



# SPRING HILL

## PLANNED DEVELOPMENT

10 ACRE  
SCHOOL

February - 2022

PROJECT TEAM

# SPRING HILL

---

01

PROPERTY OWNERSHIP  
I & J Partnership/Moradi Holdings

02

PROPERTY DEVELOPER  
ME Erie, LLC

03

PLANNING & LANDSCAPE  
ARCHITECTURE  
PCS Group, Inc.

04

CIVIL ENGINEERING  
CVL Consultants of Colorado, Inc.

05

GEOLOGIC CONSULTANT  
Soilogic, Inc.

06

ENVIRONMENTAL CONSULTANT  
Western Environment and Ecology, Inc.

07

TRAFFIC ENGINEER  
LSC Transportation Consultants, Inc.

08

VEGETATION SURVEY  
Ecological Resource Consultants, Inc.

09

CULTURAL SURVEY  
A & B Cultural Consultants, LLC

10

RESTORATION SPECIALIST  
Duraroot, LLC

# PROPERTY HISTORY

MARCH - 2014

## Annexation and Zoning

Following a process that started in 2006, in March of 2014 the property was Annexed to the Town of Erie, and Zoned as Low Density Residential.

APRIL to AUGUST - 2014

## Andalusia Previous Plan

Our team has reviewed the comments that were made on the Preliminary Plat submittal that was made in August of 2014, and we have incorporated these comments into the new planning for the property.

MID – 2019 -2021

## Andalusia PD & Preliminary Plat

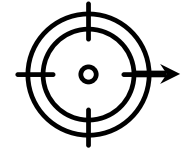
Our team has spent the last couple of years refining the plan and working with the Oil & Gas operators to get agreements to plug and abandon all of the existing wells on the property.

DECEMBER - 2021

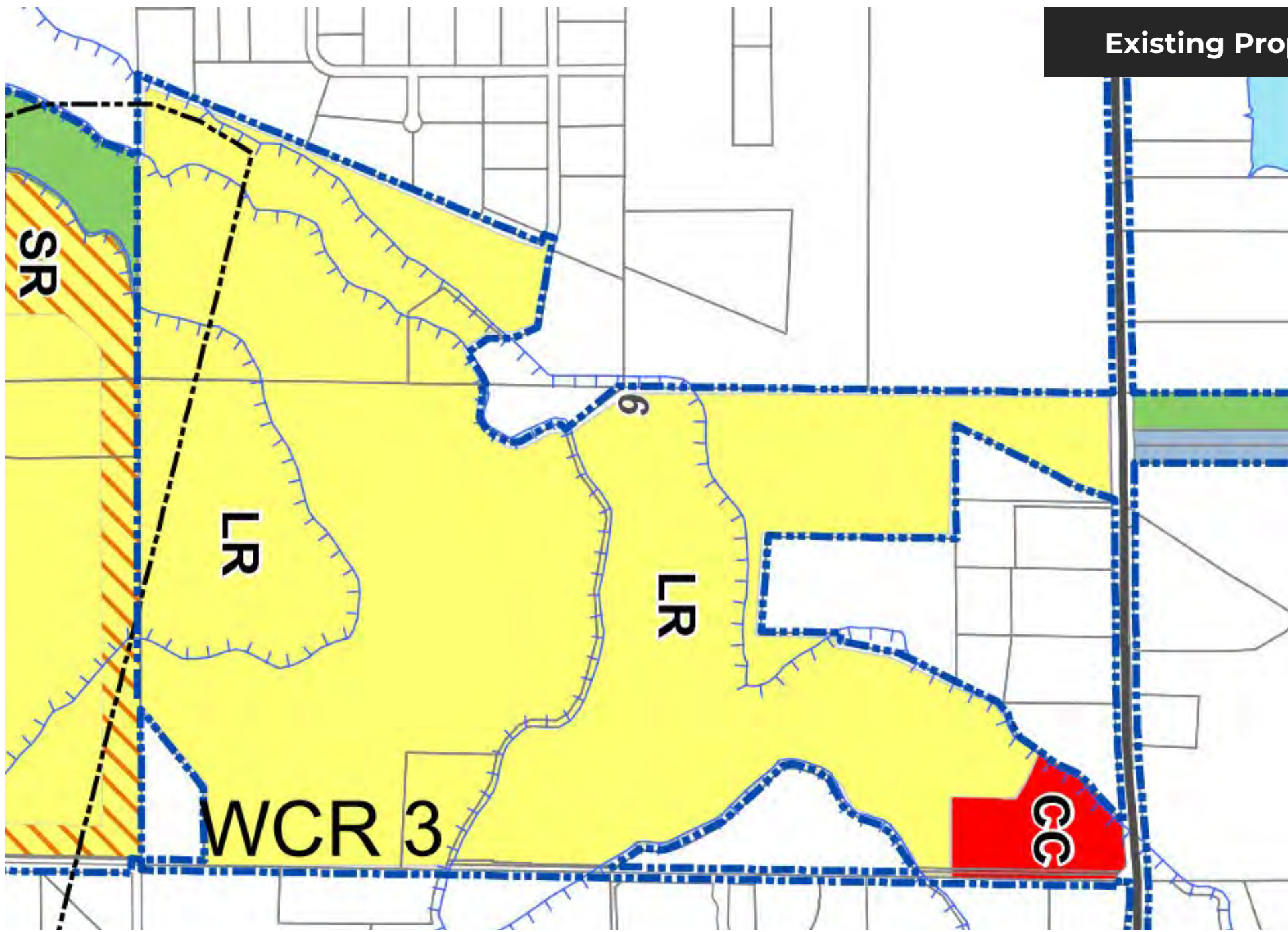
## Spring Hill PD

This evening we are presenting the PD Zoning for the Spring Hill community.

