

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

**VISTA RIDGE COMMERCIAL WEST
 CIVIL CONSTRUCTION DRAWINGS**
 ERIE, COLORADO

#	Date	Issue / Description	Init.
1	6/28/16	TOWN SUBMITTAL #1	PJD
2	6/29/16	BID ADDENDUM #1	PJD
3	7/28/16	TOWN SUBMITTAL #2	PJD
4	8/12/16	TOWN SUBMITTAL #3	PJD

Project No: SH7000001.01
 Drawn By: KRL
 Checked By: PJD
 Date: 5/26/16

SITE PLAN

C1.1

SITE LEGEND

- PROPERTY BOUNDARY LINE
- R.O.W. LINE
- EASEMENT BOUNDARY LINE
- EXISTING TO REMAIN
- EXISTING CURB & GUTTER TO REMAIN
- PROPOSED CURB & GUTTER
- PROPOSED CONCRETE PAVING
- PROPOSED ASPHALT PAVING
- PROPOSED HEAVY DUTY ASPHALT PAVING
- PROPOSED RETAINING WALL
- EXISTING ASPHALT TO BE REMOVED
- PROPOSED SIDEWALK
- STREET LIGHT
- EXISTING FIRE HYDRANT
- PROPOSED MANHOLE COVER
- PROPOSED REGULATORY SIGN
- PROPOSED INLET
- EXISTING LANDSCAPE TREE

BENCHMARK

CITY OF AND COUNTY OF BROOMFIELD BM "LUCY" ELEVATION: 5297.00 FEET (NAVD 1988 DATUM)

BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTH RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 7 BEARING N89°38'37"W AS REFERENCED AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

LEGAL DESCRIPTION

A PARCEL OF LAND ACROSS PARCELS 33 AND 34 OF "VISTA RIDGE MASTER FINAL PLAT" AND LOT 2 AND TRACT A OF "VISTA RIDGE FILING NO. 12", LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO. SEE SURVEY FOR DETAILED DESCRIPTION.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

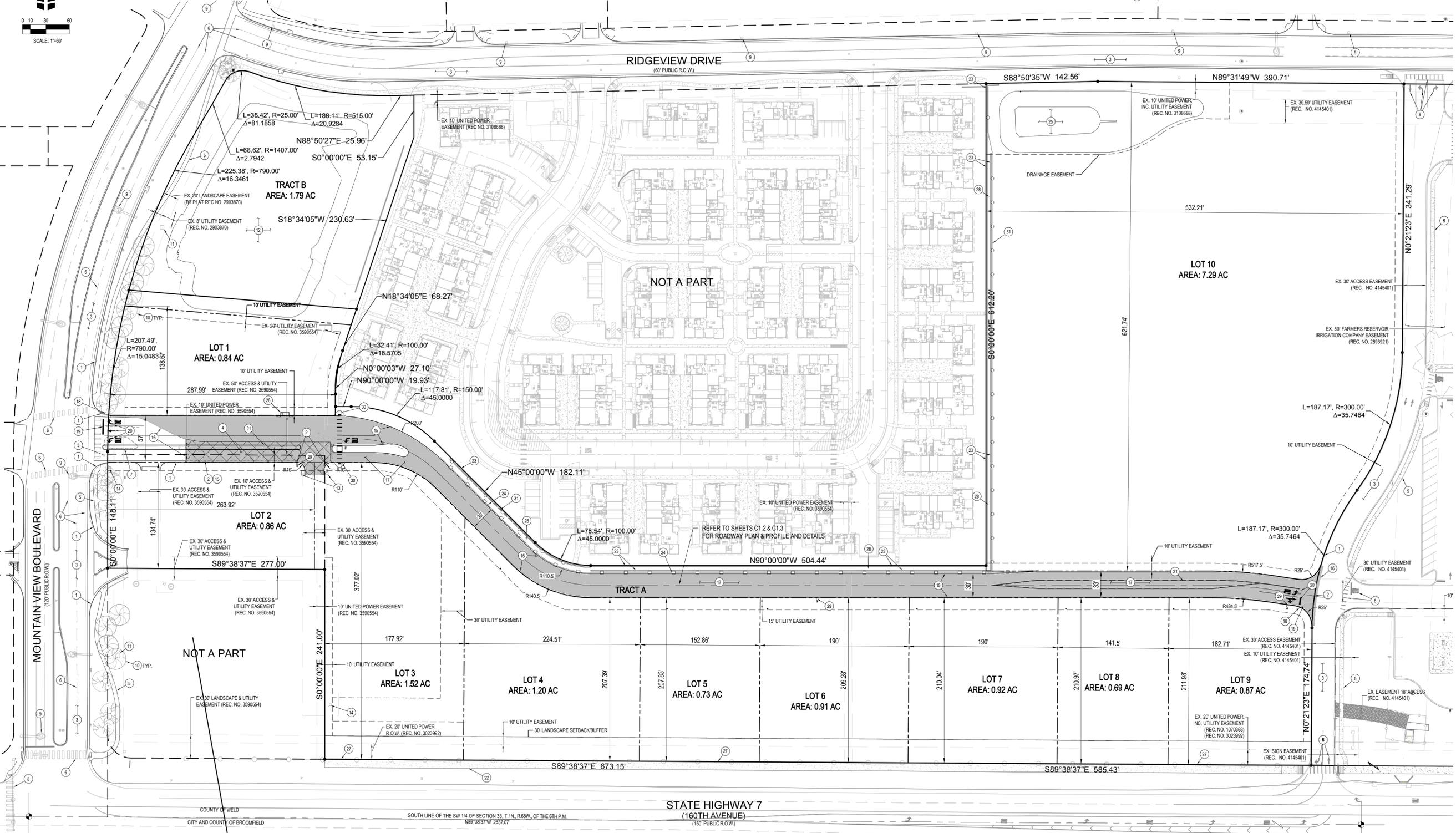


SCHEDULE

- EXISTING CURB AND GUTTER TO REMAIN
- EXISTING CURB AND GUTTER TO BE REMOVED
- EXISTING ASPHALT TO REMAIN
- EXISTING ASPHALT TO BE REMOVED
- EXISTING SIDEWALK TO REMAIN
- EXISTING STRIPING TO REMAIN
- EXISTING STRIPING TO BE REMOVED
- EXISTING TRAFFIC SIGNAL TO REMAIN
- EXISTING STREET LIGHT TO REMAIN
- EXISTING TREE TO REMAIN
- EXISTING UTILITY CABINET TO REMAIN
- EXISTING DETENTION POND TO BE MODIFIED
- EXISTING STM INLETS TO BE MODIFIED (SEE STORM SEWER PLANS)
- EXISTING FIRE HYDRANT TO REMAIN
- PROPOSED CURB & GUTTER (SEE DETAIL SHEET C1.5)
- PROPOSED SAWCUT OF EXISTING PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT (SEE PAVEMENT SECTIONS)
- PROPOSED R1.1 STOP SIGN (SEE DETAIL SHEET C1.4)
- PROPOSED STOP BAR (SEE DETAIL SHEET C1.4)
- PROPOSED TRAFFIC DIRECTIONAL ARROW (SEE DETAIL SHEET C1.4)
- PROPOSED STRIPING (SEE ROADWAY PLAN)
- PROPOSED 8' WIDE SIDEWALK
- PROPOSED RETAINING WALL BY OTHERS (DESIGN AND SPECS BY RETAINING WALL ENGINEER)
- PROPOSED VEHICULAR GUARDRAIL (DESIGN AND SPECS BY RETAINING WALL ENGINEER)
- PROPOSED DETENTION POND (SEE POND PLANS)
- PROPOSED 10" TYPE R INLET
- EXISTING FENCE TO BE REMOVED
- PROPOSED ROCK MULCH BETWEEN AND ABOVE RETAINING WALLS (2'-4" DIAMETER)
- PROPOSED STREET LIGHT. SEE PHOTOMETRIC PLAN
- PROPOSED TYPE 1 MID-BLOCK CURB RAMP - SEE SHEET C1.5
- PROPOSED PEDESTRIAN FENCE BY OTHERS (DESIGN AND SPECS BY RETAINING WALL ENGINEER)

NOTES

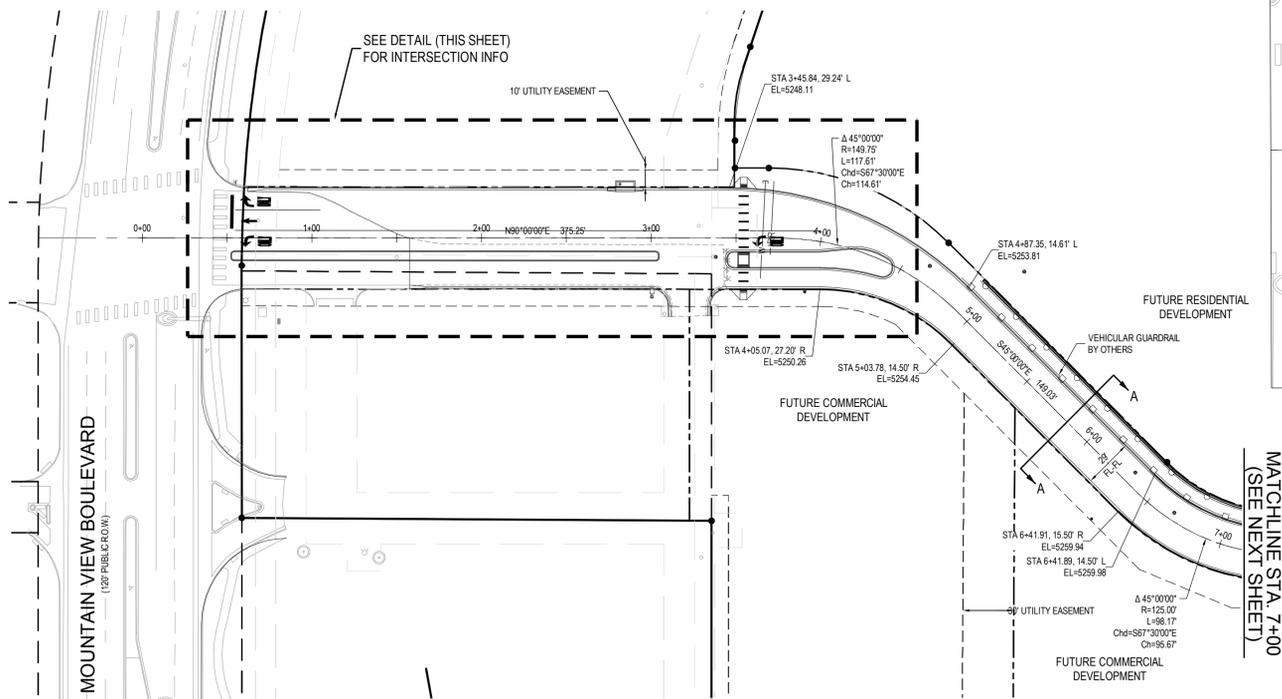
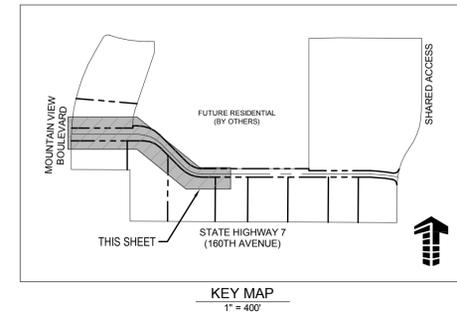
- LOCATION OF CURB RAMPS SHOWN ON LOTS 1 AND 3 ARE CONCEPTUAL AND WILL BE INSTALLED ONCE THESE PAD SITES ARE DEVELOPED.
- LOT 2 SHALL HAVE NO ADDITIONAL ACCESS POINTS TO MOUNTAIN VIEW BOULEVARD.



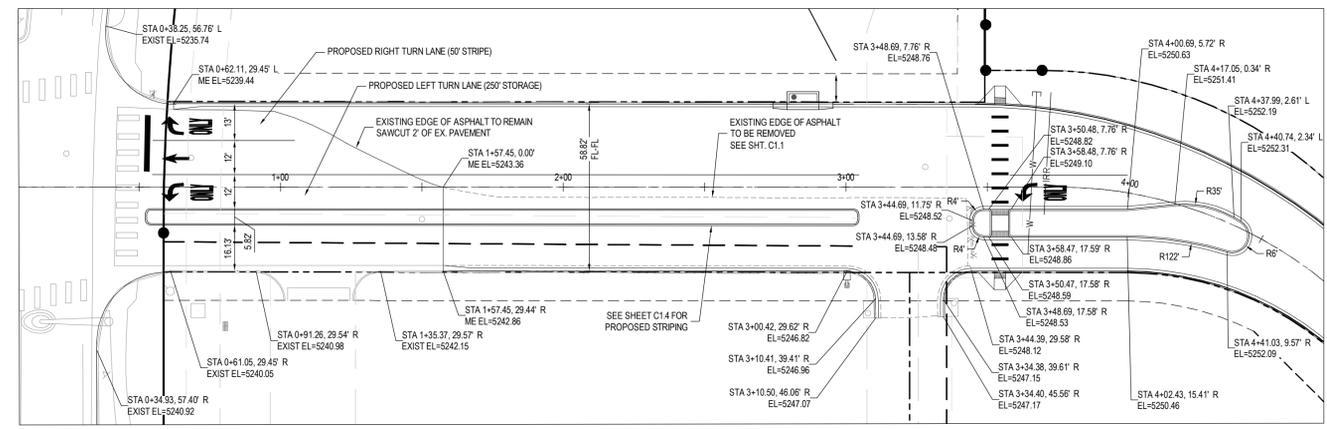
11/16/2016 10:00 AM C:\Users\jgallaway\OneDrive\Documents\Projects\SH7000001\Drawings\C1.1.dwg (P) 10/16/2016 10:00 AM

GENERAL NOTES

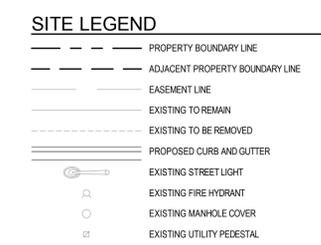
- ALL ELEVATIONS SHOWN ARE AT THE FLOWLINE UNLESS OTHERWISE STATED.



PLAN: ROADWAY (STA. 0+00 TO 7+00)
 SCALE: 1"=50'



INTERSECTION DETAIL
 SCALE: 1"=30'



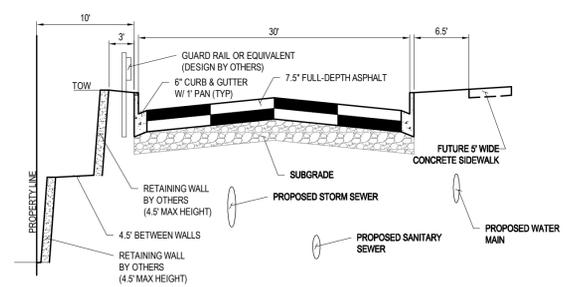
NOTE: MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) BETWEEN POTABLE WATERLINE AND STORM OR SANITARY SEWERS AND LATERALS. AN 18" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

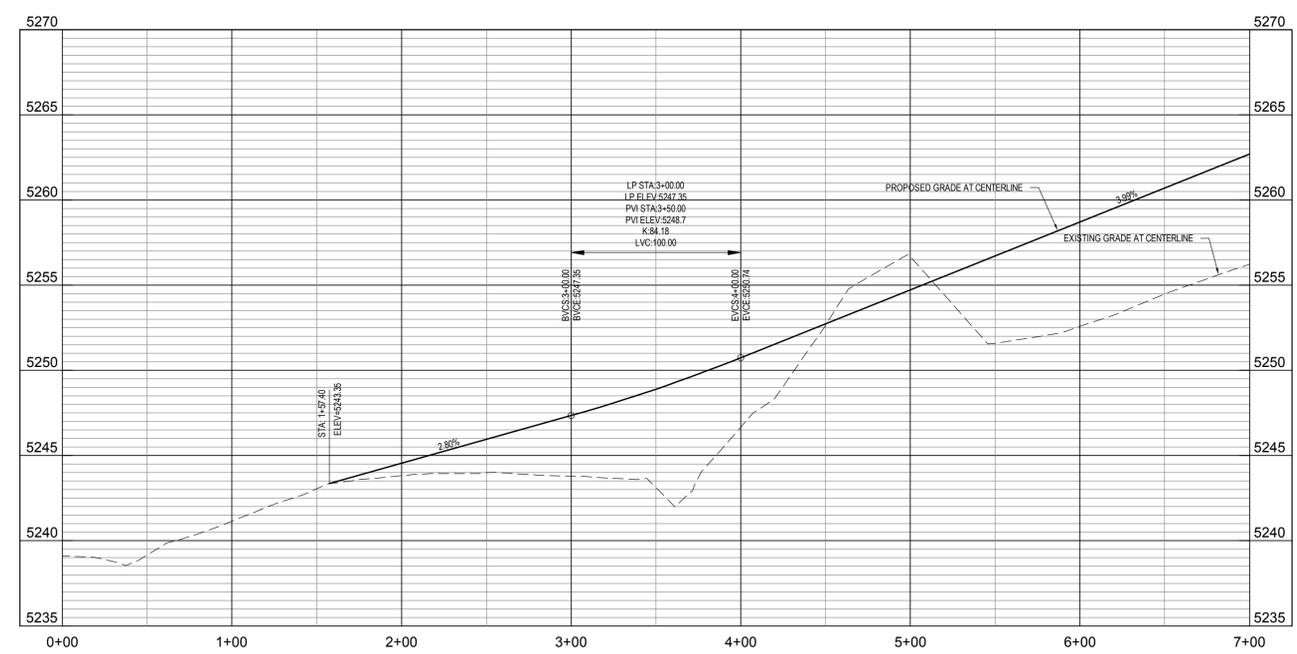
NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.



TYPICAL ROADWAY SECTION A-A
 SCALE: NOT TO SCALE



PROFILE: ROADWAY (STA. 0+00 TO 7+00)
 SCALE: H 1"=50' V 1"=5'

VISTA RIDGE COMMERCIAL WEST
 CIVIL CONSTRUCTION DRAWINGS

ERIE, COLORADO

#	Date	Issue / Description	Int.
1	6/28/16	TOWN SUBMITTAL #1	P.U.D.
2	6/29/16	BID ADDENDUM #1	P.U.D.
3	7/28/16	TOWN SUBMITTAL #2	P.U.D.
4	8/12/16	TOWN SUBMITTAL #3	P.U.D.

BENCHMARK
 CITY OF AND COUNTY OF BROOMFIELD BM "LUCY" ELEVATION: 5297.00 FEET (NAVD 1988 DATUM)

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

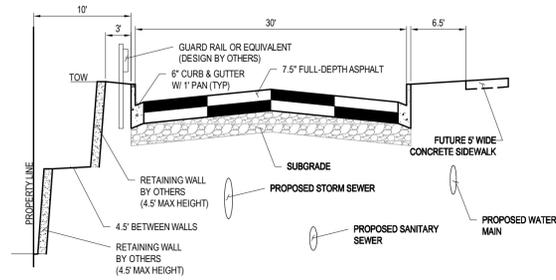


Project No:	SH7000001.01
Drawn By:	KRL
Checked By:	PJD
Date:	5/26/16

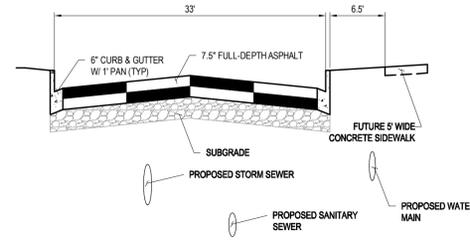
ROADWAY
 PLAN & PROFILE

C1.2

H:\Mainframe\Users\Galloway\Projects\2015\20150501_Vista Ridge Commercial\Drawings\C1.2\150501_Vista Ridge Commercial.dwg, PVI: D:\Drawing - 2015.dwg

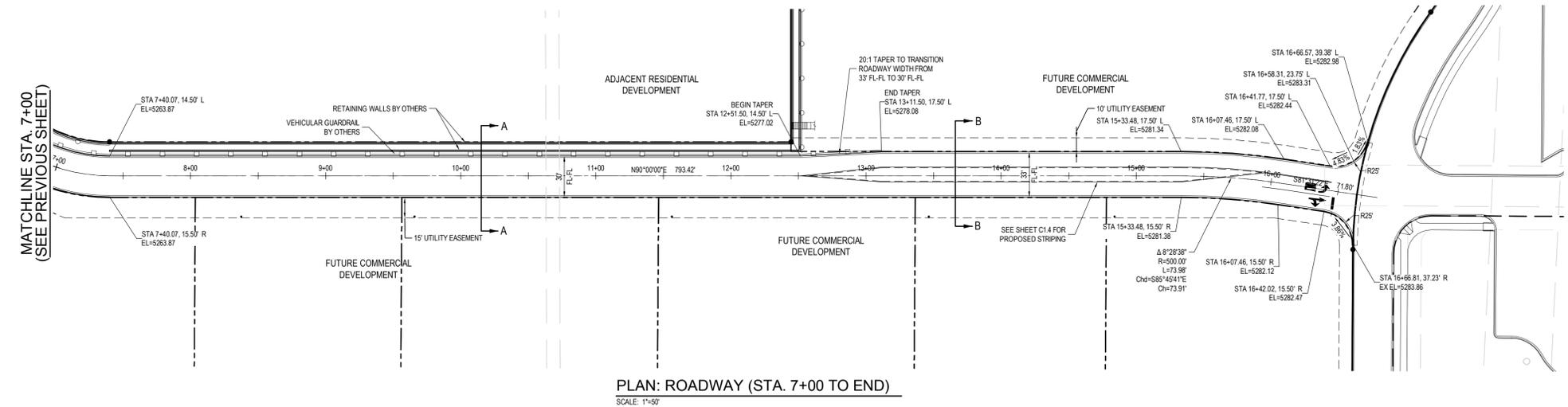
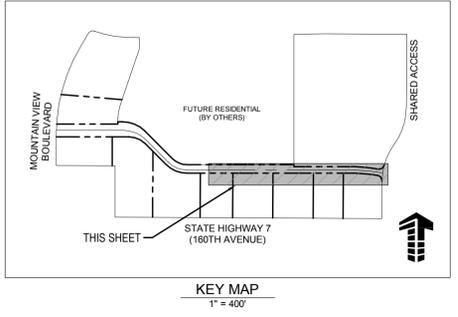


TYPICAL ROADWAY SECTION A-A
 SCALE: NOT TO SCALE



TYPICAL ROADWAY SECTION B-B
 SCALE: NOT TO SCALE

GENERAL NOTES
 1. ALL ELEVATIONS SHOWN ARE AT THE FLOWLINE UNLESS OTHERWISE STATED.



