

COMPASS FILING NO. 4 SITE PLAN

PART OF THE NORTHEAST QUARTER OF SECTION 25 AND AN AMENDMENT OF TRACTS B, C AND J, COMPASS FILING NO. 1
 LOCATED IN THE EAST HALF OF SECTION 25,
 TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN,
 TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
 21.05 AC - 146 LOTS - 23 TRACTS
 SP-000964-2018

LEGAL DESCRIPTION

KNOW BY ALL MEN THESE PRESENTS THAT THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGES, OR LIEN HOLDERS OF CERTAIN LANDS IN THE TOWN OF ERIE, COUNTY OF BOULDER, COLORADO, DESCRIBED AS FOLLOWS:

PARCEL A

TRACTS B, C, AND J, COMPASS FILING NO. 1 RECORDED AT RECEPTION NO. 03427560 OF THE RECORDS OF THE BOULDER COUNTY CLERK AND RECORDER, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO.

SAID PARCEL CONTAINS AN AREA OF 900,155 SQUARE FEET OR 20.67 ACRES, MORE OR LESS.

PARCEL B

A PARCEL OF LAND BEING LOCATED IN THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH P.M., TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER OF SECTION 25, AND CONSIDERING THE SOUTH LINE OF SAID NORTHEAST QUARTER OF SAID SECTION 25 TO BEAR NORTH 89°42'40" WEST, WITH ALL BEARINGS HEREON RELATIVE THERETO;

THENCE NORTH 89°42'40" WEST ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER A DISTANCE OF 30.00 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF EAST COUNTY LINE ROAD (COUNTY ROAD NO. 901), SAID POINT ALSO BEING THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 89°42'40" WEST ALONG SAID SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 25 A DISTANCE OF 360.86 FEET TO A POINT OF CURVATURE;

THENCE ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 19°18'50", A RADIUS OF 160.00 FEET, AN ARC LENGTH OF 53.93 FEET, AND A CHORD THAT BEARS NORTH 80°37'55" EAST A DISTANCE OF 53.88 FEET;

THENCE NORTH 70°58'30" EAST A DISTANCE OF 52.88 FEET TO A POINT OF CURVATURE;

THENCE ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 19°18'50", A RADIUS OF 240.00 FEET, AN ARC LENGTH OF 80.90 FEET, AND A CHORD THAT BEARS NORTH 80°37'55" EAST A DISTANCE OF 80.52 FEET;

THENCE SOUTH 89°42'40" EAST A DISTANCE OF 142.66 FEET TO A POINT OF CURVATURE;

THENCE ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 90°57'20", A RADIUS OF 20.00 FEET, AN ARC LENGTH OF 31.75 FEET, AND A CHORD THAT BEARS NORTH 44°48'40" EAST A DISTANCE OF 28.52 FEET;

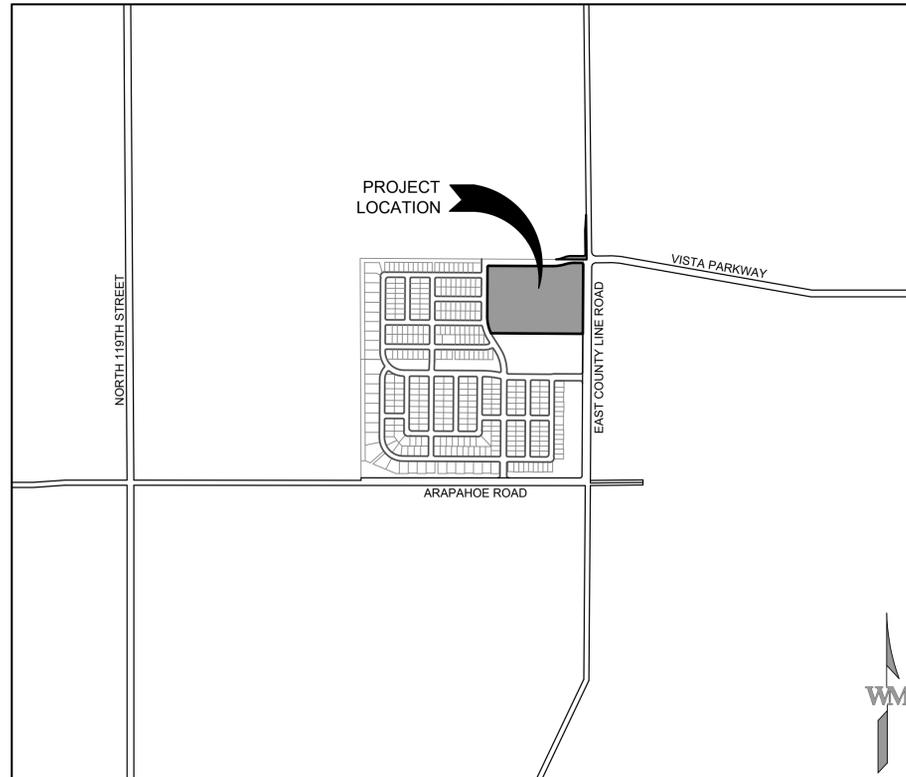
THENCE NORTH 00°40'00" WEST A DISTANCE OF 278.78 FEET;

THENCE NORTH 03°55'56" EAST A DISTANCE OF 187.08 FEET TO A POINT ON SAID WESTERLY RIGHT-OF-WAY LINE OF EAST COUNTY LINE ROAD (COUNTY ROAD NO. 901);

THENCE SOUTH 00°40'00" EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE A DISTANCE OF 525.85 FEET TO THE POINT OF BEGINNING;

SAID PARCEL CONTAINS AN AREA OF 16,974 SQUARE FEET, OR 0.390 ACRES, MORE OR LESS.

SAID PARCELS A AND B CONTAIN A COMBINED AREA OF 917,129 SQUARE FEET, OR 21.054 ACRES, MORE OR LESS.



VICINITY MAP
1"=1000'

SHEET INDEX

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| SITE PLAN APPROVAL CERTIFICATE | |
|--|----------------------|
| THE SITE PLAN HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORDANCE WITH APPLICABLE TOWN OF ERIE REGULATIONS | |
| Director of Planning and Development | Date |
| Planning Commission Chair (if applicable) | Date |
| The undersigned as the owner or owner's representative of the lands described herein, hereby agrees on behalf of himself/herself, their heirs, successors, and assigns to develop and maintain the property described hereon in accordance with this approved Site Plan and in compliance with the Town of Erie Unified Development Code and Municipal Code. | |
| (owner signature) | (owner name printed) |
| ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 20__ | |
| BY _____ AS _____ | |
| WITNESS MY HAND AND OFFICIAL SEAL | |
| NOTARY PUBLIC | (seal) |
| MY COMMISSION EXPIRES: _____ | |

| SITE DATA SUMMARY CHART | | |
|---|-------------------|-----------------|
| Zone District _____ | | |
| ITEM | SQUARE FOOTAGE | % OF GROSS SITE |
| • Planted Area (excluding planted interior parking islands) | 466,916 SF | 50.9 |
| • Existing Vegetation | 0 SF | 0 |
| • Trails and Sidewalks | 79,178 SF | 8.6 |
| LANDSCAPE TOTAL | 546,094 SF | 59.5 |

OWNER/DEVELOPER

CALATLANTIC HOMES
 6161 S. SYRACUSE WAY SUITE 340
 GREENWOOD VILLAGE, COLORADO 80111
 (303) 486-5002

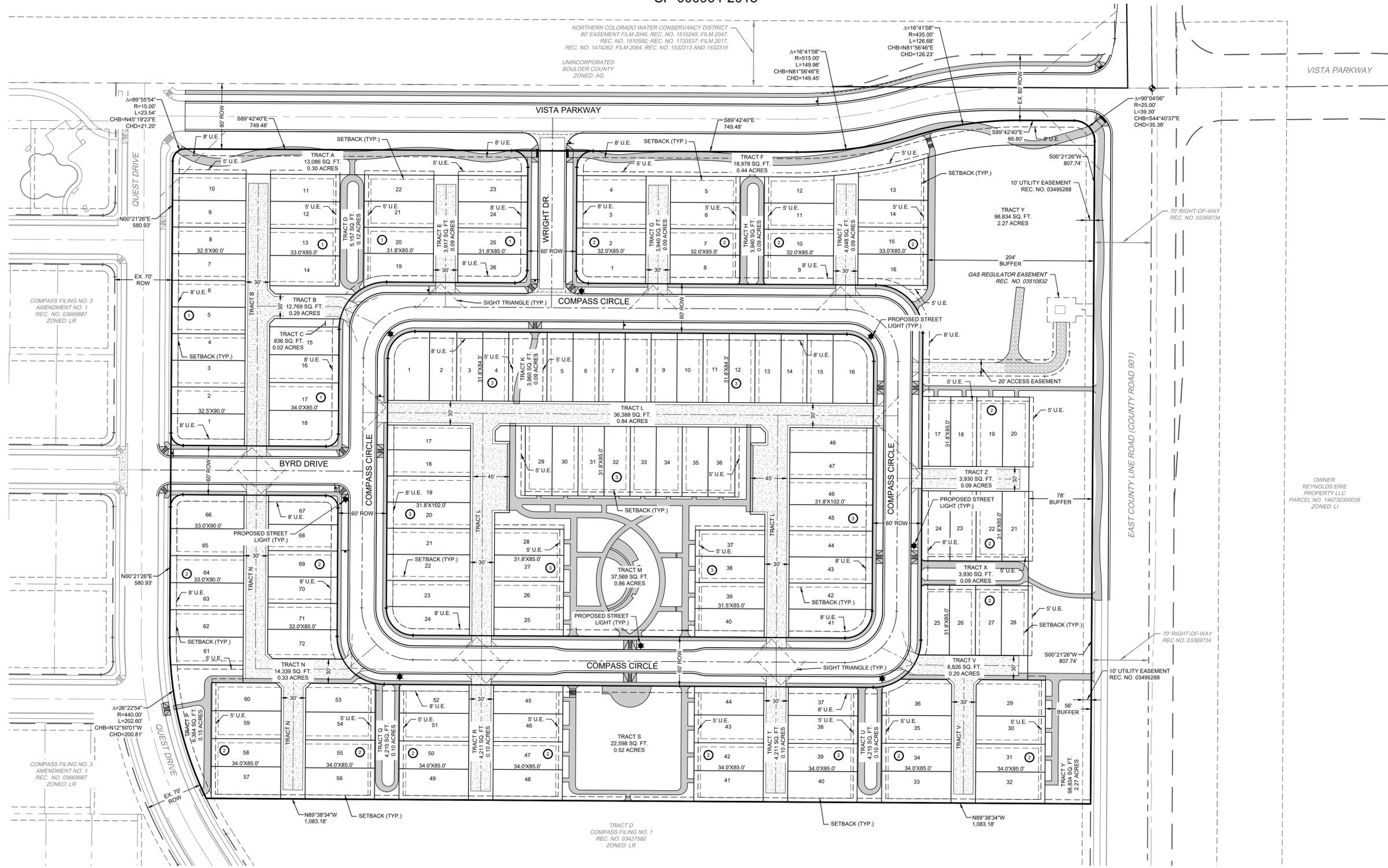
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| | | |
|-----------------|-----------|---------|
| COVER SHEET | | |
| JOB NO. 15075-1 | | |
| DATE: 2/5/2018 | | |
| SCALE: | | |
| Sheet 1 of 45 | | |
| NO. | DATE | REMARKS |
| DRAWN BY: IH | PA/PM: GB | |

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COMPASS FILING NO. 3
 AMENDMENT NO. 1
 REC. NO. 03689887
 ZONED: LR

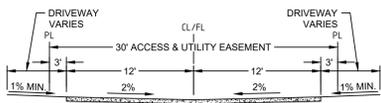
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NORTHERN COLORADO WATER CONSERVANCY DISTRICT
 80' EASEMENT FILM 2046, REC. NO. 1510245; FILM 2047,
 REC. NO. 1510592; REC. NO. 1733537; FILM 2017,
 REC. NO. 1474262; FILM 2064, REC. NO. 1532313 AND 1532315

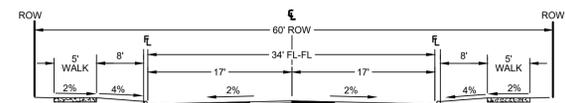
UNINCORPORATED
 BOULDER COUNTY
 ZONED: AG

OWNER:
 REYNOLDS ERIE
 PROPERTY LLC
 PARCEL NO. 146730300038
 ZONED: LI

- LEGEND**
- PROPOSED ASPHALT
 - PROPOSED CONCRETE WALK
 - PROPOSED CONCRETE ROADWAY
 - PROPOSED GRAVEL ACCESS DRIVE



DEPTH OF CONCRETE TO BE DETERMINED BY GEOTECHNICAL REPORT
PRIVATE ALLEY
 N.T.S.



OWNER/DEVELOPER

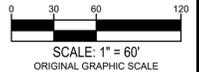
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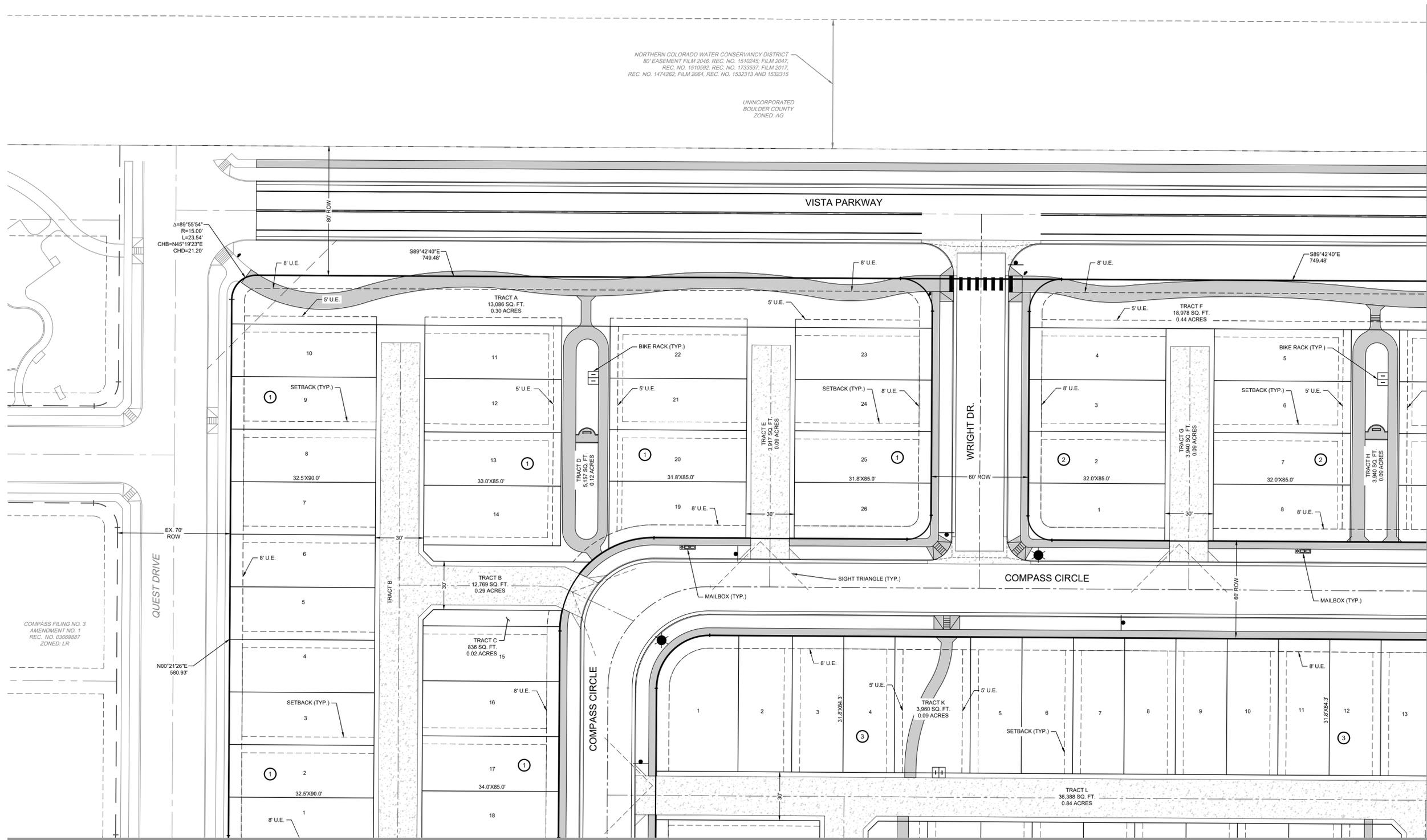
OVERALL SITE PLAN
 JOB NO. 15075-1
 DATE: 2/5/2018
 SCALE:
 Sheet 2 of 45

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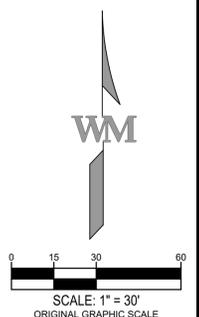
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 BOULDER COUNTY
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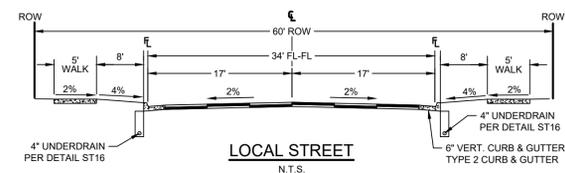
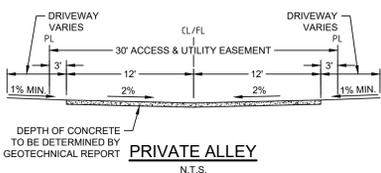


MATCHLINE SEE SHEET 4

MATCHLINE SEE SHEET 5



- LEGEND**
- PROPOSED ASPHALT
 - PROPOSED CONCRETE WALK
 - PROPOSED CONCRETE ROADWAY
 - PROPOSED GRAVEL ACCESS DRIVE
 - PROPOSED BIKE RACKS
 - PROPOSED MAILBOXES
 - PROPOSED SITE FURNITURE



OWNER/DEVELOPER
 CALATLANTIC HOMES
 6161 S. SYRACUSE WAY SUITE 340
 GREENWOOD VILLAGE, COLORADO 80111
 (303) 486-5002

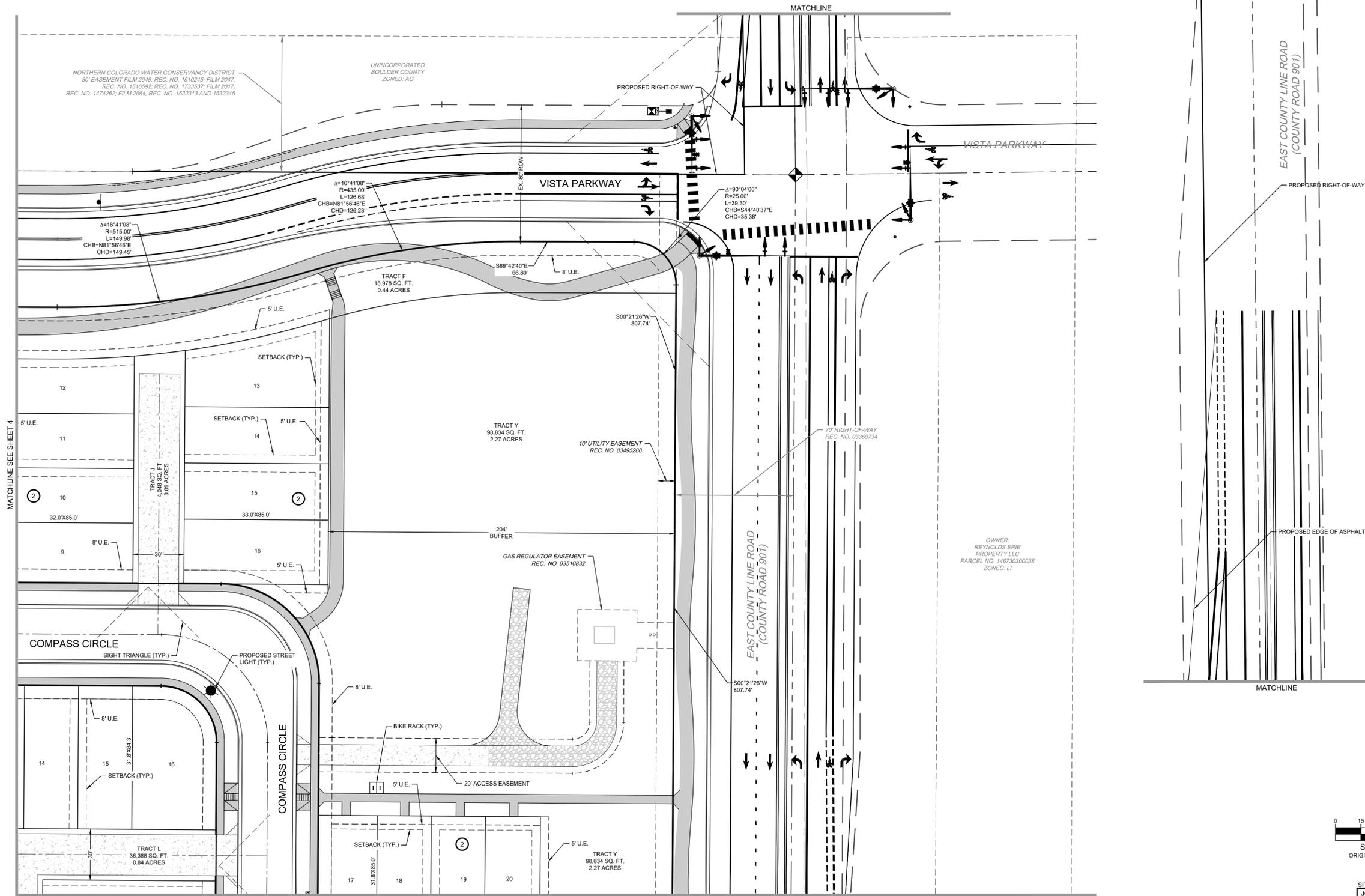
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| | | |
|-----------|----------|-----------|
| SITE PLAN | | |
| JOB NO. | 15075-1 | |
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| Sheet | 3 of 45 | |
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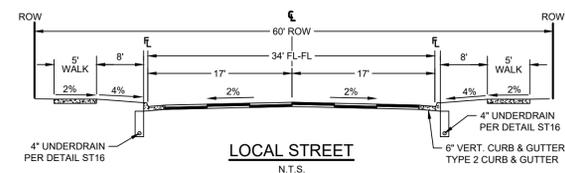
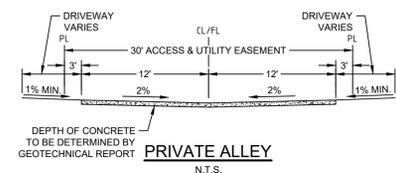
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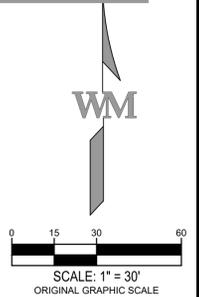
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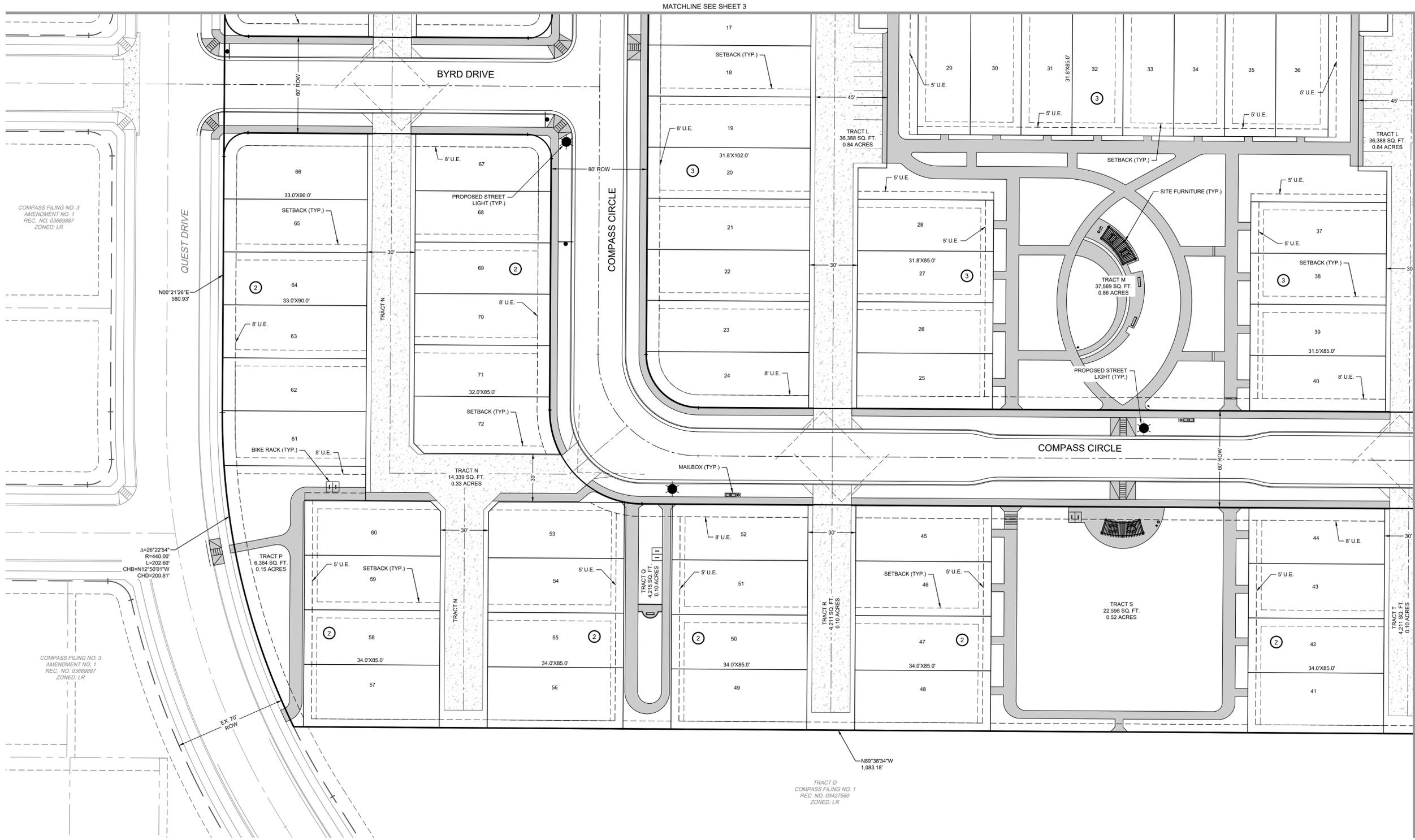
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SITE PLAN
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 DATE: 2/5/2018
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 Sheet 4 of 45

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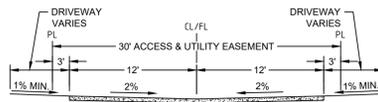
MATCHLINE SEE SHEET 6

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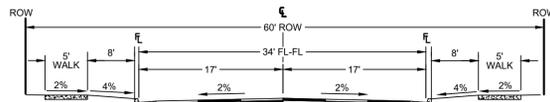


0 15 30 60
 SCALE: 1" = 30'
 ORIGINAL GRAPHIC SCALE

- LEGEND**
- PROPOSED ASPHALT
 - PROPOSED CONCRETE WALK
 - PROPOSED CONCRETE ROADWAY
 - PROPOSED GRAVEL ACCESS DRIVE
 - PROPOSED BIKE RACKS
 - PROPOSED MAILBOXES
 - PROPOSED SITE FURNITURE



DEPTH OF CONCRETE
 TO BE DETERMINED BY
 GEOTECHNICAL REPORT
PRIVATE ALLEY
 N.T.S.



LOCAL STREET
 N.T.S.

OWNER/DEVELOPER

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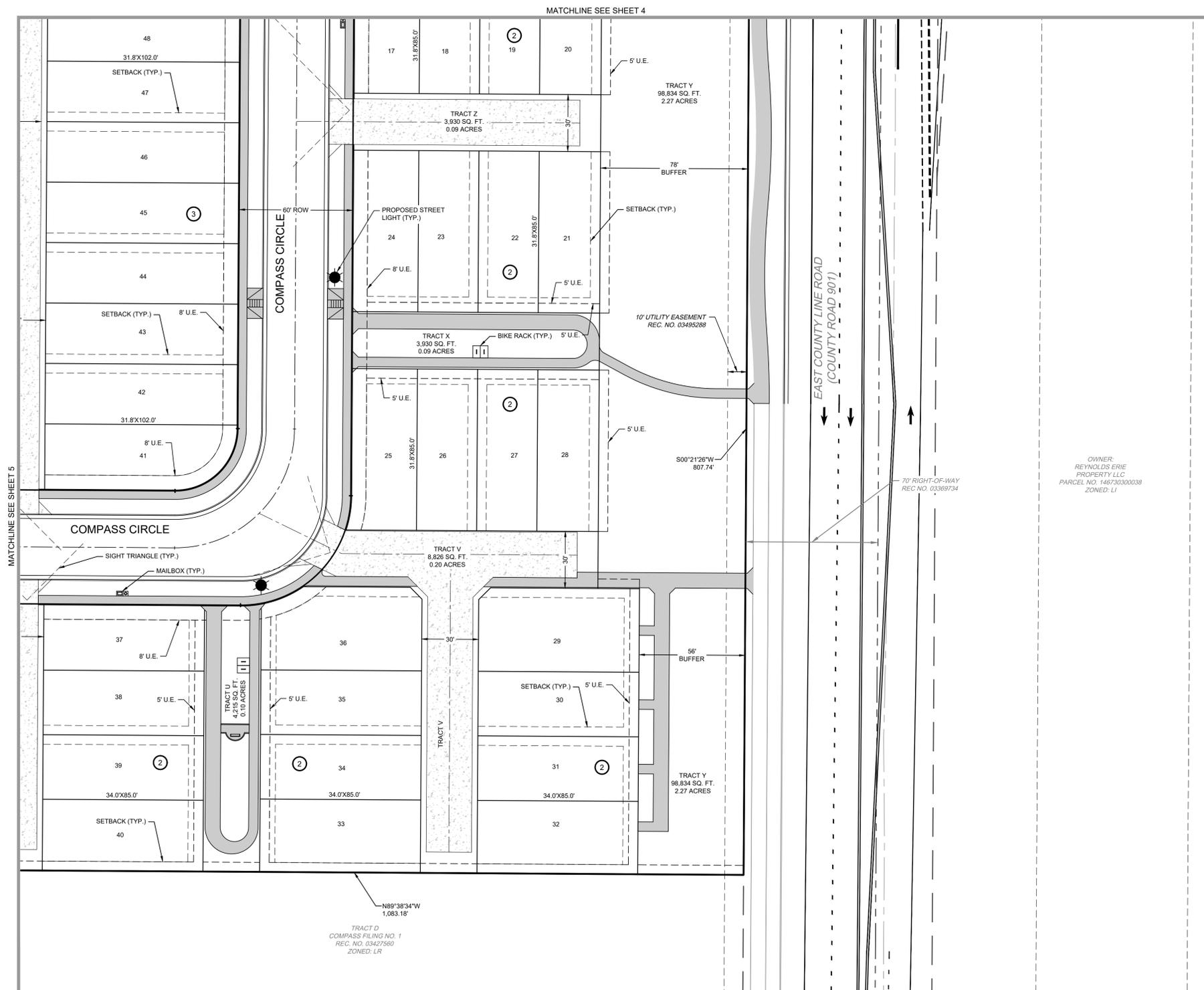
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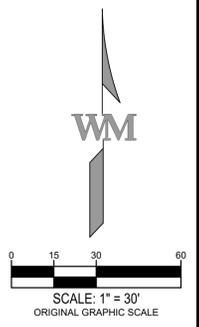
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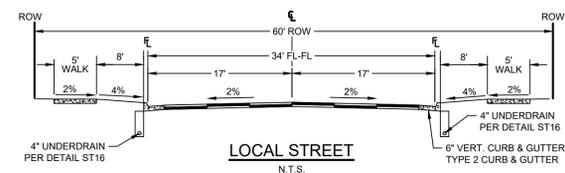
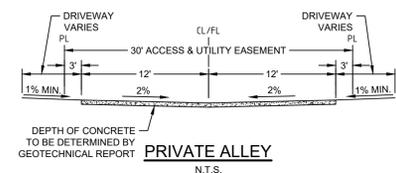
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OWNER:
 REYNOLDS ERIE
 PROPERTY LLC
 PARCEL NO. 146730300039
 ZONED: LI



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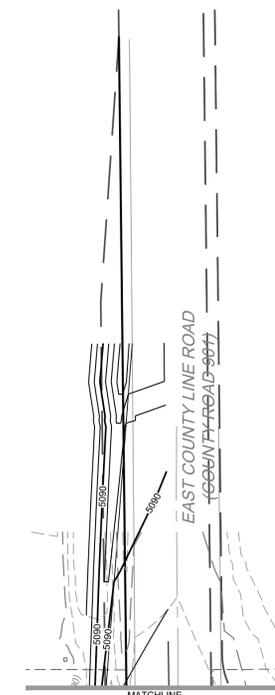
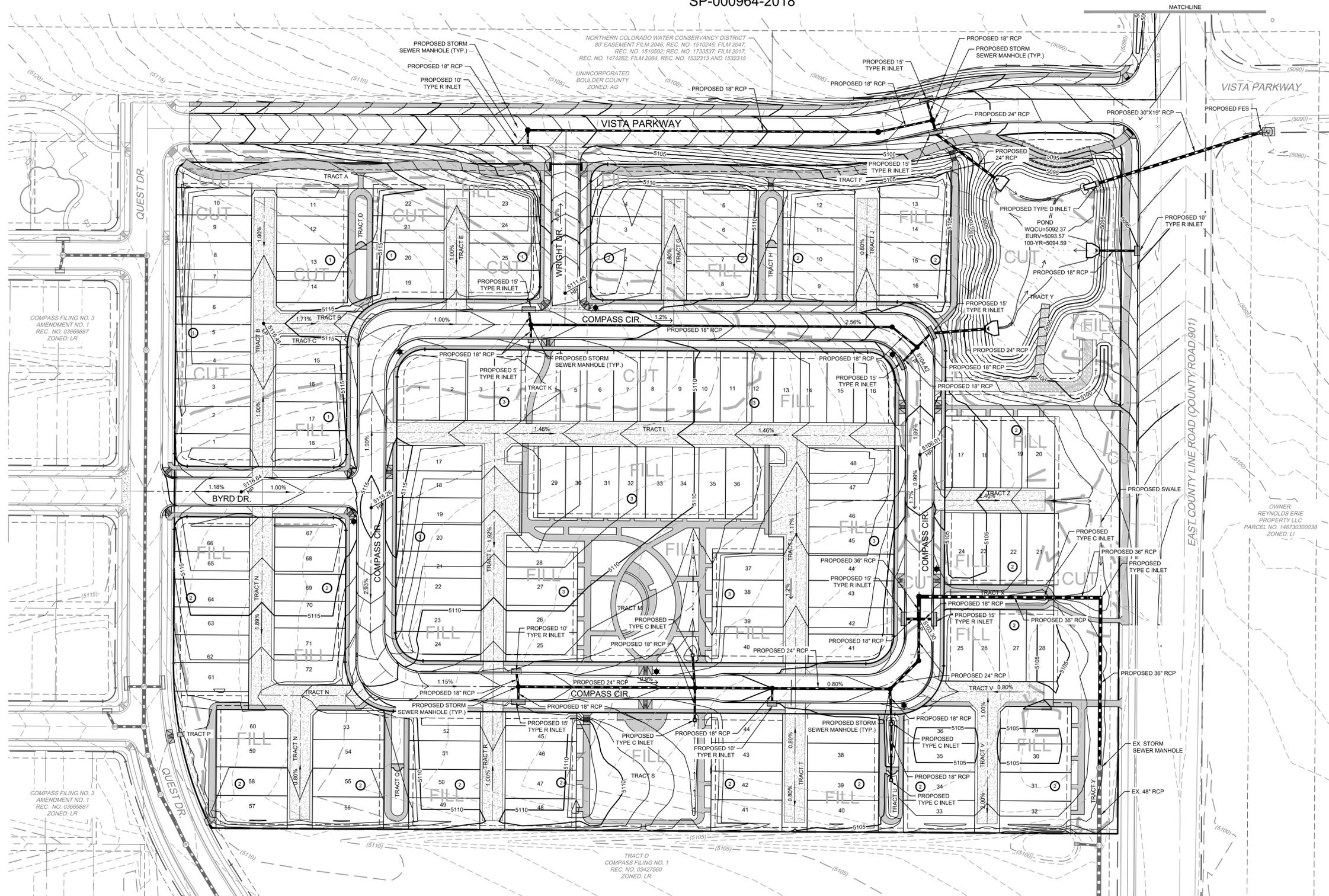
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LEGEND

| | |
|--|---------------------|
| | EXISTING 5' CONTOUR |
| | EXISTING 1' CONTOUR |
| | PROPOSED 5' CONTOUR |
| | PROPOSED 1' CONTOUR |



GRADING PLAN
 JOB NO. 15075-1
 DATE: 2/5/2018
 SCALE:
 Sheet 7 of 45

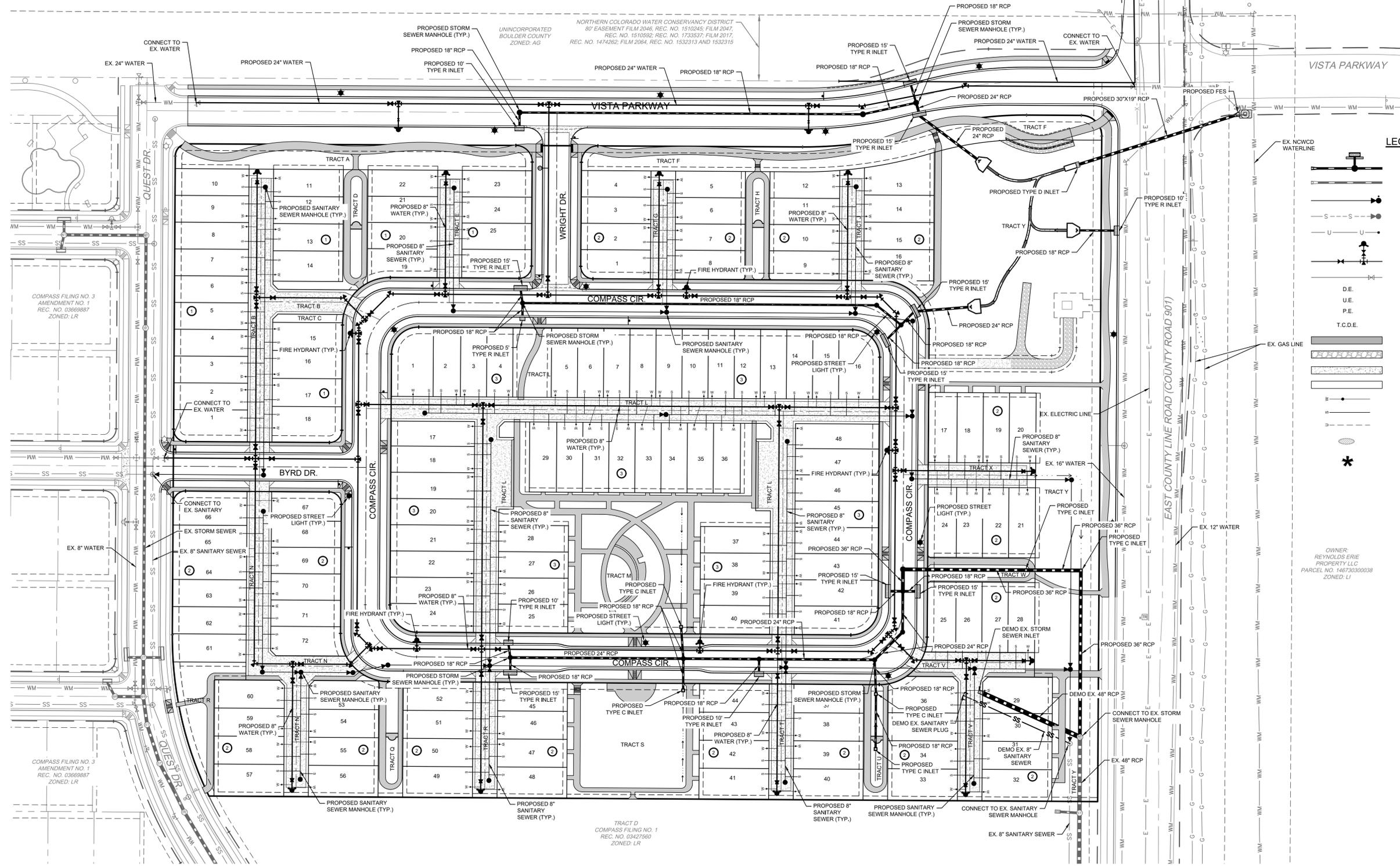
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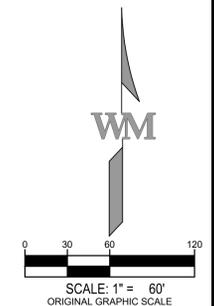
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LEGEND

| | |
|--|---|
| | PROPOSED STORM SEWER MANHOLE, F.E.S. AND INLET |
| | EXISTING STORM SEWER |
| | PROPOSED SANITARY SEWER W/MH AND CLEANOUT |
| | EXISTING SANITARY SEWER W/MH |
| | PROPOSED UNDERDRAIN AND CLEANOUT |
| | PROPOSED WATER LINE, VALVE AND FIRE HYDRANT (BY OTHERS) |
| | EXISTING WATER LINE AND VALVE |
| | D.E. DRAINAGE EASEMENT |
| | U.E. UTILITY EASEMENT |
| | P.E. PEDESTRIAN EASEMENT |
| | T.C.D.E. TRAFFIC CONTROL DEVICE EASEMENT |
| | CONCRETE WALK |
| | GRAVEL ACCESS ROAD |
| | CONCRETE ROAD AND CROSSPAN |
| | ASPHALT ROADWAY |
| | PROPOSED WATER SERVICE W/METER |
| | PROPOSED SANITARY SERVICE |
| | PROPOSED UNDERDRAIN SERVICE |
| | CAUTION UTILITY CROSSING LOWERING REQUIRED |
| | SERVICES VARY FROM TYPICAL LOT TEMPLATE |

