UTILITIES SHOWN HEREON WAS ESTABLISHED FROM SURFACE EVIDENCE. EXISTING UTILITY MARKERS AND UTILITY LOCATES FROM A UTILITY CONTRACTOR. THE EXACT LOCATION OF BURIED UTILITIES IS UNCERTAIN. PRIOR TO ANY EXCAVATION THE CONTRACTOR SHOULD CONTACT THE UTILITY NOTIFICATION CENTER. THE SURVEYOR MAKES NO GUARANTEE EITHER EXPRESSED OR IMPLIED THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION DEPICTED ALTHOUGH THE UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS MAP OR PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED IN THE SURVEYOR'S STATEMENT HEREON. SAID STATEMENT DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT AN EXPRESS RE-STATEMENT BY THE SURVEYOR.
- 6) PER THE FEMA FLOOD INSURANCE RATE MAPS (FIRM), MAP NO. 08013C0438J, HAVING AN MAP REVISED DATE OF DECEMBER 18. 2015. INDICATES THE SUBJECT PROPERTY TO BE DESIGNATED AS ZONE X OUTSIDE 0.2% CHANCE OF FLOOD. THIS SURVEY MAKES THIS STATEMENT BY GRAPHIC PLOTTING ONLY. THE SURVEYOR RECOMMENDS A FLOOD STUDY IF MORE INFORMATION IS REQUIRED.
- ALL LINEAL MEASUREMENTS SHOWN ARE GROUND DISTANCES AND U.S. SURVEY FEET.
- FASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED ON THIS SURVEY WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESTRICTIONS, EXCLUSIONS, CONDITIONS, OBLIGATIONS. TERMS OR AS THE RIGHT TO GRANT THE SAME.
- 9) CAUTION: THE SURVEYOR PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. ALL CHANGES TO THIS EXHIBIT MUST BE APPROVED IN WRITING BY THE SURVEYOR IN CHARGE.
- 10) NO BUILDINGS WERE OBSERVED ON THE SURVEYED PROPERTY.
- 11) THERE WAS OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK AT THE TIME OF SURVEY. PRINCE LAKE NO.1 HAS HAD RECENT FILL DIRT BROUGHT IN AND THE BOTTOM OF THE LAKE RAISED BY THE TOWN OF ERIE PUBLIC WORKS DEPARTMENT.
- 12) RIGHT OF WAY LINES ON ARAPAHOE ROAD WERE CHANGED WITH THE NINE MILE CORNER PLAT. NO ADDITIONAL PROPOSED CHANGES IN RIGHT OF WAY LINES WERE PROVIDED OR OBSERVED.
- 13) THERE WAS NO OBSERVABLE EVIDENCE OF THE SITE USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT THE TIME OF SURVEY.
- 14) NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCE MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON. C.R.S. 13-80-105(3)(A).
- 15) ALL FENCES SHOWN ARE BARBED WIRE FENCES EXCEPT AS NOTED.
- 16) NO ADDRESSES WERE POSTED ON THE SURVEYED LAND.
- 17) THE TOTAL AREA OF THE SURVEYED LAND IS 33.24 ACRES (1,447,735 SQUARE FEET).
- 18) NO MARKED PARKING SPACES WERE OBSERVED ON THE SURVEYED LAND.
- 19) NO DELINEATION OF WETLANDS WAS OBSERVED. EXISTING WATERWAYS SHOWN HEREON.
- 20) CLIENT PROVIDED A LOCATION OF A POTENTIAL OIL/GAS WELL ON PROPERTY. THIS WAS NOT OBSERVED AT THE TIME OF SURVEY AND MAY BE SUBTERRANÉAN. THE LOCATION PROVIDED IS OUTSIDE OF THE OIL/GAS LEASE AREAS AS PROVIDED IN TITLE.
- 21) THE CDM GAS LINE SHOWN HEREON HAS BEEN REMOVED, HOWEVER, ACCORDING TO PIPELINE RIGHT OF WAY GRANT RECORDED AT RECEPTION NUMBER 634026, THE RIGHT OF WAY WILL REMAIN UNTIL GRANTEE EXECUTES A PROPER RELEASE OF SAID RIGHT OF WAY.
- 22) RECENT RIGHT OF WAY CHANGES WERE MADE ALONG ARAPAHOE ROAD. NO FURTHER PROPOSED CHANGES HAVE BEEN DISCOVERED.

ZONING

THE LAND IS CURRNTLY ZONED PD (PLANNED DEVELOPMENT).

ACCORDING TO PD-DEVELOPMENT PLAN RECORDED SEPTEMBER 26, 2017 UNDER RECEPTION NO. 03616633, PERMITTED USES INCLUDE THOSE USES PERMITTED UNDER THE REGIONAL COMMERCIAL DESIGNATION/ 3-1 "TABLE OF PERMITTED USES" IN SECTION 10.3.1 OF THE TOWN OF ERIE UDC AS AMENDED. OTHER USES MAY BE ALLOWED AT THE DISCRETION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT. SETBACKS ARE MAPPED IN NINE-MILE CORNER PD-DP AMENDMENT NO. 1 RECORDED MAY 4, 2020 UNDER RECEPTION NO. 03781994.

SURVEYOR'S CERTIFICATE:

TO: EVERGREEN-287 & ARAPAHOE, L.L.C.; WELLS FARGO BANK, NATIONAL ASSOCIATION, ITS SUCCESSORS AND ASSIGNS; LAND TITLE GUARANTEE COMPANY; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 11, 13, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 12. 2021.

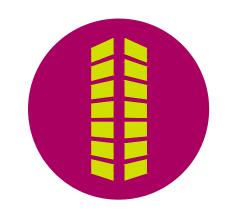
DATE OF PLAT OR MAP: MARCH 23, 2021

BRIAN J. DENNIS

COLORADO PROFESSIONAL LAND SURVEYOR NO. 38069 PROJECT NO.: EDI000018.11 FOR AND ON BEHALF OF GALLOWAY & COMPANY, INC.



COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



NO. WEST MEN 69 WES NGE 069 AME IGE AME NER, RAN, STA CORN NOR STH, 34, D C1, C2, D ANI C1, C2, D ANI C SECTION 27, N OF ERIE, CC DF DF M XTS A, QUAR⁻ ARTER AN 1 JGH 10 AND TRACT I THE NORTHEAST (E SOUTHEAST QUAF PRINCIPAL MERIDIA 1 THROUG UATED IN 1 AND THE THE 6TH P UTS SITL

#	Date	Issue / Description	lnit.
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EDI000018.11
EMV
BJD
03/23/21

SHEET 1 OF 2

TITLE COMMITMENT/REPORT INFORMATION

THIS MAP DOES NOT REPRESENT A TITLE SEARCH BY GALLOWAY & COMPANY, INC. TO DETERMINE OWNERSHIP OF THIS TRACT, VERIFY THE DESCRIPTION SHOWN, VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS OR VERIFY EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHT OF WAY OR TITLE THEREOF, GALLOWAY & COMPANY INC. RELIED UPON THE INFORMATION OR TITLE COMMITMENT/REPORT PROVIDED AT THE TIME OF SURVEY BY THE CLIENT.

NO TITLE REPORT WAS PROVIDED AS OF THE DATE OF THE CURRENT REVISION.

TITLE COMMITMENT PROVIDED BY CLIENT AND PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. ABZ70702795-8, WITH A COMMITMENT DATE OF 03/02/2021 AT 5:00 PM.

- 1 ANY FACTS, RIGHTS, INTERESTS, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR THAT MAY BE ASSERTED BY PERSONS IN POSSESSION OF THE LAND. [AS SHOWN OR NOTED.]
- 2 EASEMENTS, LIENS OR ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS. [AS SHOWN OR NOTED.]
- 3 ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND NOT SHOWN BY THE PUBLIC RECORDS. [VIOLATIONS AND VARIATIONS ARE NOT SURVEY RELATED. ENCROACHMENTS, ENCUMBRANCES, OR ADVERSE

CIRCUMSTANCES ARE AS SHOWN. NO NON-PUBLIC RECORDS WERE PROVIDED OR DISCOVERED FOR REVIEW.]

- 4 ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS. [NOT A SURVEY RELATED ITEM.]
- 5 DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF BUT PRIOR TO THE DATE OF THE PROPOSED INSURED ACQUIRES OF RECORD FOR VALUE THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT. [DEFECTS AND LIENS ARE NOT SURVEY RELATED AND THEREFORE NOT ADDRESSED. ENCUMBRANCES AND ADVERSE CLAIMS ARE AS SHOWN. "OTHER MATTERS" IS UNDEFINED AND NOT ADDRESSED.]
- 6 (A) TAXES OR ASSESSMENTS THAT ARE NOT SHOWN AS EXISTING LIENS BY THE RECORDS OF ANY TAXING AUTHORITY THAT LEVIES TAXES OR ASSESSMENTS ON REAL PROPERTY OR BY THE PUBLIC RECORDS: (B) PROCEEDINGS BY A PUBLIC AGENCY THAT MAY RESULT IN TAXES OR ASSESSMENTS, OR NOTICES OF SUCH PROCEEDINGS, WHETHER OR NOT SHOWN BY THE RECORDS OF SUCH AGENCY OR BY THE PUBLIC RECORDS. [NOT A SURVEY RELATED ITEM.]
- 7 (A) UNPATENTED MINING CLAIMS; (B) RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF; (C) WATER RIGHTS, CLAIMS OR TITLE TO WATER. [APPARENT SURFACE OBSERVATIONS ARE AS SHOWN. DOCUMENTS PROVIDED ARE ADDRESSED HEREON.]
- 8 EXISTING LEASES AND TENANCIES, IF ANY. [NOT A SURVEY RELATED ITEM.]
- (9) RESERVATIONS IN THE DEED RECORDED JUNE 11, 1891 IN BOOK 138 AT PAGE 469. [PARCEL IS SUBJECT TO AND IS PLOTTED HEREON.]
- (10) RESERVATIONS IN THE DEED RECORDED OCTOBER 18, 1901 IN BOOK 249 AT PAGE 209. [PARCEL IS SUBJECT TO AND IS PLOTTED HEREON.]
- (11) RESERVATIONS IN THE DEED RECORDED JANUARY 21, 1904 IN BOOK 251 AT PAGE 460. [PARCEL IS SUBJECT TO AND IS PLOTTED HEREON.]
- (12) AN UNDIVIDED ONE-HALF INTEREST IN THE COAL AND OTHER MINERALS LYING UNDERNEATH THE SURFACE OF THE LAND AS CONVEYED TO GEORGE MURRAY, EDWARD E. HOLMES AND ALFRED N. GOSSETT BY THE DEED RECORDED FEBRUARY 27, 1907 IN BOOK 296 AT PAGE 299. [PARCEL IS SUBJECT TO AND IS PLOTTED HEREON.]
- $\langle \overline{13} \rangle$ reservations in the deed recorded january 15, 1910 in book 340 at page 259. [PARCEL IS SUBJECT TO AND IS PLOTTED HEREON.]
- 14 AN UNDIVIDED 21/2% INTEREST IN AND TO ALL THE OIL AND GAS IN AND UNDER AND THAT MAY BE PRODUCED FROM THE LAND, AS CONVEYED TO ROY R. CARPENTER BY THE DEED RECORDED JULY 22, 1924 IN BOOK 511 AT PAGE 168, AND ANY AND ALL ASSIGNMENTS THEREOF OR INTERESTS THEREIN. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- 15 [ITEM INTENTIONALLY DELETED.]
- 16 OIL AND GAS LEASE RECORDED MAY 06, 1985 UNDER RECEPTION NO. 686626. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- 17 OIL AND GAS LEASE RECORDED AUGUST 06, 1985 UNDER RECEPTION NO. 703693. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- 18 OIL AND GAS LEASE RECORDED AUGUST 06, 1985 UNDER RECEPTION NO. 703694. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- 19 OIL AND GAS LEASE RECORDED OCTOBER 08, 1985 UNDER RECEPTION NO. 717948. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- 20 OIL AND GAS LEASE RECORDED JULY 09, 1986 UNDER RECEPTION NO. 772253. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- 21 MINERAL DEED RECORDED MARCH 5, 1992 UNDER RECEPTION NO. 1165768. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- 22 OIL AND GAS LEASE RECORDED MARCH 17, 1992 UNDER RECEPTION NO. 1168168. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- 23 OIL AND GAS LEASE RECORDED MARCH 24, 1992 UNDER RECEPTION NO. 1169721. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- 24 OIL AND GAS LEASE RECORDED MARCH 24, 1992 UNDER RECEPTION NO. 1169722. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- 25 OIL AND GAS LEASE RECORDED MARCH 30, 1992 UNDER RECEPTION NO. 1171195. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- 26 OIL AND GAS LEASE RECORDED NOVEMBER 08, 1993 UNDER RECEPTION NO. 1358710. [PARCEL IS SUBJECT TO, APPROXIMATE LOCATION SHOWN HEREON.]
- (27) RESOLUTION #94-25, PERTAINING TO ANNEXATION, RECORDED NOVEMBER 9, 1994 UNDER RECEPTION NO. 1477392 AND MAP IN CONNECTION THEREWITH RECORDED NOVEMBER 9, 1994 UNDER RECEPTION NO. 1477393. [PARCEL IS SUBJECT TO AND IS PLOTTED HEREON.]
- (28) TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN NELSON AGREEMENT REGARDING USE OF PUBLIC STREET RECORDED JULY 24, 1998 UNDER RECEPTION NO. 1827415. [PARCEL IS SUBJECT TO AND IS PLOTTED HEREON.]
- (29) REQUEST FOR NOTIFICATION OF SURFACE DEVELOPMENT AS EVIDENCED BY INSTRUMENT RECORDED MAY 17, 2002 UNDER RECEPTION NO. 2288464. [PARCEL IS SUBJECT TO AND IS PLOTTED HEREON.]

- (30) REQUEST FOR NOTIFICATION OF SURFACE DEVELOPMENT AS EVIDENCED BY INSTRUMENT RECORDED OCTOBER 23, 2007 UNDER RECEPTION NO. 2890878. [PARCEL IS SUBJECT TO AND IS PLOTTED HEREON.]
- $\overline{\langle 31 \rangle}$ request for notification of surface development as evidenced by instrument recorded december 21, 2007 UNDER RECEPTION NO. 2900941. [PARCEL IS SUBJECT TO AND IS PLOTTED HEREON.]
- (32) OIL AND GAS LEASE RECORDED MARCH 11, 2015 UNDER RECEPTION NO. 3432573. [PARCEL IS SUBJECT TO AND IS PLOTTED HEREON.]
- (33) RESOLUTION #05–2015, PERTAINING TO ANNEXATION, RECORDED APRIL 21, 2015 UNDER RECEPTION NO. 3440934 AND MAP IN CONNECTION THEREWITH RECORDED APRIL 21, 2015 UNDER RECEPTION NO. 3440932. [PARCEL IS SUBJECT TO AND IS PLOTTED HEREON.]
- **34** [ITEM INTENTIONALLY DELETED.]
- 35 TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN APPROVED NINE MILE CORNER PD-DEVELOPMENT PLAN RECORDED SEPTEMBER 26, 2017 UNDER RECEPTION NO. 03616633, AND ORDINANCE NO. 16-2017 IN CONNECTION THEREWITH RECORDED SEPTEMBER 26, 2017 UNDER RECEPTION NO. 03616632, AND NINE MILE CORNER PD-DP AMENDMENT NO. 1 RECORDED MAY 4, 2020 UNDER RECEPTION NO. 03781994. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- **36** [ITEM INTENTIONALLY DELETED.]
- 37 ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE NINE MILE METROPOLITAN DISTRICT, AS EVIDENCED IN ORDER OF ORGANIZATION OF NINE MILE METROPOLITAN DISTRICT RECORDED FEBRUARY 4, 2020 UNDER RECEPTION NO. 03764280 AND IN SPECIAL DISTRICT PUBLIC DISCLOSURE DOCUMENT RECORDED FEBRUARY 04, 2020, UNDER RECEPTION NO. 03764281. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- $\langle 38 \rangle$ terms, conditions, provisions, burdens and obligations as set forth in ditch easement relocation AGREEMENT RECORDED MARCH 10, 2020 UNDER RECEPTION NO. 03771070 AND FIRST AMENDMENT THERETO RECORDED MARCH 10, 2020 UNDER RECEPTION NO. 03771071. [PARCEL IS SUBJECT TO AND IS PLOTTED HEREON.]
- 39 TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN EASEMENT DEED RECORDED MARCH 30, 2020 UNDER RECEPTION NO. 3774838. [PARCEL IS SUBJECT TO AND IS PLOTTED HEREON.]
- 40 [ITEM INTENTIONALLY DELETED.]
- 41 TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN RELINQUISHMENT AND QUIT CLAIM OF SURFACE RIGHTS RECORDED OCTOBER 1, 2020 UNDER RECEPTION NO. 03820447. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- 42 TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN DEVELOPMENT AGREEMENT (NINE MILE) RECORDED OCTOBER 01, 2020 UNDER RECEPTION NO. 03820448. [LOTS 1 THROUGH 9 (INCLUSIVE), LOT 11, AND TRACTS A, B, C1, C2, D, E, F, G, AND H ARE SUBJECT TO AND IS BLANKET IN NATURE]
- 43 TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN TEMPORARY CONSTRUCTION EASEMENT (LOT TO) RECORDED OCTOBER 01, 2020 UNDER RECEPTION NO. 03820449. [LOT 10 IS SUBJECT TO AND IS BLANKET IN NATURE.]
- 44 TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN TEMPORARY CONSTRUCTION EASEMENT (LOT 11 AND TRACTS G AND H) RECORDED OCTOBER 01, 2020 UNDER RECEPTION NO. 03820450. [LOT 11 AND TRACTS G AND H ARE SUBJECT TO AND IS BLANKET IN NATURE.]
- OCTOBER 1, 2020 UNDER RECEPTION NO. 03820451. [PARCEL IS <u>NOT</u> SUBJECT TO.]
- 46 RESTRICTIVE COVENANTS RECORDED OCTOBER 01, 2020, UNDER RECEPTION NO. 03820570. [LOTS 2 THROUGH 9, INCLUSIVE, ARE SUBJECT TO AND IS BLANKET IN NATURE.]
- (47) TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN USE RESTRICTION AND EASEMENT AGREEMENT RECORDED OCTOBER 01, 2020 UNDER RECEPTION NO. 03820638. [PARCEL IS SUBJECT TO AND IS PLOTTED HEREON.]
- 48 TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH AND GRANTED IN TEMPORARY CONSTRUCTION EASEMENT BY AND BETWEEN EVERGREEN-287 & ARAPAHOE, LLC AND NINE MILE METROPOLITAN DISTRICT, AND TEBO PARTNERSHIP LLLP, RECORDED JANUARY 06, 2021 UNDER RECEPTION NO. 03847964. [PARCEL IS <u>NOT</u> SUBJECT TO.]
- (49) EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE RECORDED PLAT OF NINE MILE CORNER AMENDMENT NO. 1 RECORDED FEBRUARY 25, 2021 UNDER RECEPTION NO. 03862483. [PARCEL IS SUBJECT TO AND IS PLOTTED HEREON.]
- 50 TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN SOUTH BOULDER CANON DITCH COMPANY CROSSING AGREEMENT RECORDED FEBRUARY 01, 2021 UNDER RECEPTION NO. 03854698. [PARCEL IS <u>NOT</u> SUBJECT TO.]

ALTA/NSPS LAND TITLE SURVEY

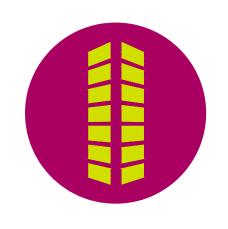
LOTS 1 THROUGH 10 AND TRACTS A, B, C1, C2, D AND E; NINE MILE CORNER AMENDMENT NO. SITUATED IN THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

45 BURDENS AND OBLIGATIONS AS SET FORTH IN TEMPORARY CONSTRUCTION EASEMENT (ARAPAHOE ROAD) RECORDED



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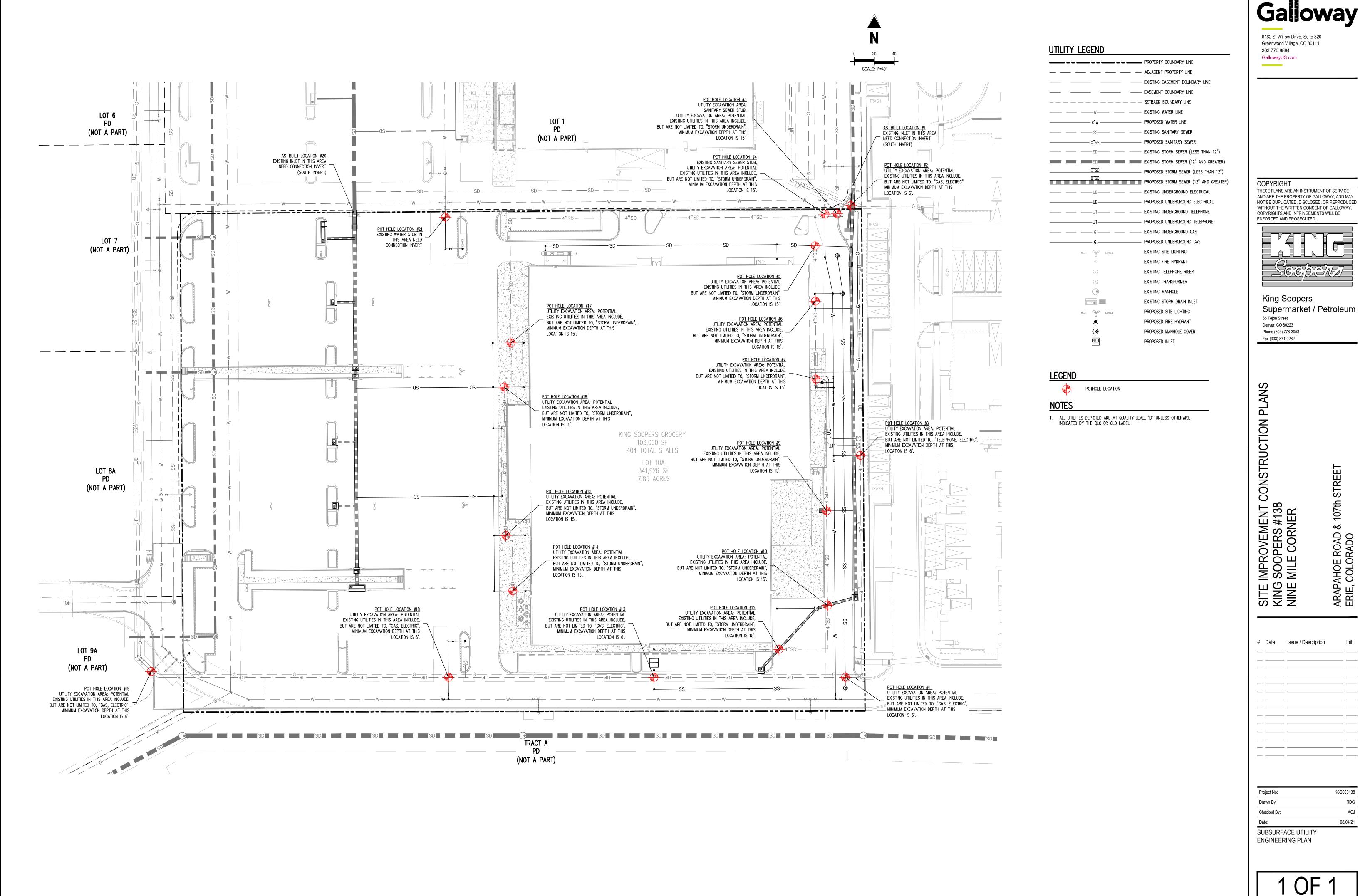
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n NO. WEST T MEN 69 02 <u>1</u>2 05 12 A R R F C2, D AN SECTION TION 27, SEC. DF HB, ER ⁻ RUGU

#	Date	Issue / Description	Init.
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Pro	oject No:	ED	0000018.11
	, 		

Project No:	EDI000018.11
Drawn By:	EMV
Checked By:	BJD
Date:	03/23/21





KING NINE MILE CORNER - LOT 10A

LIST OF CONTACTS

APPLICANT/DEVELOPER KING SOOPERS, INC. 65 TEJON STREET DENVER, COLORADO 80223 TEL: (303) 778-3183 ATTN: DAN HUBBELL

ENGINEER

GALLOWAY & COMPANY, INC 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, COLORADO 80111 TEL: (303) 770-8884

FAX: (303) 770–3636 ATTN: AARON JOHNSTON, P.E. EMAIL: AaronJohnston@gallowayus.com

SURVEYOR

GALLOWAY & COMPANY, INC 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, COLORÁDO 80920 TEL: (719) 900–7220 FAX: (303) 770–3636 ATTN: BRIAN DENNIS EMAIL: BrianDennis@gallowayus.com

UTILITY CONTACTS

WATER, SANITARY, & STORM SEWER TOWN OF ERIE 645 HOLBROOK ST. ERIE, CO 80516 TEL: (303) 926–2700 ATTN: TYLER BURHENN

MOUNTAIN VIEW FIRE PROTECTION DISTRICT 3561 STAGECOACH ROAD LONGMONT, CO 80504 TEL: (303) 772-0710 ATTN: LUANN PENFOLD

ELECTRICAL

1123 WEST 3RD AVE. DENVER, CO 80223 ATTN: DONNA GEORGE EMAIL: donna.l.george@xcelenergy.com

GAS

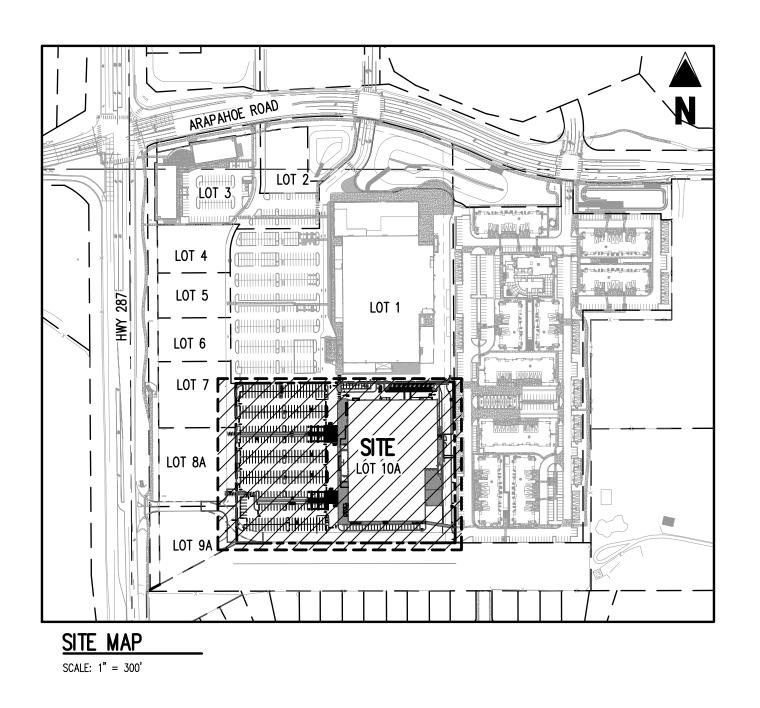
XCEL ENERGY 1123 WEST 3RD AVENUE DENVER, CO 80223 (303) 571–3306 ÀTTN: DONNA GEORGE EMAIL: Donna.L.George@xcelenergy.com

TELEPHONE

CENTURY LINK COMMUNICATIONS 3702 AUTOMATION WAY, SUITE 106 FORT COLLINS, COLORADO 80525 TEL: (720) 490–7508 ATTN: TERRY SPEER



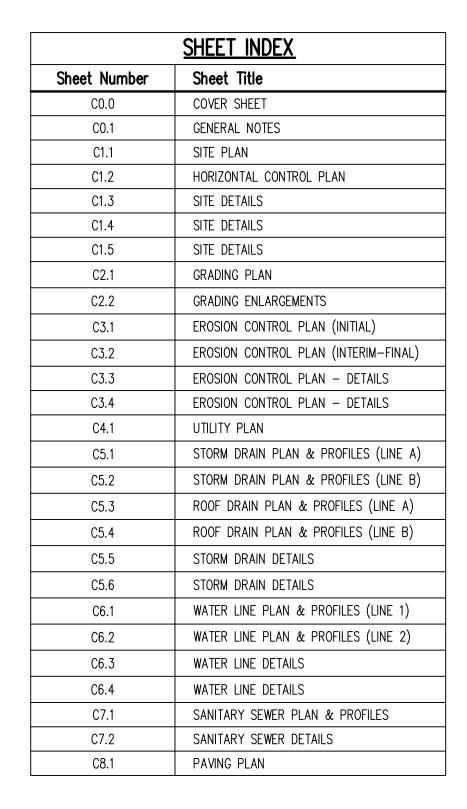
NOT TO SCALE



SOOPERS STORE #138

A PORTION OF THE NORTHEAST 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST AND THE SOUTHEAST 1/4 OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPLE MERIDIAN TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

SITE IMPROVEMENT CONSTRUCTION PLANS



TOWN OF ERIE GENERAL NOTES - CONSTRUCTION ALL WORK SHALL BE CONSTRUCTED IN CONFORMANCE WITH CURRENT TOWN OF ERIE STANDARDS AND SPECIFICATIONS. AS AMENDED. THIS DRAWING HAS BEEN REVIEWED AND FOUND TO BE IN GENERAL COMPLIANCE WITH THESE STANDARDS AND SPECIFICATIONS AND OTHER TOWN REQUIREMENTS. THIS ACCEPTANCE SHALL NOT BE CONSTRUCTED TO RELIEVE ANY REQUIREMENT TO THE STANDARDS AND SPECIFICATIONS NOT SPECIFICALLY ADDRESSED IN THESE PLANS. IN ADDITION, THE ENGINEERING DESIGN AND CONCEPT REMAINS THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE APPEAR HEREON.

DATE

ACCEPTED BY: TOWN ENGINEER

LEGAL DESCRIPTION

T 10A, NINE MILE CORNER, AMENDMENT No. 2, ACCORDING TO THE PROPOSED PLAT (MPA-001291-2021), TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO.

BENCHMARK

BENCHMARK "WANAKA". BEING A 3-1/4" BRASS CAP STAMPED "WANAKA". LOCATED ON THE EAST SIDE OF WANAKA LAKE, 41 FEET SOUTH-SOUTHEAST FROM THE CENTER OF THE LAKE OVERFLOW, 4.5 FEET SOUTH FROM A WITNESS POST AND 2.4 FEET EAST-SOUTHEAST FROM THE EASTERN EDGE OF A NORTH-SOUTH SIDEWALK. NAVD88 ELEVATION = 5323.00 (GPS OBS.) SHOT=5323.77 VIA LEICA SPIDERNET NETWORK

BASIS OF BEARING

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST BEARS NO0'20'15"W, MONUMENTED BY THE CENTER-NORTH SIXTEENTH CORNER OF SAID SECTION 34, BEING A 3-1/2 INCH ALUMINUM CAP STAMPED "PLS 38064" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 34, BEING A 2-1/2 INCH ALUMINUM CAP IN RANGE BOX, AS SHOWN HEREON.

SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS:

GEOTECHNICAL ENGINEER: KUMAR & ASSICIATES, INC. REPORT NO: 21-3-114.1 (DATED AUGUST 18, 2021)

HE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

IOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

<u>CAUTION – NOTICE TO CONTRACTOR</u>

. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES. PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

THE ENGINEER PRIOR TO CONSTRUCTION.



Fax (303) 871-9262

Phone (303) 778-3053

65 Tejon Street Denver, CO 80223

Galloway

6162 S. Willow Drive, Suite 320 Greenwood Village, CO 80111

303,770,8884

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King Soopers

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2 10/22/21 3RD CD SUBMITTAL ACJ	SITE IMPROVEMENT CONSTRUCTION PLANS KING SOOPERS #138	NINE MILE CORNER	ARAPAHOE ROAD & 107th STREET ERIE, COLORADO
		Issue / Description	Init.
	<u>1</u> <u>9/1/21</u>	2ND CD SUBMITTAL	ACJ ACJ
	<u>1</u> <u>9/1/21</u>	2ND CD SUBMITTAL	
	<u>1</u> <u>9/1/21</u>	2ND CD SUBMITTAL	
	<u>1</u> <u>9/1/21</u>	2ND CD SUBMITTAL	
Checked By: ACJ	1 9/1/21 2 10/22/21 - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - -	2ND CD SUBMITTAL	