PLAN: ROADWAY (STA. 7+00 TO END)
 SCALE: 1"=50'

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- EASEMENT LINE
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- PROPOSED CURB AND GUTTER
- EXISTING STREET LIGHT
- EXISTING FIRE HYDRANT
- EXISTING MANHOLE COVER
- EXISTING UTILITY PEDESTAL

NOTE: MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) BETWEEN POTABLE WATERLINE AND STORM OR SANITARY SEWERS AND LATERALS. AN 18" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

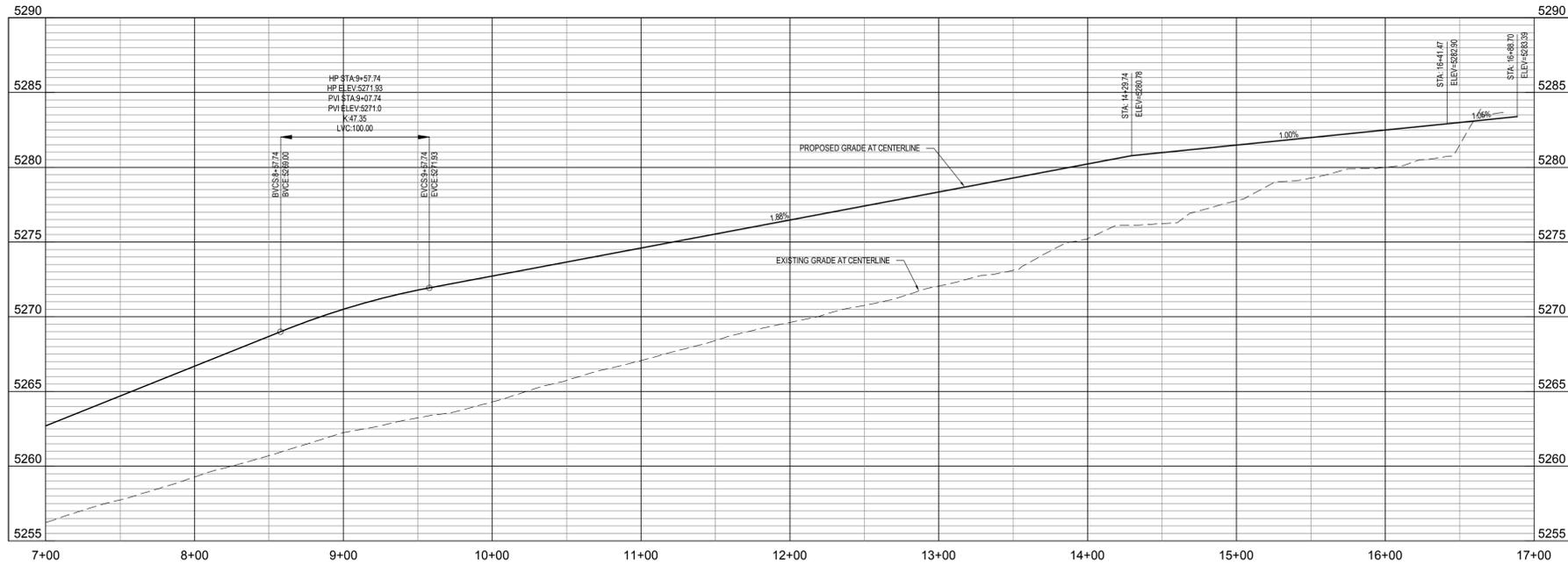
NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

BENCHMARK
 CITY OF AND COUNTY OF BROOMFIELD BM "LUCY" ELEVATION: 5297.00 FEET (NAVD 1988 DATUM)

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



PROFILE: ROADWAY (STA. 7+00 TO END)
 SCALE: H=1"=50' V=1"=5'

VISTA RIDGE COMMERCIAL WEST CIVIL CONSTRUCTION DRAWINGS

ERIE, COLORADO

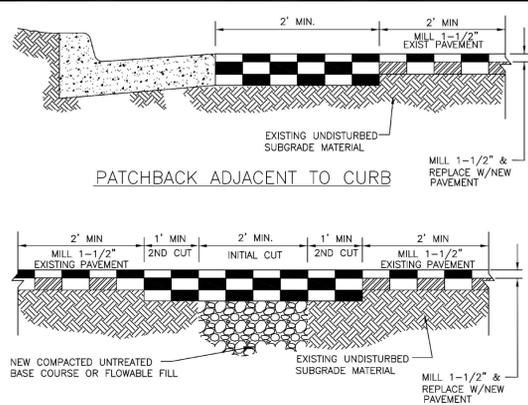
#	Date	Issue / Description	Init.
1	6/28/16	TOWN SUBMITTAL #1	PJD
2	6/29/16	BID ADDENDUM #1	PJD
3	7/28/16	TOWN SUBMITTAL #2	PJD
4	8/12/16	TOWN SUBMITTAL #3	PJD

Project No: SH7000001.01
 Drawn By: KRL
 Checked By: PJD
 Date: 5/26/16

ROADWAY PLAN & PROFILE

C1.3

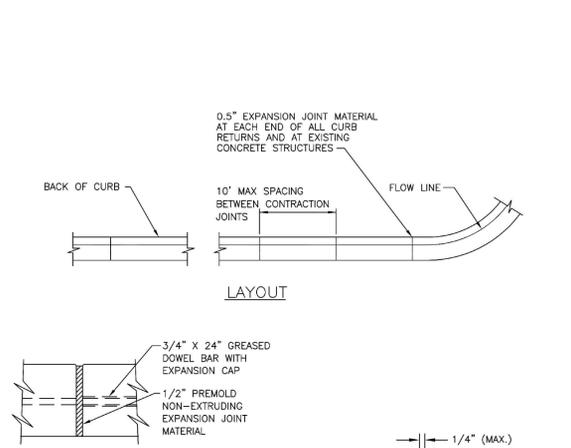
H:\Mainframe\Users\jcombs\CAD\Drawings\16\160th\160th_C1.3_Civil\Mainframe.dwg (P) 5/26/16 10:54:48 AM



PATCHBACK FOR UTILITY AND SERVICE TRENCHES

- NOTE:**
- IF ASPHALT PATCH THICKNESS IS NOT IDENTIFIED ON PLANS USE 6-1/2" MIN ASPHALT PATCH OR MATCH EXISTING, WHICH EVER THICKNESS IS GREATER.
 - MINIMUM DEPTH OF WEARING COURSE SHALL BE 1-1/2" AND SHALL BE GRADING SX ASPHALT.
 - MINIMUM DEPTH OF INTERMEDIATE COURSE SHALL BE 5" AND BE INSTALLED IN 2 LIFTS. INTERMEDIATE COURSE SHALL BE GRADING S OR G ASPHALT.
 - PATCH SHALL BE PLACED AND COMPACTED IN LIFTS A MAXIMUM OF 3" IN DEPTH.
 - APPLY SS-1 TACK COAT TO EXISTING ASPHALT AND/OR CONCRETE VERTICAL SURFACES.
 - TRENCHES LESS THAN 2' IN WIDTH MUST RECEIVE PRIOR APPROVAL FROM THE TOWN OF ERIE ENGINEERING DEPARTMENT AND SHALL BE FLOW-FILLED.
 - PROVIDE 28 DAY 60 PSI CONTROLLED LOW STRENGTH FLOWABLE FILL AS SPECIFIED. USE FILL THAT FLOWS EASILY AND VIBRATION IS NOT REQUIRED. CURE TO INITIAL SET BEFORE PLACING NEW UNTREATED BASE COURSE OR NEW ASPHALT PAVEMENT. USE FLOWABLE FILL IN EXCAVATIONS THAT ARE TOO NARROW TO RECEIVE COMPACTION EQUIPMENT.
 - REMOVE ADDITIONAL PAVEMENT TO A PAINTED LANE STRIPE, A LIP OF GUTTER, A CURB, AN EXISTING PAVEMENT PATCH, OR AN EDGE OF THE PAVEMENT IF SUCH STREET FEATURE IS WITHIN TWO FEET OF THE SECOND SAW CUT.
 - PROVIDE UNTREATED BASE COURSE MATERIAL. DO NOT USE GRAVEL OR WASHED ROCK. PLACE NEW MATERIAL IN LIFTS NOT EXCEEDING 8" AFTER COMPACTION. COMPACT TO A MODIFIED PROCTOR DENSITY OF 95% OR GREATER.
 - STRAIGHT SAWCUT OR BLADECUT THE EXISTING ASPHALT PAVEMENT WHEN JOINING WITH NEW ASPHALT PAVEMENT.

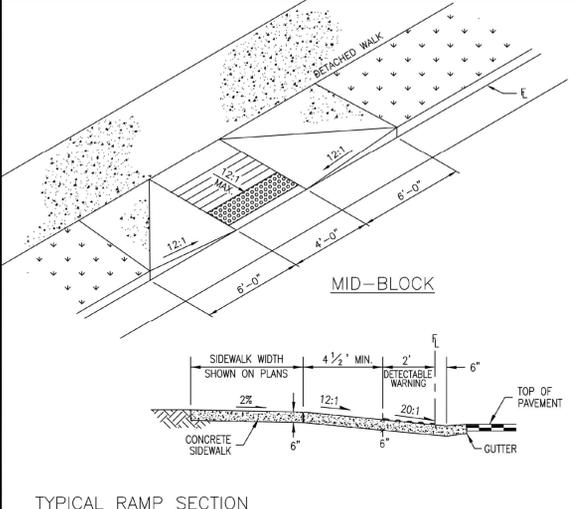
The Town of **ERIE** COLORADO
 DRAWING TITLE: TRENCH AND CURB PATCH
 DRAWING NUMBER: ST10
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 1/2014



EXPANSION JOINT

- NOTES:**
- EXPANSION JOINT MATERIAL SHALL BE NON-EXTRUDING AND RESILIENT TYPE TO MEET AASHTO SPEC. M-213.
 - ANY OVER-EXCAVATION SHALL BE REPLACED BY GRANULAR BACKFILL COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698.

The Town of **ERIE** COLORADO
 DRAWING TITLE: CURB AND GUTTER JOINT DETAIL
 DRAWING NUMBER: SW1
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 01/2010



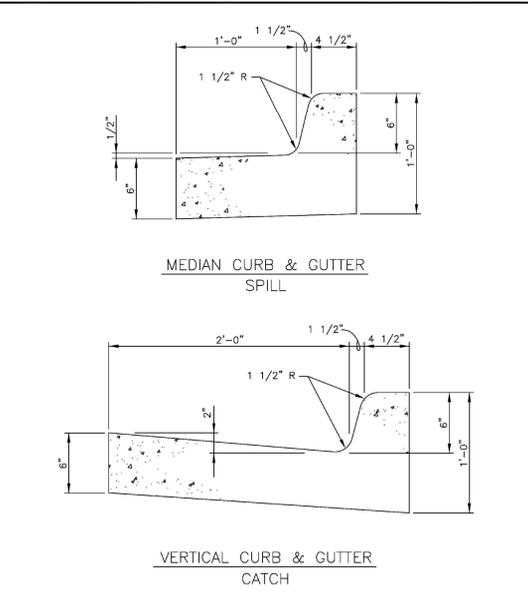
TYPICAL RAMP SECTION

- NOTES:**
- THERE SHALL BE NO LIP WHERE THE RAMP MEETS THE GUTTER.
 - CURB RAMP SHALL BE PROVIDED AT ALL CORNERS OF STREET INTERSECTIONS AND AT "T" INTERSECTIONS WHERE THERE IS EXISTING OR PROPOSED SIDEWALK AND CURB.
 - RAMP SURFACE SHALL HAVE A COARSE BROOM FINISH WITH GROOVES PLACED PERPENDICULAR TO THE SLOPE AT 8" INTERVALS, 1/2" DEPTH.
 - CURB RAMP SHALL BE POURED MONOLITHICALLY WITH THE CURB, GUTTER AND APRON.
 - RAMP DIMENSIONS SHALL BE SPECIFIED ON THE CONSTRUCTION PLANS, RAMP AND WING SLOPES SHALL NOT BE STEEPER THAN 12:1.
 - RAMP SLOPES SHALL NOT BE STEEPER THAN 12:1. THE DETECTABLE WARNING AREA SLOPE SHALL NOT BE STEEPER THAN 20:1.
 - DETECTABLE WARNINGS SHALL BE EAST JORDON IRON WORKS 7005 SERIES DETECTABLE WARNING PLATES OR APPROVED EQUAL.

The Town of **ERIE** COLORADO
 DRAWING TITLE: CURB RAMP MID BLOCK TYPE 1 DETACHED SIDEWALK
 DRAWING NUMBER: SW10A
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 01/2015

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

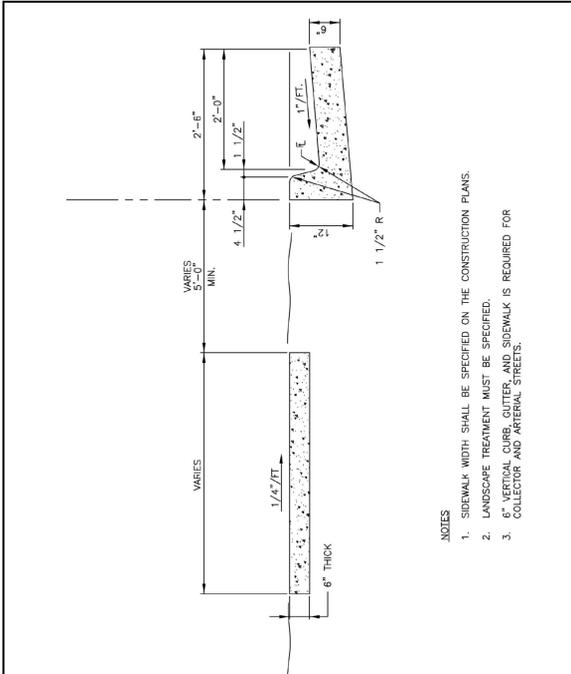
VISTA RIDGE COMMERCIAL WEST CIVIL CONSTRUCTION DRAWINGS
 ERIE, COLORADO



VERTICAL CURB & GUTTER CATCH

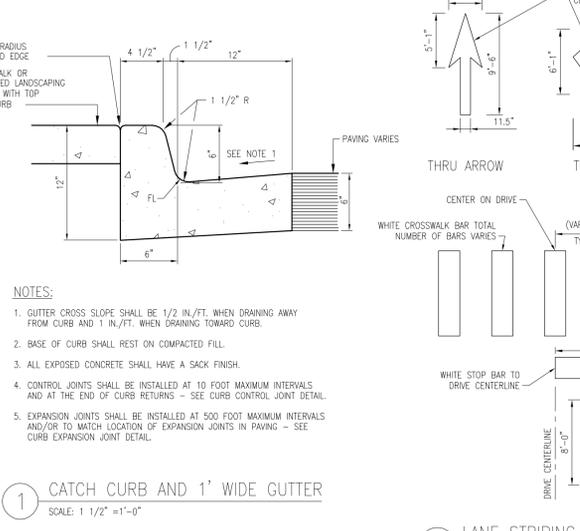
- NOTES:**
- SUBGRADE TO BE COMPACTED TO 95% MODIFIED PROCTOR.

The Town of **ERIE** COLORADO
 DRAWING TITLE: VERTICAL CURB SECTION
 DRAWING NUMBER: SW12
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 01/2010



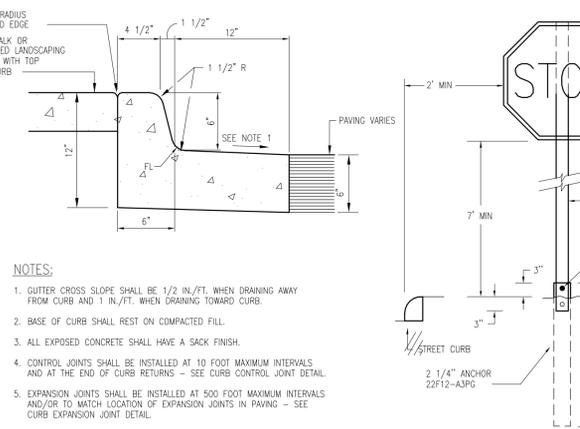
6" VERTICAL CURB, GUTTER AND DETACHED SIDEWALK

The Town of **ERIE** COLORADO
 DRAWING TITLE: 6" VERTICAL CURB, GUTTER AND DETACHED SIDEWALK
 DRAWING NUMBER: SW13
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 01/2014



1 CATCH CURB AND 1' WIDE GUTTER
 SCALE: 1 1/2" = 1'-0"

3 LANE STRIPING DETAILS
 SCALE: 1/8" = 1'



2 SPILL CURB AND 1' WIDE GUTTER
 SCALE: 1 1/2" = 1'-0"

4 STOP SIGN DETAIL
 SCALE: 1 1/2" = 1'-0"

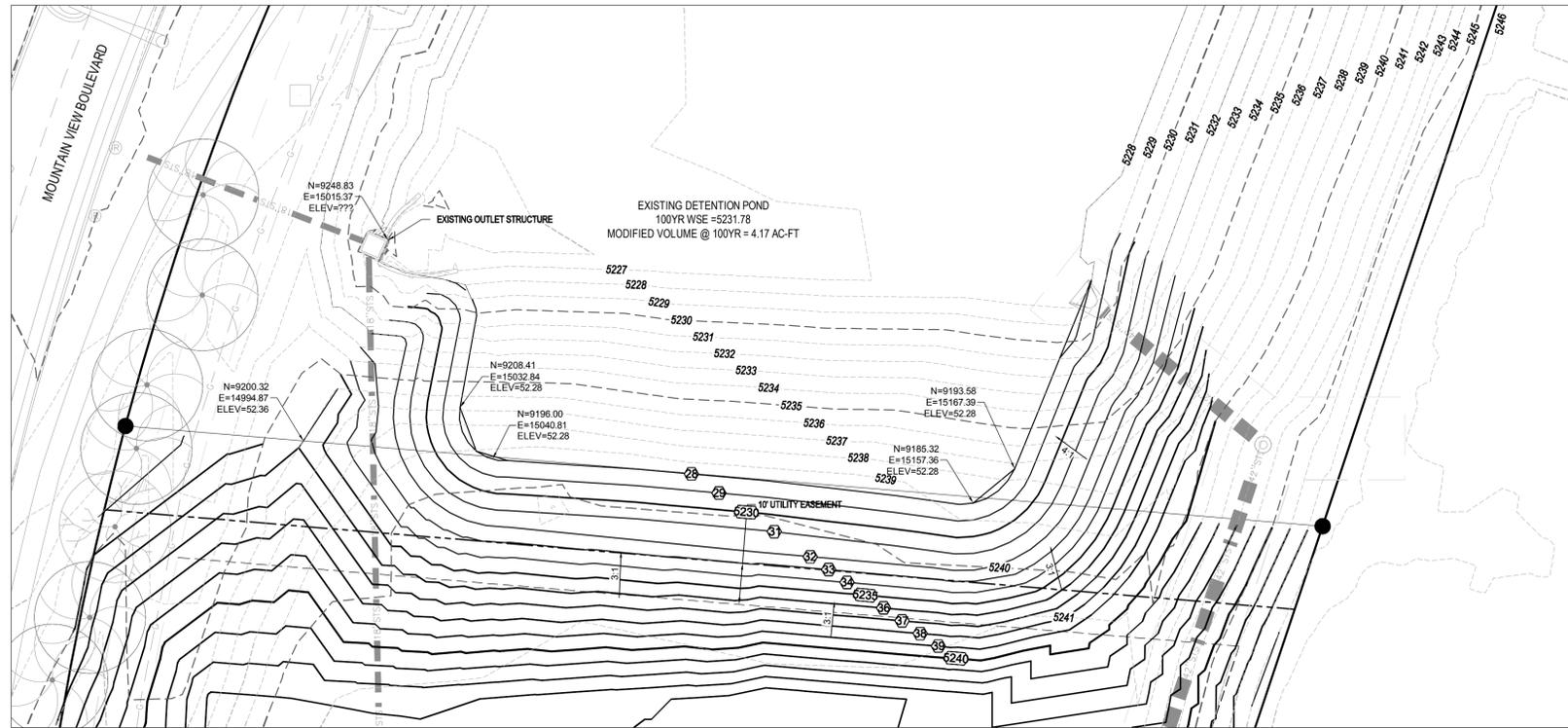
- NOTES:**
- GUTTER CROSS SLOPE SHALL BE 1/2 IN./FT. WHEN DRAINING AWAY FROM CURB AND 1 IN./FT. WHEN DRAINING TOWARD CURB.
 - BASE OF CURB SHALL REST ON COMPACTED FILL.
 - ALL EXPOSED CONCRETE SHALL HAVE A SACK FINISH.
 - CONTROL JOINTS SHALL BE INSTALLED AT 10 FOOT MAXIMUM INTERVALS AND AT THE END OF CURB RETURNS - SEE CURB CONTROL JOINT DETAIL.
 - EXPANSION JOINTS SHALL BE INSTALLED AT 500 FOOT MAXIMUM INTERVALS AND/OR TO MATCH LOCATION OF EXPANSION JOINTS IN PAVING - SEE CURB EXPANSION JOINT DETAIL.