OWNER:
 REYNOLDS ERIE
 PROPERTY LLC
 PARCEL NO. 14873030038
 ZONED: U1



UTILITY PLAN

| | |
|---------|----------|
| JOB NO. | 15075-1 |
| DATE | 2/5/2018 |
| SCALE | |
| Sheet | 8 of 45 |

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 GREENWOOD VILLAGE, COLORADO 80111
 (303) 486-5002

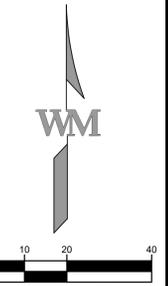
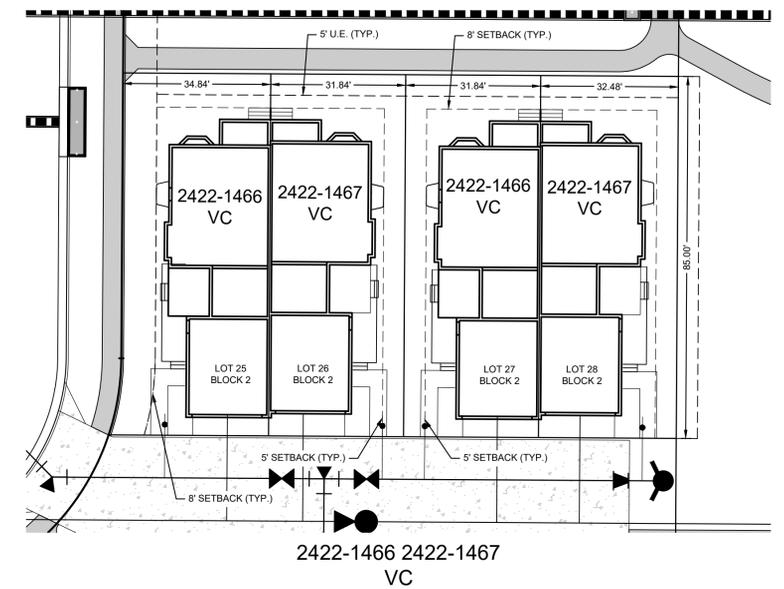
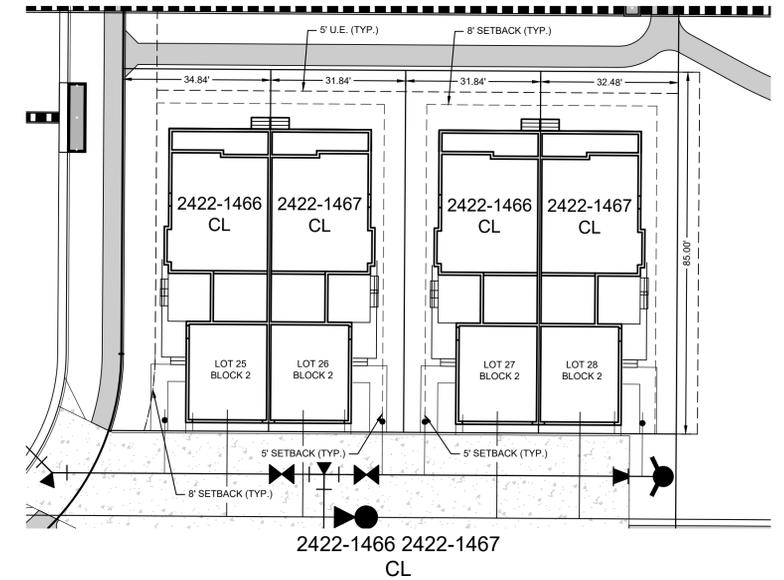
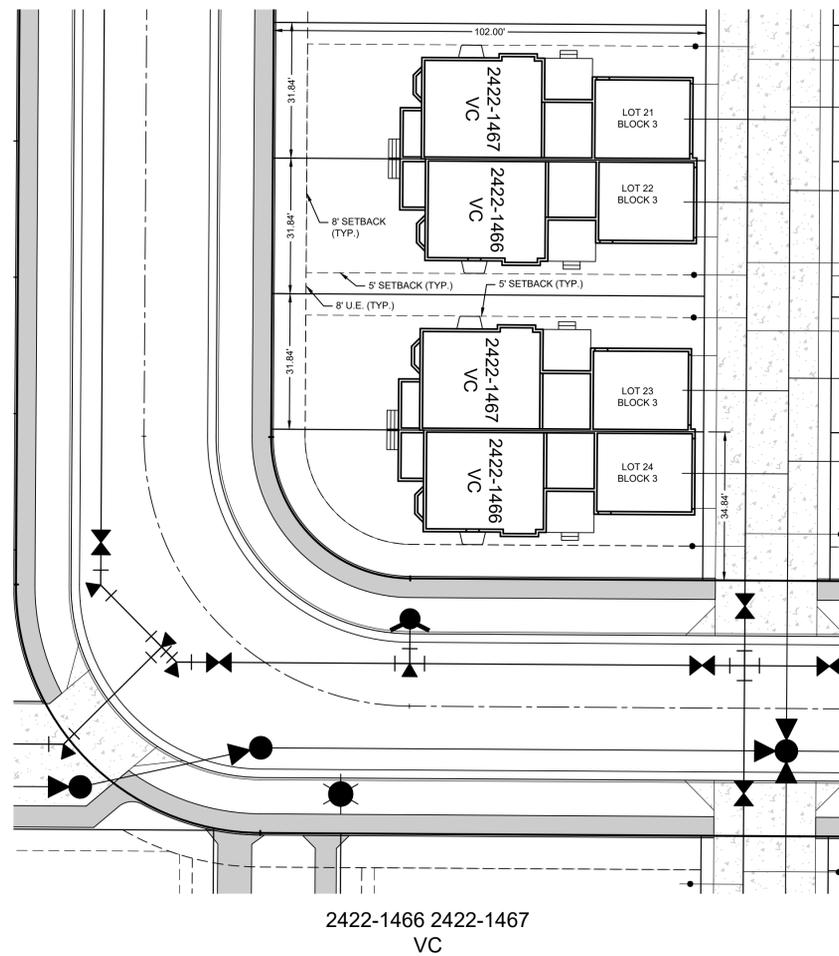
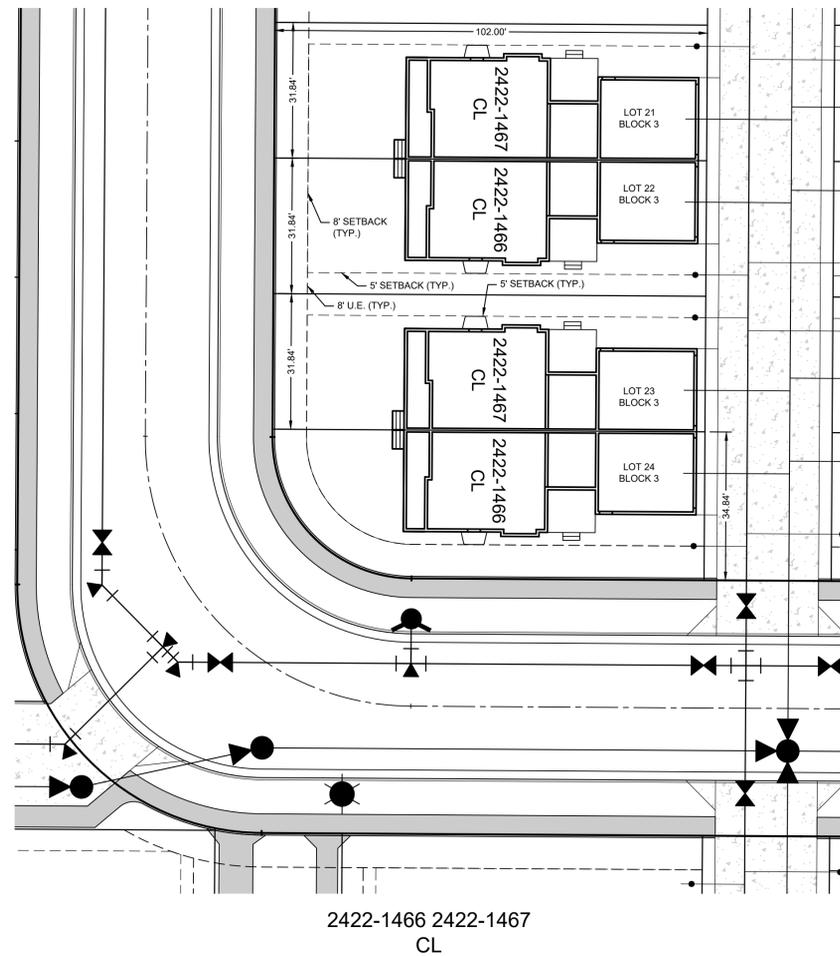
990 south broadway
 suite 230
 denver, co 80209
 p 303.561.3333
 waremalcomb.com

WARE MALCOMB
 CIVIL ENGINEERING & SURVEYING

| NO. | DATE | REMARKS |
|-----------|------|-----------|
| DRAWN BY: | IH | PA/PM: GB |

COMPASS FILING NO. 4 SITE PLAN

PART OF THE NORTHEAST QUARTER OF SECTION 25 AND AN AMENDMENT OF TRACTS B, C AND J, COMPASS FILING NO. 1
 LOCATED IN THE EAST HALF OF SECTION 25,
 TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN,
 TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
 21.05 AC - 146 LOTS - 23 TRACTS
 SP-000964-2018



JOB NO. 15075-1
 DATE: 2/5/2018
 SCALE:
 Sheet 10 of 45

OWNER/DEVELOPER
 CALATLANTIC HOMES
 6161 S. SYRACUSE WAY SUITE 340
 GREENWOOD VILLAGE, COLORADO 80111
 (303) 486-5002

990 south broadway
 suite 230
 denver, co 80209
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 waremalcomb.com

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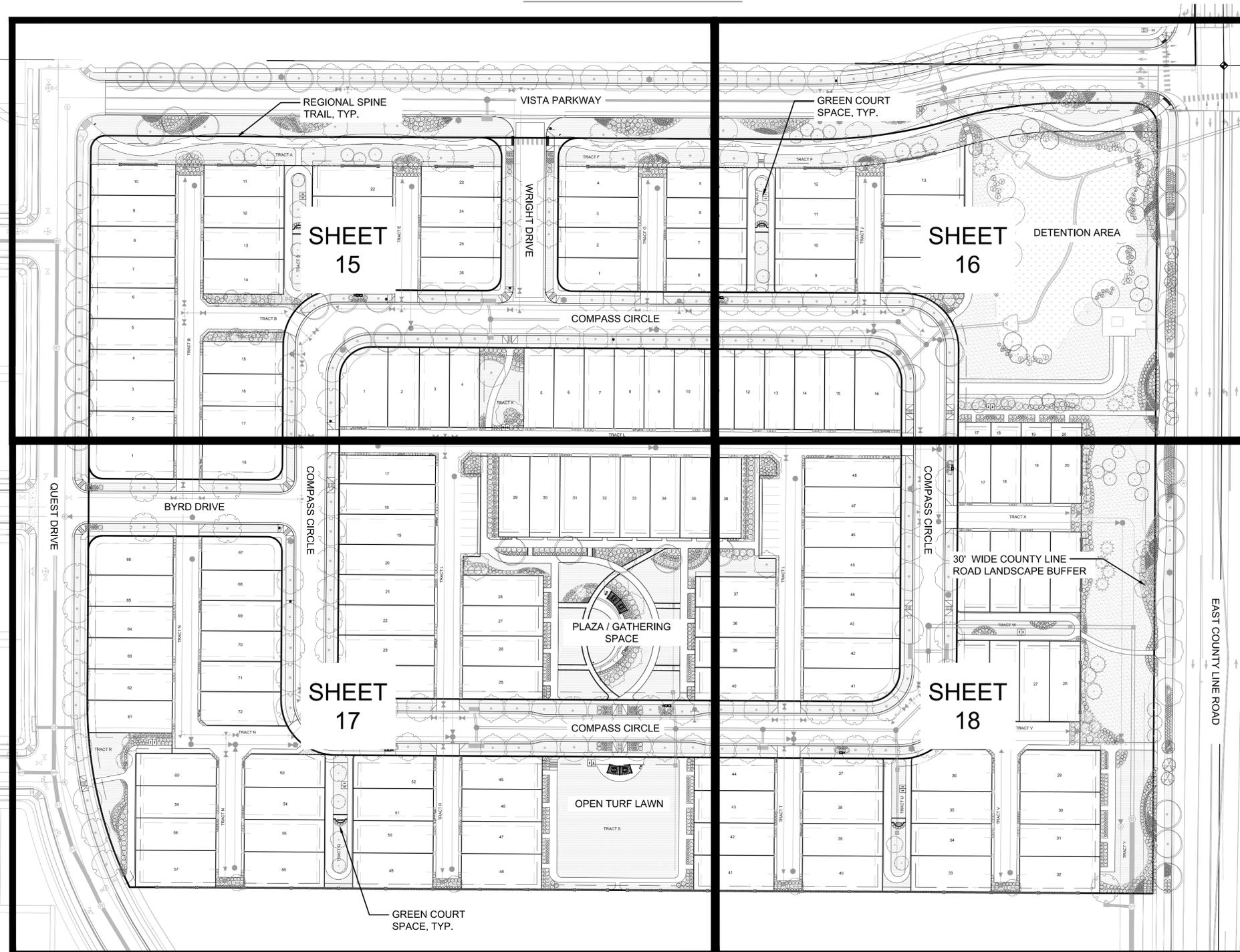
COMPASS FILING NO. 4 - SITE PLAN

PART OF THE NORTHEAST QUARTER AND AN AMENDMENT OF TRACTS B, C, AND J, COMPASS FILING NO.1
 LOCATED IN THE EAST HALF OF SECTION 25
 TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
 21.05 ACRES - 146 LOTS - 23 TRACTS
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GENERAL NOTES:

- DRAWINGS ARE INTENDED TO BE PRINTED ON 24X 36 PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, PCS GROUP, INC. RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-COMFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEAN OUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCKPILES CONCRETE IN THE STORM SEWER IS PROHIBITED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS. DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS.
- LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.
- SPECIFICATIONS ARE SHOWN TO INDICATE THE DESIGN INTENT. SUBSTITUTES FOR ALL MATERIALS AND FINISHES MAY BE CONSIDERED IF THEY MATCH THE APPEARANCE, QUALITY, AND GENERAL SPECIFICATIONS AS PRODUCTS SHOWN ON THIS SHEET AND SUBSEQUENT DETAILS. ALL MATERIALS AND FINISHES WILL REQUIRE A SAMPLE (OR DATA SHEET) TO BE SUBMITTED FOR FINAL REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE, PRIOR TO INSTALLATION.
- ALL HOA / DISTRICT MAINTAINED LANDSCAPING TO BE INSPECTED BY A COLORADO LANDSCAPE ARCHITECT IN GOOD STANDING AND PAID FOR BY THE DEVELOPER.
- ALL TOWN OF ERIE LANDSCAPE ACCEPTANCE PROCEDURES FOR HOA/DISTRICT MAINTAINED TRACTS SHALL BE FOLLOWED.
- ALL STREET TREES SPECIES AND THEIR PLANTING LOCATIONS SHALL BE APPROVED BY PARKS & RECREATION DIRECTOR OR DESIGNEE FOR TREES PLANTED ADJACENT TO RESIDENTIAL HOMES, BE THEY INSTALLED BY THE CONTRACTOR OR HOMEOWNER. ASH TREES SHALL NOT BE PLANTED UNDER ANY CIRCUMSTANCES.
- ALL NATIVE SEED AREAS ADJACENT TO ALL SPINE TRAILS AND ROADS SHALL HAVE TOWN OF ERIE SPECIFIED SHORTGRASS NATIVE PRAIRIE MIX WITHIN (15) FEET OF EDGE OF SPINE TRAILS AND ROADS.
- UPON COMPLETION OF THE PROJECT, DEVELOPER/ LANDSCAPE ARCHITECT TO PROVIDE TOWN OF ERIE A FULL SET OF AS-BUILT DRAWINGS OF ALL LANDSCAPE AND IRRIGATION, ON A CD SET INCLUDING LATEST VERSION OF PDF AND AUTO-CAD. IN ADDITION, A SIGNED LANDSCAPE IRRIGATION COMPLIANCE STATEMENT SHALL BE PROVIDED TO THE TOWN.

OVERALL LANDSCAPE PLAN



Prepared For

CALATLANTIC HOMES

Land Planning



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 1 303.531.4905 - 1 303.531.4908

Engineering

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COMPASS FILING 4 - SITE PLAN
 ERIE, COLORADO

Drawn by: GG

Checked by: JP

Issue Date: 03/08/2019

Revisions:

Sheet Name

OVERALL LANDSCAPE PLAN

Sheet Number

12 of 45

COMPASS FILING NO. 4 - SITE PLAN

PART OF THE NORTHEAST QUARTER AND AN AMENDMENT OF TRACTS B, C, AND J, COMPASS FILING NO.1
 LOCATED IN THE EAST HALF OF SECTION 25
 TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
 21.05 ACRES - 146 LOTS - 23 TRACTS
 SP-000964-2018

PLANT SCHEDULE

*NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND THE LANDSCAPE LEGEND, THE PLANT MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.

LANDSCAPE NOTES:

SITE PREP

- LANDSCAPE CONTRACTOR TO REFERENCE CIVIL ENGINEERING DRAWINGS REGARDING DRAINAGE AND EROSION CONTROL NOTES, DETAILS AND PROCEDURES.
- ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT ENTRY.
- SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE, EROSION CONTROL, PAVING AND SLEEVES, UTILITIES, AND OTHER ENGINEERED DETAILS.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- A PRE-CONSTRUCTION MEETING MAY BE REQUIRED BETWEEN THE LANDSCAPE CONTRACTOR, PROPERTY OWNER AND LANDSCAPE ARCHITECT BEFORE START OF CONSTRUCTION.
- CONTRACTOR SHALL MINIMIZE ALL DISTURBANCE TO NON-IMPACTED AREAS.
- SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES, WARNING SIGNAGE, OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER ON-SITE WORK HOURS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS FOR CONSTRUCTION WORK WITHIN THE LOCAL JURISDICTION. A SEPARATE LANDSCAPE CONSTRUCTION PERMIT IS REQUIRED AND USE AND SALES TAX WILL BE COLLECTED. WATER CONNECTION FEES ARE TO BE PAID PRIOR TO THE METER SETTING. A BACK FLOW PERMIT AND INSPECTION IS REQUIRED PRIOR TO THE METER BEING INSTALLED IN THE VAULT.
- TOPSOIL IS TO BE STRIPPED & STOCKPILED ON-SITE FOR LATER USE.
- CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING OR NEW SITE IMPROVEMENTS DISTURBED OR DAMAGED DUE TO THEIR OPERATIONS. DAMAGED MATERIALS SHALL BE REPLACED/REPAIRED TO ITS PRIOR CONDITION.
- LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OR LANDSCAPE PLANTING. CONTRACTOR SHALL HAND DIG ALL PLANTING PITS ADJACENT TO UTILITIES. IF UTILITIES ARE DAMAGED, REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED & AMENDED.
- ALL LANDSCAPE AREAS SHALL RECEIVE SOIL AMENDMENT ROTOTILLED AT A MIN. 8" DEPTH AT A RATE OF 4 CUBIC YARDS PER 1,000 SF.
- CONTRACTOR SHALL SUBMIT SOIL AMENDMENT SPECIFICATIONS FOR APPROVAL PRIOR TO INSTALLATION.

TURF, PLANT & GROUND COVER MATERIAL

- ANY SUBSTITUTION OR ALTERATION OF PLANT OR LANDSCAPE MATERIALS IN LOCATION, SPECIES, TYPE, ETC. SHALL BE ALLOWED ONLY WITH APPROVAL OF THE LANDSCAPE ARCHITECT. OVERALL PLANT QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED PLANS.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
- PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 4' BETWEEN WATER OR SEWER SERVICE LINES AND A MINIMUM SEPARATION OF 10' BETWEEN WATER OR SEWER MAIN LINES. PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 4' BETWEEN GAS LINES.
- ALL PROPOSED IRRIGATED TURF AREAS SHALL BE SODDED WITH THE BLEND SPECIFIED IN THESE PLANS. SOD SHALL BE LAID ON A FIRM BED WITH TIGHT JOINTS AND WITHOUT VOIDS.
- TREE WRAP TO BE APPLIED IN LATE FALL AFTER INSTALLATION, AND REMOVED THE FOLLOWING SPRING. REMOVE ANY STRING OR WIRE AROUND TREE TRUNKS AT TIME OF INSTALLATION.
- CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, OWNER'S REPRESENTATIVE, AND/OR THE CITY/COUNTY PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE AND REPAIR.
- MAINTAIN A MINIMUM THREE FOOT CLEARANCE AROUND FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS OR OTHER FIRE SERVICE EQUIPMENT. NO TREES OR SHRUBS WILL BE ALLOWED WITHIN THIS AREA.
- NO PLANT MATERIAL SHALL BE PLANTED WITHIN 10' OF ANY EXISTING OR PROPOSED ELECTRICAL SWITCHGEARS, TRANSFORMERS OR OTHER ELECTRICAL UTILITY EQUIPMENT. PLANT MATERIAL MAY BE FIELD ADJUSTED TO PROVIDE THE 10' CLEAR SPACE AND ACCESSIBILITY REQUIRED BY THE UTILITY'S OWNER/OPERATOR.
- PROPOSED PLANT SPECIES MAY BE SUBJECT TO CHANGE PENDING COMMERCIAL AVAILABILITY AT TIME OF CONSTRUCTION. ALL SPECIES SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. OVERALL PLANT QUANTITIES & SIZES SHALL REMAIN AS INDICATED ON THE PLANT SCHEDULE. CONTRACTOR SHALL VERIFY THAT ANY SUBSTITUTED PLANT SPECIES ARE ACCEPTABLE TO THE LOCAL MUNICIPALITY OR GOVERNING JURISDICTIONS.
- IF SPECIFIED PLANTS ARE NOT COMMERCIALY AVAILABLE AT TIME OF CONSTRUCTION/INSTALLATION, CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT FOR A SUBSTITUTION.

HARDSCAPE

- REFER TO SITE PLANS & DETAILS FOR SPECIALTY CONCRETE LOCATIONS WHERE APPLICABLE.
- 1)PERMANENT UNDERGROUND IRRIGATION IS REQUIRED IN ALL LANDSCAPE AREAS. 2) TURF AREAS ARE ZONED SEPARATELY FROM BED AREAS, 3) CONTROLLER TO INCLUDE RAIN SHUT-OFF, 4) HYDROZONES WILL BE ON SEPARATE IRRIGATION ZONES ACCORDING TO WATER-DEMAND.
- TURF & IRRIGATED NATIVE AREAS (WHERE APPLICABLE) SHALL BE IRRIGATED BY AUTOMATIC POP-UP SPRAY SYSTEM. SHRUBS & PLANTING BEDS SHALL BE IRRIGATED WITH DRIP/BUBBLER SYSTEM.
- ALL TREES & SHRUBS OUTSIDE OF BEDS WITHIN NATIVE AREAS SHALL BE DRIP IRRIGATED. ALL IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM
- REFER TO IRRIGATION PLANS FOR DETAILED INFORMATION.
- CONTRACTOR IS TO MAINTAIN ALL PLANTINGS AND ASSOCIATED IRRIGATION SYSTEM INSTALLED UNDER THIS CONTRACT UNTIL FINAL ACCEPTANCE BY THE TOWN AND TURNOVER TO OWNER. THIS MAINTENANCE SHALL INCLUDE PROPER WATERING OF ALL PLANTS, AND MOWING OF TURF/SEED AREAS IF NECESSARY.
- SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
- ALL PLANT MATERIAL WILL BE COVERED BY A WARRANTY PERIOD. THE CONTRACTOR SHALL REPLACE DEAD, UNHEALTHY, OR OTHERWISE UNSATISFACTORY MATERIAL THROUGHOUT THIS PERIOD. THE WARRANTY SHALL BEGIN UPON FINAL ACCEPTANCE OF THE JOB.
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER OR ASSIGNS OR OWNERS ASSOCIATION. TREES AND SHRUBS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL (AS DETERMINED BY THE TOWN) SHALL BE REPLACED PER CODE OF NOTIFICATION BY THE TOWN. NON-LIVING GROUND COVERS, SUCH AS ROCK OR MULCH, MUST BE 100% INTACT AFTER ONE YEAR AND 100% INTACT THEREAFTER.
- LANDSCAPE AREAS WITHIN THE PROPERTY AND WITHIN THE ADJACENT RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER.

LANDSCAPE REQUIREMENTS:

| STREET TREES | | | | |
|-----------------------|---------------|------|----------|----------|
| AREA | AREA / LENGTH | UNIT | TREES | TREES |
| | | | REQUIRED | PROVIDED |
| VISTA PARKWAY | 2,173 | LF | 54 | 67 |
| EAST COUNTY LINE ROAD | 828 | LF | 21 | 37 |
| QUEST DRIVE | 747 | LF | 19 | 19 |
| BYRD DRIVE | 160 | LF | 4 | 4 |
| WRIGHT DRIVE | 210 | LF | 5 | 6 |
| COMPASS CIRCLE | 3,623 | LF | 91 | 98 |

| DETENTION LANDSCAPE | | | |
|----------------------------|--|----------|----------|
| Naturalized Detention Area | 1 Tree or 15-Shrub-Thicket Every 50' along all Drainages | | |
| | Linear Feet | Required | Provided |
| Detention Pond | 671 | 13 | 19 |

NOTE: LOT LANDSCAPE TO MEET TOWN OF ERIE UNIFIED CODE REQUIREMENTS, RE: 10-6-4 E 5

LANDSCAPE MAINTENANCE:

LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN, AND HEALTHY CONDITION BY THE OWNER. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, REPLACEMENT OF MULCH, WEEDING, REMOVAL OF LITTER AND THE REGULAR WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED TO MAXIMIZE WATER CONSUMPTION. SHOULD ANY PLANT MATERIAL DIE THE OWNER, SUCCESSOR, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF PLANT(S) WITHIN ONE PLANTING SEASON. REPLACEMENT OF PLANT MATERIALS SHALL OCCUR AT THE FOLLOWING RATE:

| TYPE | PLANT REPLACEMENT WITHIN | |
|-------------------|---|---|
| | 1 YEAR | 2+ YEARS |
| TREE - DECIDUOUS | INCREASE CALIPER BY 1" | INCREASE CALIPER BY 1.5" |
| TREE - CONIFEROUS | INCREASE HEIGHT BY 1.5' | INCREASE HEIGHT BY 2' |
| SHRUBS | REPLACE WITH PLANTS OF AT LEAST 1/2 MATURE SIZE | REPLACE WITH PLANTS OF AT LEAST 1/2 MATURE SIZE |

MIXED GRASS PRAIRIE NATIVE SEED MIXTURE (TEMPORARY IRRIGATION)

| COMMON NAME | SCIENTIFIC NAME | VARIETY | OZ/ACRE | PLS LBS/ACRE |
|--|-------------------------------------|-------------------------------------|---------|----------------|
| Buffalo grass | <i>Buchloe dactyloides</i> | Native, Bison or Texoka | | 3 |
| Sideoats grama | <i>Bouteloua curtipendula</i> | Butte, Niner or El Reno | | 5 |
| Prairie sandreed | <i>Calamagrostis longifolia</i> | Goshien or Bosman | | 1 |
| Blue grama | <i>Chondrosium gracile</i> | Lovington, Alma, Native, or Hachita | | 3 |
| Western wheatgrass | <i>Pascopyrum smithii</i> | Arriba, or Rosana | | 5 |
| Little bluestem | <i>Schizachyrium scoparium</i> | Piastura, Cimarron, Aldous, Camper | | 4 |
| Alkali sacaton | <i>Sporobolus airoides</i> | Common | | 1 |
| Sand dropseed | <i>Sporobolus cryptandrus</i> | Common | | 1 |
| Switchgrass | <i>Panicum virgatum</i> | Blackwell | | 5 |
| SEEDING RATE POUNDS PLS/ACRE | | | | 28 |
| Optional Addition of Native Wildflowers | | | | |
| Fringed sage | <i>Artemisia frigida</i> | Common | 1 | |
| Purple prairie clover | <i>Dalea purpurea</i> | Common | 6 | |
| Blanketflower | <i>Gaillardia aristata</i> | Common | 6 | |
| Gayfeather | <i>Liatris punctata</i> | Common | 4 | |
| Tansy aster | <i>Machaeranthera tanacetifolia</i> | Common | 3 | |
| Prairie coneflower | <i>Ratibida columnifera</i> | Common | 3 | |
| OUNCES | | | 23 | 1.4375 |
| SEEDING RATE POUNDS PLS/ACRE WITH NATIVE WILDFLOWERS OPTION | | | | 29.4375 |

SEED & SOD MIXES

SHORTGRASS PRAIRIE NATIVE SEED MIXTURE
 NOTE: ALL NATIVE SEED AREAS ADJACENT TO ALL SPINE TRAILS AND ROADS SHALL HAVE TOWN OF ERIE SPECIFIED SHORTGRASS NATIVE PRAIRIE MIX WITHIN (15) FEET OF EDGE OF SPINE TRAILS AND ROADS

| COMMON NAME | SCIENTIFIC NAME | VARIETY | OZ/ACRE | PLS LBS/ACRE |
|--|-------------------------------------|-------------------------------------|---------|--------------|
| Buffalograss | <i>Buchloe dactyloides</i> | Native, Bison or Texoka | | 14 |
| Blue grama | <i>Chondrosium gracile</i> | Lovington, Alma, Native, or Hachita | | 12 |
| Sand dropseed | <i>Sporobolus cryptandrus</i> | Common | | 4 |
| SEEDING RATE POUNDS PLS/ACRE | | | | 30 |
| Optional Addition of Native Wildflowers | | | | |
| Fringed sage | <i>Artemisia frigida</i> | Common | 1 | |
| Purple prairie clover | <i>Dalea purpurea</i> | Common | 4 | |
| Gayfeather | <i>Liatris punctata</i> | Common | 4 | |
| Tansy aster | <i>Machaeranthera tanacetifolia</i> | Common | 3 | |
| OUNCES | | | 12 | 0.75 |
| SEEDING RATE POUNDS PLS/ACRE WITH NATIVE WILDFLOWERS OPTION | | | | 30.75 |

4-WAY BLUEGRASS SOD BLEND

- SOD SHALL CONSIST OF A BLEND OF AT LEAST FOUR (4) VARIETIES OF BLUEGRASS. THIS BLEND IS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- SOD SHALL BE STRONGLY ROOTED AND FREE OF NOXIOUS WEEDS, UNDESIRABLE PLANTS, ROOTS, STONES, AND OTHER FOREIGN MATERIALS THAT WILL BE DETRIMENTAL OR WILL HINDER THE PROPER DEVELOPMENT OF THE SOD. SEE SECTIONS 1023.00 & 1043.00 WITHIN THE TOWN OR ERIE STANDARDS AND SPECIFICATIONS FOR FURTHER INFORMATION.

MOIST SWALE SEED MIXTURE

| COMMON NAME | SCIENTIFIC NAME | VARIETY | PLS LBS/ACRE |
|---|-----------------------------|-------------------------------------|--------------|
| Woolly sedge | <i>Carex lanuginosa</i> | Native | 0.5 |
| Nebraska sedge | <i>Carex nebrascensis</i> | Native | 0.1 |
| Blue grama | <i>Chondrosium gracile</i> | Lovington, Alma, Native, or Hachita | 1.5 |
| Buffalograss | <i>Buchloe dactyloides</i> | Native, Bison or Texoka | 0.5 |
| Inland saltgrass | <i>Distichlis spicata</i> | Native | 0.5 |
| Baltic rush | <i>Juncus balticus</i> | Native | 0.1 |
| Prairie cordgrass | <i>Spartina pectinata</i> | Native | 1 |
| Alkali sacaton | <i>Sporobolus airoides</i> | Native | 3 |
| Switchgrass | <i>Panicum virgatum</i> | Blackwell | 3 |
| Western wheatgrass | <i>Pascopyrum smithii</i> | Arriba or Rosana | 5 |
| SEEDING RATE POUNDS PLS/ACRE | | | 16.2 |
| Optional Addition of Native Wildflowers | | | |
| Aster | <i>Aster laevis</i> | Western | 0.05 |
| Yarrow | <i>Achillea millefolium</i> | Western | 0.05 |
| Prairie coneflower | <i>Ratibida columnifera</i> | | 0.05 |
| SEEDING RATE POUNDS PLS/ACRE WITH NATIVE WILDFLOWER OPTION | | | 16.35 |

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COMPASS FILING 4 - SITE PLAN
 ERIE, COLORADO

Drawn by: GG

Checked by: JP

Issue Date: 03/08/2019

Revisions:

Sheet Name

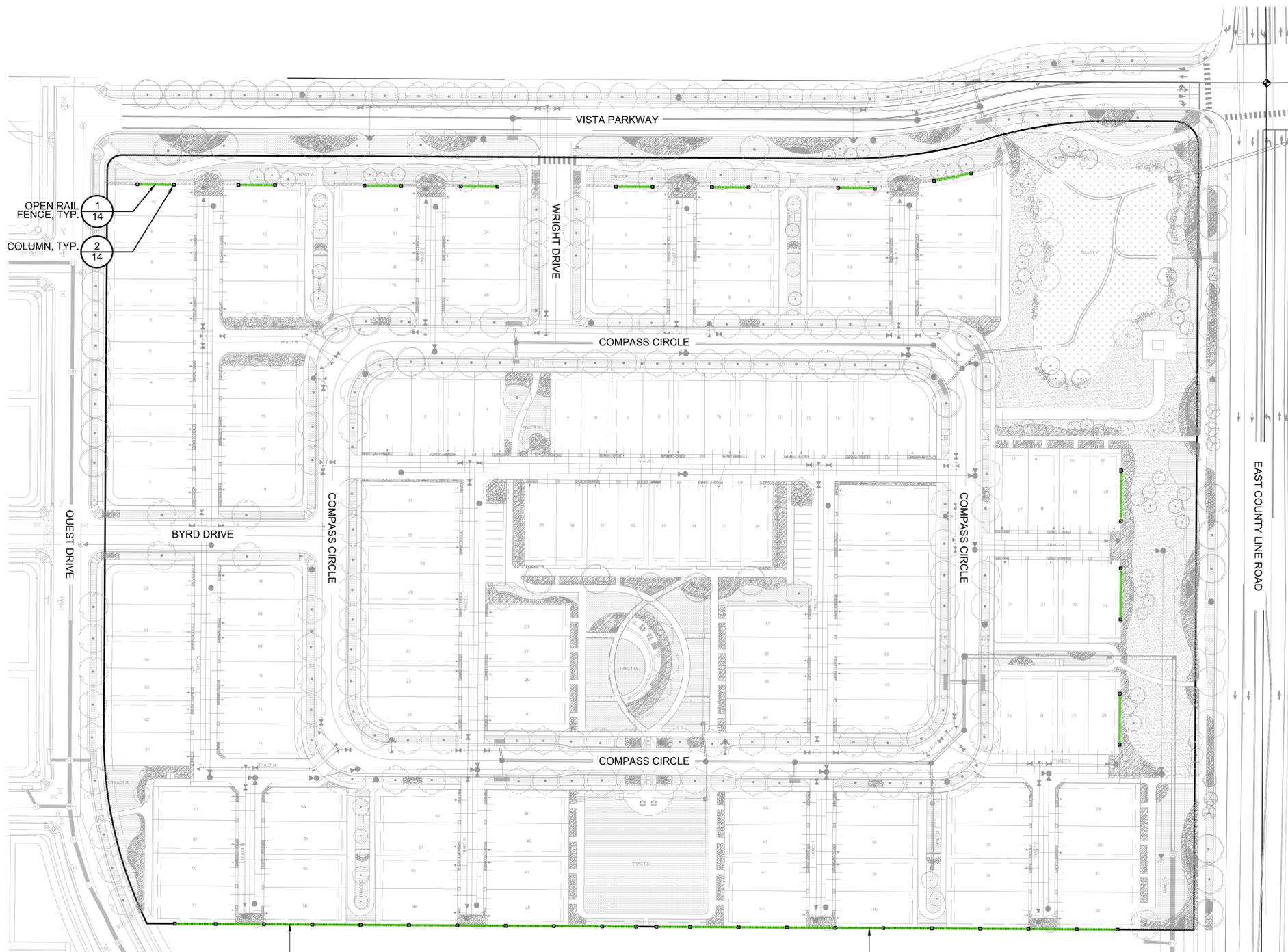
LANDSCAPE NOTES & PLANT SCHEDULE

Sheet Number

13 of 45

COMPASS FILING NO. 4 - SITE PLAN

PART OF THE NORTHEAST QUARTER AND AN AMENDMENT OF TRACTS B, C, AND J, COMPASS FILING NO.1
 LOCATED IN THE EAST HALF OF SECTION 25
 TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
 21.05 ACRES - 146 LOTS - 23 TRACTS
 SP-000964-2018



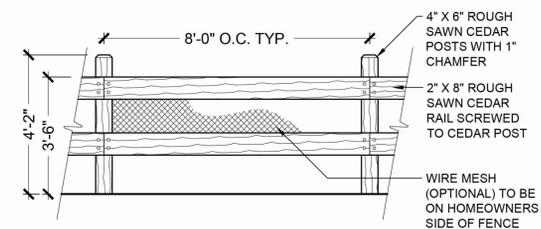
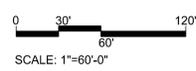
FENCING PLAN

FENCING NOTES:

- NO FENCING SHALL BE INSTALLED WITHIN SIGHT DISTANCE TRIANGLES.
- FENCING SHALL BE INSTALLED ALONG LOT/PROPERTY LINES PER FINAL PLAT DIMENSIONS AND LAYOUT.
- COLUMNS TO BE INSTALLED ONLY ON OPEN RAIL FENCE SECTIONS ALONG VISTA PARKWAY AND EAST COUNTY LINE ROAD. RE: PLANS FOR COLUMN LOCATIONS.

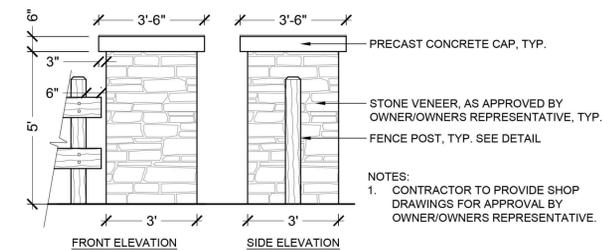
- WING FENCE TO BE LOCATED MIN. 6' BACK FROM FRONT FACE OF BUILDING. WING FENCE MAY BE LOCATED FURTHER BACK TO AVOID ANY ARCHITECTURAL FEATURES.
- MAINTENANCE RESPONSIBILITIES FOR ALL FENCING WILL BE AS FOLLOWS:
 - OPEN RAIL FENCE: HOA MAINTAINED
 - ON-LOT PERIMETER FENCE (WING FENCE): HOMEOWNER MAINTAINED

LEGEND



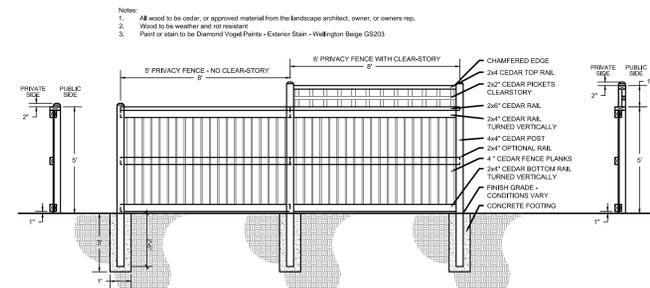
- NOTE:**
- WIRE MESH IS OPTIONAL ON ALL RESIDENTIAL FENCES.
 - WELDED WIRE MESH REQUIRED ON ALL SPLIT RAIL FENCE LOCATED ON SOUTHERN PROPERTY BOUNDARY.