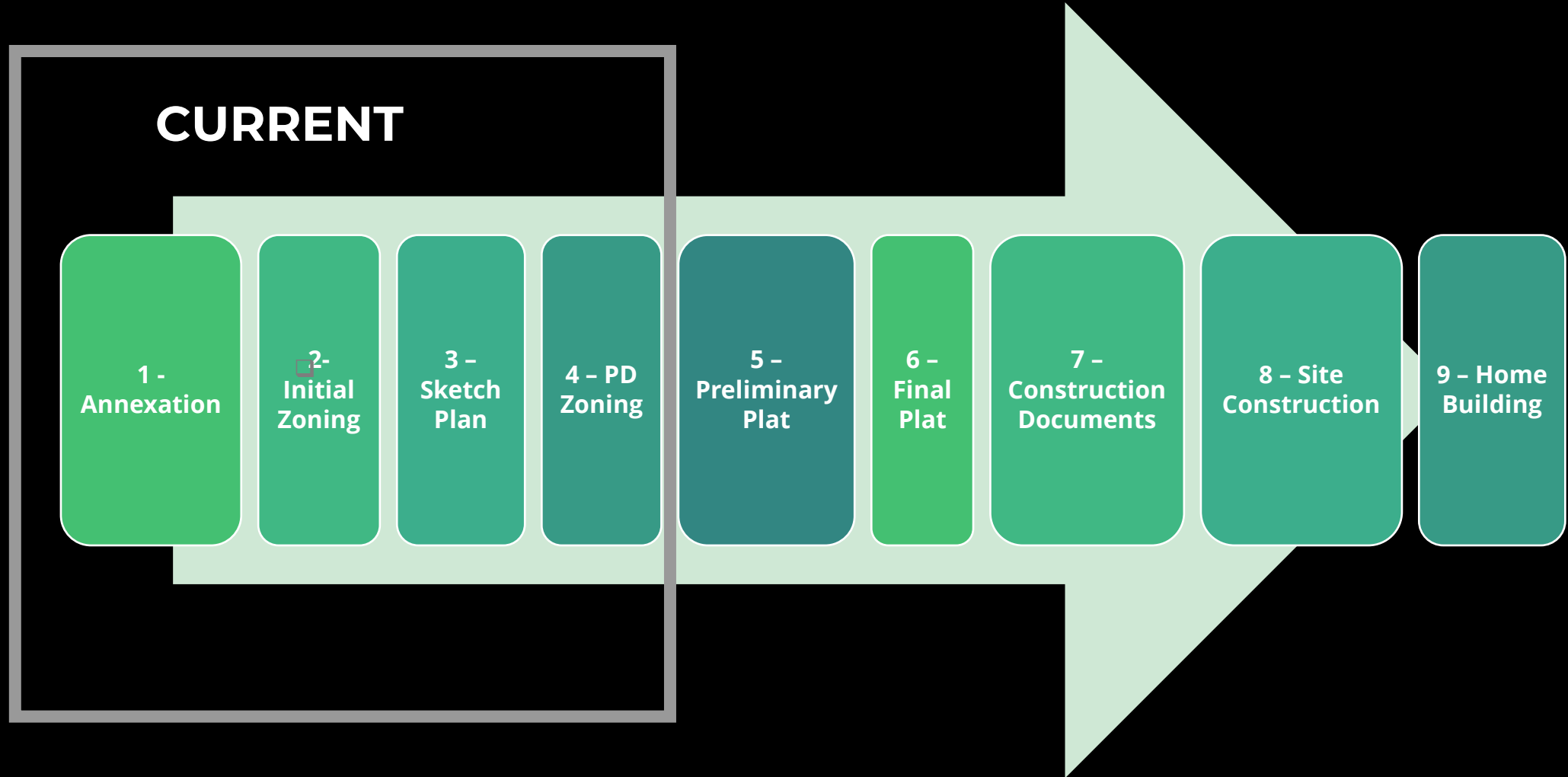
# Existing Property Zoning



North



# WHERE ARE WE IN THE PROCESS?



NEIGHBORHOOD MEETINGS/CONVERSATIONS

# SPRING HILL

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01

OCTOBER 11, 2021  
ZOOM Meeting

02

OCTOBER 17, 2021  
Follow up conference call

03

MID-OCTOBER THROUGH DECEMBER, 2021  
Ongoing e-mail correspondance

04

JANUARY 4, 2022  
Erie Recreation Center

05

JANUARY 6  
Voluntarily delay BOT hearing

06

JANUARY 13 - MORNING  
Met with Western and North properties  
on site

07

JANUARY 13 - AFTERNOON  
Met with North properties on site

08

JANUARY 25, 2022  
Erie Recreation Center



# SPRING HILL

## PROPERTY ANALYSIS

10 ACRE  
SCHOOL

FEBRUARY - 2022

# SPRING HILL PD

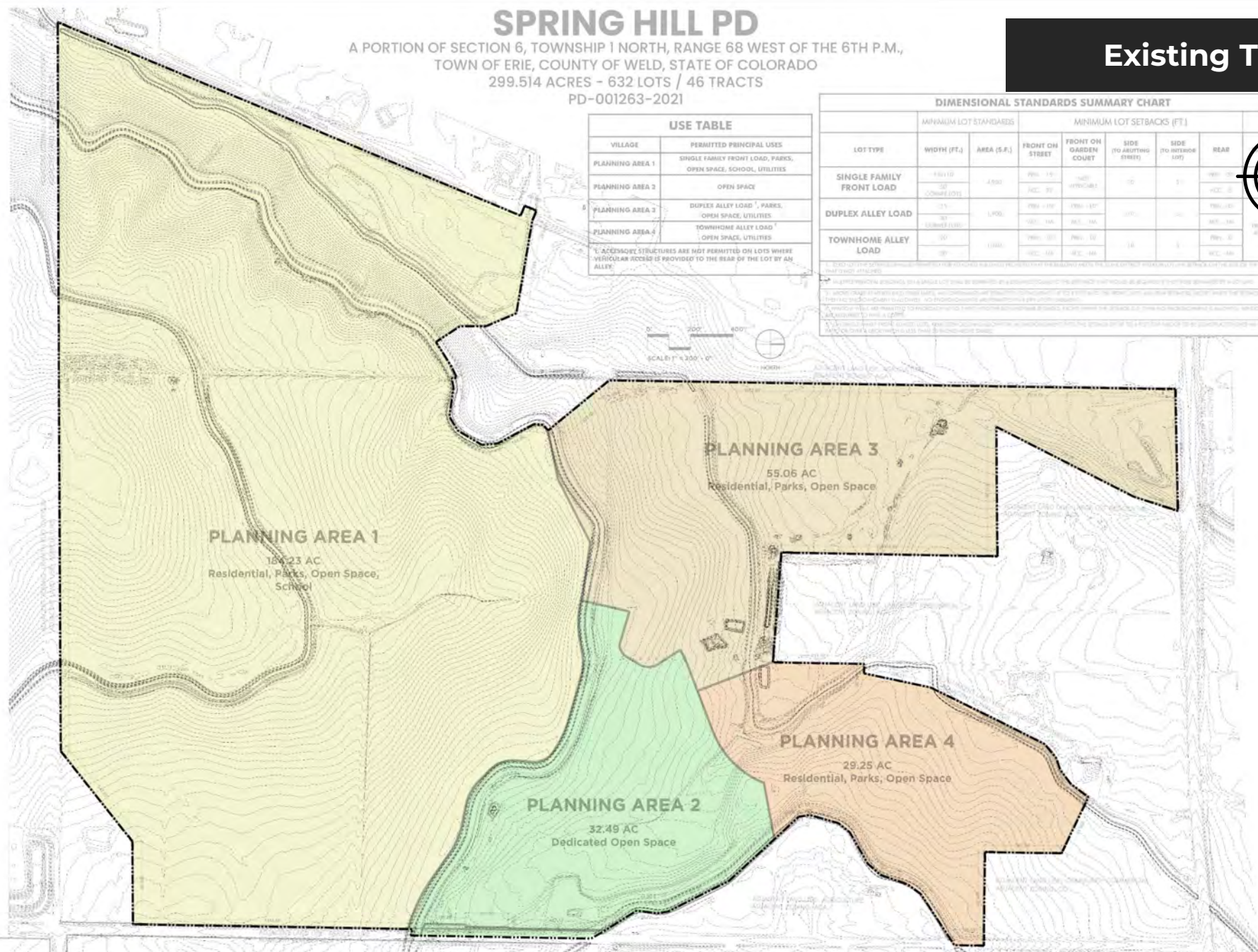
A PORTION OF SECTION 6, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH P.M.,  
TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO  
299.514 ACRES - 632 LOTS / 46 TRACTS  
PD-001263-2021

## Existing Topography

USE TABLE	
VILLAGE	PERMITTED PRINCIPAL USES
PLANNING AREA 1	SINGLE FAMILY FRONT LOAD, PARKS, OPEN SPACE, SCHOOL, UTILITIES
PLANNING AREA 3	OPEN SPACE
PLANNING AREA 2	DUPLEX ALLEY LOAD <sup>1</sup> , PARKS, OPEN SPACE, UTILITIES
PLANNING AREA 4	TOWNHOME ALLEY LOAD <sup>1</sup> , OPEN SPACE, UTILITIES

<sup>1</sup> ACCESSORY STRUCTURES ARE NOT PERMITTED ON LOTS WHERE VEHICULAR ACCESS IS PROVIDED TO THE REAR OF THE LOT BY AN ALLEY.

LOT TYPE	MINIMUM LOT STANDARDS		MINIMUM LOT SETBACKS (FT)				
	WIDTH (FT)	AREA (S.F.)	FRONT ON STREET	FRONT ON ADJACENT COUET	SIDE (TO ADJACENT STREET)	SIDE (TO INTERIOR LOT)	REAR
SINGLE FAMILY FRONT LOAD	150 (150' MINIMUM)	4,500	100' - 15'	NOT APPLICABLE	10'	5'	100'
DUPLEX ALLEY LOAD	30'	1,500	100' - 15'	100' - 15'	100'	5'	100' - 15'
TOWNHOME ALLEY LOAD	30'	1,000	100' - 15'	100' - 15'	10'	5'	100' - 15'



pcs group  
200 KALAMATH STREET  
DENVER, CO 80223  
303.537.1111  
a Westwood team  
10333 E. DRY CREEK RD.  
SUITE 240, ENGLEWOOD  
CO 80122  
770.482.9536  
www.cvrinc.net  
www.westwoodpc.com

**SPRING HILL PD**  
ERIE, COLORADO

DRAWN BY: JEM  
CHECKED BY: JP  
DATE: 3-15-2021  
7-15-2021  
8-8-2021  
10-28-2021

SHEET NAME  
PD  
PLANNING  
AREAS

SHEET NUMBER  
2 OF 3



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## Existing Irrigation Ditches