#	Date	Issue / Description	Int.
1	6/28/16	TOWN SUBMITTAL #1	PJD
2	6/29/16	BID ADDENDUM #1	PJD
3	7/28/16	TOWN SUBMITTAL #2	PJD
4	8/12/16	TOWN SUBMITTAL #3	PJD

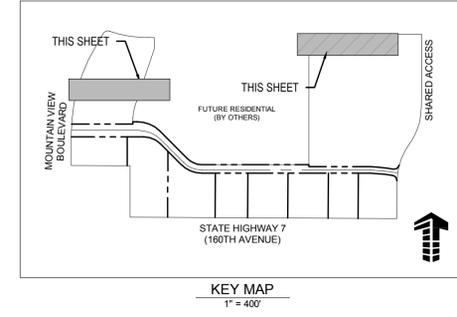
Project No: SH7000001.01
 Drawn By: KRL
 Checked By: PJD
 Date: 5/26/16

SITE DETAILS

C1.5



EXISTING POND MODIFICATION
 SCALE: 1"=20'

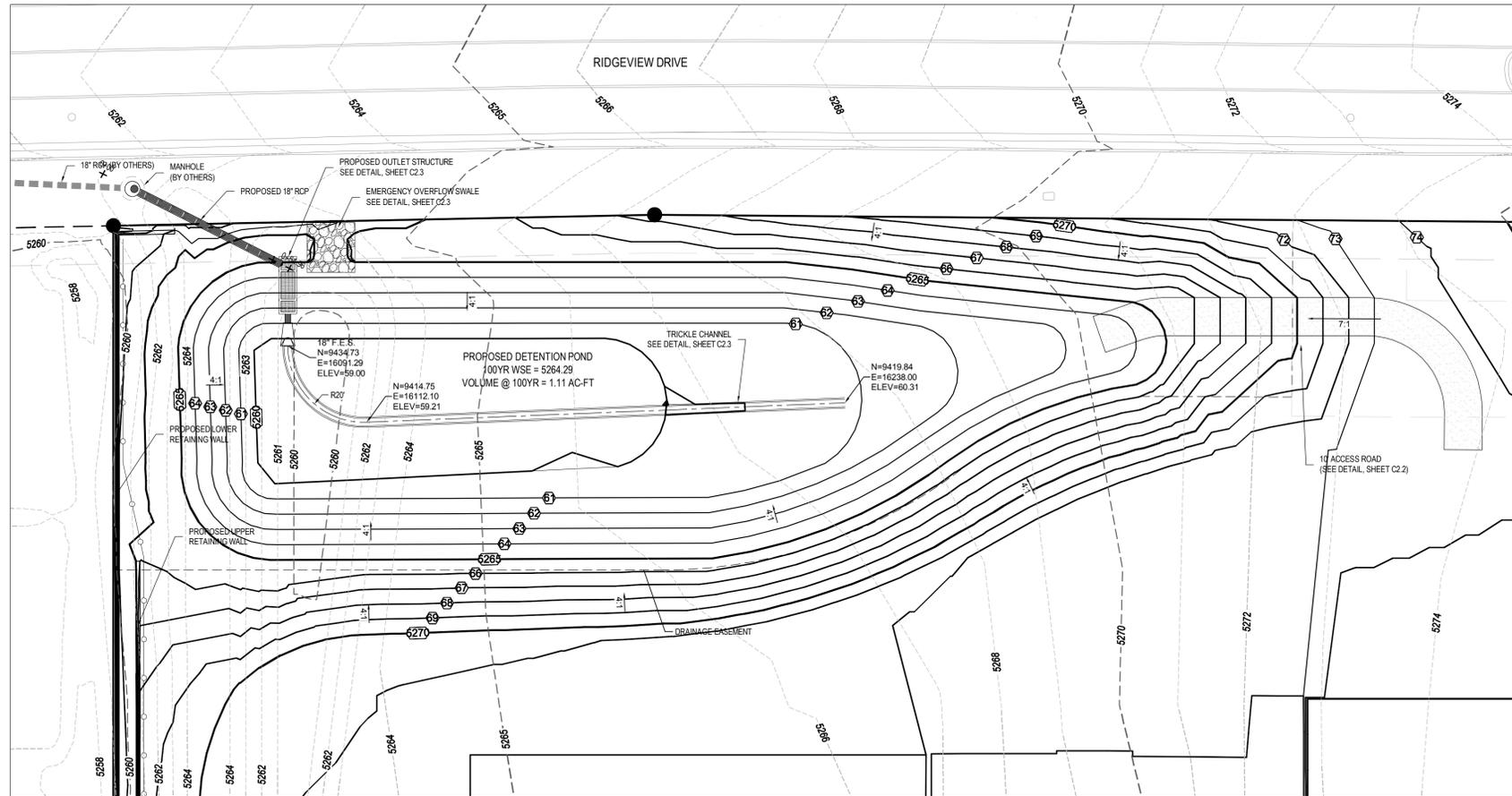


KEY MAP
 1" = 400'

GRADING LEGEND

—05—	EXISTING MAJOR CONTOUR
—04—	EXISTING MINOR CONTOUR
—(05)—	PROPOSED MAJOR CONTOUR
—(04)—	PROPOSED MINOR CONTOUR
05.00	EXISTING SPOT ELEVATION
05.0	PROPOSED SPOT ELEVATION
FF	FINISHED FLOOR
TOG	TOP OF GRATE
FL	FLOWLINE
HP	HIGH POINT
LP	LOW POINT
TW	FINISHED GRADE AT TOP OF WALL
BW	FINISHED GRADE AT BOTTOM OF WALL
ME	MATCH EXISTING
EOC	EDGE OF CONCRETE
TC	TOP OF CURB
EX	EXISTING
—STS—	EXISTING STORM SEWER
—STS—	PROPOSED STORM SEWER

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



EXISTING DETENTION POND
 SCALE: 1"=20'

BENCHMARK

CITY OF AND COUNTY OF BROOMFIELD BM "LUCY" ELEVATION: 5297.00 FEET (NAVD 1988 DATUM)

BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTH RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 7 BEARING N89°38'37"W AS REFERENCED AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

LEGAL DESCRIPTION

A PARCEL OF LAND ACROSS PARCELS 33 AND 34 OF "VISTA RIDGE MASTER FINAL PLAN" AND LOT 2 AND TRACT A OF "VISTA RIDGE FILING NO. 12", LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO. SEE SURVEY FOR DETAILED DESCRIPTION.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



NOTES

- ADD 5200 TO ALL SPOT ELEVATIONS.
- SEE STORM SEWER PLANS FOR STORM SEWER INFORMATION.
- ALL GRADES SHOWN ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY GRADES IN THE LOCATIONS INDICATED AT THE TIME OF CONSTRUCTION. CARE SHALL BE TAKEN TO MATCH EXISTING GRADES AT PROPERTY LINE TO ENSURE A SMOOTH TRANSITION BETWEEN PROPOSED ASPHALT PAVEMENT AND ADJACENT PROPERTY.

**VISTA RIDGE COMMERCIAL WEST
 CIVIL CONSTRUCTION DRAWINGS**

ERIE, COLORADO

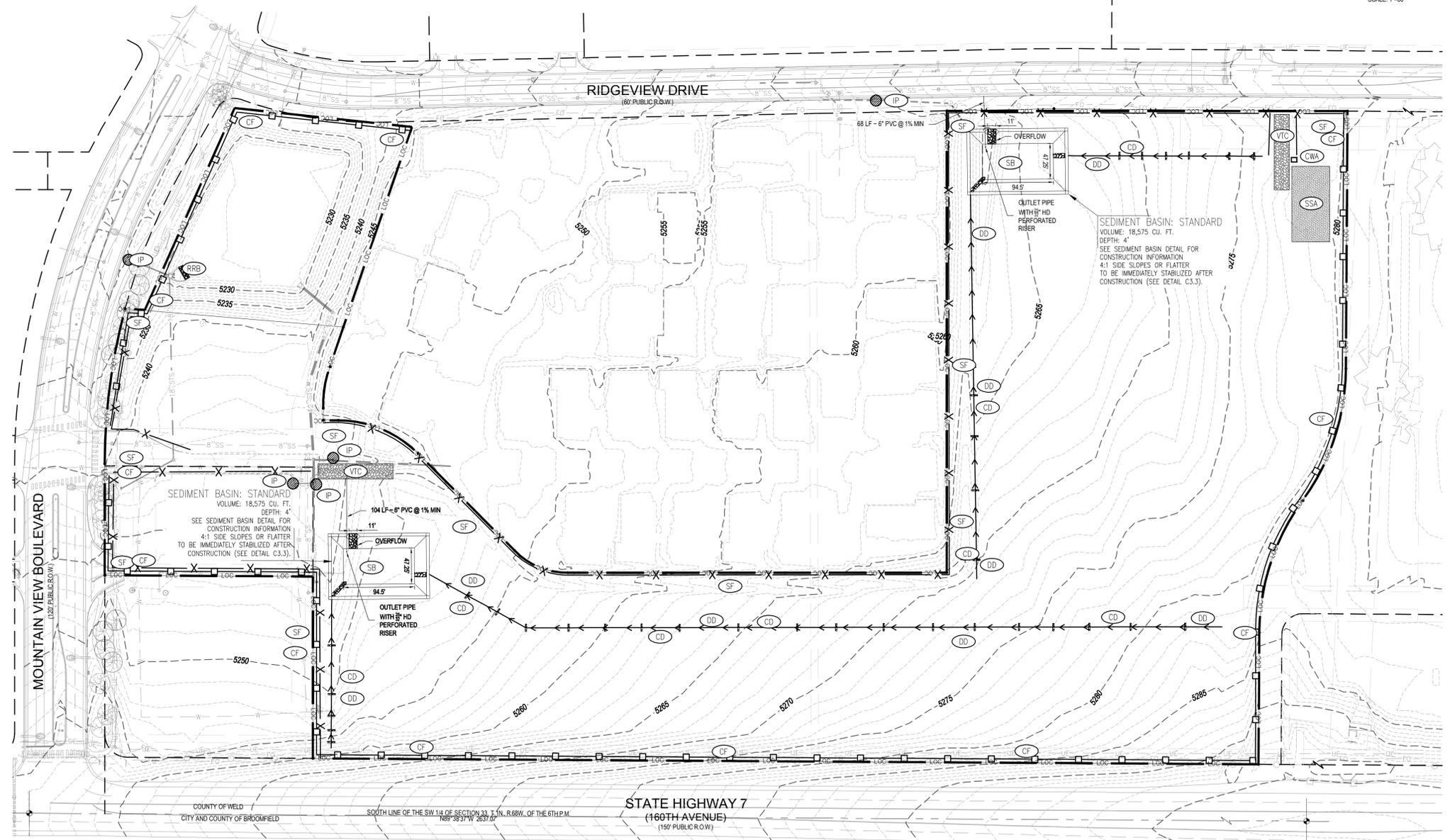
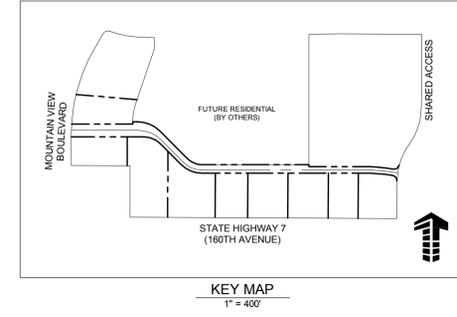
#	Date	Issue / Description	Init.
1	6/28/16	TOWN SUBMITTAL #1	PJD
2	6/29/16	BID ADDENDUM #1	PJD
3	7/28/16	TOWN SUBMITTAL #2	PJD
4	8/12/16	TOWN SUBMITTAL #3	PJD

Project No: SH7000001.01
 Drawn By: KRL
 Checked By: PJD
 Date: 5/26/16

DETENTION POND PLAN

C2.2

Mountain View Commercial West, ERIE, CO, 80111, 303.770.8884, www.gallowayUS.com, 5/26/16, P10, 10:00 AM



BMP LEGEND

- 5200 EXISTING MAJOR CONTOUR
- 5200 PROPOSED MAJOR CONTOUR
- 04 PROPOSED MINOR CONTOUR
- STS EXISTING STORM SEWER
- STS PROPOSED STORM SEWER
- STS PROPOSED STORM SEWER (LESS THAN 12')
- LOC LIMITS OF CONSTRUCTION
- VTC VEHICLE TRACKING CONTROL
- SF SILT FENCE
- CWA CONCRETE WASHOUT AREA
- SSA STABILIZED STAGING AREA
- IP INLET PROTECTION
- SM SEEDING AND MULCHING
- ECB EROSION CONTROL BLANKET
- CF CONSTRUCTION FENCE
- DD DIVERSION DITCH
- RRB REINFORCED ROCK BURM
- CD CHECK DAM
- SB SEDIMENT BASIN

BENCHMARK

CITY OF AND COUNTY OF BROOMFIELD BM "LUCY" ELEVATION: 5297.00 FEET (NAVD 1988 DATUM)

NOTES

1. SEE DETAIL SHEETS C3.3 & C3.4 FOR EROSION CONTROL DETAILS.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



PROJECT DESCRIPTION

THE PROJECT WILL BE COMPOSED OF BUILDING A ROADWAY AND UTILITY INFRASTRUCTURE THROUGH THE MIDDLE OF THE 19.16 ACRE DEVELOPMENT. OVERLOT GRADINGS WILL OCCUR THROUGHOUT THE SITE. A DETENTION POND WILL BE CONSTRUCTED IN THE NORTHEAST CORNER OF THE SITE AND IMPROVEMENTS WILL BE MADE TO THE EXISTING DETENTION POND AT THE SOUTHEAST CORNER OF MOUNTAIN VIEW BOULEVARD AND RIDGEVIEW DRIVE.

PHASE 1: EROSION CONTROL
 PRIOR TO ANY DISTURBANCE, INLET PROTECTION AND SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLAN.

SUBSEQUENT PHASES: EROSION CONTROL
 VEHICLE TRACKING PADS AND THE CONTRACTOR STAGING AREAS SHALL BE SET UP AS SHOWN ON THE PLAN. THE CONCRETE WASHOUT AREA SHALL BE PLACED AND IDENTIFIED FOR USE PRIOR TO COMMENCING CONCRETE WORK. UPON COMPLETION OF ON-SITE STORMWATER INSTALLATION, INLET PROTECTION MUST BE INSTALLED.

EXISTING SITE STABILIZATION CONSISTS OF NATIVE VEGETATION. FINAL AND PERMANENT STABILIZATION SHALL INCLUDE ASPHALT AND CONCRETE PAVING AND ESTABLISHED SEEDED AREAS.

NO SURFACE WATER EXISTS ON-SITE. STORMWATER SHALL BE COLLECTED BY THE PROPOSED ON-SITE STORM SEWER AND ROUTED TO THE ON-SITE DETENTION POND ON THE SOUTH-EAST CORNER OF RIDGEVIEW DRIVE AND MOUNTAIN VIEW BOULEVARD OR COLLECTED BY DIVERSION DITCHES AND ROUTED TO THE DETENTION POND LOCATED NORTHEAST OF THE SITE, SOUTH OF RIDGEVIEW DRIVE OR TO THE SEDIMENT BASIN ON THE SOUTHWEST SIDE OF THE SITE.

VISTA RIDGE COMMERCIAL WEST CIVIL CONSTRUCTION DRAWINGS

ERIE, COLORADO

#	Date	Issue / Description	Init.
1	6/28/16	TOWN SUBMITTAL #1	PJD
2	6/29/16	BID ADDENDUM #1	PJD
3	7/28/16	TOWN SUBMITTAL #2	PJD
4	8/12/16	TOWN SUBMITTAL #3	PJD

Project No: SH7000001.01
 Drawn By: KRL
 Checked By: PJD
 Date: 5/26/16

EROSION CONTROL PLAN (INITIAL)

C3.1

C:\Users\jason\Documents\CAD Files\2016\Projects\01 - Vista Ridge Commercial\DWG\C3.1 - Erosion Control.dwg, 2016.05.16

SITE LEGEND

- P — PROPERTY BOUNDARY LINE
- R.O.W. — R.O.W. LINE
- E — EASEMENT BOUNDARY LINE
- S — STREET LIGHT
- F — EXISTING FIRE HYDRANT
- M — PROPOSED MANHOLE COVER
- R — PROPOSED REGULATORY SIGN
- I — PROPOSED INLET

UTILITY LEGEND

- W — EXISTING WATER LINE
- W — PROPOSED WATER LINE
- SS — EXISTING SANITARY SEWER
- SS — PROPOSED SANITARY SEWER
- STS — EXISTING STORM SEWER
- STS — PROPOSED STORM SEWER
- STS — PROPOSED STORM SEWER (LESS THAN 12")
- G — EXISTING GAS LINE
- G — PROPOSED GAS LINE
- UE — EXISTING UNDERGROUND ELECTRICAL
- UE — PROPOSED UNDERGROUND ELECTRICAL
- UT — EXISTING UNDERGROUND TELEPHONE
- UT — PROPOSED UNDERGROUND TELEPHONE

BENCHMARK

CITY OF AND COUNTY OF BROOMFIELD BM "LUCY" ELEVATION: 5297.00 FEET (NAVD 1988 DATUM)

BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTH RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 7 BEARING N89°38'37"W AS REFERENCED AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

LEGAL DESCRIPTION

A PARCEL OF LAND ACROSS PARCELS 33 AND 34 OF "VISTA RIDGE MASTER FINAL PLAT" AND LOT 2 AND TRACT A OF "VISTA RIDGE FILING NO. 12", LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO. SEE SURVEY FOR DETAILED DESCRIPTION.

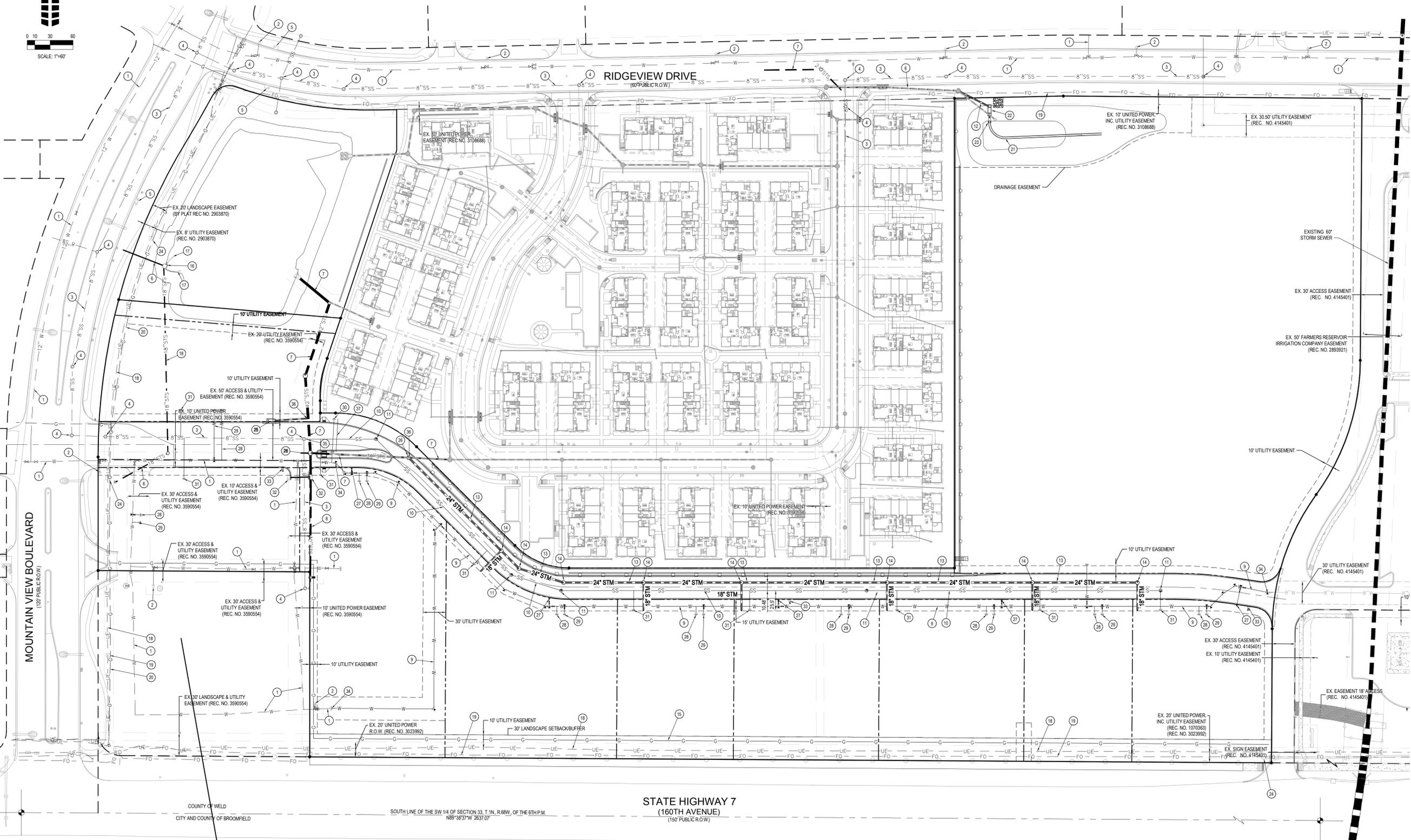
CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



SCHEDULE

- | | | |
|--|--|--|
| 1 EXISTING WATER LINE TO REMAIN | 16 PROPOSED GAS LINE | 29 PROPOSED 4" WATER LINE |
| 2 EXISTING FIRE HYDRANT TO REMAIN | 16 EXISTING OUTLET STRUCTURE | 30 PROPOSED 3/4" IRRIGATION SERVICE |
| 3 EXISTING 8" SANITARY SEWER TO REMAIN | 17 EXISTING CONCRETE HEADWALL | 31 PROPOSED 4" SANITARY SEWER SERVICE |
| 4 EXISTING 4" DIA SANITARY SEWER MANHOLE TO REMAIN | 18 EXISTING UNDERGROUND ELECTRIC TO REMAIN | 32 EXISTING 9" TYPE R INLETS TO BE MODIFIED/REPLACED |
| 5 EXISTING TYPE R INLET TO REMAIN | 19 EXISTING FIBER-OPTIC TO REMAIN | 33 PROPOSED STREET LIGHT |
| 6 EXISTING 18" STORM SEWER TO REMAIN | 20 EXISTING GAS TO REMAIN | 34 CONNECT TO EXISTING WATER LINE |
| 7 EXISTING 24" STORM SEWER TO REMAIN | 21 PROPOSED TRICKLE CHANNEL | 35 CONNECT TO EXISTING SANITARY SEWER |
| 8 EXISTING 30" STORM SEWER BY OTHERS | 22 PROPOSED OUTLET STRUCTURE | 36 CONNECT TO EXISTING STORM SEWER |
| 9 PROPOSED 8" WATER LINE | 23 PROPOSED 18" FLARED END SECTION | 37 2 - 4" IRRIGATION SLEEVES |
| 10 PROPOSED 8" SANITARY SEWER LINE | 24 EXISTING UTILITY CABINET TO REMAIN | |
| 11 PROPOSED 4" DIA SANITARY SEWER MANHOLE | 25 PROPOSED 10" TYPE R INLET | |
| 12 PROPOSED 18" STORM SEWER | 26 5" DIA STORM SEWER MANHOLE (BY OTHERS) | |
| 13 PROPOSED 24" STORM SEWER | 27 PROPOSED FIRE HYDRANT ASSEMBLY | |
| 14 PROPOSED 4" DIA STORM SEWER MANHOLE | 28 PROPOSED 3/4" DOMESTIC WATER SERVICE | |



THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

VISTA RIDGE COMMERCIAL WEST CIVIL CONSTRUCTION DRAWINGS

ERIE, COLORADO

#	Date	Issue / Description	Init.
1	6/28/15	TOWN SUBMITTAL #1	PJD
2	6/29/15	BID ADDENDUM #1	PJD
3	7/28/15	TOWN SUBMITTAL #2	PJD
4	8/12/15	TOWN SUBMITTAL #3	PJD