1 OPEN RAIL FENCE SCALE: NTS



- NOTE:**
- ALL WOOD TO BE STAINED, GLUED LAMINATED TIMBER HEAVILY EPOXIED AND SANDED SMOOTH WITH MEDIUM GLOSS CLEAR COT FINISHED. WOOD FINISH TO MATCH ENTRY MONUMENT.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL BY OWNERS REPRESENTATIVE

2 COLUMN SCALE: NTS



3 WING FENCE SCALE: NTS

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COMPASS FILING 4 - SITE PLAN
 ERIE, COLORADO

Drawn by: **GG**
 Checked by: **JP**
 Issue Date: **03/08/2019**
 Revisions:

Sheet Name

FENCING PLAN

Sheet Number

14 of 45

COMPASS FILING NO. 4 - SITE PLAN

PART OF THE NORTHEAST QUARTER AND AN AMENDMENT OF TRACTS B, C, AND J, COMPASS FILING NO.1
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 TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
 21.05 ACRES - 146 LOTS - 23 TRACTS
 SP-000964-2018

PLANT SCHEDULE

| DECIDUOUS TREES | COMMON NAME |
|-----------------|------------------------------|
| AD | Decorative Maple |
| AE | Emerald Queen Maple |
| GI | Impctoe Honeylocust |
| GK | Kentucky Coffee Tree |
| PA2 | Narrowleaf Poplar |
| PS2 | Plains Cottonwood |
| QR | English Oak |
| QR2 | Red Oak |
| TG | Greenspire Littleleaf Linden |

| EVERGREEN TREES | COMMON NAME |
|-----------------|---------------------------|
| PP | Pinon Pine |
| PF | Vanderwolf's Pyramid Pine |
| PN | Austrian Pine |

| FLOWERING TREES | COMMON NAME |
|-----------------|--------------------------|
| AH | Hot Wings Tatarian Maple |
| AM | Shadblow Serviceberry |
| CP | Washington Hawthorn |
| MP | Prairifire Crab Apple |
| MS | Spring Snow Crab Apple |

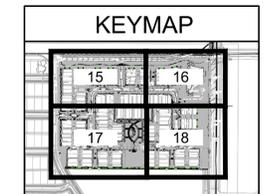
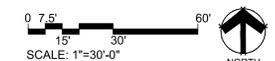
| ANNUALS/PERENNIALS | COMMON NAME |
|--------------------|-----------------------|
| CV2 | Threatleat Coreopsis |
| DC | Coral Canyon Twinspur |
| EP | Purple Coneflower |
| HH | Happy Returns Daylily |
| HR | Plantain Lily |
| SA | Autumn Joy Sedum |

| DECIDUOUS SHRUBS | COMMON NAME |
|------------------|---------------------------------|
| AS | Saskatoon Serviceberry |
| BR | Royal Burgundy Barberry |
| CR | Rabbitbrush |
| RD | Red Twig Dogwood |
| CS2 | Spanish Gold Brom |
| LL | Lodense Privet |
| LT | Tatarian Honeysuckle |
| PA | Russian Sage |
| RG | Golden Currant |
| RW | White Midland Rose |
| RF | Coral Flower Carpet Rose |
| RO | Knock Out Shrub Rose |
| SE | Coyote Willow |
| SS | Little Princess Japanese Spirea |
| SN | Snowmound Spirea |
| SM2 | Dwarf Korean Lilac |
| SM | Miss Kim Lilac |
| VC | Korean Spice Viburnum |
| WA | Weigela Wine & Roses |
| WE | Weigela |

| EVERGREEN SHRUBS | COMMON NAME |
|------------------|-----------------------------|
| JB | Bar Harbor Creeping Juniper |
| JY | Creeping Juniper |
| MC | Compact Oregon Grape |
| PS | Mugo Pine |

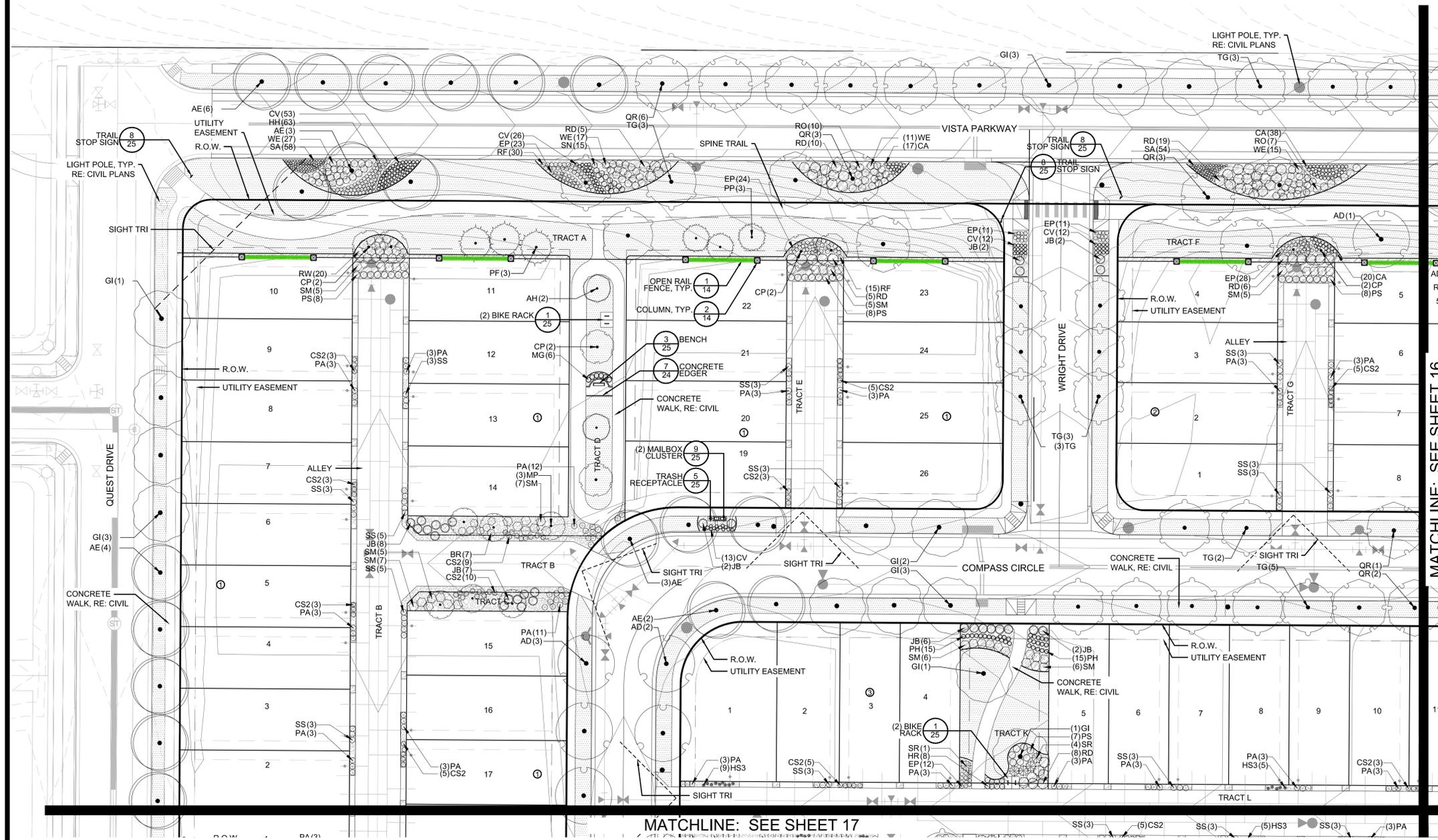
| GRASSES | COMMON NAME |
|---------|----------------------------------|
| CA | Karl Forester Feather Reed Grass |
| CV | Korean Feather Reed Grass |
| CS | Pampas Grass |
| HS | Blue Avena Grass |
| HS3 | Blue Oat Grass |
| MG | Maiden Grass |
| PH | Hamel Dwarf Fountain Grass |
| SR | Ravenna Grass |

| GROUND COVERS | COMMON NAME |
|---------------|--|
| | 4-Way Bluegrass Sod Blend |
| | Crusher Fines |
| | Moist Swale Seed Mixture |
| | Native Seed Mixture |
| | River Rock Mulch 2'-4" |
| | Shredded Cedar Mulch 4" DEPTH, RE: LDSCP NOTES |



| LEGEND | |
|--------|-----------------|
| | OPEN RAIL FENCE |

NOTE:
 TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE LANDSCAPE PLAN. ADDITIONAL LANDSCAPING AND ASSOCIATED IRRIGATION WILL BE REQUIRED BASED UPON FIELD CONDITIONS IN ORDER TO SCREEN ABOVE GROUND UTILITY FACILITIES. THE ADDITIONAL LANDSCAPING OF THE ABOVE GROUND UTILITY FACILITIES SHALL BE INSTALLED PRIOR TO INSPECTION BY THE LANDSCAPE ARCHITECT. THE COMPLIANCE STATEMENT SUBMITTED FOR INITIAL ACCEPTANCE OF THE LANDSCAPING SHALL INCLUDE A DECLARATION THAT THE UTILITY FACILITIES HAVE BEEN LANDSCAPED AS REQUIRED."



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COMPASS FILING 4 - SITE PLAN
ERIE, COLORADO

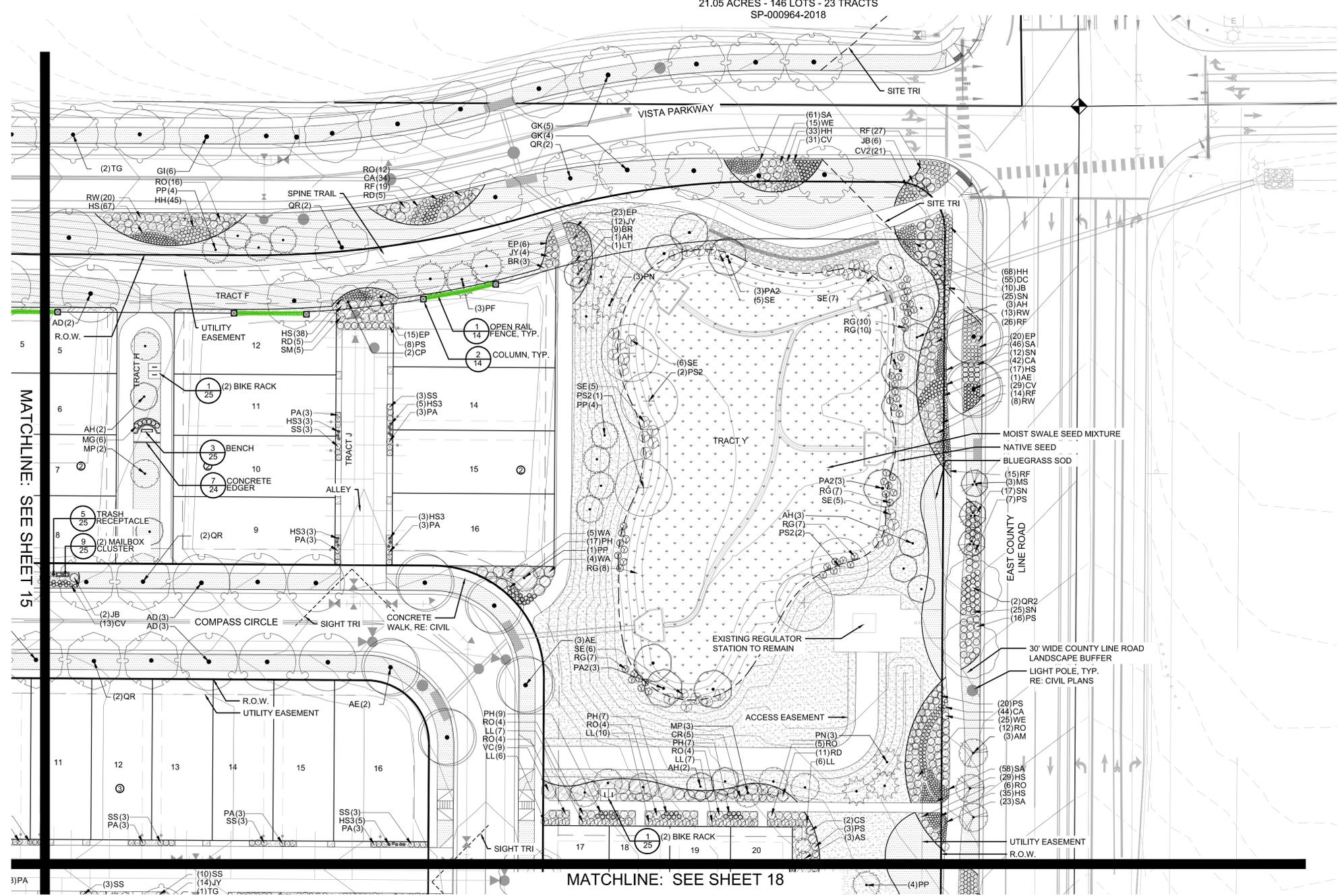
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 Revisions:

Sheet Name
LANDSCAPE PLAN

Sheet Number
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 LOCATED IN THE EAST HALF OF SECTION 25
 TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
 21.05 ACRES - 146 LOTS - 23 TRACTS
 SP-000964-2018



MATCHLINE: SEE SHEET 15

MATCHLINE: SEE SHEET 18

PLANT SCHEDULE

| DECIDUOUS TREES | COMMON NAME |
|-----------------|------------------------------|
| AD | Detroit Maple |
| AE | Emerald Queen Maple |
| GI | Impcoke Honeylocust |
| GK | Kentucky Coffee Tree |
| PA2 | Narrowleaf Poplar |
| PS2 | Plains Cottonwood |
| QR | English Oak |
| QR2 | Red Oak |
| TG | Greenspire Littleleaf Linden |

| EVERGREEN TREES | COMMON NAME |
|-----------------|---------------------------|
| PP | Pinon Pine |
| PF | Vanderwolf's Pyramid Pine |
| PN | Austrian Pine |

| FLOWERING TREES | COMMON NAME |
|-----------------|--------------------------|
| AH | Hot Wings Tatarian Maple |
| AM | Shadblow Serviceberry |
| CP | Washington Hawthorn |
| MP | Prairie Fire Crab Apple |
| MS | Spring Snow Crab Apple |

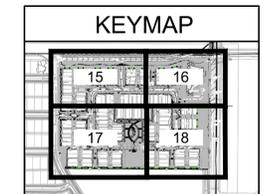
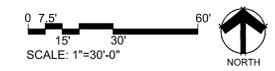
| ANNUALS/PERENNIALS | COMMON NAME |
|--------------------|-----------------------|
| CV2 | Threadleaf Coreopsis |
| DC | Coral Canyon Twinspur |
| EP | Purple Coneflower |
| HH | Happy Returns Daylily |
| HR | Plantain Lily |
| SA | Autumn Joy Sedum |

| DECIDUOUS SHRUBS | COMMON NAME |
|------------------|---------------------------------|
| AS | Saskatoon Serviceberry |
| BR | Royal Burgundy Barberry |
| CR | Rabbitbrush |
| RD | Red Twig Dogwood |
| CS2 | Spanish Gold Broom |
| LL | Lodense Privet |
| LT | Tatarian Honeysuckle |
| PA | Russian Sage |
| RG | Golden Currant |
| RW | White Meidland Rose |
| RF | Coral Flower Carpet Rose |
| RO | Knock Out Shrub Rose |
| SE | Coyote Willow |
| SS | Little Princess Japanese Spirea |
| SN | Snowmound Spirea |
| SM2 | Dwarf Korean Lilac |
| SM | Miss Kim Lilac |
| VC | Korean Spice Viburnum |
| WA | Weigella Wine & Roses |
| WE | Weigela |

| EVERGREEN SHRUBS | COMMON NAME |
|------------------|-----------------------------|
| JB | Bar Harbor Creeping Juniper |
| JY | Creeping Juniper |
| MC | Compact Oregon Grape |
| PS | Mugo Pine |

| GRASSES | COMMON NAME |
|---------|----------------------------------|
| CA | Karl Forester Feather Reed Grass |
| CV | Korean Feather Reed Grass |
| CS | Pampas Grass |
| HS | Blue Avena Grass |
| HS3 | Blue Oat Grass |
| MG | Maiden Grass |
| PH | Hamel Dwarf Fountain Grass |
| SR | Ravenna Grass |

| GROUND COVERS | COMMON NAME |
|---------------|--|
| [Pattern] | 4-Way Bluegrass Sod Blend |
| [Pattern] | Crusher Fines |
| [Pattern] | Moist Swale Seed Mixture |
| [Pattern] | Native Seed Mixture |
| [Pattern] | River Rock Mulch 2"-4" |
| [Pattern] | Shredded Cedar Mulch 4" DEPTH, RE: LDCSP NOTES |



NOTE:
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COMPASS FILING 4 - SITE PLAN
 ERIE, COLORADO

Drawn by: **GG**
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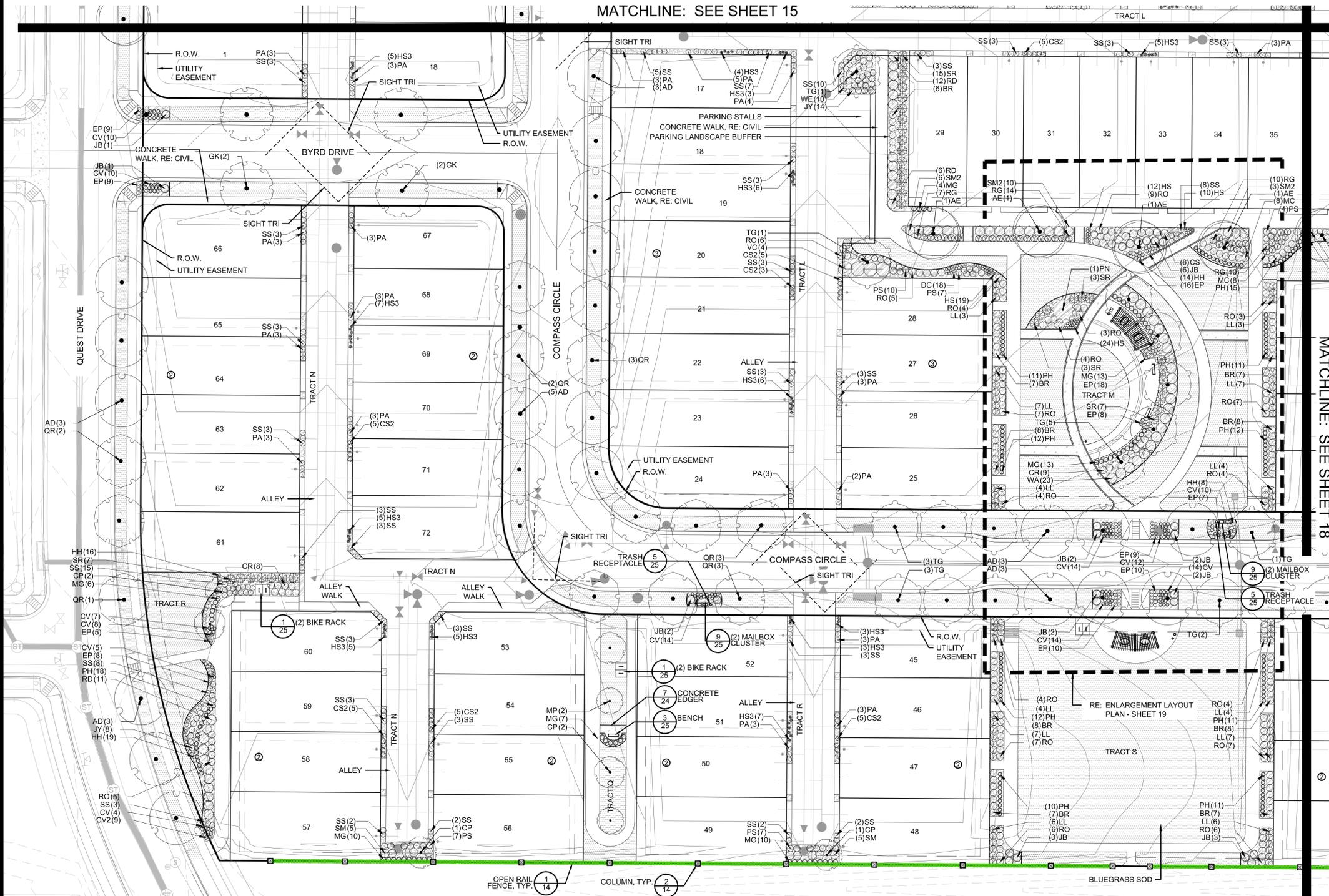
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 TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
 21.05 ACRES - 146 LOTS - 23 TRACTS
 SP-000964-2018

MATCHLINE: SEE SHEET 15



PLANT SCHEDULE

| DECIDUOUS TREES | COMMON NAME |
|-----------------|------------------------------|
| AD | Detachable Maple |
| AE | Emerald Queen Maple |
| GI | Impcoke Honeylocust |
| GK | Kentucky Coffee Tree |
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| PS2 | Plains Cottonwood |
| QR | English Oak |
| QR2 | Red Oak |
| TG | Greenspire Littleleaf Linden |

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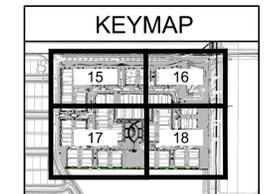
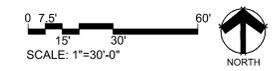
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| RW | White Meidland Rose |
| RF | Coral Flower Carpet Rose |
| RO | Knock Out Shrub Rose |
| SE | Coyote Willow |
| SS | Little Princess Japanese Spirea |
| SN | Snowmound Spirea |
| SM2 | Dwarf Korean Lilac |
| SM | Miss Kim Lilac |
| VC | Korean Spice Viburnum |
| WA | Weigela Wine & Roses |
| WE | Weigela |

| EVERGREEN SHRUBS | COMMON NAME |
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| JY | Creeping Juniper |
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| CV | Korean Feather Reed Grass |
| CS | Pampas Grass |
| HS | Blue Avena Grass |
| HS3 | Blue Oat Grass |
| MG | Maiden Grass |
| PH | Hamel Dwarf Fountain Grass |
| SR | Ravenna Grass |

| GROUND COVERS | COMMON NAME |
|---------------|--|
| [Symbol] | 4-Way Bluegrass Sod Blend |
| [Symbol] | Crusher Fines |
| [Symbol] | Moist Swale Seed Mixture |
| [Symbol] | Native Seed Mixture |
| [Symbol] | River Rock Mulch 2"-4" |
| [Symbol] | Shredded Cedar Mulch 4" DEPTH, RE: LDSCP NOTES |



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 ERIE, COLORADO

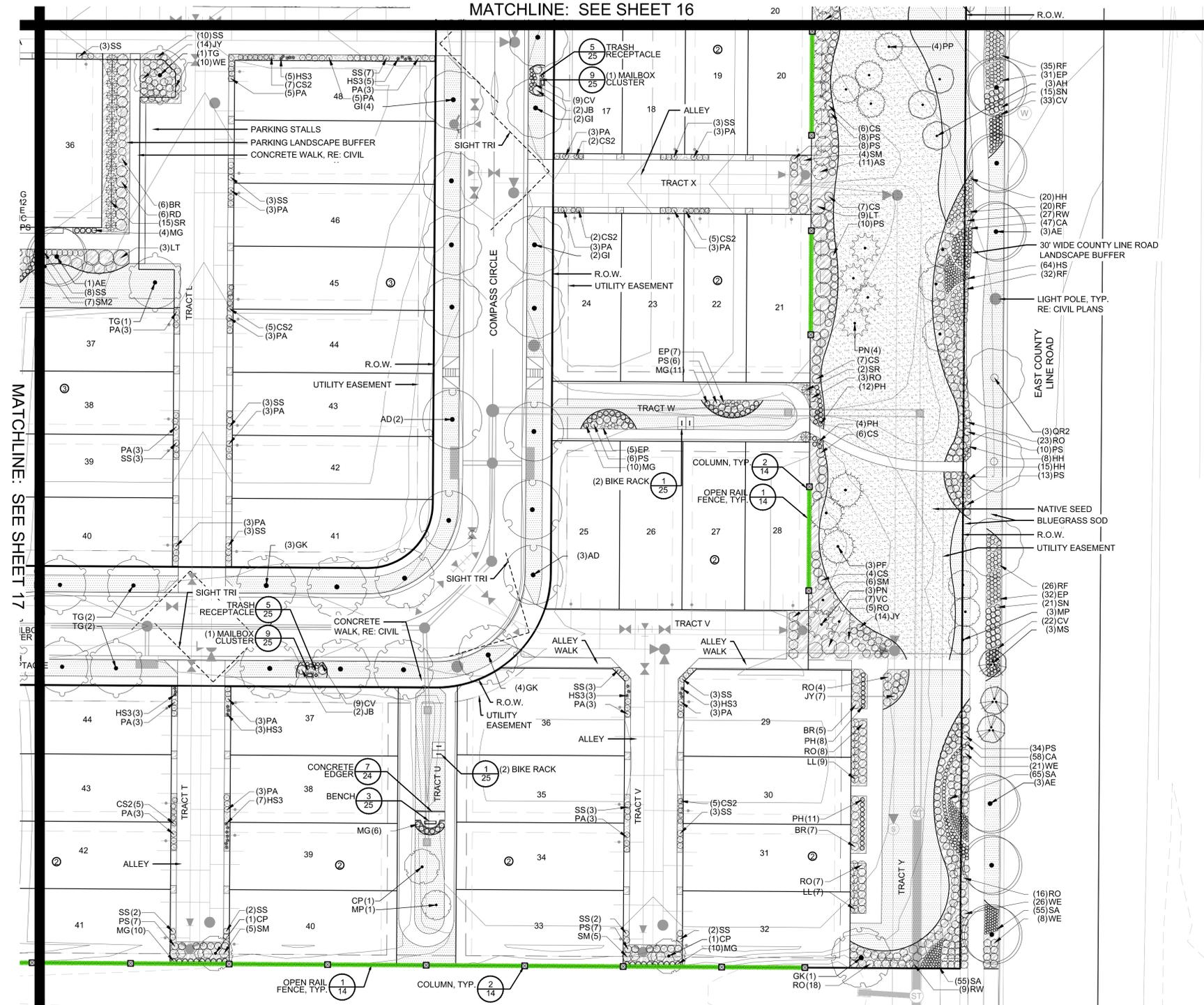
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 SP-000964-2018

MATCHLINE: SEE SHEET 16



PLANT SCHEDULE

| DECIDUOUS TREES | COMMON NAME |
|-----------------|------------------------------|
| AD | Detachable Maple |
| AE | Emerald Queen Maple |
| GI | Impcoke Honeylocust |
| GK | Kentucky Coffee Tree |
| PA2 | Narrowleaf Poplar |
| PS2 | Plains Cottonwood |
| OR | English Oak |
| OR2 | Red Oak |
| TG | Greenspire Littleleaf Linden |

| EVERGREEN TREES | COMMON NAME |
|-----------------|---------------------------|
| PP | Pinon Pine |
| PF | Vanderwolf's Pyramid Pine |
| PN | Austrian Pine |

| FLOWERING TREES | COMMON NAME |
|-----------------|--------------------------|
| AH | Hot Wings Tatarian Maple |
| AM | Shadblow Serviceberry |
| CP | Washington Hawthorn |
| MP | Prairifire Crab Apple |
| MS | Spring Snow Crab Apple |

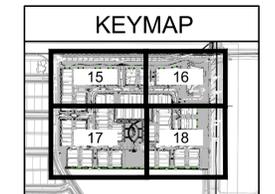
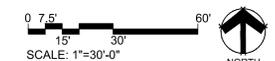
| ANNUALS/PERENNIALS | COMMON NAME |
|--------------------|-----------------------|
| CV2 | Threadleaf Coreopsis |
| DC | Coral Canyon Twinspur |
| EP | Purple Coneflower |
| HH | Happy Returns Daylily |
| HR | Plantain Lily |
| SA | Autumn Joy Sedum |

| DECIDUOUS SHRUBS | COMMON NAME |
|------------------|---------------------------------|
| AS | Saskatoon Serviceberry |
| BR | Royal Burgundy Barberry |
| CR | Rabbitbrush |
| RD | Red Twig Dogwood |
| CS2 | Spanish Gold Broom |
| LL | Lodense Privet |
| LT | Tatarian Honeysuckle |
| PA | Russian Sage |
| RG | Golden Currant |
| RW | White Meidland Rose |
| RF | Coral Flower Carpet Rose |
| RO | Knock Out Shrub Rose |
| SE | Coyote Willow |
| SS | Little Princess Japanese Spirea |
| SN | Snowmound Spirea |
| SM2 | Dwarf Korean Lilac |
| SM | Miss Kim Lilac |
| VC | Korean Spice Viburnum |
| WA | Weigela Wine & Roses |
| WE | Weigela |

| EVERGREEN SHRUBS | COMMON NAME |
|------------------|-----------------------------|
| JB | Bar Harbor Creeping Juniper |
| JY | Creeping Juniper |
| MC | Compact Oregon Grape |
| PS | Mugo Pine |

| GRASSES | COMMON NAME |
|---------|----------------------------------|
| CA | Karl Forester Feather Reed Grass |
| CV | Korean Feather Reed Grass |
| CS | Pampas Grass |
| HS | Blue Avena Grass |
| HS3 | Blue Oat Grass |
| MG | Maiden Grass |
| PH | Hamel Dwarf Fountain Grass |
| SR | Ravenna Grass |

| GROUND COVERS | COMMON NAME |
|---------------|--|
| [Symbol] | 4-Way Bluegrass Sod Blend |
| [Symbol] | Crusher Fines |
| [Symbol] | Moist Swale Seed Mixture |
| [Symbol] | Native Seed Mixture |
| [Symbol] | River Rock Mulch 2"-4" |
| [Symbol] | Shredded Cedar Mulch 4" DEPTH, RE: LDSCP NOTES |



NOTE:
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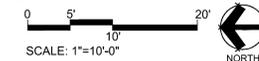
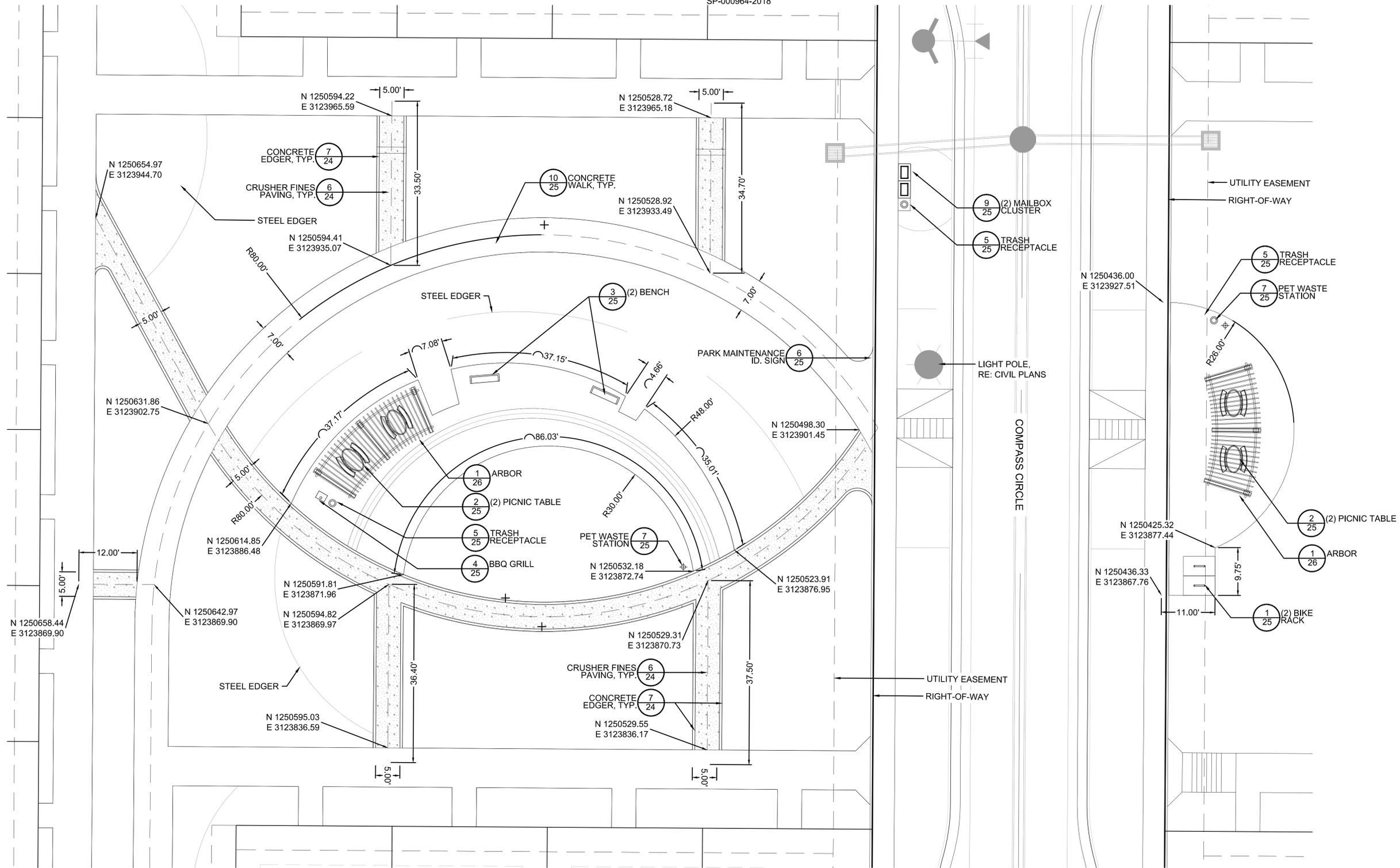
COMPASS FILING 4 - SITE PLAN
ERIE, COLORADO

Drawn by: **GG**
 Checked by: **JP**
 Issue Date: **03/08/2019**
 Revisions:

Sheet Name
 LANDSCAPE PLAN
 Sheet Number
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COMPASS FILING NO. 4 - SITE PLAN

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 LOCATED IN THE EAST HALF OF SECTION 25
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 TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
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 SP-000964-2018



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COMPASS FILING 4 - SITE PLAN ERIE, COLORADO

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ENLARGEMENT
 LAYOUT PLAN

Sheet Number
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COMPASS FILING NO. 4 - SITE PLAN

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COMPASS FILING 4 - SITE PLAN
 ERIE, COLORADO

RECOMMENDED RESIDENTIAL PLANT PALETTE

EVERGREEN TREES

| | |
|---------------------------------------|---------------------------|
| Botanical | Common |
| PINUS EDULIS | PINON PINE |
| PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' | VANDERWOLF'S PYRAMID PINE |
| PINUS NIGRA | AUSTRIAN PINE |

FLOWERING / ORNAMENTAL TREES

| | |
|---------------------------------|------------------------------|
| Botanical | Common |
| ACER TATARICUM 'HOT WINGS' | HOT WINGS TATARIAN MAPLE |
| AMELANCHIER CANADENSIS | SHADBLOW SERVICEBERRY |
| CRATAEGUS PHAENOPYRUM | WASHINGTON HAWTHORN |
| CRATAEGUS CRUS-GALLI INERMIS TM | THORNELESS COCKSPUR HAWTHORN |
| MALUS X 'PRAIRIFIRE' | PRAIRIFIRE CRAB APPLE |
| MALUS X 'SPRING SNOW' | SPRING SNOW CRAB APPLE |
| PYRUS CALLERYANA 'CHANTICLEER' | CHANTICLEER PEAR |

DECIDUOUS SHRUBS

| | |
|---|--|
| Botanical | Common |
| ARONIA MELANOCARPA 'IROQUOIS BEAUTY' | BLACK CHOKEBERRY |
| AMELANCHIER ALNIFOLIA | SASKATOON SERVICEBERRY |
| BERBERIS THUNBERGII 'ROYAL BURGUNDY' | ROYAL BURGUNDY BARBERRY |
| CHAENOMELES SPECIOSA 'TEXAS SCARLET' | TEXAS SCARLET COMMON FLOWERING QUINCE |
| CHRYSOTHAMINUS NAUSEOSUS | RABBITBRUSH |
| CORNUS ALBA 'ARGENTEO-MARGINATA' | EUROPEAN VARIEGATED DOGWOOD |
| CORNUS SERICEA | RED TWIG DOGWOOD |
| COTONEASTER APICULATUS | CORAL BEAUTY COTONEASTER |
| CYTISUS PURGANS 'SPANISH GOLD' | SPANISH GOLD BROOM |
| LIGUSTRUM VULGARE 'LODENSE' | LODENSE PRIVET |
| LONICERA TATARICA 'ARNOLD'S RED' | TATARIAN HONEYSUCKLE |
| PEROVSKIA ATRIPLICIFOLIA | RUSSIAN SAGE |
| PHYSOCARPUS OPULIFOLIUS 'NANUS' | DWARF NINEBARK |
| PRUNUS BESSEYI 'PAWNEE BUTTES' | PAWNEE BUTTES SANDCHERRY |
| RHUS AROMATICA 'GROW LO' | GRO-LOW FRAGRANT SUMAC |
| RIBES AUREUM | GOLDEN CURRANT |
| ROSA MEIDLAND SERIES 'WHITE' | WHITE MEIDLAND ROSE |
| ROSA X 'FLOWER CARPET CORAL' | CORAL FLOWER CARPET ROSE |
| ROSA X 'RADRAZZ' | KNOCK OUT SHRUB ROSE |
| SALIX EXIGUA | COYOTE WILLOW |
| SPIRAEA JAPONICA 'LITTLE PRINCESS' | LITTLE PRINCESS JAPANESE SPIREA |
| SPIRAEA NIPPONICA 'SNOWMOUND' | SNOWMOUND SPIREA |
| SYRINGA MEYERI 'PALBIN' | DWARF KOREAN LILAC |
| SYRINGA PATULA 'MISS KIM' | MISS KIM LILAC |
| VIBURNUM CARLESII | KOREAN SPICE VIBURNUM |
| VIBURNUM Plicatum tomentosum 'Mariesii' | MARIESII DOUBLE FILE VIBURNUM |
| VIBURNUM TRILOBUM 'BAILEY COMPACT' | BAILEY'S COMPACT AMERICAN CRANBERRY BUSH |
| WEIGELA FLORIDA 'ALEXANDRA' TM | WEIGELA WINE & ROSES |
| WEIGELA FLORIDA 'ELVERA' TM | WEIGELA |

EVERGREEN SHRUBS

| | |
|-------------------------------------|-----------------------------|
| Botanical | Common |
| EUONYMUS COLORATUS | PURPLE WINTERCREEPER |
| JUNIPERUS CHINENSIS 'ARMSTRONGII' | ARMSTRONG JUNIPER |
| JUNIPERUS HORIZONTALIS 'BAR HARBOR' | BAR HARBOR CREEPING JUNIPER |
| JUNIPERUS HORIZONTALIS 'YOUNGSTOWN' | CREEPING JUNIPER |
| JUNIPERUS SABINA 'BUFFALO' | BUFFAL JUNIPER |
| JUNIPERUS SABINA 'TAMARISCIFOLIA' | TAMMY JUNIPER |
| MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE |
| PINUS MUGO 'SLOWMOUND' | MUGO PINE |

ANNUALS/PERENNIALS

| | |
|------------------------------------|---------------------------|
| Botanical | Common |
| COREOPSIS VERTICILLATA 'MOONBEAM' | THREADLEAF COREOPSIS |
| DIASCIA INTEGERRIMA 'CORAL CANYON' | CORAL CANYON TWINSPUR |
| ECHINACEA PURPUREA | PURPLE CONEFLOWER |
| HEMEROCALLIS X 'HAPPY RETURNS' | HAPPY RETURNS DAYLILY |
| HEMEROCALLIS X 'PRAIRIE BLUE EYES' | PRAIRIE BLUE EYES DAYLILY |
| HOSTA X 'ROYAL STANDARD' | PLANTAIN LILY |
| SEDUM X 'AUTUMN JOY' | AUTUMN JOY SEDUM |

ORNAMENTAL GRASSES

| | |
|--|----------------------------------|
| Botanical | Common |
| CALAMAGROSTIS ARUNDINACEA | KARL FORESTER FEATHER REED GRASS |
| CALAMAGROSTIS ARUNDINACEA BRACHYTRICHA | KOREAN FEATHER REED GRASS |
| CORTADERIA SELLOANA | PAMPAS GRASS |
| HELICOTRICHON SEMPERVIRENS | BLUE AVENA GRASS |
| HELICOTRICHON SEMPERVIRENS | BLUE OAT GRASS |
| MISCANTHUS SINENSIS 'GRACILLIMUS' | MAIDEN GRASS |
| MISCANTHUS SINENSIS 'YAKU JIMA' | YAKU JIMA DWARF MAIDEN GRASS |
| PENNISSETUM ALOPECUROIDES 'HAMELN' | HAMELN DWARF FOUNTAIN GRASS |
| SACCHARUM RAVENNAE | RAVENNA GRASS |

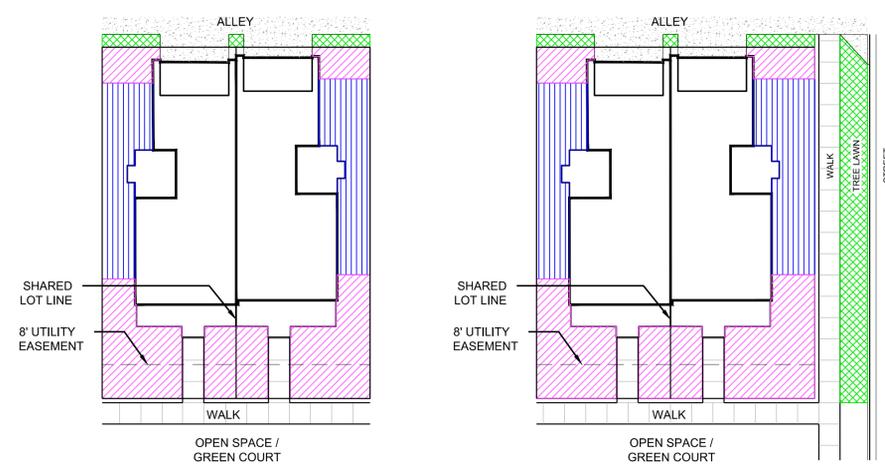
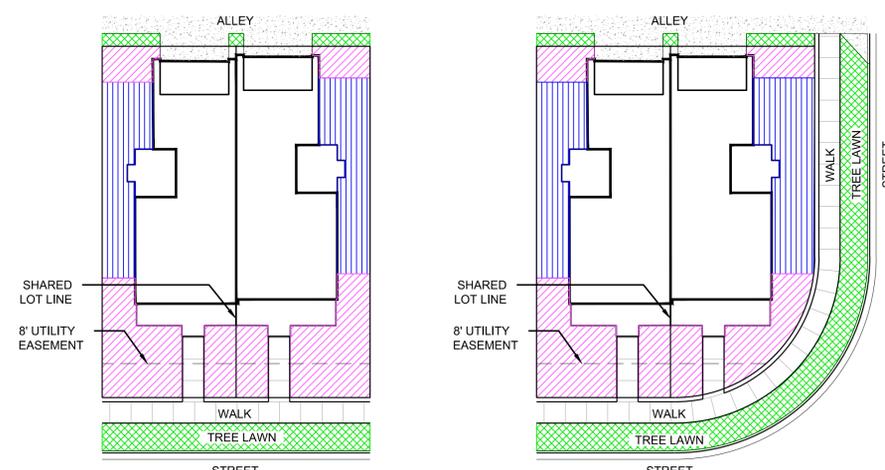
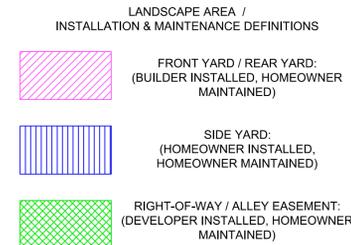
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RESIDENTIAL LANDSCAPE NOTES:

- ALL LANDSCAPE SHALL RECEIVE SOIL AMENDMENT AT A RATE OF 4 CUBIC YARDS PER THOUSAND SQUARE FEET
- TREES SHALL BE INSTALLED TO MAINTAIN MINIMUM SEPARATION DISTANCE OF 6' FROM WATER AND SEWER SERVICE LINES AND 4' FROM DRY UTILITY LINES
- WITHIN SIGHT TRIANGLES, PLANTINGS TALLER THAN 36" FROM GUTTER FLOWLINES SHALL NOT BE INSTALLED. SHADE/ORNAMENTAL TREES MAY BE ALLOWED WITHIN SIGHT TRIANGLES BUT SHALL BE LIMBED UP TO A HEIGHT OF 8' ABOVE ADJACENT GUTTER FLOWLINE.
- NO TREES SHALL BE PLANTED THAT MAY OBSTRUCT TRAFFIC SIGNAGE
- TREES SHALL NOT BE PLANTED WITHIN 15' OF POLE-MOUNTED STREET LIGHTS
- PER ERIE UDC:
 - PROVIDE LANDSCAPING IN THE FRONT YARD OF EACH HOME. THERE SHALL BE A MINIMUM OF 75 PERCENT OF THE GROSS FRONT YARD AREA, EXCLUDING DRIVEWAYS, LANDSCAPED WITH LIVE PLANT MATERIALS.
 - INSTALL LANDSCAPING WITHIN THE SIDE AND REAR YARD SUCH THAT 50 PERCENT OF THE COMBINED (SIDE AND REAR) YARDS IS LANDSCAPED WITH LIVE PLANT MATERIAL.
 - MAINTAIN THE LANDSCAPING WITHIN THE ADJACENT STREET RIGHT-OF-WAY.