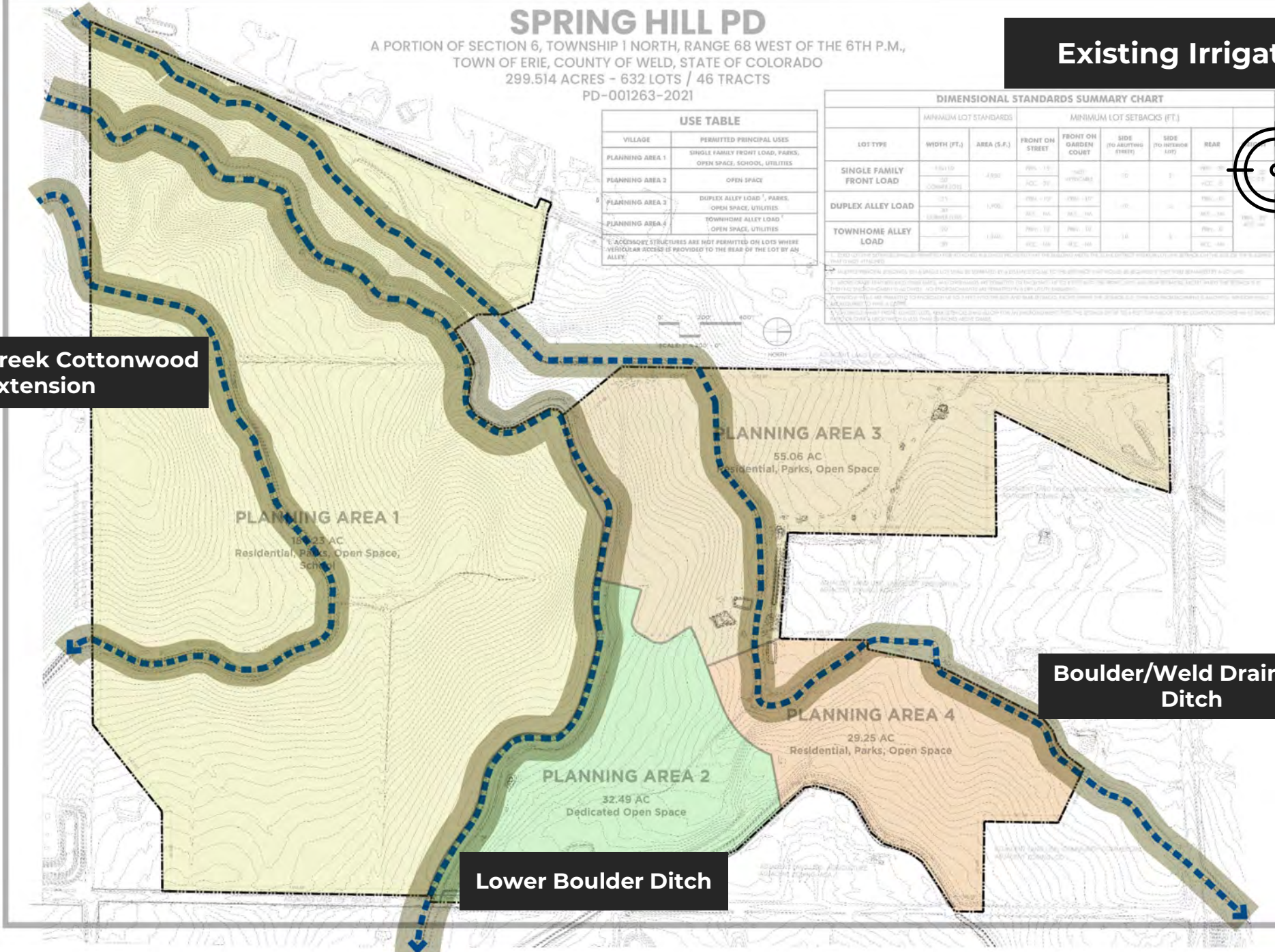
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LOT TYPE	MINIMUM LOT STANDARDS		MINIMUM LOT SETBACKS (FT.)				
	WIDTH (FT.)	AREA (S.F.)	FRONT ON STREET	FRONT ON ADJACENT COUET	SIDE (TO ADJUTING STREET)	SIDE (TO INTERIOR LOT)	REAR
SINGLE FAMILY FRONT LOAD	150 (100 CONCRETE LOTS)	4,800	FRONT: 15'	NOT APPLICABLE	10'	5'	FRONT: 15'
DUPLEX ALLEY LOAD	30'	1,900	FRONT: 10'	FRONT: 10'	10'	5'	FRONT: 10'
TOWNHOME ALLEY LOAD	30'	1,340	FRONT: 10'	FRONT: 10'	10'	5'	FRONT: 10'



Erie/Coal Creek Cottonwood Extension



**PLANNING AREA 1**  
16.23 AC  
Residential, Parks, Open Space, School

**PLANNING AREA 3**  
55.06 AC  
Residential, Parks, Open Space

**PLANNING AREA 2**  
32.49 AC  
Dedicated Open Space

**PLANNING AREA 4**  
29.25 AC  
Residential, Parks, Open Space

Lower Boulder Ditch

Boulder/Weld Drainage Ditch

pcs group  
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303.537.1100  
www.pcsgr.com

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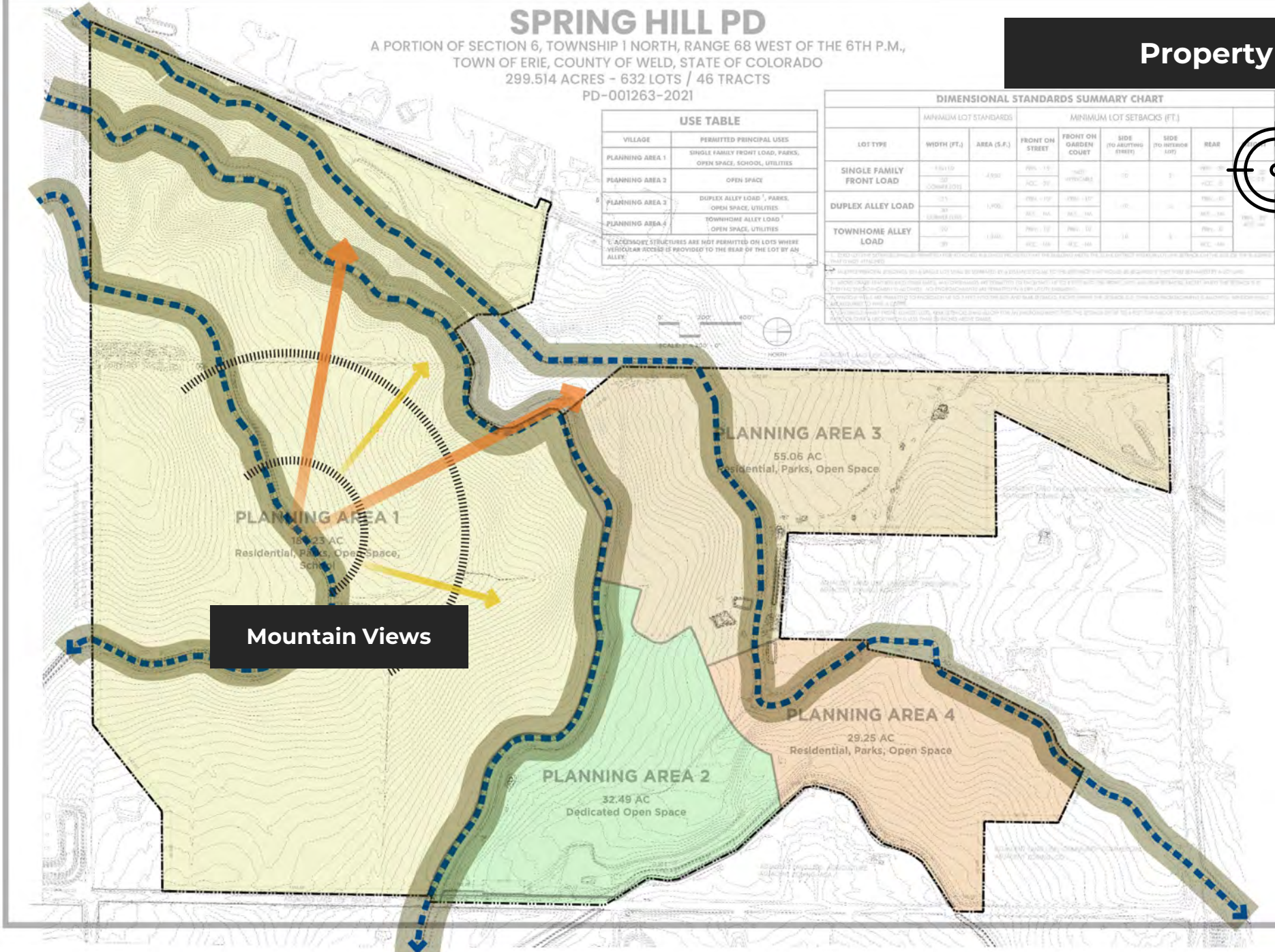
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## Property Views

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PLANNING AREA 4	TOWNHOME ALLEY LOAD <sup>1</sup> , OPEN SPACE, UTILITIES

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	WIDTH (FT.)	AREA (S.F.)	FRONT ON STREET	FRONT ON GARDEN COUET	SIDE (TO ADJUTING STREET)	SIDE (TO INTERIOR LOT)	REAR
SINGLE FAMILY FRONT LOAD	150 (100' CORNER LOTS)	4,800	FRONT: 15'	NOT APPLICABLE	10'	5'	FRONT: 15' REAR: 5'
DUPLEX ALLEY LOAD	30'	1,900	FRONT: 10'	FRONT: 10'	10'	5'	FRONT: 10' REAR: 5'
TOWNHOME ALLEY LOAD	30'	1,800	FRONT: 10'	FRONT: 10'	10'	5'	FRONT: 10' REAR: 5'



**Mountain Views**

pcs group  
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**PD PLANNING AREAS**

SHEET NUMBER  
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## Existing O&G Operations