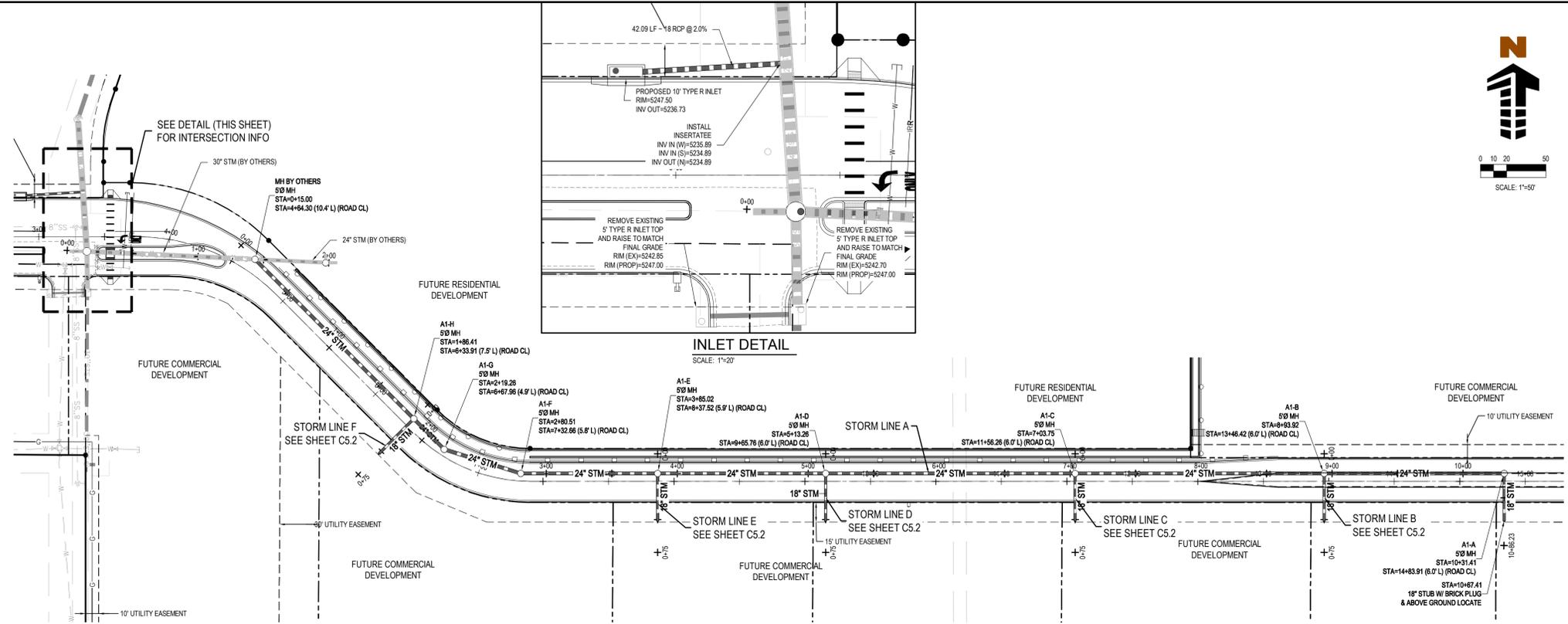
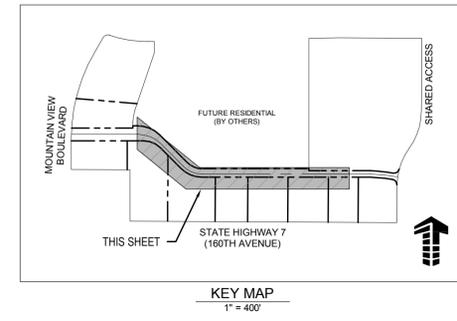
Project No: SH700001.01
 Drawn By: KRL
 Checked By: PJD
 Date: 5/26/16

OVERALL UTILITY PLAN

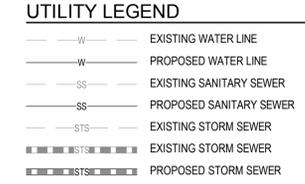
C4.1

STATE HIGHWAY 7
 (160TH AVENUE)
 (150' PUBLIC R.O.W.)

COUNTY OF WELD
 CITY AND COUNTY OF BROOMFIELD
 SOUTH LINE OF THE SW 1/4 OF SECTION 33, T. 1N., R. 68W., OF THE 6TH P.M.
 N89°38'37"W 2637.07'



PLAN: STORM LINE A (STA. 0+00 TO END)
 SCALE: 1"=30'



- GENERAL NOTES**
- REFER TO UTILITY PLAN FOR GENERAL NOTES.
 - REFER TO SANITARY PLANS AND WATER PLANS FOR ADDITIONAL UTILITY COORDINATION.
 - EXISTING DRY UTILITY ELEVATIONS ARE ASSUMED. PROPOSED DRY UTILITY ELEVATIONS ARE INDICATED AS SUCH AND TYPICALLY MAINTAIN 3 FEET OF COVER.
 - REFER TO THE ERIE UTILITIES STANDARD DETAILS FOR CONSTRUCTION DETAILS.

NOTE: MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) BETWEEN POTABLE WATERLINE AND STORM OR SANITARY SEWERS AND LATERALS. AN 18" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

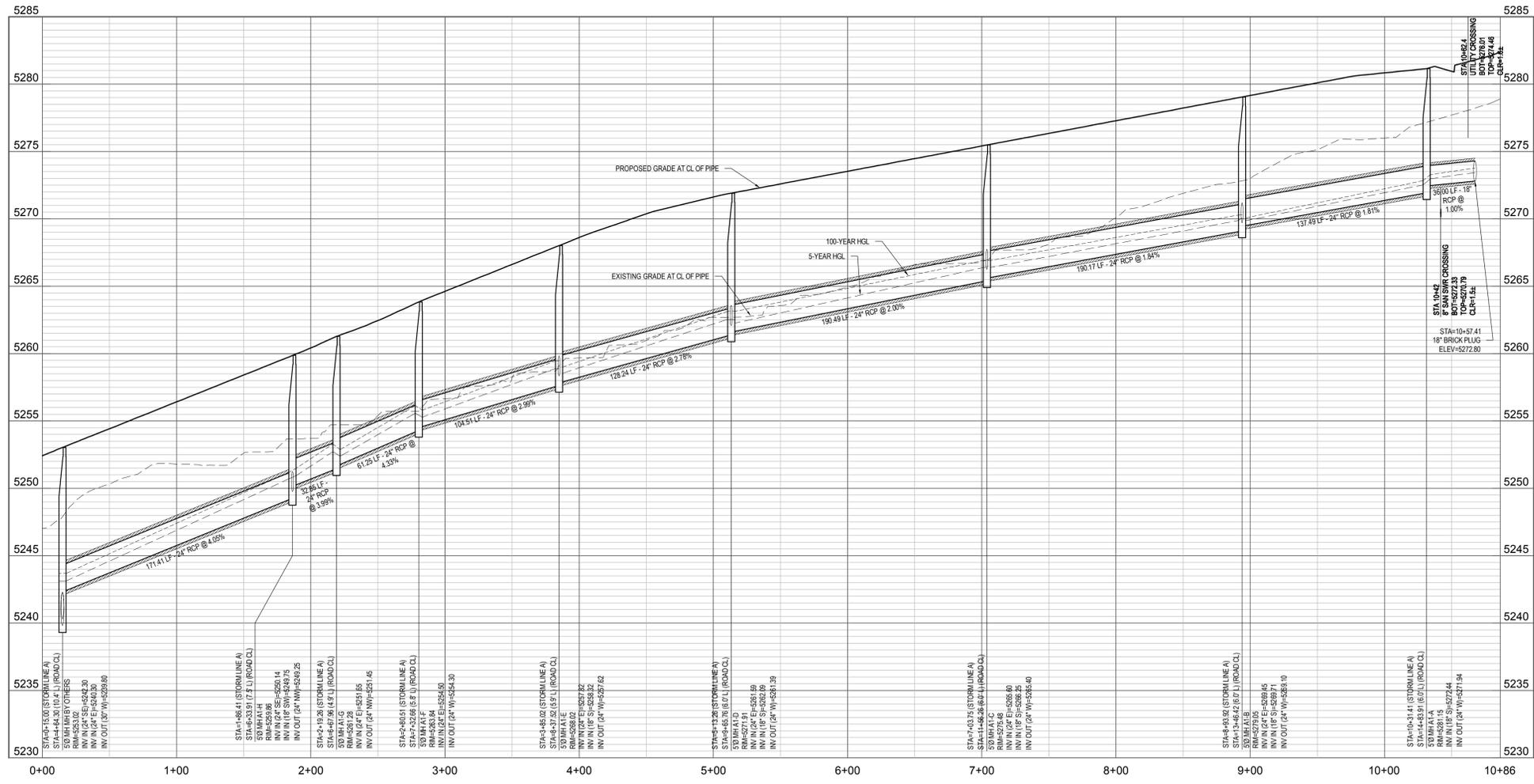
NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

BENCHMARK
 CITY OF AND COUNTY OF BROOMFIELD BM "LUCY" ELEVATION: 5297.00 FEET (NAVD 1988 DATUM)

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



PROFILE: STORM LINE A (STA. 0+00 TO END)
 SCALE: H 1"=50' V 1"=5'

VISTA RIDGE COMMERCIAL WEST CIVIL CONSTRUCTION DRAWINGS

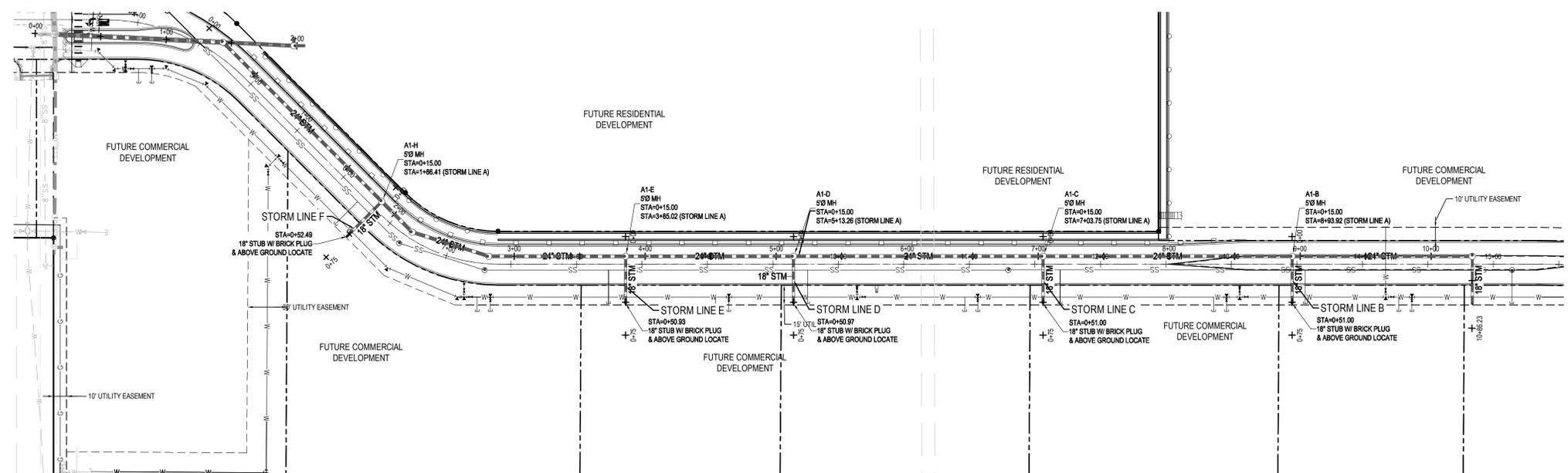
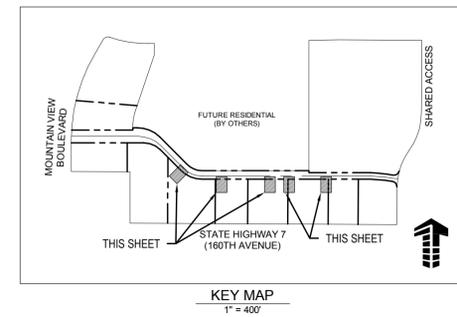
ERIE, COLORADO

#	Date	Issue / Description	Init.
1	6/28/16	TOWN SUBMITTAL #1	PJD
2	6/29/16	BID ADDENDUM #1	PJD
3	7/28/16	TOWN SUBMITTAL #2	PJD
4	8/12/16	TOWN SUBMITTAL #3	PJD

Project No: SH7000001.01
 Drawn By: KRL
 Checked By: PJD
 Date: 5/26/16

STORM SEWER PLAN & PROFILE

C5.1



PLAN: STORM LINES B-F (STA. 0+00 TO END)
 SCALE: 1"=30'

UTILITY LEGEND

- W — EXISTING WATER LINE
- W — PROPOSED WATER LINE
- SS — EXISTING SANITARY SEWER
- SS — PROPOSED SANITARY SEWER
- STS — EXISTING STORM SEWER
- STS — PROPOSED STORM SEWER
- STS — PROPOSED STORM SEWER

GENERAL NOTES

1. REFER TO UTILITY PLAN FOR GENERAL NOTES.
2. REFER TO SANITARY PLANS AND WATER PLANS FOR ADDITIONAL UTILITY COORDINATION.
3. EXISTING DRY UTILITY ELEVATIONS ARE ASSUMED. PROPOSED DRY UTILITY ELEVATIONS ARE INDICATED AS SUCH AND TYPICALLY MAINTAIN 3 FEET OF COVER.
4. REFER TO THE ERIE UTILITIES STANDARD DETAILS FOR CONSTRUCTION DETAILS.

NOTE: MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) BETWEEN POTABLE WATERLINE AND STORM OR SANITARY SEWERS AND LATERALS. AN 18" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

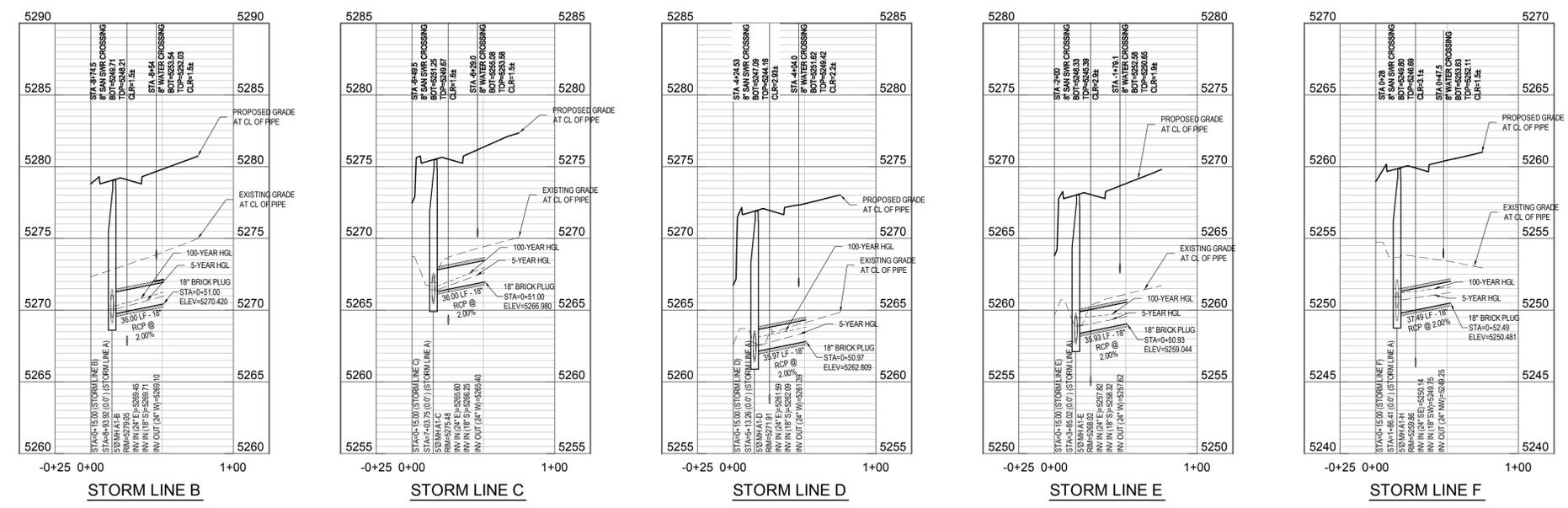
SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

BENCHMARK

CITY OF AND COUNTY OF BROOMFIELD BM "LUCY" ELEVATION: 5297.00 FEET (NAVD 1988 DATUM)

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-Holing OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



PROFILE: STORM LINES B-F (STA. 0+00 TO END)
 SCALE: H 1"=50' V 1"=5'

VISTA RIDGE COMMERCIAL WEST CIVIL CONSTRUCTION DRAWINGS

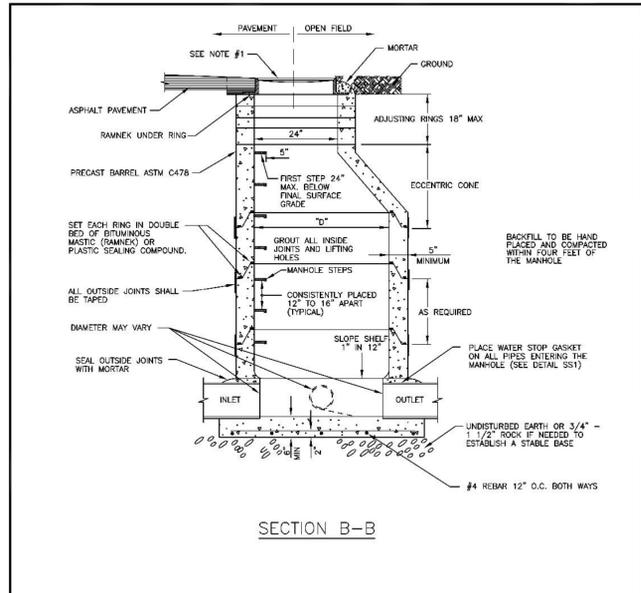
ERIE, COLORADO

#	Date	Issue / Description	Int.
1	6/28/16	TOWN SUBMITTAL #1	P.U.D.
2	6/29/16	BID ADDENDUM #1	P.U.D.
3	7/28/16	TOWN SUBMITTAL #2	P.U.D.
4	8/12/16	TOWN SUBMITTAL #3	P.U.D.

Project No: SH7000001.01
 Drawn By: KRL
 Checked By: PJD
 Date: 5/26/16

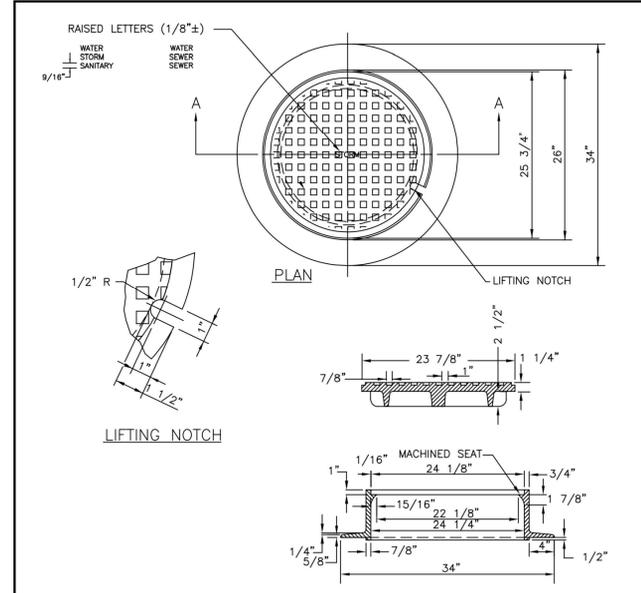
STORM SEWER PLAN & PROFILE

C5.2



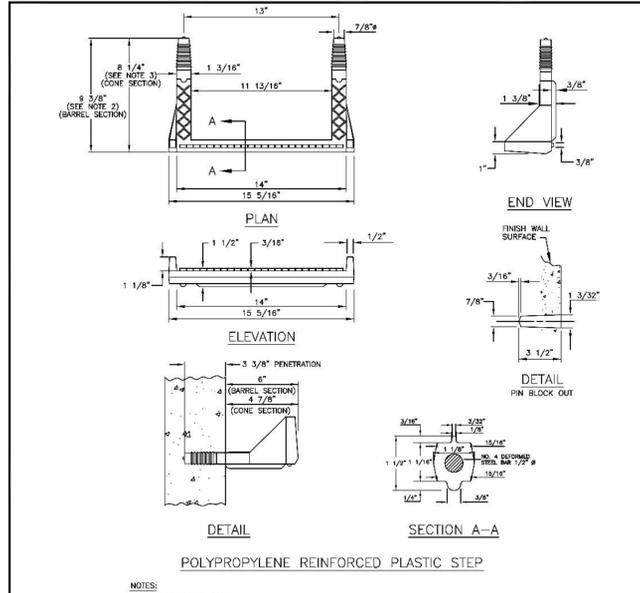
- NOTES:**
- FINAL GRADE OF MANHOLE COVERS SHALL BE 1/4" LOWER THAN FINAL STREET.
 - STEPS SHOULD NOT BE PLACED OVER THE FLOW. NO STEPS ALLOWED IN THE ADJUSTING RING AREA.
 - PRECAST CONCRETE SECTIONS SHALL CONFORM TO ASTM C-476.
 - BLOCK-OUTS, WHEN APPROVED, SHALL EXTEND A MAX. OF 6" PAST MANHOLE O.D. AND BE SATISFACTORILY PLUGGED AND SEALED.
 - MANHOLES NOT IN ASPHALT OR CONCRETE SHALL BE RAISED 6" ABOVE FINAL GRADE AND A CONCRETE COLLAR INSTALLED WITH A GREEN CARBONITE POST.

DRAWING TITLE: STANDARD MANHOLE
 DRAWING NUMBER: STM8
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 01/2012



- CASTING SPECIFICATIONS: ASTM A-48 WITH A MINIMUM TENSILE STRENGTH OF 25 KSI (CLASS 25)
- ALL CASTINGS TO BE DIPPED IN ASPHALT BASE PAINT (OR APPROVED EQUAL)
- CASTINGS SHALL BE AS SPECIFIED BELOW OR APPROVED EQUAL:
 MANUFACTURERS CAT.#
 NEENAH R-1706
 CASTINGS, INC. MH-400-24 C.I.
 HUTCHINSON FDRY. & STL. INC. MH-400
- ALL NEW MANHOLES MUST INCLUDE A PLASTIC OR VINYL TAG ATTACHED TO THE TOP STEP STATING THE FOLLOWING "CAUTION CONFINED SPACE; ENTRY PERMIT REQUIRED."