MINIMUM RESIDENTIAL PLANT SIZE

| PLANT TYPE | MATURITY HEIGHT | MINIMUM PLANT SIZE AT PLANTING |
|------------------|-----------------|--------------------------------|
| ORNAMENTALS | LESS THAN 20' | 1" TO 1.5" |
| LARGE DECIDUOUS | OVER 20' | 2" TO 2.5" |
| EVERGREENS (SM.) | LESS THAN 20' | 5' HT. |
| EVERGREEN (LG) | OVER 20' | 6' HT. |
| LOW SHRUBS | 1' TO 3' | 5 GALLON |
| UPRIGHT SHRUBS | 3' TO 10' | 5 GALLON |



1 LANDSCAPE DEFINITIONS / MAINTENANCE EXHIBIT - TYPICAL RESIDENTIAL LOT

SCALE: NTS

Drawn by: **GG**
 Checked by: **JP**
 Issue Date: **03/08/2019**
 Revisions:

Sheet Name

LANDSCAPE DEFINITIONS & MAINTENANCE EXHIBITS

Sheet Number

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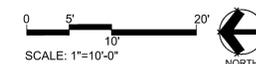
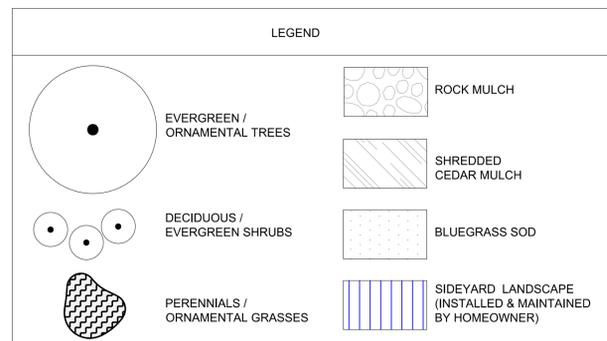
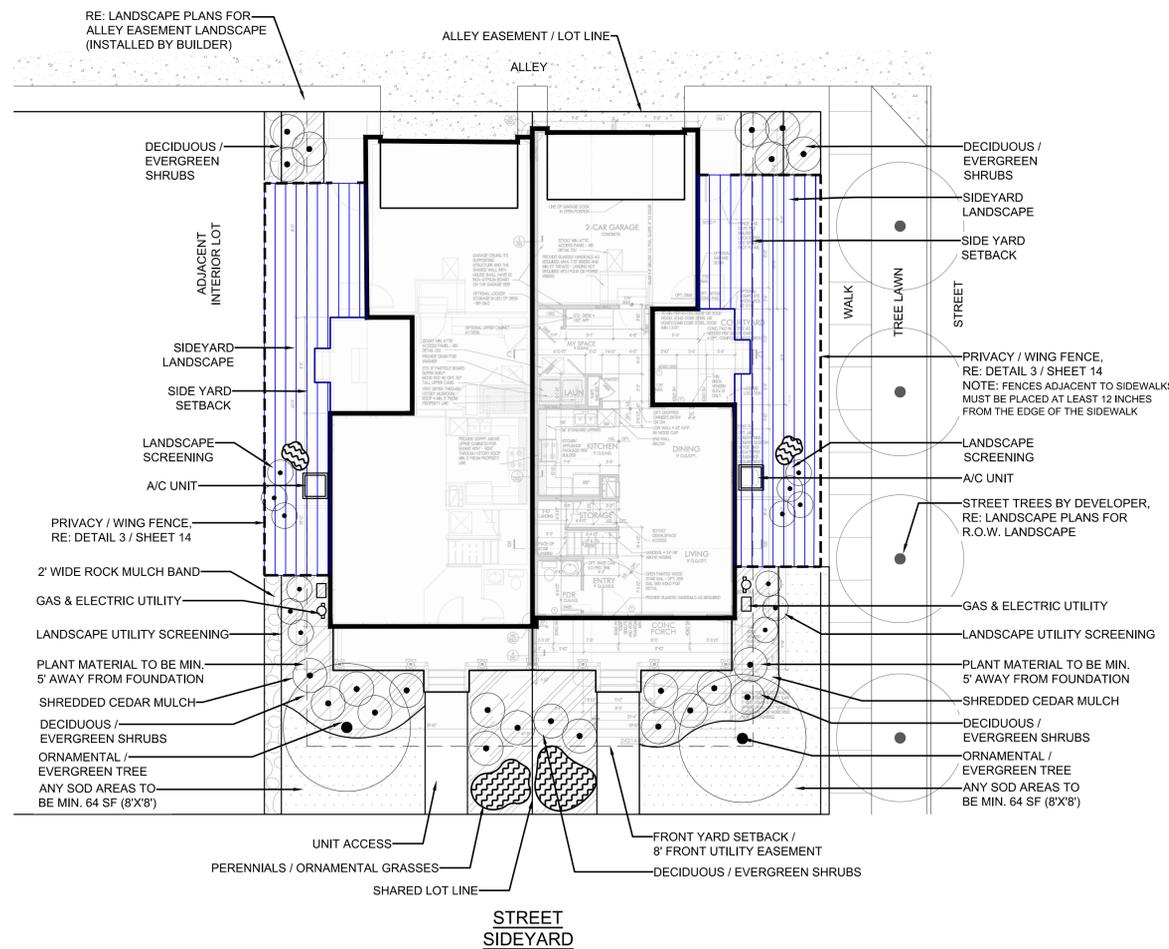
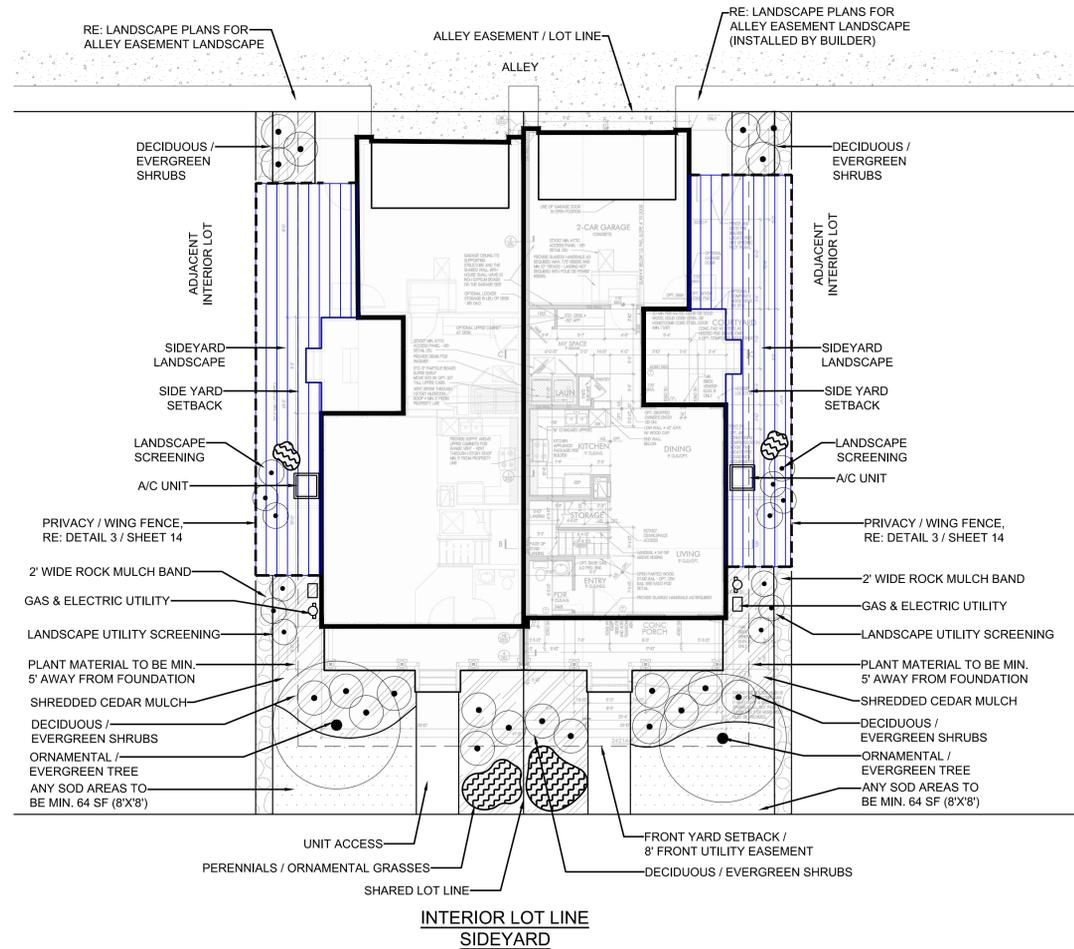
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COMPASS FILING 4 - SITE PLAN
 ERIE, COLORADO



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FOOTPRINT 2421:
 LOT TYPICALS
 LANDSCAPE PLAN

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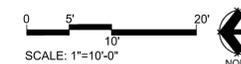
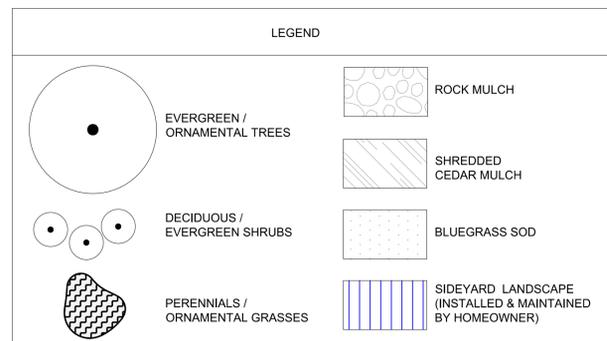
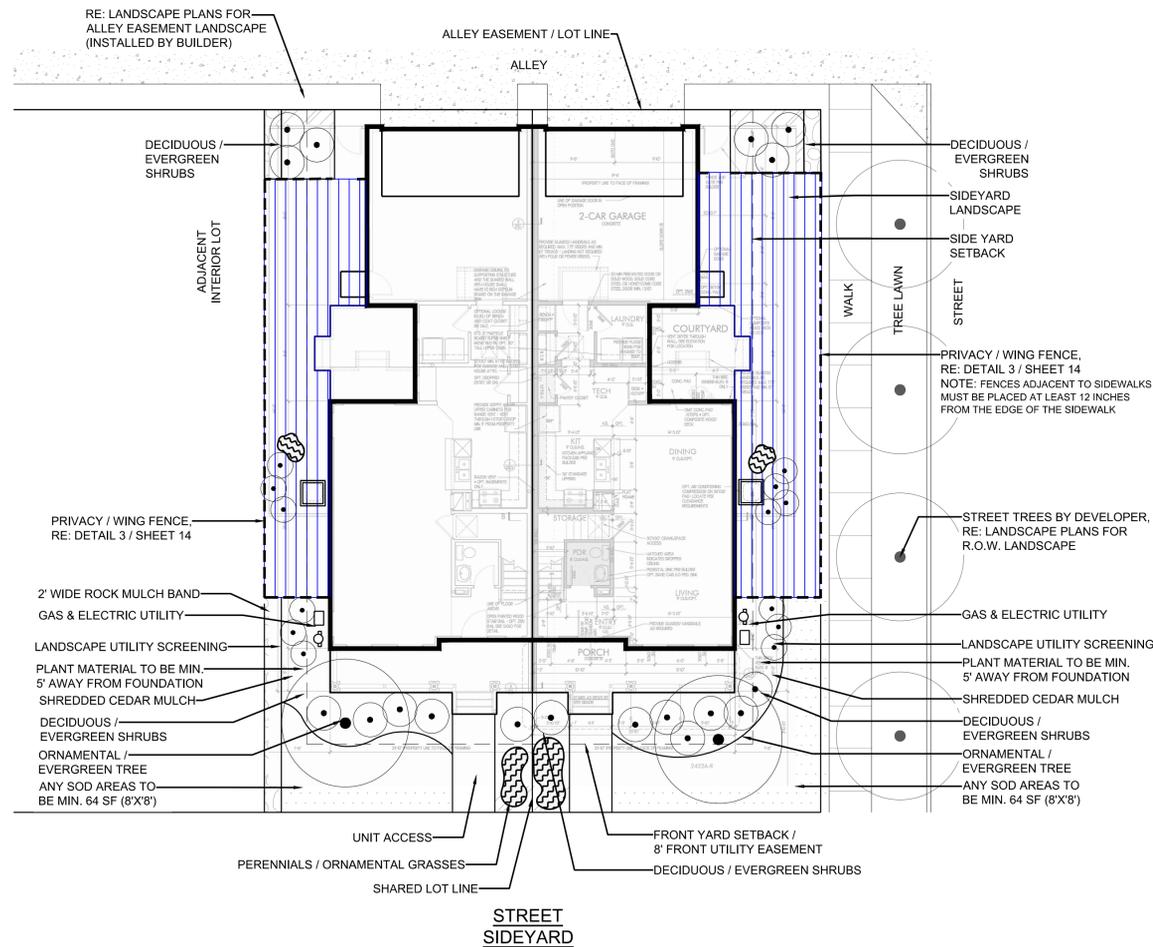
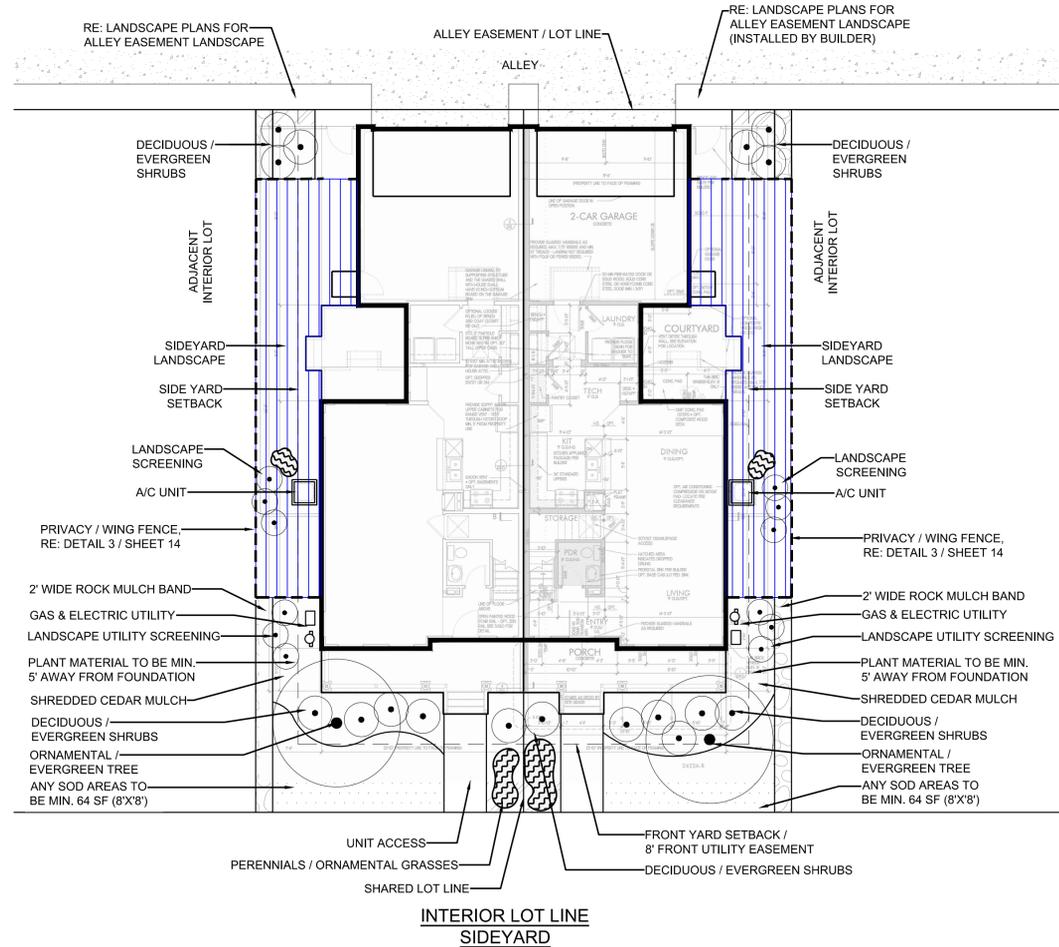
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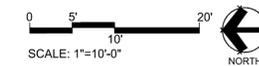
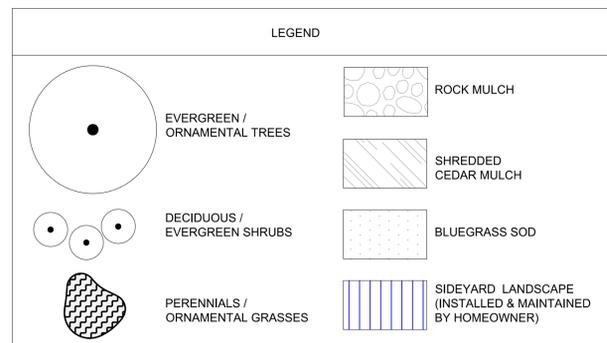
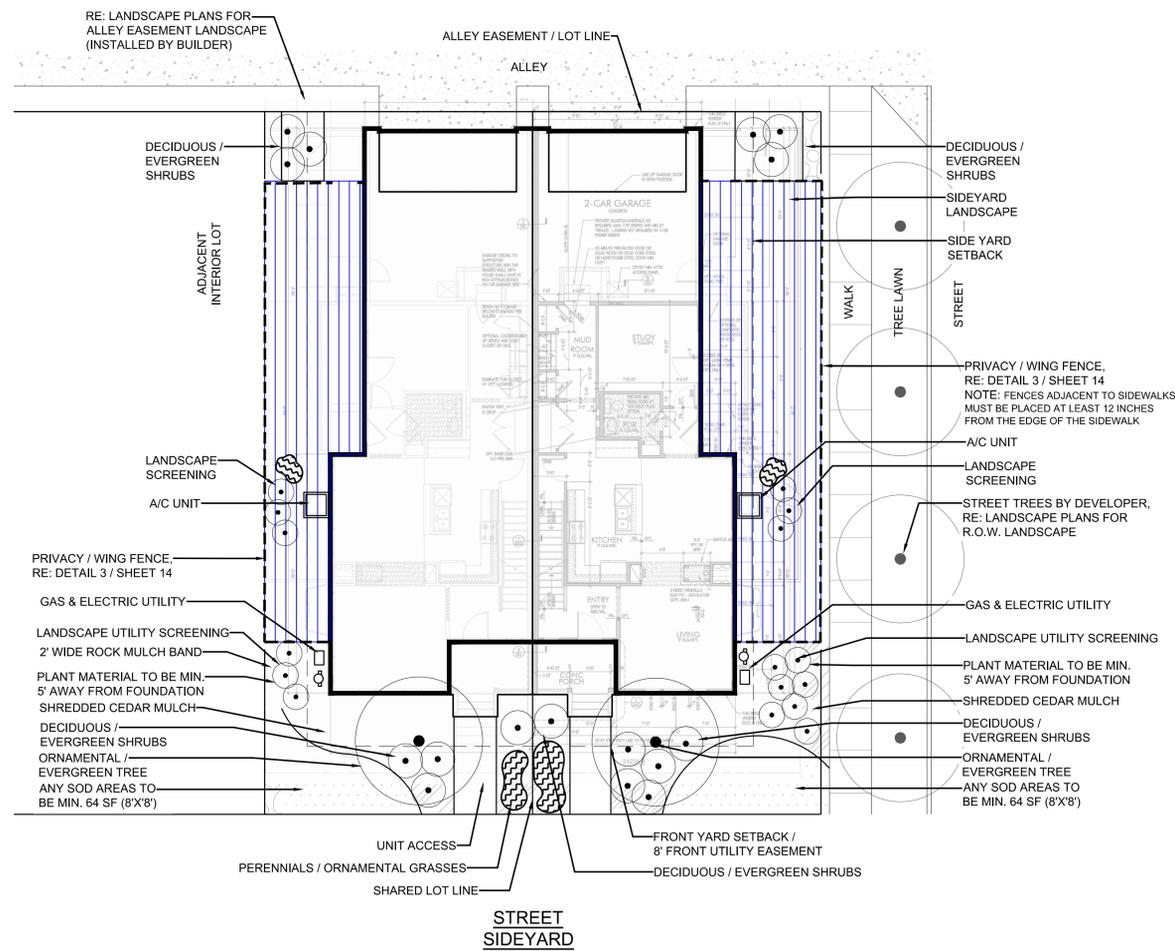
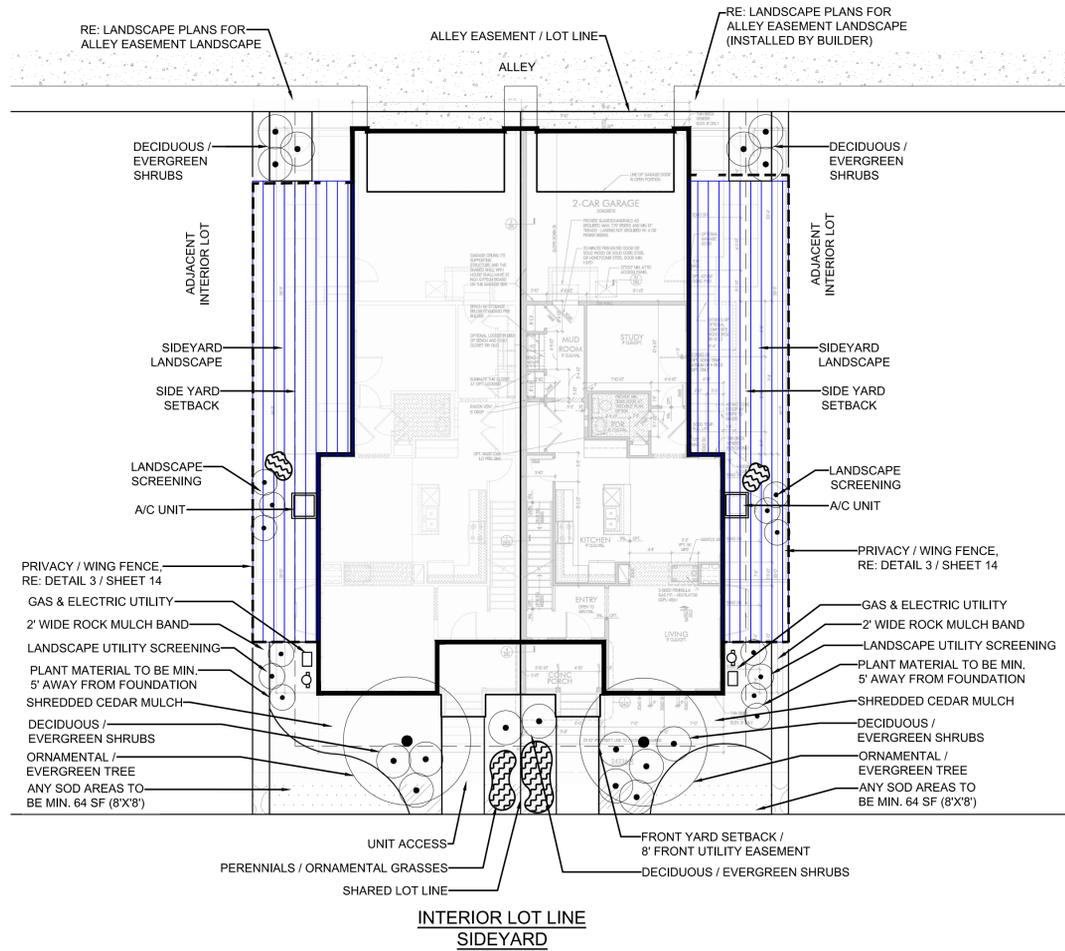
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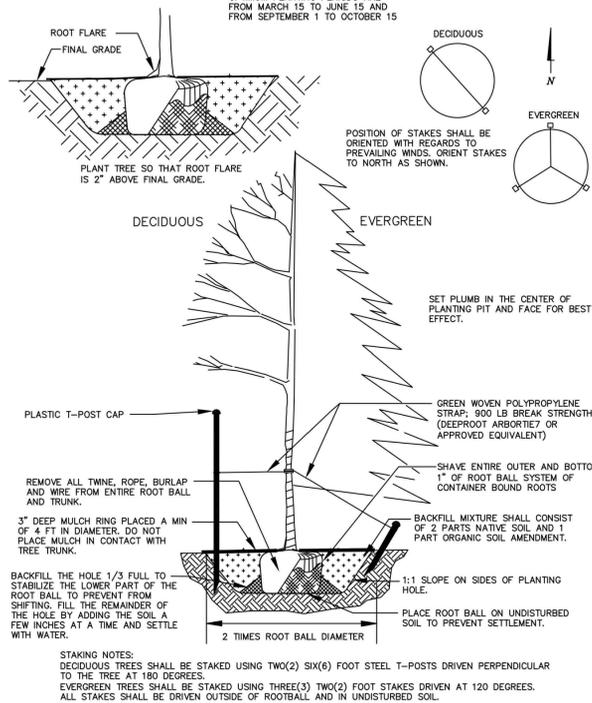
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 LOT TYPICALS
 LANDSCAPE PLAN**

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COMPASS FILING NO. 4 - SITE PLAN

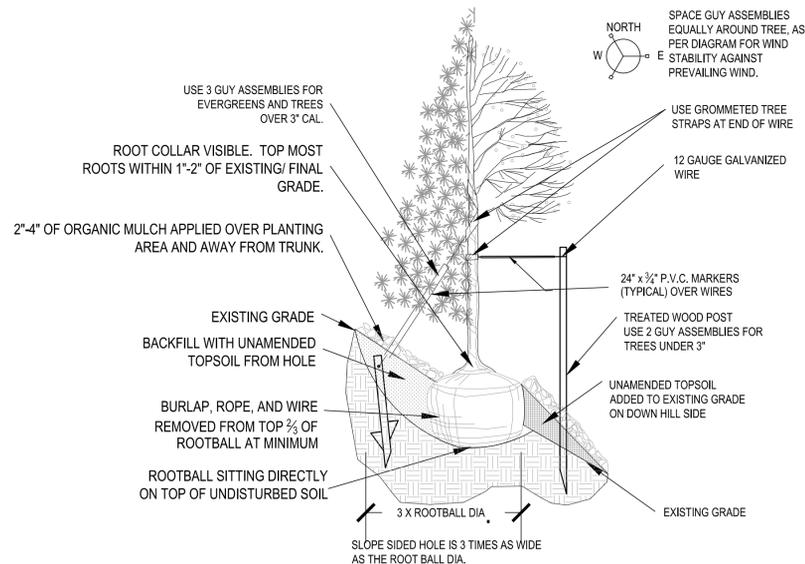
PART OF THE NORTHEAST QUARTER AND AN AMENDMENT OF TRACTS B, C, AND J, COMPASS FILING NO.1
 LOCATED IN THE EAST HALF OF SECTION 25
 TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
 21.05 ACRES - 146 LOTS - 23 TRACTS
 SP-000964-2018

OPTIMUM PLANTING PERIODS ARE FROM MARCH 15 TO JUNE 15 AND FROM SEPTEMBER 1 TO OCTOBER 15

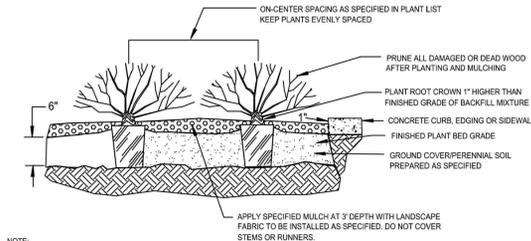


1 TREE PLANTING SCALE: NTS

- NOTES:
- BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
 - PRUNE ALL DEAD OR DAMAGED WOOD AFTER PLANTING.



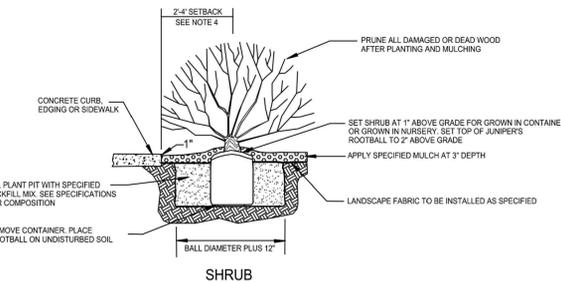
2 PLANTING ON SLOPE SCALE: NTS



NOTE:

- HOLD MULCH GRADE 1\"/>

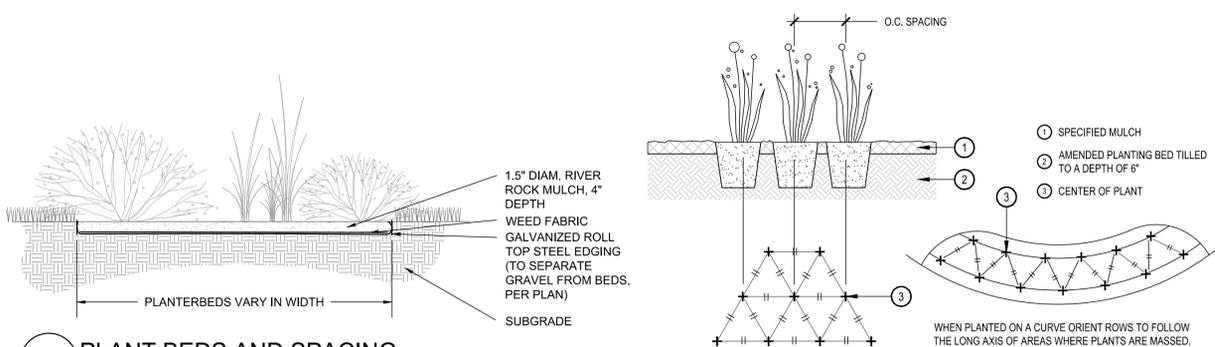
GROUNDCOVER / PERENNIAL



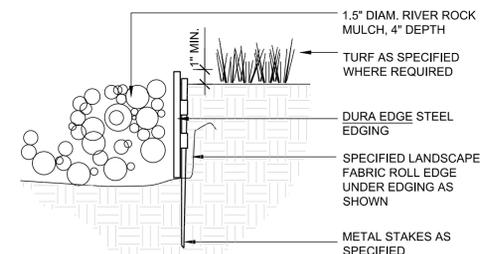
NOTE:

- DO NOT PLANT ANY PLANT WITH ROOTBALL NOT IN CONFORMANCE WITH COLORADO NURSERY ACT REQUIREMENTS
- HOLD MULCH GRADE 1\"/>

3 SHRUB & GROUNDCOVER / PERENNIAL PLANTING SCALE: NTS



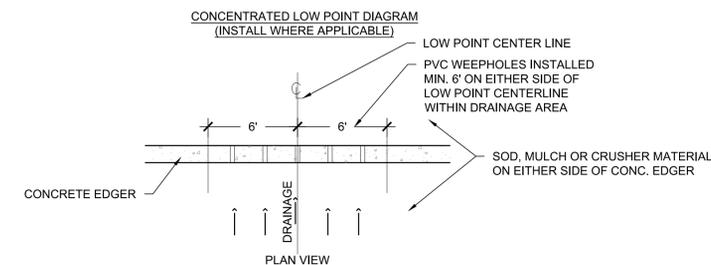
4 PLANT BEDS AND SPACING SCALE: NTS



NOTES:

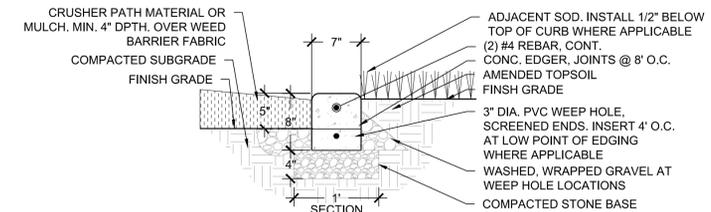
- SET ALL EDGING 1\"/>

5 STEEL EDGER SCALE: NTS



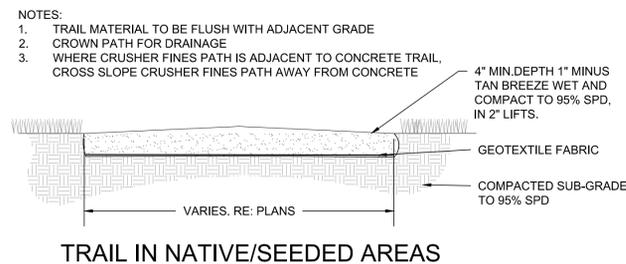
NOTES:

- 4000 PSI CONC EDGER WITH FIBER MESH REINF., STANDARD GRAY, BROOM FINISH.
- PROVIDE TOOLED JNTS. AT 6\"/>

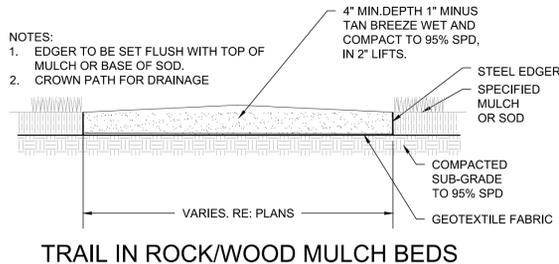


CONC. EDGER BETWEEN SOD/CRUSHER/MULCH MATERIAL

7 CONCRETE EDGER SCALE: 1\"/>



6 CRUSHER FINES PAVING SCALE: 1/2\"/>



TRAIL IN ROCK/WOOD MULCH BEDS

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 1 303-561-3333

COMPASS FILING 4 - SITE PLAN
 ERIE, COLORADO

Drawn by: GG

Checked by: JP

Issue Date: 03/08/2019

Revisions:

Sheet Name

LANDSCAPE DETAILS

Sheet Number

24 of 45

COMPASS FILING NO. 4 - SITE PLAN

PART OF THE NORTHEAST QUARTER AND AN AMENDMENT OF TRACTS B, C, AND J, COMPASS FILING NO.1
 LOCATED IN THE EAST HALF OF SECTION 25
 TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
 21.05 ACRES - 146 LOTS - 23 TRACTS
 SP-000964-2018



MANUFACTURER: SITESCAPES
 PRODUCT NAME: AP2-02-SM
 COLOR: POWDER COAT 'ONYX'
 NOTE: BIKE RACK TO BE SURFACED
 MOUNTED PER MANUFACTURER'S
 SPECIFICATIONS

1 BIKE RACK

SCALE: NTS



MANUFACTURER: LANDSCAPE FORMS
 PRODUCT NAME: 67" CHARLIE TABLE
 COLOR: POWDER COAT 'TITANIUM'
 NOTE: PICNIC TABLE TO BE SURFACED
 MOUNTED PER MANUFACTURER'S
 SPECIFICATIONS

2 PICNIC TABLE

SCALE: NTS



MANUFACTURER: URBAN ACCESSORIES
 PRODUCT NAME: TRANSIT BAY 6' BENCH
 COLOR: POWDER COAT 'FIRESTONE'
 NOTE: BENCH TO BE SURFACED
 MOUNTED PER MANUFACTURER'S
 SPECIFICATIONS

3 BENCH

SCALE: NTS



MANUFACTURER: LITTLE TIKES
 PRODUCT NAME: 200-X GRILL
 COLOR: BLACK FINISH
 NOTE: TO BE INSTALLED PER
 MANUFACTURER'S RECOMMENDATIONS
 CONTACT MIRIAM HOOTSTEIN (REC PLUS)
 303-278-1606

4 BBQ GRILL

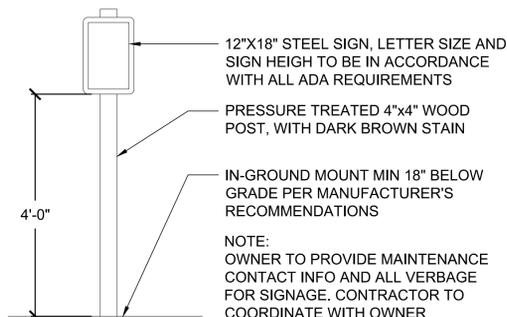
SCALE: NTS



MANUFACTURER: URBAN ACCESSORIES
 PRODUCT NAME: OT TRASHER
 COLOR: POWDER COAT 'FIRESTONE'
 NOTE: BENCH TO BE SURFACED
 MOUNTED PER MANUFACTURER'S
 SPECIFICATIONS

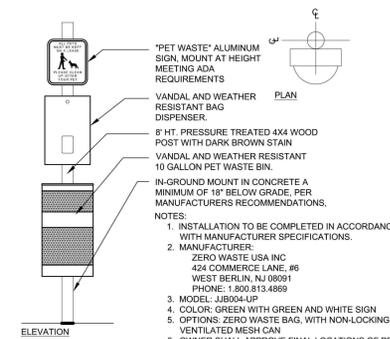
5 TRASH RECEPTACLE

SCALE: NTS



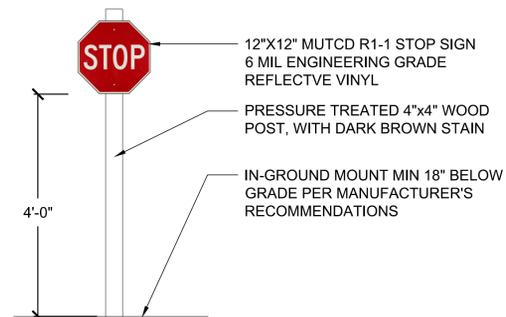
6 PARK MAINTENANCE ID. SIGN

SCALE: NTS



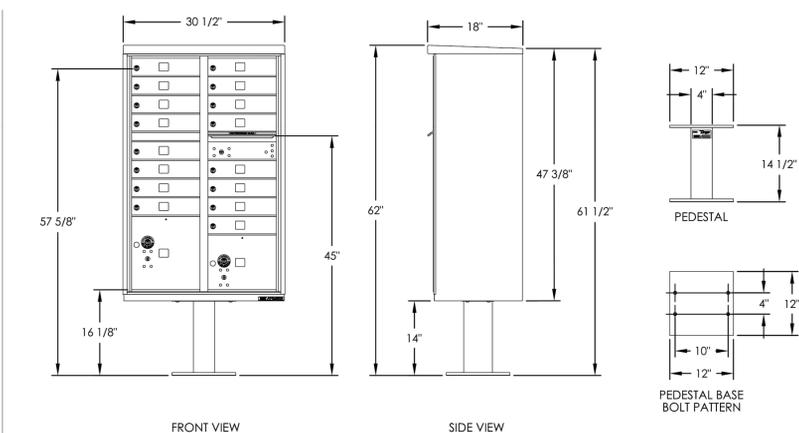
7 PET WASTE STATION

SCALE: NTS



8 TRAIL STOP SIGN

SCALE: NTS



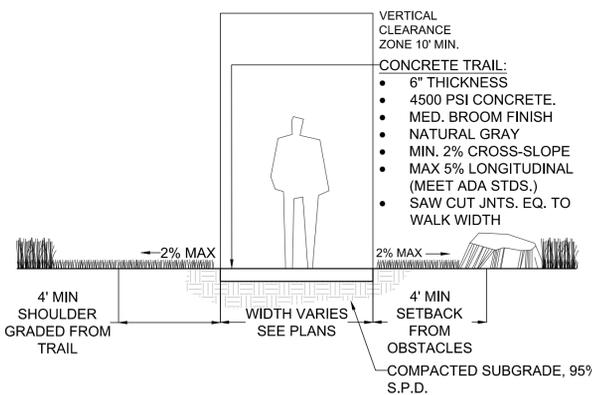
NOTES:

1. THIS UNIT IS APPROVED FOR USPS AND PRIVATE APPLICATIONS.
2. DECORATIVE MAILBOX ACCESSORIES SOLD SEPARATELY AND ARE USPS APPROVED PRODUCTS
3. PEDESTAL SHOULD BE INSTALLED WITH INCLUDED RUBBER PAD; MOUNTING HARDWARE NOT INCLUDED, REFER TO INSTALL MANUAL FOR RECOMMENDATIONS.
4. FLORENCE 'F' SERIES CBU'S OFFICIALLY LICENSED BY USPS LICENSE #CDSEQ-08-B-0012
5. MAILBOX LOCATIONS ARE CONCEPTUAL. FINAL LOCATIONS TO BE DETERMINED BY POST MASTER.