Call before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO

TOWN OF ERIE GENERAL NOTES - CONSTRUCTION

- . ALL CONSTRUCTION SHALL CONFORM TO THE LATEST "STANDARDS AND SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS" BY THE TOWN OF ERIE. COPIES OF THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS MAY BE OBTAINED FROM THE TOWN OF ERIE WEB SITE. CONTRACTOR SHALL HAVE A SET ON SITE AT ALL TIMES.
- 2. THE OWNER SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF ERIE ENGINEERING STAFF PRIOR TO THE START OF CONSTRUCTION. THOSE IN ATTENDANCE SHALL INCLUDE THE OWNER, HIS ENGINEER, THE TOWN OF ERIE ENGINEERING STAFF, REPRESENTATIVES OF THE CONTRACTORS AND OTHER AFFECTED AGENCIES. PLANS SIGNED AND ACCEPTED BY THE TOWN OF ERIE WILL BE DISTRIBUTED AT THE PRE-CONSTRUCTION MEETING. CONTRACTOR SHALL HAVE (1) COPY OF THE SIGNED PLANS ON SITE AT ALL TIMES.
- 3. THE TOWN OF ERIE, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. THE OWNER AND DESIGN ENGINEER UNDERSTAND THAT THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT. REPORT ALL DISCREPANCIES TO THE DESIGN ENGINEER IMMEDIATELY.
- 4. PRIOR TO BEGINNING THE WORK, THE CONTRACTOR SHALL OBTAIN ANY/ALL WRITTEN AGREEMENTS FOR INGRESS AND EGRESS TO THE WORK SITE FROM ADJACENT PRIVATE PROPERTY OWNERS. A COPY OF ALL AGREEMENTS SHALL BE PROVIDED TO THE TOWN. ACCESS TO ANY ADJACENT PRIVATE PROPERTY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 5. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF ERIE ENGINEERING STAFF. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO TOWN STANDARDS AND SPECIFICATIONS. INSPECTIONS AND ONSITE VISITS ARE NOT TO BE CONSTRUED AS A GUARANTEE BY THE TOWN ENGINEERING STAFF OF THE CONTRACTORS" CONTRACTUAL COMMITMENT. REQUESTS FOR INSPECTION BY THE TOWN OF ERIE SHALL BE MADE BY THE CONTRACTOR A MINIMUM OF TWENTY-FOUR HOURS IN ADVANCE.
- 6. CONSTRUCTION WATER IS AVAILABLE TO THE CONTRACTOR AS ESTABLISHED IN THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE TOWN OF ERIE REGARDING CURRENT REGULATIONS, FEES AND REQUIRED AGREEMENTS RELATED TO THE PROVISION OF CONSTRUCTION WATER.
- 7. THE CONTRACTOR SHALL COORDINATE HIS ACTIVITIES WITH THE AFFECTED UTILITY COMPANIES AND SHALL NOTIFY THE UTILITY NOTIFICATION CENTER, PHONE NUMBER 811, THREE (3) BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION.
- 8. UTILITIES IN THE AREA OF CONSTRUCTION ARE APPROXIMATE ONLY. THEY HAVE BEEN LOCATED FROM FIELD INVESTIGATION AND THE BEST AVAILABLE UTILITY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD—LOCATED PRIOR TO CONSTRUCTION. IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE TOWN OF ERIE ENGINEERING STAFF AND Design Engineer Prior to Proceeding.
- 9. THE CONTRACTOR SHALL NOTIFY TOWN OF ERIE ENGINEERING STAFF OF ANY PROBLEM IMPACTING WATER AND WASTE WATER FACILITIES THAT WOULD POTENTIALLY REQUIRE A VARIANCE FROM THE APPROVED PLANS AND SPECIFICATIONS. ANY VARIANCE FROM THE APPROVED DOCUMENTS SHALL BE AT THE SOLE DISCRETION OF THE TOWN OF ERIE ENGINEERING STAFF.
- 10. CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE SPECIFICATIONS AND PERMITS NECESSARY TO PERFORM THE PROPOSED
- 11. AS-BUILT DRAWINGS AS REQUIRED IN THE SPECIFICATIONS, ARE TO BE SUBMITTED BY THE OWNER/DEVELOPER PRIOR TO INITIAL ACCEPTANCE OF THE CONSTRUCTION.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ANY EXISTING SIGNS, STRUCTURES, FENCES, ETC., ENCOUNTERED ON THE JOB AND RESTORING THEM TO THEIR ORIGINAL CONDITION.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR: A. NOTIFYING THE TOWN OF ERIE UTILITY CUSTOMERS OF POTENTIAL SERVICE OUTAGES, AND COORDINATE WITH THE TOWN OF ERIE FOR DETERMINATION OF MINIMUM TIME REQUIREMENT.
- B. NOTIFYING THE TOWN OF ERIE ENGINEERING STAFF IF WORK IS SUSPENDED FOR ANY PERIOD OF TIME AFTER INITIAL START-UP. THE CONTRACTOR SHALL NOTIFY THE TOWN OF ERIE FORTY-EIGHT (48) HOURS PRIOR TO RESTART.
- C. IN THE EVENT OF AN AFTER HOURS EMERGENCY, CALL 303-441-4444.
- D. NOTIFYING THE MOUNTAIN VIEW FIRE PROTECTION DISTRICT OF ALL STREET CLOSURES AND EXISTING FIRE HYDRANTS TAKEN OUT OF SERVICE A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- 14. PRIOR TO INSTALLATION OF UTILITY MAINS, ROAD CONSTRUCTION MUST HAVE COMPLETED THE OVER LOT GRADING STAGE.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER MUST BE MANAGED PER THE REQUIREMENTS IDENTIFIED BY THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE). GROUNDWATER SHALL BE PUMPED. PIPED. REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS OR EROSION OF ABUTTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. THE USE OF ANY SANITARY SEWER TO DISPOSE OF TRENCH WATER WILL NOT BE PERMITTED. NO CONCRETE SHALL BE PLACED WHERE GROUNDWATER IS VISIBLE OR UNTIL THE GROUNDWATER TABLE HAS BEEN LOWERED BELOW THE PROPOSED IMPROVEMENTS. ANY UNSTABLE AREAS, AS A RESULT OF GROUNDWATER, ENCOUNTERED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE STABILIZED AS AGREED UPON BY THE CONTRACTOR, THE TOWN OF ERIE, AND THE DESIGN ENGINEER AT THE TIME OF THE OCCURRENCE
- 16. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER TO RESOLVE CONSTRUCTION PROBLEMS WITH THE TOWN OF ERIE DUE TO CHANGED CONDITIONS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROPOSED WORK. IF, IN THE OPINION OF THE TOWN OF ERIE, PROPOSED ALTERATIONS TO THE SIGNED CONSTRUCTION PLANS INVOLVES SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK. OR TO THE FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS. THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR SUBMITTING REVISED PLANS TO THE TOWN OF ERIE FOR REVIEW, PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE WORK.
- 17. DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS. THE TOWN OF ERIE OR THE DESIGN ENGINEER EXERCISE NO CONTROLS OVER THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENTS, SCAFFOLDING, FORMS OR OTHER WORK AIDS USED IN OR ABOUT THE PROJECT, OR IN THE SUPERINTENDING OF THE SAME. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE DESIGN ENGINEER OR THE TOWN. THE TOWN OF ERIE ENGINEERING STAFF, OR ANY CONTRACTED ENGINEER, ARE NOT RESPONSIBLE FOR SAFETY IN, ON OR ABOUT THE PROJECT SITE, NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY OF ANY REGULATIONS RELATING THERETO.
- 18. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY SO AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
- 19. REGULAR WORK HOURS ARE SEVEN (7) A.M. UNTIL SEVEN (7) P.M. OR DUSK (WHICHEVER OCCURS FIRST) OF THE SAME DAY, MONDAY Through Friday. The contractor will not permit overtime work outside of regular working hours or the performance of WORK ON SATURDAY, SUNDAY OR ANY LEGAL HOLIDAY WITHOUT RECEIVING WRITTEN CONSENT FROM THE TOWN ENGINEER. REQUESTS FOR WEEKEND WORK APPROVAL MUST BE SUBMITTED, IN WRITING TO THE TOWN OF ERIE NO LATER THAN WEDNESDAYS AT 3:30 PM FOR SUBSEQUENT WEEKEND AND REQUESTS FOR HOLIDAY WORK APPROVAL MUST BE SUBMITTED. IN WRITING TO THE TOWN OF ERIE NO LATER THAN 7:00 AM - 2 BUSINESS DAYS PRIOR TO THE HOLIDAY. WHEN APPROVED, STANDARD WORK HOURS FOR WEEKENDS AND HOLIDAYS ARE EIGHT (8) A.M. UNTIL FOUR (4) P.M. OR AS STIPULATED BY THE TOWN ENGINEER. WORK HOURS FOR WORK IN ACTIVE ROW SHALL BE SUBJECT TO APPROVAL OF THE TOWN ENGINEER AND SHALL BE CONSIDERED ON A CASE BY CASE BASIS. ALL EXPENSES INCURRED BY THE TOWN SHALL BE REIMBURSED AT A RATE TO BE DETERMINED BY DIRECTOR OF FINANCE.
- 20. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPROPRIATE PERMITS FROM BOTH THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT AND THE TOWN OF ERIE FOR ANY PROJECT DISTURBING ONE ACRE OR MORE OR ANY PROJECT LESS THAN ONE ACRE THAT IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT.
- 21. EACH TYPE OF CONSTRUCTION SHALL BE COMPLETED BY A CONTRACTOR THAT HAS DEMONSTRATED ACCEPTABLE QUALIFICATIONS TO THE TOWN AND IS A LICENSED CONTRACTOR IN THE TOWN OF ERIE.
- 22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION. ALL TRAFFIC CONTROLS SHALL CONFORM TO THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) LATEST EDITIONS. A PLAN SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND ACCEPTANCE PRIOR TO CONSTRUCTION.
- 23. ALL BACKFILL SHALL CONFORM TO THE TRENCH DETAIL LOCATED IN THE TOWN OF ERIE STANDARDS & SPECIFICATIONS.
- 24. THE OWNER/OPERATOR IS RESPONSIBLE FOR ENSURING THE IMMEDIATE REMOVAL OF ANY CONSTRUCTION DEBRIS OR MUD TRACKED ONTO EXISTING ROADWAYS.
- 25. THE CONTRACTOR SHALL REPAIR ANY EXCAVATION OR PAVEMENT FAILURES CAUSED BY HIS CONSTRUCTION.
- 26. THE CONTRACTOR SHALL RENEW OR REPLACE ANY EXISTING TRAFFIC STRIPING AND/OR PAVEMENT MARKINGS, WHICH HAVE BEEN EITHER REMOVED OR THE EFFECTIVENESS OF WHICH HAS BEEN REDUCED DURING HIS OPERATION. RENEWAL OF PAVEMENT STRIPING AND MARKING SHALL BE DONE IN CONFORMANCE WITH THE TOWN OF ERIE STANDARD SPECIFICATIONS.
- 27. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO TAKE EVERY MEASURE NECESSARY TO COMPLY WITH ANY STATE, COUNTY OR TOWN DUST CONTROL ORDINANCE.
- 28. CONSTRUCTION VEHICLES SHALL USE TRUCK ROUTES DESIGNATED BY THE TOWN.
- 29. THE OWNER/DEVELOPER WILL BE HELD RESPONSIBLE FOR THE PROPER FUNCTIONING OF THE IMPROVEMENTS FOR A MINIMUM OF TWO (2) YEARS FROM THE DATE OF INITIAL ACCEPTANCE OF THE IMPROVEMENTS BY THE TOWN OF ERIE. ANY FAILURE DURING THIS PERIOD OF GUARANTEE SHALL BE REMEDIED BY THE OWNER/CONTRACTOR TO THE SATISFACTION OF THE TOWN OF ERIE AT NO EXPENSE TO THE TOWN.
- 30. THE SOILS ENGINEER SHALL PERFORM SUFFICIENT INSPECTIONS DURING GRADING AND CONSTRUCTION SO THAT AN OPINION CAN BE RENDERED AND VERIFIED IN WRITING AS TO COMPLIANCE WITH THE PLANS AND CODES WITHIN THE SOILS ENGINEER'S PURVIEW.
- 31. THE CONTRACTOR SHALL NOTIFY THE TOWN WITHIN 24 HOURS OF BECOMING AWARE OF A DISCHARGE OF ANY POLLUTANT INTO THE MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4). THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO THE MS4, RECEIVING WATERS, WATERWAYS, WETLANDS, OR OTHER PUBLIC OR PRIVATE PROPERTIES, RESULTING FROM WORK DONE AS PART OF THIS PROJECT.

TOWN OF ERIE GENERAL NOTES - GRADING ALL CONSTRUCTION ACTIVITIES THAT DISTURBS ONE OR MORE ACRES OF LAND, AS WELL AS ACTIVITIES THAT DISTURB LESS THAN ONE ACRE OF LAND, BUT IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT, MUST COMPLY WITH BOTH LOCAL AND STATE REGULATIONS REGARDING STORMWATER DRAINAGE ON CONSTRUCTION SITES. OWNERS OR CONTRACTORS MUST OBTAIN A COLORADO STORMWATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) AND A GRADING AND STORMWATER QUALITY PERMIT FROM THE TOWN OF ERIE. CONTRACTOR SHALL:

- E. BASED ON INSPECTIONS PERFORMED BY THE PERMIT HOLDER OR BY TOWN PERSONNEL, MODIFICATIONS TO THE SWMP WILL BE NECESSARY
- DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTROL.
- OCCUR AT THE END OF EVERY BUSINESS DAY WITH CONSTRUCTION ACTIVITY OCCURING.

2. ALL SITE GRADING (EXCAVATION, EMBANKMENT, AND COMPACTION) SHALL CONFORM TO THE RECOMMENDATIONS OF THE LATEST SOILS INVESTIGATION FOR THIS PROPERTY AND SHALL FURTHER BE IN CONFORMANCE WITH THE TOWN OF ERIE "STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS", LATEST EDITION.

ALL GRADING AND FILLING OPERATIONS SHALL BE OBSERVED, INSPECTED AND TESTED BY A LICENSED SOILS ENGINEER. ALL TEST RESULTS SHALL BE SUBMITTED TO THE TOWN OF ERIE ENGINEERING STAFF.

4. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR disturbance of vegetation shall be limited to the area required for immediate construction operation and for the shortest PRACTICAL PERIOD OF TIME. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID ANY DAMAGE TO EXISTING FOLIAGE THAT LIES IN THE PROJECT AREA UNLESS DESIGNATED FOR REMOVAL AND SHALL BE LIABLE FOR SUCH DAMAGE AT HIS/HER EXPENSE.

5. TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE RE-VEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSIVE ELEMENTS. IF MATERIALS ARE STORED OFFSITE, A WRITTEN USE AGREEMENT BETWEEN THE PERMITTEE AND THE OWNER/OPERATOR OF ANY CONTROL MEASURES BEING UTILIZED OUTSIDE OF THE PERMITTED AREA MUST BE MADE AVAILABLE TO TOWN PERSONNEL UPON REQUEST.

6. TEMPORARY VEGETATION/STABILIZATION SHALL BE INSTALLED ON ALL DISTURBED AREAS WHERE PERMANENT SURFACE IMPROVEMENTS ARE NOT SCHEDULED FOR IMMEDIATE INSTALLATION BUT NO LATER THAN FOURTEEN (14) DAYS. SEEDING WILL BE DONE ACROSS THE SLOPE FOLLOWING THE CONTOURS. VEGETATION SHALL CONFORM TO THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS. PROJECT SCHEDULING SHOULD TAKE ADVANTAGE OF SPRING OR FALL PLANTING SEASONS FOR NATURAL GERMINATION. SEEDED AREAS SHALL BE IRRIGATED IN ACCORDANCE WITH THE TOWN OF ERIE'S STANDARDS AND SPECIFICATIONS.

7. AT ALL TIMES, A WATER TRUCK SHALL BE ON-SITE AND THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN FUGITIVE DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE OWNER/DEVELOPER SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTY.

8. FILL SLOPES SHALL BE COMPACTED BY MEANS OF SHEEPSFOOT COMPACTOR OR OTHER SUITABLE EQUIPMENT. COMPACTING SHALL CONTINUE UNTIL SLOPES ARE STABLE AND THERE IS NOT AN APPRECIABLE AMOUNT OF LOOSE SOIL ON THE

11. OUTLET SIDES OF ALL STORM PIPES SHALL BE GRADED TO DRAIN AND SHALL HAVE SUFFICIENT EROSION PROTECTION. 12. THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE SITE GEOTECHNICAL ENGINEER WHEN THE GRADING OPERATION IS READY FOR EACH OF THE FOLLOWING INSPECTIONS:

- GRUBBING IS STARTED.

TOWN OF ERIE GENERAL NOTES - STORM DRAIN

2. TONGUE AND GROOVE JOINTS SHALL NOT BE ALLOWED.

WATERTIGHT PERFORMANCE CHARACTERISTICS.

- 4. BEDDING MATERIAL SHALL CONFORM TO TOWN OF ERIE STANDARDS AND SPECIFICATIONS.
- 5. ALL MANHOLES SHALL BE CONCRETE AND CONFORM TO CDOT STANDARD M-604-20.

THE MINIMUM MANHOLE DIAMETER	SHALL BE AS
<u>PIPE DIAMETER</u>	MANHOLE SIZ
15" TO 18"	4' DIAMETER
21" TO 42"	5' DIAMETER
48" TO 54"	6' DIAMETER
60" AND LARGER	BOX BASE M

- TOWN OF ERIE STANDARD DETAIL.
- 9. ALL END SECTIONS SHALL CONFORM TO CDOT STANDARD M-603-10.

A. MAINTAIN A COPY OF THE STORM WATER MANAGEMENT PLAN (SWMP) ONSITE AT ALL TIMES OR PROVIDE AN UPDATED DIGITAL COPY WITHIN TWO BUSINESS DAYS UPON REQUEST. THE SWMP MUST BE MAINTAINED AND MADE AVAILABLE TO TOWN OF ERIE INSPECTORS UPON

B. INSTALL AND MAINTAIN EROSION, SEDIMENT, AND MATERIALS MANAGEMENT CONTROL MEASURE AS SPECIFIED IN THE SWMP.

C. INSPECT ALL CONTROL MEASURES AT LEAST EVERY SEVEN (7) DAYS OR EVERY FOURTEEN (14) DAYS AND WITHIN TWENTY FOUR (24) HOURS AFTER ANY PRECIPITATION OR SNOWMELT EVENT THAT CAUSES SURFACE RUNOFF.

D. MAINTAIN INSPECTION AND MAINTENANCE RECORDS OF CONTROL MEASURES WITH THE SWMP. COPIES OF THESE REPORTS SHALL BE PROVIDED TO THE TOWN OF ERIE ENGINEERING STAFF.

IF AT ANY TIME THE SPECIFIED CONTROL MEASURES DO NOT MEET THE OBJECTIVES OF THE PERMIT. ALL MODIFICATIONS SHALL BE COMPLETED AS SOON AS PRACTICABLE AFTER THE REFERENCED INSPECTION, AND SHALL BE RECORDED ON THE OWNER'S COPY OF THE

F. THE OPERATOR SHALL AMEND THE SWMP WHENEVER THERE IS A SIGNIFICANT CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR DISCHARGE OF POLLUTANTS TO THE RECEIVING WATERS, OR IF THE SWMP PROVES TO BE INEFFECTIVE IN ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS IN STORM WATER

G. INSTALLATION AND MAINTENANCE OF CONTROL MEASURES SHALL BE SUPERVISED BY PERSONNEL CERTIFIED IN EROSION AND SEDIMENT

H. ALL APPROPRIATE CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF EACH CONSTRUCTION PHASE.

I. APPROPRIATE STABILIZED CONSTRUCTION ENTRANCES WITH VEHICLE TRACKING CONTROLS INSTALLED SHALL BE UTILIZED AT ALL TIMES TO REDUCE THE TRACKOUT OF SEDIMENT. IF NON-STRUCTURAL VEHICLE TRACKING CONTROLS ARE UTILIZED, CLEANUP OF TRACKOUT MUST

9. TEMPORARY CUT/FILL SLOPES SHALL ABIDE BY THE SOILS REPORT. PERMANENT SLOPES SHALL BE AS SHOWN ON PLANS.

0. DEPTH OF MOISTURE-DENSITY CONTROL SHALL BE FULL DEPTH ON ALL EMBANKMENT AND SIX (6) INCHES ON THE BASE OF CUTS AND

A. INITIAL INSPECTION WHEN THE PERMITTEE IS READY TO BEGIN WORK, BUT NOT LESS THAN TWO (2) DAYS BEFORE ANY GRADING OR

B. AFTER THE NATURAL GROUND OR BEDROCK IS EXPOSED AND PREPARED TO RECEIVE FILL, BUT BEFORE FILL IS PLACED.

C. EXCAVATION INSPECTION AFTER THE EXCAVATION IS STARTED BUT BEFORE THE VERTICAL DEPTH OF THE EXCAVATION EXCEEDS TEN (10)

D. FILL INSPECTION AFTER THE FILL PLACEMENT IS STARTED, BUT BEFORE THE FILL EXCEEDS TEN (10) FEET.

EXCEPT WHERE NOTED, ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE, CLASS III AND SHALL CONFORM TO REQUIREMENTS OF ASTM C76. ALL RCP SHALL HAVE RUBBER GASKETED JOINTS AND SHALL CONFORM TO REQUIREMENTS OF ASTM C443, AND SHALL PROVIDE

3. THE MINIMUM COVERAGE FOR ALL STORM DRAINAGE PIPES SHALL BE 1.5 FEET FOR CLASS III PIPE AND 1 FOOT FOR CLASS IV PIPE.

S SPECIFIED BELOW:

7. ALL STREET INLETS SHALL BE CURB OPENING TYPE R CONFORMING TO CDOT STANDARD M-604-12, EXCEPT WHERE OTHERWISE NOTED.

8. ALL INLET ACCESS COVERS SHALL HAVE THE WORDS "NO DUMPING-DRAINS TO RIVERS" AND "STORM SEWER" CAST INTO THE COVER PER

10. WHERE RIPRAP OR GROUTED BOULDERS ARE CALLED FOR ON THE PLANS FOR EROSION CONTROL, IT SHALL CONFORM TO THE URBAN STORM DRAINAGE CRITERIA MANUAL SPECIFICATIONS (LATEST REVISION).

TOWN OF ERIE GENERAL NOTES - ROADWAY 1. ALL STATIONING IS BASED ON CENTERLINE OF ROADWAYS UNLESS OTHERWISE NOTED.

2. THE CONTRACTOR SHALL PREPARE THE SUBGRADE BY SCARIFYING THE UPPER ONE (1) FOOT OF THE SUBGRADE IN CUT AREAS OR AREAS WITH LITTLE OR NO FILL, UNLESS SPECIFIED IN THE SOILS REPORT. THE WORK SHALL CONFORM TO THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

PAVEMENT SHALL NOT BE CONSTRUCTED UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN INSTALLED, TESTED AND ACCEPTED BY THE TOWN OF ERIE ENGINEERING STAFF.

4. It shall be the responsibility of the owner/contractor to supervise and certify that proper compaction has been OBTAINED BY SUBCONTRACTORS AND AGENCIES CONCERNING UTILITY LINE BACKFILL INCLUDING, BUT NOT LIMITED TO, SEWER, WATER, ELECTRICAL, GAS AND LANDSCAPE IRRIGATION LINES AND ACCEPTED BY THE TOWN OF ERIE ENGINEERING STAFF AND THE SOILS ENGINEER.

- STREET PAVING SHALL NOT START UNTIL: a. A SOILS REPORT AND PAVEMENT DESIGN IS ACCEPTED BY THE TOWN OF ERIE ENGINEERING STAFF
- b. ALL STREETS ARE COMPACTED IN ACCORDANCE WITH THE SOILS REPORT AND THE TOWN OF ERIE SPECIFICATIONS. c. ALL COMPACTION TEST REPORTS HAVE BEEN SUBMITTED TO THE TOWN ENGINEERING STAFF PRIOR TO PROOF ROLLS.
- d. PROOF ROLLS ARE PERFORMED USING A LOADED SINGLE AXLE 2000 GALLON WATER TRUCK AND MONITORED BY THE TOWN OF ERIE ENGINEERING STAFF
- 6. THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY MANHOLE COVERS AND ACCESS LIDS TO GRADE.
- ALL CONCRETE SHALL BE A MINIMUM OF CLASS B, IN CONFORMANCE WITH CDOT STANDARDS.
- 8. ALL CONCRETE EDGES MUST BE ROUNDED TO A FOURTH (1/4) INCH RADIUS, EXCEPT WHERE SHOWN OTHERWISE ON DRAWINGS.
- 9. ONE HALF (1/2) INCH EXPANSION JOINTS SHALL BE INSTALLED AT ALL CURB RETURNS, CURB CUTS AND EXISTING STRUCTURES. CONTROL

JOINTS SHALL BE INSTALLED PER THE TOWNS STANDARDS AND SPECIFICATIONS.

10. BEFORE PLACING OF ASPHALT THE SUBGRADE SHALL RECEIVE A GROUND STERILANT APPLIED AT A RATE IN ACCORDANCE TO MANUFACTURERS RECOMMENDATIONS.

11. THE GRADATION OF THE MINERAL AGGREGATE WILL BE GRADING SX (1/2" NOMINAL) FOR ALL TOP LIFTS AND OVERLAYS. 12. TACK COAT SHALL BE USED PRIOR TO OVERLAY, (CSS-1H), 50:50 DILUTION, 0.10 GAL/SY. ALL EDGES ABUTTING NEW PAVEMENT SHALL BE

13. WHEN IT IS REQUIRED TO MATCH EXISTING PAVEMENT, EXISTING PAVEMENT SHALL BE SAW CUT IN A MANNER TO AFFECT A SMOOTH,

VERTICAL STRAIGHT CUT EDGE. T PATCH MILLING MUST BE DONE PER STANDARD DETAILS.

14. ALL SAWCUT EDGES OF EXISTING PAVEMENT SHALL BE CLEAN AND COATED WITH TACK COAT PRIOR TO PLACING NEW PAVEMENT ADJACENT TO THE EXISTING PAVEMENT.

15. ALL ASPHALT SHALL BE ONE FOURTH (1/4) INCH ABOVE CONCRETE EDGES, MANHOLE COVERS AND ACCESS LIDS.

16. SIGNAGE AND STRIPING SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE COLORADO DEPARTMENT OF TRANSPORTATION M&S standards, and the town of erie standard design criteria and standard construction requirements.

17. THE PURCHASE AND INSTALLATION OF STREET NAME SIGNS SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR. THE OWNER/CONTRACTOR SHALL SECURE THE APPROVAL OF THE TOWN OF ERIE ENGINEERING STAFF FOR TYPE AND LOCATION OF THE STREET NAME SIGNS PRIOR TO INSTALLATION.

18. ALL NEW ROADWAY SECTIONS SHALL HAVE SUBGRADE PREPARATION AND INITIAL ASPHALT PAVEMENT PLACED WITH A 1% CROWN. FINAL OVERLAY IS TO BE PLACED WITH A 2% CROWN. SEE DETAIL ST7 IN THE "STANDARD DETAILS-STREET" FOR MORE INFORMATION.

19. DETERMINATION OF CROWN FOR CUL DE SAC PAVING SHALL BE EVALUATED ON A CASE BY CASE BASIS.

TOWN OF ERIE GENERAL NOTES - SEWER

LINE SLOPE; 4 INCHES=2%; 6 INCHES= 1%; 8 INCHES=0.4%.

THE CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING SEWERS TO BE CONNECTED TO PRIOR TO CONSTRUCTION STAKING. 2. CONNECTION TO EXISTING TOWN OF ERIE LINES WILL BE PERMITTED UPON INITIAL ACCEPTANCE OF THE NEW SANITARY SEWER SYSTEM.

existing pipe at the point of connection shall not be "broken out" until the new system is accepted. If connecting to an EXISTING MANHOLE, THE NEW LINE SHALL BE PLUGGED UNTIL THE NEW SYSTEM IS ACCEPTED.

MINIMUM VERTICAL SEPARATIONS BETWEEN ALL UTILITY PIPES SHALL BE EIGHTEEN (18) INCHES. IF VERTICAL SEPARATIONS ARE LESS THAN EIGHTEEN (18) INCHES, THE UTILITY PIPES SHALL BE REINFORCED AND PROTECTED AS REQUIRED BY CURRENT TOWN STANDARD SPECIFICATIONS.

4. WATER AND SANITARY SEWER LINES SHALL HAVE A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET. WHEN A TEN (10) FOOT SEPARATION IS NOT PROVIDED OR WHEN SEWER LINES CROSS WATER LINES WITH LESS THAN ONE AND ONE-HALF (1½) FEET OF VERTICAL SEPARATION, SEWER LINE JOINTS SHALL BE CONCRETE ENCASED. FOR PERPENDICULAR CROSSINGS, ENCASED JOINTS SHALL EXTEND TEN (10) FEET. PERPENDICULAR TO THE WATER LINE IN BOTH DIRECTIONS.

5. ALL SANITARY SEWER SERVICES AND WATER SERVICES ARE TO BE TEN (10) FEET APART.

5. SERVICE LATERALS SHALL EXTEND FIVE (5) FEET BEYOND RIGHTS OF WAY OR UTILITY EASEMENTS, WHICHEVER IS GREATER. THE ENDS SHALL BE MARKED BY A GREEN PAINTED WOOD POST UNTIL CURB AND GUTTER IS IN PLACE. WHEN CURB AND GUTTER IS IN PLACE THE LATERALS SHALL BE MARKED ON THE CONCRETE CURB FACE WITH AN "S" OR "X".

THE LENGTH OF SANITARY SEWER LINE IS THE HORIZONTAL DISTANCE BETWEEN CENTER OF MANHOLE TO CENTER OF MANHOLE. THEREFORE, THE DISTANCES INDICATED ON THE PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND MANHOLE DIMENSIONS.

8. SERVICE LINE CONNECTIONS TO DEAD END MANHOLES THAT HAVE NO FURTHER POSSIBILITY OF EXTENSION SHALL BE ALLOWED AND SHALL have a minimum drop of 0.75 X main diameter. Service line connectings to in-line manholes are not permitted. Minimum service

9. ALL FOUR (4) THROUGH FIFTEEN (15) INCH SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) AND SHALL BE IN ACCORDANCE WITH ASTM D-3034-SDR35. "STANDARD SPECIFICATION FOR PVC SEWER PIPE AND FITTINGS". ANY SANITARY SEWER HAVING A DEPTH IN EXCESS OF FIFTEEN (15) FEET SHALL BE COORDINATED WITH THE PUBLIC WORKS DEPARTMENT.

- 10. BEDDING MATERIAL SHALL CONFORM TO TOWN OF ERIE STANDARDS AND SPECIFICATIONS.
- 11. WARNING TAPE SHALL BE INSTALLED 12" MINIMUM AND 18" MAXIMUM ABOVE SEWER PIPE.

12. PRECAST CONCRETE MANHOLE SECTIONS SHALL BE IN ACCORDANCE WITH ASTM C-478. MANHOLE STEPS SHALL BE POLYPROPYLENE

COVERED STEEL CONFORMING TO ASTM. D-4101 AND ASTMA-615. CAST IRON RING AND COVER SHALL CONFORM TO ASTM A-48.

13. MANHOLES SHALL BE A MINIMUM FOUR (4) FOOT DIAMETER AND CONSTRUCTED PER THE STANDARDS AND SPECIFICATIONS.

14. THE CONTRACTOR SHALL TAKE CARE TO PROPERLY SHAPE ALL MANHOLE INVERTS AND BENCHES IN ACCORDANCE WITH THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS, TO PROMOTE SMOOTH FLOW THROUGH THE MANHOLE. INVERTS OF LINES INTERSECTING AT 90 DEGREES AND AT HIGHLY DIVERGENT OR FLAT SLOPES ARE ESPECIALLY CRITICAL. MANHOLE INVERTS SHALL BE CONSTRUCTED WITH A SMOOTH TROWEL FINISH, AND BENCH FINISHED WITH A LIGHT BROOMED. NON-SKID. FINISH.

15. SEWER TEES AND/OR WYES SHALL BE STAKED BY A SURVEY CREW. THE CONTRACTOR SHALL FURNISH TO THE ENGINEER "AS-CONSTRUCTED" LOCATION OF TEES AND WYES. ALL SERVICE LINES ARE FOUR (4) INCH UNLESS OTHERWISE NOTED.

- 16. THE CONTRACTOR, AT THE OWNER'S EXPENSE, WILL MAKE ALL SEWER SERVICE TAPS.
- 17. PRIOR TO BACKFILL THE TOWN OF ERIE ENGINEERING STAFF SHALL INSPECT ALL SANITARY SEWER MAINS AND SERVICE EXTENSIONS.
- 18. MANHOLE RIMS SHALL BE SET AT AN ELEVATION RELATIVE TO THE PAVEMENT, IN ACCORDANCE WITH THE TOWN OF ERIE STANDARDS.

WHETHER THE MANHOLE IS AT PAVED OR UNPAVED GRADE, A MINIMUM OF ONE (1) AND A MAXIMUM OF FOUR (4) CONCRETE RINGS SHALL BE USED TO ADJUST THE RIM ELEVATION TO FINAL GRADE. THE MAXIMUM ACCEPTABLE VERTICAL ADJUSTMENT UTILIZING CONCRETE RINGS IS EIGHTEEN (18) INCHES.

19. INITIAL ACCEPTANCE OF THE NEW SANITARY SEWER MAINS IS CONTINGENT UPON COMPLETION OF ITEMS LISTED IN THE TOWNS STANDARDS AND SPECIFICATIONS.

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TOWN OF ERIE GENERAL NOTES - WATER

VALVES ARE OPERATED.

AND VERIFYING LOCATION OF THE EXISTING LINES PRIOR TO ANY CONSTRUCTION. EXCEPT IN CASE OF AN EMERGENCY, VALVES ON THE TOWN OF ERIE WATER SYSTEM SHALL BE OPERATED BY OR UNDER THE DIRECTION OF THE APPROPRIATE TOWN OF ERIE PERSONNEL. THE CONTRACTOR SHALL GIVE THE TOWN OF ERIE ENGINEERING STAFF 48 HOURS NOTICE TO ARRANGE FOR OPERATING VALVES. BOTH THE CONTRACTOR AND THE APPROPRIATE TOWN OF ERIE PERSONNEL SHALL BE PRESENT WHEN THE

I. AT ALL POINTS OF CONNECTION OF NEW WATER MAINS TO EXISTING MAINS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATING

3. WATER AND SANITARY SEWER LINES SHALL HAVE A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET. WHEN A TEN (10) FOOT SEPARATION IS NOT PROVIDED OR WHEN SEWER LINES CROSS WATER LINES WITH LESS THAN ONE AND ONE-HALF (1½) FEET OF VERTICAL SEPARATION, SEWER LINE JOINTS SHALL BE CONCRETE ENCASED. FOR PERPENDICULAR CROSSINGS, ENCASED JOINTS SHALL EXTEND TEN (10) FEET, PERPENDICULAR TO THE WATER LINE IN BOTH DIRECTIONS.

4. ALL WATER LINES SHALL HAVE A MINIMUM OF FOUR AND ONE-HALF (4½) FEET OF COVER AND BE LOCATED A MINIMUM OF TEN (10) FEET FROM THE SANITARY SEWER AND THREE (3) FEET FROM THE EDGE OF CONCRETE CURB AND GUTTER PAN.

CHANGES IN DIRECTION OF WATERLINE PIPE GREATER THAN ONE DEGREE SHALL REQUIRE FITTINGS IN ALL INSTANCES. AXIAL DEFLECTION AT THE JOINTS SHALL NOT BE IN EXCESS OF MANUFACTURER'S RECOMMENDATION OR IN NO CASE MORE THAN ONE DEGREE.

6. WHEN IT IS NECESSARY TO DEPRESS WATER LINES AT UTILITY CROSSINGS, A MINIMUM CLEARANCE OF ONE AND ONE-HALF (1-1/2) FEET SHALL BE MAINTAINED BETWEEN OUTSIDES OF PIPE.

DISTANCES FOR WATER LINES ARE THE HORIZONTAL DISTANCE BETWEEN THE CENTERS OF THE FITTINGS. THEREFORE, DISTANCES SHOWN ON THE PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND FITTING DIMENSIONS.

8. ALL WATER LINE VALVES SHALL BE SET ADJACENT TO THE TEE, EXCEPT FOR POINTS THAT FALL IN THE FLOW LINE OF A CONCRETE CROSS PAN. IN WHICH CASE, THE VALVE SHALL BE LOCATED SO THAT SURFACE DRAINAGE DOES NOT INFILTRATE THE VALVE BOX. VALVE BOXES SHALL BE SET AT AN ELEVATION IN ACCORDANCE WITH TOWN PAVING REQUIREMENTS.

9. ALL WATER MAINS SHALL BE POLYVINYL CHLORIDE (PVC) PRESSURE PIPE UNLESS SPECIFIED OTHERWISE. NOMINAL PVC PIPE SIZES 6-INCH THROUGH 12-INCH SHALL CONFORM TO ALL REQUIREMENTS OF AWWA STANDARD C-900, PRESSURE CLASS 150 (DR18). NOMINAL PVC PIPE SIZES 16-INCH THROUGH 24-INCH SHALL CONFORM TO ALL REQUIREMENTS OF AWWA STANDARD C-905, PRESSURE CLASS 165 (DR25). ALL PVC PIPES SHALL HAVE OUTSIDE DIAMETERS EQUIVALENT TO CAST IRON PIPE.

10. FIRE HYDRANT ASSEMBLY INCLUDES THE FIRE HYDRANT, SIX (6) INCH VALVE, AND SIX (6) INCH PIPE. INSTALLATION SHALL BE IN ACCORDANCE WITH THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS.

11. ALL FITTINGS SHALL BE MADE FROM DUCTILE IRON, FURNISHED WITH MECHANICAL JOINT ENDS OR INTEGRAL RESTRAINED JOINTS, AND SHALL HAVE A PRESSURE RATING OF 350 PSI.

12. POLYETHYLENE WRAPPING SHALL BE INSTALLED AROUND ALL DUCTILE IRON PIPES, FITTINGS, VALVES, FIRE HYDRANT BARRELS AND ROD AND CLAMPS. THE POLYETHYLENE SHALL HAVE A MINIMUM THICKNESS OF EIGHT (8) MILS, IN ACCORDANCE WITH AWWA STANDARD C-105.

13. ALL WATER LINE PIPE SHALL BE PROVIDED WITH A MINIMUM GAGE SIZE OF 12 SINGLE STRAND INSULATED COPPER WIRE. SPLICES IN TRACER WIRE SHALL BE CAPPED IN WATER PROOF GEL CAP TYPE CONNECTORS SUITED FOR DIRECT BURY APPLICATION (3M TYPE DBY-6 LOW VOLTAGE OR EQUAL). WRE SHALL BE ATTACHED TO TOP OF WATER LINE WITH 2-INCH WIDE PVC TAPE @ 5-FT INTERVALS ALONG PIPE. TRACER wre shall extend to the surface and be coiled in a locate box at the backside of either each fire hydrant or valve. Under THE SUPERVISION OF TOWN OF ERIE ENGINEERING STAFF, TEST SHALL BE MADE BY THE CONTRACTOR © THE COMPLETION OF CONSTRUCTION TO INSURE THAT THE TRACER WIRES CARRY A CONTINUOUS CURRENT BETWEEN ALL ACCESS POINTS.

14. WARNING TAPE SHALL BE INSTALLED 12" MINIMUM AND 18" MAXIMUM ABOVE WATER PIPE.

15. BEDDING MATERIAL SHALL CONFORM TO TOWN OF ERIE STANDARDS AND SPECIFICATIONS.

16. VALVES SHALL OPEN COUNTER CLOCKWISE. VALVES 12-INCH AND SMALLER SHALL BE RESILIENT SEAT GATE VALVES. LARGER VALVES SHALL BE BUTTERFLY VALVES.

17. VALVE BOXES SHALL BE RAISED TO ONE-FOURTH (1/4) INCH BELOW GRADE AFTER COMPLETION OF SURFACE PAVING OR FINAL GRADING. VALVE BOXES IN NON-PAVED AREAS SHALL HAVE A CONCRETE COLLAR AROUND THE VALVE LID IN ACCORDANCE WITH THE DETAIL.

18. ALL SERVICE LINE TAPS SHALL HAVE DOUBLE STRAP BRASS TAPPING SADDLES. (ROMAC 202B OR APPROVED EQUAL).

19. ALL RESIDENTIAL WATER TAPS SHALL BE THREE-QUARTER (3/4) INCH OR AS REQUIRED BY THE CURRENT BUILDING CODE.

20. ALL WATER SERVICE LATERALS SHALL EXTEND FIVE (5) FEET BEYOND RIGHT OF WAY OR UTILITY EASEMENTS, WHICHEVER IS GREATER. THE ENDS SHALL BE MARKED BY A BLUE PAINTED WOOD POST UNTIL CURB AND GUTTER IS IN PLACE. WHEN CURB AND GUTTER IS IN PLACE THE LATERALS SHALL BE MARKED ON THE CONCRETE CURB FACE WITH A "V" OR "W".

21. CONCRETE THRUST BLOCKS AND/OR "MEGA-LUG" MECHANICAL RESTRAINTS ARE REQUIRED AT ALL MECHANICAL FITTINGS. THRUST BLOCKS MAY NOT BE REQUIRED IF PIPE RESTRAINT IS PROVIDED IN ACCORDANCE WITH RESTRAINED PIPE DETAIL.

22. NO WORK SHALL BE BACKFILLED (INCLUDING BEDDING MATERIAL ABOVE THE SPRING LINE OF THE PIPE) UNTIL THE CONSTRUCTION HAS BEEN INSPECTED AND APPROVED FOR BACKFILLING BY THE TOWN OF ERIE ENGINEERING STAFF.

23. ONLY ONE CONNECTION TO THE EXISTING WATER DISTRIBUTION SYSTEM SHALL BE MADE UNTIL ALL HYDROSTATIC TESTING, CHLORINATION AND FLUSHING HAS BEEN COMPLETED.

24. DISINFECTION AND HYDROSTATIC TESTING SHALL BE DONE IN THE PRESENCE OF A TOWN OF ERIE ENGINEERING STAFF. CONTACT THE TOWN OF ERIE DEPARTMENT OF PUBLIC WORKS, FORTY-EIGHT (48) HOURS PRIOR TO DISINFECTING AND/OR TESTING.

25. DISINFECTION AND FLUSHING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE COLORADO DEPARTMENT OF HEALTH AND THE PROCEDURE SET FORTH IN AWWA C651, "STANDARD FOR DISINFECTING WATER MAINS". THE CHLORINATION OF THE WATER LINE SHALL BE PERFORMED PRIOR TO THE HYDROSTATIC TESTING. ALL VALVES, FIRE HYDRANTS AND OTHER APPURTANCES SHALL BE OPERATED WHILE PIPELINE IS FILLED WITH THE CHLORINATING AGENT TO INSURE THAT HIGH CHLORINE CONTACT IS MADE WITH ALL INTERNAL SURFACES.

26. ALL WATER LINES SHALL BE HYDROSTATIC TESTED. PRESSURE AND LEAKAGE TESTS SHALL BE CONDUCTED ACCORDING TO THE APPLICABLE SECTIONS OF AWWA C600/605 TO A MINIMUM PRESSURE OF ONE HUNDRED AND FIFTY (150) POUNDS PER SQUARE (PSI) INCH AT THE LOW POINT OF THE SECTION BEING TESTED FOR THE DURATION OF TWO (2) HOURS. THE MAXIMUM LENGTH OF LINE TO BE TESTED SHALL BE ONE THOUSAND (1.000) FEET, ALL JOINTS IN CONNECTIONS ARE TO BE WATERTIGHT WITHIN TOLERANCES ALLOWED BY THE SPECIFICATIONS IN AWWA C600/605. ANY LEAKAGE THAT IS DISCOVERED BY OBSERVATION OR TESTS SHALL BE LOCATED AND MADE WATERTIGHT BY THE CONTRACTOR. PRESSURE AND LEAKAGE TESTS SHALL NOT BE CONDUCTED UNTIL THE LINE HAS PASSED ALL REQUIRED DISINFECTION TESTS.