DRAWING TITLE: 24" MANHOLE RING AND COVER
 DRAWING NUMBER: STM8A
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 1/2015



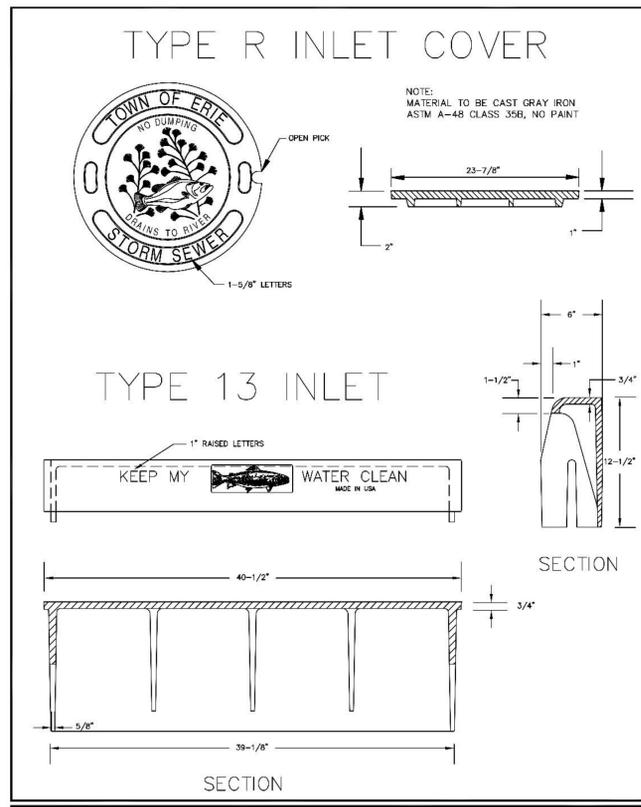
- NOTES:**
- ASTM SPECIFICATIONS:
 A. ASTM C-476
 B. ASTM A-476 GRADE 60 (STEEL REBAR)
 C. ASTM 2148-99, TYPE III, GRADE 15008 (POLYPROPYLENE)
 - STEPS INSTALLED IN MANHOLE BARREL SECTIONS OR VERTICAL WALLS OF STRUCTURES SHALL HAVE A 9/8 INCH LEG AND SHALL PROJECT FROM THE WALL 6 INCHES.
 - STEPS INSTALLED IN MANHOLE CONE SECTIONS SHALL HAVE AN 8 1/4 INCH LEG AND SHALL PROJECT FROM THE WALL 4 7/8 INCHES.
 - ALL STEPS SHALL HAVE A PENETRATION DEPTH INTO THE WALL OF 3/8 INCHES.
 - STEPS SHALL BE INSTALLED BY THE "PRESS-FIT" METHOD UTILIZING A SPECIALLY TAPERED PIN TO FORM THE INSERT HOLE AS SHOWN, FOLLOWING MANUFACTURER'S RECOMMENDED PROCEDURE AND SHALL NOT BE GROUTED IN PLACE.
 - INSTALLED STEPS SHALL BE CAPABLE OF WITHSTANDING A PULL OUT FORCE OF 2500 LB. PER LEG FOR A MINIMUM PERIOD OF TWO MINUTES.
 - PINS MUST BE SMOOTH AND CONTINUOUSLY TAPERED. DIMENSIONS OF THE PIN AND THE INSERTED PORTION OF THE MANHOLE STEP ARE TYPICAL ONLY. W.M.D. INSTALLATIONS REQUIRE A MATCHED COMBINATION OF A TAPERED INSERT PIN AND MANHOLE STEP, AS RECOMMENDED OR REQUIRED BY SPECIFIC MANUFACTURER OF THE STEP TO BE USED.
 - THIS STEP CAN ALSO BE USED IN TIE POCKET INSTALLATIONS PROVIDED 5" TIE CLEARANCE IS ALLOWED.

DRAWING TITLE: MANHOLE STEPS
 DRAWING NUMBER: STM9
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004

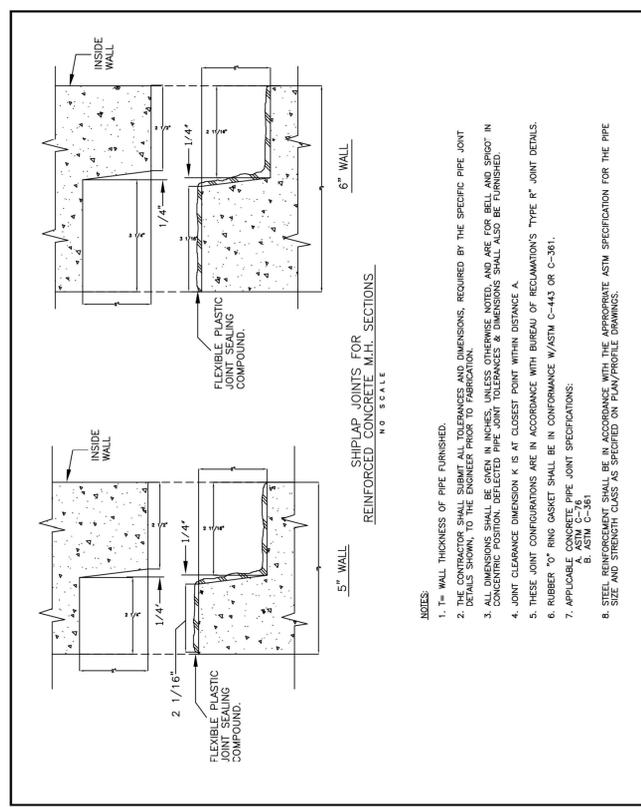
STORM DRAINAGE CONSTRUCTION NOTES

- ALL STORM DRAINAGE CONSTRUCTION IS SUBJECT TO THE GENERAL NOTES ON THE COVER SHEET OF THESE PLANS, AS WELL AS THE STORM DRAINAGE CONSTRUCTION NOTES LISTED HERE.
- ALL STORM DRAINAGE PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) PER ASTM C76, CL III OR CL IV, AND JOINTING SHALL CONFORM TO ASTM C445. PVC (SDR-35), SHALL BE IN ACCORDANCE WITH ASTM D-3034; ANY STORM DRAINAGE PIPE UNDER A PROPOSED OR FUTURE TRAFFIC AREA SHALL BE RCP CL III AS A MINIMUM. RCP TO BE JACKED SHALL BE CL-V AS A MINIMUM.
- ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 24", UNLESS OTHERWISE NOTED. UNDER NO CIRCUMSTANCES WILL ANY PIPE HAVE LESS THAN 18" COVER FROM THE FINISH SURFACE TO THE OUTSIDE WALL OF THE PIPE.
- ALL STORM DRAINAGE PIPE SHALL BE BEDDED IN ACCORDANCE WITH STANDARD DETAILS INCLUDED AFTER THE STORM SEWER PLAN AND PROFILES OF THE PLAN SET. STORM SEWER PIPE SHALL BE BEDDING CLASS "B" UNLESS THE GEOTECHNICAL ENGINEER OR CITY ENGINEER DEEM NECESSARY A CHANGE IN BEDDING CLASS DUE TO SOIL CONDITION.
- ALL STORM DRAINAGE TRENCHES SHALL BE SLOPED OR BRACED AND SHEETED AS NECESSARY, FOR THE SAFETY OF THE WORKERS AND THE PROTECTION OF OTHER UTILITIES, AND IN COMPLIANCE WITH ALL APPLICABLE STATE AND FEDERAL REQUIREMENTS. ALL EXCAVATION OPERATION SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL MANHOLE RIM ELEVATIONS GIVEN ON THESE PLANS ARE TO BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL SET THE FINAL RIM ELEVATION BASED ON THE COMPLETED FINISH SURFACE.
- ALL STORM DRAINAGE PIPES SHALL HAVE A MINIMUM HORIZONTAL SEPARATION OF 10' FROM ALL WATER LINES. WHERE LINES CROSS, THERE SHALL BE A MINIMUM OF 18" CLEAR VERTICAL SEPARATION. ANY STORM SEWER LINE ABOVE A WATER LINE SHALL HAVE JOINTS ENCASED IN CONCRETE PER DETAIL ON THIS SHEET IF WITHIN 18" VERTICAL SEPARATION. IF STORM SEWER IS ABOVE WATER LINE AND VERTICAL SEPARATION IS LESS THAN 1.5' THE STORM SEWER SHALL BE FULLY ENCASED IN CONCRETE PER THE APPROPRIATE ENCASEMENT DETAIL.
- LENGTHS OF STORM SEWER PIPES ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. THEREFORE, LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ROOF AND CANOPY DOWNSPOUTS.
- ASPHALT / ROAD BASE, ETC. (FOR PAVEMENT CONSTRUCTION) TO BE INSTALLED ABOVE STORM PIPE BACKFILL SHALL BE ACCORDING TO GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



DRAWING TITLE: INLET & INLET COVER
 DRAWING NUMBER: STM10
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 01/2012



DRAWING TITLE: CONCRETE PIPE JOINTS - SHIPLAP
 DRAWING NUMBER: STM11A (1 OF 2)
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 01/2012

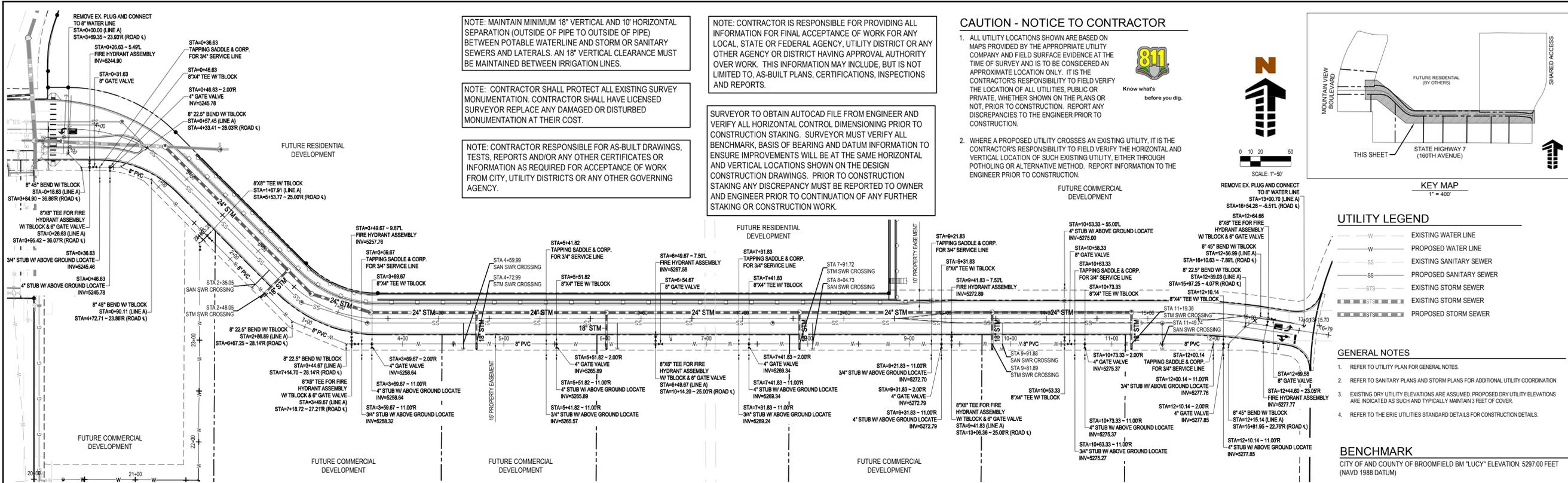
VISTA RIDGE COMMERCIAL WEST
 CIVIL CONSTRUCTION DRAWINGS
 ERIE, COLORADO

#	Date	Issue / Description	Init.
1	6/28/16	TOWN SUBMITTAL #1	PJD
2	6/29/16	BID ADDENDUM #1	PJD
3	7/28/16	TOWN SUBMITTAL #2	PJD
4	8/12/16	TOWN SUBMITTAL #3	PJD

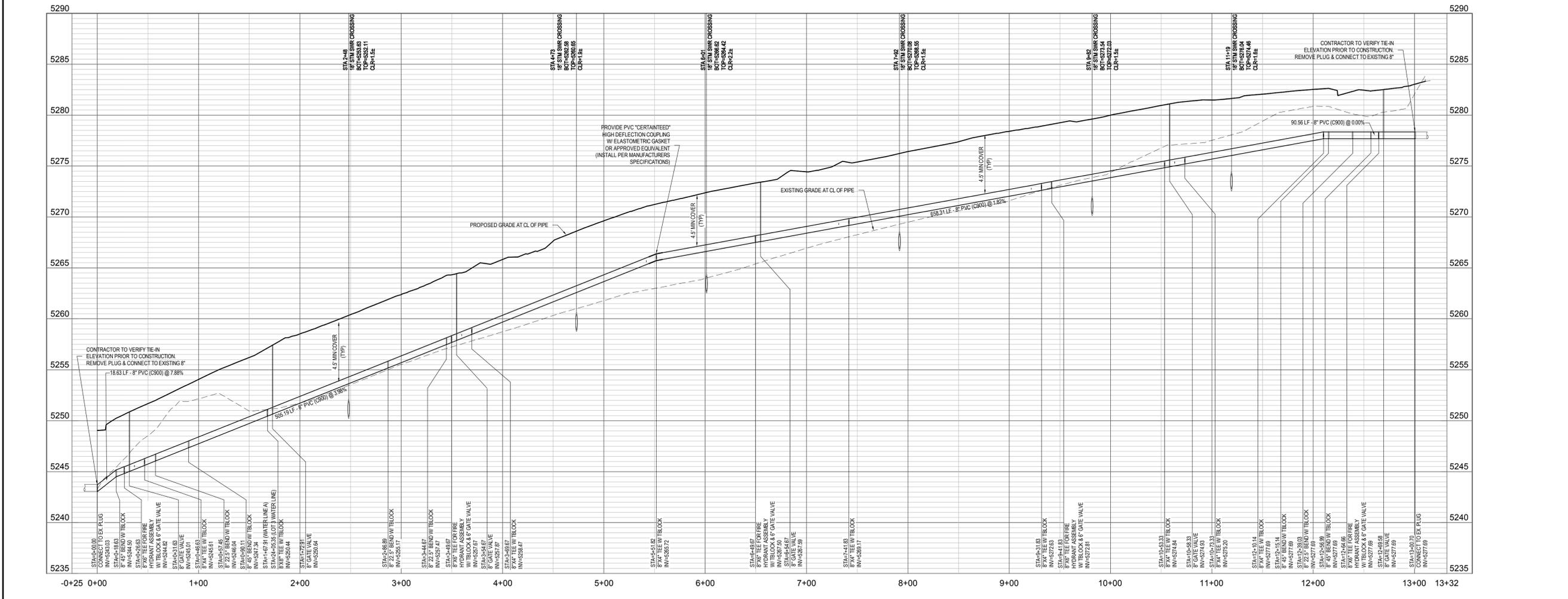
Project No: SH7000001.01
 Drawn By: KRL
 Checked By: PJD
 Date: 5/26/16

STORM SEWER DETAILS

C5.3



PLAN: WATER LINE A (STA. 0+00 TO END)
 SCALE: 1"=50'



PROFILE: WATER LINE A (STA. 0+00 TO END)
 SCALE: H 1"=50' V 1"=5'

NOTE: MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) BETWEEN POTABLE WATERLINE AND STORM OR SANITARY SEWERS AND LATERALS. AN 18" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

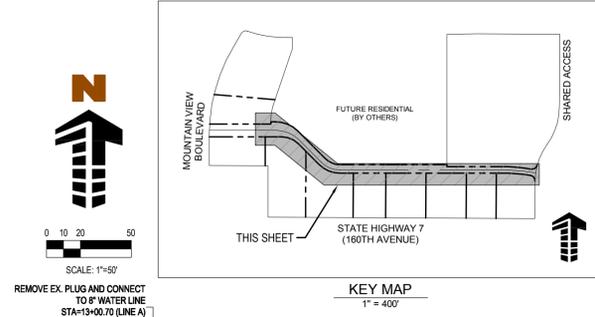
NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



UTILITY LEGEND

— W —	EXISTING WATER LINE
- - - W - - -	PROPOSED WATER LINE
- - - SS - - -	EXISTING SANITARY SEWER
- - - SS - - -	PROPOSED SANITARY SEWER
- - - SS - - -	EXISTING STORM SEWER
- - - SS - - -	PROPOSED STORM SEWER

- GENERAL NOTES**
- REFER TO UTILITY PLAN FOR GENERAL NOTES.
 - REFER TO SANITARY PLANS AND STORM PLANS FOR ADDITIONAL UTILITY COORDINATION.
 - EXISTING DRY UTILITY ELEVATIONS ARE ASSUMED. PROPOSED DRY UTILITY ELEVATIONS ARE INDICATED AS SUCH AND TYPICALLY MAINTAIN 3 FEET OF COVER.
 - REFER TO THE ERIE UTILITIES STANDARD DETAILS FOR CONSTRUCTION DETAILS.

BENCHMARK
 CITY OF AND COUNTY OF BROOMFIELD BM "LUCY" ELEVATION: 5297.00 FEET (NAVD 1988 DATUM)

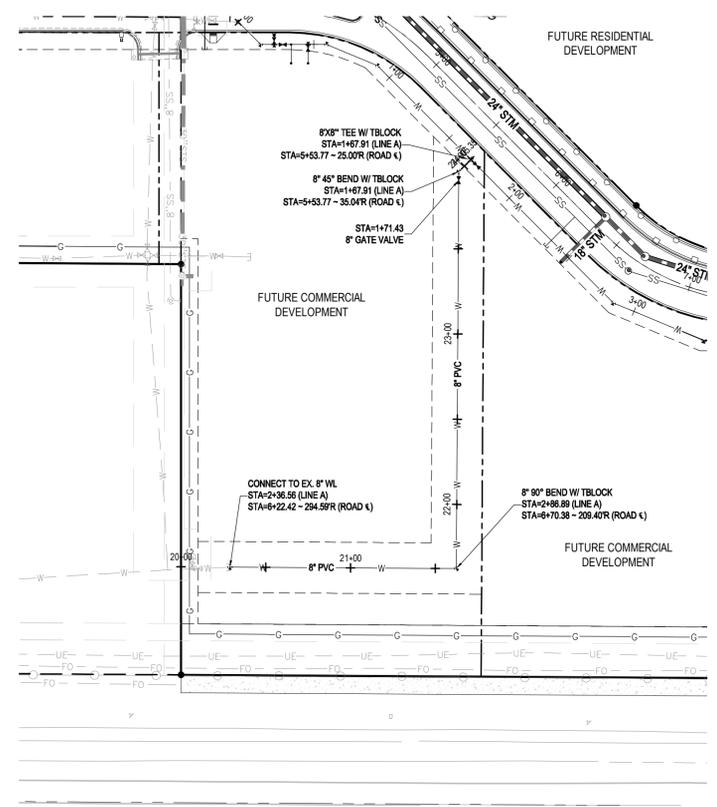
**VISTA RIDGE COMMERCIAL WEST
 CIVIL CONSTRUCTION DRAWINGS**
ERIE, COLORADO

#	Date	Issue / Description	Init.
1	6/28/16	TOWN SUBMITTAL #1	PJD
2	6/29/16	BID ADDENDUM #1	PJD
3	7/28/16	TOWN SUBMITTAL #2	PJD
4	8/12/16	TOWN SUBMITTAL #3	PJD

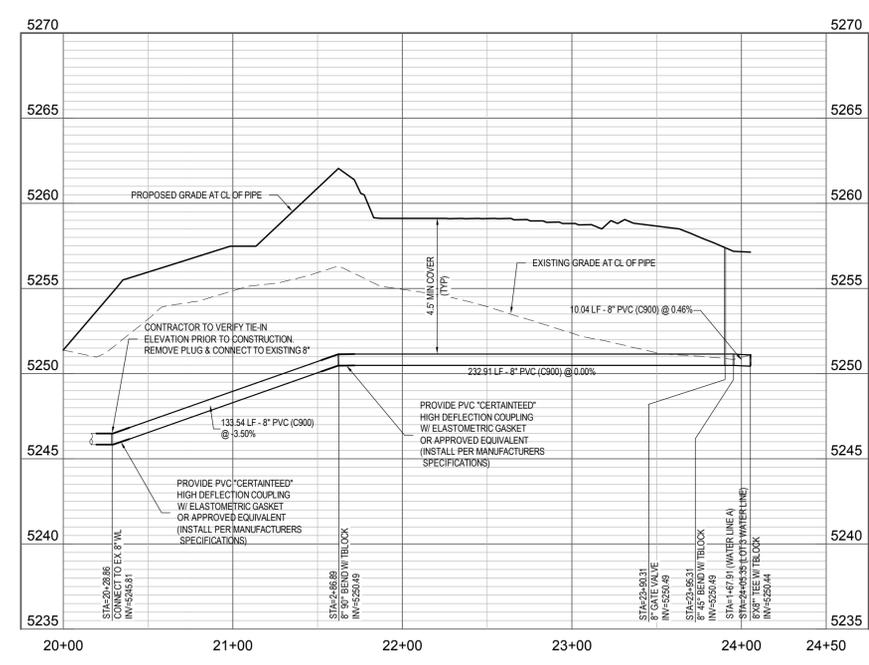
Project No: SH7000001.01
 Drawn By: KRL
 Checked By: PJD
 Date: 5/26/16

**WATER LINE
 PLAN & PROFILE**

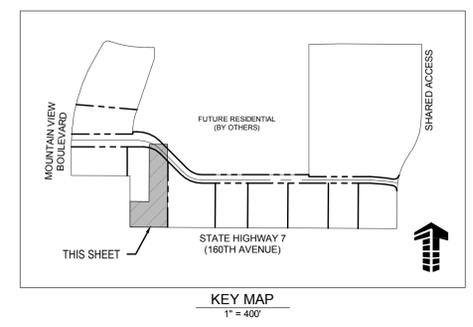
C6.1



PLAN: LOT 3 WATER LINE (STA. 20+00 TO END)
 SCALE: 1"=50'



PROFILE: LOT 3 WATER LINE (STA. 20+00 TO END)
 SCALE: H 1"=50' V 1"=5'



UTILITY LEGEND

---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER

- GENERAL NOTES**
- REFER TO UTILITY PLAN FOR GENERAL NOTES.
 - REFER TO SANITARY PLANS AND STORM PLANS FOR ADDITIONAL UTILITY COORDINATION.
 - EXISTING DRY UTILITY ELEVATIONS ARE ASSUMED. PROPOSED DRY UTILITY ELEVATIONS ARE INDICATED AS SUCH AND TYPICALLY MAINTAIN 3 FEET OF COVER.
 - REFER TO THE ERIE UTILITIES STANDARD DETAILS FOR CONSTRUCTION DETAILS.