BRAND: FLORENCE CORPORATION
 PRODUCT NAME: 1570-16 VITA
 CLUSTER BOX UNIT
 CONTACT: 800-275-1747
 NOTE: INSTALL PER
 MANUFACTURER'S SPECIFICATIONS

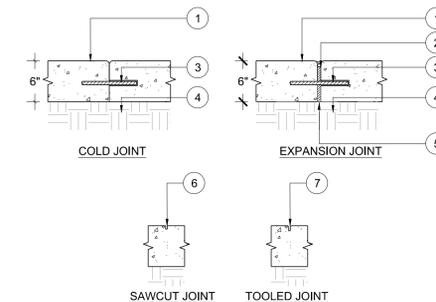
9 MAILBOX CLUSTER

SCALE: NTS



10 CONCRETE WALK

SCALE: NTS



1. FIBER REINFORCED CONC., BROOM FINISH
2. JOINT SEALING COMPOUND & BACKER ROD, ROD SHALL BE INCORPORATED INTO LATER POUR TO PREVENT WATER INTRUSION
3. #4 REBAR, 12" LGTH., 24" O.C. WRAPPED ONE END IN FELT AND EPOXY GROUT OTHER END INTO EXISTING CONC. DOWEL SHALL BE CENTERED VERT. WITHIN SLAB
4. COMPACTED SUBGRADE, 95% S.P.D.
5. 3/8" ASPHALT IMPREGNATED COMPRESSIBLE FILLER
6. .25"W x .5" DPTH. SAWCUT JOINT, RE: PLANS FOR LOCATIONS
7. .25"W x .75" DPTH. TOOLED JOINT, RE: PLANS FOR LOCATIONS

CONCRETE SCORE JOINTS

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COMPASS FILING 4 - SITE PLAN
 ERIE, COLORADO

Drawn by: **GG**
 Checked by: **JP**
 Issue Date: **03/08/2019**
 Revisions:

Sheet Name

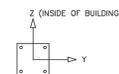
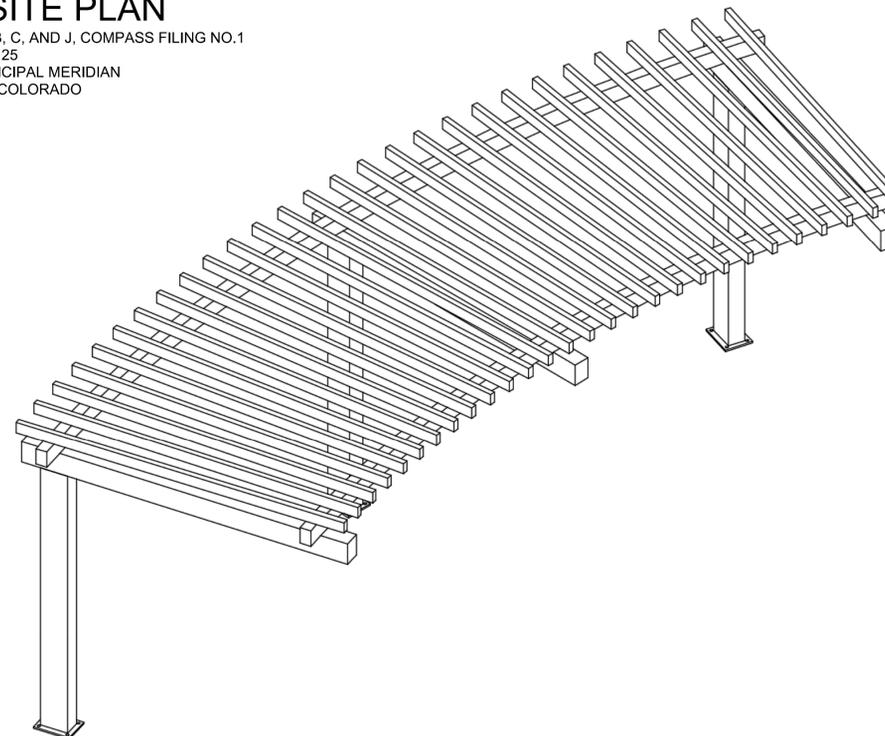
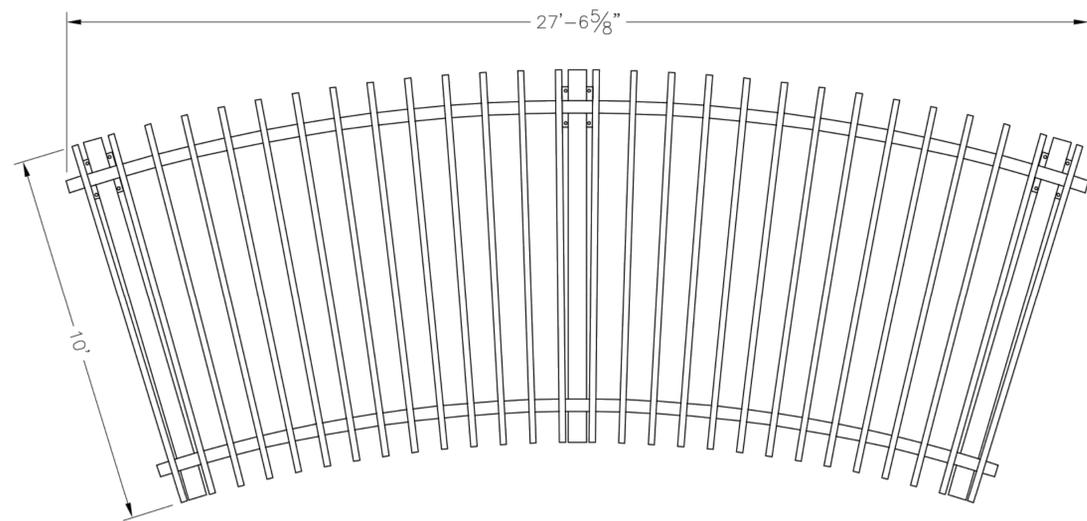
LANDSCAPE DETAILS

Sheet Number

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COMPASS FILING NO. 4 - SITE PLAN

PART OF THE NORTHEAST QUARTER AND AN AMENDMENT OF TRACTS B, C, AND J, COMPASS FILING NO.1
 LOCATED IN THE EAST HALF OF SECTION 25
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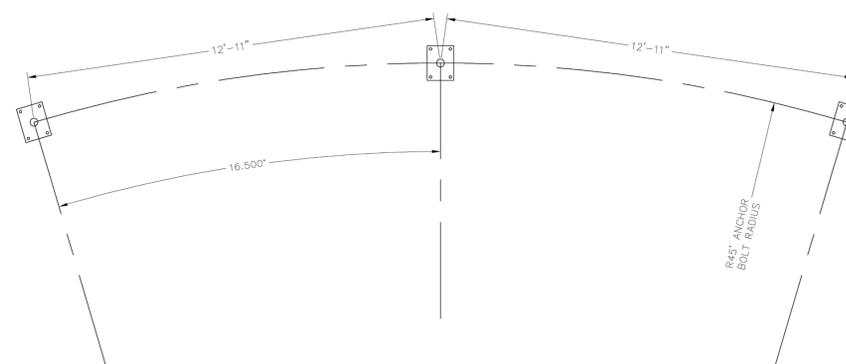
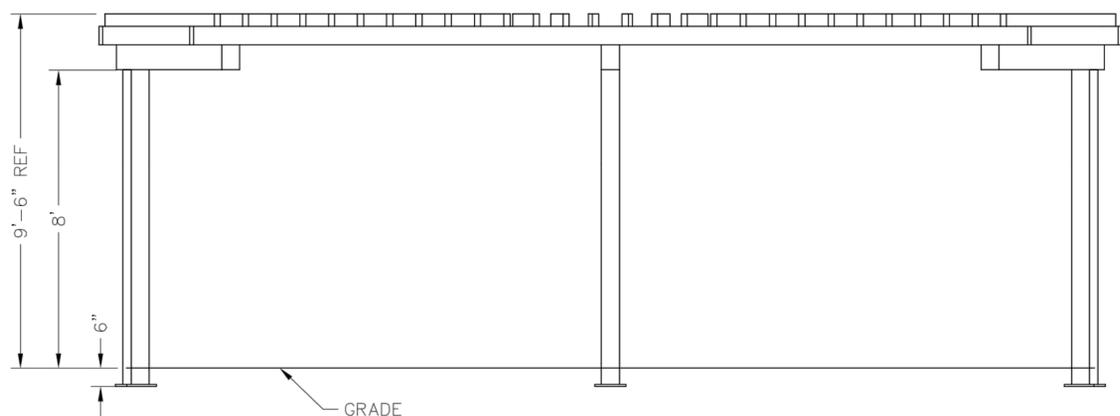
THESE FOUNDATION LOADS ARE FOR ESTIMATING PURPOSE ONLY.
 THE ACTUAL LOADS WILL BE DETERMINED IN THE FINAL ENGINEERING

| LOADS TO FOUNDATION (KIPS, KIP-FT) | FOUNDATION LOADS | | | | |
|---------------------------------------|-------------------------|-------------------------|-------------------------|--------------------------|--------------------------|
| | AXIAL (F _x) | SHEAR (F _y) | SHEAR (F _z) | MOMENT (M _y) | MOMENT (M _z) |
| DL | 1.80 | 0.00 | 0.13 | 54.71 | 0.00 |
| SL | 2.89 | 0.00 | 0.24 | 93.35 | 0.00 |
| W-UPLIFT | -1.60 | 2.28 | -0.90 | 43.05 | 151.20 |
| W-FY | -1.18 | 2.84 | -0.09 | -38.01 | 171.15 |
| W-FZ | -0.38 | 2.06 | -1.00 | 119.70 | 143.85 |
| E-FY | 0.00 | 1.23 | 0.00 | 0.00 | 74.55 |
| E-FZ | -0.03 | 0.00 | -1.24 | 128.10 | 0.00 |

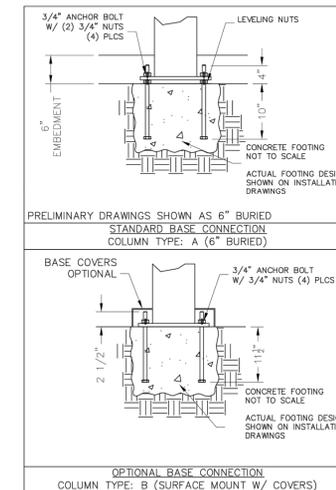
NOTES:
 - TABLE SHOWS UNFACTORED SERVICE LOADS
 - A FOUNDATION DESIGN HAS NOT BEEN PERFORMED BY ICON SHELTER SYSTEMS INC.
 - A LICENSED ENGINEER FAMILIAR WITH SOIL CONDITIONS AT CONSTRUCTION SITE MUST PERFORM A FOUNDATION DESIGN.
 - THE STRUCTURE HAS BEEN ENGINEERED AS AN OPEN STRUCTURE.
 - CONSULT ICON SHELTER SYSTEMS INC. IF THE STRUCTURE IS TO BE ENCLOSED.
 - COORDINATES ARE LOCAL TO THE COLUMN

DEFINITIONS:
 DL = SERVICE LEVEL DEAD LOAD REACTION WITH THE GREATEST AXIAL LOAD
 SL = SERVICE LEVEL SNOW LOAD REACTION WITH THE GREATEST AXIAL LOAD
 W-UPLIFT = SERVICE LEVEL WIND LOAD REACTION WITH THE GREATEST UPLIFT LOAD
 W-Y = SERVICE LEVEL WIND LOAD REACTION WITH THE GREATEST MAGNITUDE OF SHEAR IN THE LOCAL Y DIRECTION
 W-Z = SERVICE LEVEL WIND LOAD REACTION WITH THE GREATEST SHEAR VALUE ACTING IN THE SAME DIRECTION AS THE DL SHEAR LOAD
 E-Y = SERVICE LEVEL SEISMIC LOAD REACTION WITH THE GREATEST MAGNITUDE OF SHEAR IN THE LOCAL Y DIRECTION
 E-Z = SERVICE LEVEL SEISMIC LOAD REACTION WITH THE GREATEST MAGNITUDE OF SHEAR IN THE LOCAL Z DIRECTION

PRELIMINARY: NOT FOR CONSTRUCTION



NOTE: SHELTER TO BE TO HAVE CUSTOM 45° COLUMN RADIUS



MANUFACTURER: ICON SHELTERS
 PRODUCT NAME: CURVED CANTILEVER ARBOR
 PRODUCT NUMBER: AR10x28K-P0-20-90-30
 COLOR: POWDER COAT 'FIRESTONE'
 NOTE: INSTALL ARBOR PER MANUFACTURER'S SPECIFICATIONS

CONTACT MANUFACTURER'S REP:
 MIRIAM HOOTSTEIN (REC PLUS)
 303-278-1606

1 ARBOR

SCALE: NTS

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COMPASS FILING 4 - SITE PLAN
 ERIE, COLORADO

Drawn by: GG

Checked by: JP

Issue Date: 03/08/2019

Revisions:

Sheet Name

LANDSCAPE DETAILS

Sheet Number

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COMPASS FILING NO. 4 - SITE PLAN

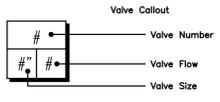
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IRRIGATION SCHEDULE

| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | PSI | GPM | RADIUS |
|--------|---|-----|------|--------|
| | HUNTER PRO5-06-PR530-CV WITH TORO NOZZLE 5 SERIES TURF SPRAY, 30 PSI REGULATED 6.0" POP-UP. WITH FACTORY INSTALLED DRAIN CHECK VALVE. CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL. UTILIZE TORO PRECISION SERIES SPRAY NOZZLES. | 30 | | |
| | HUNTER PRO5-06-PR530-CV WITH TORO NOZZLE 8 SERIES TURF SPRAY, 30 PSI REGULATED 6.0" POP-UP. WITH FACTORY INSTALLED DRAIN CHECK VALVE. CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL. UTILIZE TORO PRECISION SERIES SPRAY NOZZLES. | 30 | | |
| | HUNTER PRO5-06-PR530-CV WITH TORO NOZZLE 10 SERIES TURF SPRAY, 30 PSI REGULATED 6.0" POP-UP. WITH FACTORY INSTALLED DRAIN CHECK VALVE. CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL. UTILIZE TORO PRECISION SERIES SPRAY NOZZLES. | 30 | | |
| | HUNTER PRO5-06-PR530-CV WITH TORO NOZZLE 12 SERIES TURF SPRAY, 30 PSI REGULATED 6.0" POP-UP. WITH FACTORY INSTALLED DRAIN CHECK VALVE. CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL. UTILIZE TORO PRECISION SERIES SPRAY NOZZLES. | 30 | | |
| | HUNTER PRO5-06-PR530-CV WITH TORO NOZZLE 15 SERIES TURF SPRAY, 30 PSI REGULATED 6.0" POP-UP. WITH FACTORY INSTALLED DRAIN CHECK VALVE. CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL. UTILIZE TORO PRECISION SERIES SPRAY NOZZLES. | 30 | | |
| | HUNTER PRO5-06-PR530-CV WITH TORO NOZZLE 4X STRIP SPRAY TURF SPRAY, 30 PSI REGULATED 6.0" POP-UP. WITH FACTORY INSTALLED DRAIN CHECK VALVE. CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL. UTILIZE TORO PRECISION SERIES SPRAY NOZZLES. | 30 | | |
| | HUNTER MP CORNER PRO5-06-PR540-CV TURF ROTATOR, 6" (1.524CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PR540 BODY. T=TURQUOISE ADJ ARC 45-105. | 40 | | |
| | HUNTER MP STRIP PRO5-06-PR540-CV TURF ROTATOR, 6" (1.524 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PR540 BODY. LST=IVORY LEFT STRIP, SST=BROWN SIDE STRIP, RST=COPPER RIGHT STRIP. | 40 | | |
| | HUNTER MP 1000 PRO5-06-PR540-CV TURF ROTATOR, 6" (1.524 CM) POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PR540 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC. | 40 | | |
| | HUNTER MP2000 PRO5-06-PR540-CV TURF ROTATOR, 6" (1.524 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PR540 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC. | 40 | | |
| | HUNTER MP3000 PRO5-06-PR540-CV TURF ROTATOR, 6" (1.524 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PR540 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC. | 40 | | |
| | HUNTER MP3500 PRO5-06-PR540-CV TURF ROTATOR, 6.0" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PR540 BODY. LB=LIGHT BROWN ADJUSTABLE ARC, 90-210. | 40 | | |
| | HUNTER MP800SR PRO5-06-PR540-CV TURF ROTATOR, 6.0" POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PR540 BODY. ADJ=ORANGE AND GRAY (ARC 90-210), 360=LIME GREEN AND GRAY (ARC 360) | 40 | | |
| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | PSI | GPM | RADIUS |
| | HUNTER I-20-06-SS TURF ROTOR, 6.0" POP-UP. ADJUSTABLE AND FULL CIRCLE. STAINLESS STEEL RISER. DRAIN CHECK VALVE. STANDARD NOZZLE. | 45 | 3.00 | 38' |
| | HUNTER I-20-06-SS TURF ROTOR, 6.0" POP-UP. ADJUSTABLE AND FULL CIRCLE. STAINLESS STEEL RISER. DRAIN CHECK VALVE. STANDARD NOZZLE. | 45 | 4.00 | 40' |
| | HUNTER I-20-06-SS TURF ROTOR, 6.0" POP-UP. ADJUSTABLE AND FULL CIRCLE. STAINLESS STEEL RISER. DRAIN CHECK VALVE. STANDARD NOZZLE. | 45 | 6.00 | 43' |

IRRIGATION SCHEDULE

| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION |
|--------|--|
| | DRIP VALVE ASSEMBLY HIGH FLOW VALVE NETAFIM MODEL LVCZ58010075-HF. PRE-ASSEMBLED CONTROL ZONE KIT, WITH 1" SERIES 80 CONTROL VALVE, 3/4" DISC FILTER, AND HIGH FLOW PRESSURE REGULATOR 4.5GPM TO 17.6GPM. |
| | DRIP VALVE ASSEMBLY LOW FLOW VALVE NETAFIM MODEL LVCZ58010075-LF PRE-ASSEMBLED CONTROL ZONE KIT, WITH 1" SERIES 80 CONTROL VALVE, 3/4" DISC FILTER, AND LOW FLOW PRESSURE REGULATOR 0.25GPM TO 4.4GPM. |
| | DRIP FLUSH VALVE ASSEMBLY NETAFIM TLFV-1. AUTOMATIC FLUSH VALVE, WITH INSERT INLET |
| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION |
| | REMOTE CONTROL VALVE ASSEMBLY HUNTER MODEL ICV 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION |
| | QUICK COUPLER VALVE ASSEMBLY HUNTER HQ-5RC. VALVE WITH YELLOW RUBBER COVER, RED BRASS AND STAINLESS STEEL, WITH 1" NPT INLET, 1-PIECE BODY. |
| | ISOLATION GATE VALVE ASSEMBLY MATCO-NORCA 514TX. 1/2"-4" BRASS GATE VALVE, FULL PORT, WITH SOLID WEDGE. IPS. CROSS HANDLE. SAME SIZE AS MAINLINE PIPE. |
| | NORMALLY OPEN MASTER VALVE ASSEMBLY BUCKNER-SUPERIOR 3100, NORMALLY OPEN BRASS MASTER VALVE THAT PROVIDES DIRTY WATER PROTECTION. SIZE TO MATCH POC |
| | REDUCED PRESSURE BACKFLOW PREVENTER WILKINS 375B. BACKFLOW PREVENTER WITH BLOW OUT/FLUSH FITTING. REINFORCED NYLON HOUSING AND CAST BRONZE BALL VALVES. SIZED TO MATCH TAP & METER (RE: POC NOTE). |
| | PEDESTAL MOUNT CONTROLLER HUNTER A2C-75D-PP. A2C-75D-PP. 75-STATION DECODER CONTROLLER ON A PLASTIC PEDESTAL. INSTALL WIRELESS RAIN SENSOR. |
| | CREATIVE SENSOR TECHNOLOGY F51-T 2" (SIZE TO MATCH POC). PVC TEE TYPE FLOW SENSOR W/SOCKET ENDS, CUSTOM MOUNTING TEE AND ULTRA-LIGHTWEIGHT IMPELLER ENHANCES LOW FLOW MEASUREMENT. 2 WIRE DIGITAL OUTPUT. FLOW RANGE 2.8-170 GPM. |
| | IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE, ONLY LATERAL TRANSITION PIPE SIZES 1.14" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 1" IN SIZE. |
| | DRIP IRRIGATION LATERAL LINE TO EMITTERS: UV RADIATION RESISTANT POLYETHYLENE PIPE, 3/4-INCH UNLESS OTHERWISE SPECIFIED. |
| | DRIP IRRIGATION LATERAL LINE TO EMITTERS IN NATIVE SEED: 3/4-INCH UV RADIATION RESISTANT POLYETHYLENE PIPE TO NETAFIM INLINE DRIP TUBING TREE RINGS (RE: DETAILS). |
| | IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 2.5-INCH UNLESS OTHERWISE NOTED. |
| | PIPE SLEEVE: PVC CLASS 200 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE. PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION. |

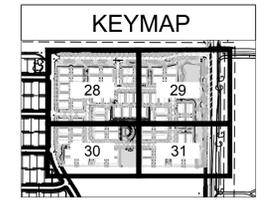
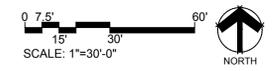


INSTALLATION GENERAL NOTES

- DESIGN ASSUMES A MINIMUM DYNAMIC PRESSURE FOR THE IRRIGATION SYSTEM (PRESSURE COULD NOT BE OBTAINED BY CITY) OF 80 PSI, AT A MINIMUM FLOW OF 70 GPM AT THE 2-INCH POINT-OF-CONNECTION (POC). VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION. CONTACT GENERAL CONTRACTOR OR OWNER'S REPRESENTATIVE IMMEDIATELY IF FLOW OR PRESSURE ARE LOWER THAN LISTED ABOVE.
- CONTRACTOR SHALL BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION. FOR CLARIFICATION, CONTACT IRRIGATION DESIGNER PRIOR TO CONSTRUCTION.
 - UPON FINAL ACCEPTANCE, CONTRACTOR SHALL TURN OVER REQUIRED ADJUSTMENT KEYS INCLUDING BUT NOT LIMITED TO CONTROLLER ENCLOSURE AND BACKFLOW ENCLOSURE KEY, LOCKING VALVE BOX KEYS, QUICK COUPLER KEYS, GATE VALVE KEY, SPRINKLER HEAD AND NOZZLE ADJUSTMENT KEYS.
 - UPON FINAL ACCEPTANCE, CONTRACTOR SHALL TURN OVER SPARE PARTS PERTAINING TO INSTALLED SYSTEM: BACKFLOW WINTERIZATION INSERT, TWO OF EVERY HEAD AND NOZZLE (ROTOR NOZZLE TREE INCLUDED), ONE RCV DIAPHRAGM, ETC.
- COORDINATE UTILITY LOCATES OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION ("811-CALL BEFORE YOU DIG").
- IF DISCREPANCIES ARE NOTED IN THE FIELD BETWEEN SITE CONDITIONS AND PROVIDED DESIGNS, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OR GENERAL CONTRACTOR IMMEDIATELY. DO NOT PROCEED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM IF SUCH DISCREPANCIES IN THE FIELD AFFECT THE PROVIDED DESIGN, DETAILS, OR SPECIFICATIONS.
- ALL IRRIGATION COMPONENTS (MAINLINE, WIRES, LATERAL LINES, ETC.) SHALL BE INSTALLED IN LANDSCAPED AREAS WHENEVER POSSIBLE, EVEN THOUGH SAID IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE PLANTING AREAS FOR CLARITY.
 - AVOID CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ARCHITECTURAL FEATURES WHENEVER POSSIBLE. COORDINATE POTENTIAL RELOCATION OF BOULDERS AND TREES IN TURF AREAS WITH LANDSCAPE ARCHITECT PRIOR TO SPRINKLER LAYOUT. IF LANDSCAPE MATERIAL CANNOT BE RELOCATED, ADDITIONAL SPRINKLERS MAY BE REQUIRED.
- CROSS FITTINGS ARE NOT ALLOWED, ONLY STANDARD TEES AND ELBOWS.
- CONTRACTOR SHALL INSTALL NOZZLES PER PLAN, UNLESS IRRIGATED AREA CHANGED IN SIZE OR PLANT MATERIAL TYPE CHANGES. IF NOZZLE CHANGES ARE REQUIRED AND ARE SIGNIFICANT IN SIZE, CONTRACTOR SHALL CONTACT IRRIGATION DESIGNER FOR APPROVAL.
- CONTRACTOR SHALL FIELD LOCATE ANY EXISTING SLEEVES ON SITE PRIOR TO CONSTRUCTION WITH THE AID OF THE GENERAL CONTRACTOR. MISSING SLEEVES SHALL BE REPORTED IMMEDIATELY. NEW SLEEVES SHOWN ON PLANS ARE REQUIRED FOR BOTH PIPING AND ELECTRICAL WIRING AT EACH HARDSCAPE CROSSING. COORDINATE INSTALLATION OF SLEEVING WITH OTHER TRADES. ANY PIPE OR WIRE WHICH PASSES BENEATH EXISTING HARDSCAPE WHERE SLEEVING WAS NOT INSTALLED WILL REQUIRE HORIZONTAL BORING BY THE IRRIGATION CONTRACTOR.
- INSTALL ALL ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES.
- THE FOLLOWING SHOULD BE NOTED REGARDING PIPE SIZING: IF A SECTION OF UNSIZED PIPE IS LOCATED BETWEEN THE IDENTICALLY SIZED SECTIONS, THE UNSIZED PIPE IS THE SAME NOMINAL SIZE AS THE TWO SIZED SECTIONS. THE UNSIZED PIPE SHOULD NOT BE CONFUSED WITH THE DEFAULT PIPE SIZE NOTED IN THE LEGEND.
 - MAINLINE PIPE SIZES MAY VARY THROUGHOUT PROJECT. EACH MAINLINE LEG IS SIZED TO ACCOMMODATE LARGEST VALVE ON THAT LEG. STATED SIZE IN LEGEND MAY NOT BE THE LARGEST SIZE ON PLANS.
- TWO-WIRE CONTROL CABLE DOES NOT REQUIRE ADDITIONAL SPARE WIRES TO BE ROUTED WITH MAINLINE.
 - TWO-WIRE CONTROL SURGE ARRESTORS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ARRESTORS ARE NOT DEPICTED ON PLANS
- TREES IN TURF ARE NOT IRRIGATED BY DRIP SYSTEM. DRIP LATERAL ROUTED NEAR TREES IN TURF ARE NOT TO RECEIVE DRIP IRRIGATION. TREES IN NATIVE SEEDED AREAS ARE IRRIGATED ON DRIP SYSTEM.
- VALVES FOR NATIVE SEEDED AREAS SHALL BE ON A SEPARATE PROGRAM.
- NATIVE SEEDED AREAS ARE TO BE IRRIGATED WITH AN ABOVE GRADE SYSTEM AND UTILIZED FOR ESTABLISHMENT OF SEED. SYSTEM IS NOT INTENDED TO OPERATE BEYOND ESTABLISHMENT AND WILL BE REMOVED BEYOND ESTABLISHMENT PER TOWN REQUIREMENTS.
- NO IRRIGATION EQUIPMENT, INCLUDING BUT NOT LIMITED TO, MAINLINE, VALVES, AND SPRINKLERS, SHALL BE INSTALLED WITHIN 3' OF NEW BUILDING FOUNDATION.
- TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE LANDSCAPE PLAN. ADDITIONAL LANDSCAPING AND ASSOCIATED IRRIGATION WILL BE REQUIRED BASED UPON FIELD CONDITIONS IN ORDER TO SCREEN ABOVE GROUND UTILITY FACILITIES. THE ADDITIONAL LANDSCAPING OF THE ABOVE GROUND UTILITY FACILITIES SHALL BE INSTALLED PRIOR TO INSPECTION BY THE LANDSCAPE ARCHITECT. THE COMPLIANCE STATEMENT SUBMITTED FOR INITIAL ACCEPTANCE OF THE LANDSCAPING SHALL INCLUDE A DECLARATION THAT THE UTILITY FACILITIES HAVE BEEN LANDSCAPED AS REQUIRED.

REFERENCE NOTES SCHEDULE

| SYMBOL | DESCRIPTION |
|--------|--|
| | THE IRRIGATION SYSTEM POINT-OF-CONNECTION (POC) SHALL BE DOWNSTREAM OF THE IRRIGATION WATER TAP AND METER, AT THE APPROXIMATE LOCATION SHOWN. INSTALL BACKFLOW PREVENTION UNIT, HYDROMETER AS INDICATED. VERIFY EXACT LOCATION OF POC WITH OWNER'S REPRESENTATIVE. VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION. |
| | PEDESTAL MOUNT THE IRRIGATION CONTROLLER AT THE APPROXIMATE LOCATION SHOWN. COORDINATE ELECTRICAL POWER TO THE CONTROLLER WITH THE OWNER'S REPRESENTATIVE. CARE SHOULD BE TAKEN TO INSTALL THE IRRIGATION CONTROLLER IN A LOCATION THAT IS ACCESSIBLE FOR MAINTENANCE, AND SCREENED FROM VIEW EITHER BEHIND ENTRY WALLS, NEXT TO BUILDINGS, OR BEHIND PLANT MATERIAL. FINAL LOCATION TO BE APPROVED BY OWNER'S REPRESENTATIVE. INSTALL PER NATIONAL ELECTRIC CODE (NEC). |
| | IRRIGATION SHOWN IN HARDSCAPE FOR CLARITY ONLY. ALL IRRIGATION SHALL BE INSTALLED IN LANDSCAPE AREA. ANY IRRIGATION TO BE INSTALLED UNDER HARDSCAPE SHALL BE SLEEVED. |
| | MAINLINE, SPRINKLER LATERAL, AND/OR DRIP LATERAL SHOWN SLEEVED TOGETHER IS FOR CLARITY ONLY. CONTRACTOR SHALL INSTALL MAINLINE, CONTROL WIRES, AND LATERAL LINES IN SEPARATE SLEEVES. |



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Prepared For



Irrigation Design



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COMPASS FILING 4 - SITE PLAN
 ERIE, COLORADO

Drawn by: **MLP**
 Checked by: **TEAM**
 Issue Date: **03/08/2019**
 Revisions:

Sheet Name

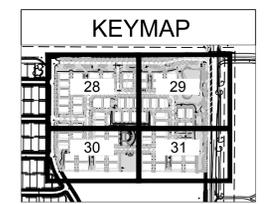
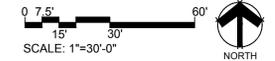
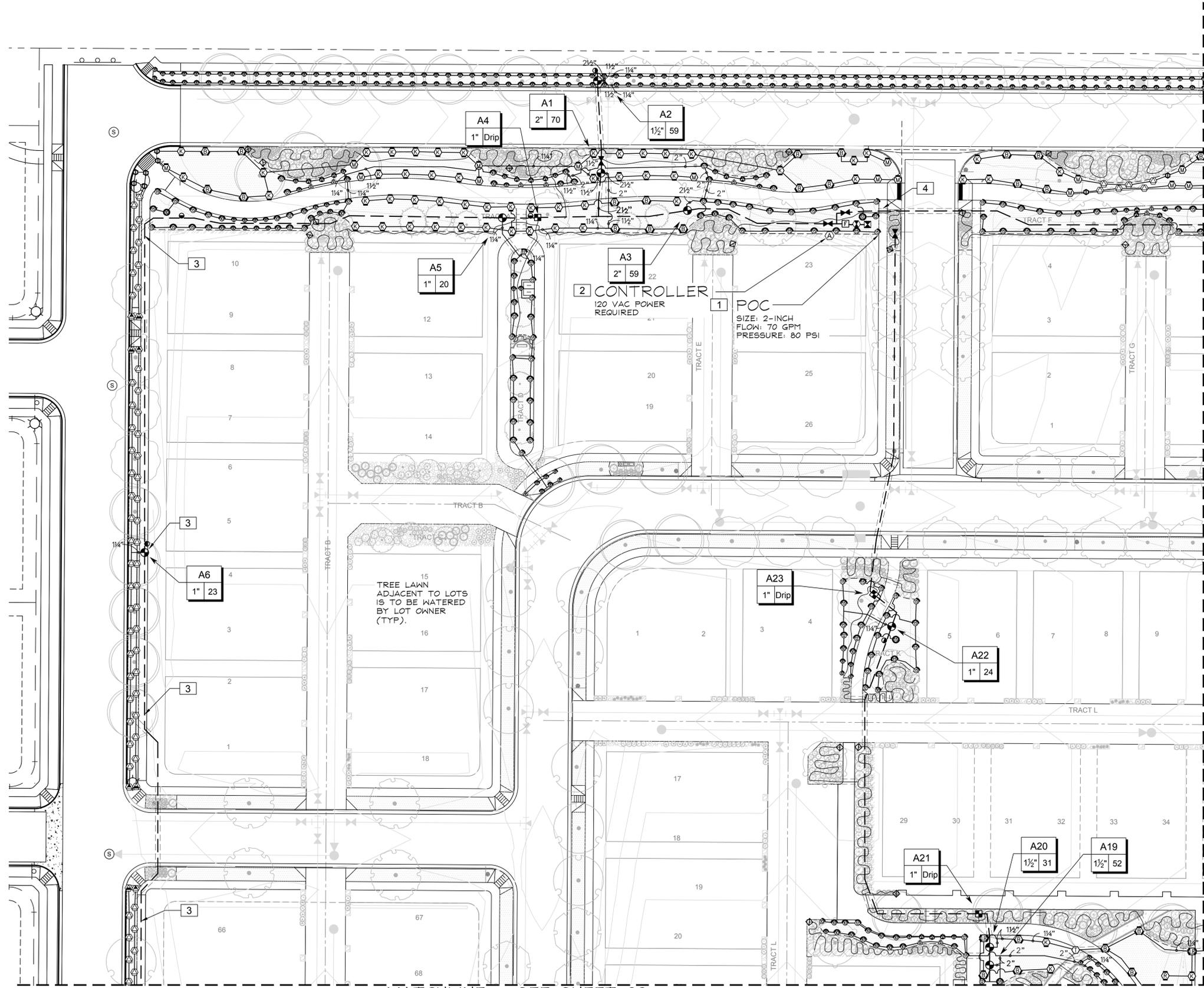
IRRIGATION LEGEND
 AND NOTES

Sheet Number

27

COMPASS FILING NO. 4 - SITE PLAN

PART OF THE NORTHEAST QUARTER AND AN AMENDMENT OF TRACTS B, C, AND J, COMPASS FILING NO. 1
 LOCATED IN THE EAST HALF OF SECTION 25
 TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
 21.05 ACRES - 146 LOTS - 23 TRACTS
 SP-000964-2018



MATCHLINE - SEE SHEET 30

MATCHLINE - SEE SHEET 29

NOTE:
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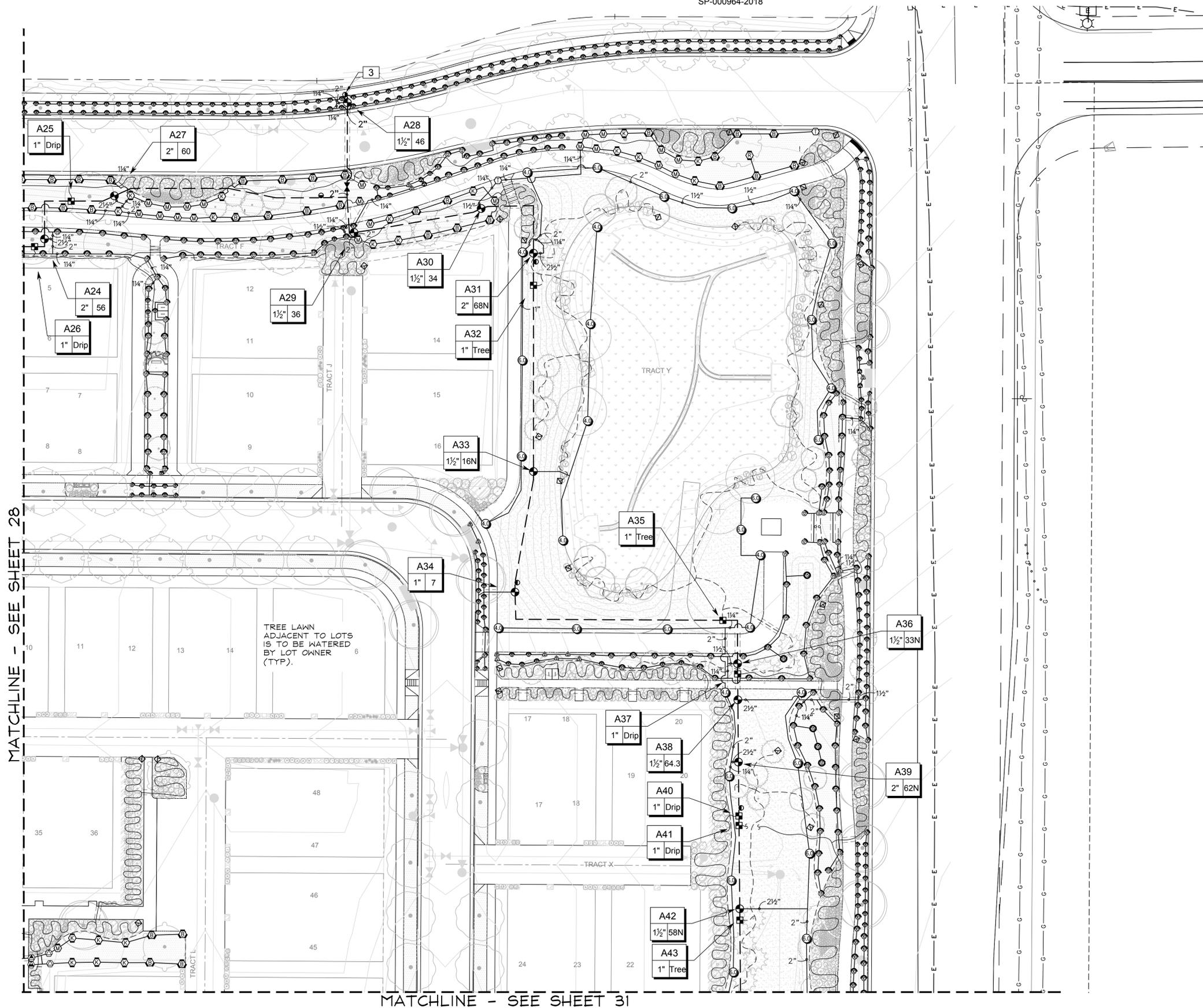
COMPASS FILING 4 - SITE PLAN
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Sheet Name
IRRIGATION PLAN
 Sheet Number
28

COMPASS FILING NO. 4 - SITE PLAN

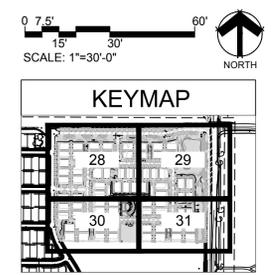
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MATCHLINE - SEE SHEET 28

MATCHLINE - SEE SHEET 31

TREE LAWN
 ADJACENT TO LOTS
 IS TO BE WATERED
 BY LOT OWNER
 (TYP).