27. INITIAL ACCEPTANCE OF THE NEW WATER LINES ARE CONTINGENT UPON RECEIVING COPIES OF:

PIPE. WATER TRENCH COMPACTION TEST RESULTS

PIPF. HYDRO STATIC TESTING OF 100% OF THE SYSTEM

PIPG. HEALTH DEPARTMENT TESTS. (CHLORINE AND/OR CLEAR WATER AS REQUIRED)

28. ALL METER PITS AND CURB STOPS SHALL BE PROTECTED AT THE TIME OF INSTALLATION WITH A MINIMUM OF THREE (3) T-POSTS AND ORANGE SAFETY FENCE. THE T-POST AND SAFETY FENCE SHALL REMAIN IN PLACE AND IN GOOD CONDITION UNTIL THE LANDSCAPING IS INSTALLED.

29. ALL WATER VAULTS SHALL BE WATER TIGHT. CONTRACTOR SHALL SEAL VAULTS TO ENSURE SURFACE WATER DOES NOT INFILTRATE INTO THE VAULTS. VAULT LIDS SHALL BE PLACED TO ENSURE THAT SURFACE WATER DOES NOT FLOW INTO THE VAULTS.

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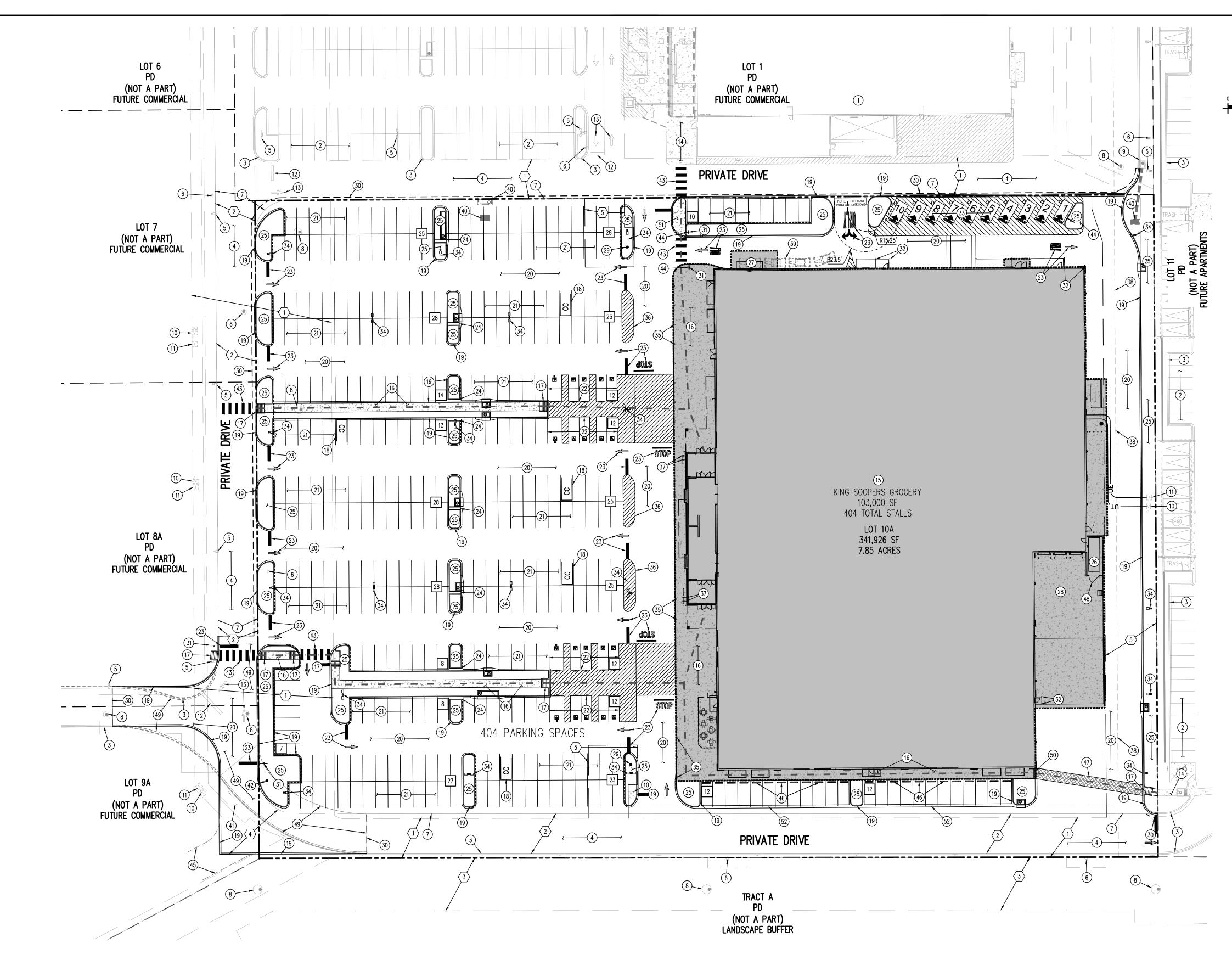
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SITE IMPROVEMENT CONSTRUCTION PLANS KING SOOPERS #138	NINE MILE CORNER	ARAPAHOE ROAD & 107th STREET	EKIE, CULUKADU
# Date 1 9/1/21 2 10/22/21	Issue / Description 2ND CD SUBMITTAL 3RD CD SUBMITTAL	 	nit. ACJ ACJ
	- <u> </u>		
		KSS000	0138
Drawn By:			0138 RDG
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BASIS OF BEARING

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST BEARS NO0'20'15"W, MONUMENTED BY THE CENTER-NORTH SIXTEENTH CORNER OF SAID SECTION 34, BEING A 3–1/2 INCH ALUMINUM CAP STAMPED "PLS 38064" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 34, BEING A 2-1/2 INCH ALUMINUM CAP IN RANGE BOX, AS SHOWN HEREON.

BENCHMARK

BENCHMARK "WANAKA", BEING A 3–1/4" BRASS CAP STAMPED "WANAKA", LOCATED ON THE EAST SIDE OF WANAKA LAKE, 41 FEET SOUTH–SOUTHEAST FROM THE CENTER OF THE LAKE OVERFLOW, 4.5 FEET SOUTH FROM A WITNESS POST AND 2.4 FEET EAST-SOUTHEAST FROM THE EASTERN EDGE OF A NORTH-SOUTH SIDEWALK. NAVD88 ELEVATION = 5323.00 (GPS OBS.)

EASEMENT SCHEDULE 1 EXISTING UTILITY EASEMENT (REC. 03862483)

(2) EXISTING ACCESS EASEMENT (REC. 03862483) $\langle 3 \rangle$ existing south boulder canyon irrigation easement (rec. 03774838) 4 PROPOSED ACCESS EASEMENT PER PLAT (5) PROPOSED UTILITY EASEMENT PER PLAT

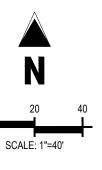
SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

ONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY ISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.



CI	TE LEGEND
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_	
	EXISTING EASEMENT BOUNDARY LINE
	EASEMENT BOUNDARY LINE
	— — — — — SETBACK BOUNDARY LINE
	EXISTING CURB AND GUTTER
_	PROPOSED CATCH CURB & GUTTER
	PROPOSED SPILL CURB & GUTTER
	=_ 👾 _== Existing site lighting
	C EXISTING FIRE HYDRANT
	EXISTING TELEPHONE RISER
	EXISTING TRANSFORMER
	EXISTING MANHOLE
	EXISTING STORM DRAIN INLET
	🛥 🌱 🚥 PROPOSED SITE LIGHTING
	BUILDING CONTRACTOR SCOPE LIMITS
14	ASPHALT PAVING
4	CONCRETE PAVING
	PROPOSED ADA ROUTE
	PROPOSED FIRE HYDRANT
	PROPOSED MANHOLE COVER PROPOSED INLET
SC	HEDULE
1	EXISTING LOWE'S HOME IMPROVEMENT STORE
2	EXISTING PARKING TO REMAIN
3	EXISTING CURB AND GUTTER TO REMAIN
4	EXISTING ASPHALT PAVING TO REMAIN
$\tilde{}$	EXISTING SITE LIGHT TO REMAIN
(6)	EXISTING FIRE HYDRANT TO REMAIN
(7)	EXISTING EDGE OF ASPHALT
(8) (9)	EXISTING MANHOLE TO BE REMOVED; REF. UTILITY PLAN EXISTING STORM DRAIN INLET TO REMAIN; REF. UTILITY PLAN
č	EXISTING STORM DRAIN INLET TO REMAIN, REP. UTILITY PLAN EXISTING TELEPHONE VAULT TO REMAIN
$\tilde{\sim}$	EXISTING ELECTRICAL TRANSFORMER TO REMAIN
	EXISTING STOP BAR TO REMAIN
č	EXISTING TRAFFIC DIRECTIONAL SYMBOL TO REMAIN
(14)	EXISTING SIDEWALK TO REMAIN
(15)	PROPOSED 103,000 SF GROCERY STORE
(16)	PROPOSED CONCRETE SIDEWALK; REF. HORIZONTAL CONTROL PLAN FOR WIDTH
17	PROPOSED ADA RAMP; REF. SITE DETAILS
(18)	PROPOSED CART RETURN (FURNISHED BY KING SOOPERS); REF. SITE DETAILS
(19)	PROPOSED 6" CONCRETE CURB AND 12" GUTTER; REF. SITE DETAILS
(20) (31)	PROPOSED ASPHALT PAVING; REF. PAVING PLAN
(21) (22)	PROPOSED 9.5' X 20' PARKING STALL; REF. SITE DETAILS PROPOSED ADA PARKING STALL WITH SIGNAGE AND PAINTED ACCESS AISLE;
μ.	SITE DETAILS
23	PROPOSED PAINTED TRAFFIC MARKINGS AND SYMBOLS; REF. SITE DETAILS
24	PROPOSED CONCRETE CHASE; REF. SITE DETAILS
25	PROPOSED LANDSCAPE AREA; REF. LANDSCAPE PLANS
\sim	
26	TRASH COMPACTOR; REF. ARCHITECTURE PLANS
26 27 28	TRASH COMPACTOR; REF. ARCHITECTURE PLANS PHARMACY DRIVE THRU; REF. ARCHITECTURE PLANS TRUCK DOCK; REF. ARCHITECTURE PLANS

- (29) PROPOSED FIRE HYDRANT
- (30) PROPOSED SAWCUT LINE
- (31) PROPOSED R1-1 "STOP" SIGN; REF. SITE DETAILS
- (32) PROPOSED CONCRETE BOLLARD (BY CONTRACTOR); REF. SITE DETAILS
- (33) GROCERY PICKUP; REF. ARCHITECTURE PLANS
- (34) PROPOSED SITE LIGHT; REF. PHOTOMETRIC PLANS
- (35) PRE-CAST BOLLARD ALONG FRONT SIDEWALK; REF. ARCHITECTURE PLANS
- (36) STRIPED ISLAND
- (37) BICYCLE RACK; REF. SITE DETAILS
- (38) 30' PD BUILDING SETBACK LINE
- (39) VEHICLE STACKING AT DRIVE-THRU WINDOW FOR PHARMACY
- (40) EXISTING STORM INLETS TO BE REMOVED; REF. STORM DRAIN PLAN & PROFILES
- (41) EXISTING FIRE HYDRANT TO BE RELOCATED; REF. UTILITY PLAN
- (42) RELOCATED FIRE HYDRANT; REF. UTILITY PLAN
- (43) PROPOSED PEDESTRIAN CROSSWALK: REF. SITE DETAILS
- (44) PROPOSED R5-1 "DO NOT ENTER" SIGN; REF. SITE DETAILS
- (45) FUTURE ACCESS DRIVE TO FUTURE DEVELOPMENT
- (46) PROPOSED PARKING STALL WHEEL STOP: REF. SITE DETAILS (47) PROPOSED ENHANCED CROSSWALK PAVING, REFERENCE SITE DETAILS, SHEET C1.3
- (48) PROPOSED ACCESS GATE AT TRASH COMPACTOR
- (49) EXISTING CURB, GUTTER AND ASPHALT PAVING TO BE REMOVED
- (50) PROPOSED TRUNCATED DOME PAD (51) PROPOSED FLUSH CONCRETE SIDEWALK
- (52) PROPOSED 2' CONCRETE PAN, REF. SITE DETAILS

CAUTION - NOTICE TO CONTRACTOR . ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE

AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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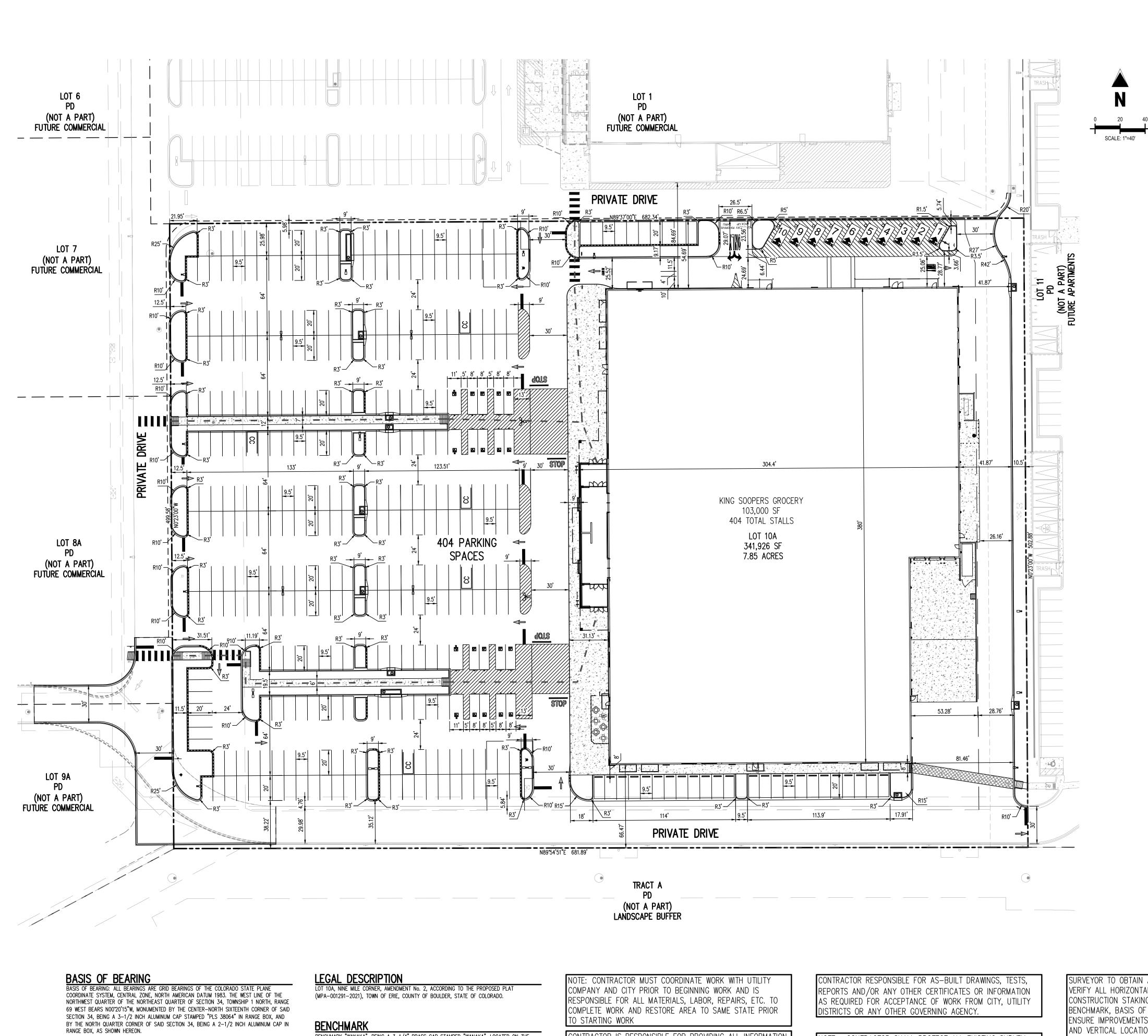




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SITE IMPROVEMENT CONSTRUCTION PLANS	ARAPAHOE ROAD & 107th STREET	
KING SOOPERS #138	ERIE, COLORADO	
	Issue / Description 2ND CD SUBMITTAL 3RD CD SUBMITTAL	Init. ACJ ACJ ACJ

Project No:	KSS000138
Drawn By:	RDG
Checked By:	ACJ
Date:	10/20/21
SITE PLAN	



BENCHMARK "WANAKA", BEING A 3-1/4" BRASS CAP STAMPED "WANAKA", LOCATED ON THE EAST SIDE OF WANAKA LAKE, 41 FEET SOUTH-SOUTHEAST FROM THE CENTER OF THE LAKE OVERFLOW, 4.5 FEET SOUTH FROM A WITNESS POST AND 2.4 FEET EAST-SOUTHEAST FROM THE EASTERN EDGE OF A NORTH-SOUTH SIDEWALK. NAVD88 ELEVATION = 5323.00 (GPS OBS.) SHOT=5323.77 VIA LEICA SPIDERNET NETWORK

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SITE LEGEND			
	PROPERTY BOUNDARY LINE		
	ADJACENT PROPERTY LINE		
	EXISTING EASEMENT BOUNDARY LINE		
	EASEMENT BOUNDARY LINE		
	SETBACK BOUNDARY LINE		
	EXISTING CURB AND GUTTER		
	PROPOSED CATCH CURB & GUTTER		
	PROPOSED SPILL CURB & GUTTER		
	EXISTING SITE LIGHTING		
α	EXISTING FIRE HYDRANT		
[V]	EXISTING TELEPHONE RISER		
[]	EXISTING TRANSFORMER		
	EXISTING MANHOLE		
	EXISTING STORM DRAIN INLET		
	PROPOSED SITE LIGHTING		
~	TRAFFIC DIRECTION		
	ASPHALT PAVING		
	CONCRETE PAVING		
	PROPOSED ADA ROUTE		
×	PROPOSED FIRE HYDRANT		
۲	PROPOSED MANHOLE COVER		
	PROPOSED INLET		

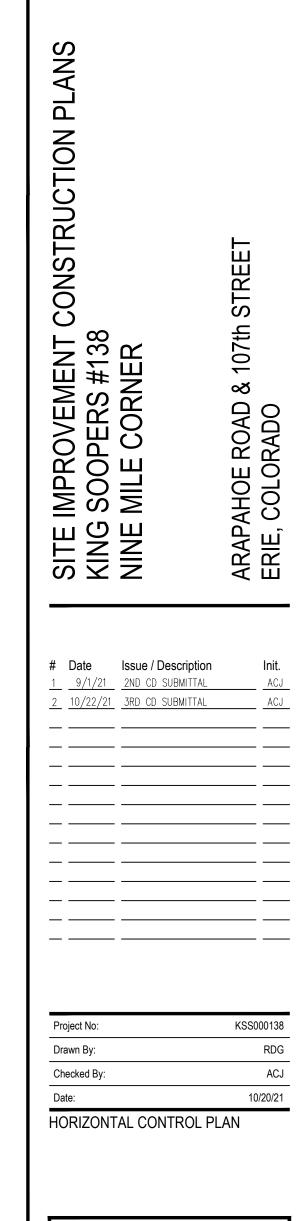
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BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING

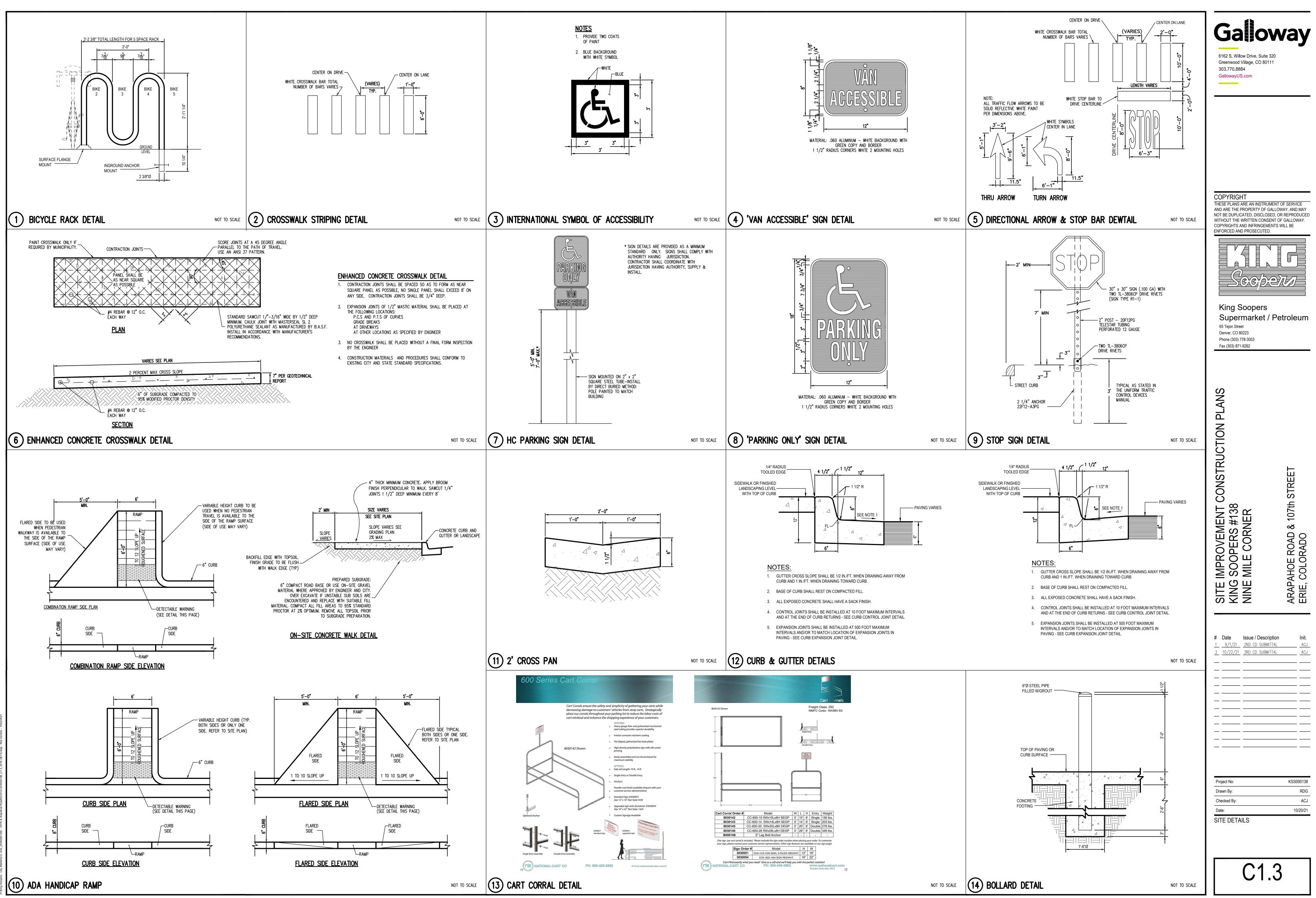
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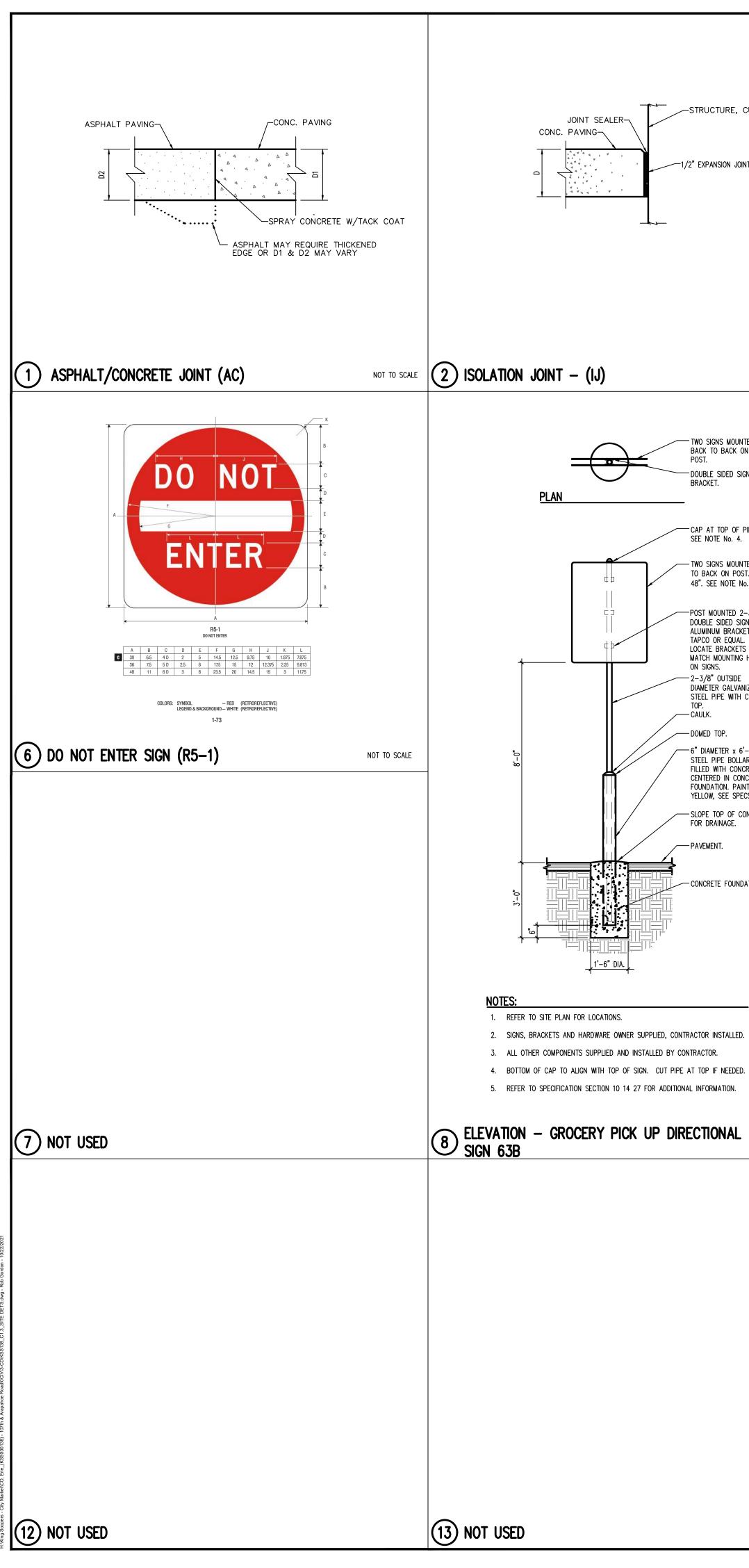
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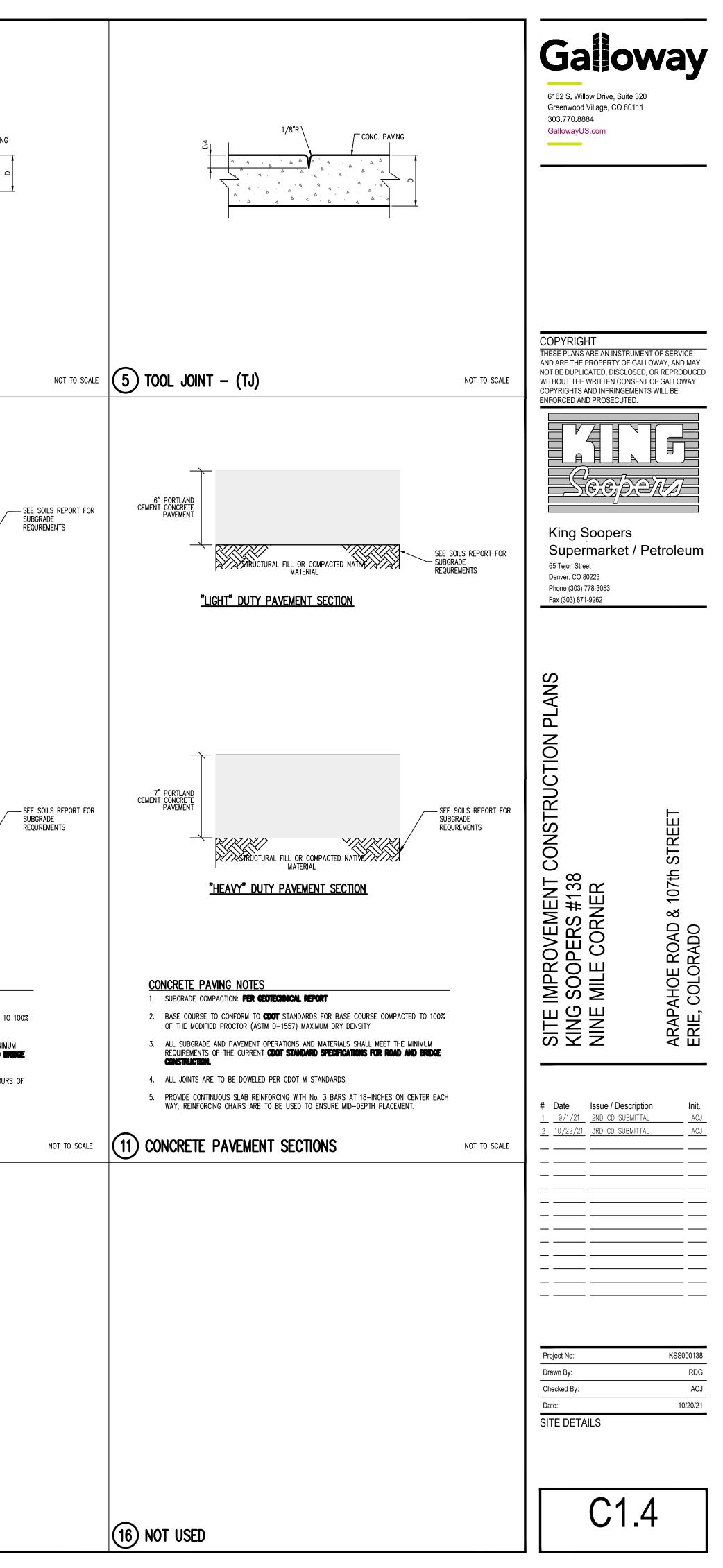
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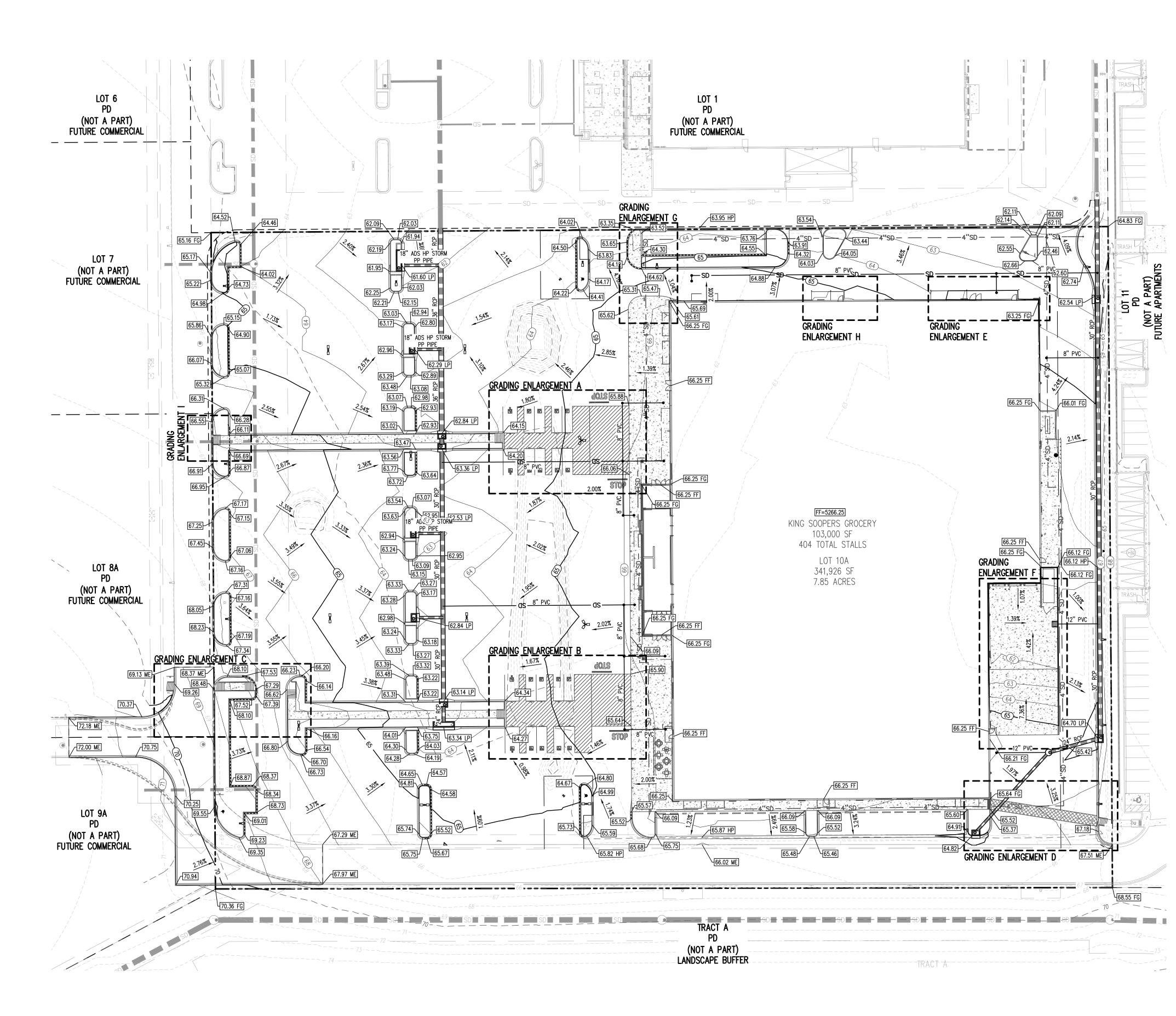


CURB OR FORM IT FILLER	CONC. PAVING	ELASTOMERIC FILL 3/8" MIN. CONCRETE PAVING A A A A A BACKER ROD
NOT TO SCALE	3 EXPANSION JOINT (EJ) NOT TO SCALE	4 CONTROL JOINT - (CJ)
ED N N PIPE. ED BACK T. 36" X 5. 2. -3/8" N T. BY TO HOLES VZED CAP AT -0" RD RETE, CRETE TED S. NCRETE	B'-0" TYPEFACE G FEET HUMBERS 10 10 10 10 10 10 10 10 10 10	* OR 6' FULL DEPTH ASPHALT NO BASE COURSE * ASPHALT CONCRET TAGGREGATE TAGGREGATE TAGGREGATE TAGGREGATE * OR 7' FULL DEPTH ASPHALT NO BASE COURSE * OR 7' FULL DEPTH ASPHALT NO BASE COURSE
_		 ASPHALT PAVING NOTES SUBGRADE COMPACTION: PER GEOTECHNICAL REPORT BASE COURSE TO CONFORM TO CDOT STANDARDS FOR BASE COURSE COMPACTED TO OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY ALL SUBGRADE AND PAVEMENT OPERATIONS AND MATERIALS SHALL MEET THE MINIMU REQUIREMENTS OF THE CURRENT CDOT STANDARD SPECIFICATIONS FOR ROAD AND EL CONSTRUCTION. PROVIDE TACK COAT BETWEEN CONSECUTIVE COURSES NOT APPLIED WITHIN 24 HOUR PLACEMENT OF THE PRIOR COURSE.
NOT TO SCALE	(1) GROCERY PICKUP GRAPHICS DETAIL	1 ASPHALT PAVEMENT SECTIONS





			GailowayUS.com
NOT TO SCALE	NOT USED	NOT TO SCALE	<section-header><section-header><text><text></text></text></section-header></section-header>
NOT TO SCALE	6 NOT USED	NOT TO SCALE	Supermarket / Petroleum 65 Tejon Street Denver, CO 80223 Phone (303) 778-3053 Fax (303) 871-9262
			SITE IMPROVEMENT CON RING SOOPERS #138 NINE MILE CORNER ARAPHOE ROAD & 107th STRI ERIE, COLORADO ERIE, COLORADO
NOT TO SCALE	8 NOT USED	NOT TO SCALE	1 9/1/21 2ND CD SUBMITTAL ACJ 2 10/22/21 3RD CD SUBMITTAL ACJ
NOT TO SCALE	10 NOT USED	NOT TO SCALE	SITE DETAILS





CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST. SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

GRADING LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT BOUNDARY LINE
	EASEMENT BOUNDARY LINE
65	PROPOSED MAJOR CONTOUR
66	PROPOSED MINOR CONTOUR
— — — —5265— — — —	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED CATCH CURB & GUTTER
	PROPOSED SPILL CURB & GUTTER
— — — SD—	EXISTING STORM SEWER (LESS THAN 12")
SD SD	EXISTING STORM SEWER (12" AND GREATER)
X*SD	PROPOSED STORM SEWER (12" AND GREATER)
X"SD X"SD	PROPOSED STORM SEWER (12" AND GREATER) PROPOSED STORM SEWER (LESS THAN 12")
X*SD	
X*SD	PROPOSED STORM SEWER (LESS THAN 12")
X*SD	PROPOSED STORM SEWER (LESS THAN 12") PROPOSED RIDGE LINE
X*SD 	PROPOSED STORM SEWER (LESS THAN 12") PROPOSED RIDGE LINE PROPOSED SPOT ELEVATION
X*SD 	PROPOSED STORM SEWER (LESS THAN 12") PROPOSED RIDGE LINE PROPOSED SPOT ELEVATION FINISHED FLOOR
X"SD 59.50 FF FG	PROPOSED STORM SEWER (LESS THAN 12") PROPOSED RIDGE LINE PROPOSED SPOT ELEVATION FINISHED FLOOR FINISHED GRADE
X"SD 59.50 FF FG ME	PROPOSED STORM SEWER (LESS THAN 12") PROPOSED RIDGE LINE PROPOSED SPOT ELEVATION FINISHED FLOOR FINISHED GRADE MATCH EXISTING
X*SD 59.50 FF FG ME LP	PROPOSED STORM SEWER (LESS THAN 12") PROPOSED RIDGE LINE PROPOSED SPOT ELEVATION FINISHED FLOOR FINISHED GRADE MATCH EXISTING LOW POINT
X"SD 59.50 FF FG ME LP HP	PROPOSED STORM SEWER (LESS THAN 12") PROPOSED RIDGE LINE PROPOSED SPOT ELEVATION FINISHED FLOOR FINISHED GRADE MATCH EXISTING LOW POINT HIGH POINT

NOTES

SCALE: 1"=40

1. ADD 5200 TO ALL SPOT GRADE ELEVATIONS.

- 2. REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO BID.
- 3. ALL FILL IN OLD TANK AREAS, OLD BASEMENTS, CESSPOOLS, OTHER EXCAVATIONS AND INSIDE BUILDING TO BE APPROVED BY GEOTECHNICAL ENGINEER.
- 4. FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT COMPANY APPROVAL.
- ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
- SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATION CORNERS BY A REGISTERED SURVEYOR.
- 7. ALL SPOT GRADES ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- 8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
- ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED TOP SOIL TO A MINIMUM 6" DEPTH.
 GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND
- ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK. 11. ALL ADA PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION.
- 12. ALL ADA ACCESSIBLE PATHS SHALL NOT HAVE A CROSS SLOPE THAT EXCEEDS 2% OR A LONGITUDINAL SLOPE THAT EXCEEDS 5%.
- 13. PER THE GEOTECHNICAL REPORT, DEWATERING WILL LIKELY BE REQUIRED DURING ON-SITE GRADING.