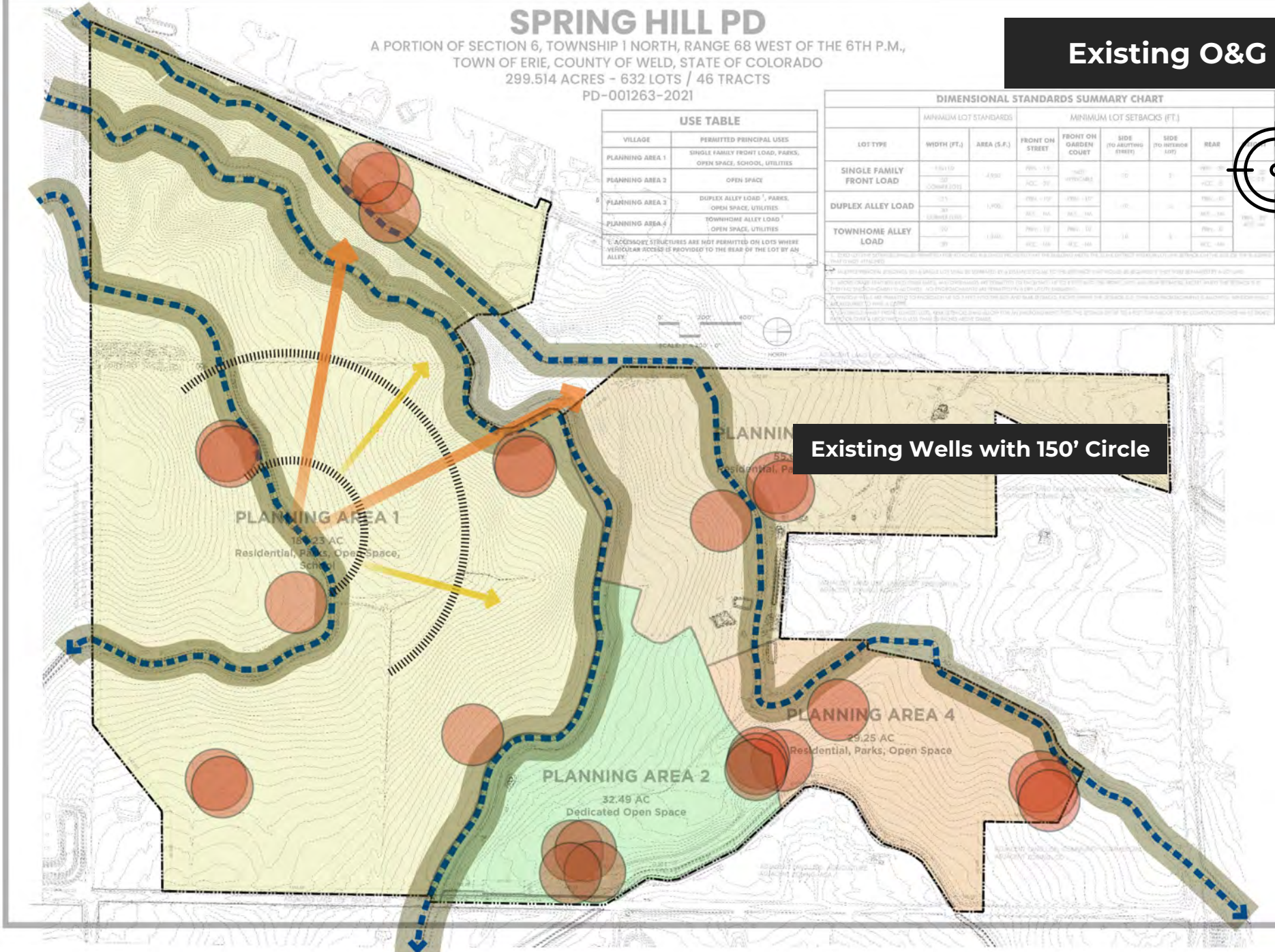
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	WIDTH (FT.)	AREA (S.F.)	FRONT ON STREET	FRONT ON ADJACENT COUET	SIDE (TO ADJUTING STREET)	SIDE (TO INTERIOR LOT)	REAR
SINGLE FAMILY FRONT LOAD	150' (10' CORNER LOTS)	4,800	95% - 15'	N/A	10'	5'	95% - 5'
	125'	1,900	95% - 15'	1500 - 15'	10'	5'	1500 - 5'
DUPLEX ALLEY LOAD	30'	1,900	95% - 15'	95% - 15'	10'	5'	95% - 5'
	30'	1,900	95% - 15'	95% - 15'	10'	5'	95% - 5'
TOWNHOME ALLEY LOAD	30'	1,900	95% - 15'	95% - 15'	10'	5'	95% - 5'
	30'	1,900	95% - 15'	95% - 15'	10'	5'	95% - 5'



Existing Wells with 150' Circle



pcs group  
200 KALAMATH STREET  
DENVER, CO 80223  
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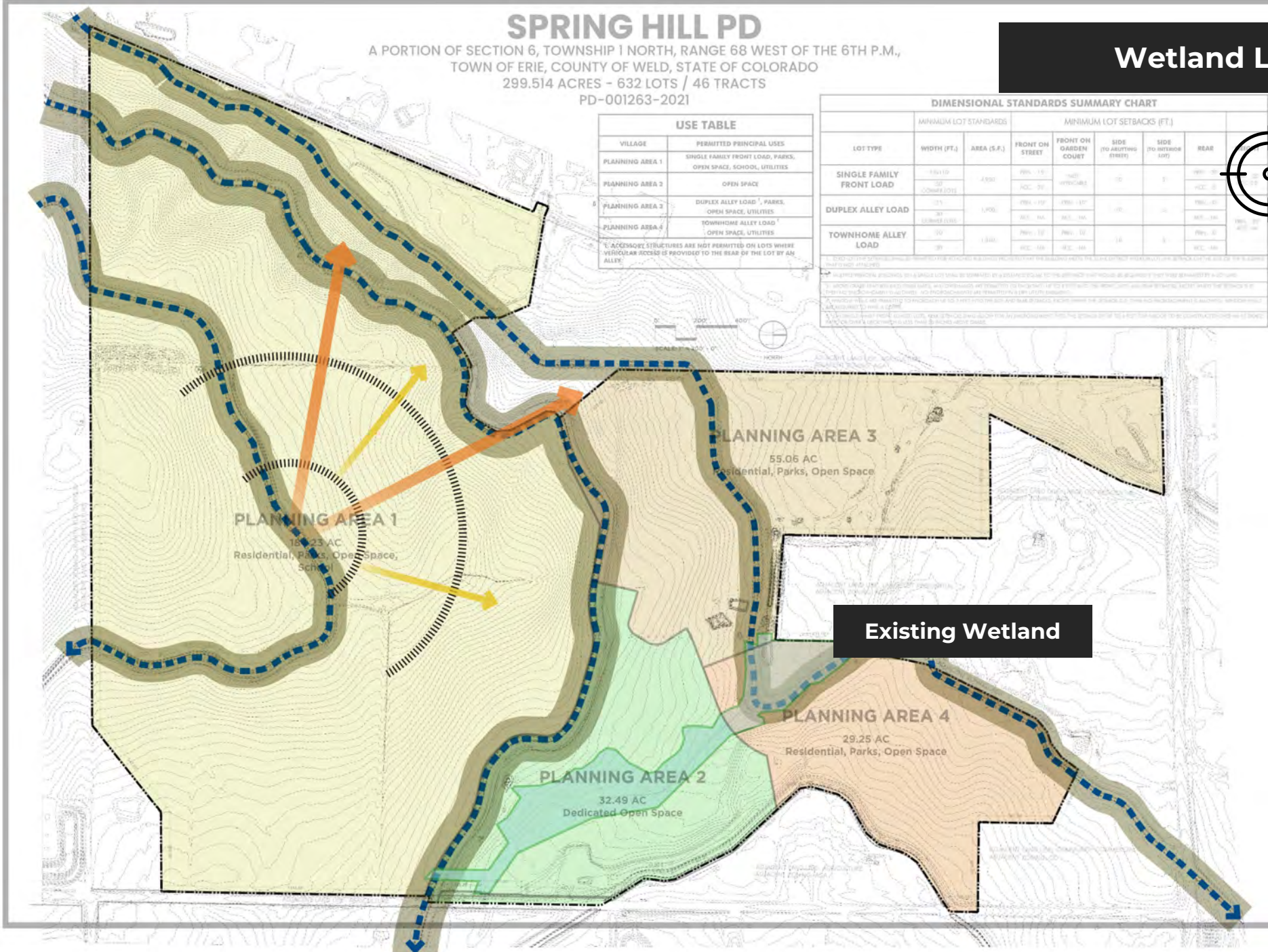
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## Wetland Location

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	WIDTH (FT.)	AREA (S.F.)	FRONT ON STREET	FRONT ON ODDEN COUET	SIDE (TO ADJUTING STREET)	SIDE (TO INTERIOR LOT)	REAR
SINGLE FAMILY FRONT LOAD	150 (100' MIN. LOT)	4,000	100' - 15'	NOT APPLICABLE	10'	5'	100'
DUPLEX ALLEY LOAD	30'	1,000'	100' - 10'	100' - 10'	10'	5'	100'
TOWNHOME ALLEY LOAD	30'	1,000'	100' - 10'	100' - 10'	10'	5'	100'



REPREP FOR

pcs group  
200 KALAMATH STREET  
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## Spine Trail Opportunity