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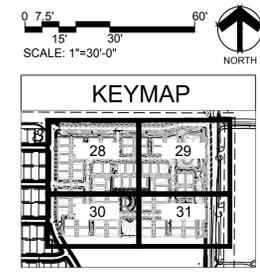
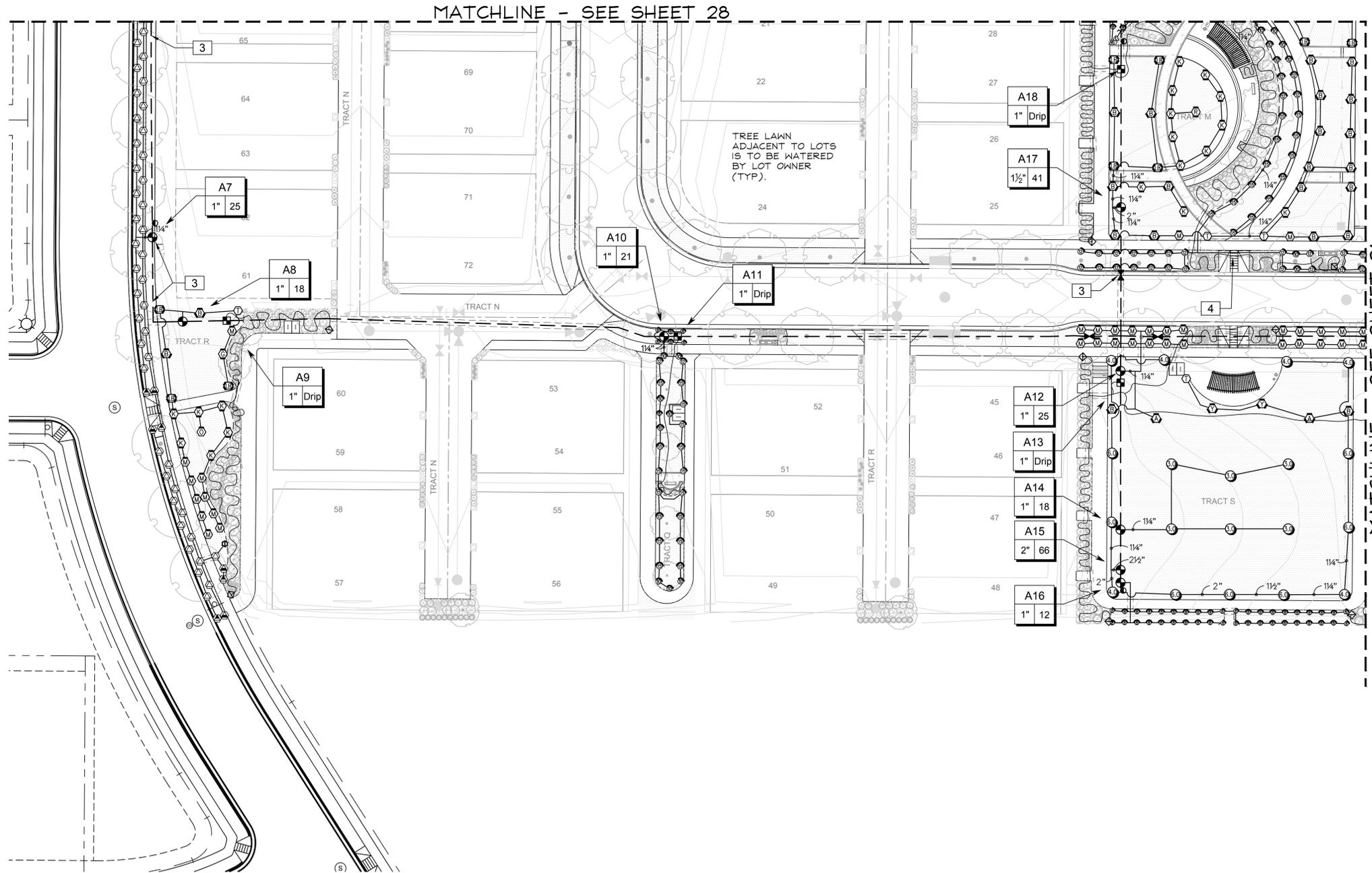
COMPASS FILING 4 - SITE PLAN
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Sheet Name
IRRIGATION PLAN
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29

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COMPASS FILING 4 - SITE PLAN
 ERIE, COLORADO

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| Issue Date: | 03/08/2019 |
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Sheet Name
IRRIGATION PLAN

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30

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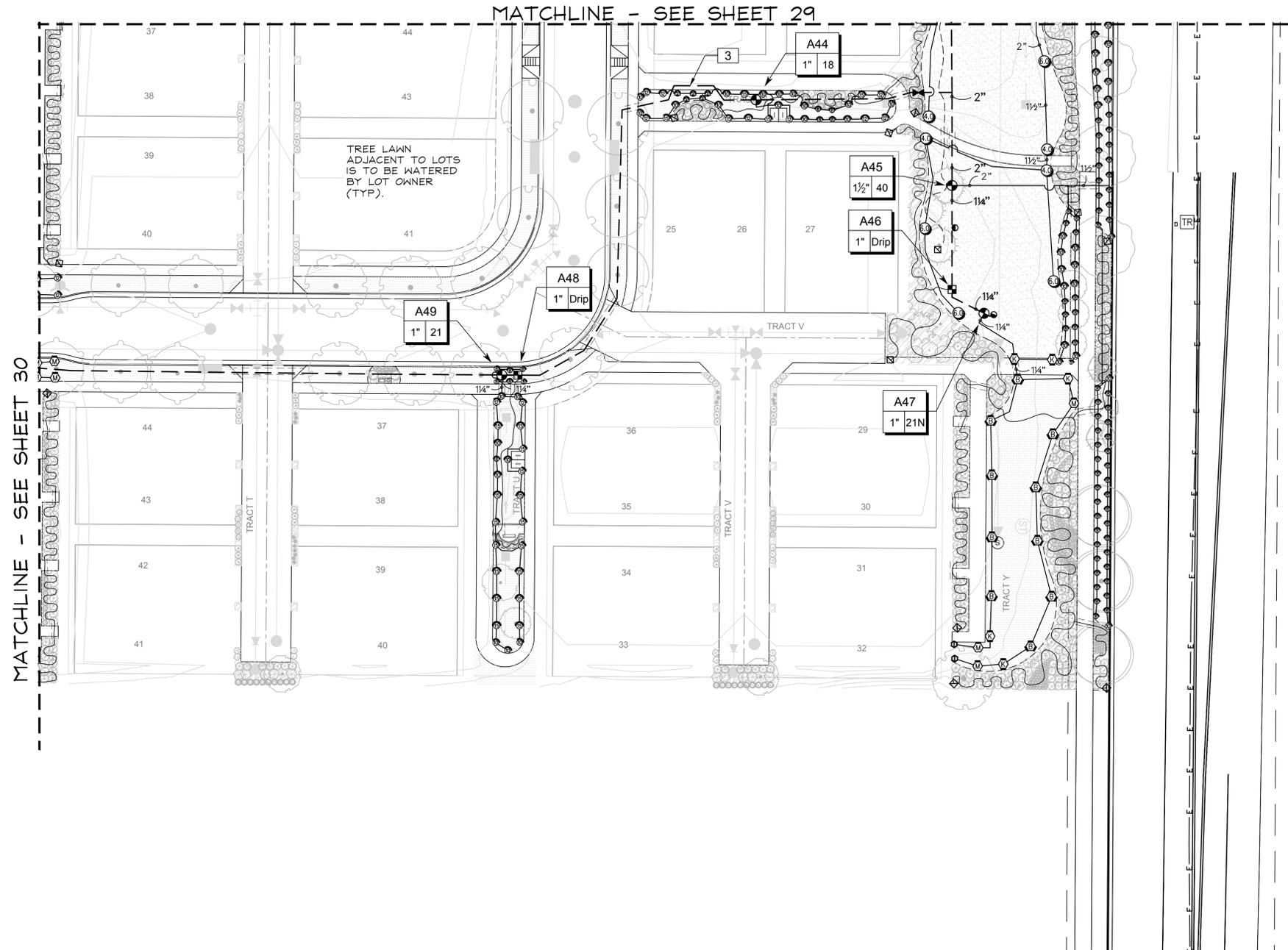
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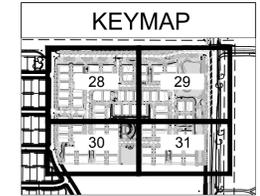
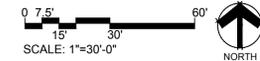
COMPASS FILING 4 - SITE PLAN
 ERIE, COLORADO



MATCHLINE - SEE SHEET 30

MATCHLINE - SEE SHEET 29

TREE LAWN
 ADJACENT TO LOTS
 IS TO BE WATERED
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NOTE:
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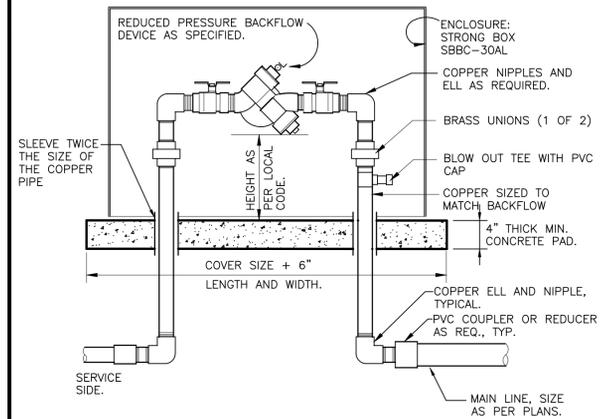
IRRIGATION PLAN

Sheet Number

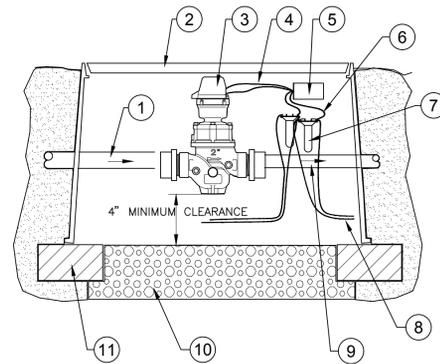
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COMPASS FILING NO. 4 - SITE PLAN

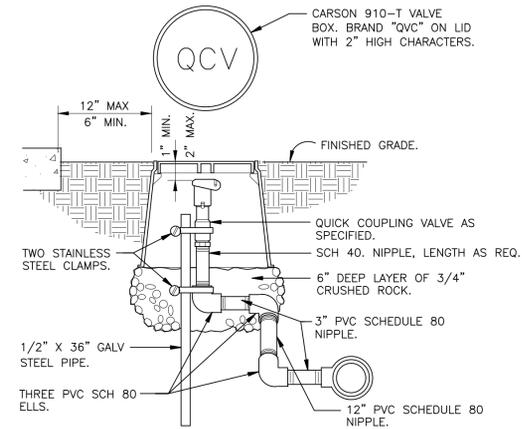
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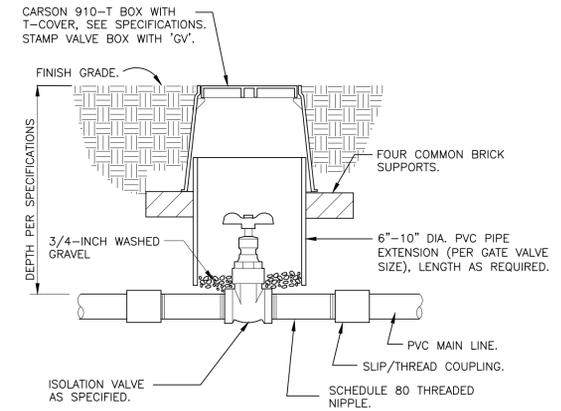
- NOTES:
 1. INSTALL BACKFLOW DEVICE IN ACCORDANCE WITH ALL STATE AND LOCAL CODE REQUIREMENTS.
 2. SLOPE TOP SURFACE OF PAD AT 0.5 % WITH BROOM FINISH. MAKE PIPE SLEEVES WITH 1-1/2 INCH LARGER DIAMETER PIPE THAN PENETRATING PIPE SIZE.
 3. ALL HINGED CONNECTION LOCATIONS AND HARDWARE TO BE TAMPER PROOF.
 4. ALL WELD JOINTS SHALL BE CONTINUOUS AND GROUND SMOOTH.



- 1 PVC MAINLINE
 2 12" X 18" VALVE BOX
 3 NETAFIM HYDROMETER
 4 WHITE WIRE
 5 DECODER: MATCH CONTROLLER DECODER (SAME DECODER AS RCV)
 6 BLUE WIRE
 7 WIRE CONNECTOR DBY/R-6
 8 TWO-WIRE CABLE TO NEXT DEVICE
 9 PVC MAINLINE
 10 1 CU. FT. PEA GRAVEL SUMP
 11 BRICK SUPPORT (1-EA. CORNER)



NOTE: PRE-FABRICATED SWING JOINT ASSEMBLY MAY BE UTILIZED.



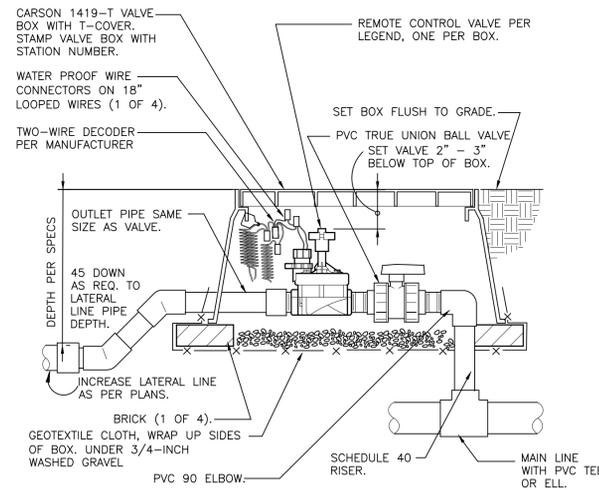
NOTE: VALVE SHALL HAVE CROSS HANDLE FOR EASE OF MAINTENANCE

1 RP BACKFLOW W/ ENCLOSURE
 1" = 1'-0" 328409.46-03

2 HYDROMETER WITH FLOW SENSOR DECODER
 NOT TO SCALE FX-IR-HUNT-HYDR-01

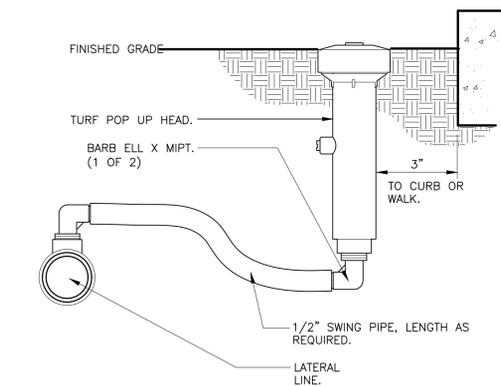
3 QUICK COUPLING VALVE IN BOX
 1 1/2" = 1'-0" 328406.43-02

4 ISOLATION GATE VALVE
 1 1/2" = 1'-0" 328406.33-01



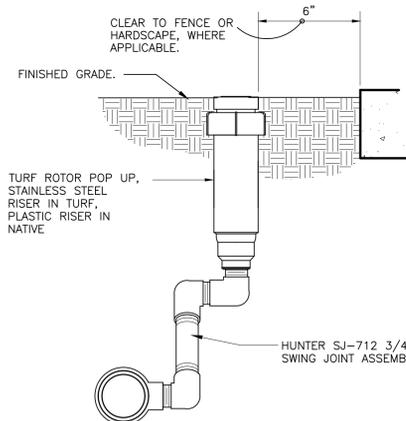
NOTE:
 LEAVE 2 FOOT LOOP OF 2-WIRE CABLE IN EACH BOX. ADD SURGE DECODER AT VALVE AS RECOMMENDED BY MANUFACTURER.

5 REMOTE CONTROL TURF VALVE W/DECODER
 1 1/2" = 1'-0" 328406.13-06

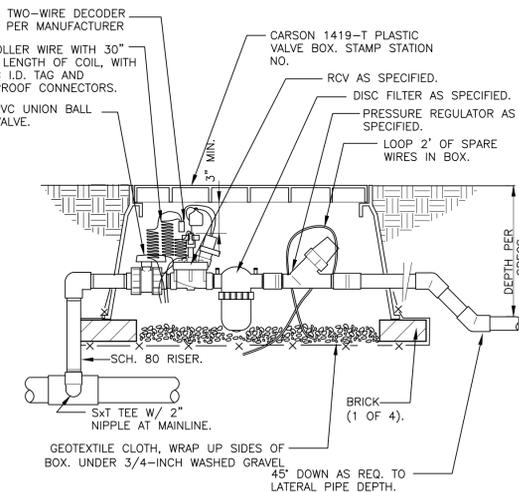


NOTES:
 1. 6-INCH POP-UP RISERS SHALL BE UTILIZED IN ALL TURF/NATIVE SEEDING AREAS.
 2. SIDE INLET SHALL NOT BE UTILIZED.

6 6-INCH POP-UP SPRAY
 3" = 1'-0" 328403.13-02



7 GEAR-DRIVEN ROTOR ASSEMBLY
 3" = 1'-0" 328403.16-01



8 1" DRIP VALVE W/DISC FILTER W/DECODER
 1 1/2" = 1'-0" 328413.76-16

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COMPASS FILING 4 - SITE PLAN
 ERIE, COLORADO

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 IRRIGATION DETAILS

Sheet Number
32

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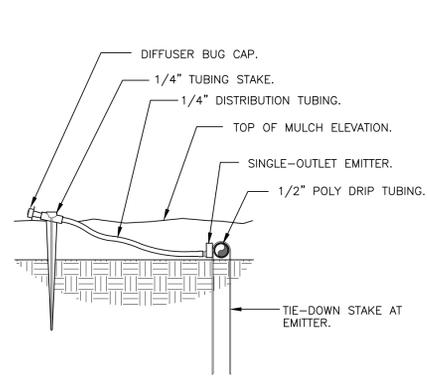
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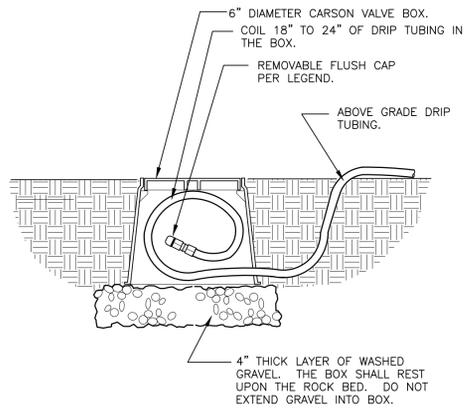
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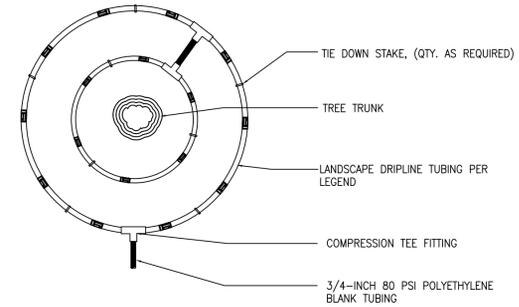
COMPASS FILING 4 - SITE PLAN
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9 DRIP EMITTER AT 1/4" TUBING
 3" = 1'-0" 328413.13-03



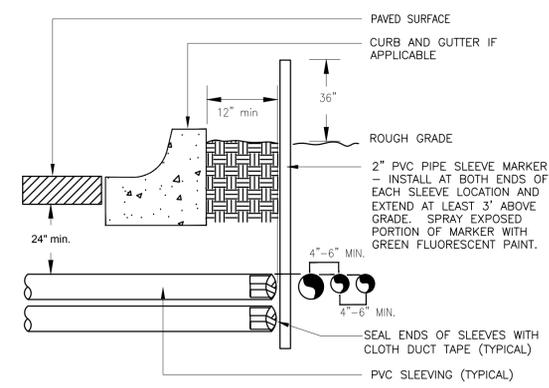
10 DRIP FLUSH CAP ASSEMBLY
 1 1/2" = 1'-0" 328413.49-06



11 INLINE DRIP RING FOR PLANTS IN NATIVE
 N.T.S. 328413.56-40

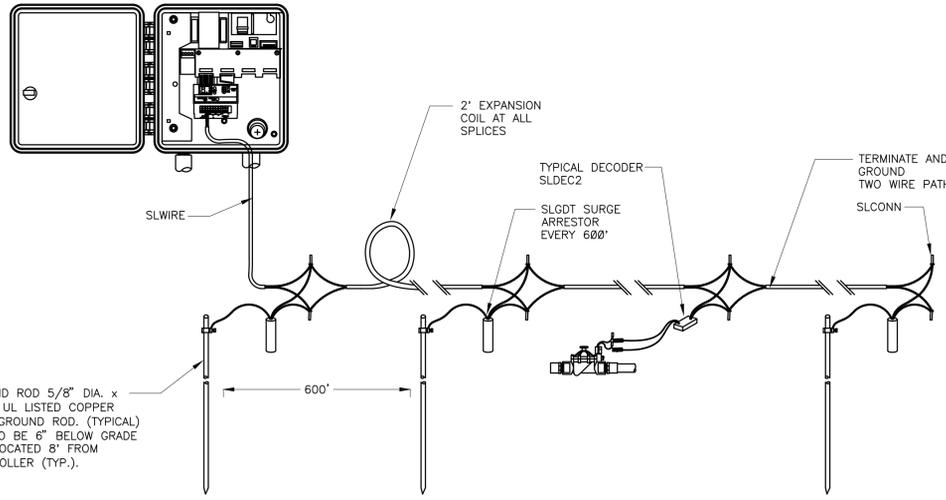
NOTE:
 1. CONTRACTOR SHALL INSTALL ALL DRIP TUBING IN NATIVE AREAS 2-3" BELOW GRADE IF MULCH IS NOT PRESENT. IF MULCH IS PRESENT, LAY TUBING ON FINISHED GRADE BELOW MULCH.
 2. DIAMETER OF DRIPLINE RINGS ARE DEPENDENT ON TREE CANOPY SIZE AND SHALL BE ADJUSTED IN THE FIELD PER CONTRACTOR. SUGGESTED PLACEMENT OF 3' DIAMETER AND 5' DIAMETER AROUND TREE.
 3. SHRUBS IN NATIVE SHALL UTILIZE A SINGLE TREE RING (UTILIZE INNER RING SHOWN ABOVE).
 4. TREE RINGS CAN BE UTILIZED ON TREES IN SHRUB BEDS.

1. LOCATE FLUSH CAP ASSEMBLY AT THE END OF EACH DRIP LINE.
 2. ENSURE THAT THE COILED DRIP TUBING IS OF SUFFICIENT LENGTH TO COMPLETELY EXTEND OUT OF THE VALVE BOX WHEN FLUSHING.

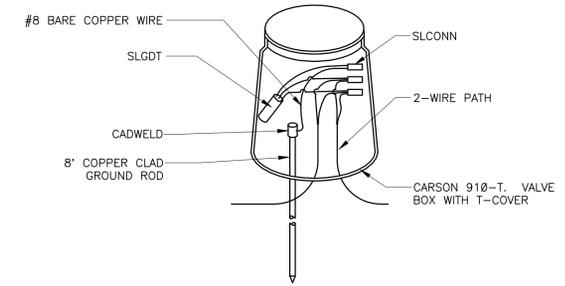


12 TYPICAL SLEEVE
 N.T.S. 328409.76-21

NOTE:
 1) ALL SLEEVING TO BE CLASS 200 BE PVC, SIZED AS NOTED.
 2) INSTALL SLEEVES IN SIDE-BY-SIDE CONFIGURATION WHERE MULTIPLE SLEEVES ARE TO BE INSTALLED. SPACE SLEEVES 4" TO 6" APART. DO NOT STACK SLEEVES VERTICALLY.



13 TYPICAL LIGHTNING ARRESTOR LAYOUT
 N.T.S. 328409.16-20



14 LIGHTNING ARRESTOR
 N.T.S. 328409.16-21

NOTES:
 1. ALL ELECTRICAL WORK MUST CONFORM TO LOCAL CODES. REFER TO PRODUCT LITERATURE FOR ADDITIONAL INSTALLATION REQUIREMENTS.
 2. INSTALL EVERY 600', AT CONTROLLER, AND END OF EVERY MAINLINE RUN. NOT SHOWN ON DESIGN PLANS.

Drawn by: **MLP**
 Checked by: **TEAM**
 Issue Date: **03/08/2019**
 Revisions:

Sheet Name

IRRIGATION DETAILS

Sheet Number

COMPASS FILING NO. 4 - SITE PLAN

PART OF THE NORTHEAST QUARTER AND AN AMENDMENT OF TRACTS B, C, AND J, COMPASS FILING NO.1
LOCATED IN THE EAST HALF OF SECTION 25
TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
21.05 ACRES - 146 LOTS - 23 TRACTS
SP-000964-2018

Prepared For



Irrigation Design



Engineering

990 South Broadway Suite 230
Denver, CO 80209
1.303-561-3333

COMPASS FILING 4 - SITE PLAN ERIE, COLORADO

PART 1: GENERAL

1.1 SCOPE

Furnish all labor, materials, supplies, equipment, tools and transportation, and perform all operations in connection with and reasonably incidental to the complete installation of the irrigation system, and guarantee/warranty as shown on the drawings, the installation details, and as specified herein. Items of work specifically indicated are:

- Procurement of all applicable licenses, permits, and fees including payment of all development, plant investment, or any other fees and permits associated with the purchase and installation of the tap.
- Coordination of Utility Locates ("Call Before You Dig").
- Excavation, installation, and backfill of tap into municipal water line.
- Excavation, installation, and backfill of water meter and vault.
- Verification of existing static pressure.
- Provision and connection of electrical power supply to the irrigation control system.
- Connection to existing Mainline (or) copper tubing downstream of domestic backflow or irrigation meter (refer to civil drawings for connection location).
- Installation of pumping plant for irrigation system.
- Maintenance period.
- Shelving for irrigation pipe and wire.

1.2 WORK NOT INCLUDED

Items of work specifically excluded or covered under other sections are:

- Procurement of all applicable licenses, permits, and fees including payment of all development, plant investment, or any other fees and permits associated with the purchase and installation of the tap.
- Coordination of Utility Locates ("Call Before You Dig").
- Excavation, installation, and backfill of tap into municipal water line.
- Excavation, installation, and backfill of water meter and vault.
- Provision and connection of electrical power supply to the irrigation control system.
- Installation of pumping plant for irrigation system.
- Maintenance period.

1.3 RELATED WORK

A. Division 2 - Site Work:

- Section 01 5639 - Tree Protection.
- Section 31 1000 - Site Clearing.
- Section 32 9113 - Soil Preparation.
- Section 32 9300 - Trees, Plants and Ground Cover.
- Section 32 9113 - Sodding.

1.4 SUBMITTALS

- Deliver four (4) copies of all required submittals to the Owner's Representative within 15 days from the date of Notice to Proceed.
- Materials List:** Include pipe, fittings, mainline components, water emission components, control system components. Quantities of materials need not be indicated.
- Manufacturers' Data:** Submit manufacturers' catalog cuts, specifications, and operating instructions for equipment shown on the materials list.
- Shop Drawings:** Submit shop drawings for all details which will differ in the field from the typical detail provided. Show products required for proper installation, their relative locations, and critical dimensions. Note modifications to the installation detail. Shop drawings shall be submitted prior to construction.
- Project Record Drawings:** Submit project record (as-built) drawings to Owner prior to commencement of maintenance period (refer to specification section 3.12 for specific requirements).

1.5 RULES AND REGULATIONS

- Work and materials shall be in accordance with the latest edition of the National Electric Code, the Uniform Plumbing Code as published by the Western Plumbing Officials Association and applicable laws and regulations of the governing authorities, including local Municipality and Water District details, standards, and specifications.**
- Backflow Prevention Device and water meter shall be installed per local code, tested, and approved by local Water Department or District.
- Local Municipality water calls and specifications shall be utilized where applicable.
- When the contract documents call for materials or construction of a better quality or larger size than required by the above mentioned rules and regulations, provide the quality and quantity required by the contract documents.
- If quantities are provided either in these specifications or on the drawings, these quantities are provided for information only. It is the Contractor's responsibility to determine the actual quantities of all material, equipment, and supplies required by the project and to complete an independent estimate of quantities and wastage.

1.6 TESTING

- Notify the Owner's Representative three days in advance of testing.
- Pipelines joined with rubber gaskets or threaded connections may be subjected to a pressure test at any time after partial completion of backfill. Pipelines joined with solvent-welded PVC joints shall be allowed to cure at least 24 hours before testing.
- Subsections of mainline pipe may be tested independently, subject to the review of the Owner's Representative.
- Furnish clean, clear water, pumps, labor, fittings, and equipment necessary to conduct tests or retests.
- Hydrostatic Pressure Test:**
 - Subjected mainline pipe to a hydrostatic pressure equal to the anticipated operating pressure of 150 PSI for two hours. Test with mainline components installed. A 2 PSI pressure variation is allowed.
 - Subject lateral pipe to a hydrostatic pressure equal to the anticipated operating pressure of 90 PSI. Test with risers for sprinklers capped.
- Backfill to prevent pipe from moving under pressure. Expose couplings and fittings.
- Leakage will be detected by visual inspection. Replace defective pipe, fitting, joint, valve, or appurtenance. Repeat the test until all pipe passes test.
 - Cement or caulking to seal leaks is prohibited.

D. Operational Test:

- Activate each remote control valve in sequence from controller. The Owner's Representative will visually observe operation, water application patterns, and leakage.
- Replace defective remote control valve, solenoid, wiring, or appurtenance to correct operational deficiencies.
- Replace, adjust, or move water emission devices to correct operational or coverage deficiencies.
- Replace defective pipe, fitting, joint, valve, sprinkler, or appurtenance to correct leakage problems. Cement or caulking to seal leaks is prohibited.
- Repeat tests) until each lateral passes all tests.

G. Control System Acceptance Test:

- Upon completion of the centralized control system installation and Final Review, a **System Acceptance Test** must be passed.
 - Access to Weathermatic website and on-site controller(s) must be completed prior to final acceptance.
 - Alertcard shall be activated and operational prior to final acceptance.
- Following Final Review, an evaluation period will commence. Upon completion of 30 days of continuous service without major system problems, the system will be accepted and the guarantee/warranty period will begin. If at any time during the 30-day evaluation period, a major system problem occurs, the portion of the problem will be determined and corrected and the 30-day evaluation period will start again. Equipment will not be accepted until such time as the **System Acceptance Test** is passed.
- If successful completion of the **System Acceptance Test** is not attained within 90 days following Final Review, the Engineer/Landscape Architect/Owner's Representative has the option to request replacement of equipment terminate the order or perform thereof or continue with the **System Acceptance Test**. These options will remain in effect until such time as a successful completion of the **System Acceptance Test**.
- Final payment will be made after successful completion of the final **System Acceptance Test**.

1.7 CONSTRUCTION REVIEW

The purpose of on-site reviews by the Owner's Representative is to periodically observe the work in progress and the Contractor's interpretation of the construction documents and to address questions with regards to the installation.

- Scheduled reviews such as those for irrigation system layout or testing should be scheduled with the Owner's Representative as required by these specifications.
- Importance reviews may occur at any time during the project.
- Final review will occur at the completion of the irrigation system installation and Record (As-Built) Drawing submittal.

1.8 GUARANTEE/WARRANTY AND REPLACEMENT

The purpose of this guarantee/warranty is to insure that the Owner receives irrigation materials of prime quality, installed and maintained in a thorough and careful manner.

- For a period of one year from commencement of the formal maintenance period, guarantee/warranty irrigation materials, equipment, and workmanship against defects. Fill and repair depressions. Restore landscape or structural features damaged by the settlement of irrigation trenches or excavations. Repair damage to the premises caused by a defective item. Make repairs within seven days of notification from the Owner's Representative.
- Contract documents govern replacements identically as with new work. Make replacements at no additional cost to the contract price.

C. Guarantee/warranty applies to originally installed materials and equipment and replacements made during the guarantee/warranty period.

PART 2: MATERIALS

2.1 QUALITY

Use materials which are new and without flaws or defects of any type, and which are the best of their class and kind.

2.2 SUBSTITUTIONS

Pipe sizes referenced in the construction documents are minimum sizes, and may be increased at the option of the Contractor.

2.3 Irrigation Tap and Water Meter

- Provide materials required by local codes for installation of the municipal water tap and associated piping.
- Provide materials required by local code for installation of the water meter and vault and associated piping.

2.4 Shelving

- Install separate sleeve beneath paved areas to route each run of irrigation pipe or wiring bundle.
- Steering material beneath pedestrian pavements shall be PVC Class 200 pipe with solvent welded joints.
- Covering beneath drives and streets shall be PVC Class 200 pipe with solvent welded joints.
- Steering diameter: as indicated on the drawings and installation details or equal to twice that of the pipe or wiring bundle.

2.5 PIPE AND FITTINGS

- Mainline Pipe and Fittings:**
 - Use rigid, unplasticized polyvinyl chloride (PVC) 1120, 1220 National Sanitation Foundation (NSF) approved pipe, extruded from material meeting the requirements of Cell Classification 12464 A or 1246 B, ASTM Standard D1784, with an integral bell end.
 - Use Class 200, SDR-21, rated at 200 PSI, conforming to the dimensions and tolerances established by ASTM Standard D2241. Use PVC pipe rated at higher pressures than Class 200 in the case of small nominal diameters which are not manufactured in Class 200.
 - Use rubber-gasketed pipe for mainline pipe with a nominal diameter greater than or equal to 3-inches and rubber-gasketed ductile iron fittings with lubricant approved by the pipe manufacturer.
 - Use gasketed pipe equipped with Rubber Gasket System. Pipe fittings may use standard gaskets.
 - Use solvent weld pipe for mainline pipe with a nominal diameter less than 3-inches or where a pipe penetration occurs in a sleeve. Use Schedule 40, Type 1 PVC solvent weld fittings conforming to ASTM Standards D2466 and D1784. Use primer approved by the pipe manufacturer. Solvent cement to conform to ASTM Standard D2964.

B. Lateral Pipe and Fittings:

- Use rigid, unplasticized polyvinyl chloride (PVC) 1120, 1220 National Sanitation Foundation (NSF) approved pipe, extruded from material meeting the requirements of Cell Classification 12464 A or 1246 B, ASTM Standard D1784, with an integral bell end suitable for solvent welding.
- Use Class 200, SDR-21, rated at 200 PSI, conforming to the dimensions and tolerances established by ASTM Standard D2241. Use PVC pipe rated at higher pressures than Class 200 in the case of small nominal diameters which are not manufactured in Class 200.
 - Use UV radiation resistant Schedule 40, Type 1, PVC solvent weld fittings conforming to ASTM Standards D2466 and D1784 for PVC pipe.
 - Use primer approved by the pipe manufacturer. Solvent cement to conform to ASTM Standard D2864, of a type approved by the pipe manufacturer.
- For dip irrigation laterals downstream of remote control valves in between shrub beds and around trees in native, use UV radiation resistant polyethylene pipe manufactured from Prime Union Carbide C-Resin 7510 Nature 7 manufactured by Union Carbide or a Union Carbide Licensee with a minimum of 2% carbon black, and minimum nominal ID dimension of 0.810" for 3/4 inch pipe, or 0.813" for 1/2-inch pipe.

C. Specialized Pipe and Fittings:

- Color Pipe:** Use Type "X" rigid conforming to ASTM Standard B88.
 - Use wrought copper or cast bronze fittings, soldered or threaded per the installation details. Use a 85% tin and 5% antimony solder.
 - Galvanized steel pipe: Use Schedule 40 conforming to ASTM Standard A120.
 - Use galvanized, threaded, standard weight, malleable iron fittings.
 - Ductile iron pipe: Use Class 50 conforming to ASTM Standard.
 - Use Class 50 ductile iron fittings. Mechanical joints? Joint restrainers?
 - Use a dielectric union wherever a copper-based metal (copper, brass, bronze) is joined to an iron-based metal (iron, galvanized steel, stainless steel).
- Assemblies calling for pre-fabricated double swing joints shall utilize USOCB Unifused swing joints or approved equal. Swing joints shall be rated at 315 psi, and use O-ring and steel elbow construction.
- Inline Dip Emmitter Tubing:
 - Provide a low volume dripper line with integral and evenly spaced pressure compensating drippers at specified intervals in a discharge rate of 0.5 in gallons per hour (GPH). Inline Emmitter Dip Tubing shall consist of nominal sized one-half inch low-density linear polyethylene tubing. The Inline Emmitter Dip Tubing shall have internal pressure compensating, continuous self-cleaning, integral drippers at a specified spacing of 18" on center, or blank tubing without drippers where specified in details.

D. Low Density Polyethylene Hose:

- Use pipe specifically intended for use as a flexible swing joint.
 - Inside diameter: 4.000-0.010 inch.
 - Wall thickness: 0.100-0.010 inch.
 - Color: Black.
- Use spiral barb fittings supplied by the same manufacturer as the hose.

E. Joint Sealant:

- Use only Teflon-type tape pipe joint sealant on plastic threads. Use nonhardening, nontoxic pipe joint sealant formulated for use on water-carrying pipes on metal threaded connections.

D. Marking Tape:

- Mainline Pipe - Christy underground ID tags TA-DT-3-P-NPW. (DESIGNER NOTE: Non-Possible detectable marking tape is called out, see pg 16 in Christy catalog for spec designations.)

E. Thrust Blocks:

- Use thrust blocks for fittings in pipe greater than or equal to 3-inch diameter or any diameter rubber gasketed pipe.
- Use 3,000 PSI concrete.
- Use No. 4 Rebar wrapped or painted with asphalt tar based mastic coating.

F. Joint Restrain Harness:

- Use a joint restrain harness wherever joints are not positively restrained by flanged fittings, threaded fittings, and/or thrust blocks.
- Use a joint restrain harness with transition fittings between metal and PVC pipe, where weak trench banks do not allow the use of thrust blocks, or where extra support is required to retain a fitting or joint.

G. Use bolts, nuts, retaining clamps, all-thread, or other joint restrain harness materials that are zinc plated or galvanized.

4. Use on pipe greater than or equal to 3-inch diameter or any diameter rubber gasketed pipe.

5. Use restrained casing spaces for gasketed pipe routing through sleeves. Provided Front-Union-Flange Restraint Casings Spacers or equal. Restraint body and runner supports must be constructed of high strength ductile iron meeting ASTM A248 and grade 65-42-12. Connecting rods must meet ASTM A242, ANSI/AWWA111A21.11. Runners must be constructed of ultra high molecular weight polymer.

2.6 MAINLINE COMPONENTS

- Main System Shut Off Valve:** As per local practice and in compliance with local code.
- Water/Emission Assembly:** As per local practice and in compliance with local code.
- Backflow Prevention Assembly:** As per local practice and in compliance with local code, refer to details for typical installation assembly. Utilize local Water Department Details and specifications where applicable.
- Master Valve Assembly:** As presented in the installation details.
- Isolation Gate Valve Assembly:** As presented in the installation details. Install a separate valve box over a 3-inch depth of 3/4-inch gravel for each assembly.
- Quick Coupling Valve Assembly:** Double swing joint arrangement as presented in the installation details.
- Pressure Regulator Assembly:** As presented in the installation details. Install a separate valve box over a 3-inch depth of 3/4-inch gravel for each assembly.
- Manual Drain Valve Assembly:** As presented in the installation details. Install a separate sump consisting of three cubic feet of 3/4-inch gravel for each drain valve.

2.7 SPRINKLER AND BUBBLER IRRIGATION COMPONENTS

- Remote Control Valve (RCV) Assembly for Sprinkler and Bubbler Laterals:** As presented in the installation details. Use rubber gasketed sealant to join control wires to solenoid valves. Use standard Christy ID tags with hot-stamped black letters on a yellow background. "A-I-T"-WARNING RECLAIMED WATER, "DO NOT DRINK". Install a separate valve box over a 3-inch depth of 3/4-inch gravel for each assembly. Adjust flow control per manufacturer's recommendations prior to use. Install Hunter IC2100 decoder on each valve for communication on a 2-wire control system. Install RainBird FDI01 decoder on each valve for communication on a 2-wire control system.

decoder on each valve for communication on 2-wire control system. Install Weathermatic Smartline SLDEC1 decoder on each valve for communication on 2-wire control system. Install one valve per decoder.

- Sprinkler Assembly:** As presented in the drawings and installation details. Use the sprinkler manufacturer's pressure compensating screens (Plan B) (PCC) to achieve 30 PSI operating conditions on each sprinkler and to control excessive operating pressures.

C. Bubler Assembly: As presented in the drawings and installation details.

2.8 DRIP IRRIGATION COMPONENTS

- Remote Control Valve (RCV) Assembly for Dip Laterals:** As presented in the installation details. Use wire connectors and waterproof sealant to join control wires to solenoid valves. Use standard Christy ID tags with hot-stamped black letters on a yellow background. "WARNING RECLAIMED WATER, "DO NOT DRINK". Install a separate valve box over a 3-inch depth of 3/4-inch gravel for each assembly. Adjust flow control per manufacturer's recommendations prior to use. Install Hunter IC2100 decoder on each valve for communication on a 2-wire control system. Install RainBird FDI01 decoder on each valve for communication on a 2-wire control system. Install Weathermatic Smartline SLDEC1 decoder on each valve for communication on a 2-wire control system. Install one valve per decoder.

B. Zone Control Valve Assembly: As presented in the installation details. Install a separate box over a 3-inch depth of 3/4-inch gravel for each assembly.

C. Dip Emmitter Assembly:

- Utilize Nestlam inline drip tubing in shrub beds and around trees in native, per details and manufacturer's recommendations.
- Barb-mounted, vortex and/or pressure compensating emitter device as presented in the installation details. The device shall be Rain Bird Xeribug XB-10pc series.
- Install emitter types and quantities on the following schedule:
 - Ground cover plant or perennial/annual beds: 1 single outlet emitter each or 1 single outlet emitter per square foot of planting area, whichever is less.
 - Shrub: 2 single outlet emitters each.
 - Tree: 4 single outlet emitters each or 1 multi-outlet emitter each (with 4 outlets open).
- Use 1/4-inch diameter flexible plastic tubing to direct water from emitter outlet to emission point. Length of emitter outlet tubing shall not exceed five feet. Secure emitter outlet tubing with tubing stakes.
- Install an access sleeve for each multiple-outlet emitter located in a native area.

D. Flush Cap Assembly: As presented in the installation details. Locate at the end of each drip irrigation lateral pipe. Install a separate valve box over a 3-inch depth of 3/4-inch gravel for each assembly.

2.9 CONTROL SYSTEM COMPONENTS

A. Irrigation Controller Unit:

- As presented in the drawings and installation details.
- Primary surge protection arresters: per manufacturer's recommendations.
- Valve output surge protection arresters: per manufacturer's recommendations.
- Lightning protection: 8-foot copper-clad grounding rod or 4" x 96" x 0.0025" copper-clad grounding plate.
- Wire markers: Pre-numbered or color-coded non-flaming ink, made of permanent, non-fading material.
- Valve output surge protection arresters: As recommended by controller manufacturer. Ground every 12 decoders or 1,000 feet per Hunter specifications.
- Valve output surge protection arresters: As recommended by controller manufacturer. Ground every 8 decoders or 800 feet per RainBird specifications.
- Valve output surge protection arresters: As recommended by controller manufacturer. Ground at the controller. The end of every mainline run, and every 600 feet per Weathermatic specifications.
- Ground the end of every wire run per Hunter specifications.

B. Instrumentation:

- As presented in the drawings and installation details.
- Rain Sensor: Mini-Click (As manufactured by Hunter, Inc.
- Weather Station: SLWS local weather station by Weathermatic, Inc.
- Smartlink Arcard with Flow by Weathermatic, Inc.
- Flow Sensor: manufactured by Creative Sensor Technology (CST).

C. Control Wire:

- Use American Wire Gauge (AWG) No. 14 solid copper; Type UF or PE cable, UL approved for direct underground burial from the controller unit to each remote control valve. Use AWG No. 12 wire for common wire.
- Use Hunter IDEWRE1 (#14 AWG wires) for power to decoders. Install per Hunter specifications.
- Use Weathermatic SWIRE#1 (#14 AWG wires) for power to decoders. Install per Weathermatic specifications.
- Color: Use white for common ground wire. Use easily distinguished colors for other control wires. Spare control wires shall be of a color different from that of the active control wire. Wire color shall be continuous over its entire length.
- Splices: Use wire connector with waterproof sealant. Wire connector to be of plastic construction consisting of two (2) pieces, one piece which snaps locks into the other. A copper crimp sleeve to be provided with connector. Utilize DBRS-300 PVC.
- Encase wiring not located near PVC irrigation pipe in PVC Schedule 40 electrical conduit. Or utilize warning tape. Inert plastic: highly resistant to alkalis, acids, and other destructive chemical components likely to be encountered in soils. Three inches wide, colored yellow, and imprinted with "CAUTION: BURIED ELECTRIC LINE BELOW".
- Existing Control Wire:**
 - It is assumed that existing 24 VAC control wiring between existing controller and solenoid valves is in workable condition. Any concerns are to be brought to the attention of the Owner prior to installation of the replacement controller.

2.10 Other Components

- Tools and Spare Parts:** Provide operating keys, controller manual, servicing tools, sprinkler zone map and schedule, test equipment, other items, and spare parts indicated in the General Notes of the drawings.

PART 3: EXECUTION

3.1 INSPECTIONS AND REVIEWS

A. Site Inspections:

- Verify site conditions and note irregularities affecting work of this section. Report irregularities to the Owner's Representative at least 72 hours prior to beginning work.
- Beginning work of this section implies acceptance of existing conditions.
- Contractor will be held responsible for coordination between landscape and irrigation system installation.
- Landscape material locations shown on the Landscape Plan shall take precedence over the irrigation system equipment locations. If irrigation equipment is installed in conflict with the landscape material locations shown on the Landscape Plan, the Contractor will be required to relocate the irrigation equipment, as necessary, at Contractor's expense.
- Utility Locates ("Call Before You Dig"):**

F. Joint Restrain Harness:

- Install harness in the manner recommended by the manufacturer and in accordance with accepted industry practices.
- Install self-restraining casting spacers at all pipe bell joints and every 10-foot along the mainline pipe routing through sleeving. Provide correct number and type of restraint per manufacturer's requirements.

3.2 LAYOUT OF WORK

- Stake out the irrigation system. Items staked include: sprinklers, pipe, control valves, manual drains, pumping plant, controller, and isolation valves.
- Install all mainline pipe and mainline components inside of project property lines.

3.3 EXCAVATION, TRENCHING, AND BACKFILLING

- Excavate to permit the pipes to be laid at the intended elevations and to permit work space for installing controllers and fittings.
- Minimum cover (distance from top of pipe or control wire to finish grade):
 - 24-inch over mainline pipe and over electrical conduit.
 - 26-inch over control wire.
 - 18-inch over lateral pipe to sprinklers and bubblers and over manifold pipe to drip system zone control valves.
 - 8-inch over drip lateral pipe in turf or paved areas downstream of drip system zone control valves.
 - 3-inch minimum mulch cover over drip lateral pipe in planting beds downstream of drip system zone control valves. PVC UV radiation resistant lateral pipe shall be installed on top of landscape fabric under mulch cover, unless otherwise directed by owner.
- Backfill only after lines have been reviewed and tested.
- Excavated material is generally satisfactory for backfill. Backfill shall be free from rubbish, vegetable matter, frozen materials, and stones larger than 2-inches in maximum dimension. Remove material not suitable for backfill. Backfill placed next to pipe shall be free of sharp objects which may damage the pipe. Stones larger than 1-inch maximum dimension are not permitted in first (deepest) 6-inches of backfill.
- Backfill unsleeved pipe and sleeves in either of the following manners:
 - Backfill and puddle the lower half of the trench. Allow to dry 24 hours. Backfill the remainder of the trench in 6-inch layers.
 - Backfill the trench by depositing the backfill material equally on both sides of the pipe in 6-inch layers and compacting to the density of surrounding soil.