BASIS OF BEARING

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BENCHMARK "WANAKA", BEING A 3-1/4" BRASS CAP STAMPED "WANAKA", LOCATED ON THE EAST SIDE OF WANAKA LAKE, 41 FEET SOUTH-SOUTHEAST FROM THE CENTER OF THE LAKE OVERFLOW, 4.5 FEET SOUTH FROM A WITNESS POST AND 2.4 FEET EAST-SOUTHEAST FROM THE EASTERN EDGE OF A NORTH-SOUTH SIDEWALK. NAVD88 ELEVATION = 5323.00 (GPS OBS.) SHOT=5323.77 VIA LEICA SPIDERNET NETWORK

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SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS:

GEOTECHNICAL ENGINEER: KUMAR & ASSICIATES, INC. REPORT NO: 21-3-114.1 (DATED AUGUST 18, 2021)

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

CAUTION - NOTICE TO CONTRACTOR

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Know what's **below.**

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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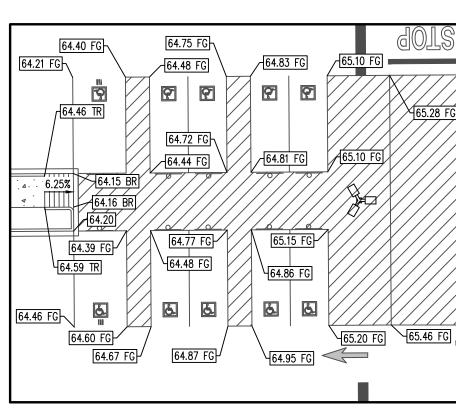


King Soopers Supermarket / Petroleum

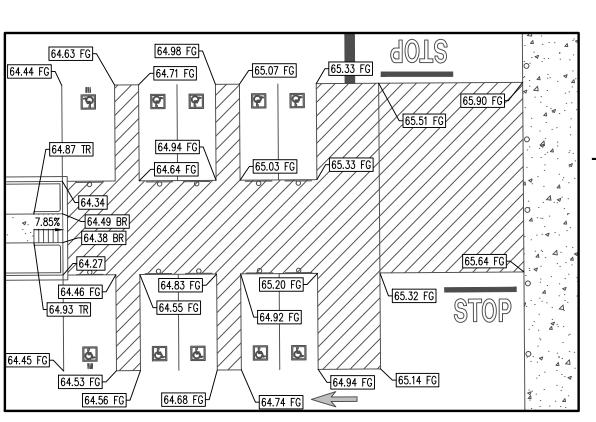
65 Tejon Street Denver, CO 80223 Phone (303) 778-3053 Fax (303) 871-9262

SITE IMPROVEMENT CONSTRUCTION PLANS KING SOOPERS #138	NINE MILE CORNER	ARAPAHOE ROAD & 107th STREET ERIE, COLORADO
# Date	Issue / Description	Init.
Project No:		KSS000138
		RDG
Drawn By:		
Drawn By: Checked By:		AC.

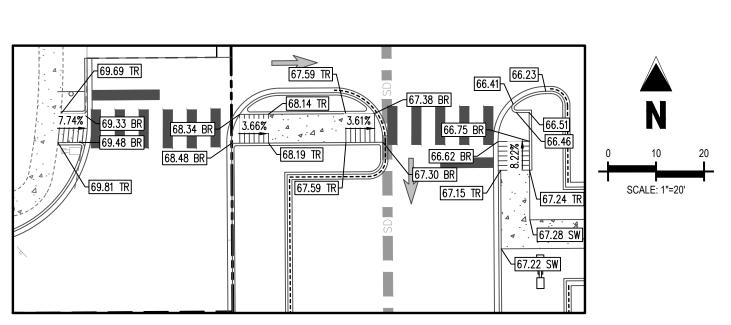
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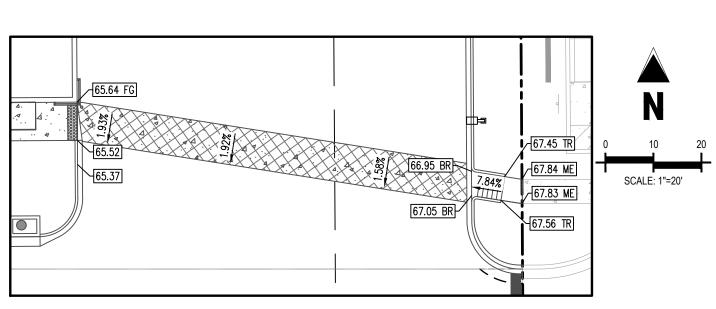
GRADING ENLARGEMENT A SCALE: 1"=20'



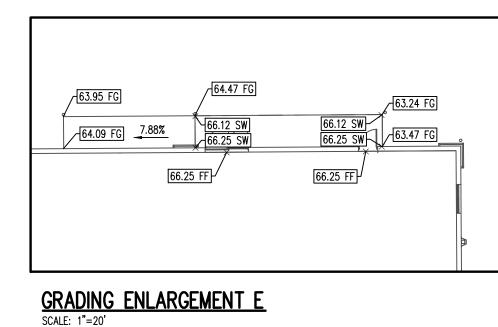
GRADING ENLARGEMENT B SCALE: 1"=20'

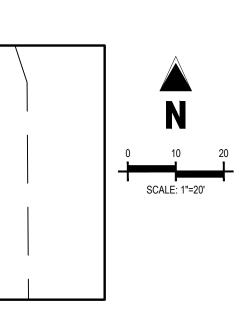


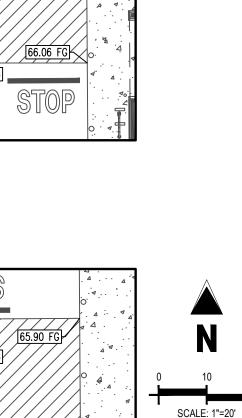
GRADING ENLARGEMENT C SCALE: 1"=20'

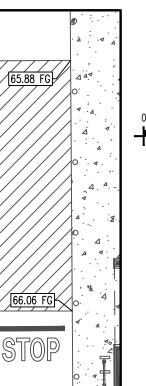


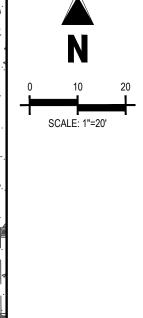
GRADING ENLARGEMENT D SCALE: 1"=20'

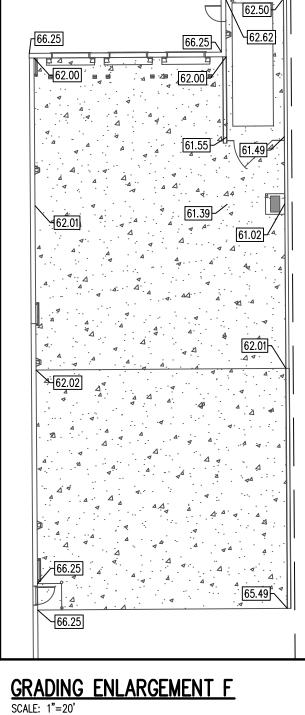


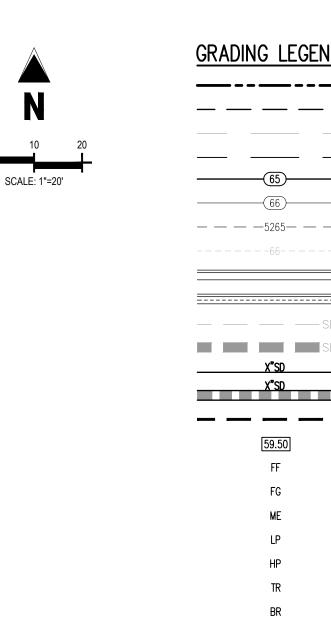




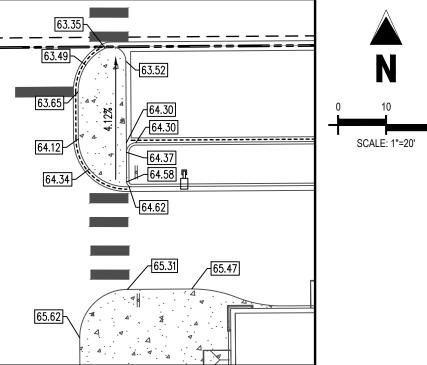




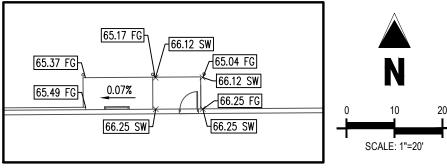


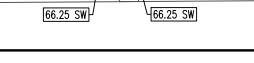


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<u>ID</u>	
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT BOUNDARY LINE
	EASEMENT BOUNDARY LINE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
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	PROPOSED CATCH CURB & GUTTER
	PROPOSED SPILL CURB & GUTTER
D—	EXISTING STORM SEWER (LESS THAN 12")
D	EXISTING STORM SEWER (12" AND GREATER)
	PROPOSED STORM SEWER (12" AND GREATER)
	PROPOSED STORM SEWER (LESS THAN 12")
	PROPOSED RIDGE LINE
	PROPOSED SPOT ELEVATION
	FINISHED FLOOR
	FINISHED GRADE
	MATCH EXISTING
	LOW POINT
	HIGH POINT
	TOP OF RAMP
	BOTTOM OF RAMP







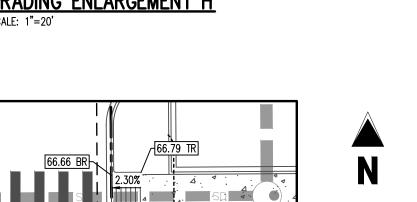




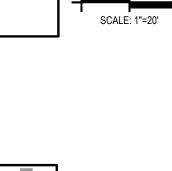
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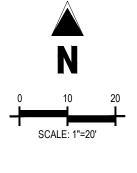
<u>GRADING</u> ENLARGEMENT I SCALE: 1"=20'</u>





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SCALE: 1"=20'

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-	0	10	20	

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 0	10	2

	À N
0	10

FG SW		N
FG	0	10
SW	╵┶	SCALE: 1"=2

X"SD _____X"SD ____ 59.50 FF



Greenwood Village, CO 80111 303.770.8884 GallowayUS.com _____

NOTES

- 1. ADD 5200 TO ALL SPOT ELEVATIONS.
- 2. ALL PROPOSED STORM PIPE 18" AND LARGER SHALL BE CLASS III REINFORCED CONCRETE PIPE ALL PROPOSED STORM PIPE LESS THAN 18" WILL BE SDR-35 PVC.
- 3. ALL GRADES SHOWN ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- 4. ELEVATIONS AT CURB INLETS ARE TOP OF CURB, CONTRACTOR TO SET GRATE/FLOWLINE ELEVATION TO CONFORM TO THE STRUCTURES STANDARD DETAILS.
- 5. CONTRACTOR SHALL FIELD VERIFY GRADES IN THE LOCATIONS INDICATED AT THE TIME OF CONSTRUCTION. CARE SHALL BE TAKEN TO MATCH EXISTING GRADES AT PROPERTY LINE TO ENSURE A SMOOTH TRANSITION BETWEEN PROPOSED ASPHALT PAVEMENT AND ADJACENT PROPERTY

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SOIL PREPARATION	ON AND	PAVEMENT	DESIGN	NOTE
SOIL PREPARATION AND PAVEN GEOTECHNICAL REPORT PREPAR EXPLORATION AND ANALYSIS:				
GEOTECHNICAL ENG REPORT NO: 21-3				

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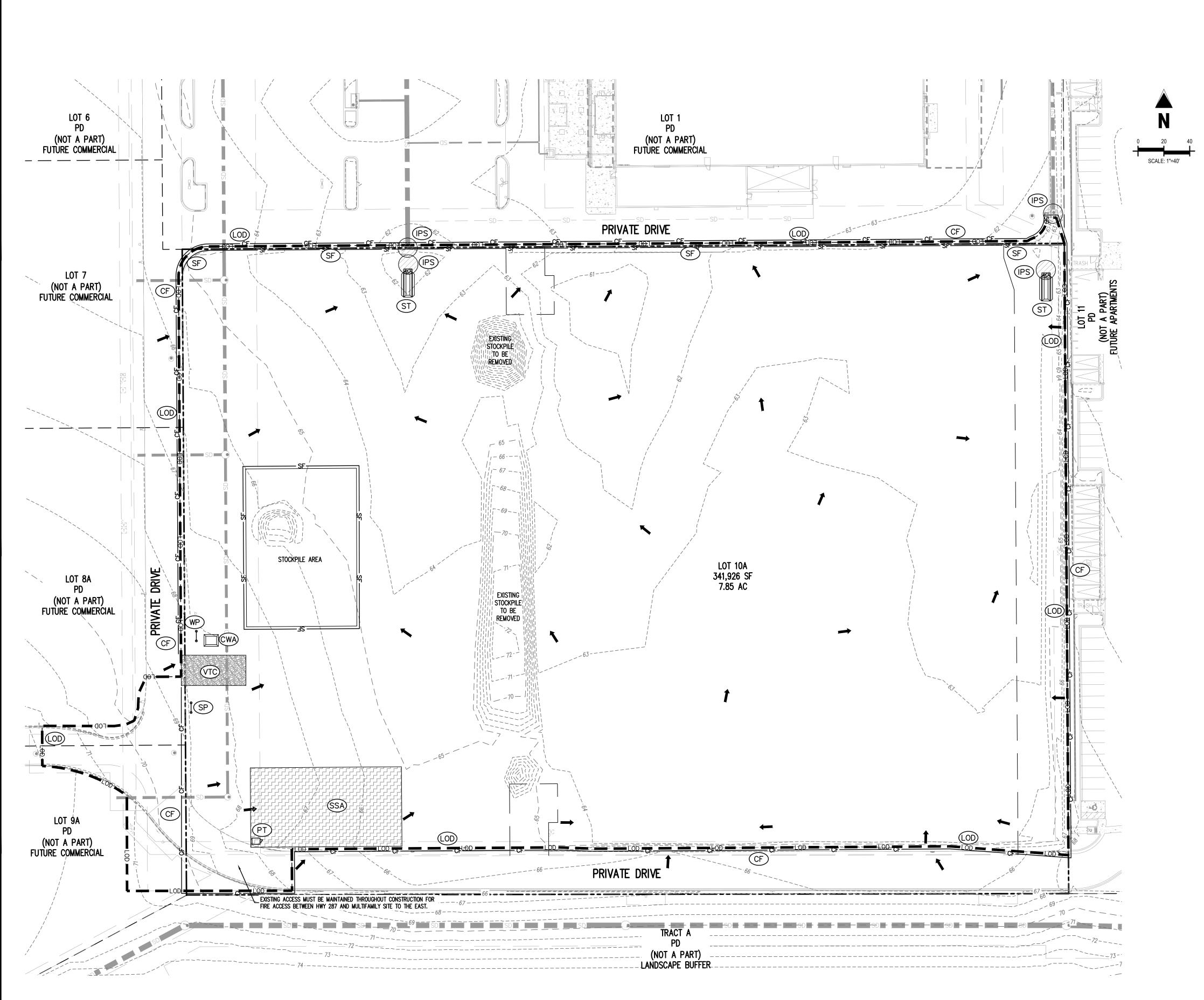
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SITE IMPROVEMENT CONSTRUCTION PLANS KING SOOPERS #138	NINE MILE CORNER	ARAPAHOE ROAD & 107th STREET
아오	~	
# Date	Issue / Description	Ini
# Date		
# Date		Ini

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BMP MAINTENANCE NOTE: ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWMP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. PROPER SELECTION AND INSTALLATION OF BMP'S AND IMPLEMENTATION OF COMPREHENSIVE INSPECTION AND MAINTENANCE PROCEDURES N ACCORDANCE WITH THE SWMP, SHOULD BE ADEQUATE TO MEET THIS CONDITION. BMP'S THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEERING, HYDROLOGIC AND POLLUTION CONTROL PRACTICES, INCLUDING REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE BMP'S, ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESSED.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

EROSION CONTROL	LEGEND
5265	
66	EXISTING MINOR CONTOUR
(5265)	PROPOSED MAJOR CONTOUR
66	PROPOSED MINOR CONTOUR
SD	EXISTING STORM SEWER (LESS THAN 12")
SD	PROPOSED STORM SEWER (LESS THAN 12")
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
→	FLOW ARROW
	LOD LIMITS OF DISTURBANCE
	VTC VEHICLE TRACKING CONTROL
	CWA CONCRETE WASHOUT AREA
	(SSA) STABILIZED STAGING AREA
¥ ¥ ¥	LS FINAL LANDSCAPE AREA
\bigcirc	(IPS) SUMP INLET PROTECTION (IP-3)
SF	SF SILT FENCE
CF	CF CONSTRUCTION FENCE
	PT PORTABLE TOILET
00	SP SITE POSTING (CONTACTS AND PERMITS)
@ @	WP WASHOUT POSTING
	ST SEDIMENT TRAP

CUT: FILL:

NET (IMPORT):

THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE TH PLAN. MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE OR PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.

EARTHWORK SUMMARY TOTAL AREA DISTURBED:

332,590 SF 3,893.58 CY 19,957.06 CY 16,063.48 CY

BMP SEQUENCE

- 1. INSTALL CONTROL MEASURES (INITIAL)
- 2. CLEAR AND GRUB (INITIAL)
- 3. ROUGH OVERLOT GRADING (INTERIM)
- 4. TRENCH AND INSTALL UNDERGROUND UTILITIES (INTERIM)
- 5. GRADE BUILDING PAD (INTERIM)
- 6. FINE GRADE REMAINDER OF SITE (INTERIM)
- 7. PAVEMENT INSTALLATION (INTERIM)
- 8. SEED NATIVE AREAS AND INSTALL PERMANENT LANDSCAPING (FINAL)
- 9. REMOVE FINAL CONTROL MEASURES UPON COMPLETION (FINAL)

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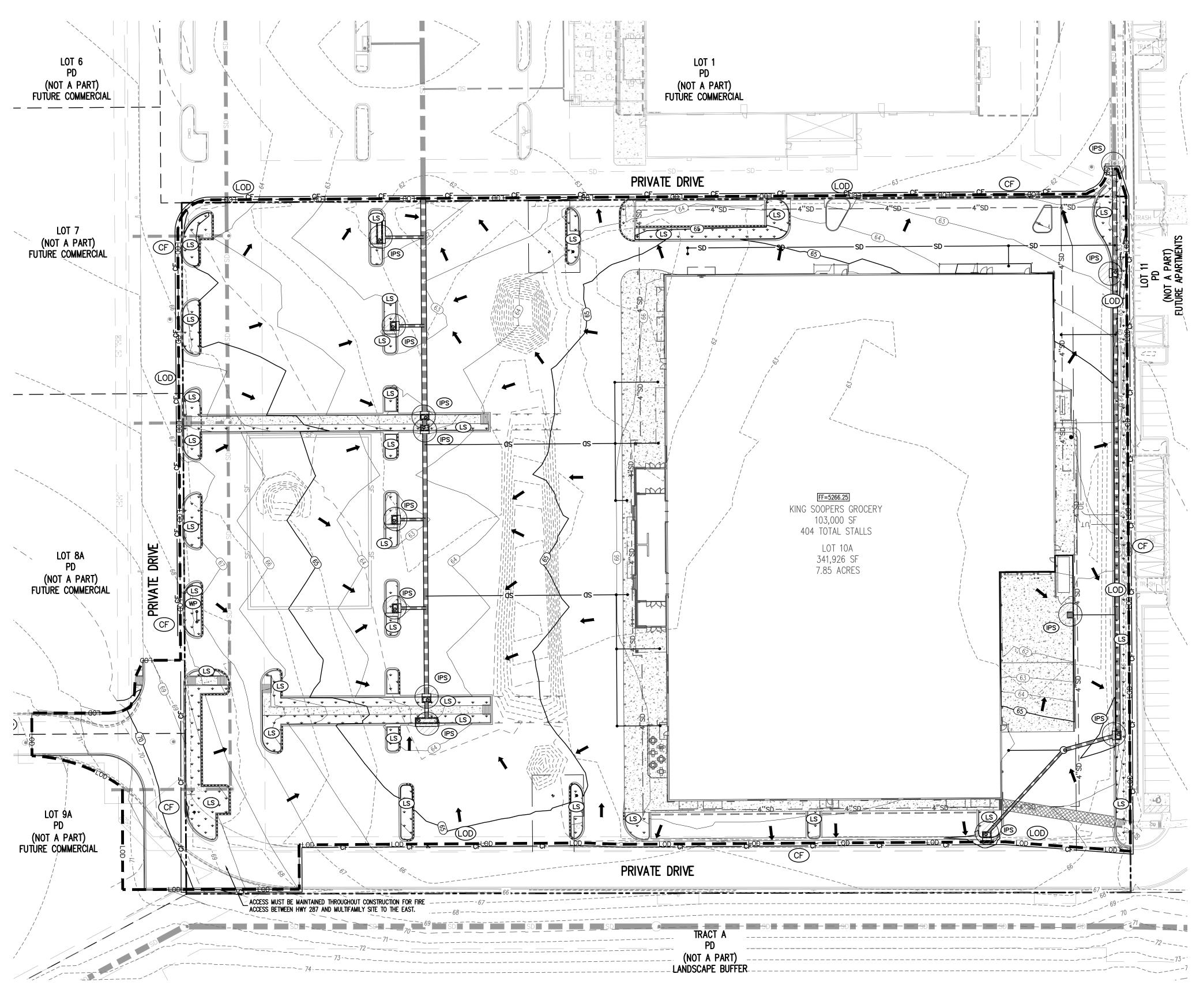
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SITE IMPROVEMENT CONSTRUCTION PLANS KING SOOPERS #138	NINE MILE CORNER	ARAPAHOE ROAD & 107th STREET ERIE, COLORADO
# Date 1 9/1/21 2 10/22/21	Issue / Description 2ND CD SUBMITTAL 3RD CD SUBMITTAL	Init. ACJ ACJ
<u>1 9/1/21</u>	2ND CD SUBMITTAL	ACJ
<u>1 9/1/21</u>	2ND CD SUBMITTAL	ACJ
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1 9/1/21 2 10/22/21 	2ND CD SUBMITTAL	ACJ ACJ ACJ ACJ

Fax (303) 871-9262



BASIS OF BEARING

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST BEARS NO0'20'15"W, MONUMENTED BY THE CENTER-NORTH SIXTEENTH CORNER OF SAID SECTION 34, BEING A 3-1/2 INCH ALUMINUM CAP STAMPED "PLS 38064" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 34, BEING A 2-1/2 INCH ALUMINUM CAP IN RANGE BOX, AS SHOWN HEREON.

BENCHMARK

BENCHMARK "WANAKA", BEING A 3-1/4" BRASS CAP STAMPED "WANAKA", LOCATED ON THE EAST SIDE OF WANAKA LAKE, 41 FEET SOUTH-SOUTHEAST FROM THE CENTER OF THE LAKE OVERFLOW, 4.5 FEET SOUTH FROM A WITNESS POST AND 2.4 FEET EAST-SOUTHEAST FROM THE EASTERN EDGE OF A NORTH-SOUTH SIDEWALK. NAVD88 ELEVATION = 5323.00 (GPS OBS.) SHOT=5323.77 VIA LEICA SPIDERNET NETWORK

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

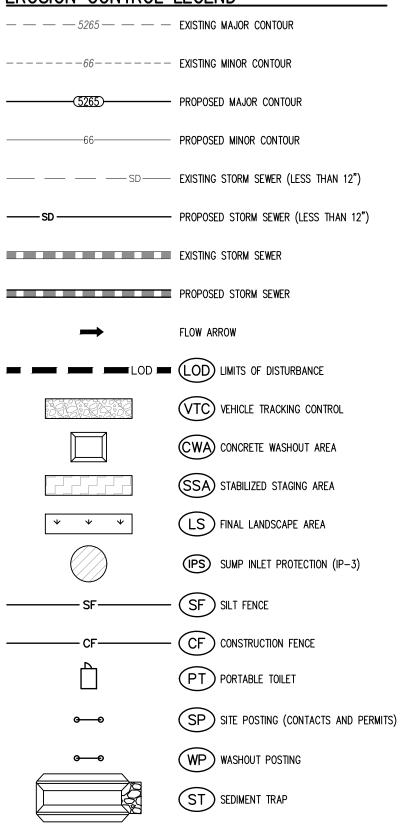
CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

BMP MAINTENANCE NOTE:

ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWMP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. PROPER SELECTION AND INSTALLATION OF BMP'S AND IMPLEMENTATION OF COMPREHENSIVE INSPECTION AND MAINTENANCE PROCEDURES N ACCORDANCE WITH THE SWMP, SHOULD BE ADEQUATE TO MEET THIS CONDITION. BMP'S THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEERING, HYDROLOGIC AND POLLUTION CONTROL PRACTICES, INCLUDING REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE BMP'S, ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESSED.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

EROSION CONTROL LEGEND



SCALE: 1"=40'

THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN, MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE OR PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.

BMP SEQUENCE

- 1. INSTALL CONTROL MEASURES (INITIAL)
- 2. CLEAR AND GRUB (INITIAL)
- 3. ROUGH OVERLOT GRADING (INTERIM)
- 4. TRENCH AND INSTALL UNDERGROUND UTILITIES (INTERIM)
- 5. GRADE BUILDING PAD (INTERIM)
- 6. FINE GRADE REMAINDER OF SITE (INTERIM)
- 7. PAVEMENT INSTALLATION (INTERIM)
- 8. SEED NATIVE AREAS AND INSTALL PERMANENT LANDSCAPING (FINAL)
- 9. REMOVE FINAL CONTROL MEASURES UPON COMPLETION (FINAL)

CAUTION - NOTICE TO CONTRACTOR

. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

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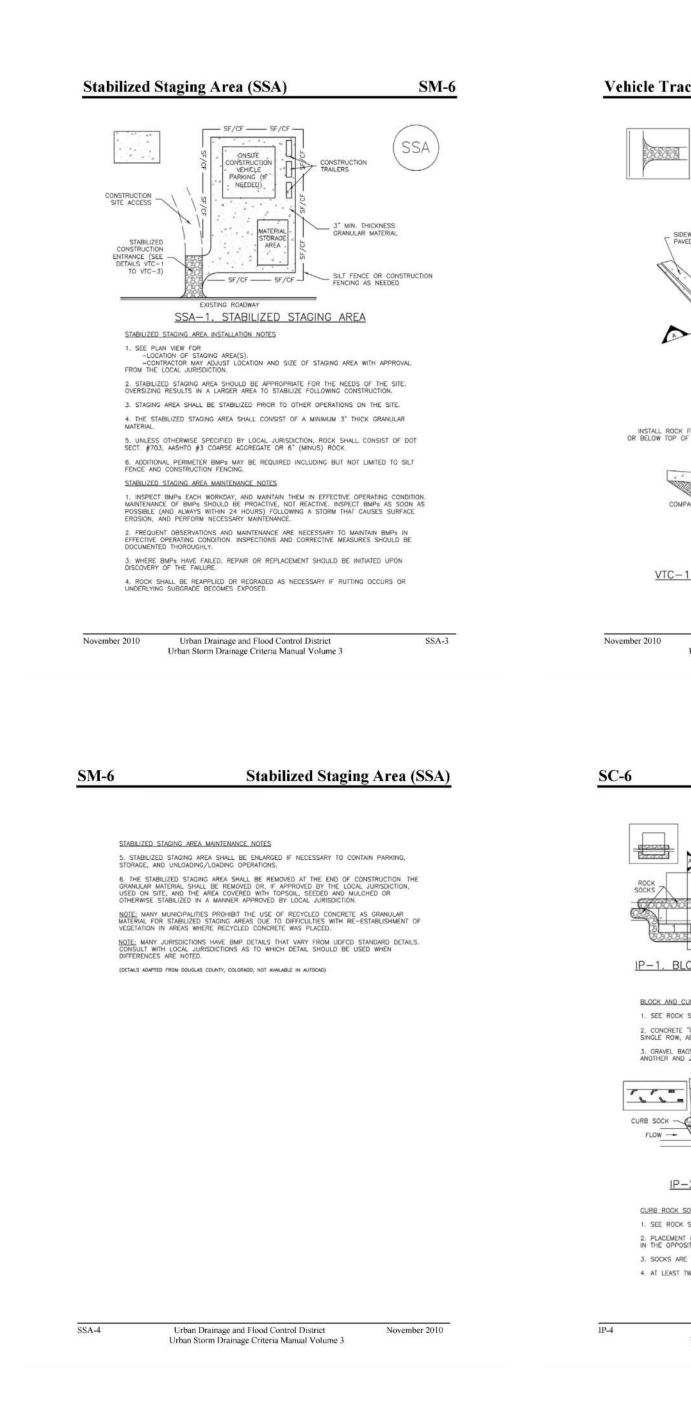
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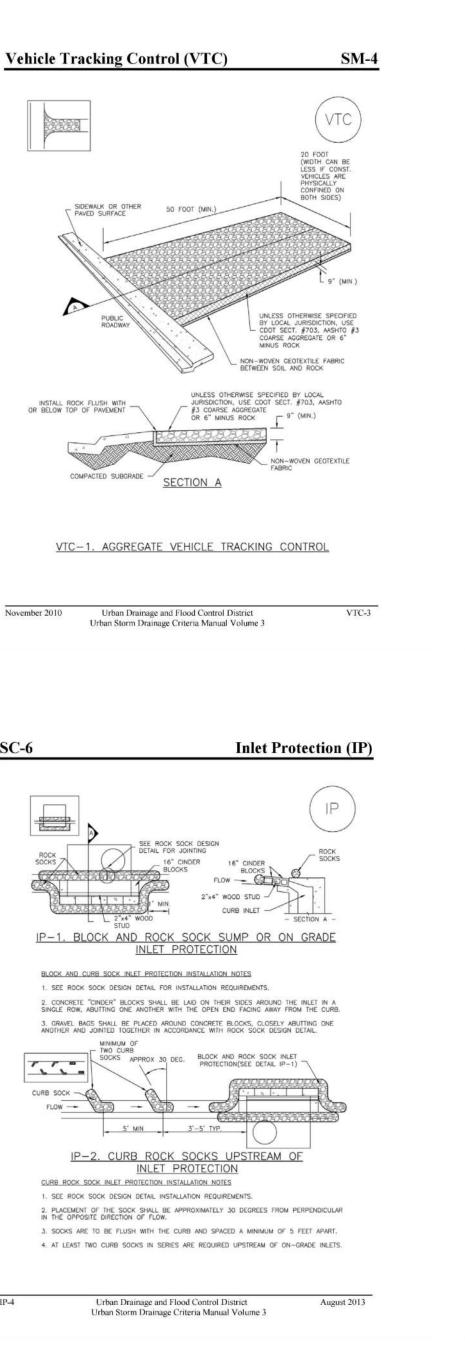
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CONCRETE; WASH	
12 ¹¹ TYP ₂ CONCRETE WASHOUT AREA.	VEHICLE TRACKING CONTROL (SEE VIC DETAIL) OR OTHER STABLE SURFACE
<u>SECTION À</u>	VEHICLE ITRACKING CONTROL (SEE VIC DETAIL)
<u>CWA INSTALLATION INOTES</u> 1 ₀ ISEE PLAN VIEW FOR: 	
2. DO NOT LOCATE AN UNLINED CWA WITHIN 400° OF ANY NATU WATERBODY, DO NOT LOCATE WITHIN 1,000° OF ANY WELLS OR SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HICHLY PERME THE CWA, MUST BE INSTALLED WITH AN IMPERMEABLE UNER (IL SURFACE STORACE ALTERNATIVES USING PREFABRICATED CONCRE UNED ABOVE GROUND STORAGE ARE SHOULD BE USED. 3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEM	DRINKING WATER SOURCES. IF ABLE SOILS EXIST ON SITE, 6 MIL MIN. THICKNESS OR TE WASHOUT DEVICES OR A
4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LE LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3.1 OR FLAT LEAST 3 DEEP.	AST B ² BY B ³ SLOPES TER, THE PIT SHALL BE AT
5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL H	HAVE MINIMUM HEIGHT OF 1
6, VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE	
 SIGNS' SHALL BE IPLACED AT THE CONSTRUCTION ENTRANCE, ELSEWHERE AS INCESSARY TO CLEARLY INDICATE THE LOCATION OF CONCRETE TRUCKS AND PUMP RIGS. 	AT THE CWA, AND OF THE CWA TO OPERATORS
B. USE Excavated material for perimeter bern construct	
nber 2010 Urban Drainage and Flood Control District	CWA





MM-1

CWA-1

Concrete waste management involves designating and properly managing a specific area of the construction site as a concrete washout area. A concrete washout area can be created using one of several approaches designed to receive wash water from washing of tools and concrete mixer chutes, liquid concrete waste from dump trucks, mobile batch mixers, or pump trucks. Three basic approaches are available: excavation of a pit in the ground, use of an above ground storage area, or use of prefabricated haulaway concrete washout containers. Surface discharges of concrete washout

The use of the washout site should be temporary (less than 1 year), and

Description

water from construction sites are prohibited. Photograph CWA-1. Example of concrete washout area. Note gravel tracking pad for access and sign Appropriate Uses Concrete washout areas must be designated on all sites that will generate concrete wash water or liquid concrete waste from onsite concrete mixing or concrete delivery

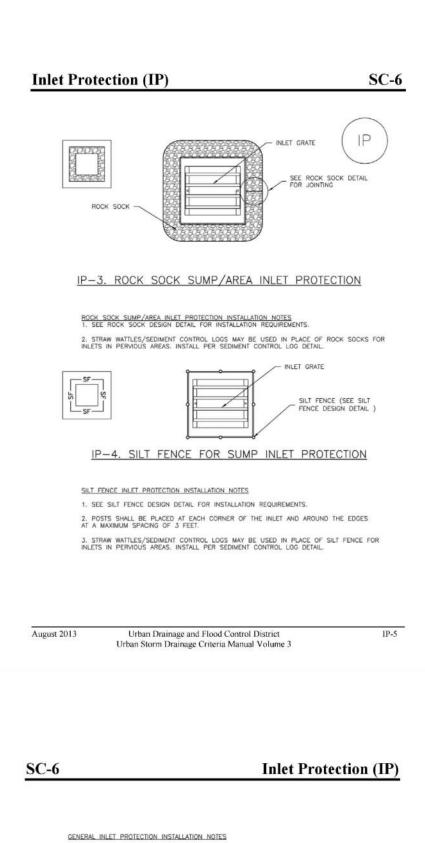
Because pH is a pollutant of concern for washout activities, when unlined pits are used for concrete washout, the soil must have adequate buffering capacity to result in protection of state groundwater standards; otherwise, a liner/containment must be used. The following management practices are recommended to prevent an impact from unlined pits to groundwater:

• The washout site should be not be located in an area where shallow groundwater may be present, such as near natural drainages, springs, or wetlands. **Design and Installation**

Concrete washout activities must be conducted in a manner that does not contribute pollutants to surface waters or stormwater runoff. Concrete washout areas may be lined or unlined excavated pits in the ground, commercially manufactured prefabricated washout containers, or aboveground holding areas constructed of berms, sandbags or straw bales with a plastic liner.

certain conditions.	Concrete Washout Area	
Do not locate an unlined washout area within 400 feet	Functions	
f any natural drainage pathway or waterbody or vithin 1,000 feet of any wells or drinking water	Erosion Control	No
ources. Even for lined concrete washouts, it is	Sediment Control	No
dvisable to locate the facility away from waterbodies	Site/Material Management	Yes

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1. SEE PLAN VIEW FOR: -LOCATION OF INLET PROTECTION. -TYPE OF INLET PROTECTION (IP.1, IP.2, IP.3, IP.4, IP.5, IP.6)

 INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS). IF A RAINFALL/RUNOFF EVENT IS FORECAST, INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT. MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED. INLET PROTECTION MAINTENANCE NOTES

 INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE, INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.

3. WHERE BMP# HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE. 4. SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN STORAGE VOLUME REACHES 50% OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR ¼ OF THE HEIGHT FOR STRAW BALES. 5. INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL INLET PROTECTION IN STREETS.

6. WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION. (DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DERIVER METROPOLITAN AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION METHODS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWIMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS. NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.

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Concrete Washout Area (CWA)

setbacks infeasible or if highly permeable soils exist in the area, then the pit must be installed with an impermeable liner (16 mil minimum thickness) or surface storage alternatives using prefabricated

concrete washout devices or a lined aboveground storage area should be used. Design details with notes are provided in Detail CWA-1 for pits and CWA-2 for aboveground storage areas. Pre-fabricated concrete washout container information can be obtained from vendors

Maintenance and Removal

MM-1

A key consideration for concrete washout areas is to ensure that adequate signage is in place identifying the location of the washout area. Part of inspecting and maintaining washout areas is ensuring that adequate signage is provided and in good repair and that the washout area is being used, as opposed to washout in non-designated areas of the site.

Remove concrete waste in the washout area, as needed to maintain BMP function (typically when filled to about two-thirds of its capacity). Collect concrete waste and deliver offsite to a designated disposal location.

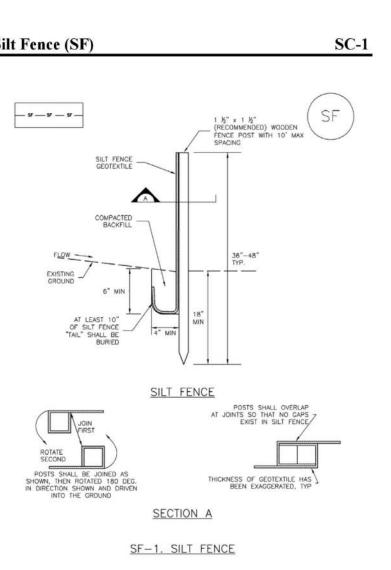
Upon termination of use of the washout site, accumulated solid waste, including concrete waste and any contaminated soils, must be removed from the site to prevent on-site disposal of solid waste. If the wash water is allowed to evaporate and the concrete hardens, it may be recycled.