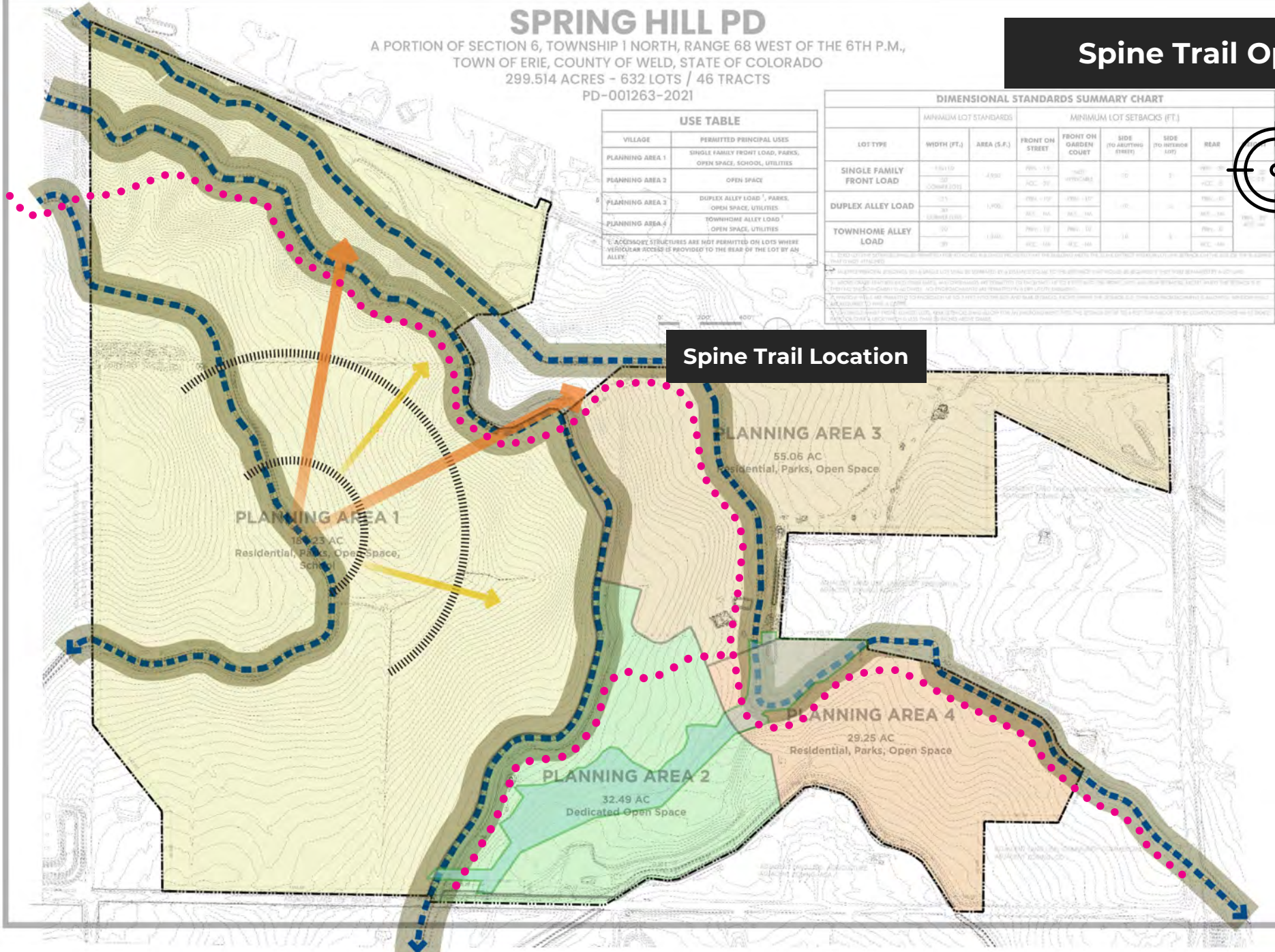
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SINGLE FAMILY FRONT LOAD	150 (100 CONCRETE LOTS)	4,800	FRONT: 15'	FRONT: 15'	FRONT: 15'	FRONT: 15'	FRONT: 15'
DUPLEX ALLEY LOAD	125	1,900	FRONT: 15'	FRONT: 15'	FRONT: 15'	FRONT: 15'	FRONT: 15'
TOWNHOME ALLEY LOAD	30	1,800	FRONT: 15'	FRONT: 15'	FRONT: 15'	FRONT: 15'	FRONT: 15'



**Spine Trail Location**



pcs group  
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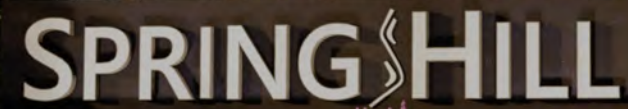
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SHEET NAME  
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2 OF 3

# SPRING HILL

## COMMUNITY PLAN

A large, dark-colored sign with the words "SPRING HILL" in white, bold, sans-serif capital letters. The sign is positioned in the center of the image, partially obscured by a decorative structure of horizontal wooden slats and blue and white stripes. The background features a landscaped area with various trees, including evergreens and deciduous trees, and a clear blue sky with light clouds. The foreground shows a paved road and a grassy area.

SPRING HILL

FEBRUARY - 2022

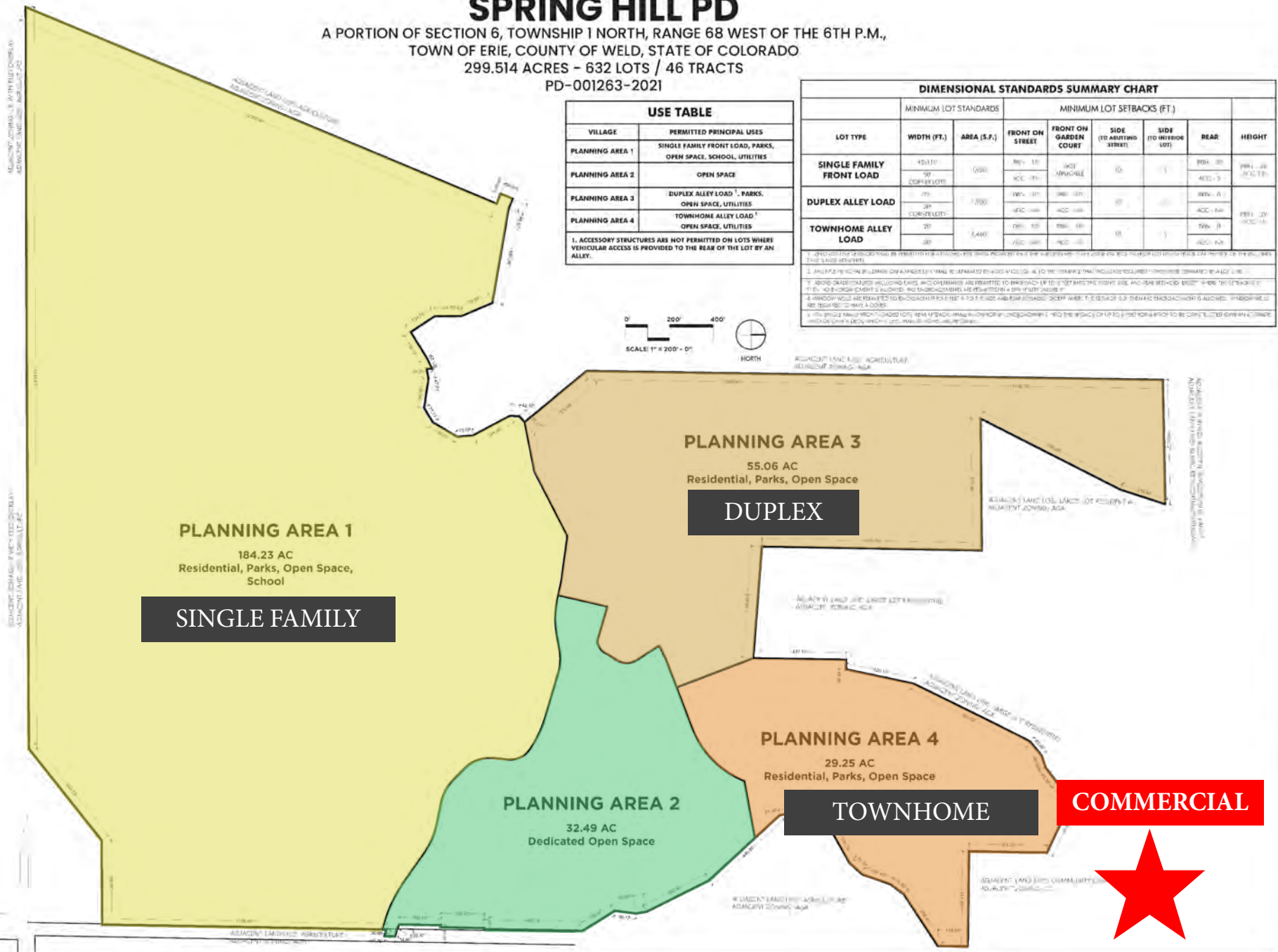
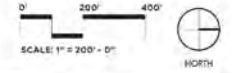
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DIMENSIONAL STANDARDS SUMMARY CHART								
LOT TYPE	MINIMUM LOT STANDARDS		MINIMUM LOT SETBACKS (FT.)					
	WIDTH (FT.)	AREA (S.F.)	FRONT ON STREET	FRONT ON GARDEN COURT	SIDE (TO ADJUTING STREET)	SIDE (TO INTERIOR LOT)	REAR	HEIGHT
SINGLE FAMILY FRONT LOAD	40' - 10'	1,500	10' - 10'	10' - 10'	10'	5'	10'	10'
	50' (CORNER LOTS)	1,500	10' - 10'	10' - 10'	10'	5'	10'	10'
DUPLEX ALLEY LOAD	75'	1,500	10' - 10'	10' - 10'	10'	5'	10'	10'
	50' (CORNER LOTS)	1,500	10' - 10'	10' - 10'	10'	5'	10'	10'
TOWNHOME ALLEY LOAD	20'	1,500	10' - 10'	10' - 10'	10'	5'	10'	10'
	30'	1,500	10' - 10'	10' - 10'	10'	5'	10'	10'