F. Backfill unsleeved pipe by depositing the backfill material equally on both sides of the pipe in 6-inch layers and compacting each layer to 90% Standard Proctor Density, ASTM D998-78. Conduct one compaction test for every 300 feet of trench. Costs for one such testing and any necessary retesting shall be borne by the Contractor. Use of water for compaction, "puddling", will not be permitted.

G. Enclose pipe and wiring beneath roadways, walks, curbs, etc.: In sleeves. Minimum compaction of backfill for sleeves shall be 95% Standard Proctor Density, ASTM D998-78. Conduct one compaction test for each sleeve crossing less than 50 feet long. Conduct two compaction tests for each sleeve crossing greater than 50 feet long. Costs for such testing and any necessary retesting shall be borne by the Contractor. Use of water for compaction around sleeves, "puddling", will not be permitted.

3.4 IRRIGATION TAP AND WATER METER

- Install the municipal water tap and associated piping materials in conformance with local regulations.
- Install the water meter and vault and associated piping in conformance with local regulations.

3.5 SLEEVING AND BORING

- Install sleeving at a depth which permits the enclosed pipe or wiring to remain at the specified burial depth.
- Extend sleeve ends six inches beyond the edge of the paved surface. Cover pipe ends and mark with stakes. Mark concrete with a chiseled "X" at sleeve end locations.
- Box for sleeves under obstructions which cannot be removed. Employ equipment and methods designed for horizontal boring.

3.6 ASSEMBLY PIPE AND FITTINGS

- General:**
 - Use pipe free from dirt and pipe scale. Cut pipe ends square and deburr. Clean pipe ends.
 - Keep ends of assembled pipe capped. Remove caps only when necessary to continue assembly.
- Mainline Pipe and Fittings:**
 - Use only strap-type friction wrenches for threaded plastic pipe.
 - PVC Rubber-Gasketed Pipe:
 - Use pipe lubricant. Join pipe in the manner recommended by manufacturer and in accordance with accepted industry practices.
 - Epoxy-coated steel fittings shall not be struck with a metallic tool. Cushion blows with a wood block or similar shock absorber.
 - PVC Solvent Weld Pipe:
 - Use primer and solvent cement. Join pipe in a manner recommended by the manufacturer and in accordance with accepted industry practices.
 - Cure for 30 minutes before handling and 24 hours before allowing water in the pipe.
 - Snake pipe from side to side within the trench.
 - Fittings: The use of cross type fittings is not permitted.
- Lateral Pipe and Fittings:**
 - Use only strap-type friction wrenches for threaded plastic pipe.
 - PVC Solvent Weld Pipe:
 - Use primer and solvent cement. Join pipe in the manner recommended by the manufacturer and in accordance with accepted industry practices.
 - Cure for 30 minutes before handling and 24 hours before allowing water in the pipe.
 - Snake pipe from side to side within the trench.

3.7 UV Radiation Resistant Polyethylene Pipe:

- Join pipe in the manner recommended by manufacturer and in accordance with accepted industry practices.
- Snake pipe from side to side, on the soil surface, and hold in place with tubing stakes spaced every five feet.

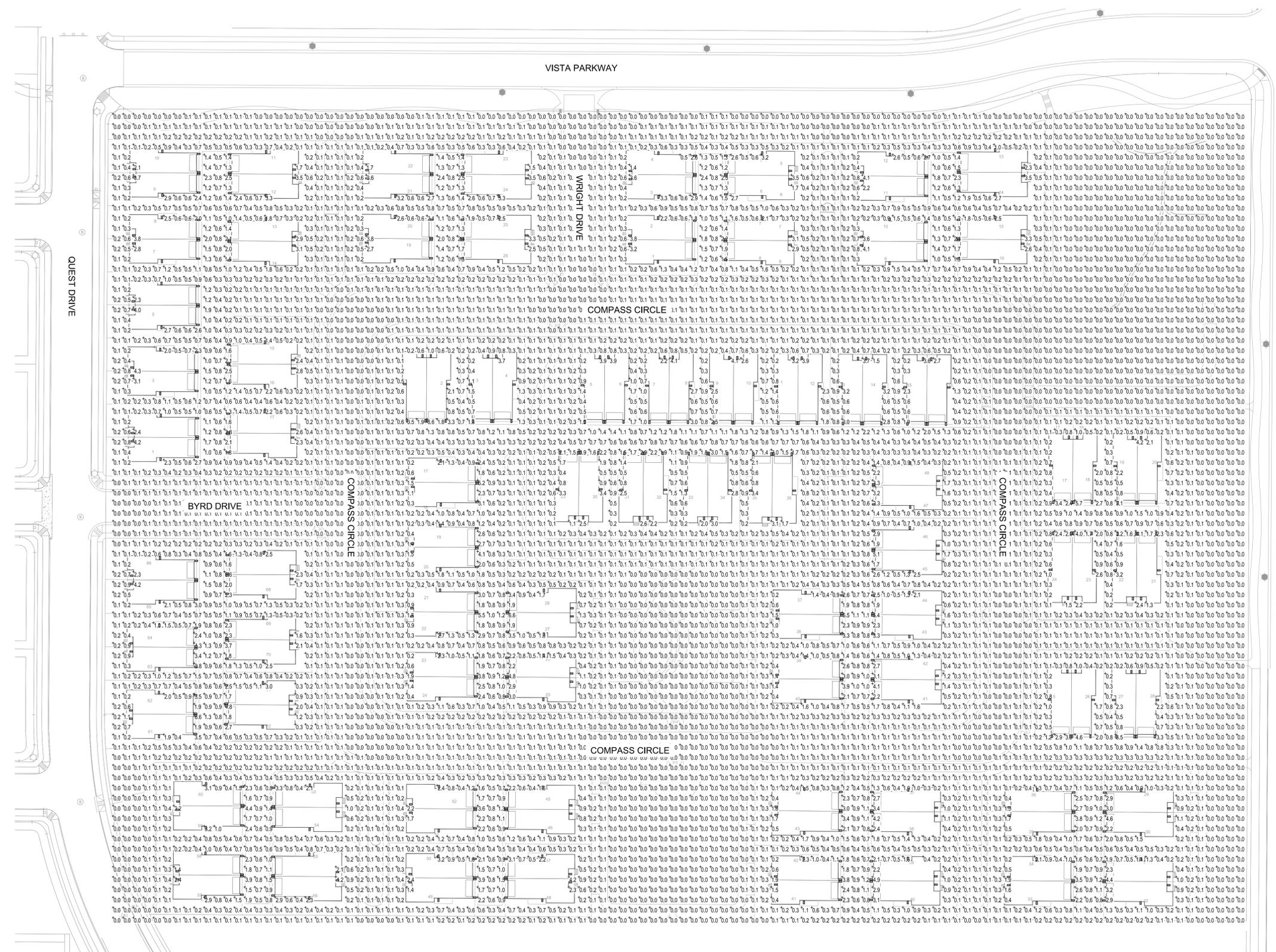
4. Fittings: The use of cross type fittings is not permitted.

D. Specialized Pipe and Fittings

- Copper Pipe:
 - Buff surfaces to be joined to a bright finish. Coat with solder flux.
 - Solder to that a continuous bead shows around the joint circumference.
- Galvanized Steel Pipe:
 - Join pipe in the manner recommended by manufacturer and in accordance with accepted industry practices.
 - Use factory-made threads wherever possible. Field-cut threads will be permitted only where absolutely necessary. Cut threads on axis using clean, sharp die.
 - Apply Teflon-type tape or pipe joint compound to the male threads only.
- Ductile Iron Pipe:
 - Use push-on joints wherever possible. Use pipe lubricant. Join pipe in the manner recommended by manufacturer and in accordance with accepted industry practices.

B. Instrumentation

COMPASS FILING NO. 4 - SITE PLAN
 PART OF THE NORTHEAST QUARTER AND AN AMENDMENT OF TRACTS B, C, AND J, COMPASS FILING NO.1
 LOCATED IN THE EAST HALF OF SECTION 25
 TOWNSHIP 1 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO
 21.05 ACRES - 146 LOTS - 23 TRACTS
 SP-000964-2018

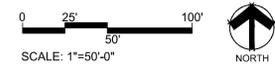


PHOTOMETRIC PLAN

| Luminaire Schedule Symbol | Qty | Manufacturer | Model | LLF | Lum. Watts | Lum. Lumens |
|---------------------------|-----|------------------|-----------------------|-------|------------|-------------|
| = | 584 | Seagull Lighting | 8592-12 or 8538701-12 | 1.000 | 9.5 | 800 |

* RE: SHEET 36 FOR DETAILED FIXTURE & BULB INFO

* MOUNTING HEIGHT 8'



Prepared For
CALATLANTIC HOMES
 Land Planning
 Engineering

WARE MALCOMB
 990 South Broadway Suite 230
 Denver, CO 80209
 1 303-531-3333

COMPASS FILING 4 - SITE PLAN
 ERIE, COLORADO

Drawn by: **GG**
 Checked by: **JP**
 Issue Date: **03/08/2019**
 Revisions:

Sheet Name
 PHOTOMETRIC PLAN
 Sheet Number
35

COMPASS OFFICIAL DEVELOPMENT PLAN

FILING NO. 4

TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

BUILDING MATERIALS

| |
|--|
| <p>MATERIALS AND FINISHES WILL BE DETERMINED PER THE COLOR SCHEMES IN THE COMPASS PAIRED HOMES COLOR BOOK AND WILL BE CHOSEN BY THE HOME BUYER AT THE TIME OF SIGNING OF CONTRACT. THE FOLLOWING MATERIAL LIST PROVIDES MANUFACTURERS INFORMATION AND PRODUCT WARRANTIES.</p> |
| <p>ROOF MATERIALS:</p> <p>GAF TIMBERLINE HD 30-YEAR, 3-TAB ASPHALTIC SHINGLES</p> |
| <p>TRIM MATERIAL:</p> <p>LP SMARTSIDE TRIM & FASCIA FOR ALL WINDOW/DOOR/EXTERIOR CORNER TRIM w/ METAL Z FLASHING ABOVE DOORS/WINDOWS PER PLAN/PER ELEVATION w/ LP BUILDING PRODUCTS PRORATED 50 YEAR LIMITED WARRANTY</p> |
| <p>SIDING MATERIAL:</p> <ul style="list-style-type: none"> • HARDIEPLANK HZ5 LAP SIDING (PER PLAN/ELEVATION) w/ JAMES HARDIE BUILDING PRODUCTS INC. 30 YEAR LIMITED WARRANTY • TRUWOOD DESIGNER SHAKE (FISHSCALE) LAP SIDING (PER PLAN/ELEVATION) w/ COLLINS PRODUCTS LLC 30 YEAR LIMITED WARRANTY • LP SMARTSIDE CEDAR TEXTURE SHAKES w/ LP BUILDING PRODUCTS PRORATED 50 YEAR LIMITED WARRANTY |
| <p>GARAGE DOORS:</p> <p>WAYNE DALTON #5140/9400-24 GAUGE STEEL, INSULATED, STYLE PER ELEVATION WAYNE DALTON #5120/9100-24 GAUGE STEEL, INSULATED, STYLE PER ELEVATION</p> |
| <p>BRICK MATERIAL:</p> <p>ROBINSON MODULAR BRICK BY ENVIRONMENTAL STONEWORKS</p> |
| <p>EXTERIOR FIXTURES & BULB:</p> <p>SEAGULL LIGHTING 8592-12 SEAGULL LIGHTING 8538701-12</p> <p>SATCO - S29596: 9.5 WATT LED, 120 VOLTS, NON-DIMMABLE, FROST FINISH, 800 INITIAL LUMENS</p> |

Vist our web site at www.SeaGullLighting.com
8592-12 - page 1 of 1



8592-12: One Light Outdoor Wall Lantern



Collection: New Castle

Simple Details Create Stylish Outdoor Wall Lantern. Black Finish and Clear Glass.

Simple details create a stylish outdoor lantern. Black finish and clear glass.

UPC #:785652859236

Finish: Black (12)

Shade / Glass / Diffuser Details:

| Part | Material | Finish | Quantity | Item Number | Length | Width | Height | Diameter | Filter Diameter | Shade Top Length | Shade Top Width | Shade Top Diameter |
|-------|----------|--------|----------|-------------|--------|-------|--------|----------|-----------------|------------------|-----------------|--------------------|
| Panel | Glass | Clear | 4 | G500052-32 | | 3 3/8 | 4 5/16 | | | | | |

Backplate / Canopy Details:

| Type | Height / Length | Width | Depth | Diameter | Outlet Box Up | Outlet Box Down |
|------------|-----------------|--------|-------|----------|---------------|-----------------|
| Back Plate | | 2 1/16 | 4 1/2 | | 2 3/4 | 5 1/2 |

Shipping Information:

| Package Type | Product # | Quantity | UPC | Length | Width | Height | Cube | Weight | Frt. Class | UPS Ship |
|--------------|-----------|----------|---------------|--------|-------|--------|--------|--------|------------|----------|
| Individual | 8592-12 | 1 | 785652859236 | 6.75 | 5.75 | 9 | 0.202 | 1.75 | 100 | Yes |
| Master Pack | | 6 | 0785652859233 | 18 | 14.5 | 9.75 | 1.473 | 11.7 | 100 | Yes |
| NJ Pallet | | 378 | | 48 | 40 | 74.5 | 82.778 | 642.6 | | No |
| NV Pallet | | 378 | | 48 | 40 | 73 | 81.111 | 737 | | No |

Sea Gull Lighting reserves the right to revise the design of components of any product due to parts availability or change in safety listing standards without assuming any obligation or liability to modify any products previously manufactured and without notice. This literature depicts a product design that is the sole and exclusive property of Sea Gull Lighting. In compliance with U.S. copyright and patent requirements, notification is hereby presented in this form that this literature, or the product it depicts, is not to be copied, altered or used in any manner without the express written consent of, or contrary to the best interests of Sea Gull Lighting LLC, A Generation Brands Company.

Vist our web site at www.SeaGullLighting.com
8538701-12 - page 1 of 1



8538701-12: Small One Light Uplight Outdoor Wall Lantern



Collection: Sevier

UPC #:785652001307

Finish: Black (12)

Dimensions:

Width: 6 1/2" **Extends:** 7 3/4"
Height: 16 1/4" **Wire:** 6 1/2" (color/Black/White)
Mounting Proc.: Cap Nuts
Connection: Mounted To Box

Bulbs:

1 - Medium A19 100w Max. 120v - Not included

Features:

- Clear bulb(s) recommended for this fixture
- Easily converts to LED with optional replacement lamps
- Meets Title 24 energy efficiency standards
- Title 24 compliant if used with Joint Appendix (JA8) approved light bulbs listed in the California Energy Commission Appliance database.

Material List:

- 1 Cap - Die Cast Aluminum - Black
- 1 Cast Ring - Die Cast Aluminum - Black
- 1 Canopy - Die Cast Aluminum - Black

Safety Listing:

Safety Listed for Wet Locations

Instruction Sheets:

Trilingual (English, Spanish, and French) (990W8538701-8638701-SEV)

Shade / Glass / Diffuser Details:

| Part | Material | Finish | Quantity | Item Number | Length | Width | Height | Diameter | Filter Diameter | Shade Top Length | Shade Top Width | Shade Top Diameter |
|-------|----------|--------|----------|-------------|--------|-------|--------|----------|-----------------|------------------|-----------------|--------------------|
| Panel | Glass | Clear | 6 | | | 2 1/8 | 6 | | | | | |

Backplate / Canopy Details:

| Type | Height / Length | Width | Depth | Diameter | Outlet Box Up | Outlet Box Down |
|------------|-----------------|-------|-------|----------|---------------|-----------------|
| Back Plate | 5 3/8 | 4 1/2 | 7/8 | | 1 1/2 | 2 3/4 |

Shipping Information:

| Package Type | Product # | Quantity | UPC | Length | Width | Height | Cube | Weight | Frt. Class | UPS Ship |
|--------------|------------|----------|--------------|--------|-------|--------|--------|--------|------------|----------|
| Individual | 8538701-12 | 1 | 785652001307 | 15.5 | 10 | 9 | 3.807 | 3.4 | 175 | Yes |
| NJ Pallet | | 104 | | 48 | 40 | 77 | 85.556 | 353.6 | | No |
| NV Pallet | | 96 | | 48 | 40 | 77 | 85.556 | 326.4 | | No |

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■ OWNER/DEVELOPER ■

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 9193 S. Jamaica St., Suite 400
 Englewood, CO, 80112

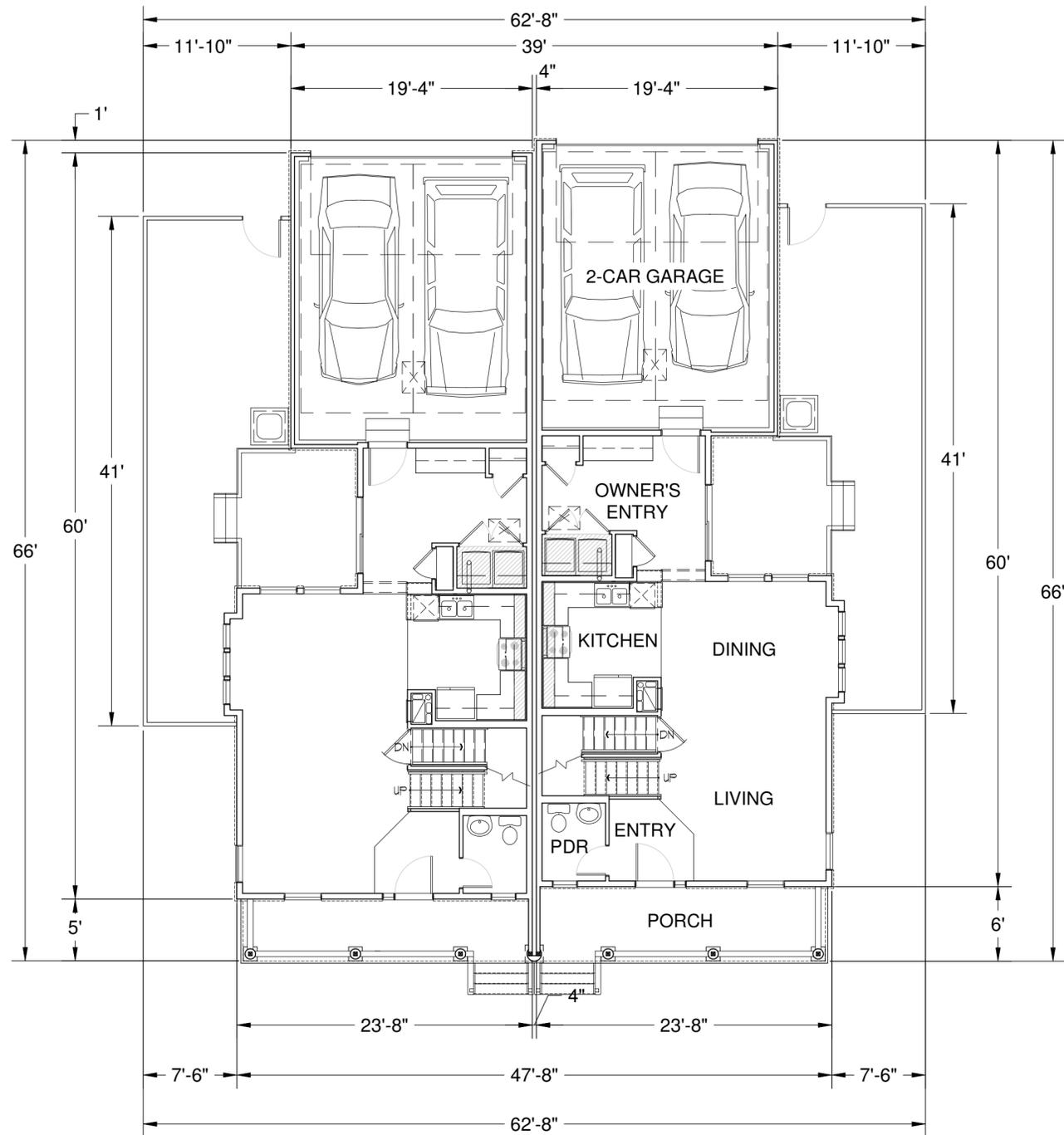
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 Checked by: VBDD - GB
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 Revisions: 00.00.0000

COMPASS OFFICIAL DEVELOPMENT PLAN

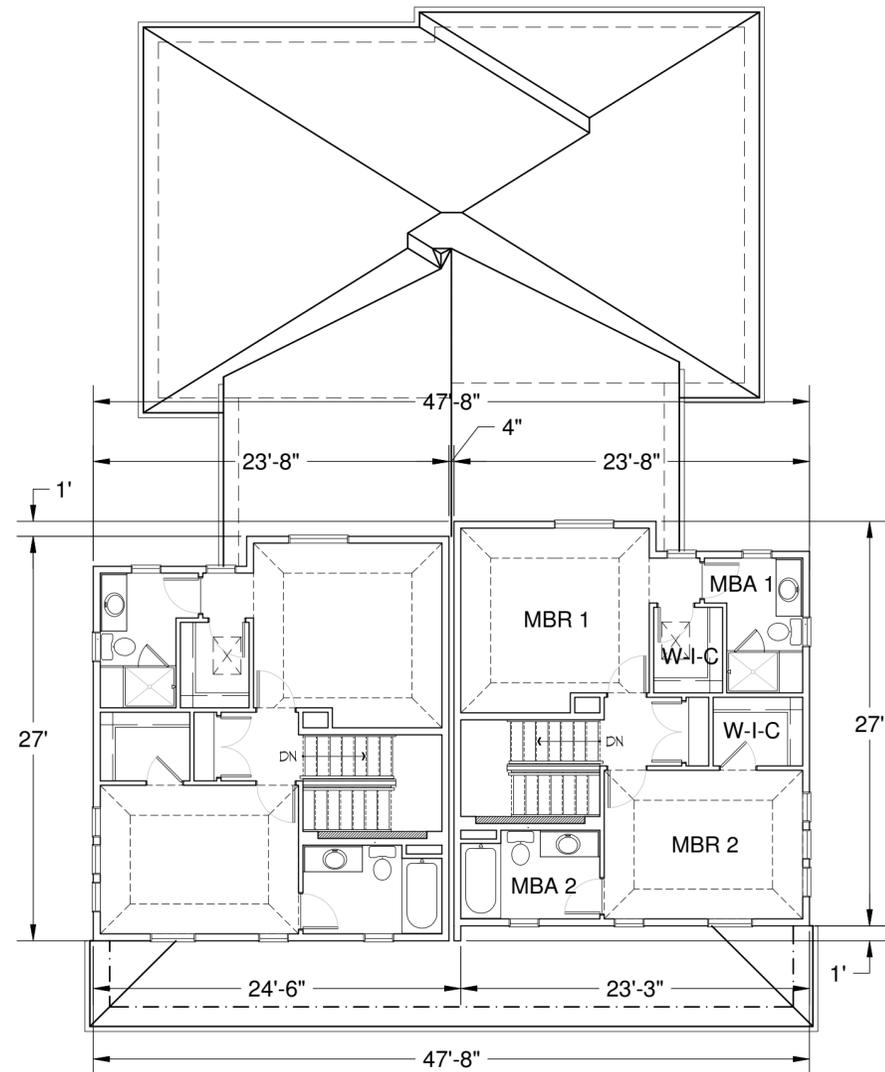
FILING NO. 4

TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

| SQUARE FOOTAGE | | |
|----------------------|-------------|--------------|
| MAIN FLOOR | 764 | Sqft. |
| UPPER FLOOR | 556 | Sqft. |
| TOTAL | 1320 | Sqft. |
| CRAWL SPACE BASEMENT | 147 | Sqft. |
| UNFINISHED BASEMENT | 537 | Sqft. |
| GARAGE | 453 | Sqft. |



PLAN 2421-1305 & 1306 MAIN FLOOR ELEVATION "CL"
SCALE: 1/16" = 1'-0"



PLAN 2421-1305 & 1306 UPPER FLOOR ELEVATION "CL"
SCALE: 1/16" = 1'-0"

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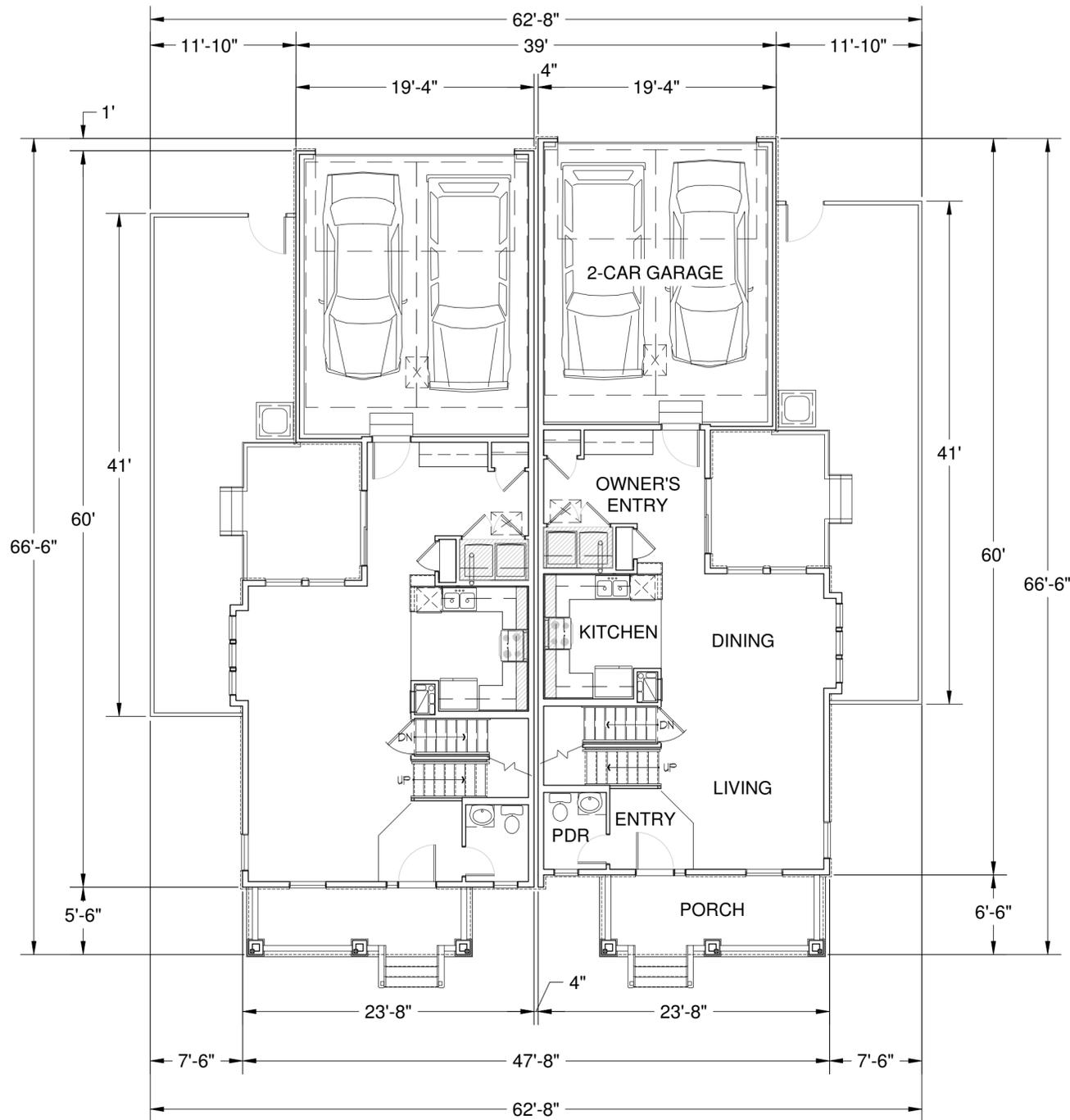
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Revisions: 00.00.0000

COMPASS OFFICIAL DEVELOPMENT PLAN

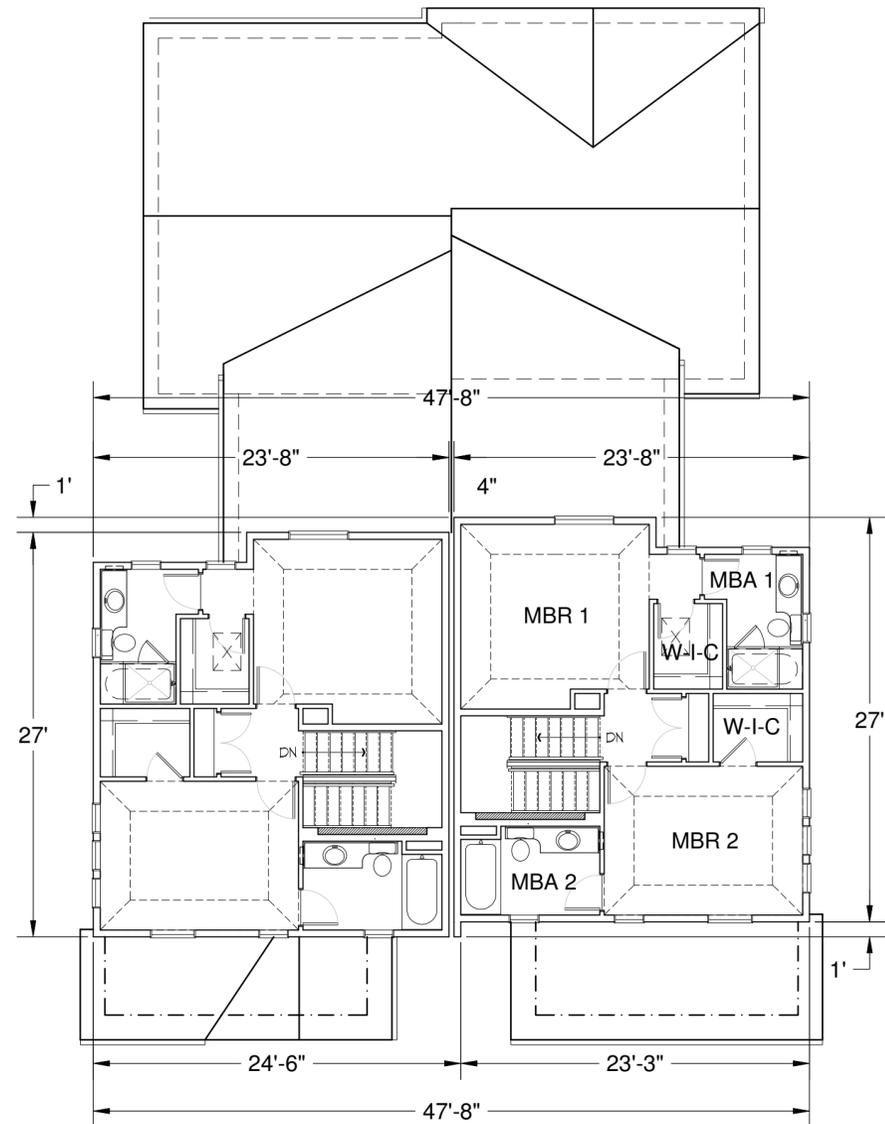
FILING NO. 4

TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

| SQUARE FOOTAGE | | |
|----------------------|-------------|--------------|
| MAIN FLOOR | 764 | Sqft. |
| UPPER FLOOR | 556 | Sqft. |
| TOTAL | 1320 | Sqft. |
| CRAWL SPACE BASEMENT | 147 | Sqft. |
| UNFINISHED BASEMENT | 537 | Sqft. |
| GARAGE | 453 | Sqft. |



PLAN 2421-1305 & 1306 MAIN FLOOR ELEVATION "CR"
SCALE: 1/16" = 1'-0"



PLAN 2421-1305 & 1306 UPPER FLOOR ELEVATION "CR"
SCALE: 1/16" = 1'-0"

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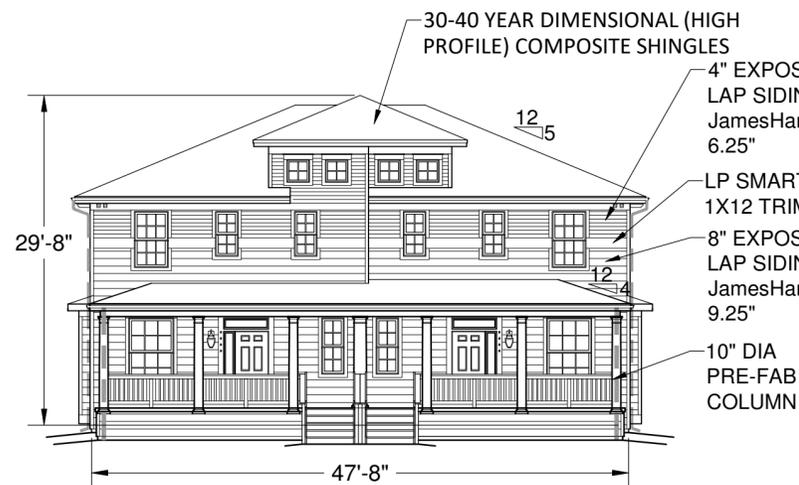
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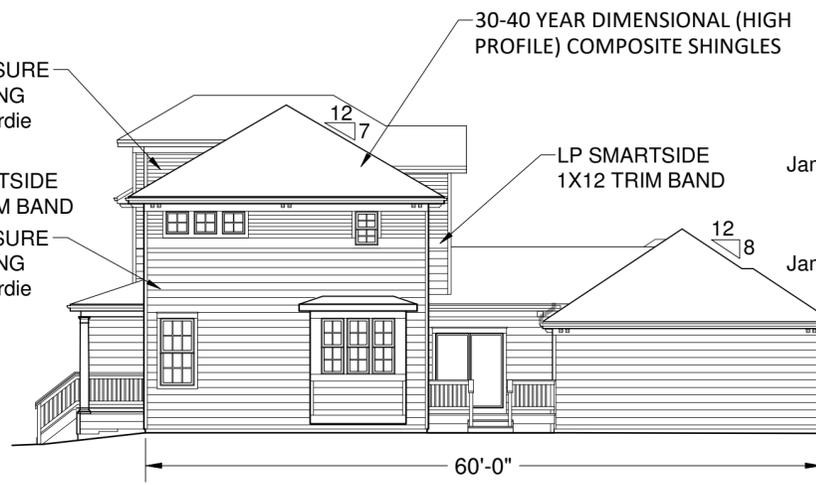
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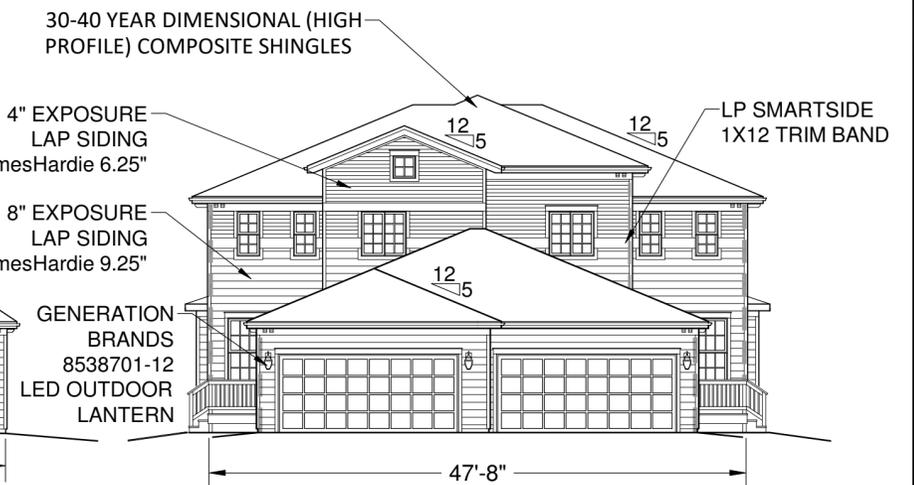
TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO



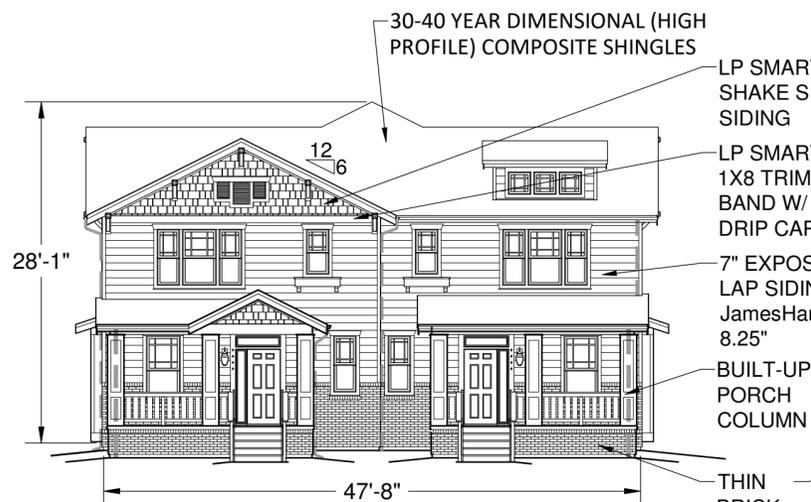
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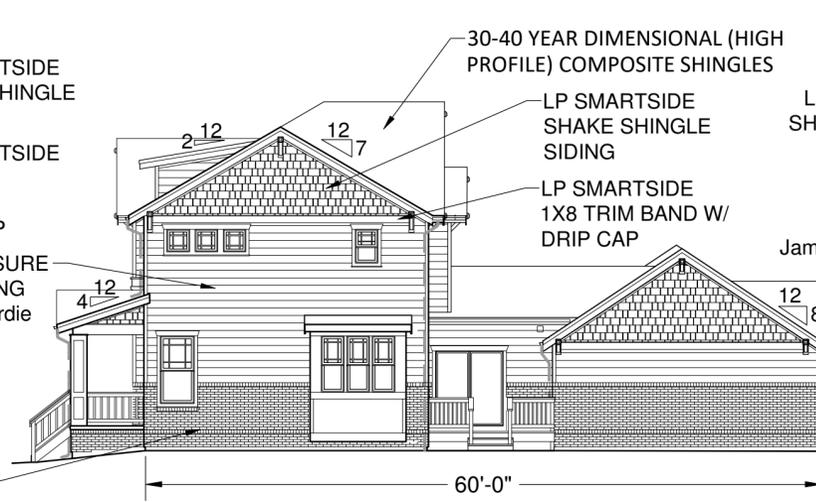
PLAN 2421-1305 & 1306 RIGHT ELEVATION "CL" (LEFT ELEV. SIMILAR)



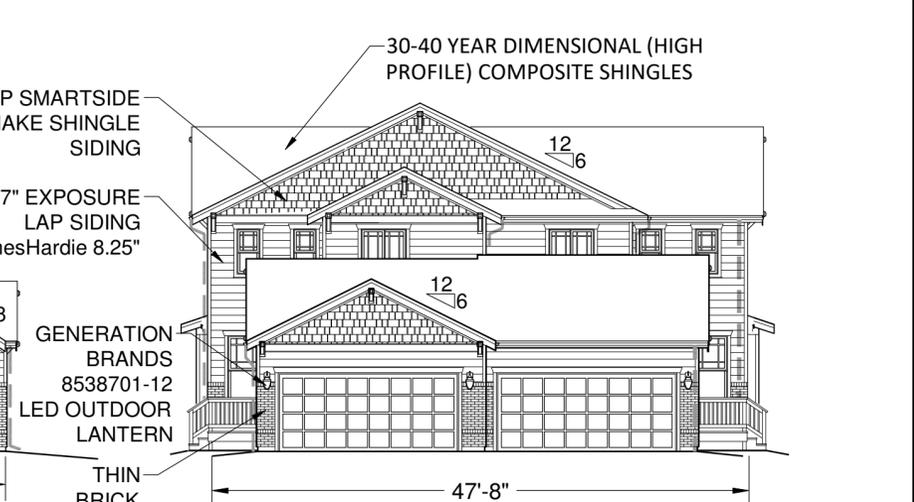
PLAN 2421-1305 & 1306 REAR ELEVATION "CL"



PLAN 2421-1305 & 1306 FRONT ELEVATION "CR"



PLAN 2421-1305 & 1306 RIGHT ELEVATION "CR" (LEFT ELEV. SIMILAR)



PLAN 2421-1305 & 1306 REAR ELEVATION "CR"

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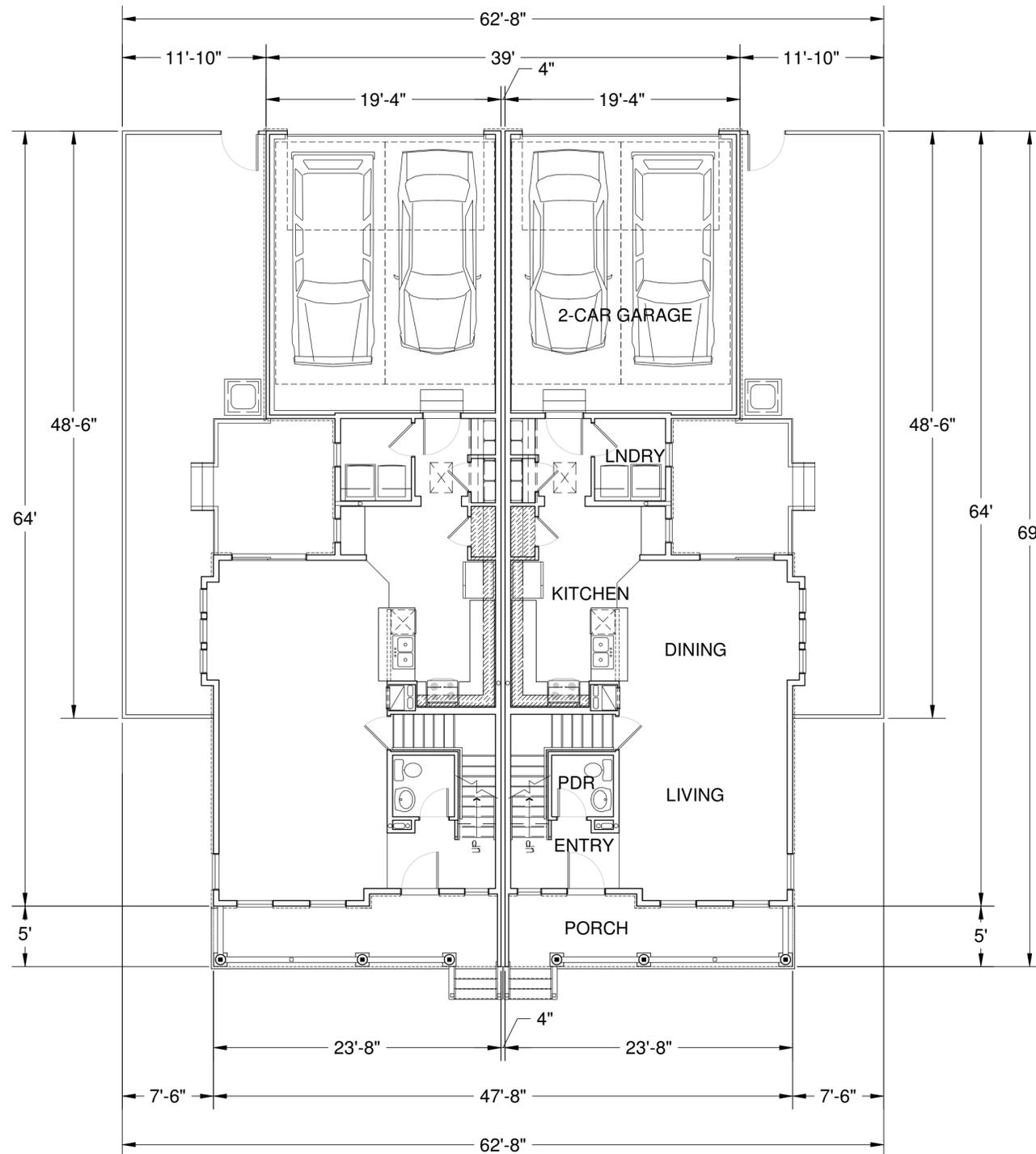
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COMPASS OFFICIAL DEVELOPMENT PLAN