CWA-2 Urban Drainage and Flood Control District

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Silt Fence (SF)



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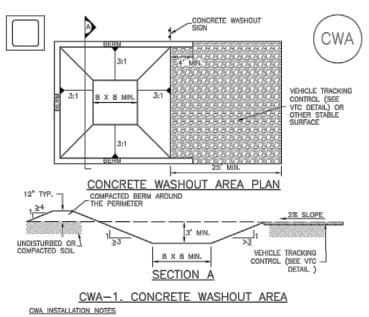
SC-1 SILT FENCE INSTALLATION NOTES SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING, SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION. A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED. 3. COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING, COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND. 4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES. 5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE. 6. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20'). 7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES. SILT FENCE MAINTENANCE NOTES INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE. ENGSION, AND PERFORM NECESSARY MAINTENANCE. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY. 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE. 4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6". 5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE. 6. SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP. WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD) NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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Concrete Washout Area (CWA)

SF-4



1. SEE PLAN VIEW FOR: -CWA INSTALLATION LOCATION.

2. DO NOT LOCATE AN UNLINED CWA WITHIN 400° OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY, DO NOT LOCATE WITHIN 1,000° OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOLE EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USIG PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED. 3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.

4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP. 5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'. 6. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA. 7. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS INCESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RGS. 8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

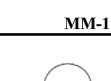
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et me 3	SF-3

Silt Fence (SF)

- November 2010



CWA-3 Urban Storm Drainage Criteria Manual Volume 3

EROSION CONTROL NOTES

- 1. THE PERMITTEE AND/OR CONTRACTOR SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO OR, ACCUMULATE IN, THE FLOWLINES, STORM DRAINAGE APPURTENANCES, AND PUBLIC RIGHTS OF WAYS OF THE CITY AND COUNTY OF DENVER AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, BORING GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO THE MUNICIPAL SEPARATE STORM SEWER SYSTEM, RECEIVING WATERS, WATERWAYS, WETLANDS, AND OR OTHER PUBLIC OR PRIVATE PROPERTIES, RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- SOIL STABILIZATION MEASURES SHALL BE IMPLEMENTED WITHIN FOURTEEN (14) DAYS FOLLOWING COMPLETION OF GRADING ACTIVITIES. STABILIZATION OF DISTURBED AREAS ADJACENT TO RECEIVING WATERS OR WITH SLOPES 3 TO 1 OR GREATER SHALL BE COMPLETED WITHIN SEVEN (7) DAYS FOLLOWING COMPLETION OF GRADING ACTIVITIES. NOTE: FEDERAL AND STATE REGULATIONS MAY SOON REQUIRE STABILIZATION WITHIN SEVEN (7) DAYS OF COMPLETION OF GRADING ACTIVITIES. IN SUCH CASES, THE SHORTER TIMEFRAME SHALL APPLY TO PROJECTS WITHIN DENVER AS WELL.
- 4. THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS OF WAY.
- 5. THE USE OF REBAR TO ANCHOR BEST MANAGEMENT PRACTICES IS PROHIBITED." STEEL FENCE POSTS MAY BE USED ON A CASE BY CASE BASIS AND REQUIRES APPROVAL FROM THE CITY AND COUNTY OF DENVER SWMP REVIEWER OR THE STORMWATER ENFORCEMENT INVESTIGATOR PRIOR TO INSTALLATION.
- 6. SOILS THAT WILL BE STOCKPILED FOR MORE THAN THIRTY (30) DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN FOURTEEN (14) DAYS OF STOCKPILE CONSTRUCTION. STABILIZATION OF STOCKPILES LOCATED WITHIN 100 FEET OF RECEIVING WATERS, OR WITH SLOPES 3 TO 1 OR GREATER SHALL BE COMPLETED WITHIN SEVEN (7) DAYS FOLLOWING STOCKPILE CONSTRUCTION. STABILIZATION AND PROTECTION OF THE STOCKPILE MAY BE ACCOMPLISHED BY ANY OF THE FOLLOWING: MULCHING, TEMPORARY/PERMANENT REVEGETATION OPERATIONS, CHEMICAL SOIL STABILIZER APPLICATION (REQUIRES DENVER PUBLIC WORKS APPROVAL), OR EROSION CONTROL MATTING/GEOTEXTILES. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF RECEIVING WATERS, A DRAINAGEWAY OR THE SITE PERIMETER, ADDITIONAL SEDIMENT CONTROLS SUCH SHALL BE REQUIRED.
- APPROVED EROSION AND SEDIMENT CONTROL 'BEST MANAGEMENT PRACTICES' SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT. AT A MINIMUM, THE PERMITTEE OR CONTRACTOR SHALL PRODUCE AND RETAIN WEEKLY WRITTEN INSPECTION RECORDS FOR ALL BMPS AND AFTER SIGNIFICANT PRECIPITATION EVENTS. ALL NECESSARY MAINTENANCE AND REPAIR SHALL BE COMPLETED IMMEDIATELY. ADDITIONALLY, STREET SWEEPING IS TO BE COMPLETED BY THE CLOSE OF THE BUSINESS DAY OR (AND) ON AN AS NEEDED BASIS THROUGHOUT THE DAY.
- WATER USED IN THE CLEANING OF CEMENT TRUCK DELIVERY CHUTES SHALL BE 8. DISCHARGED INTO A PREDEFINED, CONCRETE WASHOUT AREA ON THE JOB SITE. BERMED CONTAINMENT OR COMMERCIALLY AVAILABLE CONCRETE WASHOUT DEVICES THAT FULLY CONTAIN ALL WASH WATER ARE ACCEPTABLE. WASH WATER DISCHARGED INTO THE CONTAINMENT AREA OR DEVICE SHALL BE ALLOWED TO INFILTRATE, EVAPORATE, AND OR BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. DRIED CEMENT WASTE IS TO BE REMOVED FROM THE CONTAINMENT AREA AND PROPERLY DISPOSED.
- SHOULD THE USE OF A PREDEFINED BERMED CONTAINMENT AREA OR APPROVED WASHOUT DEVICE BE TECHNICALLY INFEASIBLE DUE TO THE PROJECT SIZE. OR LACK OF AN AREA WITH A SUITABLE GROUND SURFACE FOR ESTABLISHING CONTAINMENT, PROPER DISPOSAL OF CONCRETE WASHOUT AND WASH WATER AT THE JOB SITE SHALL CONFORM TO THE APPROVED TECHNIQUES AND PRACTICES IDENTIFIED IN THE COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT'S TRAINING VIDEO ENTITLED 'BUILDING FOR A CLEANER ENVIRONMENT, READY MIX WASHOUT TRAINING' AND ITS ACCOMPANYING MANUAL ENTITLED, 'READY MIX WASHOUT GUIDEBOOK, VEHICLE AND EQUIPMENT WASHOUT AT CONSTRUCTION SITES.'

THE DIRECT OR INDIRECT DISCHARGE OF WATER CONTAINING WASTE CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED.

9. THE CONTRACTOR SHALL PROTECT ALL STORM SEWER FACILITIES ADJACENT TO ANY LOCATION WHERE PAVEMENT CUTTING OPERATIONS INVOLVING WHEEL CUTTING, SAW CUTTING, OR ABRASIVE WATER JET CUTTING ARE TO TAKE PLACE

THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL WASTE PRODUCTS GENERATED BY SAID CUTTING OPERATIONS ON A DAILY BASIS OR AS NEEDED THROUGHOUT THE WORK DAY.

THE DISCHARGE OF ANY WATER CONTAMINATED BY WASTE PRODUCTS FROM CUTTING OPERATIONS TO THE STORM SEWER SYSTEM IS PROHIBITED.

10. PAVED AND IMPERVIOUS SURFACES WHICH ARE ADJACENT TO CONSTRUCTION SITES MUST BE SWEPT ON A DAILY BASIS AND AS NEEDED DURING THE DAY WHEN SEDIMENT AND OTHER MATERIALS ARE TRACKED OR DISCHARGED ONTO THEM. EITHER SWEEPING BY HAND OR USE OF STREET SWEEPERS IS ACCEPTABLE. STREET SWEEPERS USING WATER WHILE SWEEPING IS PREFERRED IN ORDER TO MINIMIZE DUST. FLUSHING OFF PAVED SURFACES WITH WATER IS PROHIBITED.

Concrete Washout Area (CWA)

CWA MAINTENANCE NOTES INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE. 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

MM-1

CWA-4

4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'. 5. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY. 6. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION. (DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD). NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT YARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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Fax (303) 871-9262

SITE IMPROVEMENT CONSTRUCTION PLANS KING SOOPERS #138	NINE MILE CORNER	ARAPAHOE ROAD & 107th STREET	ERIE, COLORADO
# Date <u>1 9/1/21</u>	Issue / Description 2ND CD SUBMITTAL		Init.
2 10/22/21	3RD CD SUBMITTAL		ACJ
		<u>n</u>	
Project No:		KSS	00138
Drawn By:			RDG ACJ
Checked By:			7,000

Sediment Trap (ST)

Description

Sediment traps are formed by excavating an area or by placing an earthen embankment across a low area or drainage swale. Sediment traps are designed to capture drainage from disturbed areas less than one acre and allow settling of sediment.

Appropriate Uses

Sediment traps can be used in combination with other layers of erosion and sediment controls to trap sediment runoff from disturbed area. Photo courtesy of EPA Menu of BMPs. from small drainage areas (less than one conjunction with vehicle tracking controls and wheel wash facilities.

Design and Installation

A sediment trap consists of a small excavated basin with an earthen berm and a riprap outlet. The berm of the sediment trap may be constructed from the excavated material and must be compacted to 95 percent of the maximum density in accordance with ASTM D698. An overflow outlet must be provided at an elevation at least 6 inches below the top of the berm. See Detail ST-1 for additional design and installation information.

Maintenance and Removal

Inspect the sediment trap embankments for stability and seepage.

Remove accumulated sediment as needed to maintain the effectiveness of the sediment trap, typically when the sediment depth is approximately one-half the height of the outflow embankment.

A sediment trap should not be removed until the upstream area is sufficiently stabilized. Upon removal of the trap, the disturbed area should be covered with topsoil and stabilized.

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SC-8



acre) or areas with localized high sediment loading. For example, sediment traps are often provided in

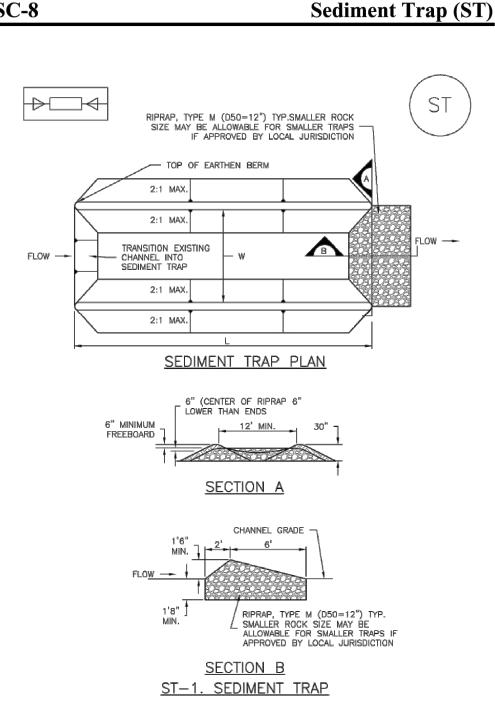
Inspect the outlet for debris and damage. Repair damage to the outlet, and remove all obstructions.

Sediment Trap	
Functions	
Erosion Control	No
Sediment Control	Yes
Site/Material Management	No

ST-1

ST-2

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SC-8

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Sediment Trap (ST)

SC-8

SEDIMENT TRAP INSTALLATION NOTES 1. SEE PLAN VIEW FOR: -LOCATION, LENGTH AND WIDTH OF SEDIMENT TRAP. 2. ONLY USE FOR DRAINAGE AREAS LESS THAN 1 ACRE. SEDIMENT TRAPS SHALL BE INSTALLED PRIOR TO ANY UPGRADIENT LAND-DISTURBING ACTIVITIES. 4. SEDIMENT TRAP BERM SHALL BE CONSTRUCTED FROM MATERIAL FROM EXCAVATION. THE BERM SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698. 5. SEDIMENT TRAP OUTLET TO BE CONSTRUCTED OF RIPRAP, TYPE M (D50=12") TYP.SMALLER ROCK SIZE MAY BE ALLOWABLE FOR SMALLER TRAPS IF APPROVED BY LOCAL JURISDICTION.

6. THE TOP OF THE EARTHEN BERM SHALL BE A MINIMUM OF 6" HIGHER THAN THE TOP OF THE RIPRAP OUTLET STRUCTURE.

7. THE ENDS OF THE RIPRAP OUTLET STRUCTURE SHALL BE A MINIMUM OF 6" HIGHER THAN THE CENTER OF THE OUTLET STRUCTURE. SEDIMENT TRAP MAINTENANCE NOTES

INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.

FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMP[®] IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

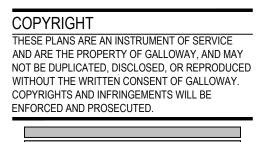
4. REMOVE SEDIMENT ACCUMULATED IN TRAP AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN THE SEDIMENT DEPTH REACHES & THE HEIGHT OF THE RIPRAP OUTLET.

5. SEDIMENT TRAPS SHALL REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION. 6. WHEN SEDIMENT TRAPS ARE REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD) NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

November 2010

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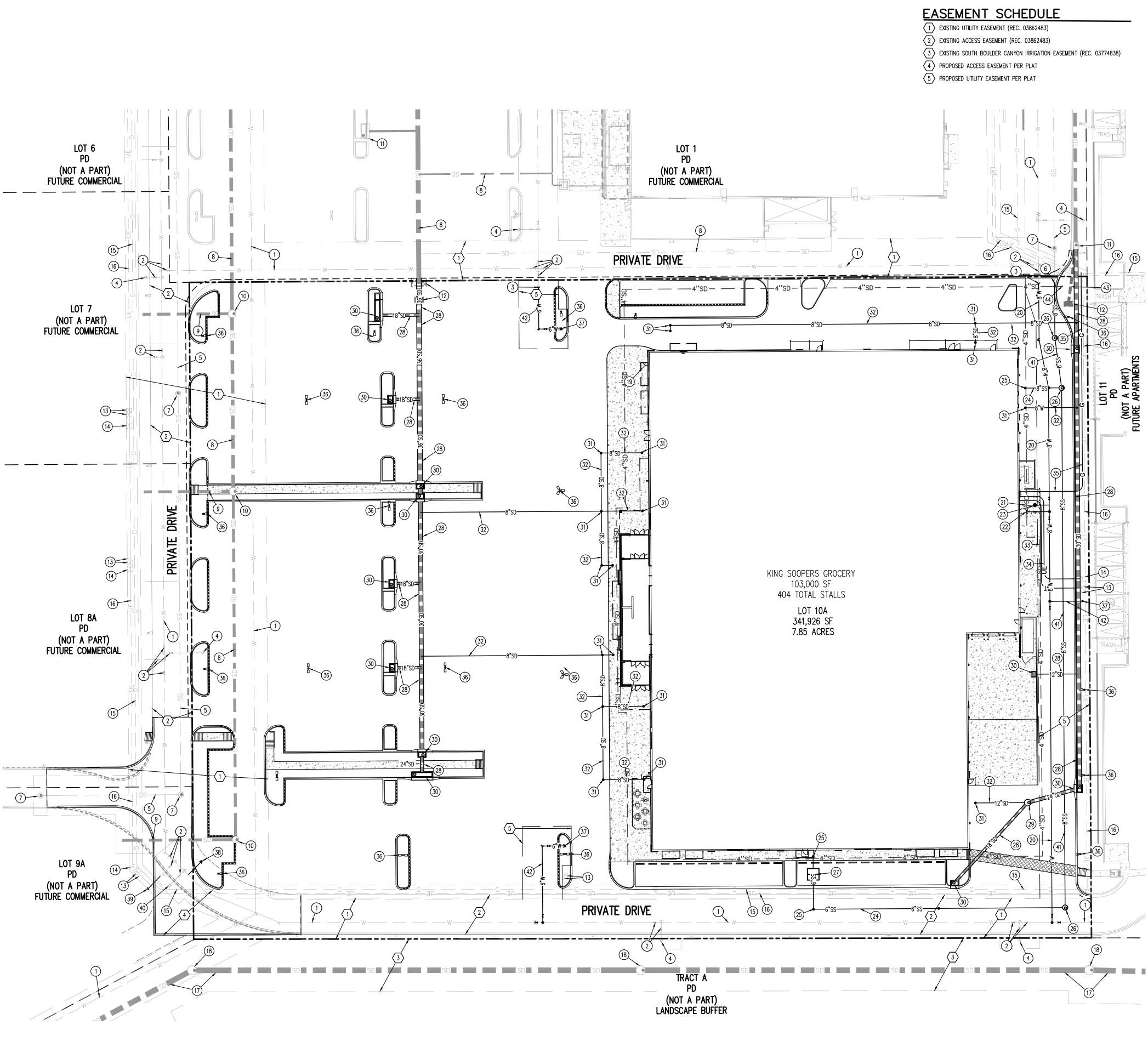




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SITE IMPROVEMENT CONSTRUCTION PLANS KING SOOPERS #138	NINE MILE CORNER	ARAPAHOE ROAD & 107th STREET ERIE. COLORADO	
# Date 1 9/1/21 2 10/22/21	Issue / Description 2ND CD SUBMITTAL 3RD CD SUBMITTAL	Init AC	J
Project No:		KSS00013	
		KSS00013 RD(G

C3.4



BASIS OF BEARING BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE

COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST BEARS NO0'20'15"W, MONUMENTED BY THE CENTER-NORTH SIXTEENTH CORNER OF SAID SECTION 34, BEING A 3–1/2 INCH ALUMINUM CAP STAMPED "PLS 38064" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 34, BEING A 2-1/2 INCH ALUMINUM CAP IN RANGE BOX, AS SHOWN HEREON.

BENCHMARK

BENCHMARK "WANAKA", BEING A 3-1/4" BRASS CAP STAMPED "WANAKA", LOCATED ON THE EAST SIDE OF WANAKA LAKE, 41 FEET SOUTH-SOUTHEAST FROM THE CENTER OF THE LAKE OVERFLOW, 4.5 FEET SOUTH FROM A WITNESS POST AND 2.4 FEET EAST-SOUTHEAST FROM THE EASTERN EDGE OF A NORTH-SOUTH SIDEWALK. NAVD88 ELEVATION = 5323.00 (GPS OBS.) SHOT=5323.77 VIA LEICA SPIDERNET NETWORK

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY OMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

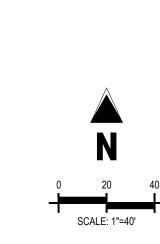
CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION OR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR EDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

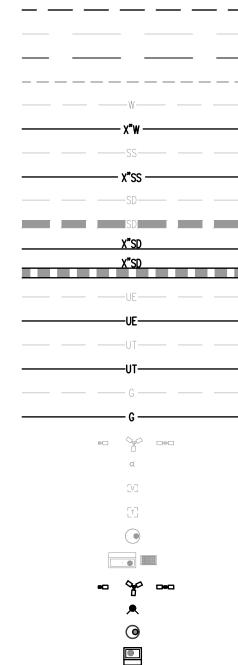
CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

DTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING R CONSTRUCTION WORK.

UTILITY LEGEND





PROPERTY BOUNDARY LINE ____ ____ ADJACENT PROPERTY LINE EXISTING EASEMENT BOUNDARY LINE _____ EASEMENT BOUNDARY LINE - SETBACK BOUNDARY LINE EXISTING WATER LINE EXISTING SANITARY SEWER - PROPOSED SANITARY SEWER EXISTING STORM SEWER (LESS THAN 12") EXISTING STORM SEWER (12" AND GREATER) PROPOSED STORM SEWER (LESS THAN 12") X^{**}SD PROPOSED STORM SEWER (12" AND GREATER) EXISTING UNDERGROUND ELECTRICAL - PROPOSED UNDERGROUND ELECTRICAL EXISTING UNDERGROUND TELEPHONE - PROPOSED UNDERGROUND TELEPHONE EXISTING UNDERGROUND GAS - PROPOSED UNDERGROUND GAS EXISTING SITE LIGHTING EXISTING FIRE HYDRANT EXISTING TELEPHONE RISER EXISTING TRANSFORMER EXISTING MANHOLE EXISTING STORM DRAIN INLET PROPOSED SITE LIGHTING PROPOSED FIRE HYDRANT PROPOSED MANHOLE COVER PROPOSED INLET

SCHEDULE

- (1) EXISTING 12" WATER LINE
- (2) EXISTING WATER VALVE
- (3) EXISTING WATER MAIN PLUG, REMOVE AND CONNECT TO EXISTING PIPE
- (4) EXISTING FIRE HYDRANT TO REMAIN
- (5) EXISTING 8" SANITARY SEWER LINE TO REMAIN
- (6) EXISTING SANITARY SEWER PLUG, REMOVE AND CONNECT TO EXISTING PIPE
- (7) EXISTING SANITARY SEWER MANHOLE TO REMAIN
- (8) EXISTING STORM DRAIN PIPE TO REMAIN
- (9) EXISTING STORM DRAIN PLUG, REMOVE AND CONNECT TO EXISTING PIPE
- (10) EXISTING STORM DRAIN MANHOLE TO REMAIN
- (11) EXISTING STORM DRAIN INLET TO REMAIN
- (12) EXISTING STORM DRAIN INLET TO BE REMOVED (13) EXISTING TELEPHONE RISER AND NODE TO REMAIN
- (14) EXISTING ELECTRICAL TRANSFORMER TO REMAIN
- (15) EXISTING GAS LINE TO REMAIN
- (16) EXISTING UNDERGROUND ELECTRICAL LINE TO REMAIN
- (17) EXISTING IRRIGATION DITCH BYPASS LINE TO REMAIN
- (18) EXISTING IRRIGATION DITCH MANHOLE TO REMAIN
- (19) PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- (20) PROPOSED 8" WATER LINE MAIN; REF. WATER LINE PLAN AND PROFILES
- (21) PROPOSED 3" DOMESTIC WATER SERVICE; REF. WATER LINE PLAN AND PROFILES
- (22) PROPOSED 6" FIRE LINE; REF. WATER LINE PLAN AND PROFILES
- (23) PROPOSED 3" WATER METER; REF. WATER LINE PLAN AND PROFILES
- (24) PROPOSED 6" SANITARY SEWER SERVICE; REF. SANITARY SEWER PLAN AND PROFILES
- (25) PROPOSED 6" SANITARY SEWER CLEANOUT; REF. SANITARY SEWER PLAN AND PROFILES
- (26) PROPOSED SANITARY SEWER MANHOLE; REF. SANITARY SEWER PLAN AND PROFILES
- (27) PROPOSED SANITARY SEWER GREASE INTERCEPTOR; REF. SANITARY SEWER PLAN AND PROFILES
- (28) PROPOSED STORM DRAIN LINE (SIZE AS NOTED); REF. STORM DRAIN PLAN AND PROFILES (PRIVATE)
- (29) PROPOSED STORM DRAIN MANHOLE (5'0); REF. STORM DRAIN PLAN AND PROFILES (PRIVATE)
- (30) PROPOSED STORM DRAIN INLET; REF. STORM DRAIN PLAN AND PROFILES (PRIVATE)
- (31) PROPOSED STORM DRAIN CLEANOUT; REF. STORM DRAIN PLAN AND PROFILES (PRIVATE)
- (32) PROPOSED ROOF DRAIN LINE; REF. ROOF DRAIN PLAN AND PROFILES (PRIVATE)
- (33) PROPOSED COMMUNICATION/FIBER OPTIC SERVICE
- (34) PROPOSED SECONDARY ELECTRIC SERVICE LINE
- (35) PROPOSED GAS SERVICE LINE
- (36) PROPOSED SITE LIGHT; REF. PHOTOMETRIC PLANS
- (37) PROPOSED FIRE HYDRANT AND ASSEMBLY; REF. WATER LINE PLAN AND PROFILES
- (38) RELOCATED FIRE HYDRANT AND ASSEMBLY; REF. WATER LINE PLAN AND PROFILES
- (39) EXTEND LOT 9 WATER SERVICE STUB PAST NEW CURB AND GUTTER; REF. WATER LINE PLAN AND PROFILES
- (40) EXISTING FIRE HYDRANT TO BE RELOCATED
- (41) PROPOSED 8" SANITARY SEWER MAIN
- (42) PROPOSED 6" FIRE HYDRANT LATERAL; REF. WATER LINE PLAN AND PROFILES
- (43) REMOVE EXISTING 24" STORM DRAIN PIPE AND REPLACE WITH PROPOSED 30" STORM
- DRAIN PIPE; REF. STORM DRAIN PLAN AND PROFILES (44) EXISTING PERIMETER DRAIN RISER PIPE

CAUTION - NOTICE TO CONTRACTOR 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY

THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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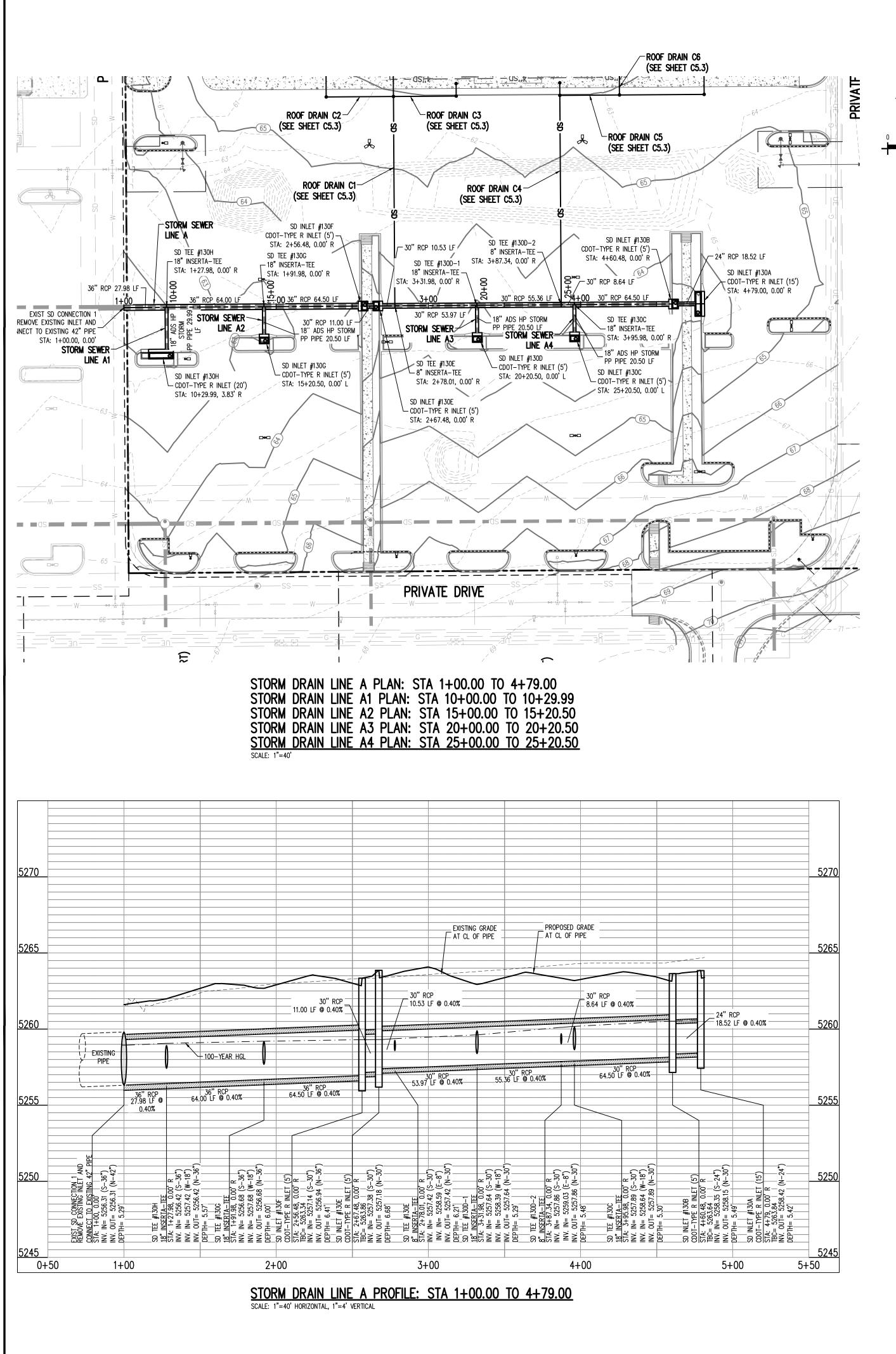


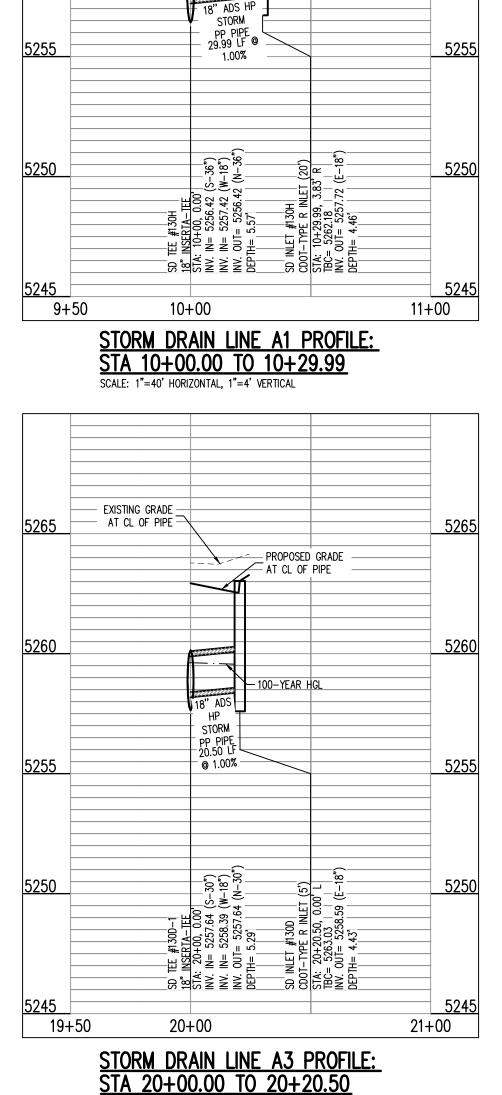
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SITE IMPROVEMENT CONSTRUCTION PLANS KING SOOPERS #138	NINE MILE CORNER	ARAPAHOE ROAD & 107th STREET ERIE, COLORADO
# Date 1 9/1/21 2 10/22/21	Issue / Description 2ND CD SUBMITTAL 3RD CD SUBMITTAL	Init. ACJ ACJ
Project No: Drawn By:		KSS000138 RDG
Checked By:		ACJ

C4.′







SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL

EXISTING GRADE

AT CL OF PIPE

PROPOSED GRADE

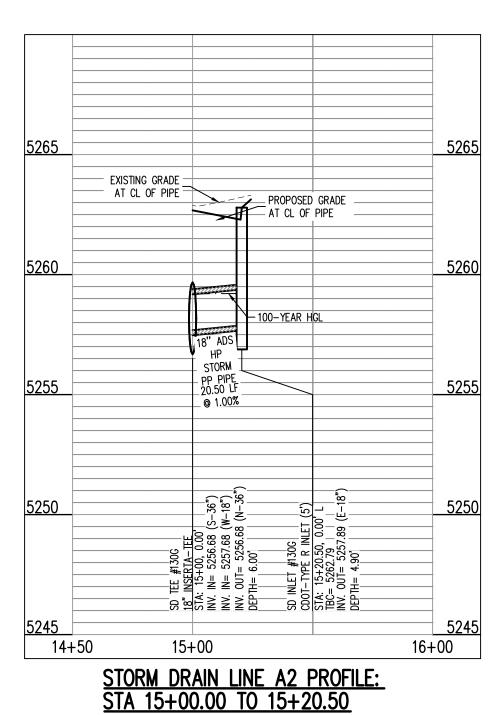
_ AT CL OF PIPE

0-YEAR HO

{ Z

SCALE: 1"=40'

<u>5260</u>



SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL

<u>aanna an</u>na

18" ADS

Storm PP PIPE 20.50 LF

0 1.00%

100-YEAR HG

EXISTING GRADE

5265

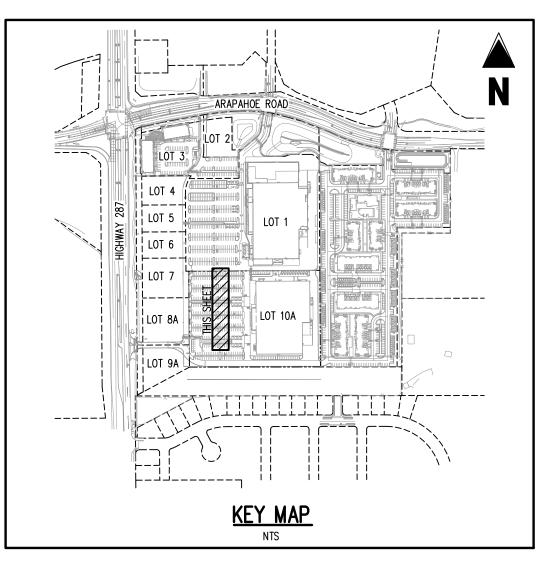
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5255

5250

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AT CL OF PIPE -



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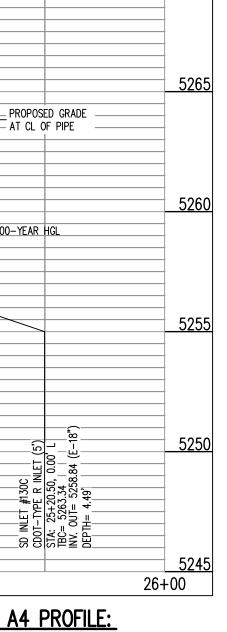
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24+50 STORM DRAIN LINE A4 PROFILE: STA 25+00.00 TO 25+20.50

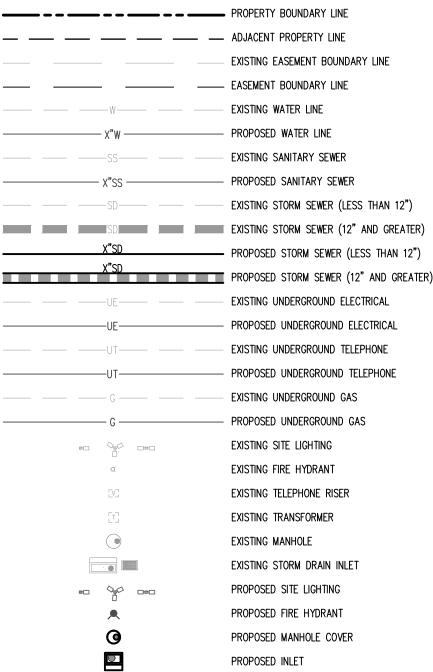
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL







UTILITY LEGEND



TE: LENGTHS OF STORM/SANITARY SEWER ARE THE ORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO ENTER OF STRUCTURE UNLESS OTHERWISE NOTED. HEREFORE, LENGTHS SHOWN ARE APPROXIMATE AND COULD /ARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS OTE: MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL EPARATION BETWEEN POTABLE WATERLINE AND STORM OR

SANITARY SEWERS AND LATERALS. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

ONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

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SHOT=5323.77 VIA LEICA SPIDERNET NETWORK BASIS OF BEARING

THE ENGINEER PRIOR TO CONSTRUCTION.

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST BEARS NO0'20'15"W, MONUMENTED BY THE CENTER-NORTH SIXTEENTH CORNER OF SAID SECTION 34, BEING A 3-1/2 INCH ALUMINUM CAP STAMPED "PLS 38064" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 34, BEING A 2-1/2 INCH ALUMINUM CAP IN RANGE BOX, AS SHOWN HEREON.