BENCHMARK
 CITY OF AND COUNTY OF BROOMFIELD BM "LUCY" ELEVATION: 5297.00 FEET (NAVD 1988 DATUM)

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

NOTE: MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) BETWEEN POTABLE WATERLINE AND STORM OR SANITARY SEWERS AND LATERALS. AN 18" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



VISTA RIDGE COMMERCIAL WEST CIVIL CONSTRUCTION DRAWINGS

ERIE, COLORADO

#	Date	Issue / Description	Int.
1	6/28/16	TOWN SUBMITTAL #1	PJD
2	6/29/16	BID ADDENDUM #1	PJD
3	7/28/16	TOWN SUBMITTAL #2	PJD
4	8/12/16	TOWN SUBMITTAL #3	PJD

Project No: SH7000001.01
 Drawn By: KRL
 Checked By: PJD
 Date: 5/26/16

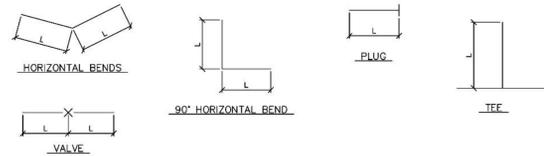
WATER LINE PLAN & PROFILE-LOT 3

C6.2

H:\Projects\Lot 3\Drawings\CD - Eri\05000001 - Vista Ridge Commercial West\CD\CD\LOT3\LOT3_C6.2.dwg, P11, Date: 2016-05-16

ROD DIAMETER, GRADE & LENGTH OF RESTRAINED PIPE

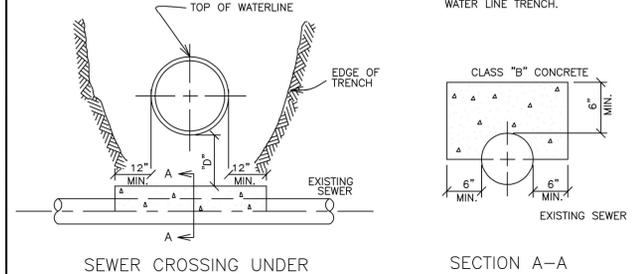
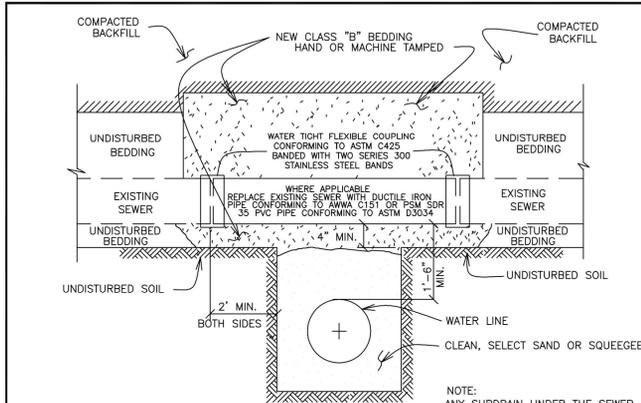
PIPE SIZE	4"		6"		8"		12"		16"		20"		24"				
	D	L	D	L	D	L	D	L	D	L	D	L	D	L			
90° BEND, TEE, PLUG	3/4"	30'	MS	3/4"	45'	MS	3/4"	60'	MS	1"	100'	HS	1 1/4"	132'	HS	1 1/2"	150'
VALVE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
45° BEND	3/4"	9'	MS	3/4"	13'	MS	3/4"	18'	MS	1"	32'	MS	3/4"	39'	HS	-	45'
22 1/2° BEND	3/4"	1'	MS	3/4"	4'	MS	3/4"	5'	MS	3/4"	7'	MS	3/4"	10'	MS	-	12'
11 1/4° BEND	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-



- NOTES:
- LENGTH OF RESTRAINED PIPE MEASURED EACH WAY FROM VALVES AND BENDS.
 - CLAMPS AND RODS NOT ALLOWED FOR 24" & LARGER PIPES.
 - D=DIAMETER, L=LENGTH, G=GRADE, MS=MILD STEEL, HS=HIGH STRENGTH.
 - MIN 4.5' GROUND COVER REQD.
 - BASED ON 150 PSI INTERNAL PRESSURE.
 - MS = MILD STEEL, ROD ASTM A 36.
 - HS = HIGH STRENGTH ROD ASTM A 193 GRADE B7.
 - NUTS SHALL BE ASTM A 307 GRADE A OR B HEXAGON HEAVY SERIES. HS NUTS SHALL CONFORM TO MS-22.
 - LENGTH REFERS TO THE AMOUNT OF PIPE WHICH MUST BE RESTRAINED TOGETHER.
 - LENGTH OF RESTRAINED PIPE CHART IS ALSO FOR THE LENGTH OF JOINT RESTRAINT FOR MEGALUGS.
 - TEES & CROSSES MUST BE RESTRAINED IN ALL APPLICABLE DIRECTIONS.
 - 12" AND SMALLER IN LINE VALVES AND TEES SHALL HAVE A MECHANICAL JOINT RESTRAINT DEVICE ON EACH SIDE OF THE FITTING OR VALVE.
 - A SECOND VALVE WILL BE REQD TO BE CLOSED WHEN EXCAVATING NEXT TO A EXIST VALVE.
 - WHEN REDUCERS ARE USED ON VALVE INSTALLATIONS THE LENGTH OF RESTRAINT SHALL BE BASED ON THE SIZE OF THE PIPE NOT THE SIZE OF THE VALVE.
 - ALL REDUCERS/INCREASERS SHALL HAVE MECHANICAL RESTRAINT DEVICES ON EACH SIDE OF FITTING.
 - PIPE JOINT RESTRAINT MAY BE ACCOMPLISHED USING HARNESS RODS, MECHANICAL JOINT RESTRAINT OR RESTRAINED JOINT PIPE AND FITTINGS.
 - AN ANALYSIS OF THE NECESSARY RESTRAINT LENGTH FOR PIPE LARGER THAN 24" SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPT FOR REVIEW AND APPROVAL ON A CASE BY CASE BASIS.

The Town of ERIE COLORADO

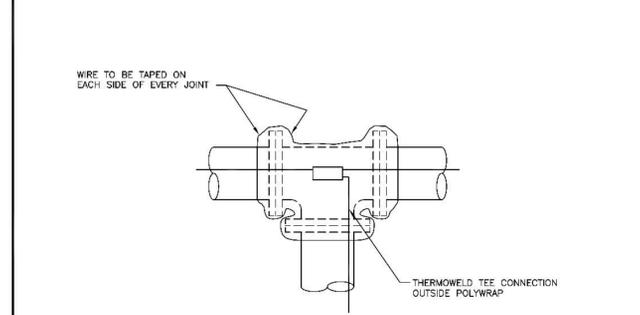
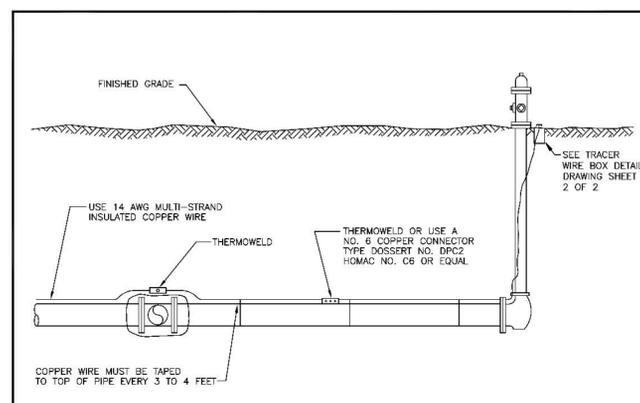
DRAWING TITLE: RESTRAINED PIPE LENGTHS
 DRAWING NUMBER: W16
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN REV. DATE: 01/2015



NOTE: ALL EXISTING SEWER DAMAGED DURING INSTALLATION MUST BE REPLACED WITH PVC PIPE.

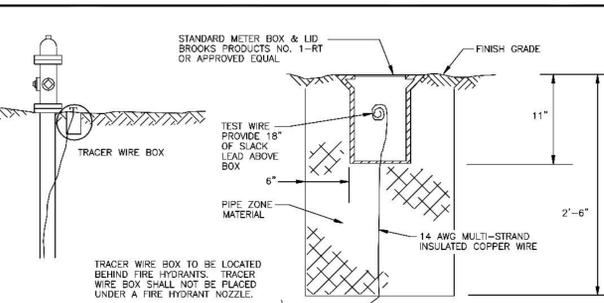
The Town of ERIE COLORADO

DRAWING TITLE: CROSSING STORM AND SANITARY SEWERS
 DRAWING NUMBER: W25
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN REV. DATE: 01/2009

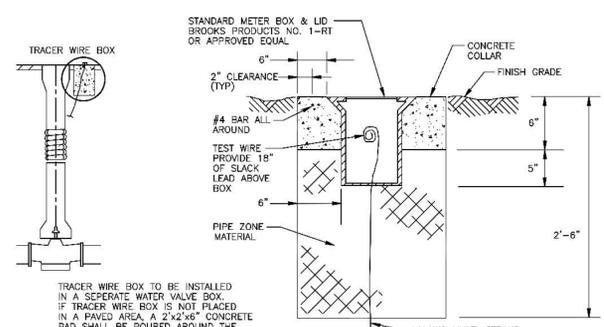


The Town of ERIE COLORADO

DRAWING TITLE: TRACER WIRE
 DRAWING NUMBER: W32A (1 OF 2)
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN REV. DATE: 01/2009



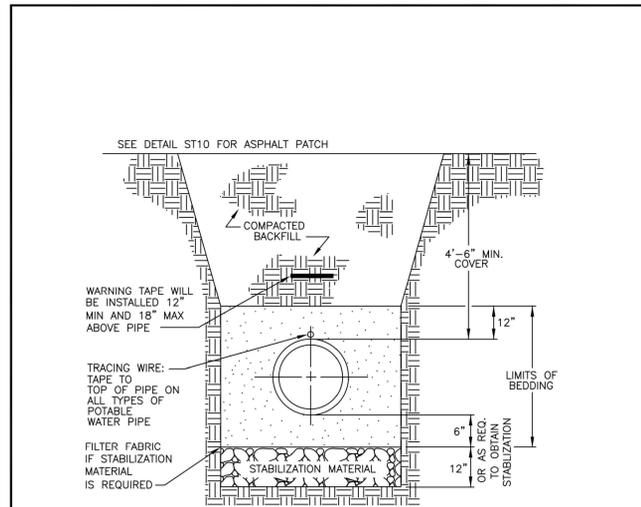
TRACER WIRE BOX AT FIRE HYDRANT



TRACER WIRE BOX FOR AREA WITH NO FIRE HYDRANT

The Town of ERIE COLORADO

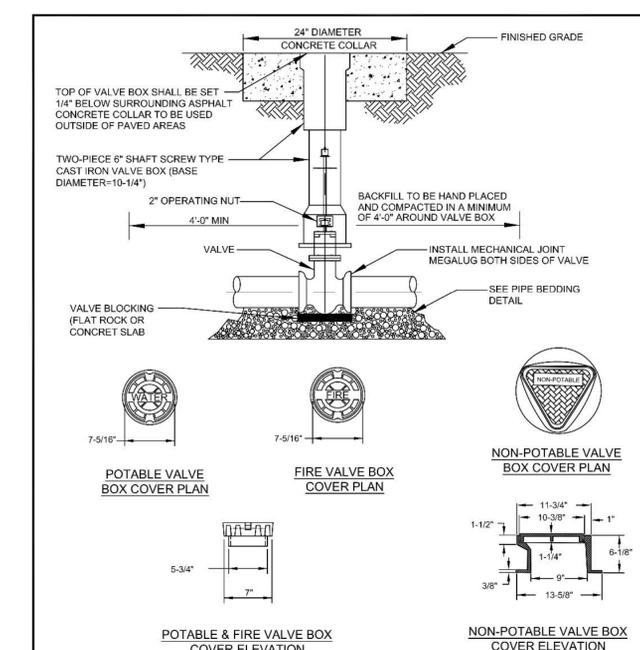
DRAWING TITLE: TRACER WIRE
 DRAWING NUMBER: W32B (2 OF 2)
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN REV. DATE: 01/2009



- NOTES:
- COMPACTION SHALL BE AS FOLLOWS: PIPE ZONE BEDDING 6" UNDER AND 12" OVER PIPE WILL REQUIRE 90% S.P.D. TRENCH ZONE ABOVE BEDDING MATERIALS, FULL TRENCH SECTION IN ROADWAY OR STREET R.O.W. LIMITS WILL REQUIRE 95% S.P.D. TRENCH ZONE ABOVE BEDDING MATERIALS, OUTSIDE OF STREET R.O.W. WILL REQUIRE 90% S.P.D.
 - 14 AWG. STRANDED COPPER WIRE SHALL BE INSTALLED AS TRACING WIRE ABOVE ALL POTABLE WATER PIPES. THE WIRE SHALL BE CONNECTED AND COME TO THE SURFACE BEHIND THE FIRE HYDRANTS IN A TEST BOX.
 - FILTER FABRIC IS REQUIRED IF STABILIZATION MATERIAL IS USED. THE FABRIC SHALL BE INSTALLED AS SHOWN IN THE DETAIL.
 - TRENCH TO BE BRACED OR SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND PROTECTION OF OTHER UTILITIES IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
 - PIPE SHALL BE BEDDED FROM 6" BELOW THE BOTTOM OF THE PIPE TO 12" ABOVE THE TOP OF THE PIPE.
 - TRENCH WIDTH SHALL NOT BE MORE THAN 24" NOR LESS THAN 12" WIDER THAN THE LARGEST OUTSIDE DIAMETER OF THE PIPE.

The Town of ERIE COLORADO

DRAWING TITLE: WATER TRENCH DETAIL
 DRAWING NUMBER: W35
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN REV. DATE: 01/2015



- NOTES:
- POTABLE & FIRE VALVE BOX LID RESTS INSIDE THE UPPER VALVE BOX SECTION.
 - NON-POTABLE VALVE BOX LID SLIDES OVER THE TOP OF THE UPPER VALVE BOX SECTION.
 - NON-POTABLE, WATER OR FIRE CAST IN TOP OF APPROPRIATE VALVE BOX COVER.
 - VALVE BOX SHALL NOT BE SUPPORTED BY WATER LINE.
 - VALVE BOX TO BE PLUMB AND CENTERED OVER NUT.
 - UTILIZING A VALVE BOX ALIGNMENT DEVICE IS OPTIONAL.
 - IF 2" OPERATING NUT IS MORE THAN 8" BELOW FINISHED GRADE, A VAULT NUT EXTENDER SHALL BE INSTALLED TO PUT THE VALVE NUT AT AN ELEVATION OF 4" BELOW FINISHED GRADE.

The Town of ERIE COLORADO

DRAWING TITLE: STANDARD VALVE AND BOX
 DRAWING NUMBER: W38
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN REV. DATE: 1/2015

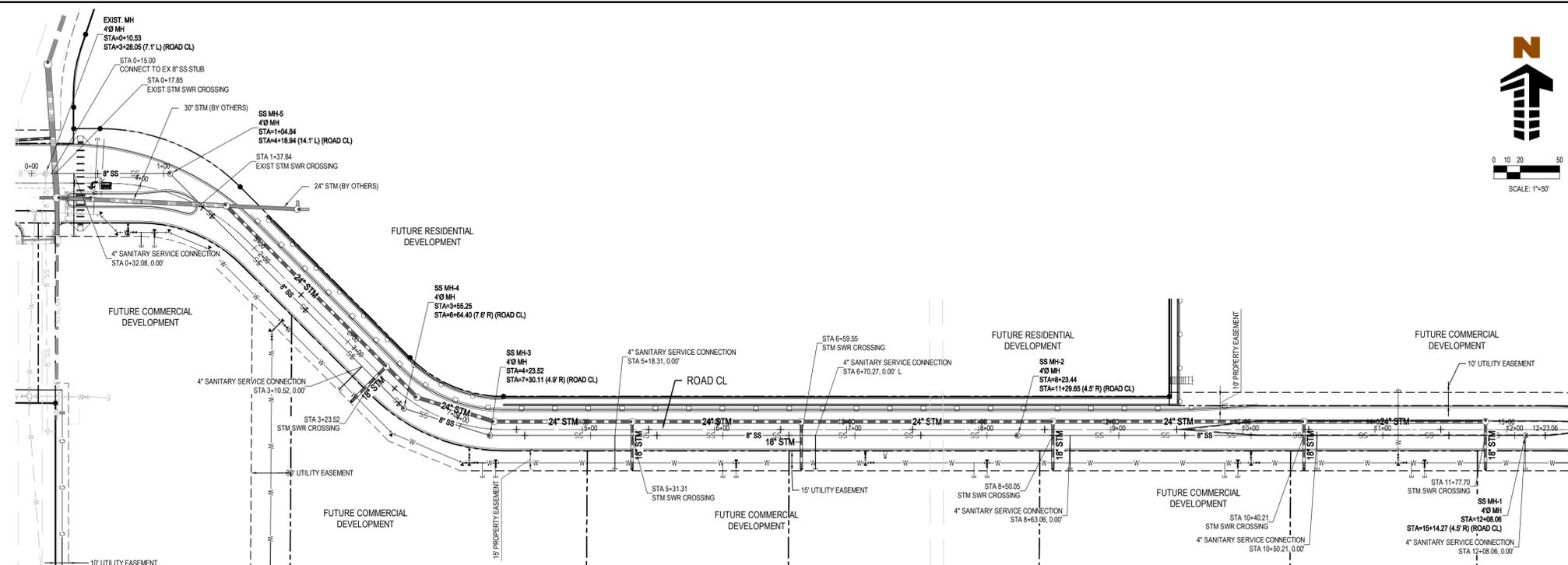
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

VISTA RIDGE COMMERCIAL WEST CIVIL CONSTRUCTION DRAWINGS
 ERIE, COLORADO

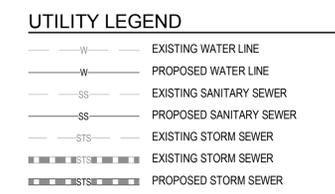
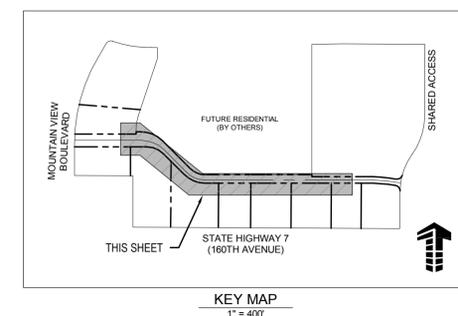
#	Date	Issue / Description	Int.
1	6/28/16	TOWN SUBMITTAL #1	PJD
2	6/29/16	BID ADDENDUM #1	PJD
3	7/28/16	TOWN SUBMITTAL #2	PJD
4	8/12/16	TOWN SUBMITTAL #3	PJD

Project No: SH7000001.01
 Drawn By: KRL
 Checked By: PJD
 Date: 5/26/16

WATER DETAILS

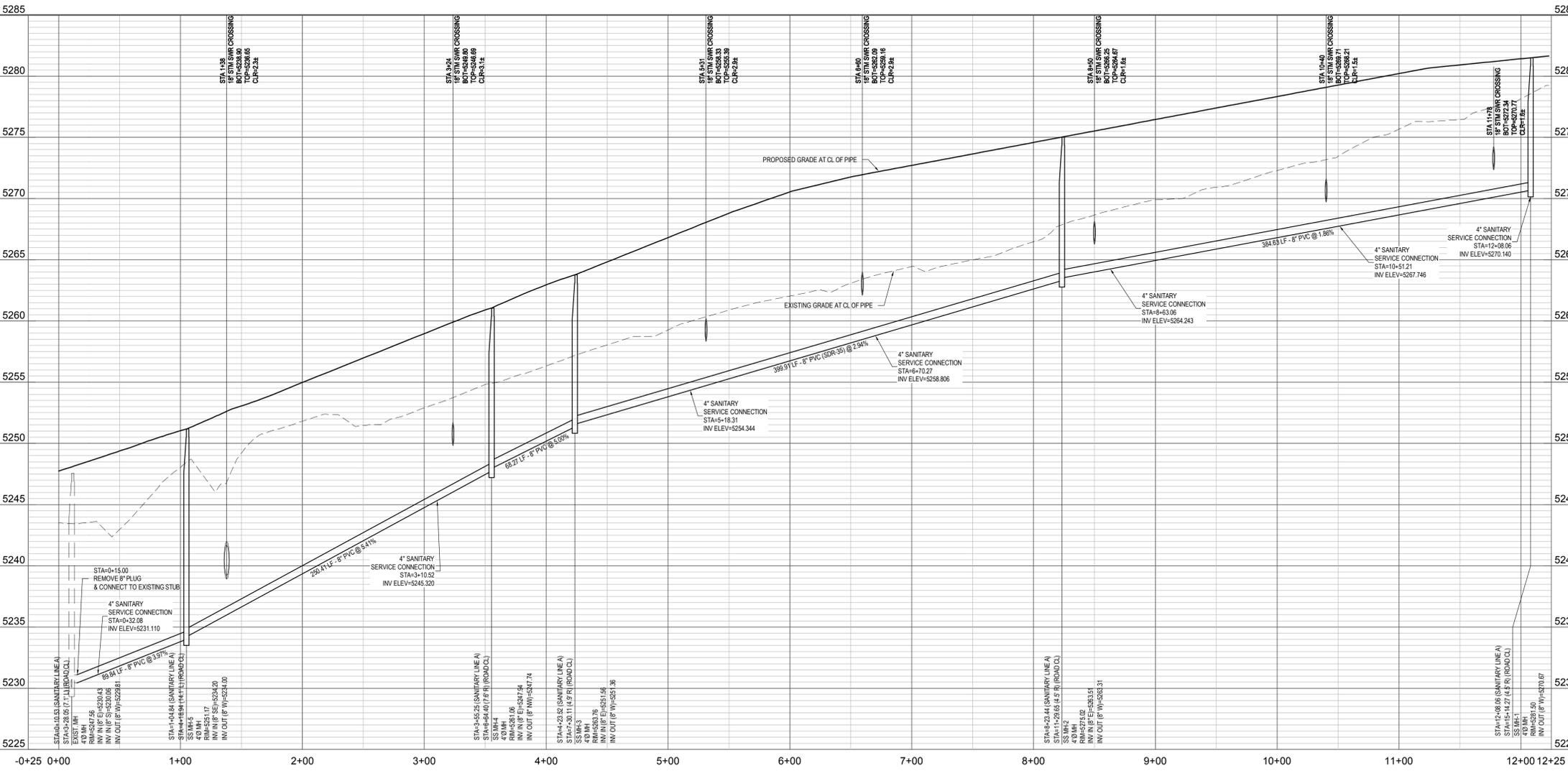


PLAN: SANITARY SEWER LINE A (STA. 0+00 TO END)
SCALE: 1"=50'



- GENERAL NOTES**
- REFER TO UTILITY PLAN FOR GENERAL NOTES.
 - REFER TO STORM PLANS AND WATER PLANS FOR ADDITIONAL UTILITY COORDINATION
 - EXISTING DRY UTILITY ELEVATIONS ARE ASSUMED. PROPOSED DRY UTILITY ELEVATIONS ARE INDICATED AS SUCH AND TYPICALLY MAINTAIN 3 FEET OF COVER
 - REFER TO THE ERIE UTILITIES STANDARD DETAILS FOR CONSTRUCTION DETAILS.