FILING NO. 4

TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

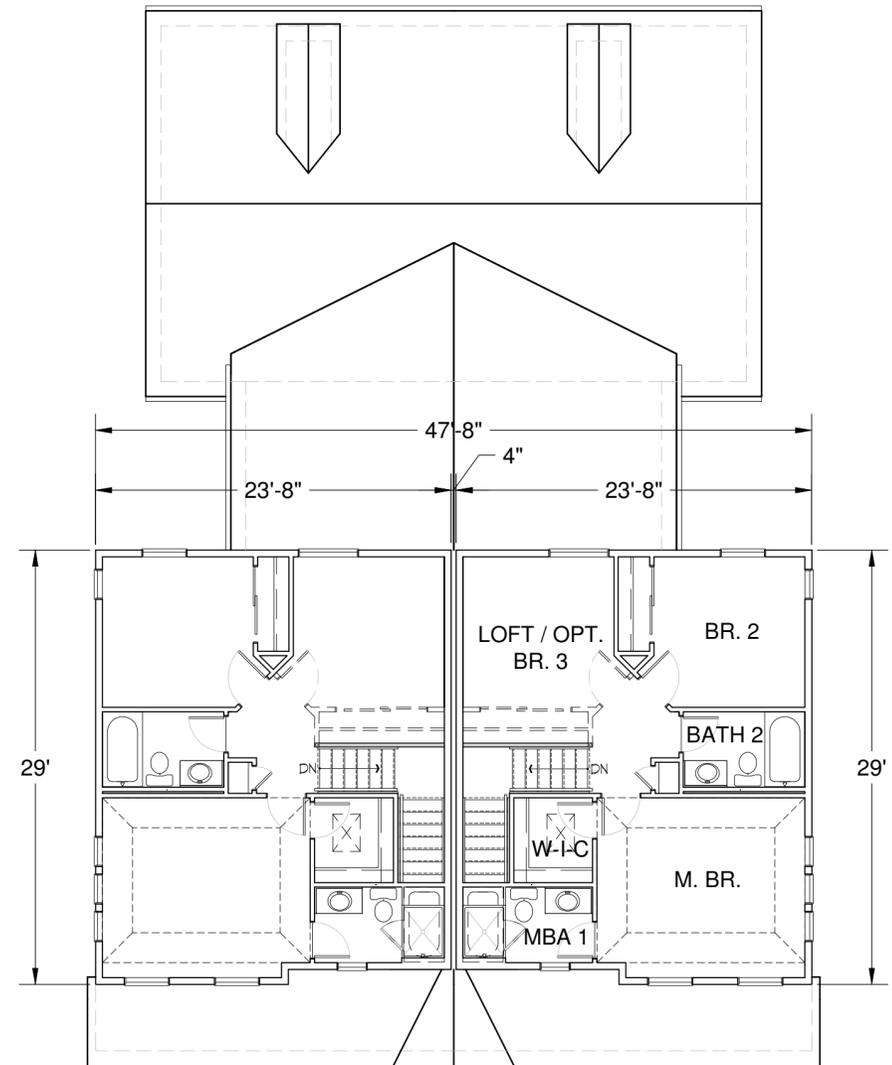
| SQUARE FOOTAGE | | |
|----------------------|-------------|--------------|
| MAIN FLOOR | 845 | Sqft. |
| UPPER FLOOR | 631 | Sqft. |
| TOTAL | 1476 | Sqft. |
| CRAWL SPACE BASEMENT | 144 | Sqft. |
| UNFINISHED BASEMENT | 617 | Sqft. |
| GARAGE | 453 | Sqft. |



PLAN 2422-1466 & 1467 MAIN FLOOR ELEVATION "CL"
SCALE: 1/16" = 1'-0"

■ OWNER/DEVELOPER ■

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Englewood, CO, 80112



PLAN 2422-1466 & 1467 UPPER FLOOR ELEVATION "CL"
SCALE: 1/16" = 1'-0"

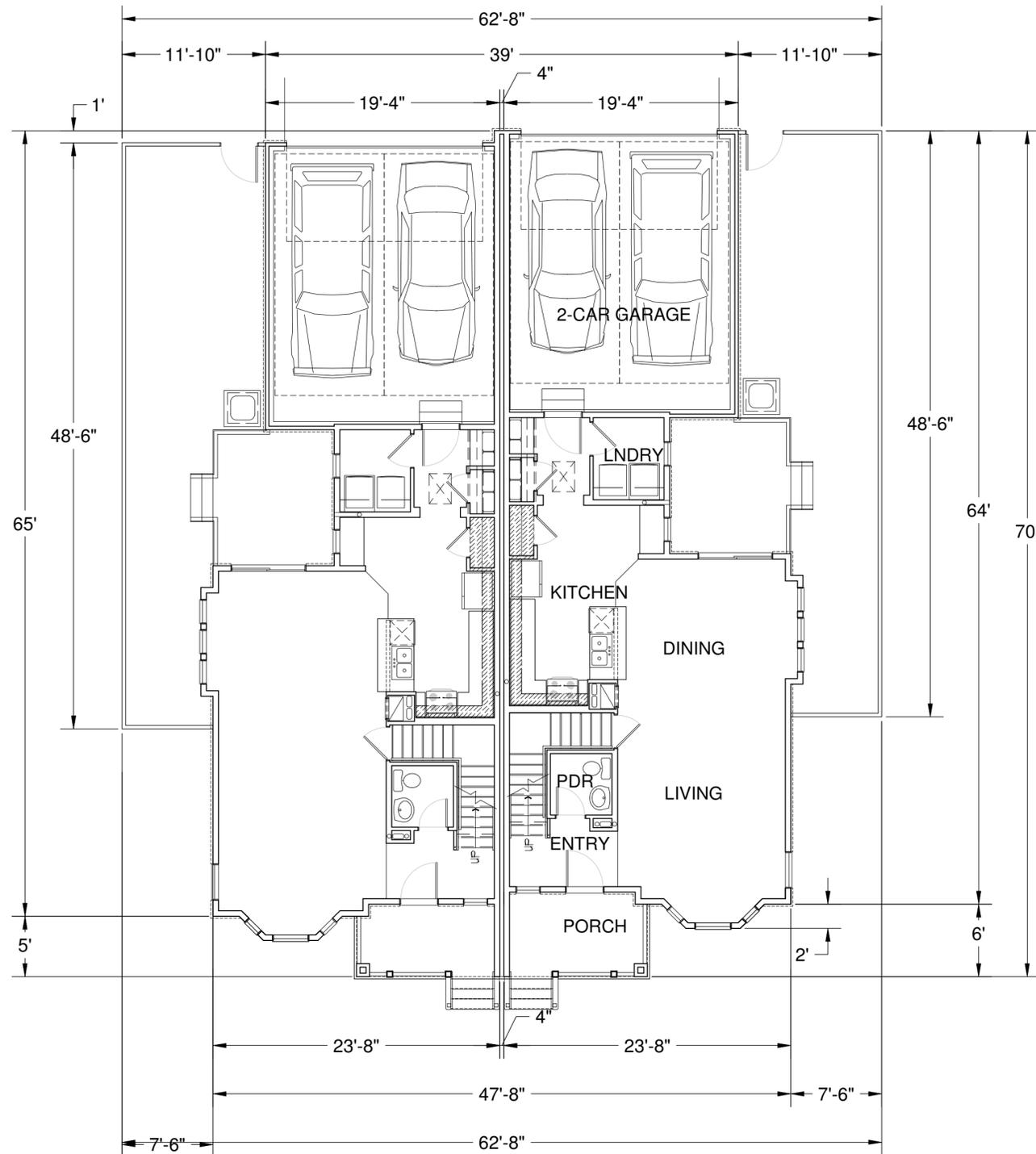
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Revisions: 00.00.0000

COMPASS OFFICIAL DEVELOPMENT PLAN

FILING NO. 4

TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

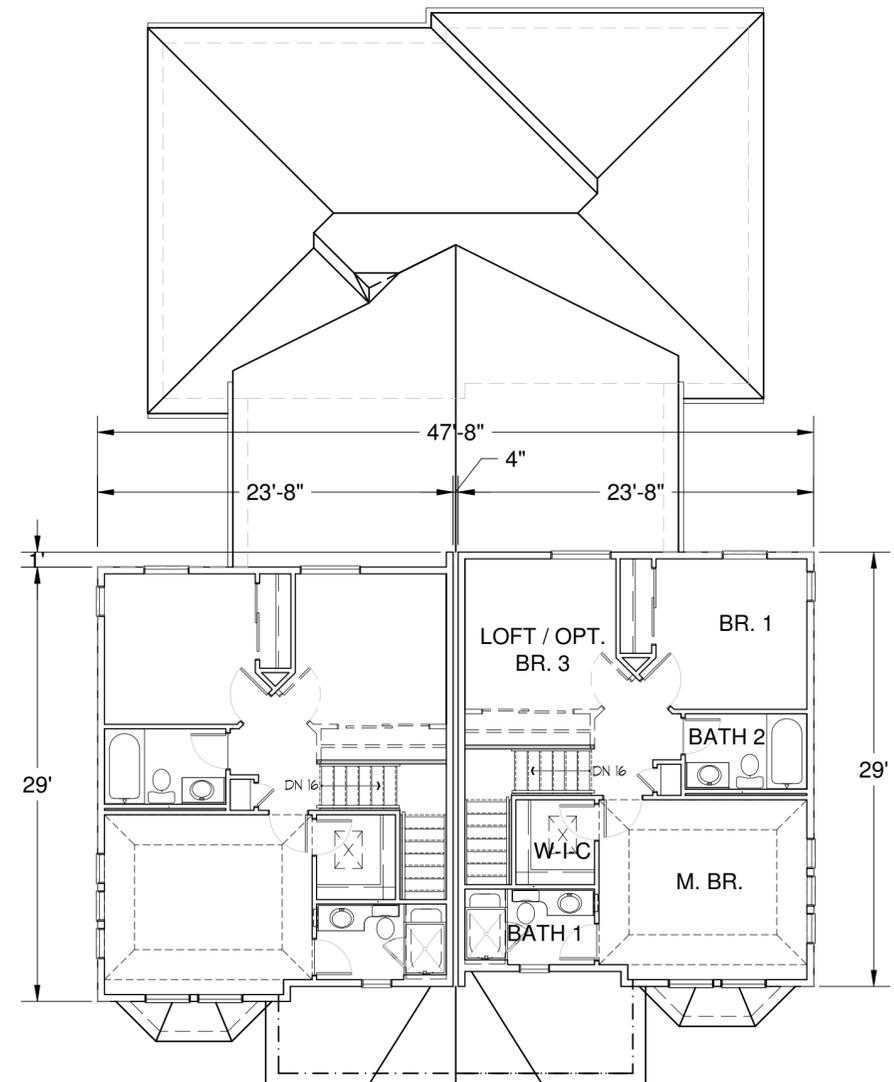
| SQUARE FOOTAGE | | |
|----------------------|-------------|--------------|
| MAIN FLOOR | 858 | Sqft. |
| UPPER FLOOR | 631 | Sqft. |
| TOTAL | 1489 | Sqft. |
| CRAWL SPACE BASEMENT | 144 | Sqft. |
| UNFINISHED BASEMENT | 617 | Sqft. |
| GARAGE | 453 | Sqft. |



PLAN 2422-1466 & 1467 MAIN FLOOR ELEVATION "VC"
SCALE: 1/16" = 1'-0"

■ OWNER/DEVELOPER ■

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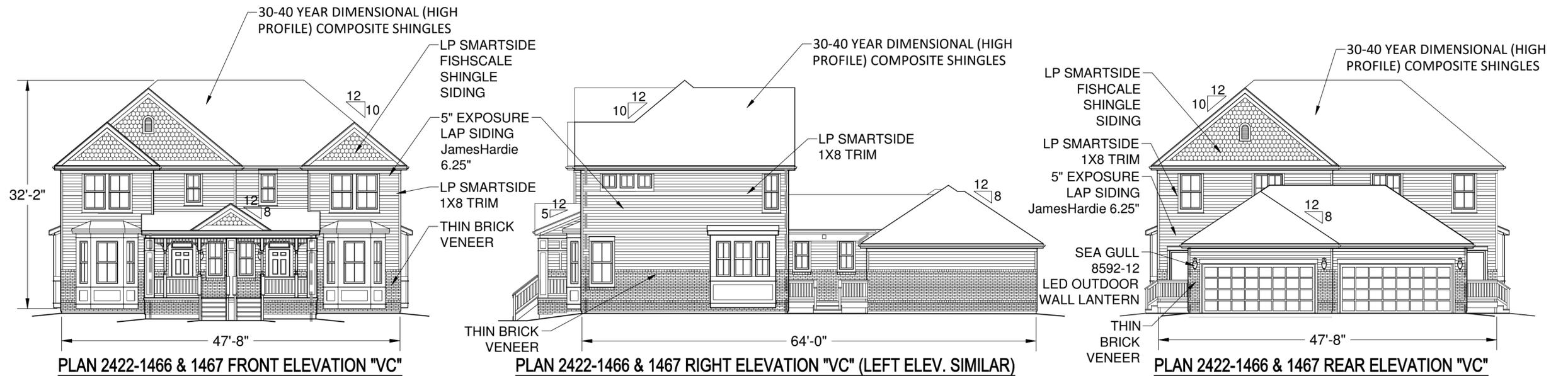
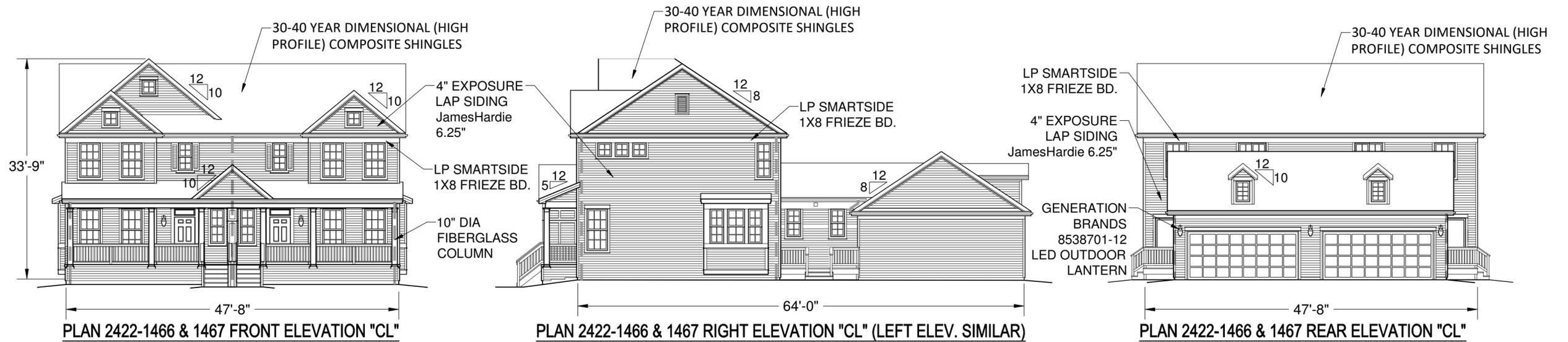
PLAN 2422-1466 & 1467 UPPER FLOOR ELEVATION "VC"
SCALE: 1/16" = 1'-0"

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COMPASS OFFICIAL DEVELOPMENT PLAN

FILING NO. 4

TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO



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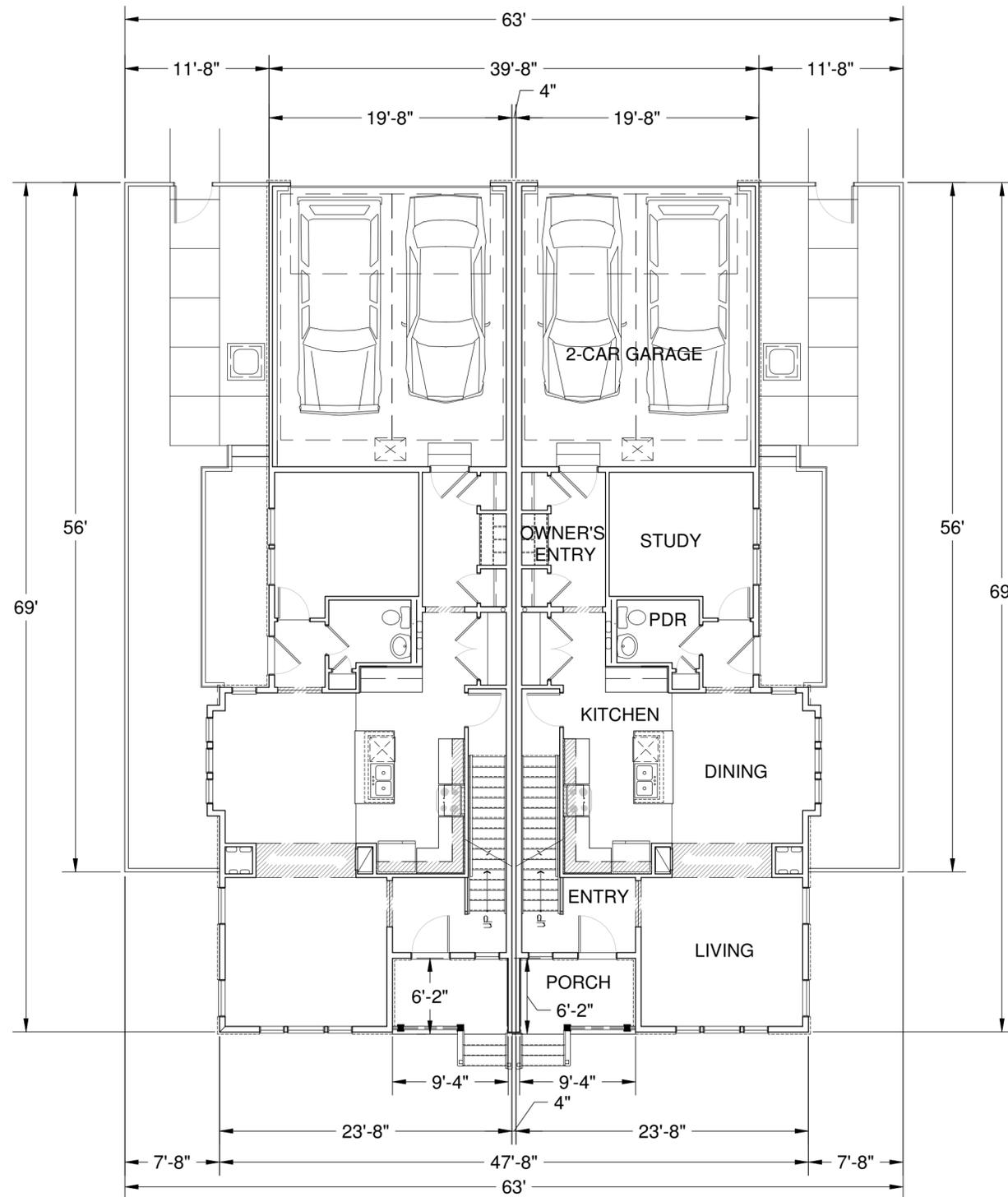
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Revisions: 00.00.0000

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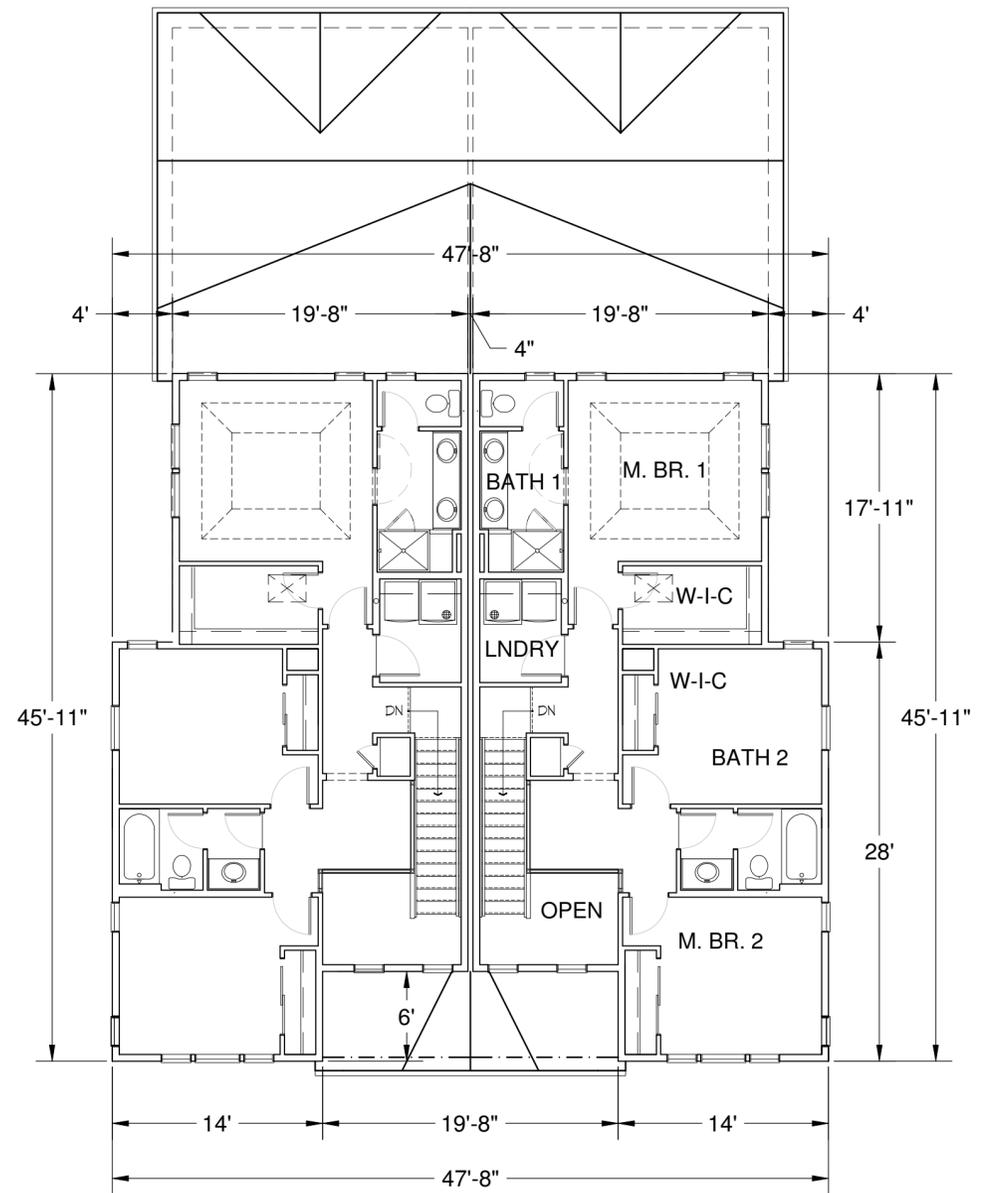
FILING NO. 4

TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

| SQUARE FOOTAGE | | |
|----------------------|-------------|--------------|
| MAIN FLOOR | 966 | Sqft. |
| UPPER FLOOR | 849 | Sqft. |
| TOTAL | 1815 | Sqft. |
| CRAWL SPACE BASEMENT | 323 | Sqft. |
| UNFINISHED BASEMENT | 545 | Sqft. |
| GARAGE | 454 | Sqft. |



PLAN 2423-1806 & 1807 MAIN FLOOR ELEVATION "VC"
SCALE: 1/16" = 1'-0"



PLAN 2423-1806 & 1807 UPPER FLOOR ELEVATION "VC"
SCALE: 1/16" = 1'-0"

■ OWNER/DEVELOPER ■

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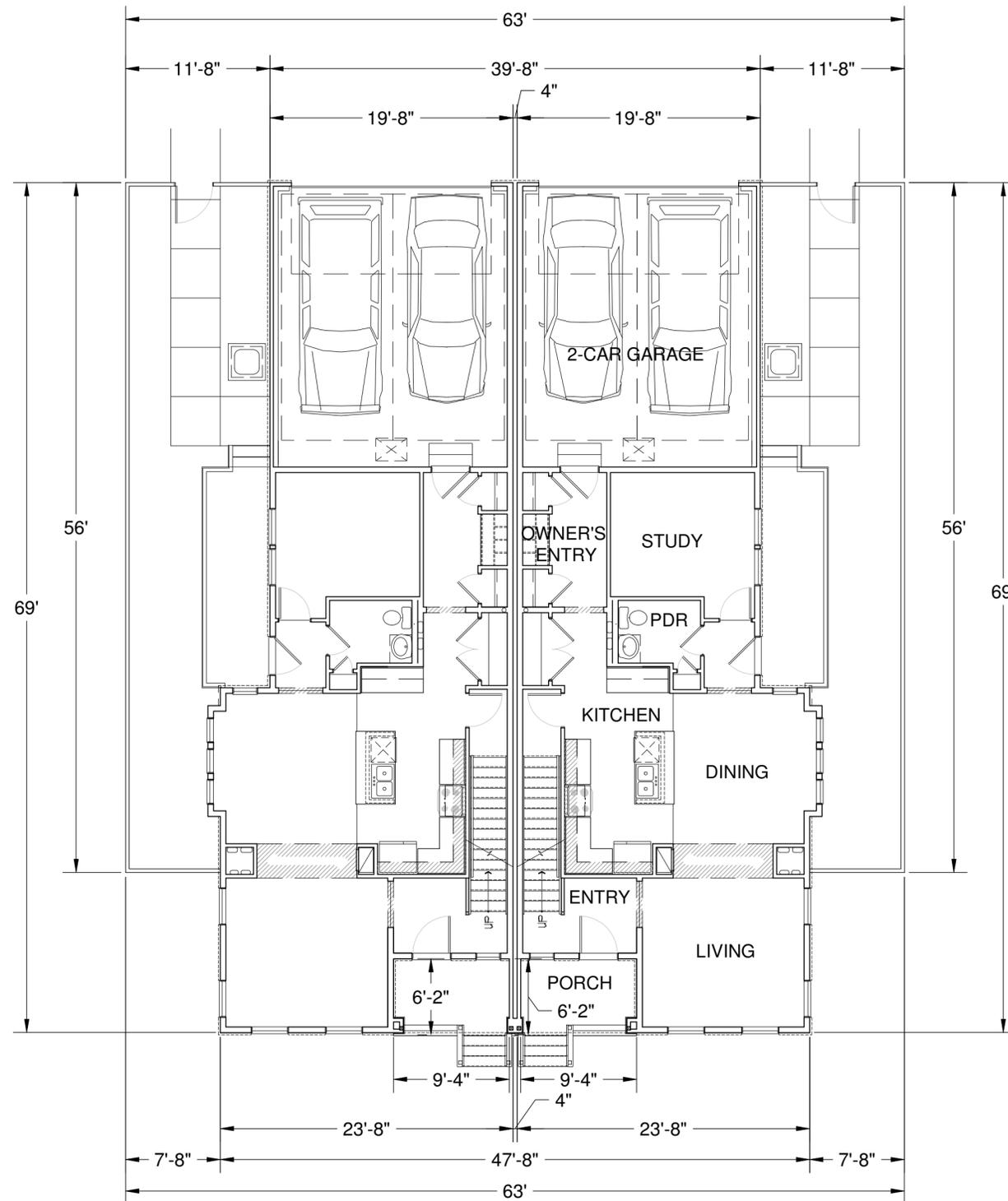
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COMPASS OFFICIAL DEVELOPMENT PLAN

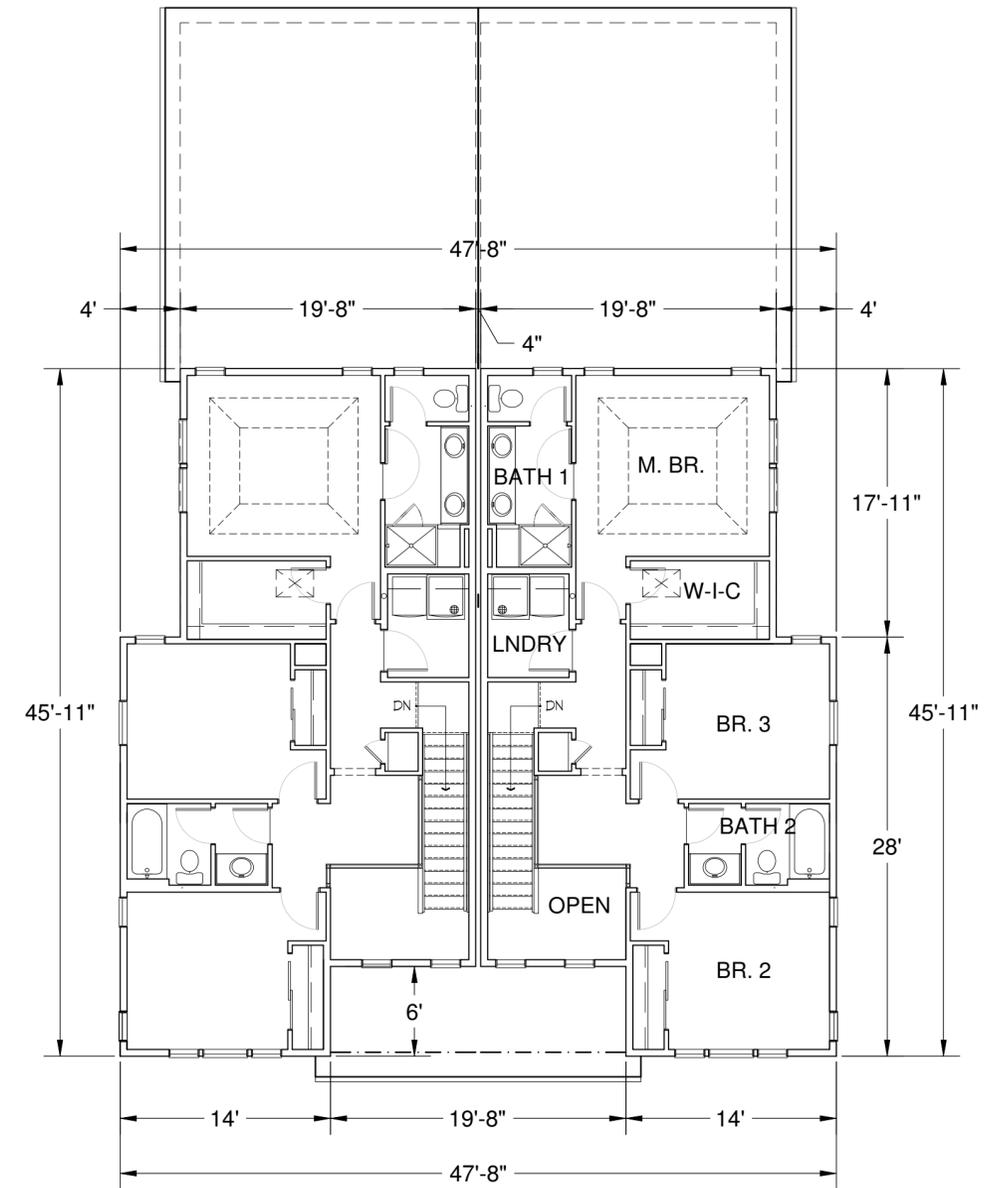
FILING NO. 4

TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO

| SQUARE FOOTAGE | | |
|----------------------|------|-------|
| MAIN FLOOR | 966 | Sqft. |
| UPPER FLOOR | 849 | Sqft. |
| TOTAL | 1815 | Sqft. |
| CRAWL SPACE BASEMENT | 323 | Sqft. |
| UNFINISHED BASEMENT | 545 | Sqft. |
| GARAGE | 454 | Sqft. |



PLAN 2423-1806 & 1807 MAIN FLOOR ELEVATION "CR"
SCALE: 1/16" = 1'-0"



PLAN 2423-1806 & 1807 UPPER FLOOR ELEVATION "CR"
SCALE: 1/16" = 1'-0"

■ OWNER/DEVELOPER ■

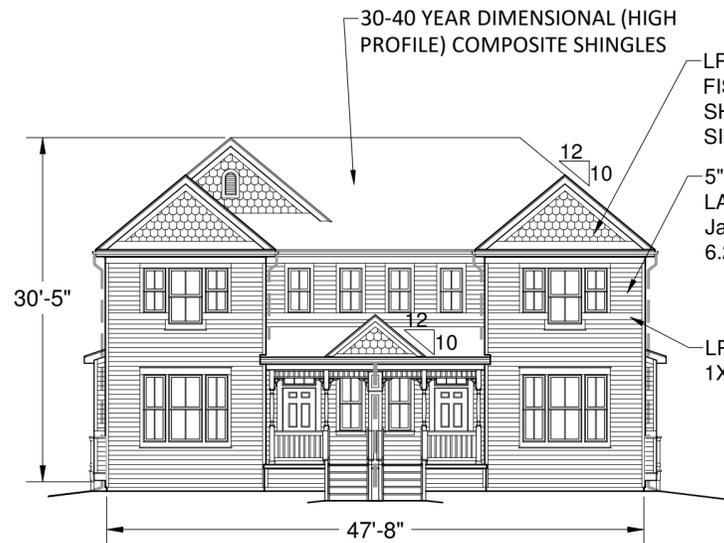
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Revisions: 00.00.0000

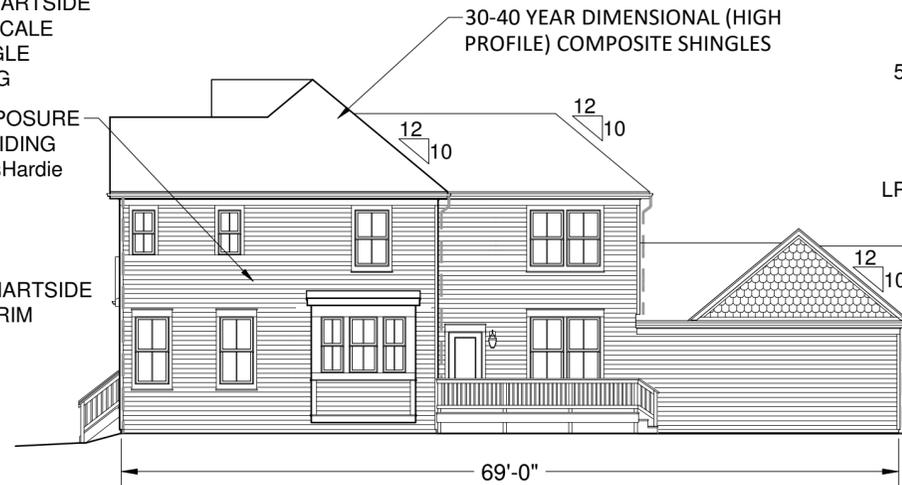
COMPASS OFFICIAL DEVELOPMENT PLAN

FILING NO. 4

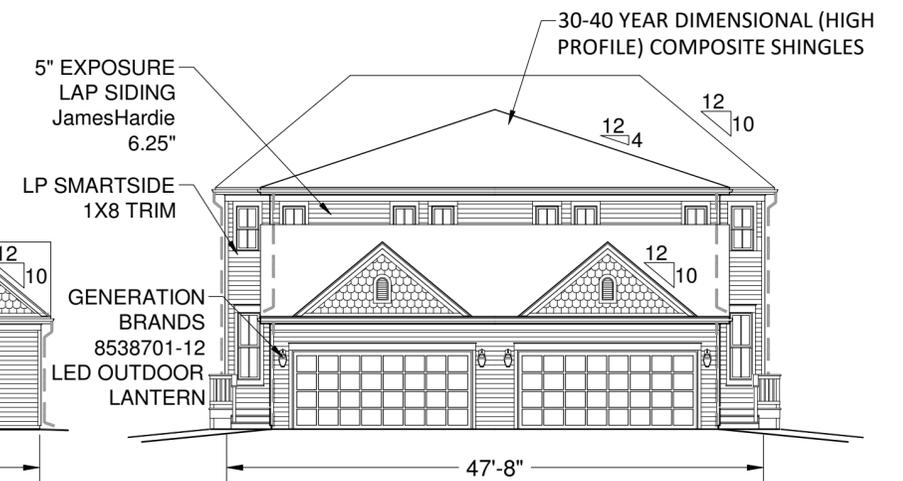
TOWN OF ERIE, COUNTY OF BOULDER, STATE OF COLORADO



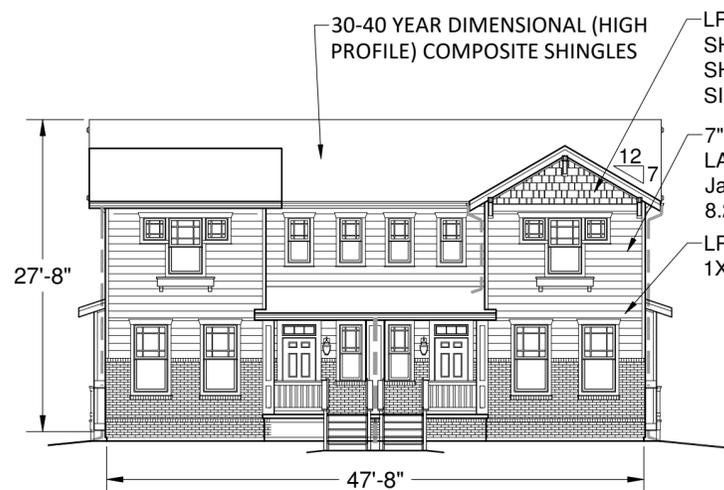
PLAN 2423-1806 & 1807 FRONT ELEVATION "CL"



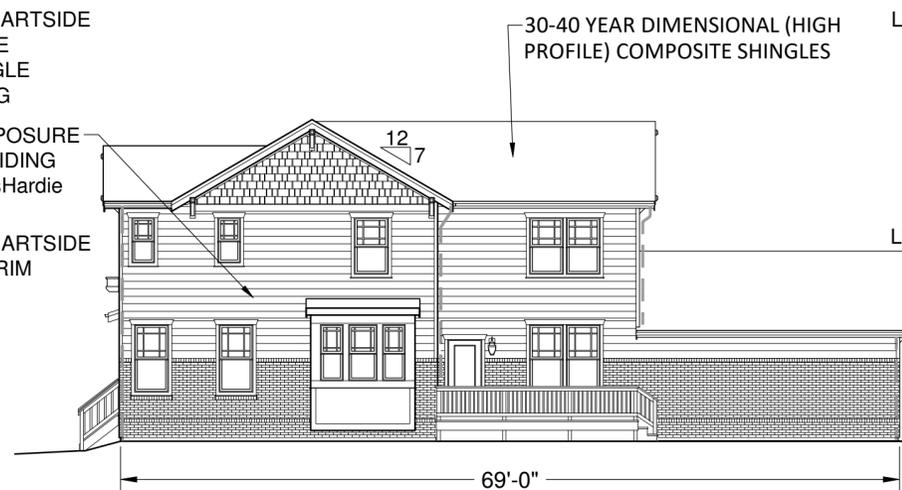
PLAN 2423-1806 & 1807 RIGHT ELEVATION "CL" (LEFT ELEV. SIMILAR)



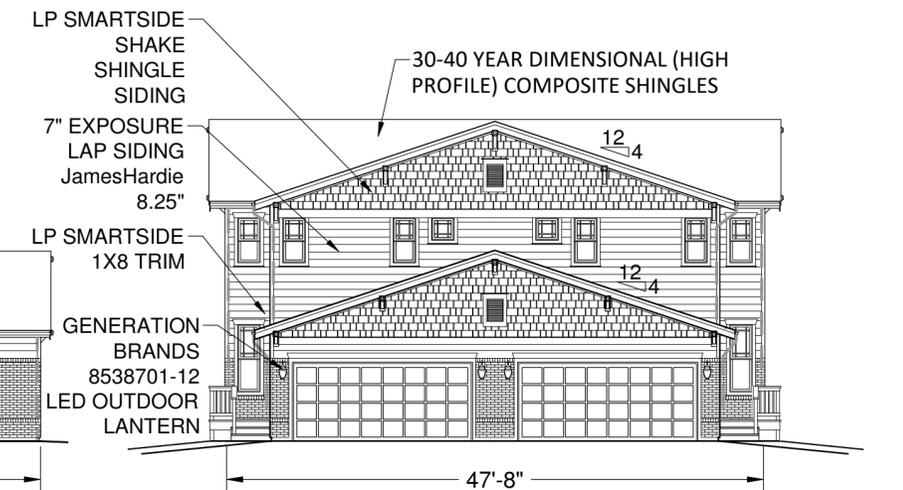
PLAN 2423-1806 & 1807 REAR ELEVATION "CL"



PLAN 2423-1806 & 1807 FRONT ELEVATION "CR"



PLAN 2423-1806 & 1807 RIGHT ELEVATION "CR" (LEFT ELEV. SIMILAR)



PLAN 2423-1806 & 1807 REAR ELEVATION "CR"

■ OWNER/DEVELOPER ■

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Englewood, CO, 80112

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Issue Date: 3.6.2019
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