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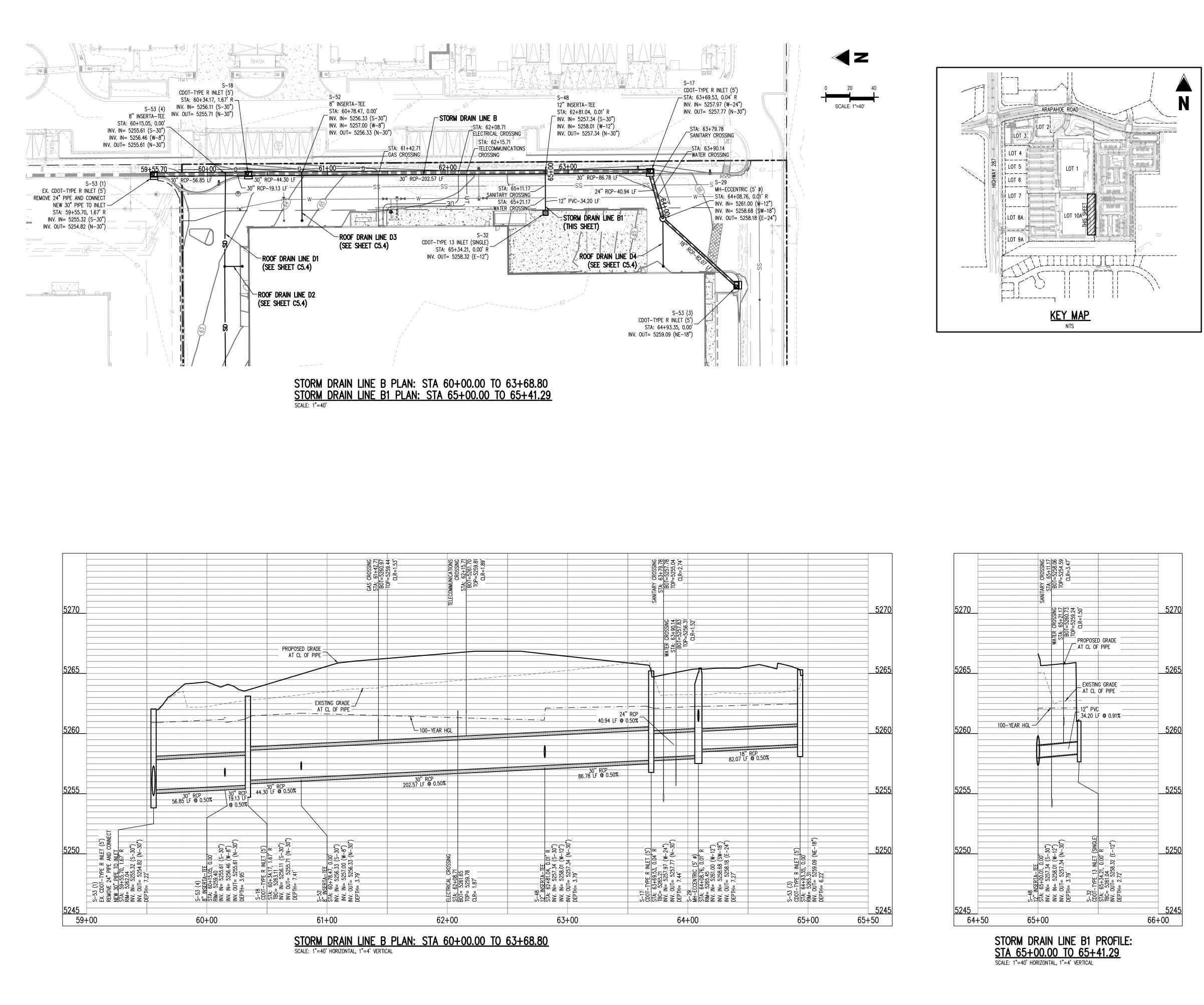
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SITE IMPROVEMENT CONSTRUCTION PLANS KING SOOPERS #138	VINE MILE CORNER	ARAPAHOE ROAD & 107th STREET ERIE, COLORADO	
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	EXISTING EASEMENT BOUNDARY LINE
	EASEMENT BOUNDARY LINE
W	EXISTING WATER LINE
X"W	PROPOSED WATER LINE
SS	EXISTING SANITARY SEWER
× 88	EXISTING STORM SEWER (LESS THAN 12")
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	EXISTING TRANSFORMER
	EXISTING MANHOLE
	EXISTING STORM DRAIN INLET
	PROPOSED SITE LIGHTING
A	PROPOSED FIRE HYDRANT
O	PROPOSED MANHOLE COVER
	PROPOSED INLET
CENTER OF STRUCTURE UNL THEREFORE, LENGTHS SHOW	OM CENTER OF STRUCTURE TO
SEPARATION BETWEEN POTA	8" VERTICAL AND 10' HORIZONTAL ABLE WATERLINE AND STORM OR ERALS. A 12" VERTICAL CLEARANCE EEN IRRIGATION LINES.
REPORTS AND/OR ANY OTH	FOR AS-BUILT DRAWINGS, TESTS, ER CERTIFICATES OR INFORMATION NCE OF WORK FROM CITY, UTILITY GOVERNING AGENCY.
NOTE: CONTRACTOR SHALL MONUMENTATION. CONTRACT SURVEYOR REPLACE ANY D. MONUMENTATION AT THEIR	FOR SHALL HAVE LICENSED AMAGED OR DISTURBED

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COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL. STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK. BENCHMARK BENCHMARK "WANAKA", BEING A 3-1/4" BRASS CAP STAMPED "WANAKA", LOCATED ON THE EAST SIDE OF WANAKA LAKE, 41 FEET SOUTH-SOUTHEAST FROM THE CENTER OF THE LAKE OVERFLOW, 4.5 FEET SOUTH FROM A WITNESS POST AND 2.4 FEET EAST-SOUTHEAST FROM THE EASTERN EDGE OF A NORTH-SOUTH SIDEWALK. NAVD88 ELEVATION = 5323.00 (GPS OBS.) SHOT=5323.77 VIA LEICA SPIDERNET NETWORK BASIS OF BEARING BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST BEARS NO0"20'15"W, MONUMENTED BY THE CENTER-NORTH SIXTEENTH CORNER OF SAID SECTION 34, BEING A 3-1/2 INCH ALUMINUM CAP STAMPED "PLS 38064" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 34, BEING A 2-1/2 INCH ALUMINUM CAP IN RANGE BOX, AS SHOWN HEREON. <u>CAUTION – NOTICE TO CONTRACTOR</u> 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO

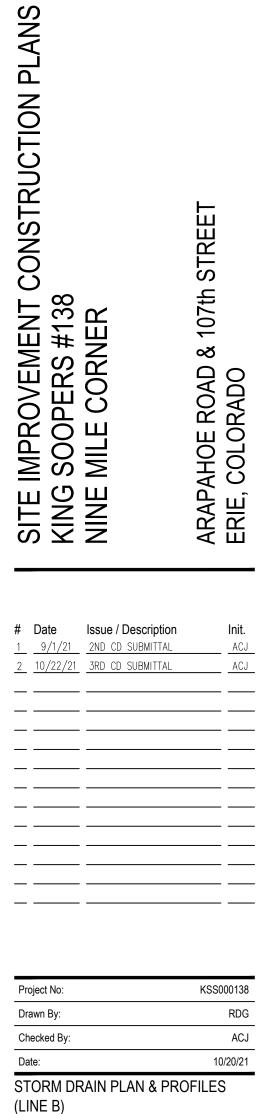
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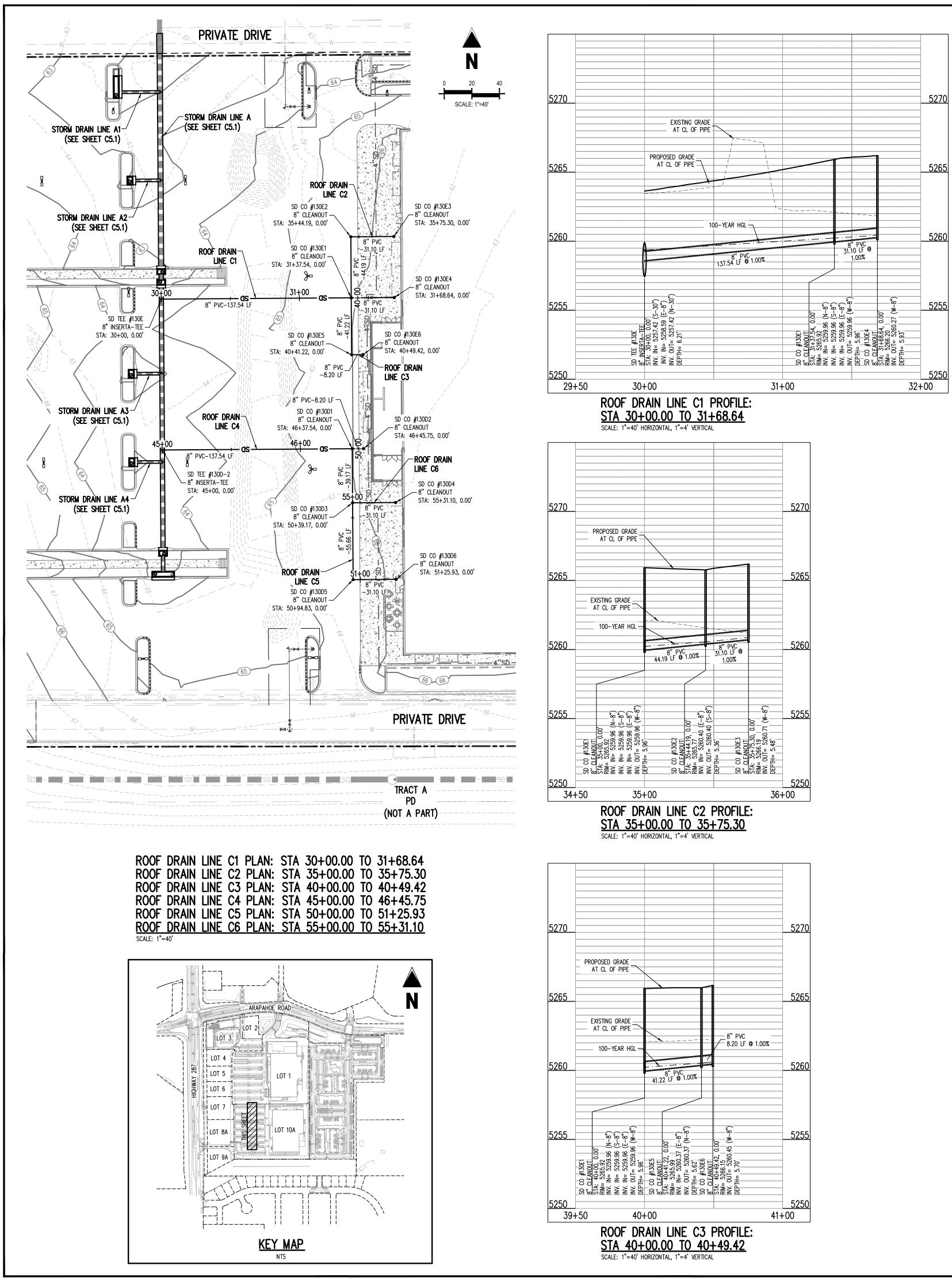
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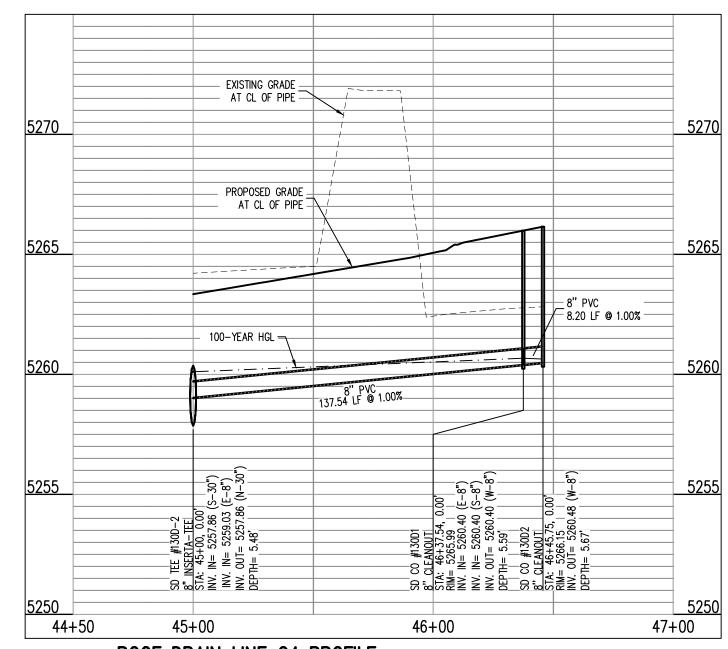
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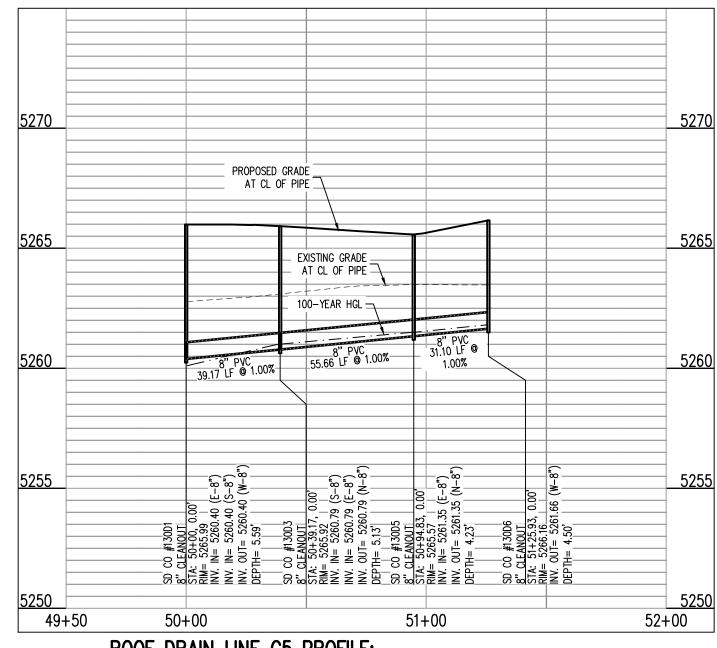


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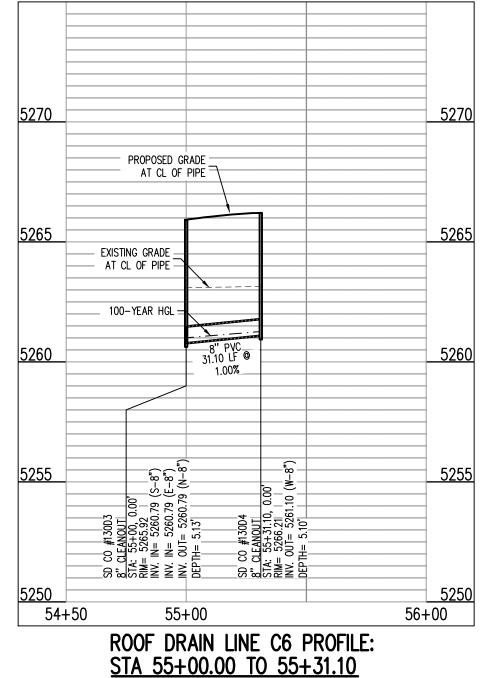




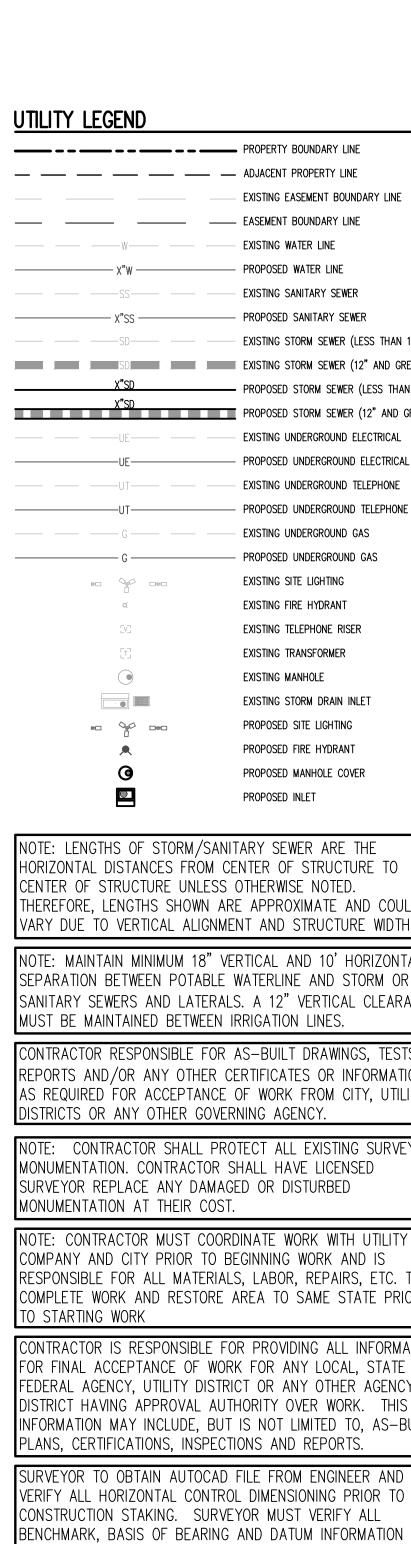
ROOF DRAIN LINE C4 PROFILE: STA 45+00.00 TO 46+45.75 SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



ROOF DRAIN LINE C5 PROFILE: STA 50+00.00 TO 51+25.93 SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



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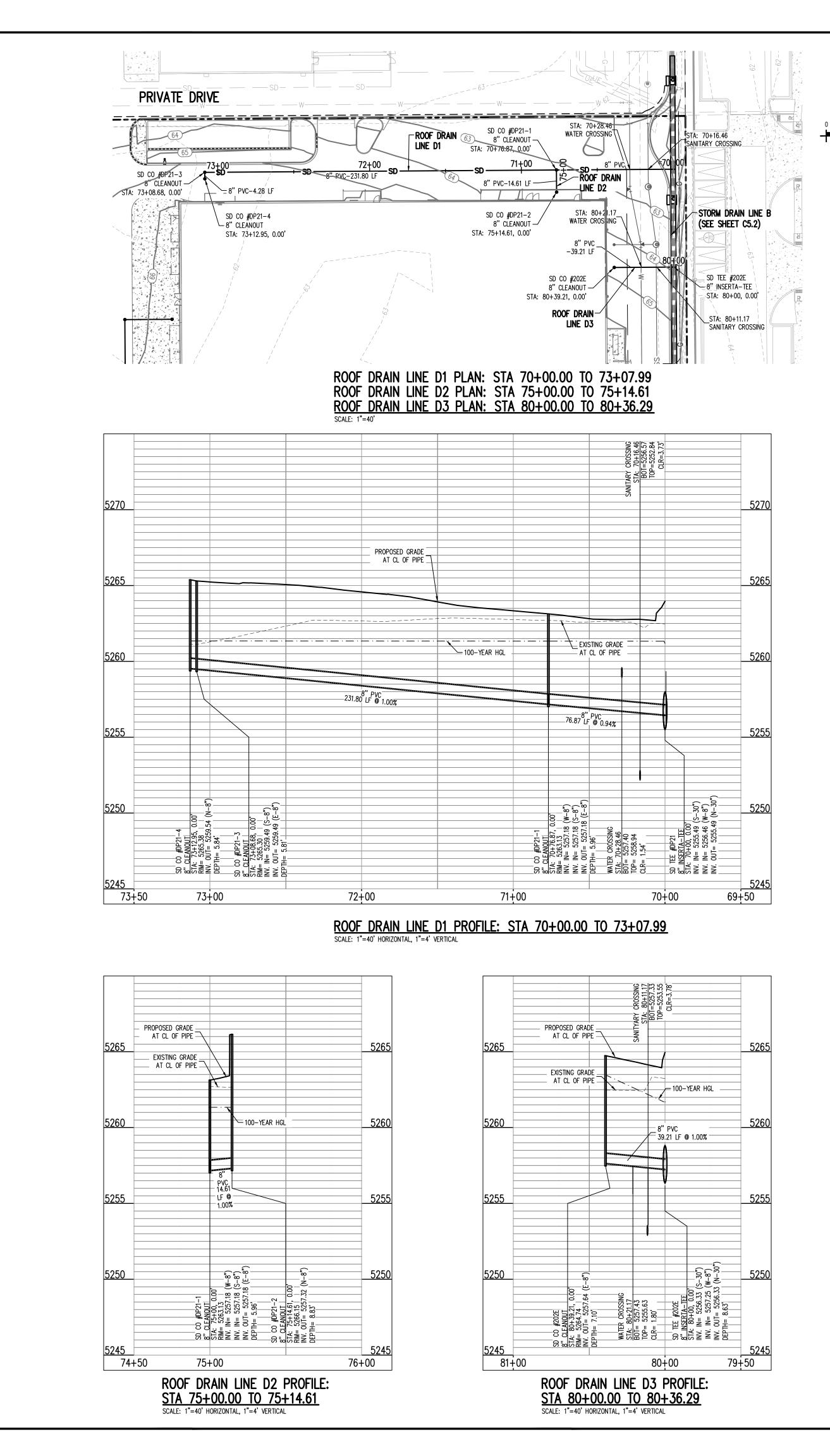


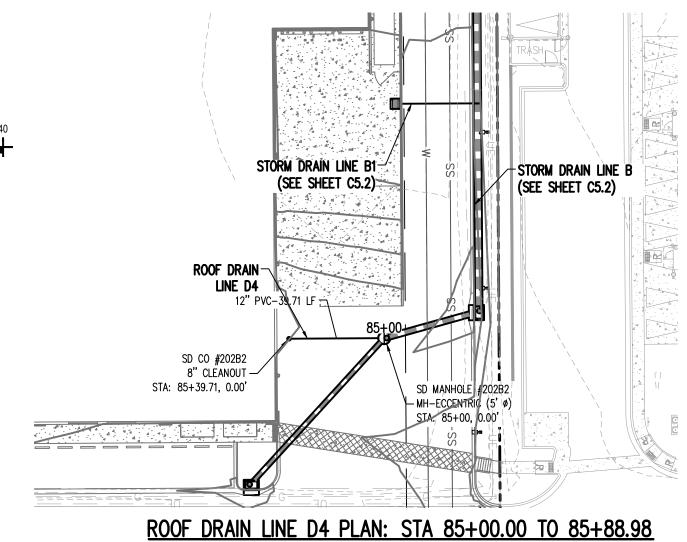
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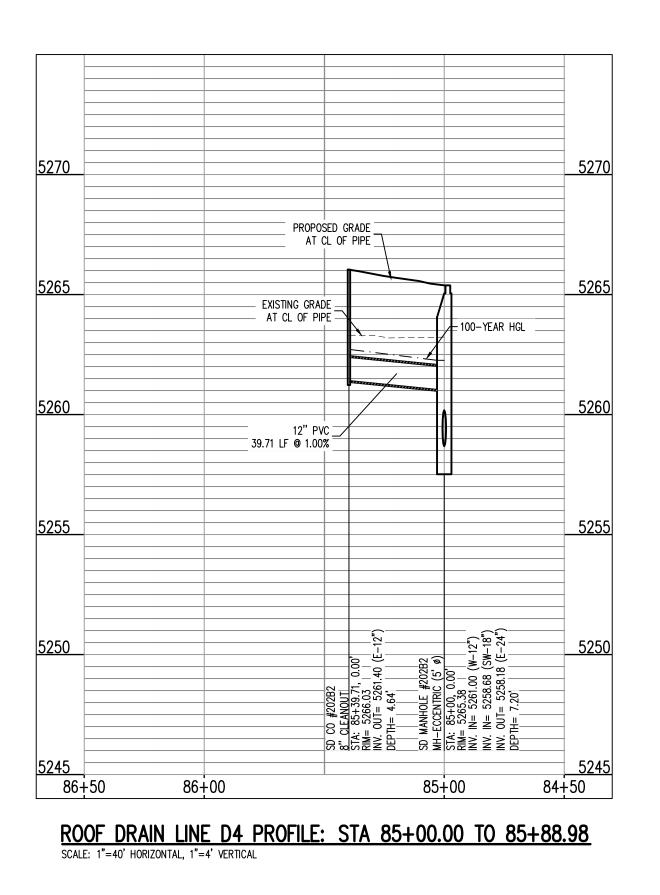
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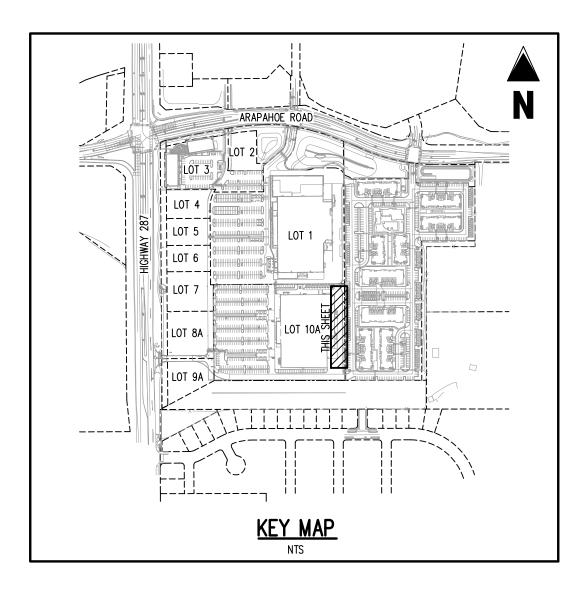




SCALE: 1"=40

SCALE: 1"=40'





	- PROPERTY BOUNDARY LINE
	- ADJACENT PROPERTY LINE
	- EXISTING EASEMENT BOUNDARY LINE
	- EASEMENT BOUNDARY LINE
W	- EXISTING WATER LINE
X"W	- PROPOSED WATER LINE
SS	- EXISTING SANITARY SEWER
X"SS	- PROPOSED SANITARY SEWER
SD	- EXISTING STORM SEWER (LESS THAN 12")
SD 1	EXISTING STORM SEWER (12" AND GREATER)
X"SD	- PROPOSED STORM SEWER (LESS THAN 12")
X"SD	PROPOSED STORM SEWER (12" AND GREATER
UE	- EXISTING UNDERGROUND ELECTRICAL
UE	- PROPOSED UNDERGROUND ELECTRICAL
UT	- Existing Underground Telephone
UT	- PROPOSED UNDERGROUND TELEPHONE
G G	- EXISTING UNDERGROUND GAS
G	- PROPOSED UNDERGROUND GAS
	EXISTING SITE LIGHTING
ά	EXISTING FIRE HYDRANT
	EXISTING TELEPHONE RISER
[7]	EXISTING TRANSFORMER
	EXISTING MANHOLE
	EXISTING STORM DRAIN INLET
	PROPOSED SITE LIGHTING

TE: LENGTHS OF STORM/SANITARY SEWER ARE THE ORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO ENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE, LENGTHS SHOWN ARE APPROXIMATE AND COULD /ARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS OTE: MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTA

0

PROPOSED FIRE HYDRANT

PROPOSED INLET

PROPOSED MANHOLE COVER

SEPARATION BETWEEN POTABLE WATERLINE AND STORM OR SANITARY SEWERS AND LATERALS. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

JNTRACTUR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

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SITE IMPROVEMENT CONSTRUCTION PLANE SITE IMPROVEMENT CONSTRUCTION PLANE EVICE COLORERS #138 NINE MILE CORNER ARAPHOE ROAD & 107th STREET COLORADO BRIE COLORADO BRIE COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO COLORADO	King Soopers Supermarket / Petroleum 65 Tejon Street Denver, CO 80223 Phone (303) 778-3053 Fax (303) 871-9262 SULE IMDRONEURON LINERUAL CONSULTOR NUR NINE MILE COUNER BURN RULE COUNCIL	King Soopers Supermarket / Petroleum 65 Tejon Street Denver, CO 80223 Phone (303) 778-3053 Fax (303) 871-9262 SILE IMDBONEURA KING SOODEEKS #138 NINE WILE COUNER BUILD OBJEKS #138 NINE WILE COUNER	King Soopers Supermarket / Petroleum 65 Tejon Street Denver, CO 80223 Phone (303) 778-3053 Fax (303) 871-9262 SILE IMDRONEUX #138 KING SOODELS #138 NINE WILE COUNTRY NINE WILE COUNTRY Build Scondels #138 SUBURCION DATE Build Scondels #138 Build Sconde	AND ARE THE NOT BE DUPLI WITHOUT THE COPYRIGHTS	ARE AN INSTRUI PROPERTY OF G CATED, DISCLOS	
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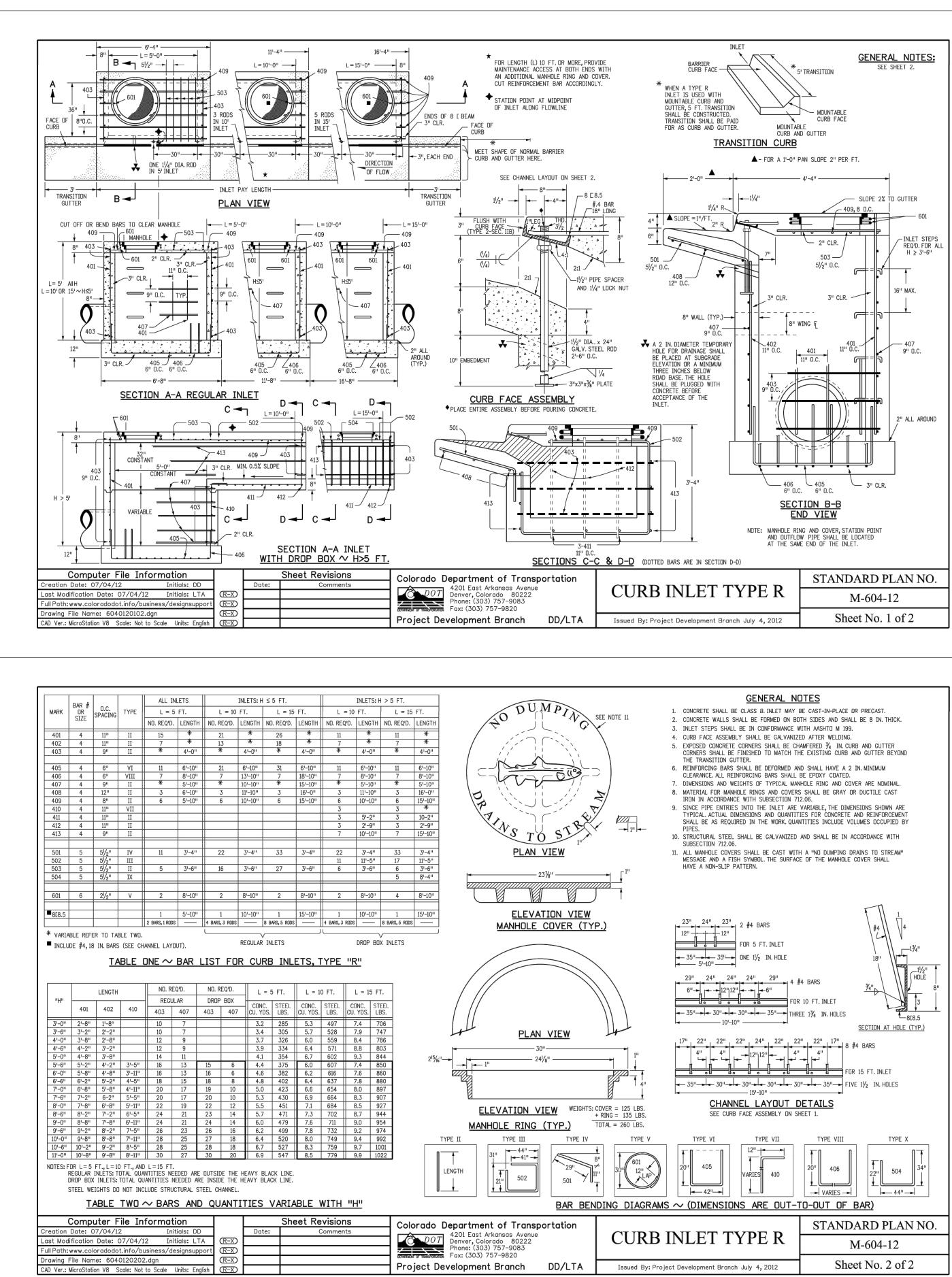
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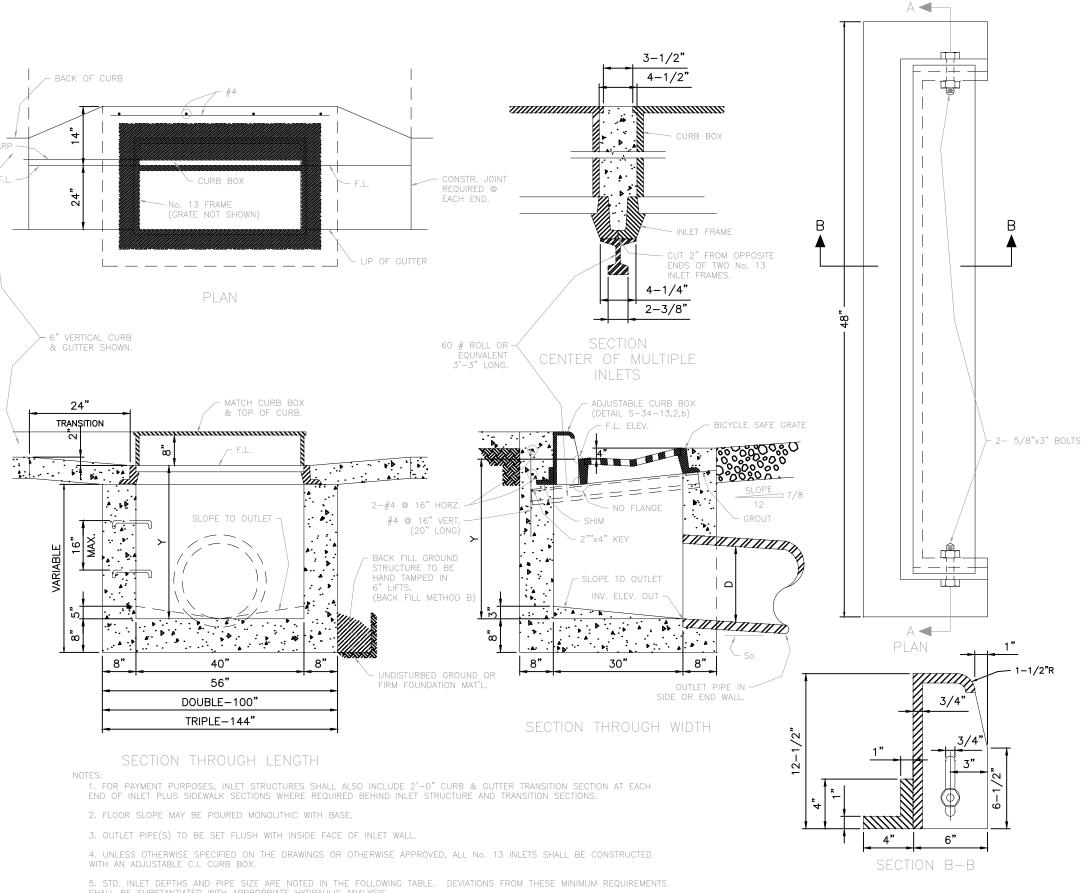
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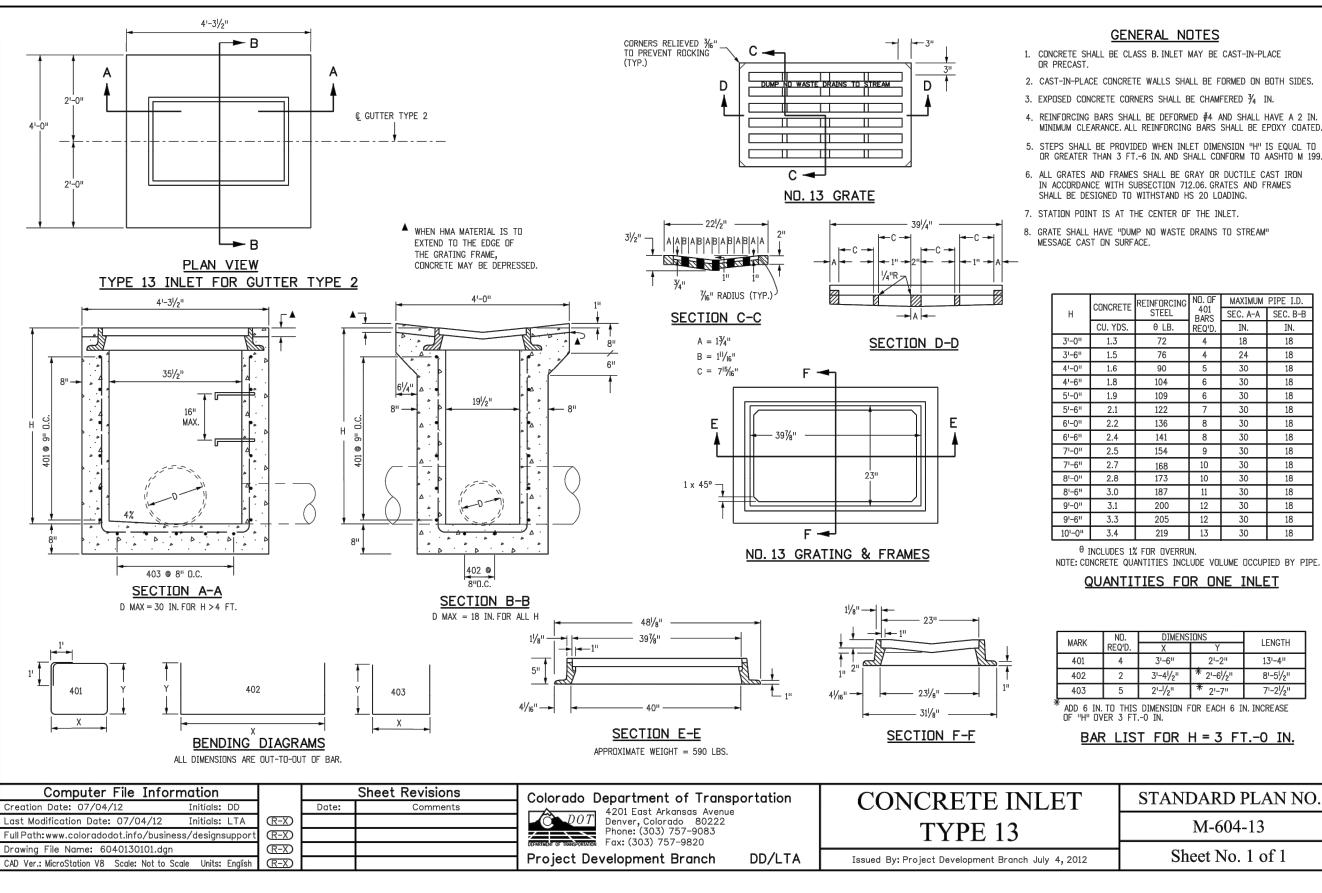




5. STD. INLET DEPTHS AND PIPE SIZE ARE NOTED IN THE FOLLOWING TABLE. DEVIATIONS FROM THESE MINIMUM REQUIREMENTS SHALL BE SUBSTANTIATED WITH APPROPRIATE HYDRAULIC ANALYSIS.

6. INLETS DEEPER THAN 4' WILL REQUIRE STEPS AT 16" MAX. SPACING

COMBINATION INLET TYPE 13 NOT TO SCALE



3'-0"	1.3	72	4	18	18
3'-6"	1.5	76	4	24	18
4'-0"	1.6	90	5	30	18
4'-6"	1.8	104	6	30	18
5'-0"	1.9	109	6	30	18
5'-6"	2.1	122	7	30	18
6'-0"	2.2	136	8	30	18
6'-6"	2.4	141	8	30	18
7'-0"	2.5	154	9	30	18
7'-6"	2.7	168	10	30	18
8'-0"	2.8	173	10	30	18
8'-6"	3.0	187	11	30	18
9'-0"	3.1	200	12	30	18
9'-6"	3.3	205	12	30	18
10'-0"	3.4	219	13	30	18
		FOR OVERRU			

8'-0"	2.8	1/3	10	- 30	18	L
8'-6"	3.0	187	11	30	18	
9'-0"	3.1	200	12	30	18	
9'-6"	3.3	205	12	30	18	
10'-0"	3.4	219	13	30	18	
		FOR OVERRU			IED BY PIP	E

4'-6"	1.8	104	6	30	18
5'-0"	1.9	109	6	30	18
5'-6"	2.1	122	7	30	18
6'-0"	2.2	136	8	30	18
6'-6''	2.4	141	8	30	18
7'-0"	2.5	154	9	30	18
7'-6"	2.7	168	10	30	18
8'-0"	2.8	173	10	30	18
8'-6"	3.0	187	11	30	18
9'-0"	3.1	200	12	30	18
9'-6"	3.3	205	12	30	18
101-01	3 /	210	13	30	18

NOTE: CONCRETE QUANTITIES INCLUDE VOLUME OCCUPIED BY PIPE.