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



PROFILE: SANITARY SEWER LINE A (STA. 0+00 TO END)
SCALE: H: 1"=50' V: 1"=5'

NOTE: MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) BETWEEN POTABLE WATERLINE AND STORM OR SANITARY SEWERS AND LATERALS. AN 18" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

BENCHMARK
CITY OF AND COUNTY OF BROOMFIELD BM "LUCY" ELEVATION: 5297.00 FEET (NAVD 1988 DATUM)

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



VISTA RIDGE COMMERCIAL WEST
CIVIL CONSTRUCTION DRAWINGS

ERIE, COLORADO

#	Date	Issue / Description	Init.
1	6/28/16	TOWN SUBMITTAL #1	PJD
2	6/29/16	BID ADDENDUM #1	PJD
3	7/28/16	TOWN SUBMITTAL #2	PJD
4	8/12/16	TOWN SUBMITTAL #3	PJD

Project No: SH70000101
 Drawn By: KRL
 Checked By: PJD
 Date: 5/26/16

SANITARY SEWER
PLAN & PROFILE

C7.1

SANITARY SEWER NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE STANDARD WATER AND SEWER SPECIFICATIONS FOR CITY, UTILITY SPECIFICATIONS, CURRENT EDITION.
2. THE CONTRACTOR SHALL NOTIFY THE CITY 48 WORKING HOURS PRIOR TO BEGINNING CONSTRUCTION.
3. THE CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE APPROVED PLANS, ONE COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED AT THE JOB SITE AT ALL TIMES.
4. THE CONTRACTOR SHALL VERIFY THE INVERT OF THE DOWNSTREAM TIE IN POINT PRIOR TO BEGINNING ANY CONSTRUCTION. REPORT ANY DISCREPANCY TO THE ENGINEER.
5. ALL SANITARY SEWER LINES AT 4.5 FOOT DEPTH OR GREATER SHALL BE POLYVINYL CHLORIDE PIPE (PVC), ASTM D-3034 SDR35. SEWER LINE MATERIALS AND CONSTRUCTION SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
6. DISTANCES FOR SANITARY SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF MANHOLE OR CLEANOUT TO CENTER OF SAME.
7. ALL SANITARY SEWER MAIN TESTING SHALL BE IN ACCORDANCE WITH THE CITY UTILITY SPECIFICATIONS.
8. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE RESTORATION (I.E. LANDSCAPE, ASPHALT, CONCRETE, ETC.)
9. ALL TRENCH EXCAVATION SHALL BE PROPERLY SLOPED OR SUPPORTED IN A MANNER REQUIRED BY OSHA OR AS REQUIRED BY STATE OR LOCAL LAWS.
10. SANITARY SEWER PIPE SHALL BE BEDDED AND BACKFILLED PER CITY / DISTRICT STANDARDS.
11. NO CONNECTIONS TO THE EXISTING SYSTEM SHALL BE MADE UNTIL THE NEW LINES HAVE BEEN TESTED AND ACCEPTED BY THE CITY.
12. CONTRACTOR SHALL OBTAIN ALL NECESSARY TEMPLATES FROM EQUIPMENT SUPPLIERS AND STUB LINES ACCORDINGLY.
13. CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, WHETHER SHOWN OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY CONFLICTS TO THE ENGINEER.
14. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL TAP FEES REQUIRED. OWNER SHALL PAY FOR ALL SPECIAL ASSESSMENTS.
15. ALL DIMENSIONS ARE MEASURED HORIZONTALLY FROM CENTER OF MANHOLE OR INLETS.

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

VISTA RIDGE COMMERCIAL WEST
 CIVIL CONSTRUCTION DRAWINGS

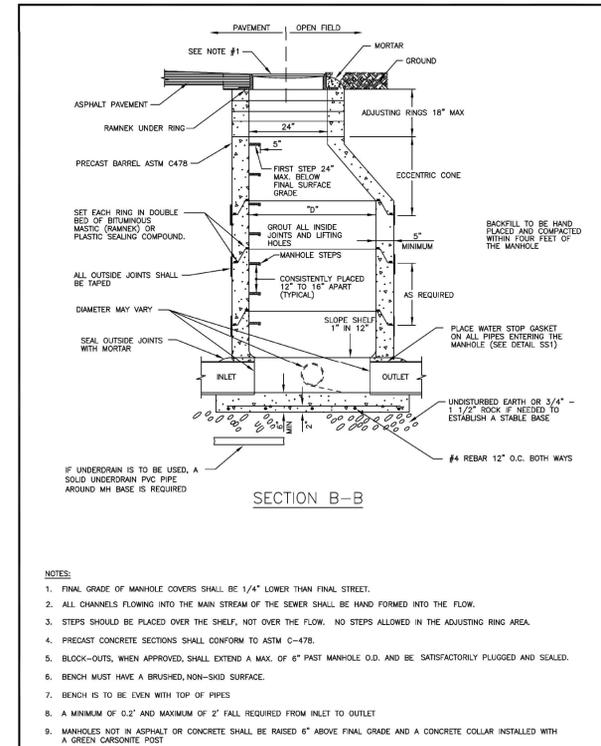
ERIE, COLORADO

#	Date	Issue / Description	Inlt.
1	6/28/16	TOWN SUBMITTAL #1	PJD
2	6/29/16	BID ADDENDUM #1	PJD
3	7/28/16	TOWN SUBMITTAL #2	PJD
4	8/12/16	TOWN SUBMITTAL #3	PJD

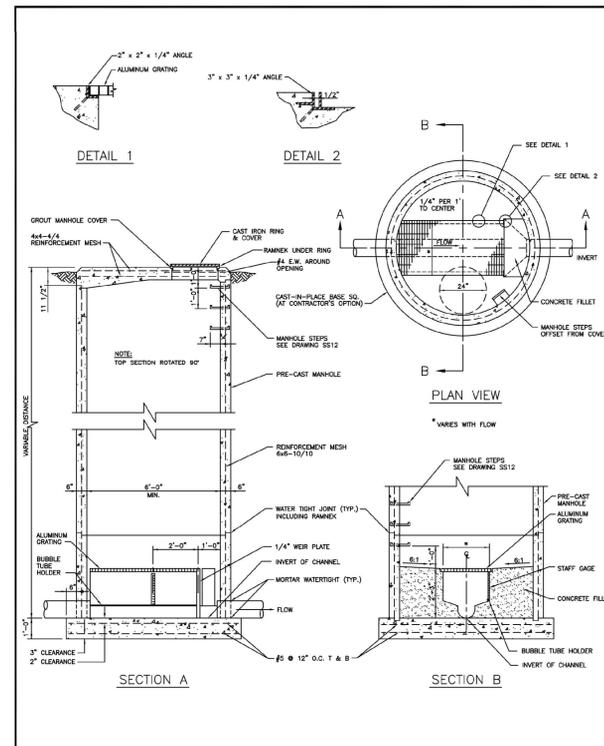
Project No: SH7000001.01
 Drawn By: KRL
 Checked By: PJD
 Date: 5/26/16

SANITARY DETAILS

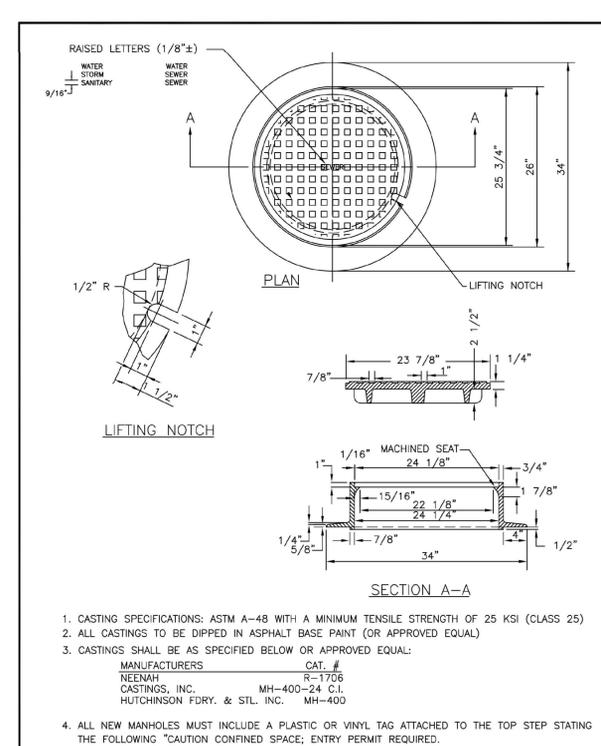
C7.2



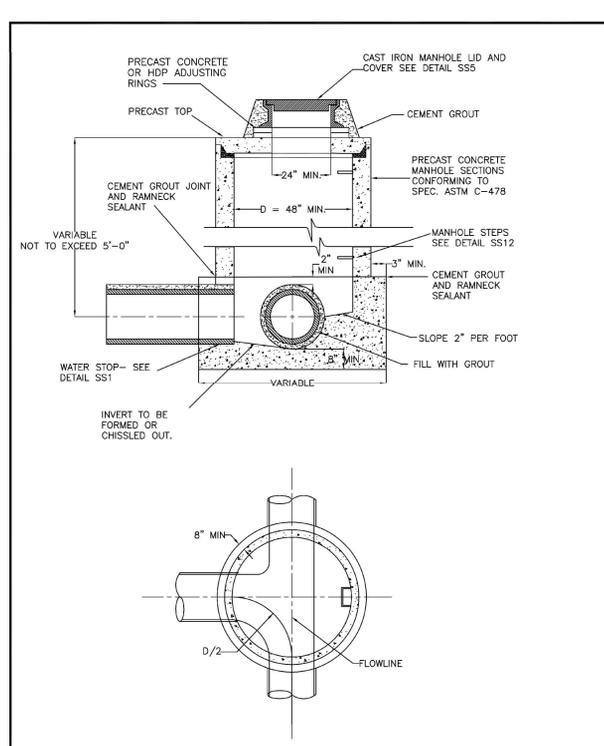
The Town of **ERIE** COLORADO
 DRAWING TITLE: STANDARD MANHOLE
 DRAWING NUMBER: SS3A (1 OF 2)
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 01/2010



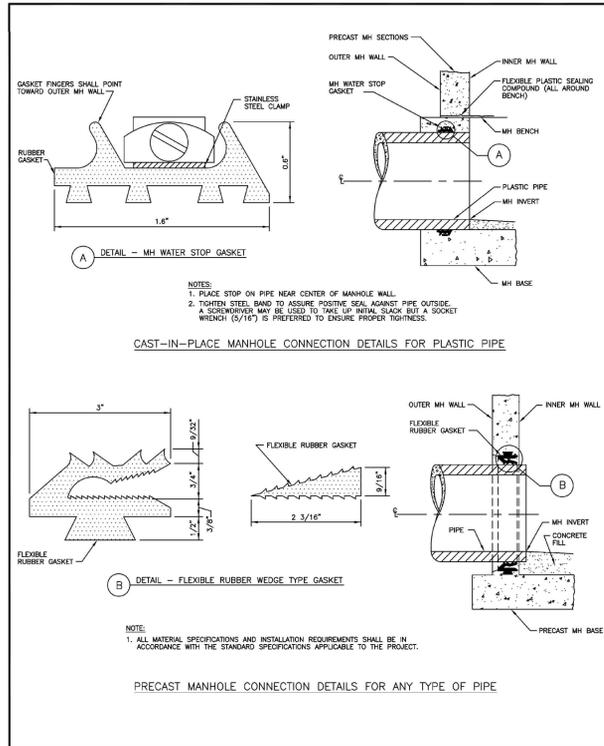
The Town of **ERIE** COLORADO
 DRAWING TITLE: FLOW METERING AND SAMPLING STATION
 DRAWING NUMBER: SS2
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 01/2009



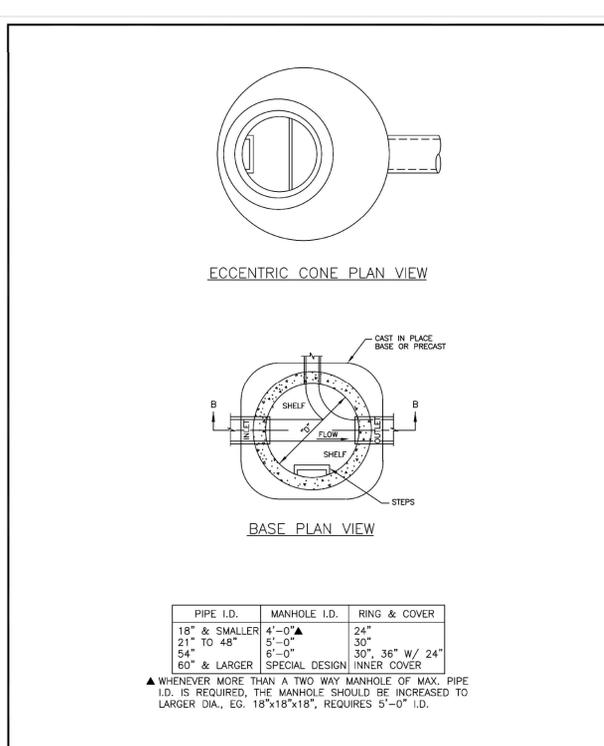
The Town of **ERIE** COLORADO
 DRAWING TITLE: 24" MANHOLE RING AND COVER
 DRAWING NUMBER: SS6
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 1/2015



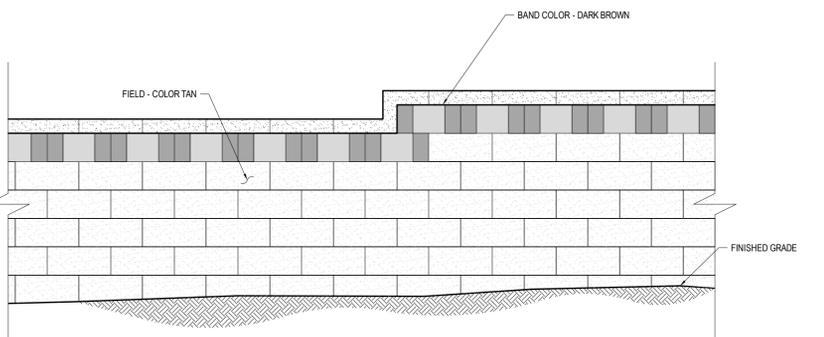
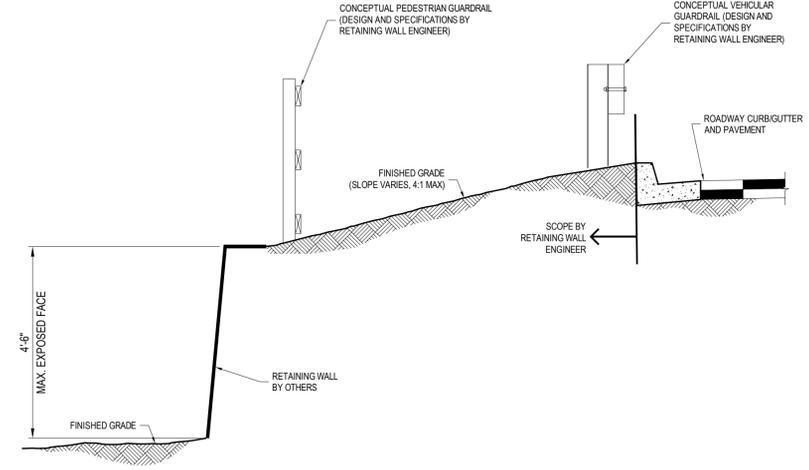
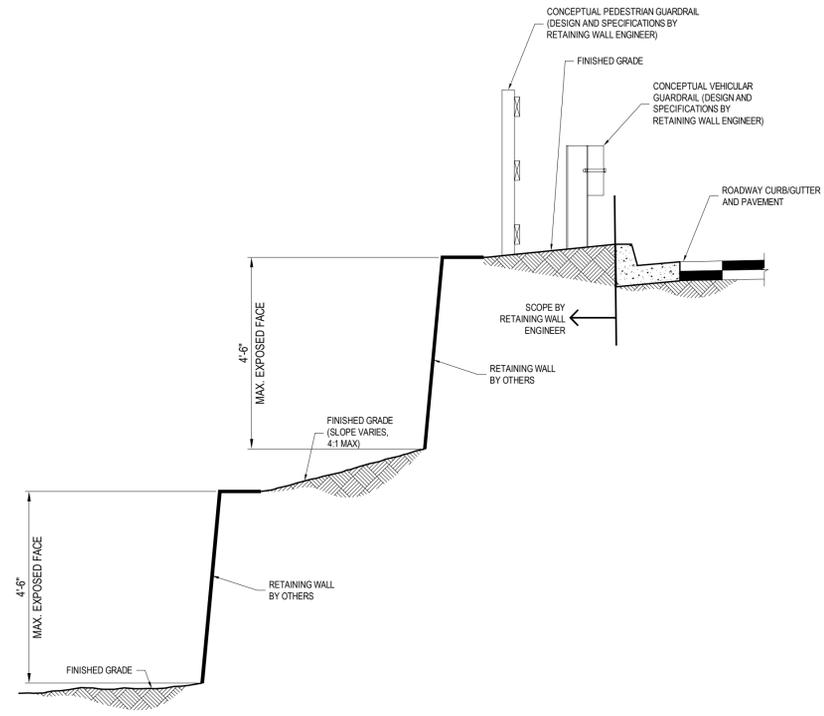
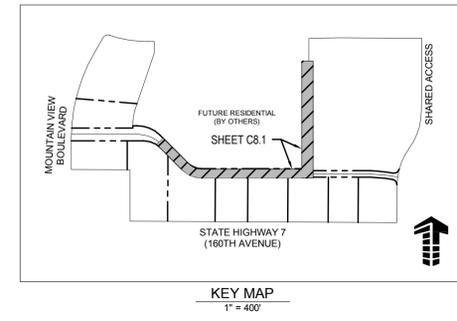
The Town of **ERIE** COLORADO
 DRAWING TITLE: SHALLOW MANHOLE
 DRAWING NUMBER: SS5
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004



The Town of **ERIE** COLORADO
 DRAWING TITLE: MH/PIPE WATER STOP GASKET
 DRAWING NUMBER: SS1
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004



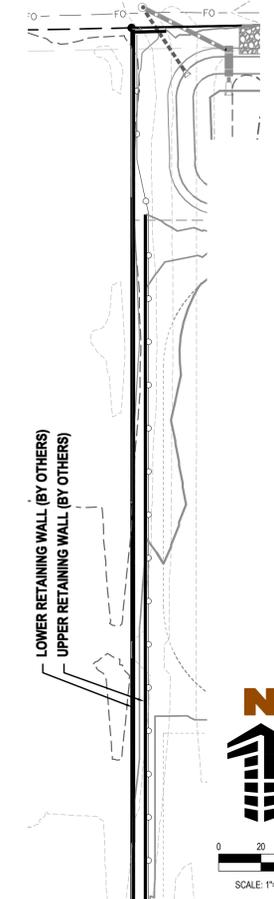
The Town of **ERIE** COLORADO
 DRAWING TITLE: STANDARD MANHOLE
 DRAWING NUMBER: SS3B (2 OF 2)
 DRAWN BY: D. JENKINS APPROVED BY: G. BEHLEN DATE: 06/2004



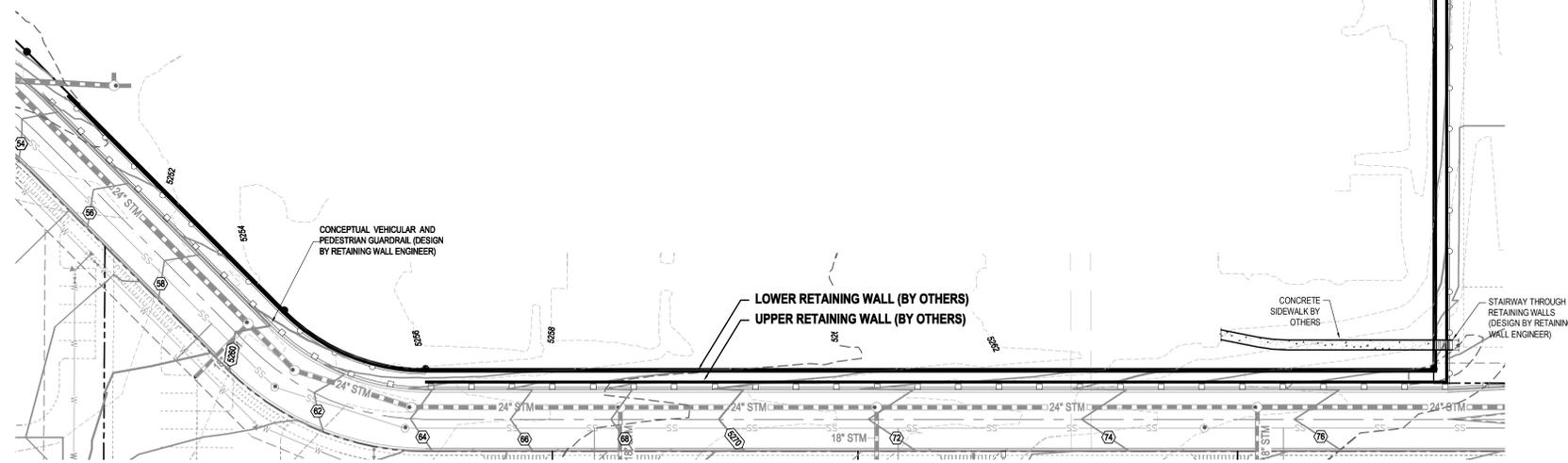
2 CONCEPTUAL RETAINING WALL SECTION- SINGLE TIER CONDITION
 SCALE: 1/2"=1'-0"

RETAINING WALL: PRELIMINARY NOTES

- GOVERNING CODE**
 THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS GOVERNED BY THE **INTERNATIONAL BUILDING CODE, 2006 EDITION**, HEREAFTER REFERRED TO AS THE IBC, AS ADOPTED AND MODIFIED BY THE **TOWN OF ERIE**, UNDERSTOOD TO BE THE AUTHORITY HAVING JURISDICTION (AHJ).
- ENGINEERING RECOMMENDATIONS**
 - THE RETAINING WALL SHOWN HEREIN IS CONCEPTUAL ONLY AND HAS NOT BEEN ENGINEERED. IT IS THE OWNER'S RESPONSIBILITY TO OBTAIN AN ENGINEERED DESIGN FOR THE WALL WITH ACCOMPANYING CONSTRUCTION DOCUMENTS PREPARED BY A THIRD-PARTY ENGINEER LICENSED IN THIS STATE.
 - THE THIRD-PARTY ENGINEER WHO DESIGNS THE RETAINING WALL SHALL BE RESPONSIBLE FOR DETERMINING THE DESIGN CONSTRAINTS FOR THE WALL INCLUDING BUT NOT LIMITED TO GEOTECHNICAL RECOMMENDATIONS THAT ADDRESS THE WALL, DRAINAGE AND GRADING, UTILITIES, GUARDRAILS, FENCING, STAIRWAYS, LANDSCAPING, IRRIGATION AND ALL OTHER SITE SPECIFIC ELEMENTS WHICH MAY AFFECT THE DESIGN OF THE WALL.
- QUALITY ASSURANCE RECOMMENDATION**
 RETAINING WALL CONSTRUCTION DOCUMENTS SHOULD INCLUDE NOTES FOR SPECIAL INSPECTIONS, CONSTRUCTION OBSERVATION AND TESTING. THESE NOTES SHOULD INCLUDE A COMPREHENSIVE AND DETAILED OUTLINE OF TASKS TO BE PERFORMED BY QUALIFIED PARTIES.