PREPARED FOR  
ESX MANAGEMENT  
7333 SOUTH ALTON WAY  
CENTENNIAL, CO 80112

LAND PLANNING

200 KALAMATH STREET  
DENVER, CO 80223  
303.531.4905  
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ENGINEERING

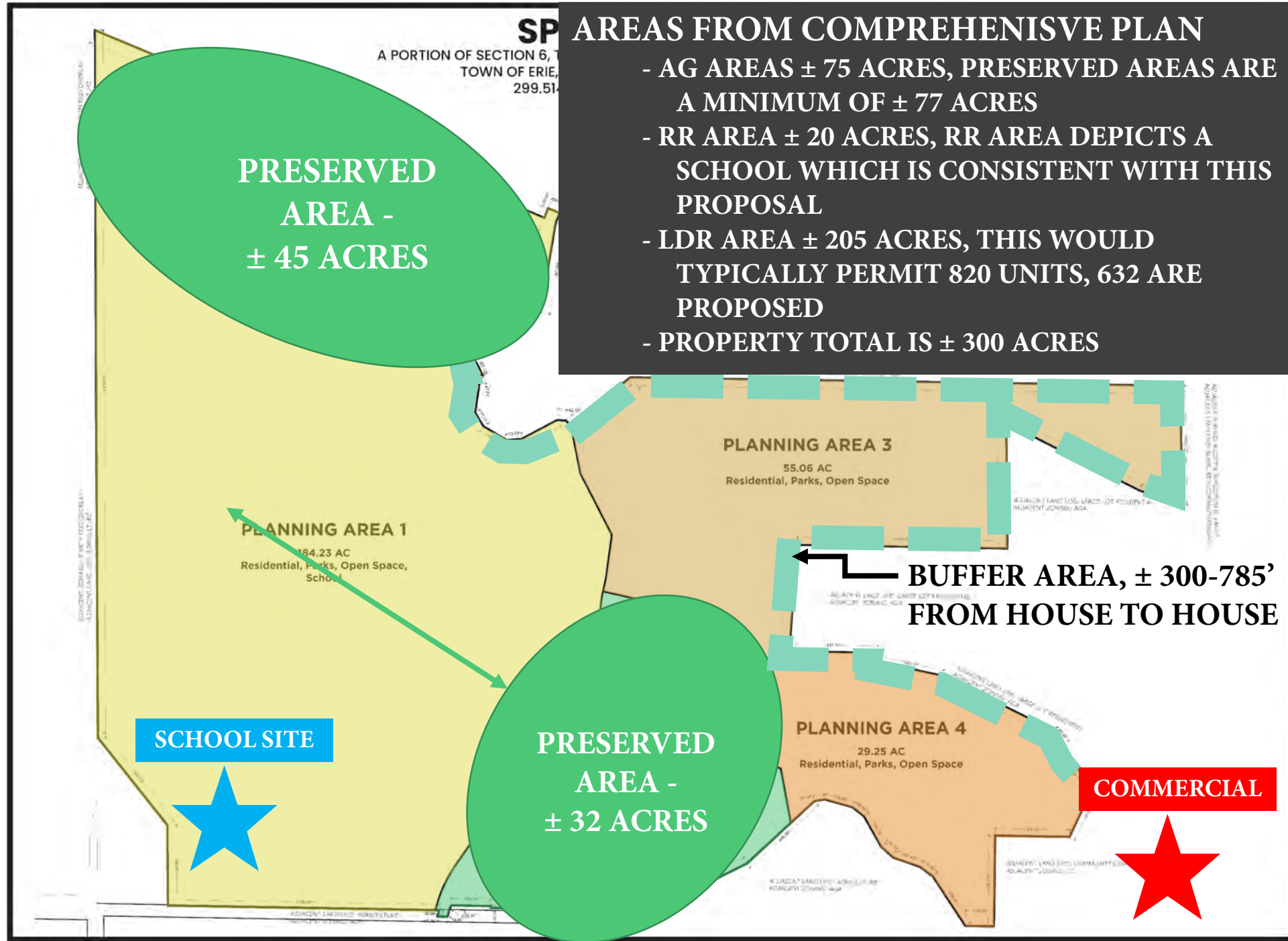
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SHEET NAME  
**PD PLANNING AREAS**

SHEET NUMBER  
**2 OF 3**



### AREAS FROM COMPREHENSIVE PLAN

- AG AREAS ± 75 ACRES, PRESERVED AREAS ARE A MINIMUM OF ± 77 ACRES
- RR AREA ± 20 ACRES, RR AREA DEPICTS A SCHOOL WHICH IS CONSISTENT WITH THIS PROPOSAL
- LDR AREA ± 205 ACRES, THIS WOULD TYPICALLY PERMIT 820 UNITS, 632 ARE PROPOSED
- PROPERTY TOTAL IS ± 300 ACRES