IMPROVEMENT (SOOPERS #138 MILE CORNER 107th ళ ROAD AHOE SITE I KING NINE ARAP, ERIE, # Date Issue / Description Init. 1 <u>9/1/21</u> <u>2ND CD SUBMITTAL</u> ACJ 2 <u>10/22/21</u> <u>3RD CD SUBMITTAL</u> ACJ _ ____ _ ____ _ ___ _ ___ _ ____ _ ____

_ ___ __ __ __ __

KSS000138

RDG

ACJ

10/20/21

STORM DRAIN DETAILS

Project No:

Drawn By:

Date:

Checked By:

 \mathbf{O}

King Soopers 65 Tejon Street Denver, CO 80223



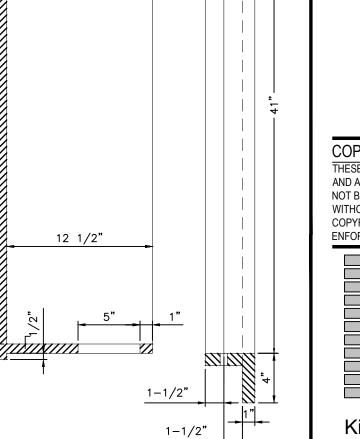


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SECTION A-A

3/4"

OF STD. MIN. MIN.

INLETS DEPTH DIA. SLOPE

SINGLE 3'-6" 18" 1.0%

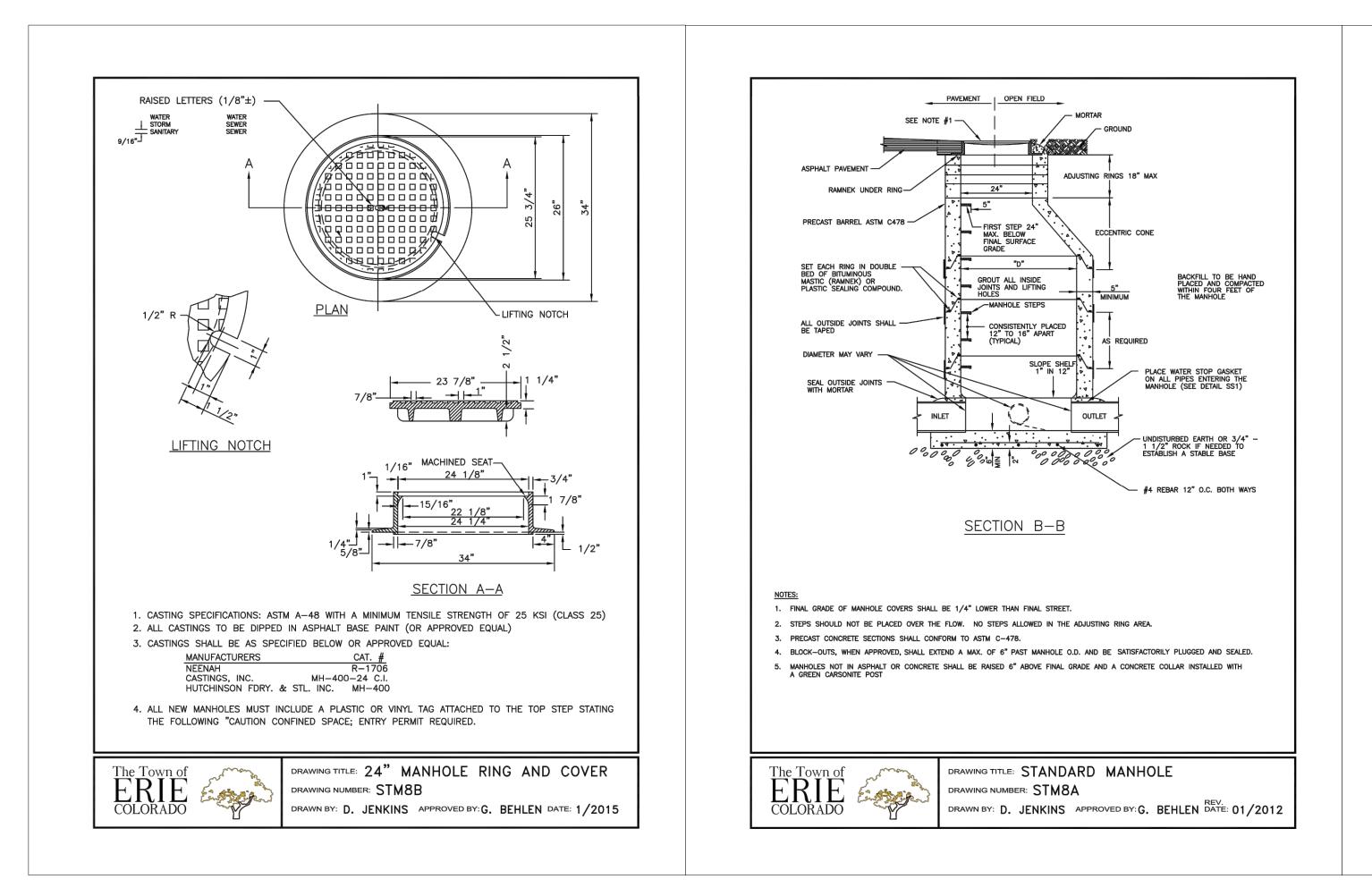
DOUBLE 4'-0" 18" 1.8%

TRIPLE 4'-6" 21" 1.8%

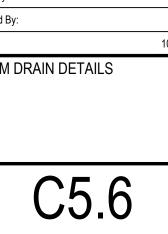
3. MINIMUM CURB OPENING AREA=150 SQ. IN.

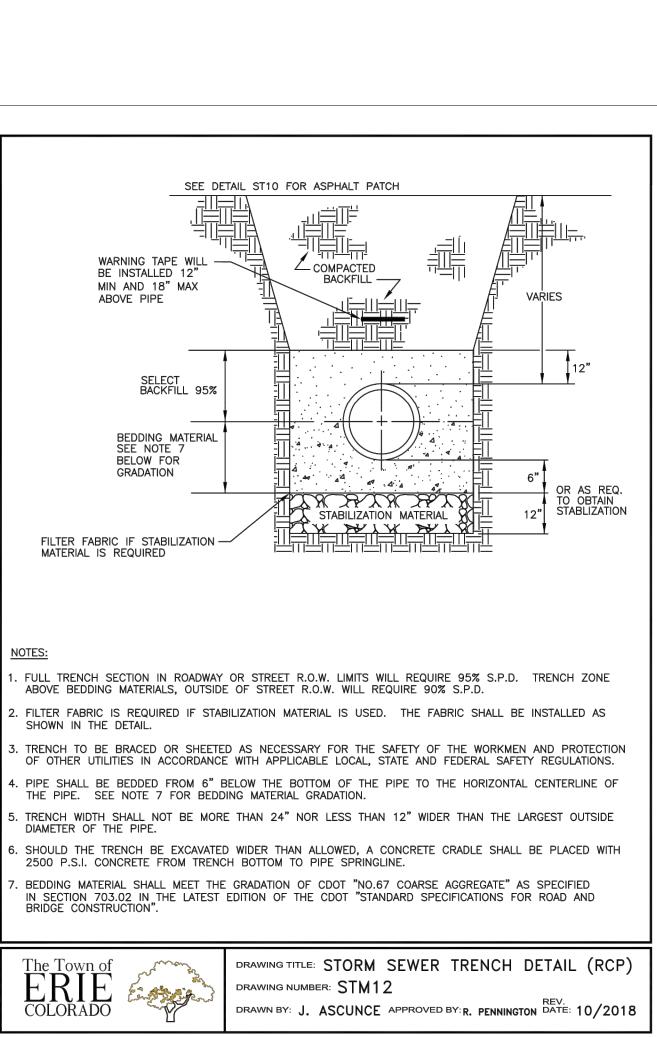
. CASTING SPECIFICATIONS: A.S.T.M. A-48, WITH A

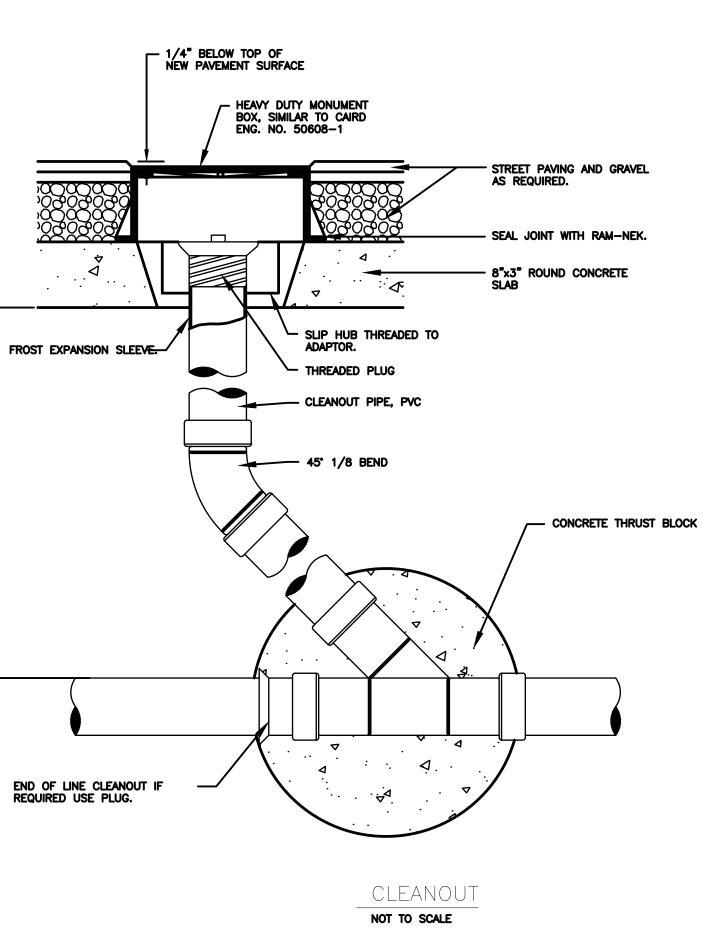
MINIMUM TENSILE STRENGTH OF 25 ksi (CLASS 25). 2. ALL CASTINGS TO BE DIPPED IN ASPHALT BASE PAINT.



2'-6" MIN.







<u>1 9/1/21 2ND CD SUBMITTAL AC</u>		30223 778-3053	troleum
<u>1 9/1/21 2ND CD SUBMITTAL AC</u>	MPROVEMENT C(SOOPERS #138	MILE CORN	e Road & 107th Orado
	1 9/1/21	2ND CD SUBMITTAL	

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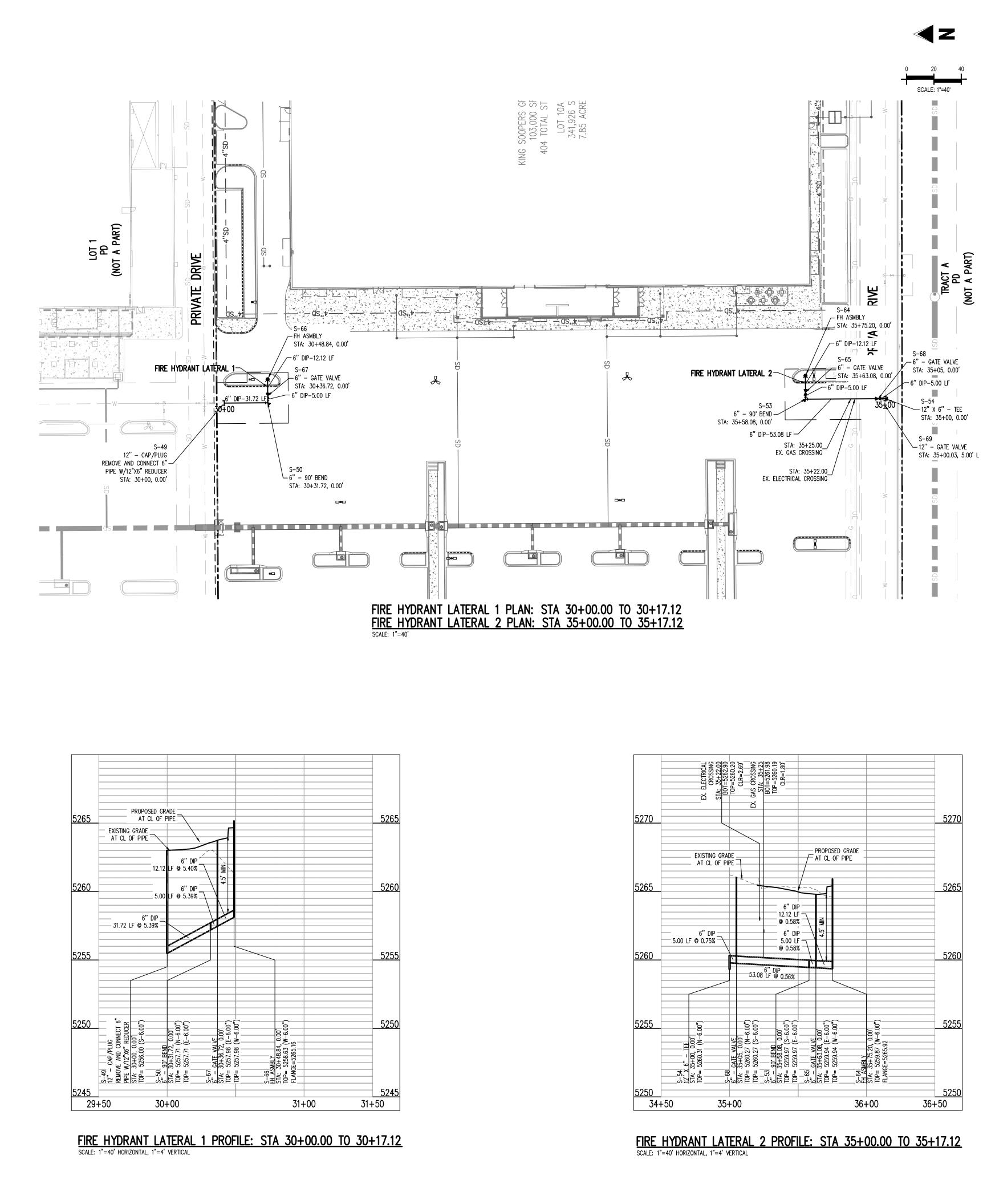
COPYRIGHT

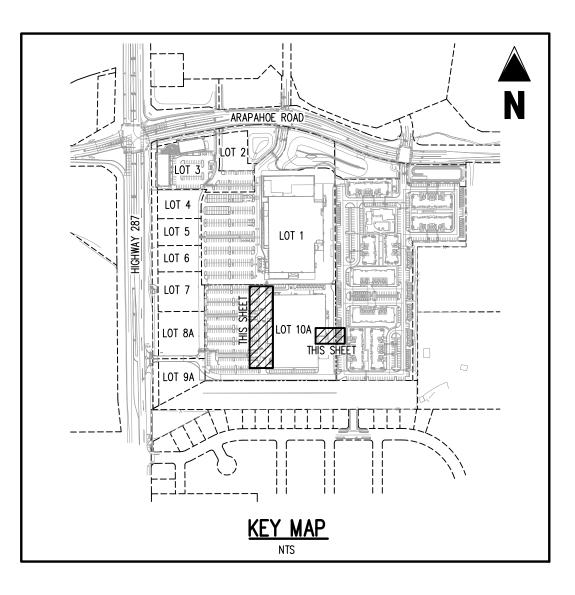
ENFORCED AND PROSECUTED.

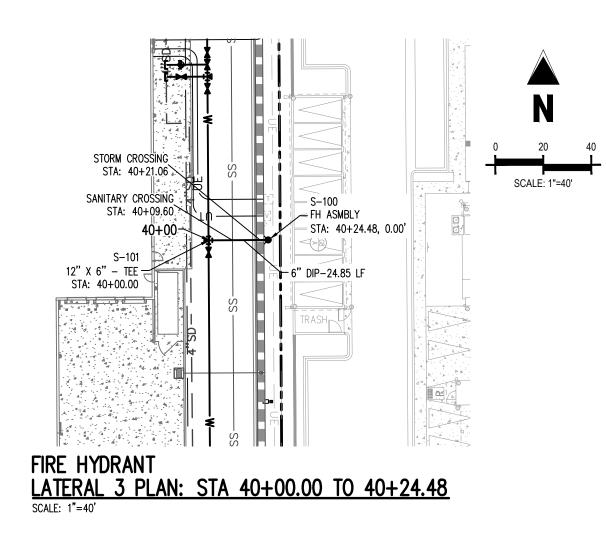
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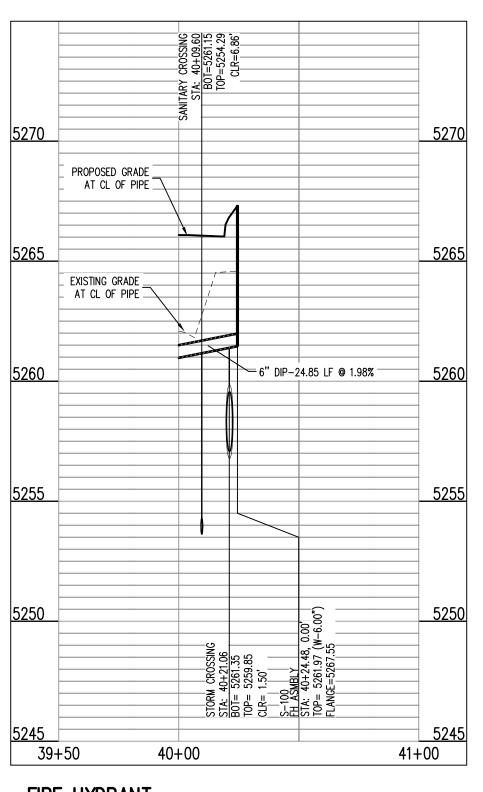
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FIRE HYDRANT LATERAL 3 PROFILE: STA 40+00.00 TO 40+24.48 SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



<u>JTILITY LEGEND</u>	
	PROPERTY BOUNDARY LINE
	- ADJACENT PROPERTY LINE
	EXISTING EASEMENT BOUNDARY LINE
	EASEMENT BOUNDARY LINE
W	EXISTING WATER LINE
X"W	PROPOSED WATER LINE
SS	EXISTING SANITARY SEWER
X"SS	PROPOSED SANITARY SEWER
SD	EXISTING STORM SEWER (LESS THAN 12")
SD SD	EXISTING STORM SEWER (12" AND GREATER)
X"SD	PROPOSED STORM SEWER (LESS THAN 12")
X"SD	PROPOSED STORM SEWER (12" AND GREATER
UE	EXISTING UNDERGROUND ELECTRICAL
UE	PROPOSED UNDERGROUND ELECTRICAL
UT	EXISTING UNDERGROUND TELEPHONE
UT	PROPOSED UNDERGROUND TELEPHONE
G	EXISTING UNDERGROUND GAS
G	PROPOSED UNDERGROUND GAS
	EXISTING SITE LIGHTING
ď	EXISTING FIRE HYDRANT
[V]	EXISTING TELEPHONE RISER
[]	EXISTING TRANSFORMER
	EXISTING MANHOLE
	EXISTING STORM DRAIN INLET
	PROPOSED SITE LIGHTING
<u> </u>	PROPOSED FIRE HYDRANT
۲	PROPOSED MANHOLE COVER
	PROPOSED INLET

)TE: LENGTHS OF STORM/SANITARY SEWER ARE THE ORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO ENTER OF STRUCTURE UNLESS OTHERWISE NOTED. HEREFORE, LENGTHS SHOWN ARE APPROXIMATE AND COULD /ARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS

)TE: MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL EPARATION BETWEEN POTABLE WATERLINE AND STORM OR SANITARY SEWERS AND LATERALS. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

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NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

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BENCHMARK

BENCHMARK "WANAKA", BEING A 3-1/4" BRASS CAP STAMPED "WANAKA", LOCATED ON THE EAST SIDE OF WANAKA LAKE, 41 FEET SOUTH-SOUTHEAST FROM THE CENTER OF THE LAKE OVERFLOW, 4.5 FEET SOUTH FROM A WITNESS POST AND 2.4 FEET EAST-SOUTHEAST FROM THE EASTERN EDGE OF A NORTH-SOUTH SIDEWALK. NAVD88 ELEVATION = 5323.00 (GPS OBS.)

SHOT=5323.77 WA LEICA SPIDERNET NETWORK

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST BEARS NO0'20'15"W, MONUMENTED BY THE CENTER-NORTH SIXTEENTH CORNER OF SAID SECTION 34, BEING A 3–1/2 INCH ALUMINUM CAP STAMPED "PLS 38064" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 34, BEING A 2-1/2 INCH ALUMINUM CAP IN RANGE BOX, AS SHOWN HEREON.

<u>CAUTION – NOTICE TO CONTRACTOR</u>

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Call before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

Phone (303) Fax (303) 871	1-9262	
TE IMPROVEMENT CONSTRUCTION PLANS JG SOOPERS #138	IINE MILE CORNER	RAPAHOE ROAD & 107th STREET RIE, COLORADO
	Z	ΨШ
Date 1 9/1/21 2 10/22/21 - - - -	Issue / Description 2ND CD SUBMITTAL 3RD CD SUBMITTAL	AC.
1 9/1/21	2ND CD SUBMITTAL	AC.
1 9/1/21	2ND CD SUBMITTAL	КSS000138 КSS000138

C6.1



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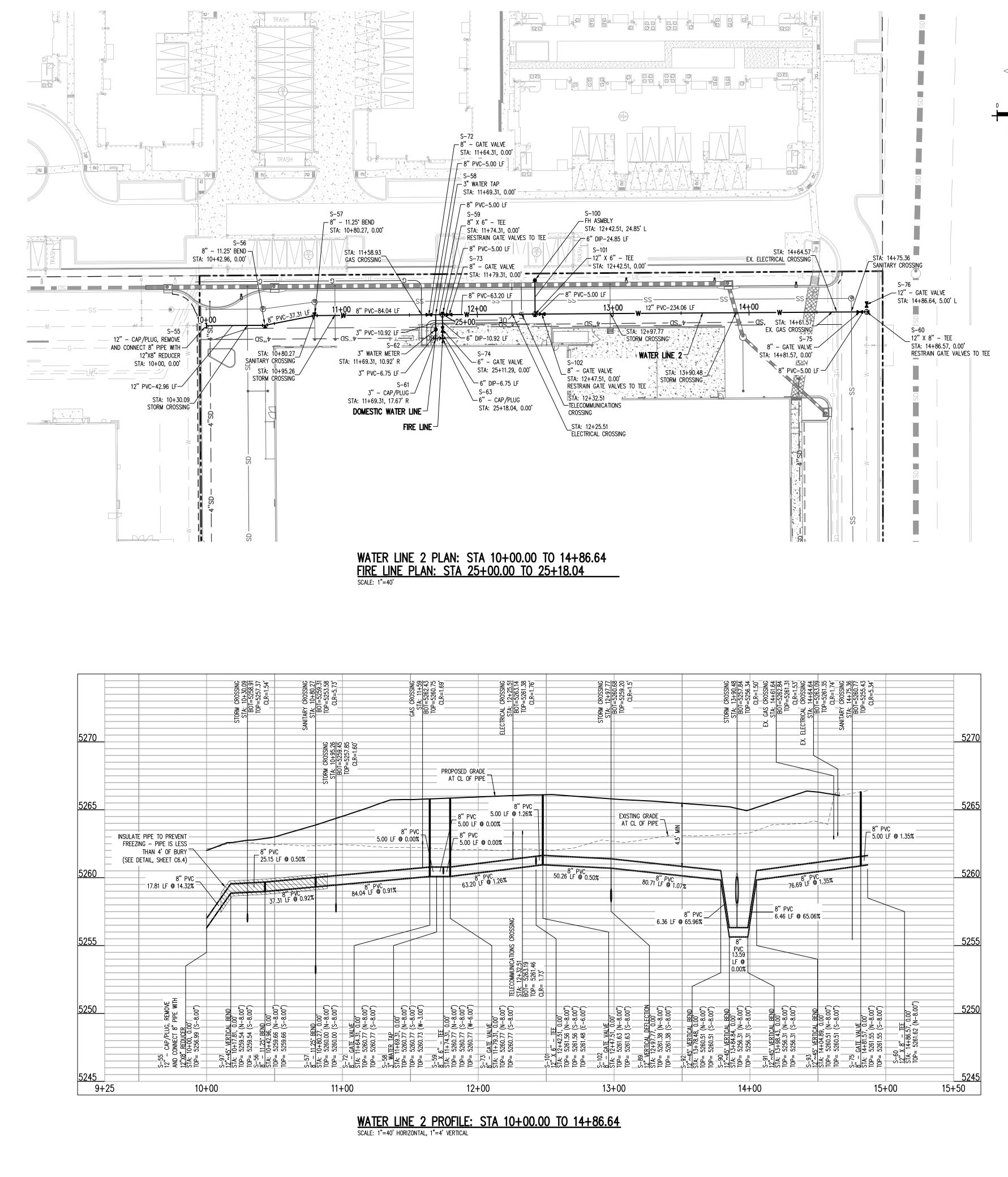
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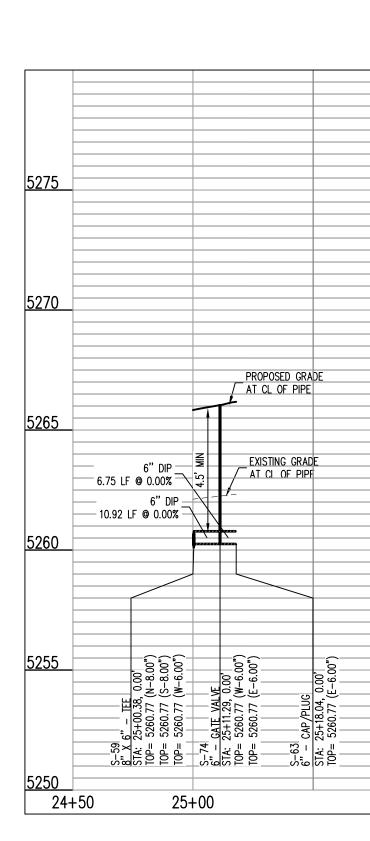
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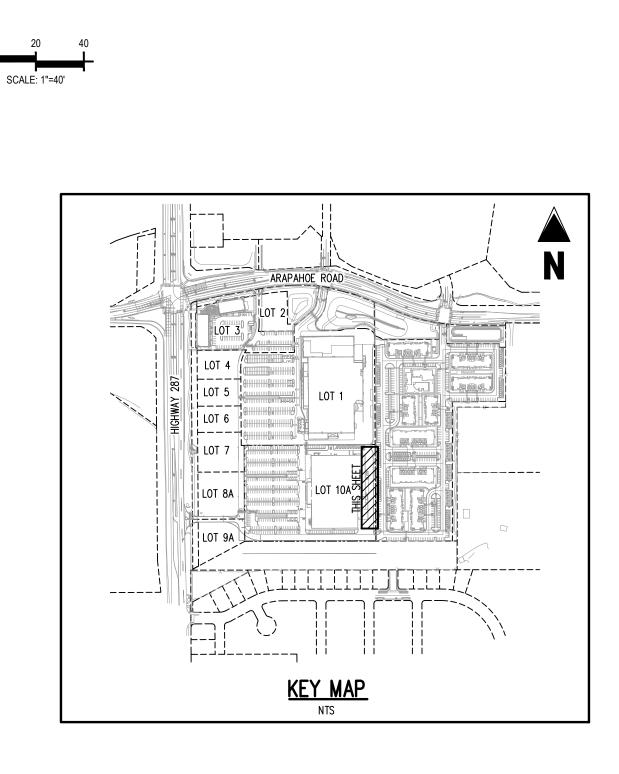


King Soopers Supermarket / Petroleum



FIRE LINE PROFILE: <u>STA 25+00.00 TO 25+18.04</u> SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL





{ z



	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT BOUNDARY LINE
	EASEMENT BOUNDARY LINE
W	EXISTING WATER LINE
X*W	PROPOSED WATER LINE
SS	EXISTING SANITARY SEWER
X"SS	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER (LESS THAN 12")
SD.	EXISTING STORM SEWER (12" AND GREATER)
X"SD	PROPOSED STORM SEWER (LESS THAN 12")
X"SD	PROPOSED STORM SEWER (12" AND GREATE
	EXISTING UNDERGROUND ELECTRICAL
	PROPOSED UNDERGROUND ELECTRICAL
	EXISTING UNDERGROUND TELEPHONE
UT	PROPOSED UNDERGROUND TELEPHONE
G	EXISTING UNDERGROUND GAS
G	PROPOSED UNDERGROUND GAS
	EXISTING SITE LIGHTING
ď	EXISTING FIRE HYDRANT
	EXISTING TELEPHONE RISER
[7]	EXISTING TRANSFORMER
	EXISTING MANHOLE
	EXISTING STORM DRAIN INLET
	PROPOSED SITE LIGHTING
, A	PROPOSED FIRE HYDRANT
۲	PROPOSED MANHOLE COVER
	PROPOSED INLET

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SHOT=5323.77 WA LEICA SPIDERNET NETWORK BASIS OF BEARING

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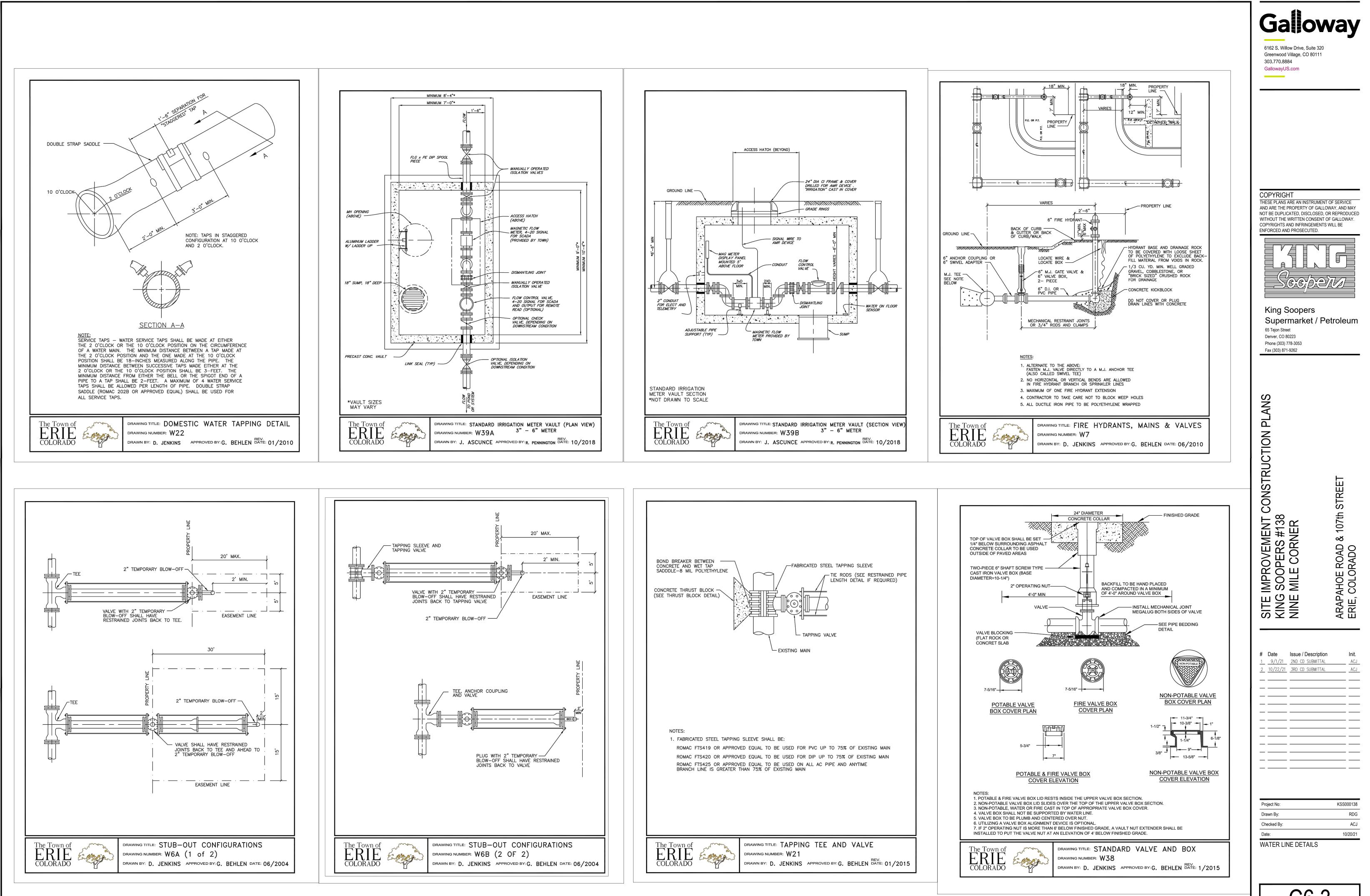
King Soopers Supermarket / Petroleum 65 Tejon Street Denver, CO 80223 Phone (303) 778-3053 Fax (303) 871-9262

SITE IMPROVEMENT CONSTRUCTION PLANS KING SOOPERS #138	NINE MILE CORNER	ARAPAHOE ROAD & 107th STREET ERIE, COLORADO	
# Date <u>1 9/1/21</u> 2 10/22/21	Issue / Description 2ND CD SUBMITTAL 3RD CD SUBMITTAL	Init. AC. 	_
			_
			—
			_
			_
			_
		KSS000138	
Project No: Drawn By:		KSS000138	_

WATER LINE PLAN & PROFILES (LINE 2)

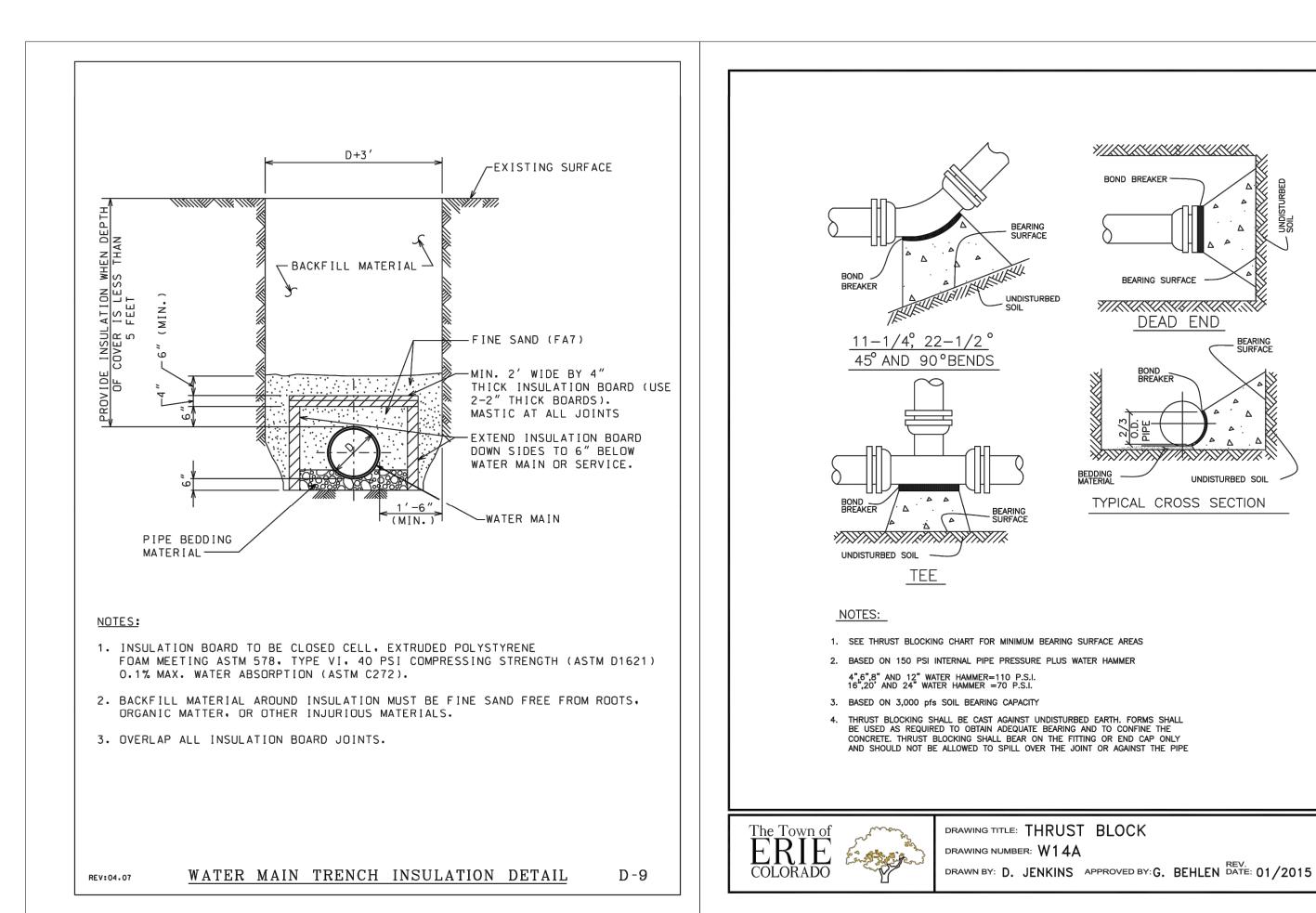
C6.2

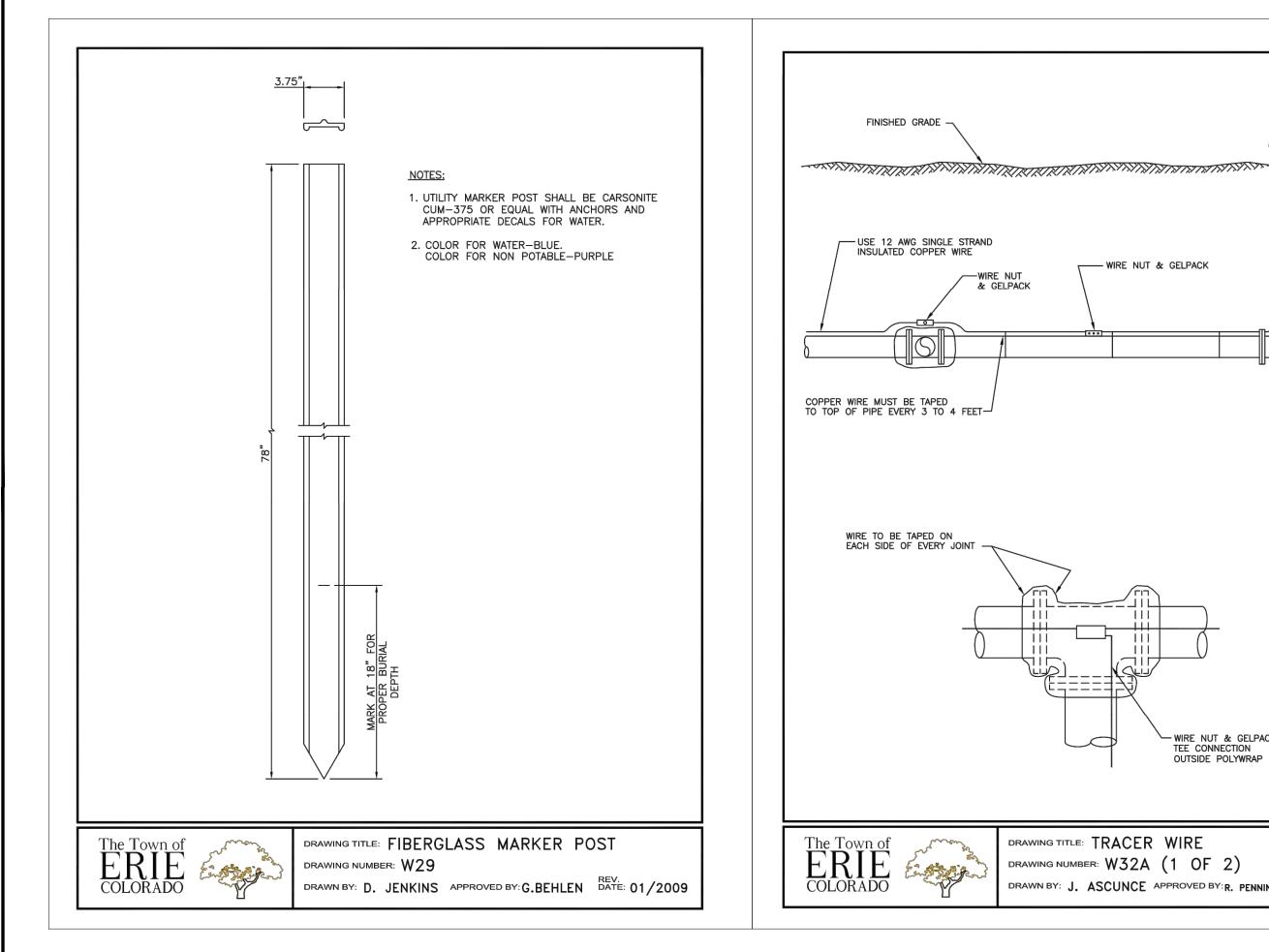
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Cb.3

rs - City Market)CO, Erie_(KSS000138) - 107th & Arapahoe Road/0.CIV/3-CDIKSS138_C6.5_WTR DETS.dwg - Rob Gordon - 10/22/2021