- SITE LEGEND**
- PROPERTY BOUNDARY LINE
 - - - EXISTING EASEMENT
 - VEHICULAR GUARDRAIL
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - - - EXISTING MAJOR CONTOUR
 - - - EXISTING MINOR CONTOUR
 - RETAINING WALL
- UTILITY LEGEND**
- PROPOSED WATER LINE
 - PROPOSED SANITARY SEWER
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER (SIZE AS INDICATED)
 - PROPOSED MANHOLE



CONCEPTUAL RETAINING WALL PLAN
 SCALE: 1"=40'

BENCHMARK
 CITY OF AND COUNTY OF BROOMFIELD BM "LUCY" ELEVATION: 5297.00 FEET (NAVD 1988 DATUM)

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



VISTA RIDGE COMMERCIAL WEST CIVIL CONSTRUCTION DRAWINGS

ERIE, COLORADO

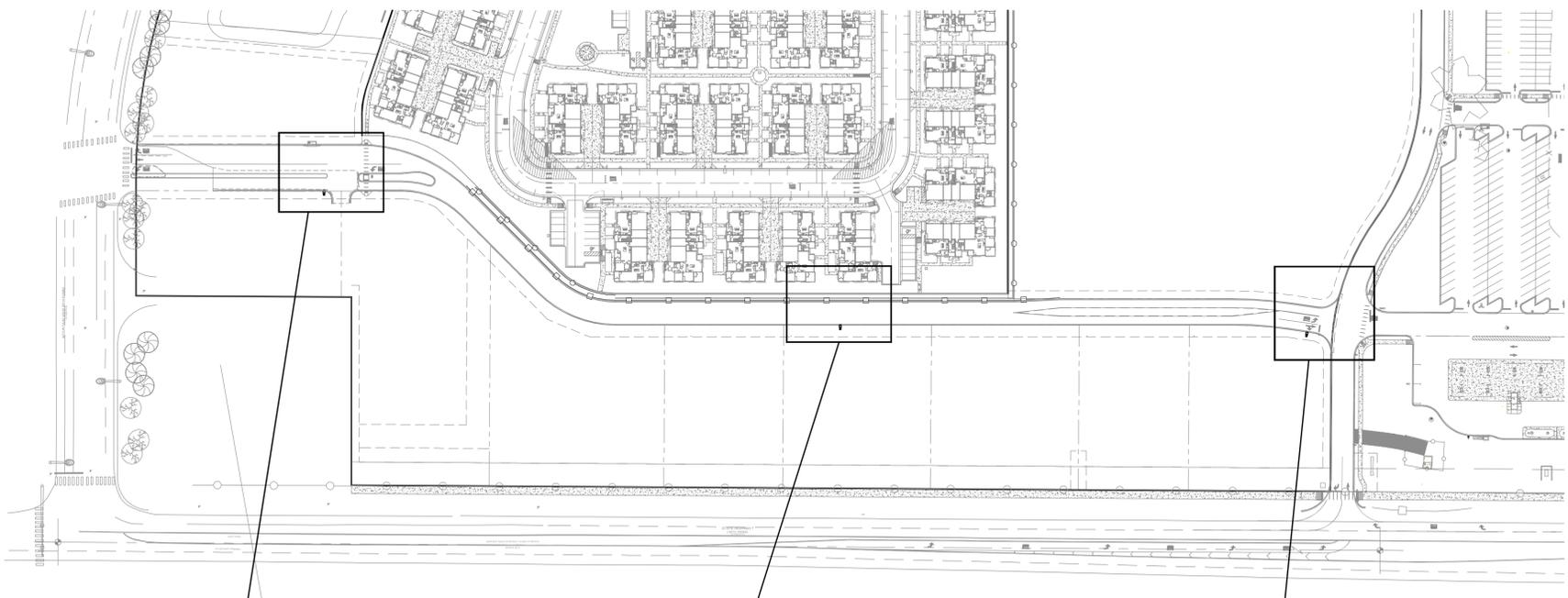
#	Date	Issue / Description	Init.
1	6/28/16	TOWN SUBMITTAL #1	PJD
2	6/29/16	BID ADDENDUM #1	PJD
3	7/28/16	TOWN SUBMITTAL #2	PJD
4	8/12/16	TOWN SUBMITTAL #3	PJD

Project No:	SH7000001.01
Drawn By:	ER
Checked By:	RAB
Date:	5/26/16

CONCEPTUAL RETAINING WALL PLAN

C8.1

H:\Projects\16\16000001\16000001_01_Vista Ridge Commercial West\16000001_01_Vista Ridge Commercial West\16000001_01_Vista Ridge Commercial West.dwg, P11.dwg, 2016-08-16



A BASE MAP
 SCALE: 1"=100'-0"

McGraw-Edison

The Galeon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Catalog #	Type
Project	Date
Comments	
Prepared by	

SPECIFICATION FEATURES

Construction
 Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics
 Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (v. 275K CCT 70 CRI), Optional 6000K CCT and 3000K CCT.

Electrical
 LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galeon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 80% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 520mA and 700mA drive currents.

Mounting
STANDARD ARM MOUNT:
 Extruded aluminum arm includes internal both guides allowing for easy positioning of fixture during assembly. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table.

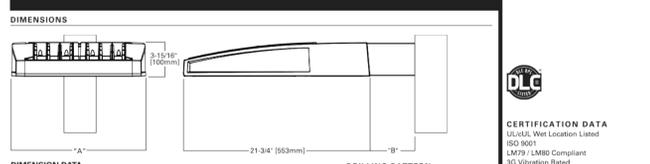
Round pole adapter included.
 For wall mounting, specify wall mount bracket option. 3G vibration rated. QUICK MOUNT ARM: Arm is bolted directly to the pole and the fixture slides onto the quick mount arm and is secured via a single fastener, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish
 Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty
 Five-year warranty.



GLEON GALLEON LED
 1-10 Light Squares
 Solid State LED
 AREA/SITE LUMINAIRE



CERTIFICATION DATA
 UL/cUL Wet Location Listed
 IES/IESNA
 LM79 / LM80 Compliant
 IP66 Rated
 DesignLights Consortium™ Qualified*

ENERGY DATA
 Electronic LED Driver
 50.9 Power Factor
 <20% Total Harmonic Distortion
 120V-277V 50/60Hz
 347V & 480V 60Hz
 40°C Min. Temperature
 40°C Max. Temperature
 90°C Max. Temperature (HA Option)

Number of Light Squares	4" x 4" (102mm)	6" x 6" (152mm)	8" x 8" (203mm)	10" x 10" (254mm)	12" x 12" (305mm)	14" x 14" (356mm)	16" x 16" (407mm)	EPA with Arm 1 (Sq. Ft.)
1-4	15-1/2" (393mm)	21-5/8" (549mm)	27-1/2" (700mm)	33-1/2" (854mm)	39-1/2" (1003mm)	45-1/2" (1156mm)	51-1/2" (1308mm)	0.96
5-6	21-5/8" (549mm)	27-1/2" (700mm)	33-1/2" (854mm)	39-1/2" (1003mm)	45-1/2" (1156mm)	51-1/2" (1308mm)	57-1/2" (1460mm)	1.00
7-8	27-1/2" (700mm)	33-1/2" (854mm)	39-1/2" (1003mm)	45-1/2" (1156mm)	51-1/2" (1308mm)	57-1/2" (1460mm)	63-1/2" (1613mm)	1.07
9-10	33-1/2" (854mm)	39-1/2" (1003mm)	45-1/2" (1156mm)	51-1/2" (1308mm)	57-1/2" (1460mm)	63-1/2" (1613mm)	69-1/2" (1766mm)	1.12

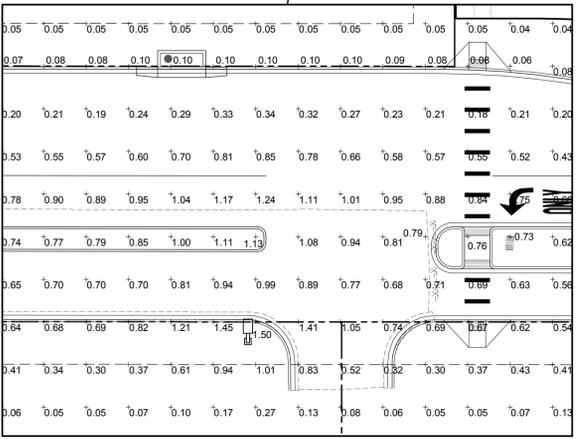
NOTES: 1. Optional arm length to be used when mounting new fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

DIMENSION DATA

DRILLING PATTERN

TYPE "N"
 3/4" (19mm) Diameter Hole
 1-1/2" (38mm) Diameter Hole
 1-3/4" (44mm) Diameter Hole
 1-1/2" (38mm) Diameter Hole

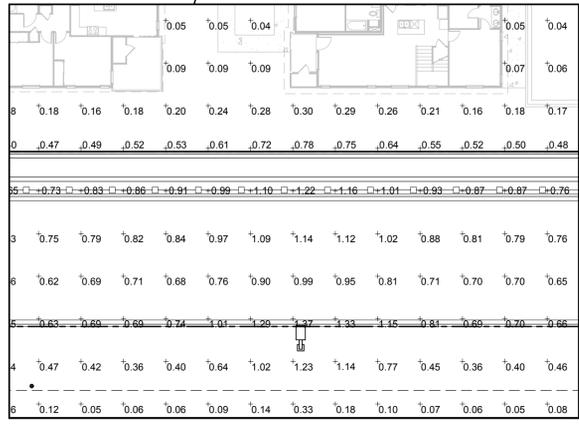
MANUFACTURER SPECIFICATION SHEET FOR STREET LIGHT FIXTURE



CALCULATION SUMMARY

LABEL	UNITS	UNIFORMITY RATIOS			
		AVG	MAX	MIN	AVG/MIN
STREET LIGHT - EAST	FC	0.62	1.5	0.2	3.1:0.1

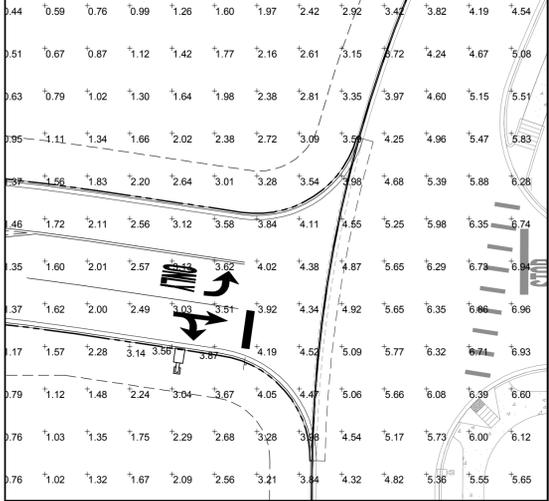
1 EAST STREET LIGHT PLAN
 SCALE: 1"=20'-0"



CALCULATION SUMMARY

LABEL	UNITS	UNIFORMITY RATIOS			
		AVG	MAX	MIN	AVG/MIN
STREET LIGHT - CENTER	FC	0.66	1.4	0.2	3.3:0.1

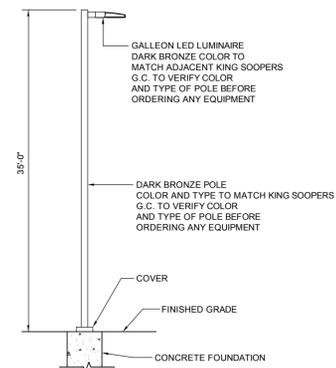
2 CENTER STREET LIGHT PLAN
 SCALE: 1"=20'-0"



CALCULATION SUMMARY

LABEL	UNITS	UNIFORMITY RATIOS			
		AVG	MAX	MIN	AVG/MIN
STREET LIGHT - WEST	FC	2.37	4.9	0.6	3.95:1

3 WEST STREET LIGHT PLAN
 SCALE: 1"=20'-0"



4 AREA LIGHT DETAIL
 SCALE: NOT TO SCALE

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	MOUNTING	ARRANGEMENT	LLF	MODEL	DESCRIPTION	LUMENS
EL	3	A	35'-0" POLE	SINGLE	1.0	GLEON-AE-02-LED-VOLT-SL2-BZ	McGraw Edison, Galleon Series LED Area Luminaire, Type SL2, Single Head Flat Lens Fixture, Bronze, to match King Soopers	10285

* G.C. TO VERIFY VOLTAGE WITH UNITED POWER BEFORE ORDERING ANY EQUIPMENT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

VISTA RIDGE COMMERCIAL WEST CIVIL CONSTRUCTION DRAWINGS
ERIE, COLORADO

#	Date	Issue / Description	Init.
1	6/28/16	TOWN SUBMITTAL #1	PJD
2	6/29/16	BID ADDENDUM #1	PJD
3	7/28/16	TOWN SUBMITTAL #2	PJD
4	8/12/16	TOWN SUBMITTAL #3	PJD

Project No: SH700001.01
 Drawn By: JMG
 Checked By: PJD
 Date: 5/26/16

STREET PHOTOMETRIC PLAN

C9.0



SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- EASEMENT BOUNDARY LINE
- EXISTING CURB & GUTTER TO REMAIN
- EXISTING TO BE REMOVED
- PROPOSED CURB & GUTTER
- STREET LIGHT
- PROPOSED INLET

GRADING LEGEND

- 5245 --- EXISTING CONTOUR
- 45 --- PROPOSED CONTOUR
- STS --- EXISTING STORM SEWER
- STS --- PROPOSED STORM SEWER
- STS --- PROPOSED STORM SEWER (LESS THAN 12')

DRAINAGE LEGEND

- PROPOSED BASIN BOUNDARY LINE
- FLOW ARROW
- △ DESIGN POINT
- BASIN DESIGNATION
- 5-YEAR RUNOFF COEFFICIENT
- 100-YEAR RUNOFF COEFFICIENT
- BASIN AREA IN ACRES

Runoff Summary Table				
Design Point	Basin	Area (Ac)	5-Year Runoff (cfs)	100-Year Runoff (cfs)
1	H-1	7.34	3.70	23.40
2	H-2	10.64	5.30	33.10
Total:		17.98	9.00	56.50

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



ANTHEM FILING NO. 5, REPLAT "A"

VISTA RIDGE COMMERCIAL WEST
 CIVIL CONSTRUCTION DRAWINGS

ERIE, COLORADO

#	Date	Issue / Description	Init.
1	6/28/16	TOWN SUBMITTAL #1	PJD
2	6/29/16	BID ADDENDUM #1	PJD
3	7/28/16	TOWN SUBMITTAL #2	PJD
4	8/12/16	TOWN SUBMITTAL #3	PJD

Project No: SH7000001.01
 Drawn By: DMP
 Checked By: PJD
 Date: 5/26/16

HISTORICAL DRAINAGE PLAN

\\nautilus\user\compton\CS-Draw-016700001-01-VistaRidgeCommercialWest\CD\CD\00010001.dwg, User: PJD, Date: 5/26/16, 2:15:44 PM

LANDSCAPE GUARANTEE AND MAINTENANCE

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOO, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
3. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM SHALL HAVE A DEDICATED TAP AND METER PIT TO SERVICE THE SYSTEM.
3. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
4. ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOO/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
5. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE); RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

PLANTING LEGEND

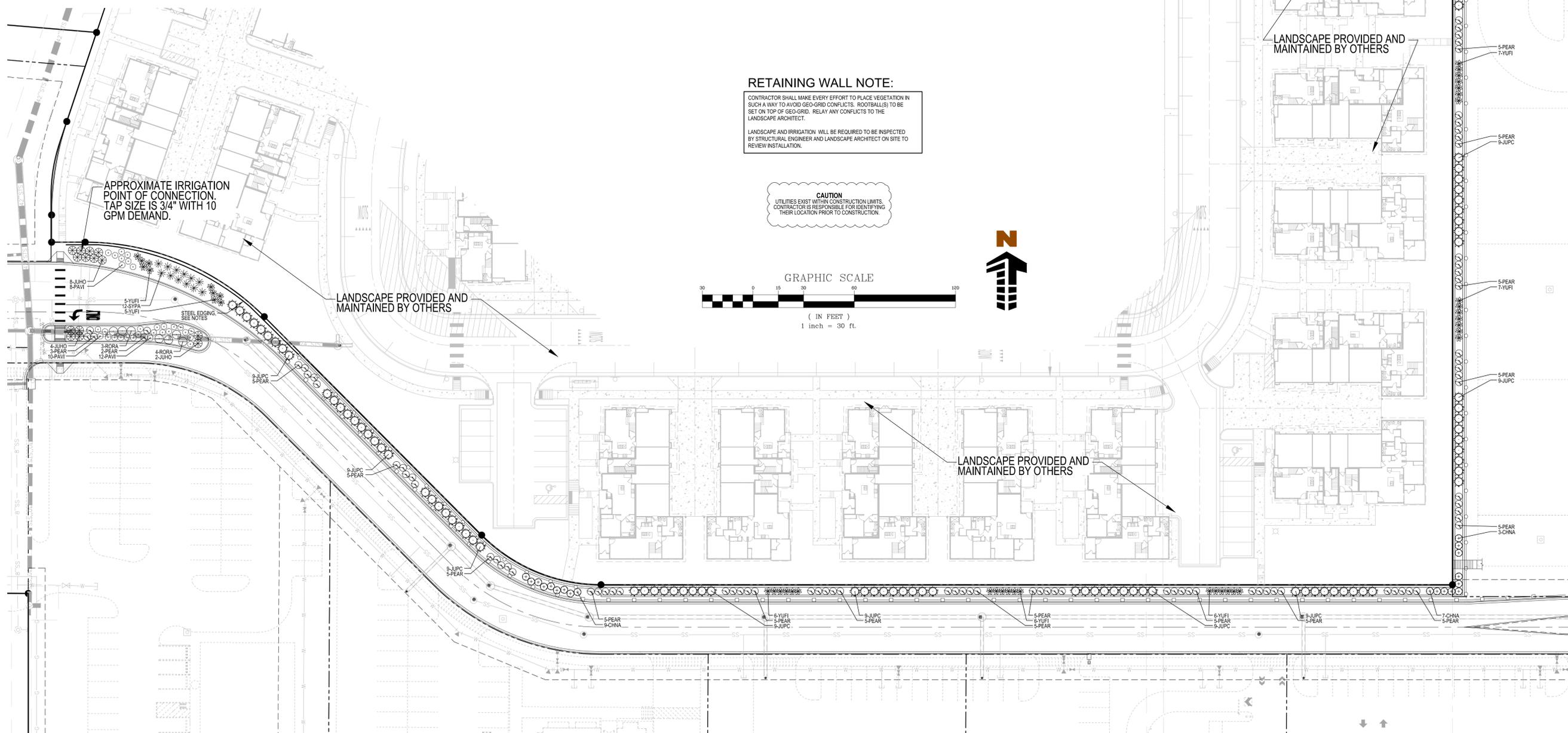
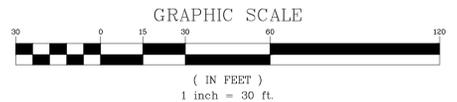
SYMBOL	LEGEND ABBREV.	QUANTITY	BOTANIC NAME	COMMON NAME	PLANTING SIZE	MATURE SIZE (HxW)	WATER USE	IRRIGATION (DRIP, SPRAY OR ROTOR)
DECIDUOUS SHRUBS								
+	CHNA	19	CHRYSOTHAMNUS NAUSEOSUS	RABBITBRUSH	5 GALLON 18"-24"	4'x4'	LOW	DRIP
○	PEAR	95	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	5 GALLON 18"-24"	4'x4'	LOW	DRIP
○	RORA	7	ROSA 'RADRAZZ'	KNOCK OUT ROSE	5 GALLON 18"-24"	3'x3'	MODERATE	DRIP
*	SYPA	12	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	5 GALLON 18"-24"	5'x5'	MODERATE	DRIP
EVERGREEN SHRUBS								
⊙	JUHO	14	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	5 GALLON 18"-24"	1'x5'	LOW	DRIP
⊙	JUPC	100	JUNIPERUS X MEDIA 'PFITZERANA COMPACT'	COMPACT PFITZER JUNIPER	5 GALLON 18"-24"	4'x5'	LOW	DRIP
⊙	YUFI	49	YUCCA FILAMENTOSA	YUCCA / ADAMS NEEDLE	5 GALLON 18"-24"	4'x4'	LOW	DRIP
ORNAMENTAL GRASSES								
⊙	PAVI	30	PANICUM VIRGATUM 'SHANAOAH'	RED SWITCH GRASS	1 GALLON	3.5'x2.5'	LOW	DRIP
TURF AND MULCH								
---	---	10,710 SF	ROCK MULCH - USE IN PLANTING AREAS	2" - 8" DIA. MULTI-COLOR COBBLE ROCK MULCH WITH DOUBLE SHREDDED BARK MULCH. SEE LANDSCAPE NOTES	MULCH	---	---	---
---	---	157 LF	STEEL EDGING, SEE LANDSCAPE NOTES		EDGING	---	---	---

RETAINING WALL NOTE:

CONTRACTOR SHALL MAKE EVERY EFFORT TO PLACE VEGETATION IN SUCH A WAY TO AVOID GEO-GRID CONFLICTS. ROOTBALL(S) TO BE SET ON TOP OF GEO-GRID. RELAY ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.

LANDSCAPE AND IRRIGATION WILL BE REQUIRED TO BE INSPECTED BY STRUCTURAL ENGINEER AND LANDSCAPE ARCHITECT ON SITE TO REVIEW INSTALLATION.

CAUTION
 UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.



LANDSCAPE PROVIDED AND MAINTAINED BY OTHERS

LANDSCAPE PROVIDED AND MAINTAINED BY OTHERS

LANDSCAPE PROVIDED AND MAINTAINED BY OTHERS

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

VISTA RIDGE COMMERCIAL WEST
 CIVIL CONSTRUCTION DRAWINGS

ERIE, COLORADO

#	Date	Issue / Description	Init.
1	6/08/16	TOWN SUBMITTAL #1	PJD
2	6/29/16	BID ADDENDUM #1	PJD
3	7/28/16	TOWN SUBMITTAL #2	PJD
4	8/12/16	TOWN SUBMITTAL #3	PJD

Project No: SH7000001.01
 Drawn By: TDN
 Checked By: JLW
 Date: 5/28/16

LANDSCAPE PLAN

L1.1

11: Maximum Level Company/CO, Inc. 5/16/2016 11:11 AM: Vista Ridge Commercial West/CO/CO/0001/01, L1: Landscape - Retaining Wall - 2016.dwg