PREPARED FOR  
ESX MANAGEMENT  
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LAND PLANNING

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ENGINEERING

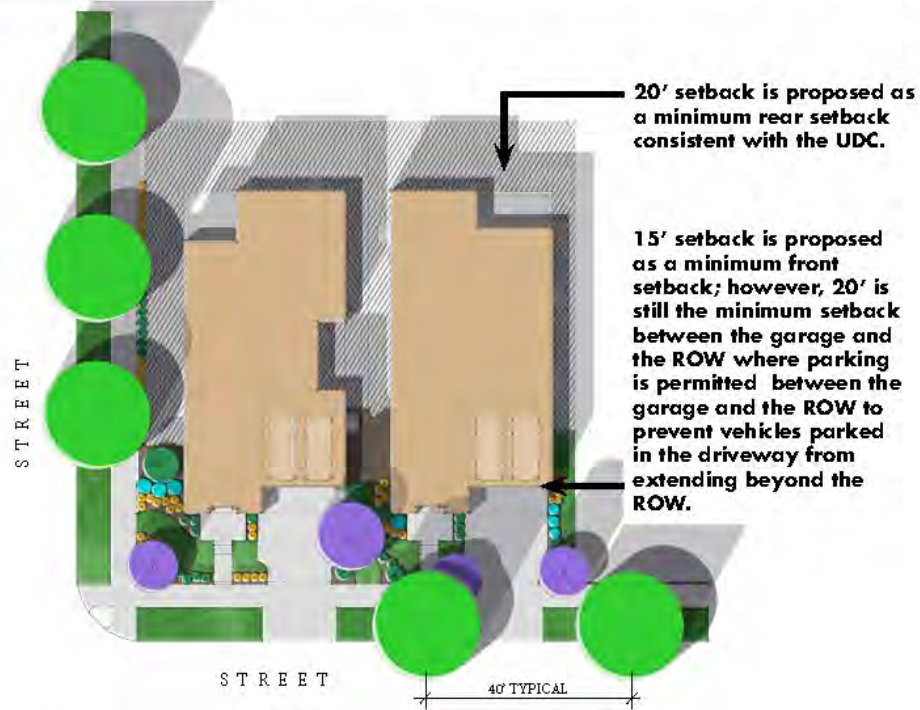
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a Westwood team  
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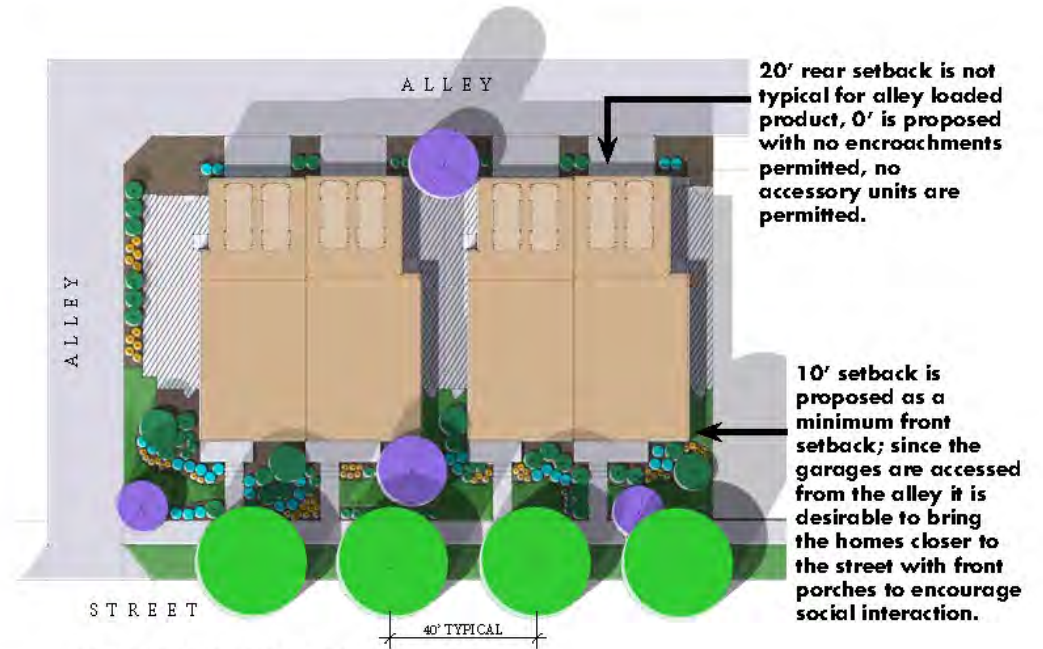
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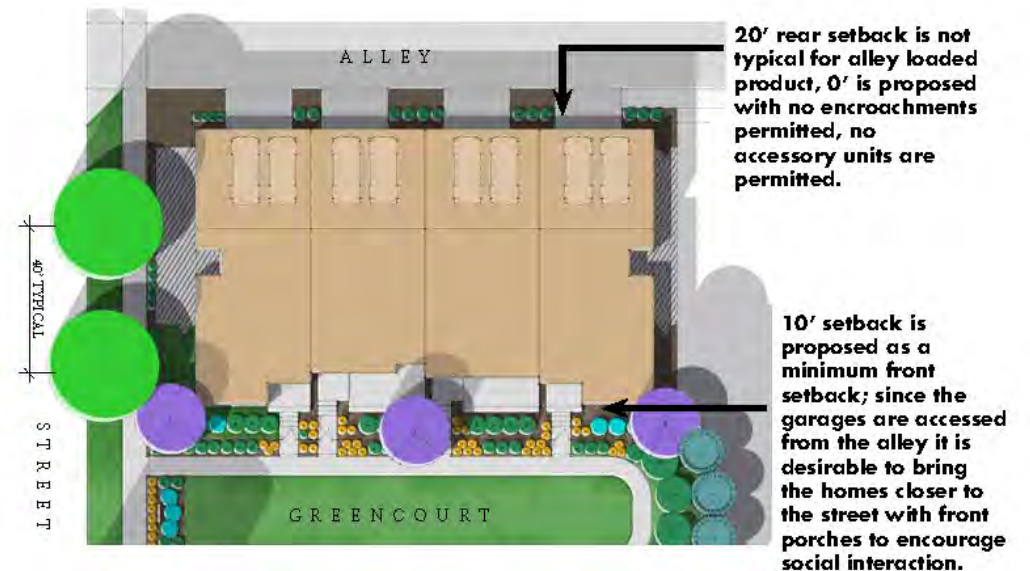
DIMENSIONAL STANDARDS - UDC compared to PD							
HOUSING TYPE	MINIMUM LOT STANDARDS		MINIMUM LOT SETBACKS (FT.)				HEIGHT
	WIDTH (FT.)	AREA (S.F.)	FRONT	SIDE (TO ABUTTING STREET)	SIDE (TO INTERIOR LOT)	REAR	
LR - UDC	SF: 50' 60' CORNER MF: none	SF: 5,000 MF: 2,500	PRIN. - 20'	10'	5'	PRIN. - 20'	PRIN. - 35' ACC. 25'
			ACC. - 30'			ACC. - 5'	
SINGLE FAMILY FRONT LOAD	45x110 50' CORNER LOTS	4,950	PRIN. - 15'	10'	5'	PRIN. - 20'	PRIN. - 35' ACC. 25'
			ACC. - 25'			ACC. - 5'	
DUPLEX ALLEY LOAD	25' 30' CORNER LOTS	1,900	PRIN. - 10'	10'	5'	PRIN. - 0'	PRIN. - 35' ACC. NA
			ACC. - NA			ACC. - NA	
TOWNHOME ALLEY LOAD	20' 30'	1,460	PRIN. - 10'	10'	5'	PRIN. - 0'	PRIN. - 35' ACC. NA
			ACC. - NA			ACC. - NA	



SINGLE FAMILY FRONT LOAD - TYPICAL



DUPLEX ALLEY LOAD - TYPICAL



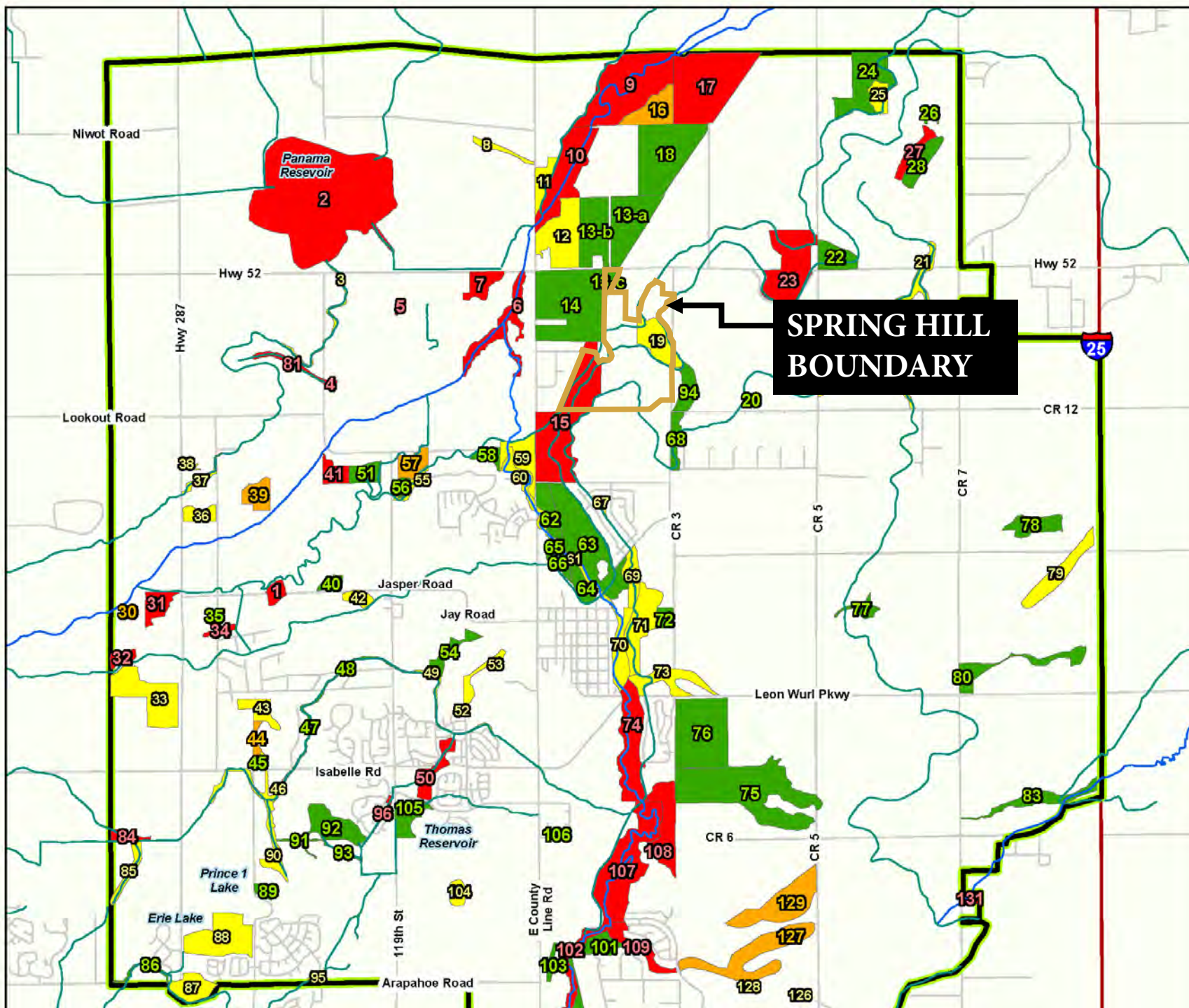
TOWNHOME ALLEY LOAD - TYPICAL



# ARCHITECTURAL EXAMPLES

Town of Erie  
Natural Areas

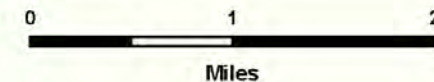
Overall Habitat Quality



**SPRING HILL  
BOUNDARY**



Datum: North American 1983 Harn  
Projection: Lambert Conformal Conic



## **A Coordinated and Efficient Pattern of Growth**

*The Town will have a compact pattern that encourages urban growth to locate within the Planning Area Boundary, fosters the efficient provision of infrastructure and services, and balances development and conservation of the natural environment.*

**Spring Hill is located within the Planning Area Boundary, at the more detailed planning stage we anticipate about 50% of the property remaining in protected Open Space and Park uses.**

## **Quality Design and Development**

*Erie will promote a high standard of design for all new development, renovation, and rehabilitation to reinforce and enhance its unique nature for residential neighborhoods, public places, and commercial businesses.*

**This proposed PD permits the construction of alley served homes that provide a higher quality of design for the public realm, additionally even at the PD stage we are committed to high quality park and open space areas.**

## Stewardship of the Natural Environment

*The Town will identify and conserve its natural, scenic, and environmentally sensitive areas including important wildlife habitat, waterways, and visually sensitive areas. Erie will strive to be a clean, sustainable, environmentally-friendly town.*

**This proposed PD, in coordination with the Town of Erie Parks and Open Space department, allocates about 32 acres for permanent dedicated Open Space in area M19 as depicted in the Town's Natural Inventory Analysis. As part of the more detailed planning process, we anticipate an additional 45 acres to be permanently protected as private Open Space/Agricultural area, consistent with area 94 as depicted in the Town's Natural Inventory Analysis.**

## Trails, Parks and Recreation Opportunities

*The Town will provide a diverse range of recreational opportunities to include facilities and programming for all ages and varying interests, both passive and active. Trails, parks, and recreation opportunities will be connected with and integrate open space into and between neighborhoods and other areas of the community.*

**Spring Hill will ultimately be providing almost 2 miles of Regional Spine Trail improvements that connect to additional Spine Trail improvements in the Morgan Hill community.**

## Protected Lands Program

*Lands that are permanently protected as open space will be used to maintain the small town atmosphere that has made Erie an attractive place. Open space will serve a variety of functions, including:*

- Buffering Erie from other towns and cities and shaping growth;*
- Creating view corridors to enable residents to see mountains, plains, and agricultural areas rather than uninterrupted housing and commercial development;*
- Preserving agricultural lands, keeping them in agricultural production;*
- Restoring riparian areas and other areas of natural habitat;*
- Protecting significant archeological and cultural resources;*
- Preserving native plant and animal habitat and travel corridors for wildlife;*
- Providing areas for passive recreation that emphasizes enjoyment of nature; and*
- Distinguishing and linking neighborhoods and other activity areas within Erie through a system of continuous, connected open lands and trails.*

**Ultimately Spring Hill will be providing about 50% of the property as Protected Open Space and Parks as both dedicated to the Town of Erie and as privately maintained areas. The areas identified in the Natural Areas Inventory are being protected as part of the larger overall planning for the community.**

## **Stable, Cohesive Neighborhoods Offering a Variety of Housing Types**

*The Town will promote new neighborhoods that contain a mix of land uses and diversified housing options that meet the varying needs of its residents, including single family, attached homes (duplexes, townhomes), multifamily dwellings, and housing included as part of mixed-use developments. The Town will work to maintain the quality and character of established neighborhoods and ensure that infill and redevelopment is designed in a manner that minimizes impacts on existing neighborhoods, including rural neighborhoods in the Planning Area. New housing and neighborhoods should be appropriate in size, scale, design and use. New housing areas should be located where residents will have access to the full range of infrastructure, facilities and services that are needed for healthy, livable neighborhoods.*

**The Spring Hill PD commits to a mix of housing types and has located them to take advantage of proximity to transportation corridors and proximity to the future Commercial Uses located at Hwy 52 and County Road 3. At the more detailed planning stage we are committed to buffering the existing rural neighborhoods in terms of both physical distance and landscape plantings. In general we anticipate between 250'-300' of physical separation between existing homes and proposed homes – we will continue to coordinate with the adjacent neighbors as we continue to evolve the detailed planning.**

PRIMARY PARK AREA WITH POOL





PRIMARY PARK AREA WITH POOL



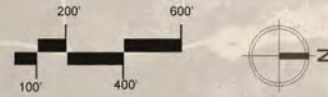
PRIMARY PARK AREA WITH POOL



# SPRING HILL

ILLUSTRATIVE PLAN

ERIE, CO 06-29-2021

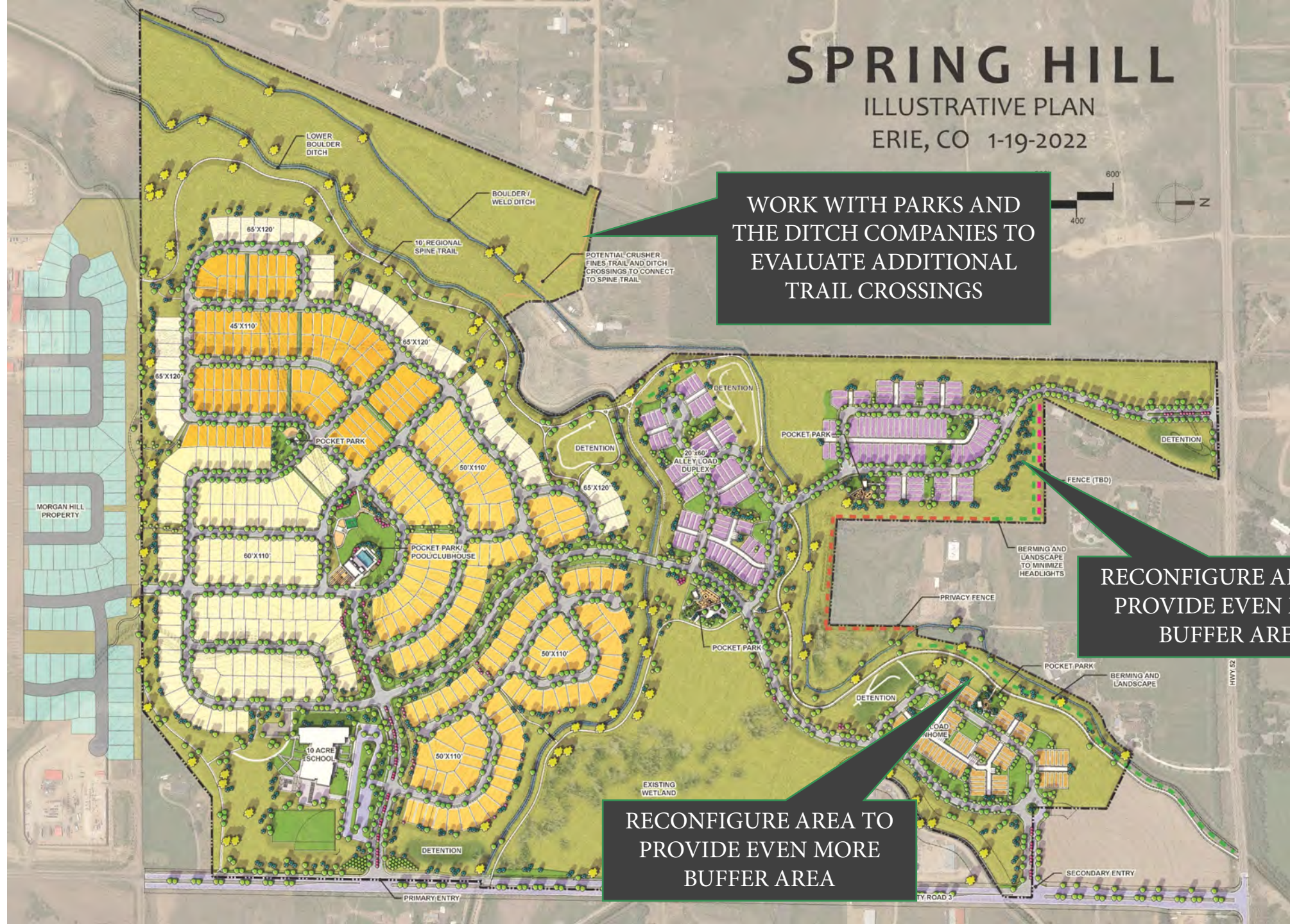


LAND SUMMARY CHART	
LOT OR PRODUCT SIZE	TOTAL UNITS
20' X 80' (T-HOME)	70
20' X 60' (DUPLEX)	144
45' X 110'	114
50' X 110'	153
60' X 110'	112
65' X 120'	39
<b>TOTAL</b>	<b>632</b>

# SPRING HILL

ILLUSTRATIVE PLAN

ERIE, CO 1-19-2022



WORK WITH PARKS AND THE DITCH COMPANIES TO EVALUATE ADDITIONAL TRAIL CROSSINGS



RECONFIGURE AREA TO PROVIDE EVEN MORE BUFFER AREA

RECONFIGURE AREA TO PROVIDE EVEN MORE BUFFER AREA



# SPRING HILL COMMUNITY PLAN

FEBRUARY - 2022