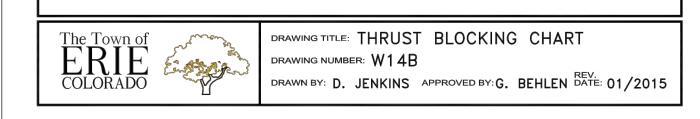
SIZE		BENDS		TEES *	GATE	DEAD	CROSS W/ 1 BRANCH	
0122	90*	45 °	22-1/2	11-1/4		VALVES	ENDS	PLUGGED
3	1.0	0.6	0.3	1.0	0.7	0.5	0.7	0.7
4	1.8	1.0	0.5	1.0	1.3	0.5	1.3	1.3
6	4.0	2.2	1.1	1.0	2.8	0.7	2.8	2.8
8	7.1	3.8	2.0	1.0	5.0	2.4	5.0	5.0
10	11.1	6.0	3.0	1.5	7.8	4.5	7.8	7.8
12	16.0	8.6	4.4	2.2	11.3	7.3	11.3	11.3
14	21.7	11.8	6.0	3.0	15.4	11.0	15.4	15.4
15	25.0	13.5	7.0	3.5	17.6		17.6	17.6
16	28.4	15.3	8.0	4.0	20.0]	20.0	20.0
18	36.0	19.4	10.0	5.0	25.4	z	25.4	25.4
20	44.2	24.0	12.2	6.1	31.4	SPECIAL DESIGN	31.4	31.4
21	49.0	26.5	13.5	6.8	34.6		34.6	34.6
22	54.0	29.0	14.8	7.4	38.0	ECIA	38.0	38.0
24	64.0	34.5	17.7	8.8	45.0		45.0	45.0
30	100.0	54.0	27.6	13.8	71.0]	71.0	71.0
36	144.0	78.0	40.0	20.0	102.0]	102.0	102.0
SOIL E AND S	BEARING CA	TABLE AF APACITY C NG CAPAC	DF 1,000 I	UPON AN LBS. PER	SQUARE I	FOOT. BE	ARING AR	OF 100 P.S. EAS FOR ANY JLATED VALUE

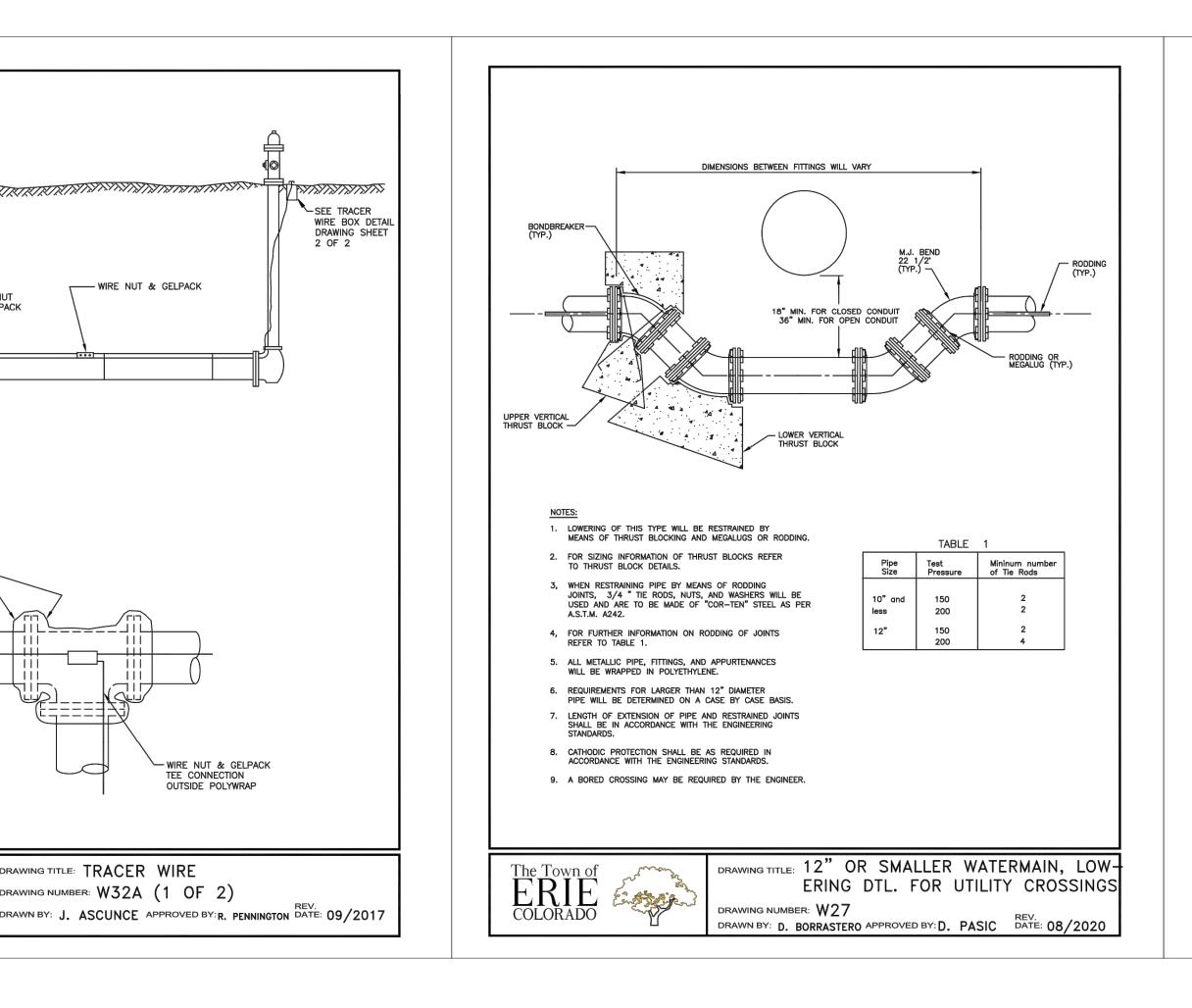
TABLE OF BEARING AREAS IN SQ. FT. FOR CONCRETE THRUST BLOCKING

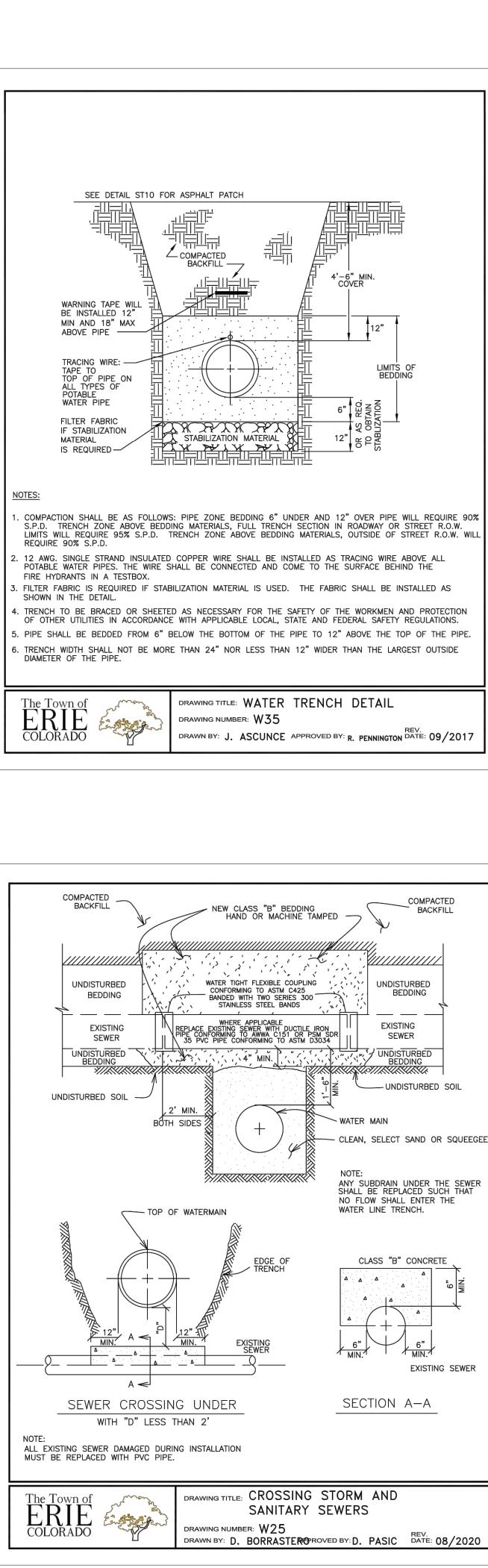
F = ACTUAL SOIL BEARING CAPACITY IN THOUSANDS OF LBS.

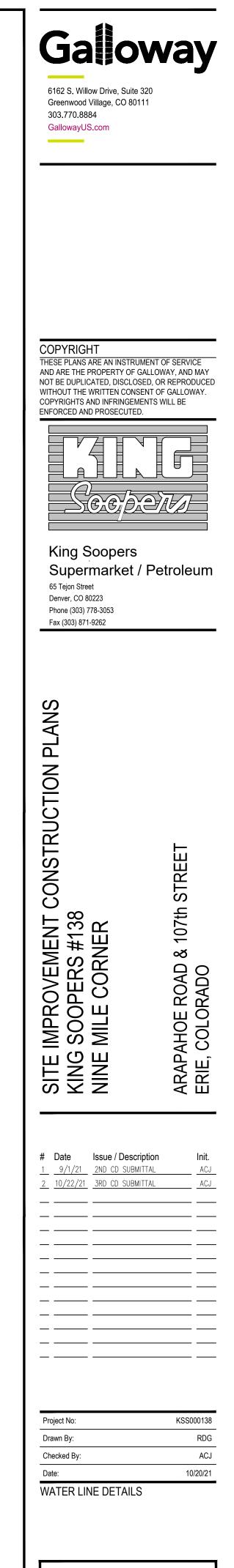
EXAMPLE: TO FIND BEARING AREA FOR 8" - 90" BEND WITH A STATIC INTERNAL PRESSURE OF 150 P.S.I. AND WITH A SOIL BEARING CAPACTIY OF 3,000 LBS. PER SQUARE FOOT.

> $F = 1.5 \div 3 = 0.5$ TABULATED VALUE = 7.1 SQUARE FOOT. 0.5 x 7.1 = 3.56 SAY 4 SQUARE FEET OF 2 FOOT LONG BY 2 FOOT HIGH.



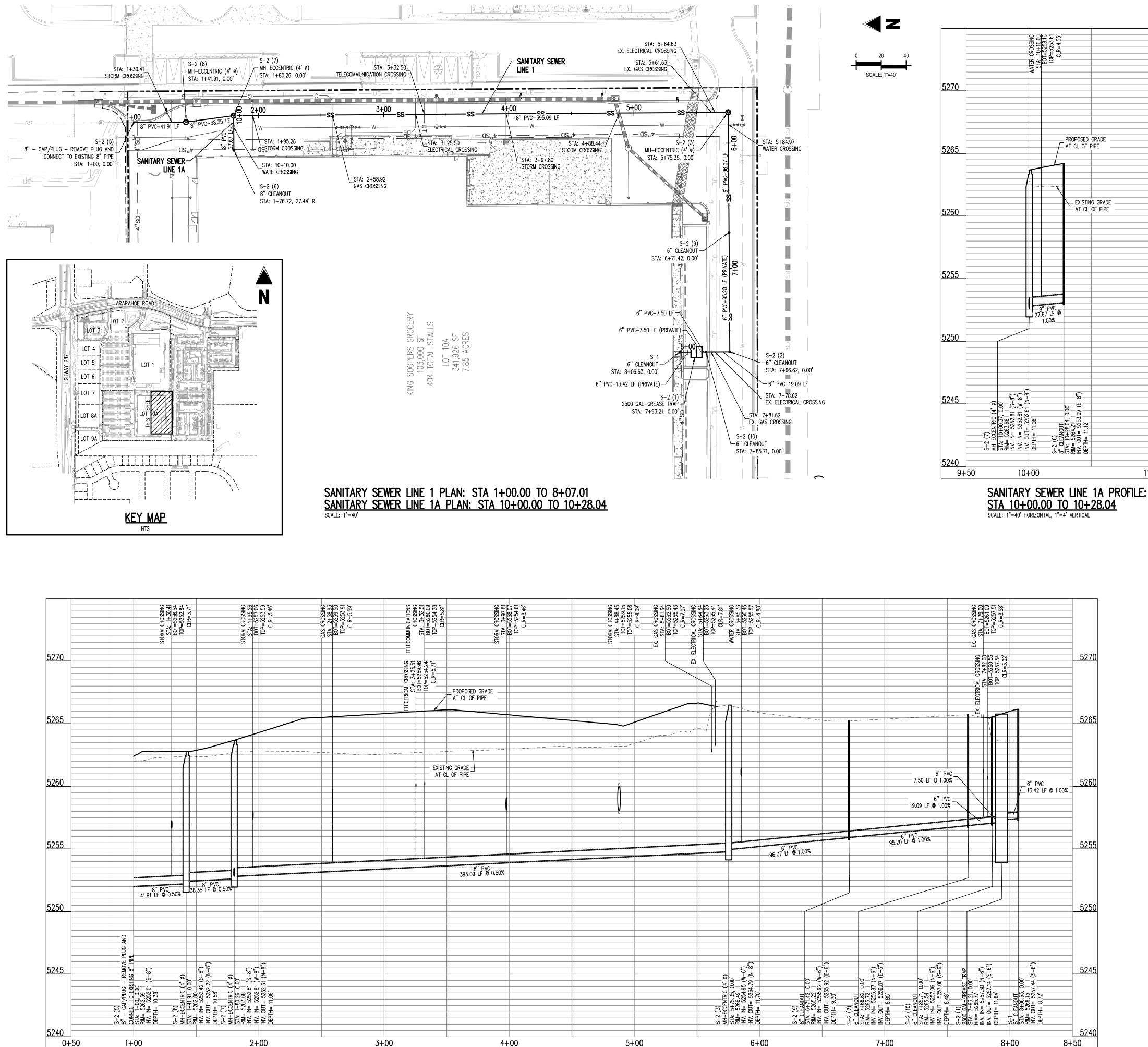


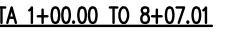


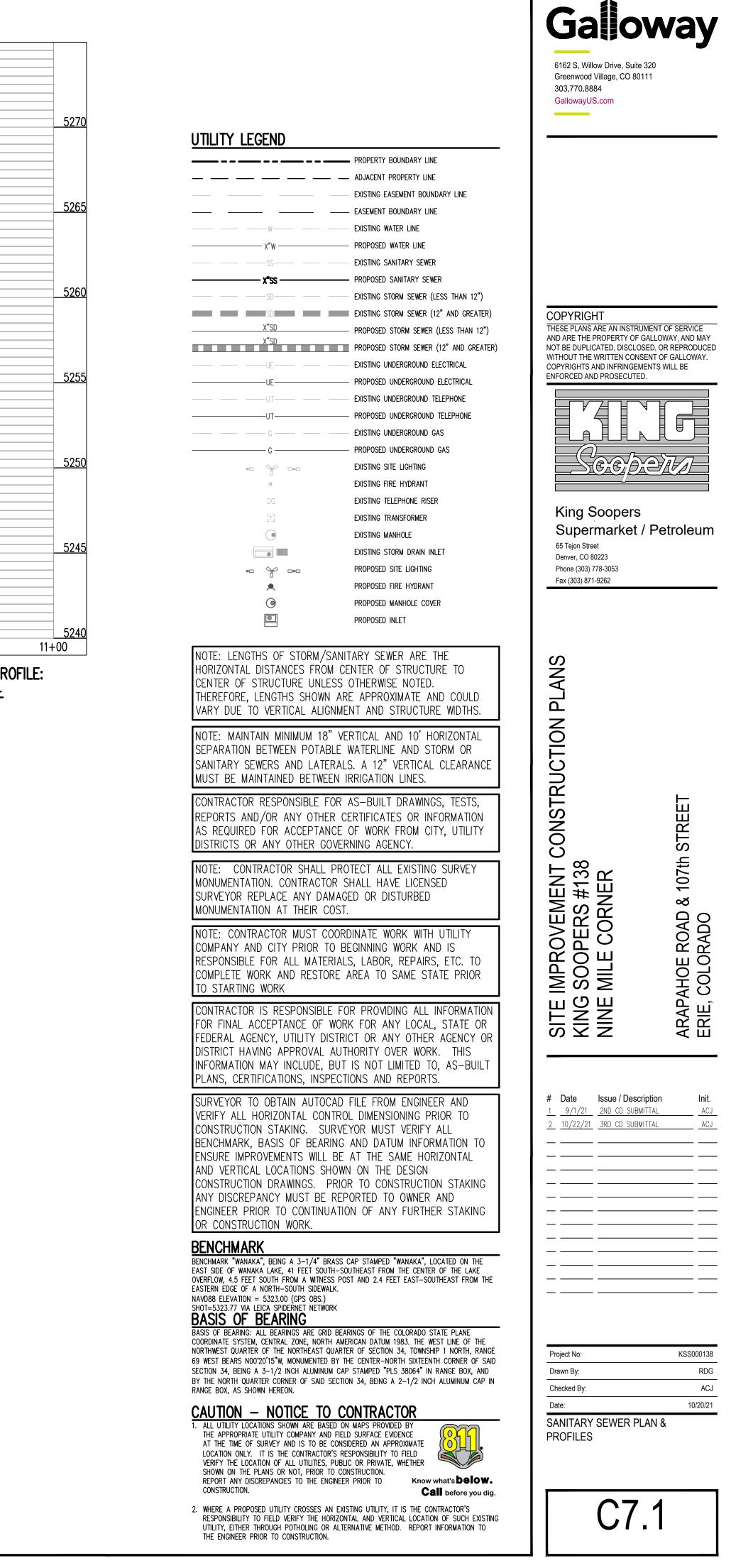


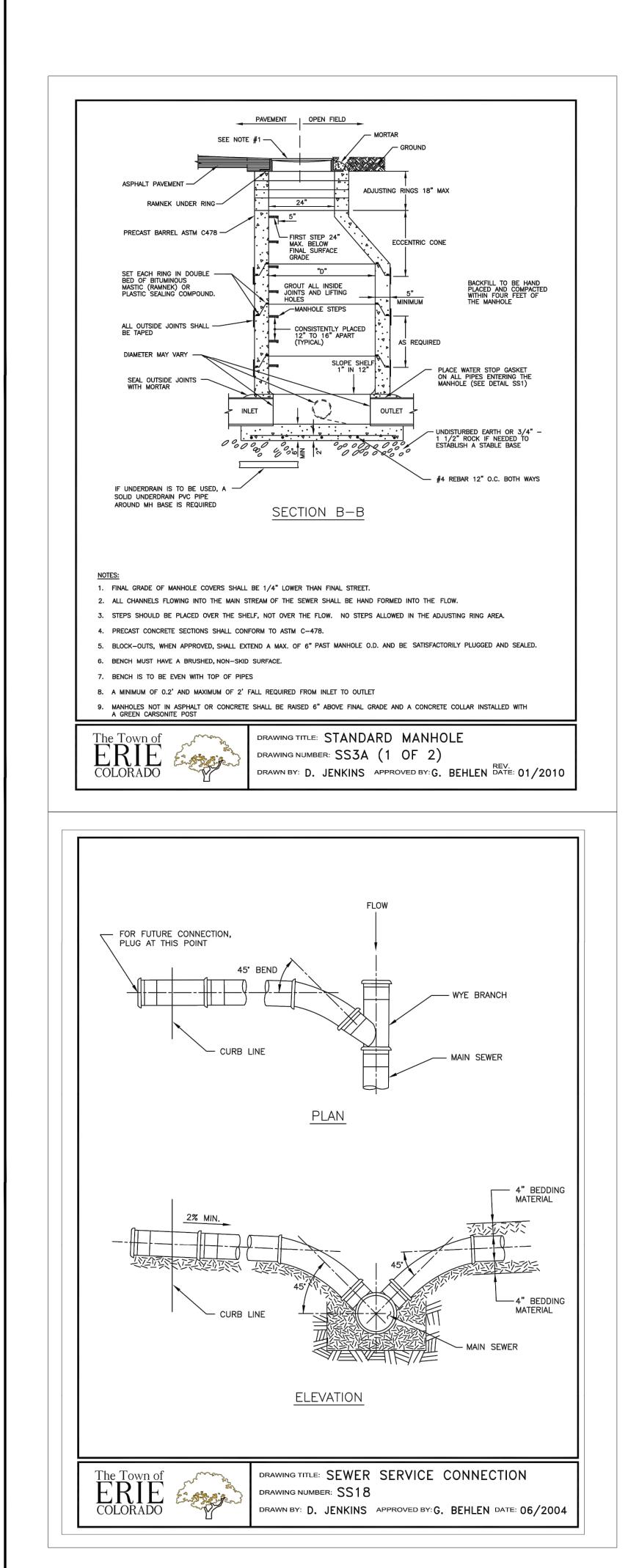
C6.4

SANITARY SEWER LINE 1 PROFILE: STA 1+00.00 TO 8+07.01 SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL

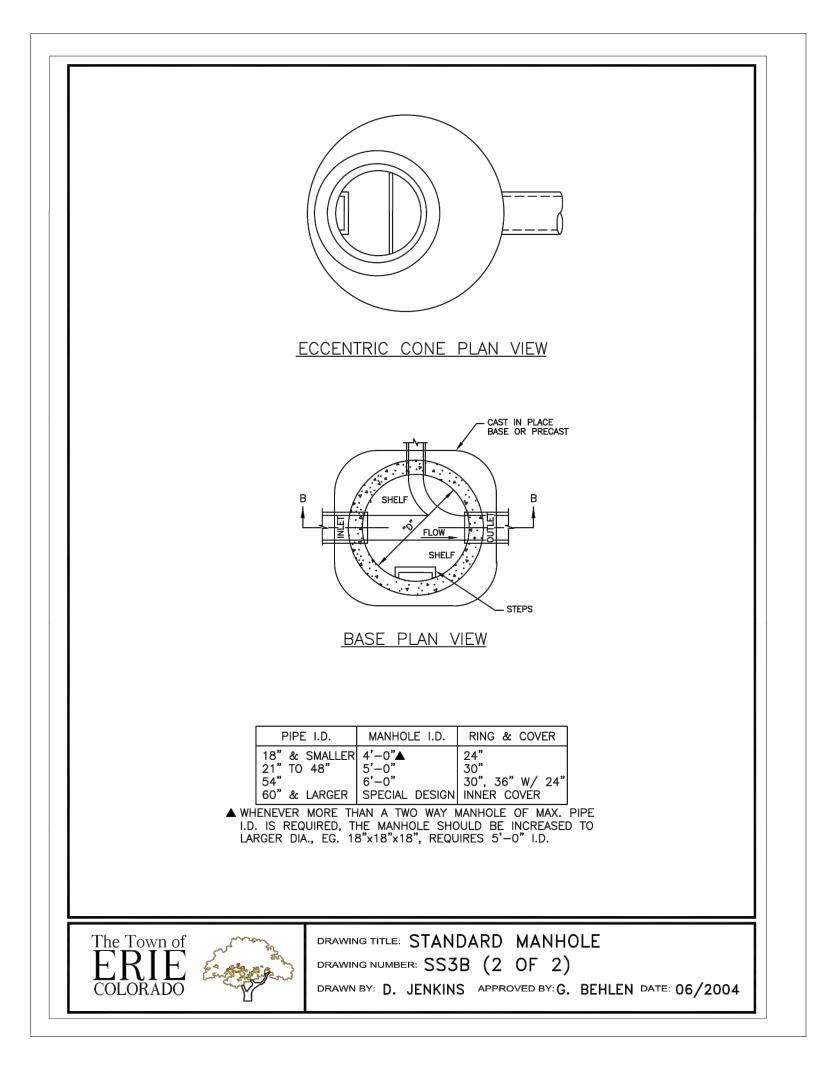


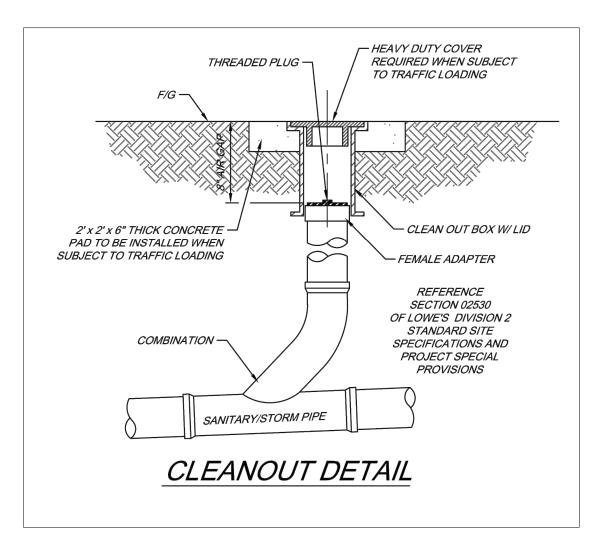


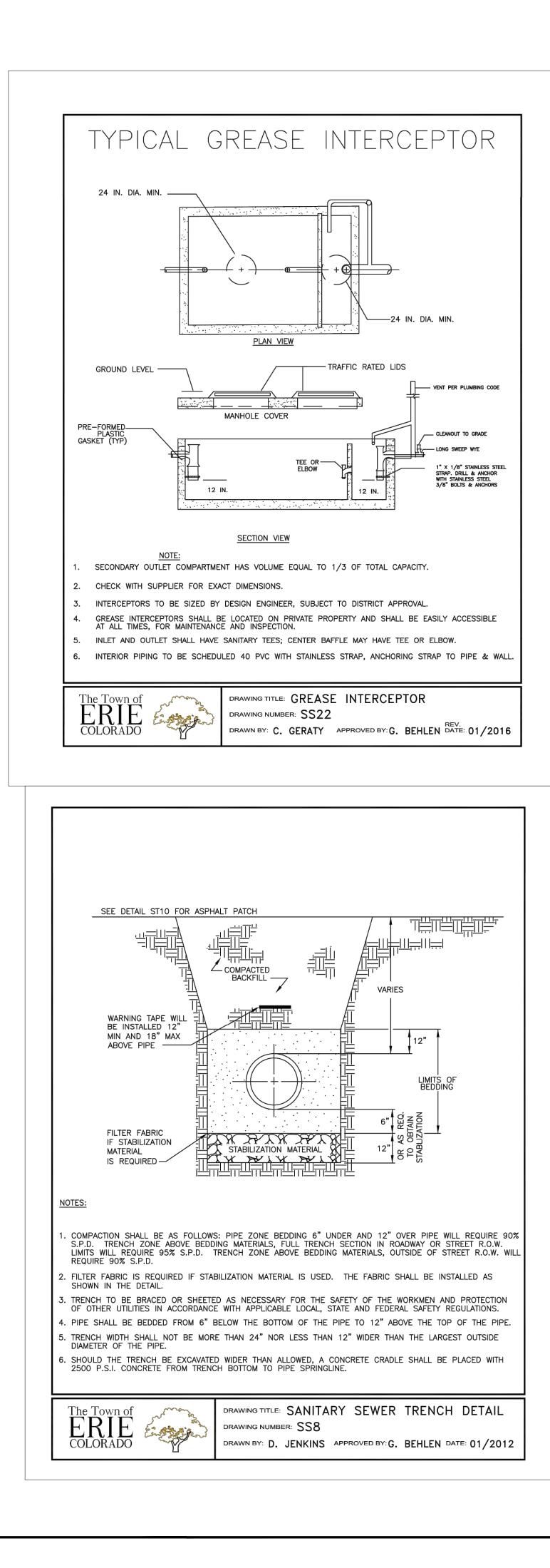




y Market\CO, Erie_(KSS000138) - 107th & Arapahoe Road\0CIV\3-CDIKSS138_C7.5_SS DETS.dwg - Rob Gordon - 10/22/202

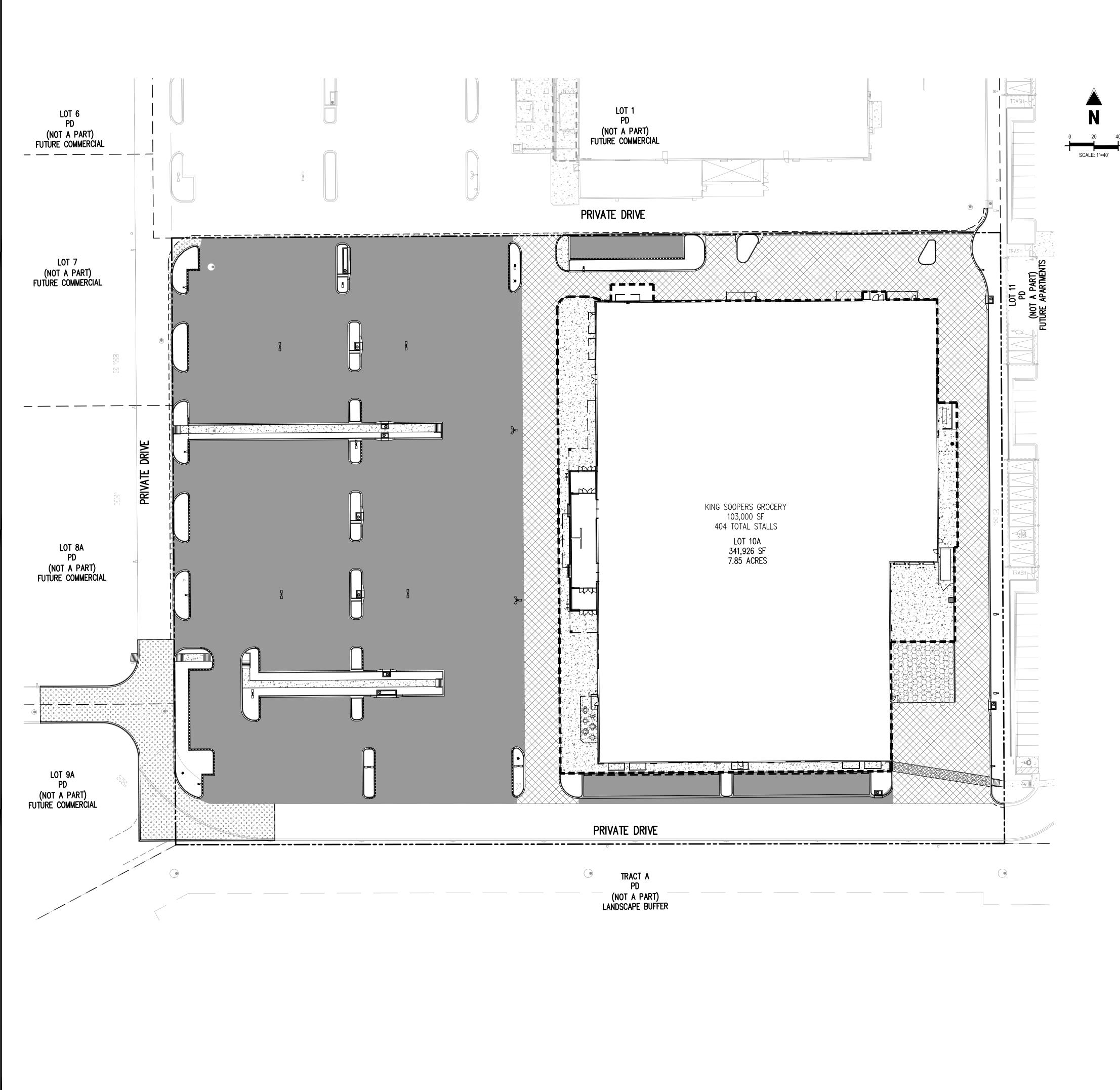






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SITE IMPROVEMENT CONSTRUCTION PLANS KING SOOPERS #138 NINE MILE CORNER	ARAPAHOE ROAD & 107th STREET ERIE, COLORADO
# Date Issue / Dete 1 9/1/21 2ND CD S 2 10/22/21 3RD CD S	
Project No: Drawn By: Checked By: Date: SANITARY SEWER	KSS000138 RDG ACJ 10/20/21 DETAILS

C7.2





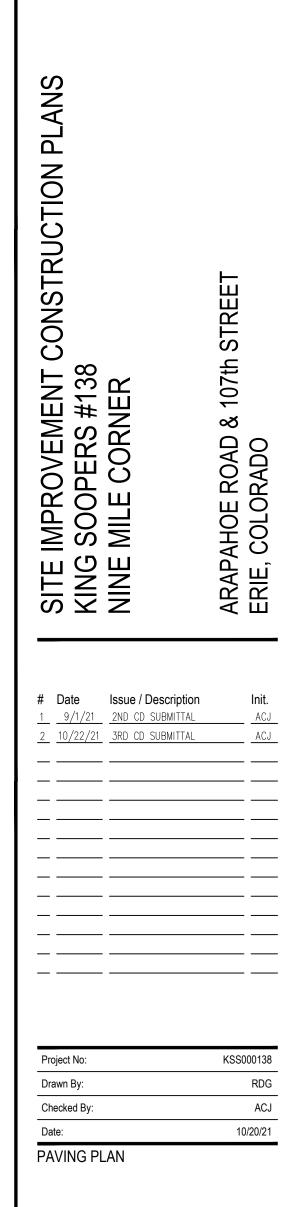
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SITE LEGEN	
	 PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT BOUNDARY LINE
	EASEMENT BOUNDARY LINE
	SETBACK BOUNDARY LINE
	EXISTING CURB AND GUTTER
	PROPOSED CATCH CURB & GUTTER
	PROPOSED SPILL CURB & GUTTER
	ARCHITECTURAL SCOPE
	EXISTING SITE LIGHTING
ď	EXISTING FIRE HYDRANT
	EXISTING TELEPHONE RISER
	EXISTING TRANSFORMER
	EXISTING MANHOLE
	EXISTING STORM DRAIN INLET
•□ 😽 □•□	PROPOSED SITE LIGHTING
~	TRAFFIC DIRECTION
×	PROPOSED FIRE HYDRANT
0	PROPOSED MANHOLE COVER
	PROPOSED INLET

PAVING LEGEND

STANDARD DUTY ASPHALT (REFER TO GEOTECHNICAL REPORT FOR RECOMMENDATIONS)
HEAVY DUTY ASPHALT (REFER TO GEOTECHNICAL REPORT FOR RECOMMENDATIONS)
FULL DEPTH ASPHALT PAVING (REFER TO GEOTECHNICAL REPORT FOR RECOMMENDATIONS)
STANDARD DUTY CONCRETE PAVEMENT (REFER TO GEOTECHNICAL REPORT FOR RECOMMENDATIONS)
HEAVY DUTY CONCRETE PAVEMENT (REFER TO GEOTECHNICAL REPORT FOR RECOMMENDATIONS)

SOIL PREPARATION AND PAVEMENT DESIGN NOT

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS:

GEOTECHNICAL ENGINEER: KUMAR & ASSICIATES, INC. REPORT NO: 21-3-114.1 (DATED AUGUST 18, 2021)

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

BENCHMARK

BENCHMARK "WANAKA", BEING A 3-1/4" BRASS CAP STAMPED "WANAKA", LOCATED ON THE EAST SIDE OF WANAKA LAKE, 41 FEET SOUTH-SOUTHEAST FROM THE CENTER OF THE LAKE OVERFLOW, 4.5 FEET SOUTH FROM A WITNESS POST AND 2.4 FEET EAST-SOUTHEAST FROM THE EASTERN EDGE OF A NORTH-SOUTH SIDEWALK. NAVD88 ELEVATION = 5323.00 (GPS OBS.) SHOT=5323.77 VIA LEICA SPIDERNET NETWORK

BASIS OF BEARING

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 69 WEST BEARS NO0'20'15"W, MONUMENTED BY THE CENTER-NORTH SIXTEENTH CORNER OF SAID SECTION 34, BEING A 3-1/2 INCH ALUMINUM CAP STAMPED "PLS 38064" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 34, BEING A 2-1/2 INCH ALUMINUM CAP IN RANGE BOX, AS SHOWN HEREON.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

THE ENGINEER PRIOR TO CONSTRUCTION.



Call before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S

RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO